

Council Records

These records were obtained in March 2022. NPDC is currently undergoing a review of the property search report content. As such the documentation provided by the NPDC may not be a complete full record. We suggest you get your own professional advice on the provided content and in fact any NPDC files for this property.



- Natural Source
- Treatment Plant
- Pumpstation
- Storage Unit
- Hydrant
- Manhole
- Alert Valve
- Air Valve
- Non-Return Valve
- Standard Valve
- Manifold Valve
- Backflow
- Meter
- Restricted Flow
- Wellup
- Inlet
- Outlet
- Soakhole
- End Point
- Node
- Misc Point
- Trunk
- Rise
- Main
- Lateral
- Open Drain
- Stream
- Overland Flow Path
- Misc Polygon
- Proposed Bund and Ponding Areas
- Storm Water Mgmt Plan

Yellow = Privately Owned

Grey = Out of Service/Closed

Stormwater

Water Supply

Waste Water



Te Kaunihera-ā-Rohe o Ngāmotu

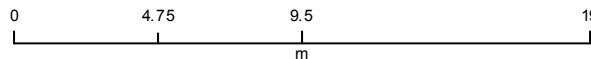
**New Plymouth
District Council**

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Land Information New Zealand data.
Crown Copyright Reserved.

DISCLAIMER: NPDC assumes no responsibility for the
completeness or accuracy of the data displayed
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HORIZONTAL DATUM
New Zealand Geodetic Datum 2000

MAP PROJECTION
New Zealand Transverse Mercator



MILES Print Map

Date: 3/21/2022



1:250

16 images

ML
✓✓✓

BUILDING CONSENT

27557P

PROPERTY ID

008193

 **27557P**

EXTRA INFORMATION/AMENDMENTS

Consent No: _____ Charge: \$ _____
Job: L. & J. Richards
Address: 173 Mangavei Rd
N.P.

The changes covered by this amendment are:

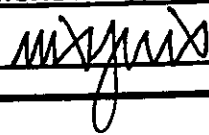
Upper level Balustrade detail provided.

Formal Declaration – (Please read carefully prior to signing)

This **AMENDMENT** to the abovementioned Building Consent is made by me as owner of the property:

Signature: _____ Date: _____

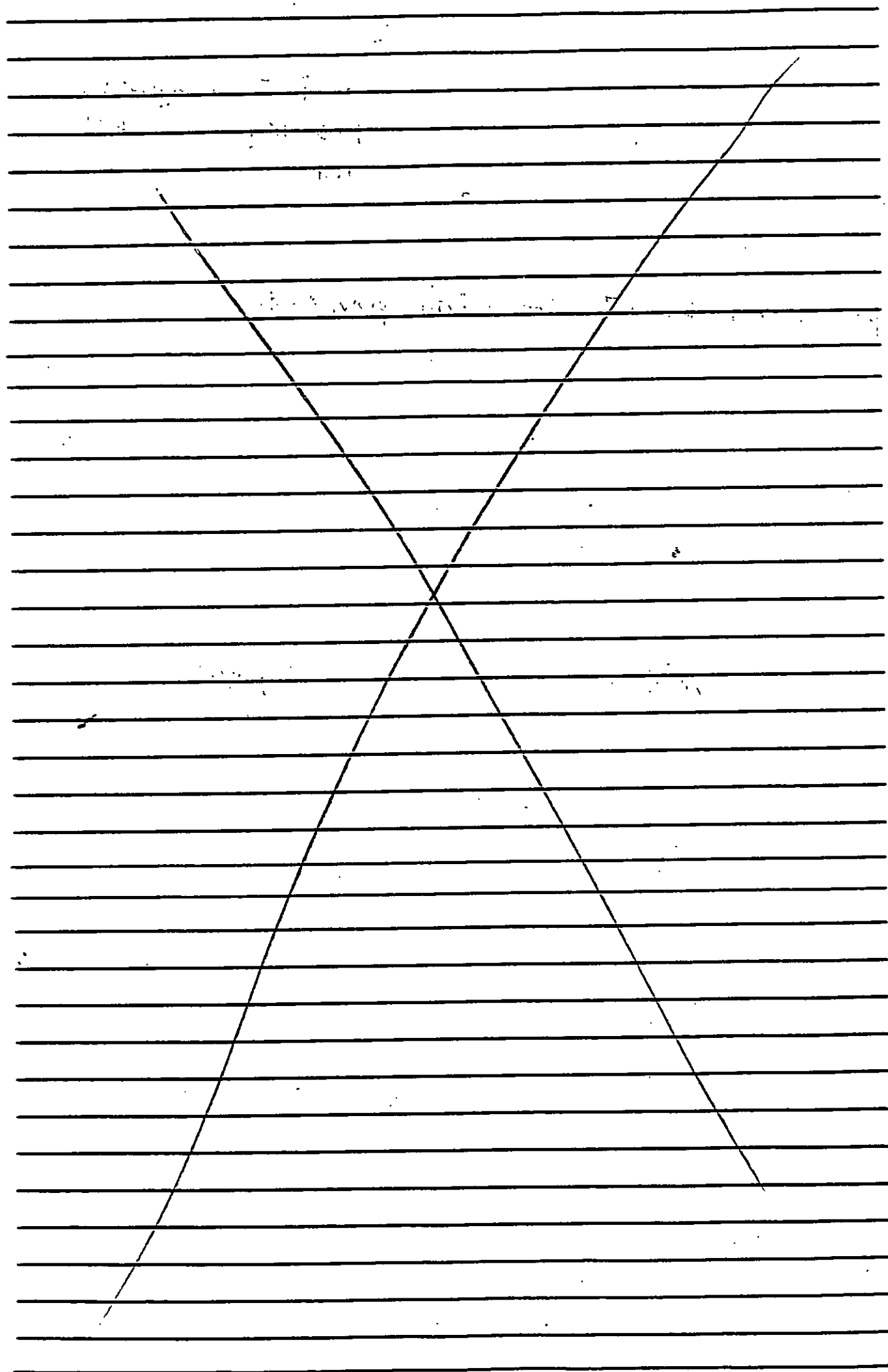
OR I am the applicant authorised by the owner to make this **AMENDMENT**:

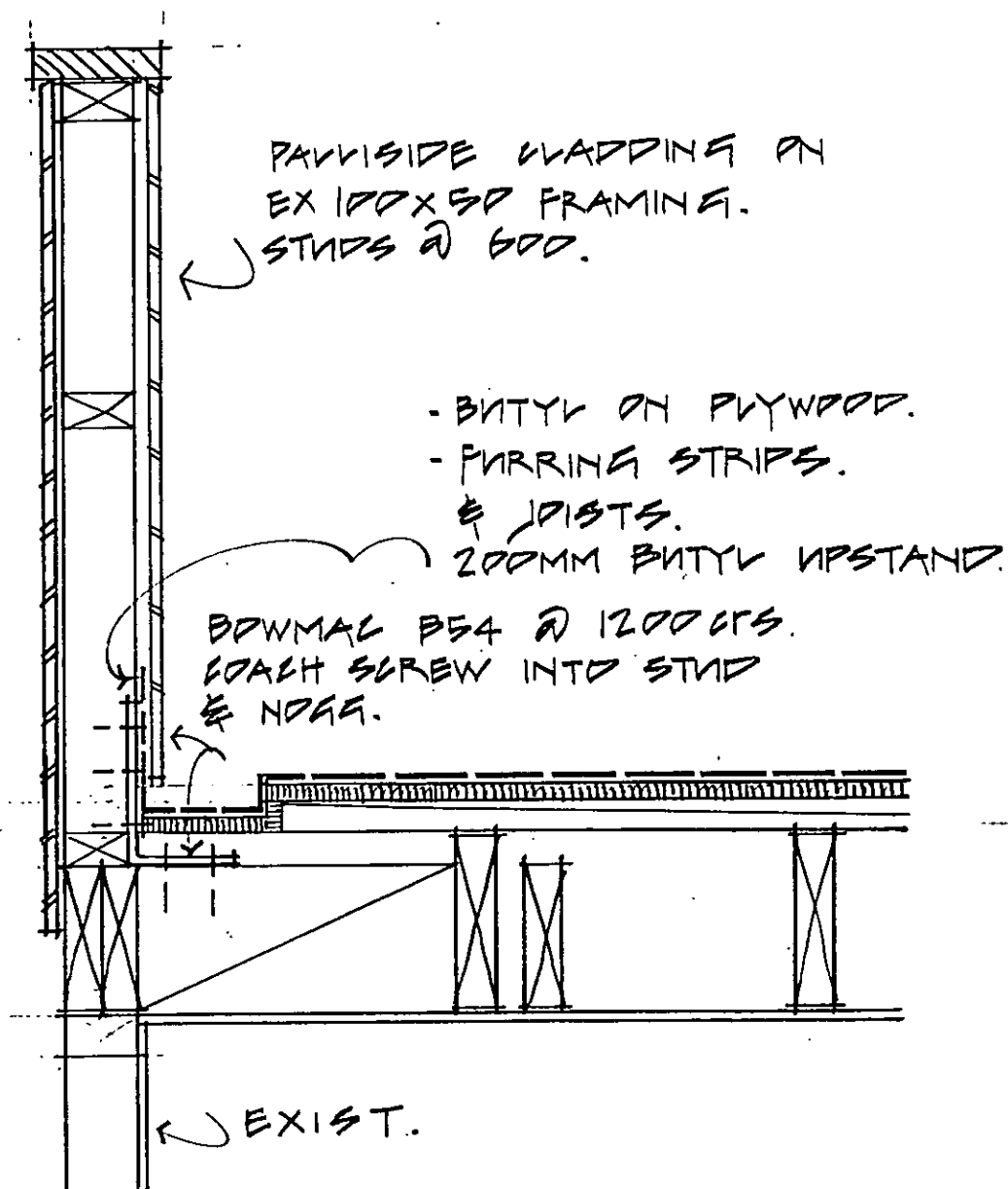
Signature:  Date: 22/4/99.

Office use only

Approved | Refused

Records	
Building	
Public Health	
District Planning	





1:10 BALUSTRADE DETAIL.
(READ IN CONJUNCTION WITH SECTION A-A.)

21/4/99

V. & J. RICHARDS ADDITION
173 MANGOREI RD.

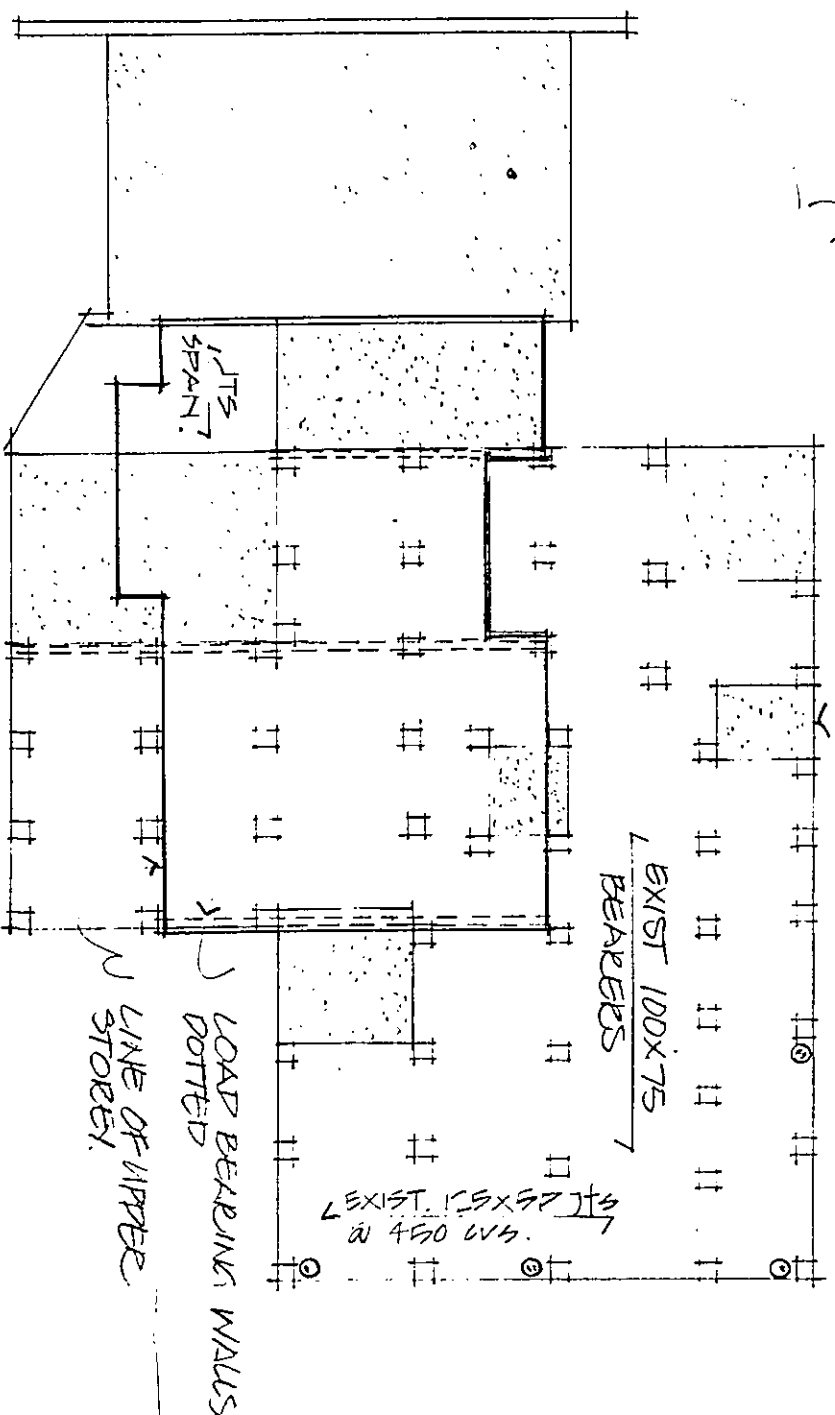
- REMOVE EXIST. ENTRY & FLYWOOD FOR NEW BAYONET & PART UPPER LEVEL.
- BAYONET: 2.0MM ENTRY OR ACRYLIC WATERPROOFING MEMBRANE OVER 17.5MM FLYWOOD TP 250X50 JTS @ 4500CS. (4.25M. SPAN MAX.)
- FLY TO SW. OUTLETS IN BASE OF BAYONETRADE. WATERPROOF PENETRATIONS.
- BAYONETRADE: 100X50 FRAMING. 150X50 CAPPING. FANGLIPS AND BOTH PASSES.
- EXIST. SLOTTIT & SUTTER TP REMAIN.
- GIB-LINE WALLS/CEILING TO WOODS SPES. E 1.8 BATS TO WALLS
- ROOF: 170mm COLE ZINCALUME COLOR STEEL 75X50 PURLINS @ 400CS JWC. E.P. APPROVED TRUSSES AND E 2.2 BATS
- BE-PITCH RAFT EXIST. ROOF MATCH
- 2.5% / 50 TRIMMING JTS PL 552 172MM FOR W.S. WASTE. WASTE. WASTE. WASTE.
- NEW FLOOR
- 20mm FALTLICE BED.
- 250X50 JTS @ 4500CS.
- 4.0m SPAN MAX.
- 100X75 SOLID BLACK BETWEEN EXIST. CEILING JTS OVER L/B WALLS.
- 100X50 JOIST PLATE OVER
- STAIRS: DOTTED CUSTOMWOOD 175mm BSE MAX.
- 280mm TREAD MIN.
- RAILING & GIB-LINE BALUSTRADE (900-1000mm HIGH)
- EX 150X25 EMBL BEVELED CAPPING
- 90 Ø EMBL HANDRAIL ON WALL BRACKETS TO CENTRAL BALUSTRADE



1:50 A-A..

GENERAL NOTES:
ALL WORKMANSHIP, MATERIALS, TIMBER TYPES & TREATMENTS SHALL COMPLY WITH N.Z.S. 3604: 1997 & ALL RELEVANT N.Z.S. & A.S. REQUIREMENTS.

EXIST CONC. PADS & FLOOR SLABS



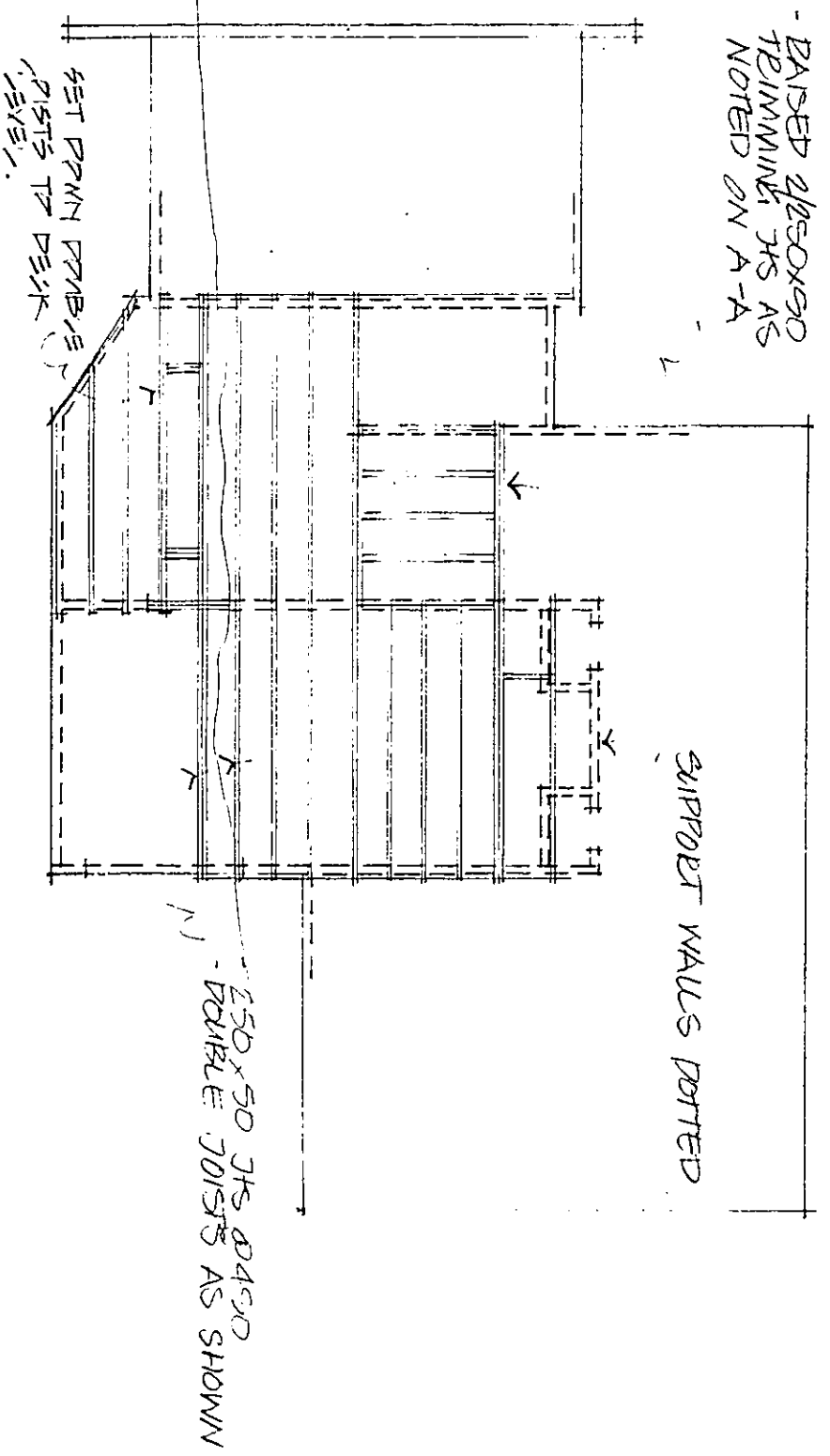
1:100 FOUNDATION LAYOUT

EXIST 150X150 CONC. PILES
0.4m NEW 150 X TANGLIPS
300 X 1.2M DEEP CONC. PILES.

NOTE:

- INSURE EXIST. WATERPROOFING WALLS COMPLY WITH N.Z.S. 3604: 1997 FIG. 4.1 & 4.2.
- PROVIDE ADDITIONAL PILES/BEARERS/JOISTS AS REQUIRED.

1:100 UPPER FLOOR JOIST LAYOUT



- BAYONET 250X50 TRIMMING JTS AS NOTED ON A-A

SUPPORT WALLS DOTTED

- 250X50 JTS @ 4500

45T PURLIN TRIMMING JTS TO DECK (3/5).

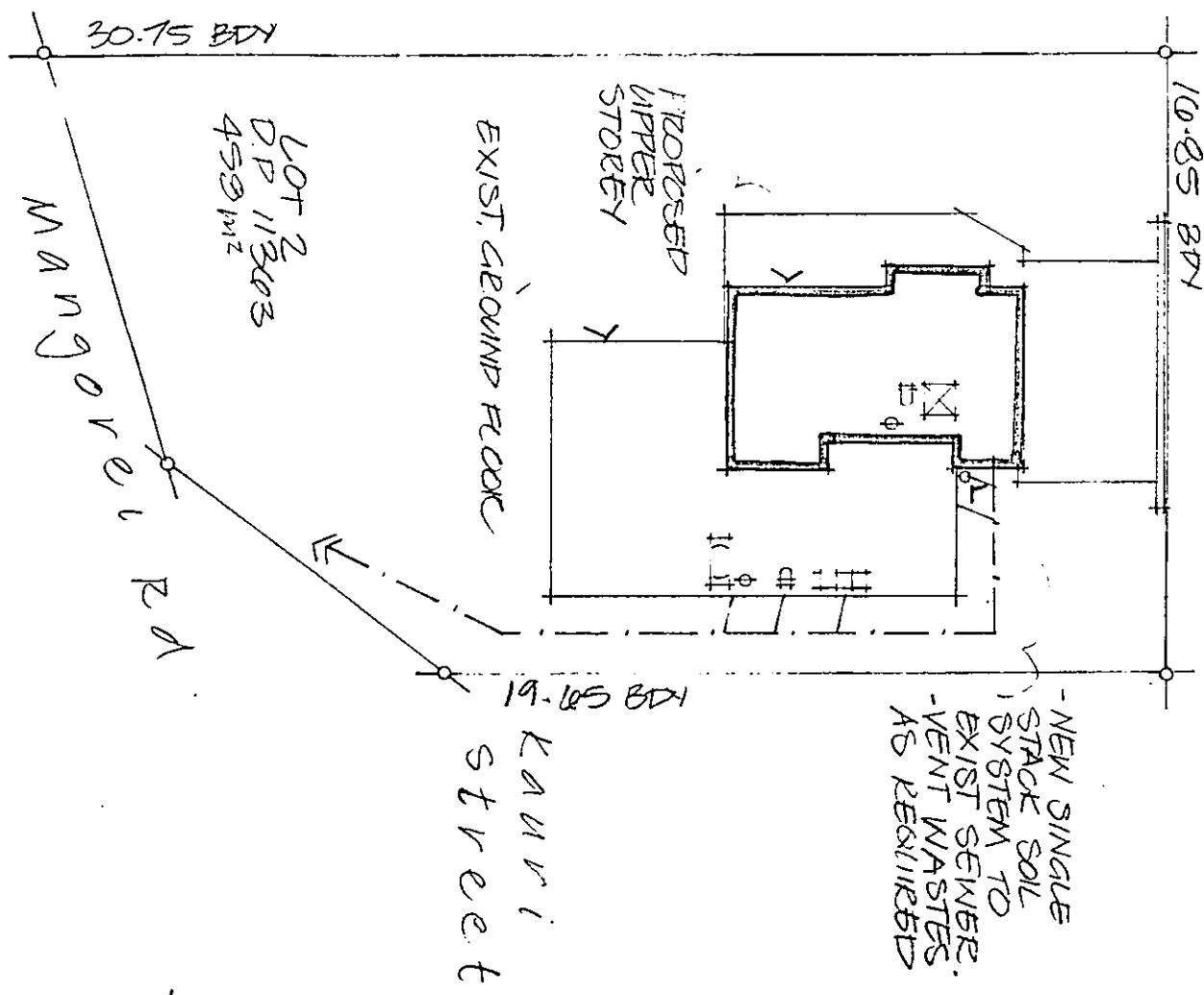
PROPOSED UPPER LEVEL ADDITION

L & J RICHARDS

173 MANGOREIRD - NEW PLYMOUTH

1:200 SITE PLAN

ALL P&D TO NZS - A.S. G12-G13



- NEW SINGLE STACK SOIL SYSTEM TO EXIST SEWER. VENT WASTES AS REQUIRED

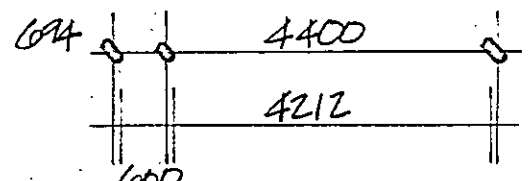
OFFICE COPY

PLANS AND SPECIFICATIONS APPROVED FOR TYPE, USE, SITING, COVERAGE & RILEY PALISADE CLADDING AND CONSTRUCTION, AS IN ACCORDANCE WITH ALL RELEVANT ACTS, MATCH EXIST. FROM THE NEW PLYMOUTH DISTRICT COUNCIL B. WEATHER BCD

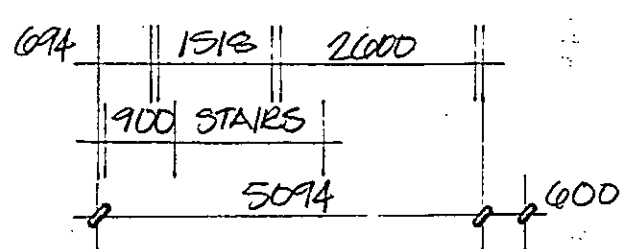
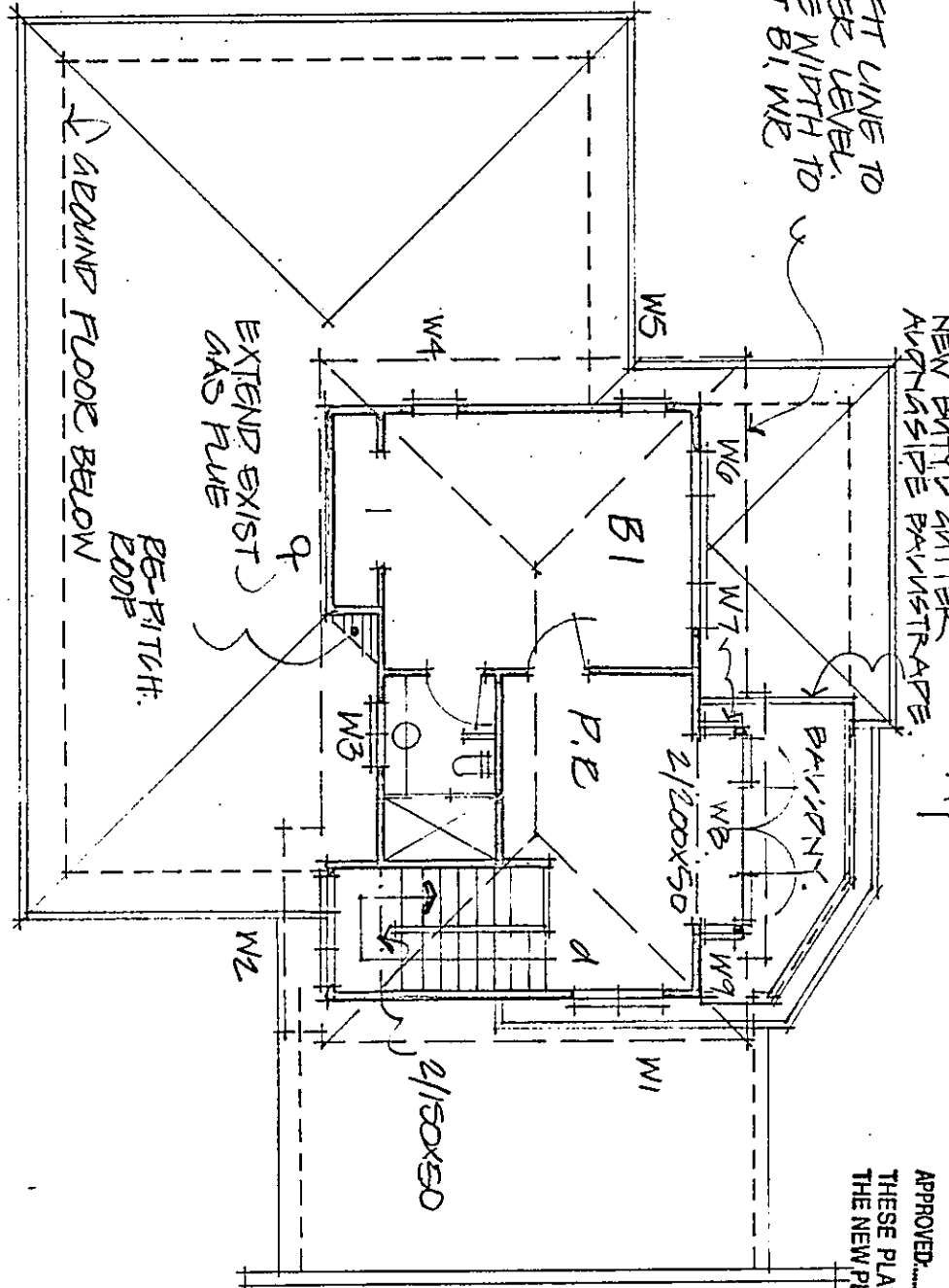
DATE 22.4.99

APPROVED THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF THE NEW PLYMOUTH DISTRICT COUNCIL

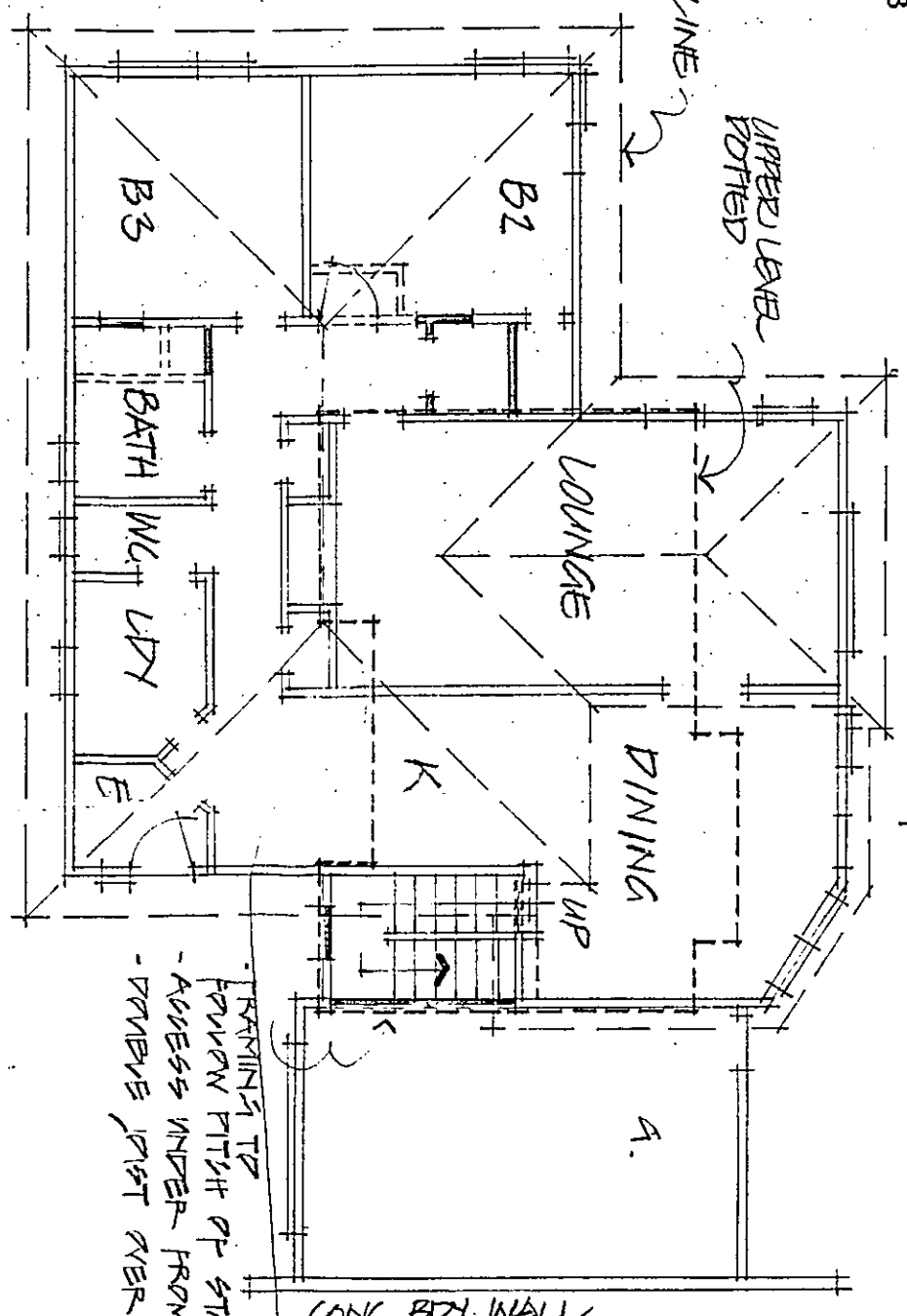
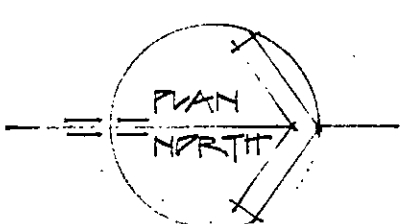
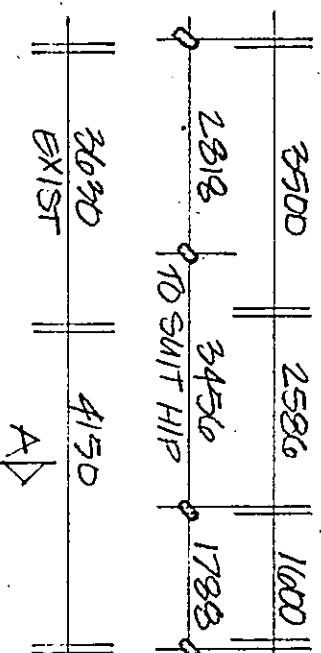
CB 9.4.99



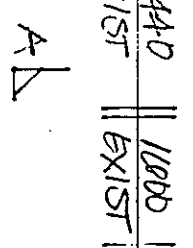
3047T LINE TO UPPER LEVEL - NOTE WIDTH TO SUIT B1 WE



1100 UPPER LEVEL (40.4m²)
ALL WALLS SHOWN 94mm



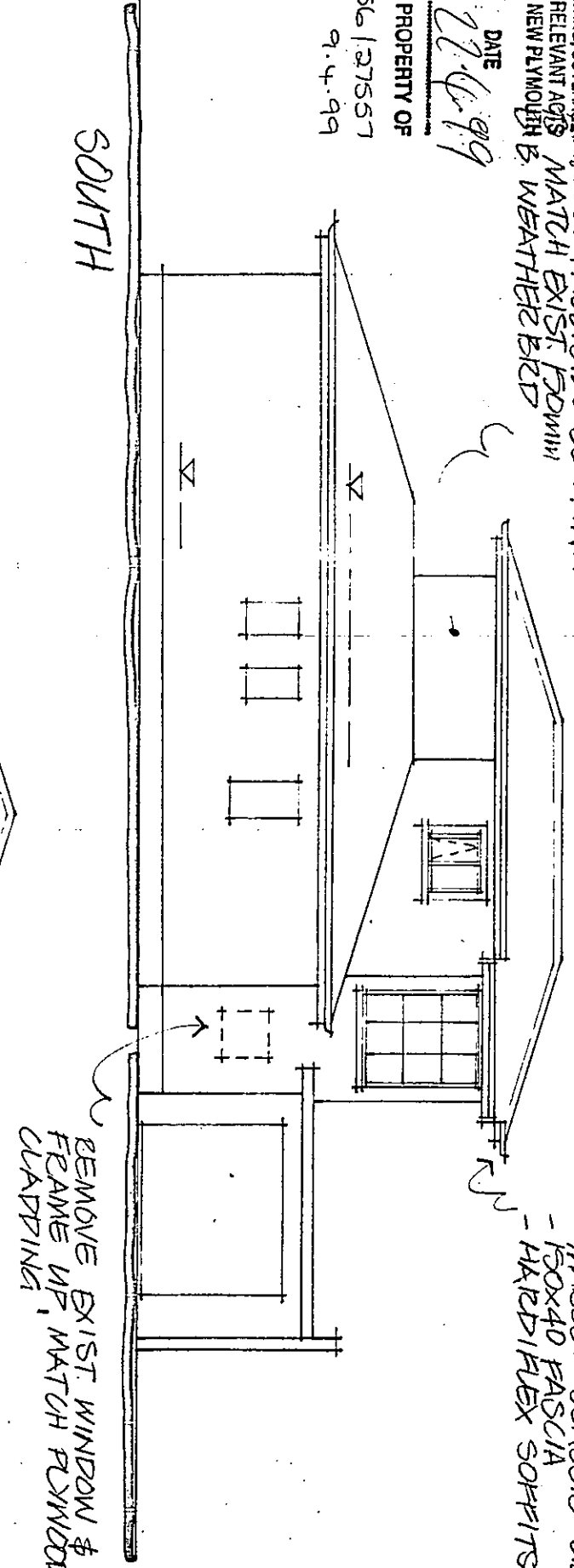
1100 GROUND FLOOR LAYOUT (EXIST 150m²)
EXIST WALLS
REMOVE WALLS
NEW 94mm WALLS



RAMMING TO FORMER FITT OF STAIRS.
ACCESS UNDER FROM GARAGE.
REMOVE POST MER.

CONC. BOT. WALL

SOUTH



MALEY CLASSIC' WINDOWS
- 150x40 PASCIA
- HARP FLEX SORTITS

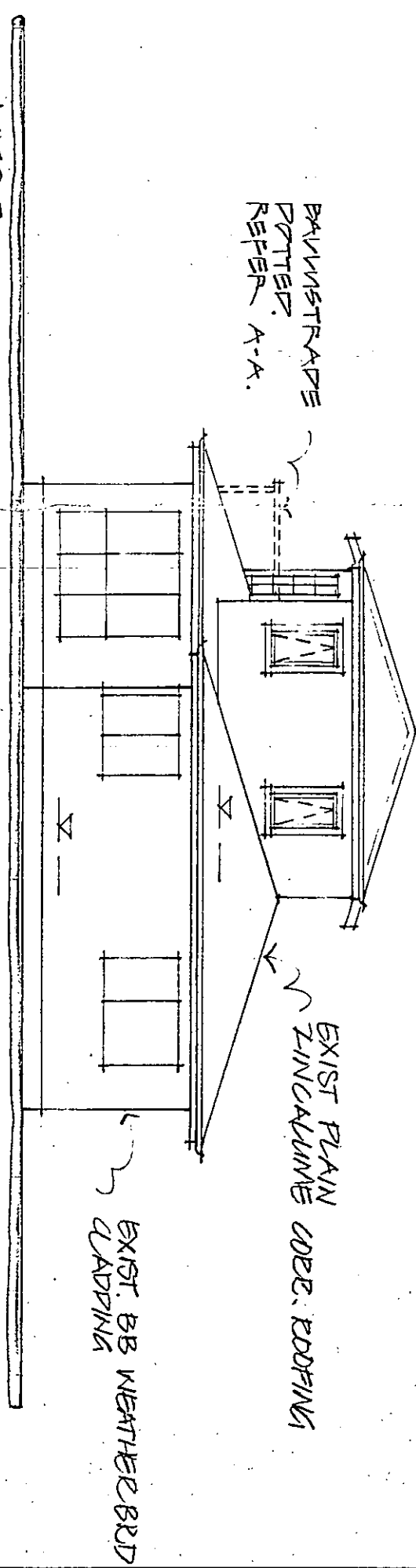
REMOVE EXIST WINDOW & FRAME UP, MATCH PLWOOD CLADDING

BAUNSTRAPES
POTTER.
REFER A-A.

EXIST PLAIN CORR. ROOFING

EXIST. BB WEATHER BCD CLADDING

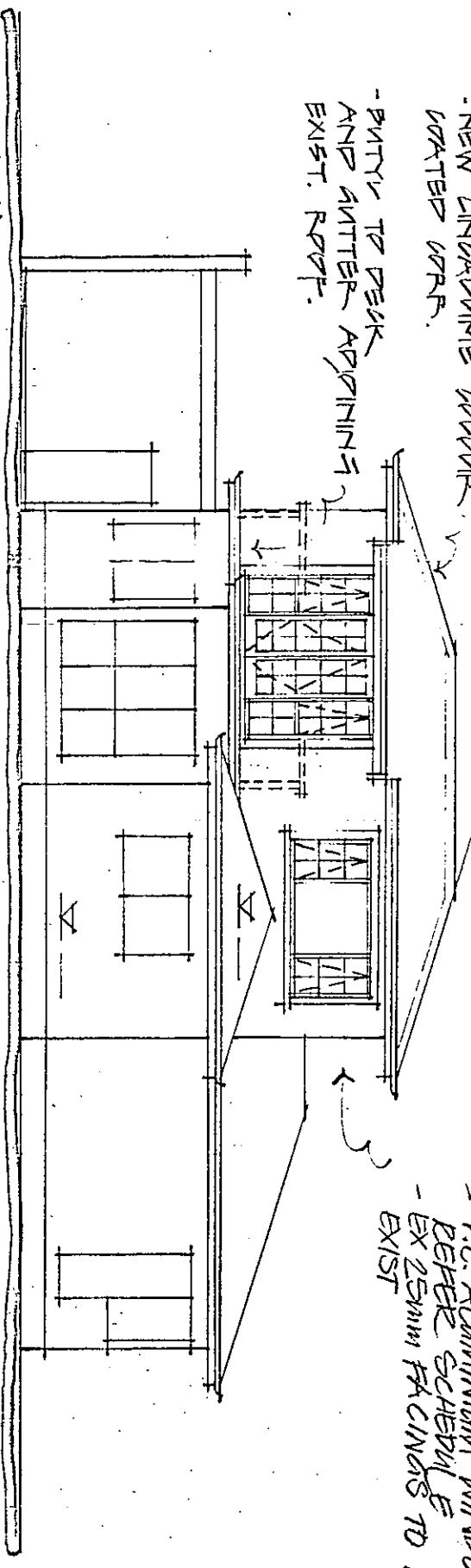
WEST



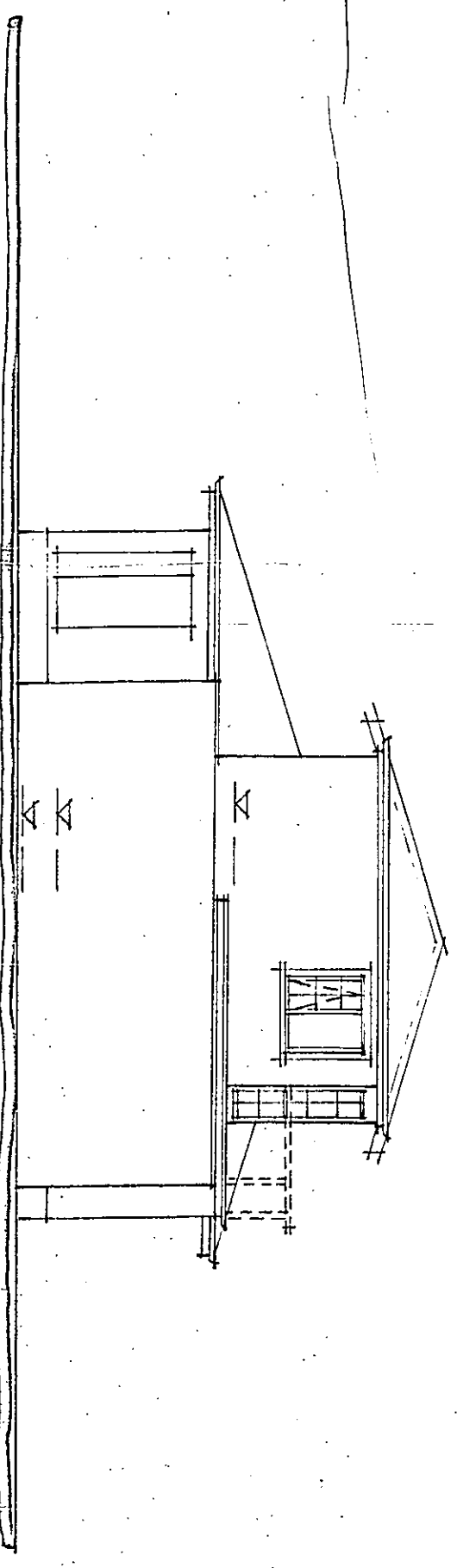
NEW ZINCALUME CORR. LOCATED WRR.
- BUTTY TO DECK AND ANTER. ADJOINING EXIST. ROOF.

P.C. ALUMINIUM WINDOWS
- REFER SCHEDULE E
- EX 25mm FACINGS TO MATCH EXIST

NORTH



EAST

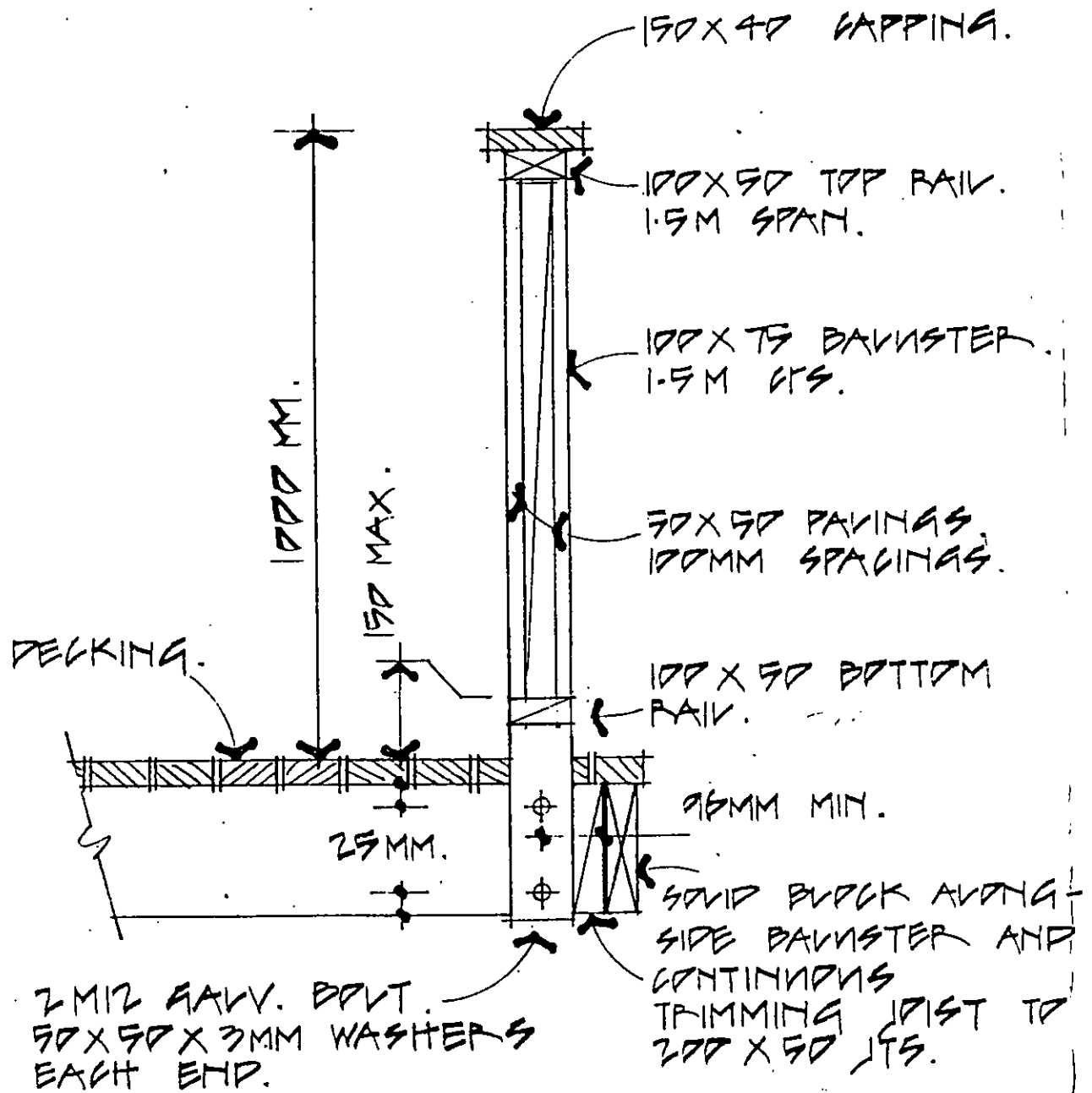


1100 ELEVATIONS

PROPOSED UPPER LEVEL ADDITION

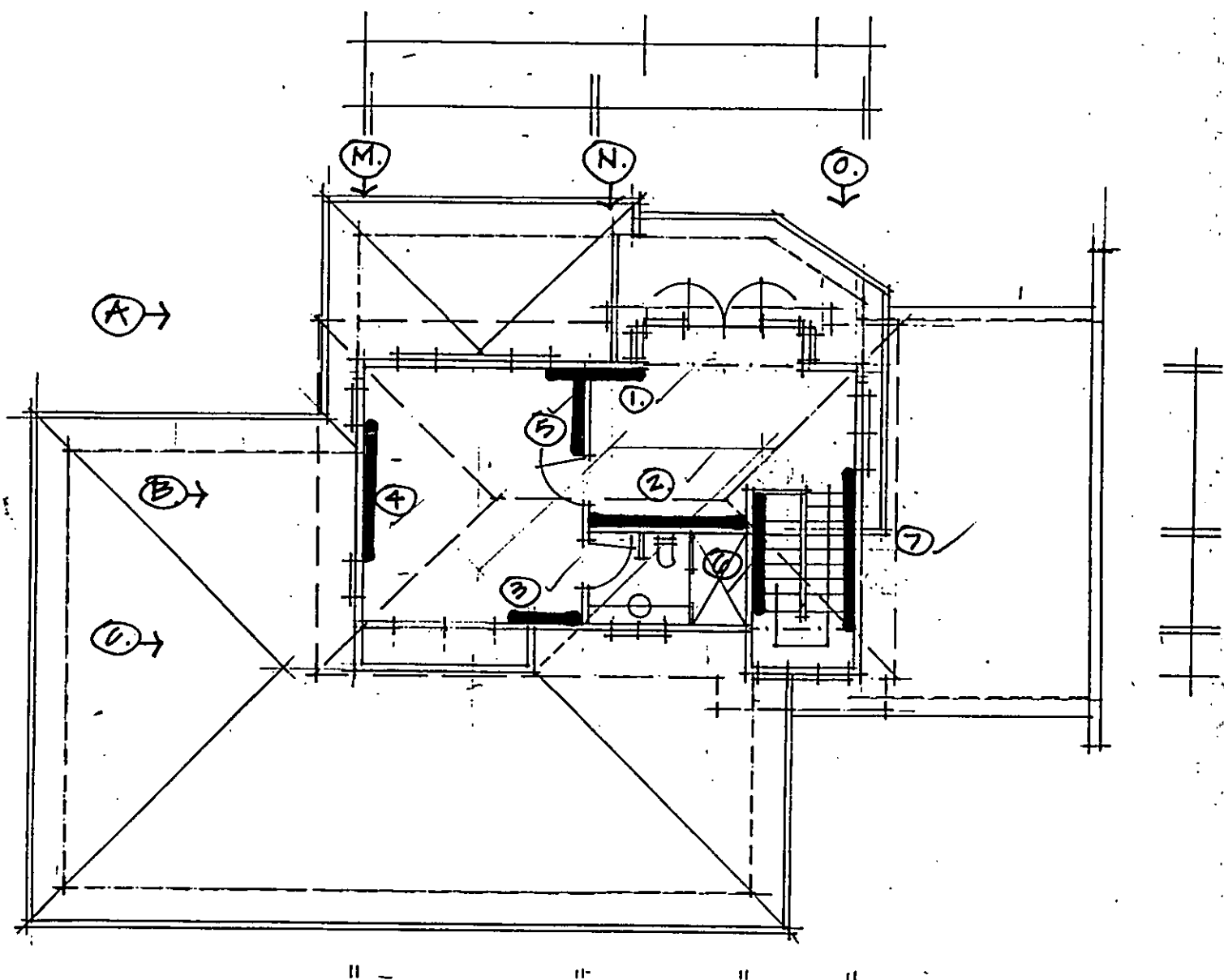
L & J RICHARDS

173 MANGORE RD - NEW PLYMOUTH



NOTE : ALL TIMBERS H3.
ALL FIXINGS GALV, AND IN ACCORDANCE
B.I.A. B1/AS2

BALUSTRADE DETAIL



1:100 Upper Level Bracing Layout.

Proposed Upper Level Additions.
 V. & J. Richards @ 173 Mangrove Road.
 N.P.

WINDOW - VINTEL SCHEDULE.

V. & J. Richards @ 173 Mangrove Rd - N.P.

W.No.	H. X W. nom. o/a Jambes.	Descriptions.	Mil. Vintel vsgd.
W.1.	1200 x 1300.		2/125 x 50
W.2.	1800 x 1400.		2/125 x 50
W.3.	900 x 1000.	obscure glass.	2/125 x 50
W.4/5.	1000 x 600.		2/100 x 50
W.6.	1000 x 2400.		2/150 x 50
W.7/9.	1980 x 450.		2/100 x 50
W.8.	1980 x 2000	f/dvs & sidelights.	2/150 x 50.

GENERAL NOTES :

- All P.C. Aluminium Joinery.
- Stick-on Glazing Bar to match existing.
- Pine Jambes, Paint Quality, Architects by owners.

- INTERIOR DOORS: (upper level.)

- Hollow core, flush panel, Paint Quality.

New upper floor additions.

Check under floor bracing.

wind press = 0.44 kPa

wind load on residence.

$$N-S = 1.3 \times 0.44 \times \{ (8.2 \times 6.2) + (4.8 \times 4) \}$$

$$= 40 \text{ KN}$$

$$E-W = 1.3 \times 0.44 \times \{ (6.5 \times 5.6) + (5 \times 4.5) \}$$

$$= 34 \text{ KN}$$

The ground floor is connected to several conc. slabs.

Assume 60% of lateral load is taken by slabs & the balance will be taken by timber piles.

$$\text{Load taken by timber piles} = 40 \times 0.4$$

$$= 16 \text{ KN}$$

Assume 4 piles as shown.

$$\text{Load / pile} = 4 \text{ KN}$$

Ht. of pile above GL = 0.8 m.

SHEET NO

2

FILE NO

3907/113

CALCS BY

WV

JOB NAME

Richards.
173 Mangorei Rd

Tse

TSE TARANAKI & ASSOCIATES LIMITED

ARCHITECTS-ENGINEERS

INTERIOR DESIGNERS - PROJECT MANAGERS

DATE

4/99

Aries Print - 5554

$$BM = 4 \times 0.8 \text{ ~~KNm~~} = 3.2 \text{ KNm.}$$

Assume round poles.

$$\frac{\pi d^3}{32} \times 10 \approx 3.2 \times 10^3.$$

$$d = 14.8 \text{ cm.}$$

$$= 148 \text{ mm.}$$

depth of emb.

$$\phi = 100 \text{ KPa}$$

$$b = 0.3 \text{ m}$$

$$= \sqrt[3]{\frac{12M}{\phi b}}$$

$$= \sqrt[3]{\frac{12 \times 3.2}{100 \times 0.3}}$$

$$= 1.1 \text{ m.}$$

Sug. $\phi 300 \times 1.2$ deep.4 / $\phi 150$ pole.

V. & J. Richards @ 173 Mangrove Rd.
Lower of two storey Bracing.

Please Photocopy

Wall Bracing Calculation Sheet B

Along

Wall or Bracing Line		Bracing Elements Provided			Wind		Earthquake	
1	2	3	4	5	6 W	7 W	6 E	7 E
Line Label	Minimum BUs Required	Bracing Element No.	Bracing Type	Length Element (m) L	Rating BU/m W	BUs Achieved (BU/m x L) W	Rating BU/m E	BUs Achieved (BU/m x L) E
A	120	1	GIB 1	2.8			50	140
B	70	2	BR 4	1.2			85	102
		3	GIB 3	1.2			60	72
C	70	4	GIB 3	3.3			60	198
		5	BR 5	1.8			85	153
		6	BR 4	0.9			85	76.5
D	110	7	BR 5	1.4			85	119
		8	GIB 3	1.4			60	108
		9	GIB 1	3.3			50	165
E								

Totals Achieved		W		E	1173.5
From Sheet A	Totals Required	W	1060	E	1088
Wreq/Ereq =		0.97			

*If Wreq/Ereq is 1 or less complete E column only
If Wreq/Ereq is 1.5 or more complete W column only
Otherwise complete both W and E

Across

Wall or Bracing Line		Bracing Elements Provided			Wind		Earthquake	
1	2	3	4	5	6 W	7 W	6 E	7 E
Line Label	Minimum BUs Required	Bracing Element No.	Bracing Type	Length Element (m) L	Rating BU/m W	BUs Achieved (BU/m x L) W	Rating BU/m E	BUs Achieved (BU/m x L) E
M	100	10	GIB 1	2.2	55	121	50	110
N	100	11	BR 5	2.0	115	230	85	170
		12	GIB 3	2.2	65	143	60	132
O	70	13	GIB 3	1.8	65	117	60	108
P	100	14	GIB 3	4.4	65	286	60	264
		15	GIB 3	1.0	65	65	60	60
Q	100	16	GIB 3	2.0	65	130	60	120
		17	GIB 1	2.4	75	180	90	216
		18	7	6.0	100	600	100	600

Totals Achieved		W	1511	E	1120
From Sheet A	Totals Required	W	1509.8	E	1088
Wreq/Ereq =		1.38			

Wall Bracing Calculation Sheet A

Job Details

box 1

Name K. & J. Richards.

Street and Number 173 Mangrove Rd.

Lot and DP Number Lot 2. D.P. 11303

City/Town/District New Plymouth.

Location of Storey: single/upper of two lower of two

Building height to apex 6.6 m Roof weight light heavy

Roof height above eaves 1.5 m Cladding weight light heavy

Stud height 2.4 m Room in roof space yn

Average roof pitch 17°

Building length BL = 16.7 m Gross Building Plan Area, GPA = 130 m²

Building width BW = 10.0 m

Note: When the average roof pitch is over 25 degrees, use the eaves length and width to determine BL and BW.

Note: For heavy roofs use the roof plan at eaves level to determine GPA.

Wind Zone

box 2

Region: R1 0 ✓ Terrain: Inland 0 ✓ Exposure: Sheltered 0 ✓ Topography: Gentle 0 ✓

R2 1 ✓ Coastal 1 ✓ Exposed 1 ✓ Moderate 1 ✓ Extreme 3 ✓

Total points 1

Wind zone: ✓ Low (0) ✓ Very high (3)
✓ Medium (1) ✓ Specific Design (4)
✓ High (2)

Earthquake zone

box 3

From figure EQ1 select Earthquake Zone: (A) B C

BU's required Wind

box 4

From Table W1A/W1B

W along = BU's/m

W across = BU's/m

Total wind load,

W ALONG:

W along x BW = 1000 BU's

W ACROSS

W across x BL = 1509.8 BU's

BU's required Earthquake

box 5

From Table EQ1

E = 8.0 BU's/m²

Note: For a room in the roof space use E+1

Total earthquake load,

EQ ALONG and EQ ACROSS:

E x GPA BU's = 1088 BU's

BU's Across : (4.8m + 3.9m) 8.7m single storey @ 54 BU's = 469.8) 1509.8 BU's
 8.0m lower of two storey @ 130 BU's = 1040.) Across.

BU's Along : (2.0 + 3.5m) 5.5m single storey @ 64 BU's = 352.) 1000 BU's
 5.094m lower of two storey @ 139 BU's = 708) Along.

Please Photocopy

Wall Bracing Calculation Sheet A

Job Details

box 1

Name V. & J. Richards.
Street and Number 173 Mangrove Rd.
Lot and DP Number lot 2 D.P. 11303
City/Town/District N.P.
Location of Storey: single/upper of two lower of two
Building height to apex 6.6 m Roof weight light heavy
Roof height above eaves 1.1 m Cladding weight light heavy
Stud height 2.4 m Room in roof space Y/N
Average roof pitch 17°
Building length BL = 8062 m Gross Building
Building width BW = 5094 m Plan Area, 404 m²
GPA = 404 m²

Note: When the average roof pitch is over 25 degrees, use the eaves length and width to determine BL and BW.

Note: For heavy roofs use the roof plan at eaves level to determine GPA.

Wind Zone

box 2

Region: R1 0 Inland 0 ☒ Exposure: Sheltered 0 ☒ Topography: Gentle 0 ☒
R2 1 ☒ Coastal 1 ☐ Exposed 1 ☐ Moderate 1 ☐
Extreme 3 ☐
Total points 1
Wind zone: ☐ Low (0) ☐ Very high (3)
☐ Medium (1) ☐ Specific Design (4)
☒ High (2)

Earthquake zone

box 3

From figure EQ1 select Earthquake Zone:

A

B

C

BU's required Wind

box 4

From Table W1A/W1B
W along = 64 BU's/m
W across = 54 BU's/m
Total wind load,
W ALONG:
W along x BW = 704 BU's
W ACROSS
W across x BL = 435 BU's

BU's required Earthquake

box 5

From Table EQ1
E = 4.0 BU's/m²
Note: For a room in the roof space use E+1
Total earthquake load,
EQ ALONG and EQ ACROSS:
E x GPA BU's = 161.6 BU's

V. & J. Richards @ 173 Mangrove Rd - N.P.
Upper level bracing.

Please Photocopy

Wall Bracing Calculation Sheet B

Along

Wall or Bracing Line		Bracing Elements Provided			Wind		Earthquake	
1	2	3	4	5	6 W	7 W	6 E	7 E
Line Label	Minimum BUs Required	Bracing Element No.	Bracing Type	Length Element (m) L	Rating BU/m W	BUs Achieved (BU/m x L) W	Rating BU/m E	BUs Achieved (BU/m x L) E
A	100	1 ✓	BR5	1.4	115	161		
B	70	2 ✓	GR1	2.4	75	180		
C	100	3 ✓	BR4	1.2	100	120		
D								
E								

Totals Achieved		W	461	E	
From Sheet A	Totals Required	W	364	E	161.0
Wreq/Ereq =			2.2		

*If Wreq/Ereq is 1 or less complete E column only
If Wreq/Ereq is 1.5 or more complete W column only
Otherwise complete both W and E

Across

Wall or Bracing Line		Bracing Elements Provided			Wind		Earthquake	
1	2	3	4	5	6 W	7 W	6 E	7 E
Line Label	Minimum BUs Required	Bracing Element No.	Bracing Type	Length Element (m) L	Rating BU/m W	BUs Achieved (BU/m x L) W	Rating BU/m E	BUs Achieved (BU/m x L) E
M	100	4 ✓	GR1	2.2	75	121		
N	70	5 ✓	GR2	1.4	65	91		
O	100	6 ✓	GR1	1.8	75	99		
P		7 ✓	GR1	2.4	75	180		
Q								

Totals Achieved		W	491	E	
From Sheet A	Totals Required	W	435	E	161.0
Wreq/Ereq =			2.6		

4.2.3

Support of loadbearing walls above ground floor level

4.2.3.1

Loadbearing walls supported at floor level which are at right angles to the line of floor joists shall be located not more than 200 mm, centre to centre, from a bearer or subfloor loadbearing wall (see fig. 4.2).

4.2.3.2

Loadbearing walls supported at floor level which are parallel to the line of floor joists, such floor joists shall comply with 5.1.3 and the bearers supporting such joists shall be supported by vertical members such as piles or jack studs within 200 mm, centre to centre, of the loadbearing wall (see fig. 4.3).

4.2.3.3

Bearers landing on lintels exceeding 2.2 m span shall not be placed more than 200 mm from the supporting trimmer stud.

4.2.4

Bearers

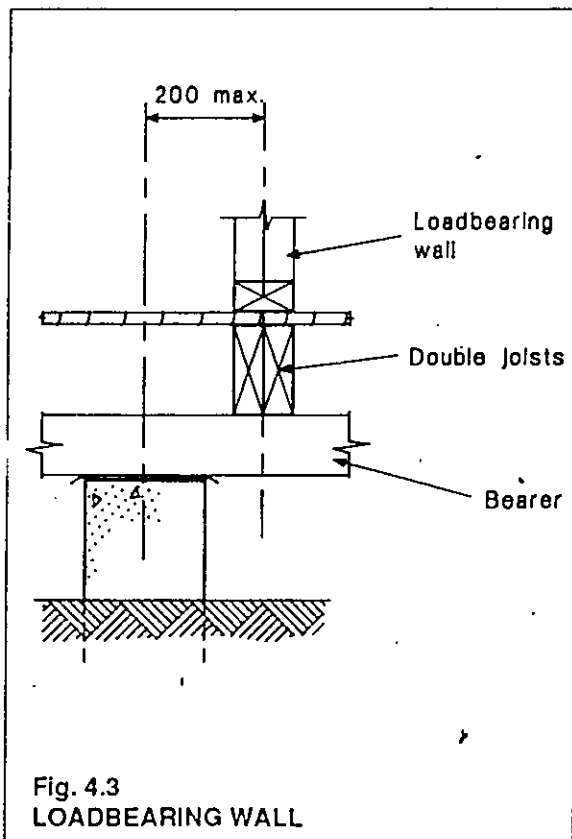
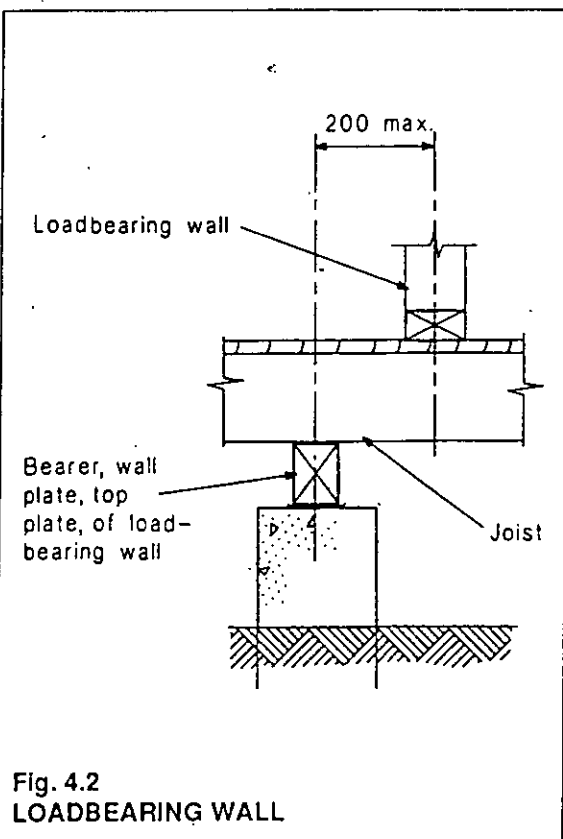
4.2.4.1

Bearers shall be of the dimensions given by table 4.2 except as provided by 4.2.4.2 and 4.2.4.3.

Table 4.2**BEARERS**

1.5 kPa floor load

Maximum span of bearer continuous over two or more spans	Maximum span of joists	Bearer size
m	m	mm x mm
1.3	1.85	100 x 75
	2.50	100 x 100
	3.00	125 x 75
	4.05	125 x 100
	4.35	150 x 75
	5.95	150 x 100 or 200 x 75
1.65	1.85	125 x 75
	2.50	125 x 100
	2.70	150 x 75
	3.70	150 x 100
	4.90	200 x 75
2.0	1.85	150 x 75
	2.50	150 x 100
	3.35	200 x 75



No. 173 Sec. _____ Lot 2 D.P. 11363
Address Mangorei Road

DRAINAGE AND PLUMBING REGISTER

OWNER _____
ADDRESS _____
BUILDER _____
PLUMBER Ian Garner.
DRAINLAYER _____

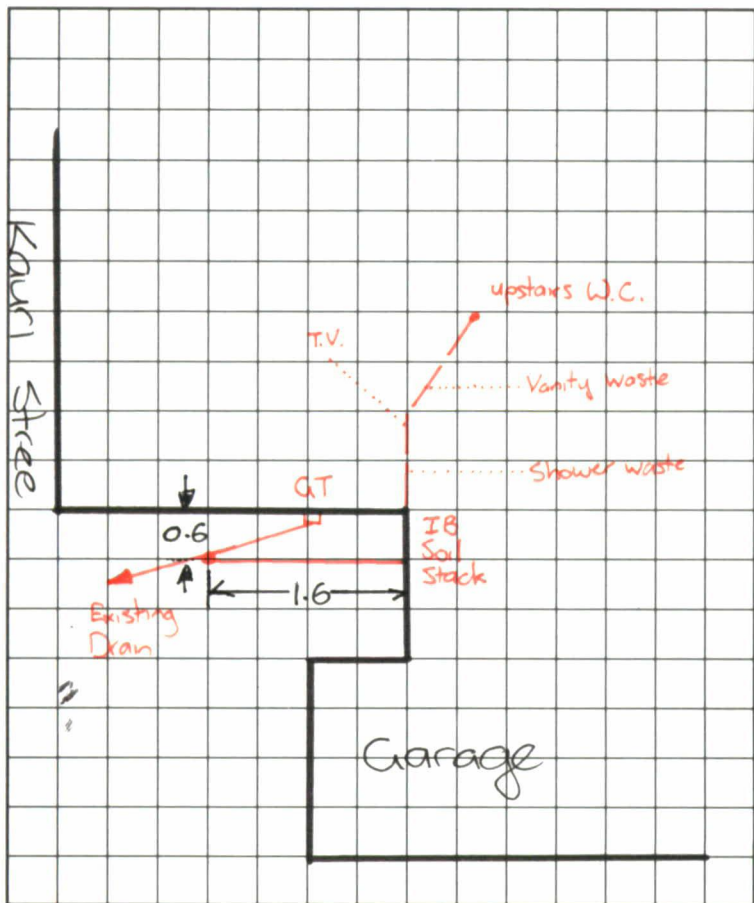
CONSENT No. BC 21557
P/LINE _____
PLUMBING _____
DRAINAGE _____
FINAL _____

NATURE OF WORK Alterations

DRAIN SATISFACTORY / 8 / 99 PLUMBING SATISFACTORY / / /

FALL AND DESCRIPTION _____

DRAINAGE PLAN



No. 173 Sec. _____ Lot 3 D.P. 6480

Address MANGOREI RD.

DRAINAGE AND PLUMBING REGISTER

OWNER J. M. HAIR
ADDRESS 173. MANGOREI RD
BUILDER _____
PLUMBER _____
DRAINLAYER J. PIPE

PERMITS

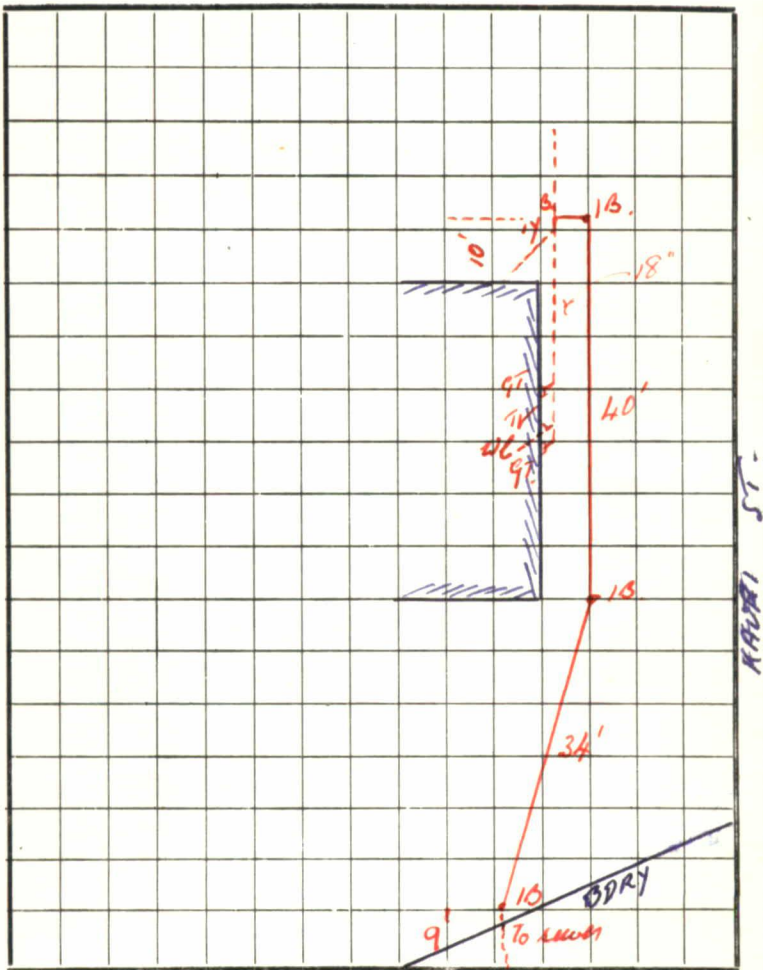
PLUMBING Swampy £14
DRAINAGE 10/-
VALUE £30.

NATURE OF WORK CONNECT DRAINS TO SEWER
VICE SEPTIC TANK.

DRAIN TESTED 11 / 9 / 63 PLUMBING PASSED 11 / 9 / 63

FALL AND DESCRIPTION Normal - drain turned to
connect to sewer in Mangorei Rd
W. Mackenzie
Inspector.

DRAINAGE PLAN SCALE



FRONTAGE

173. MANGOREI RD

AVERY PRESS N.P.—70641

12546/12545

15 JAN 1996

SEE AMENDMENT

OFFICE COPY

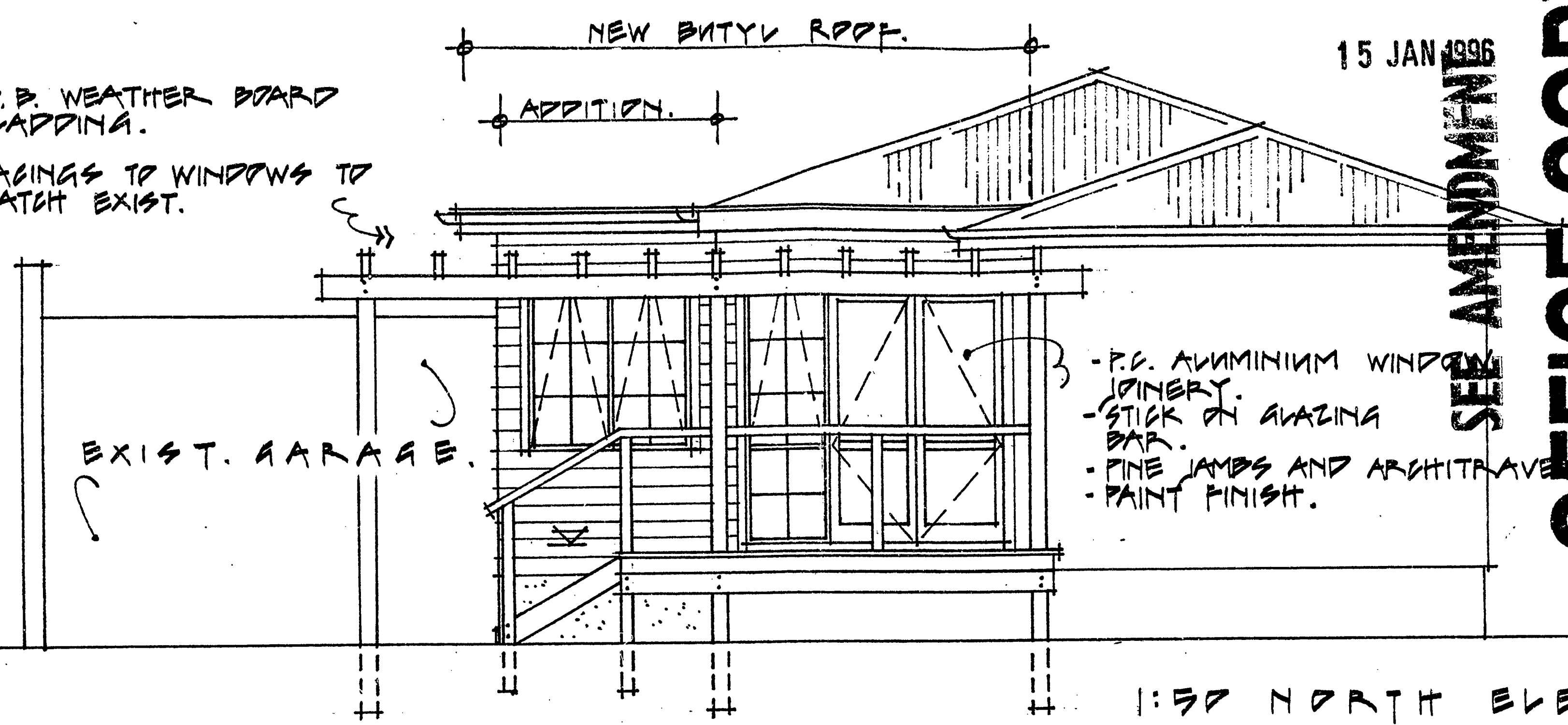
PLANS AND SPECIFICATIONS APPROVED FOR TYPE, USE, SITING, COVERAGE AND CONSTRUCTION, AS IN ACCORDANCE WITH ALL RELEVANT ACTS REGULATIONS AND BY-LAWS ADMINISTERED BY THE NEW PLYMOUTH DISTRICT COUNCIL.

DATE 29.1.96

APPROVED: THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF THE NEW PLYMOUTH DISTRICT COUNCIL.

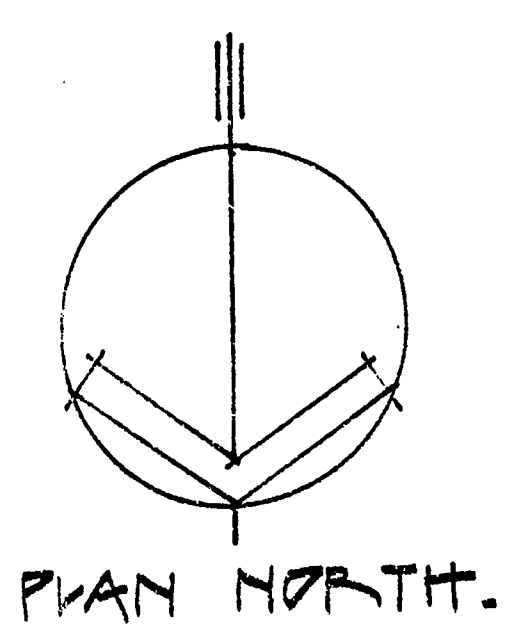
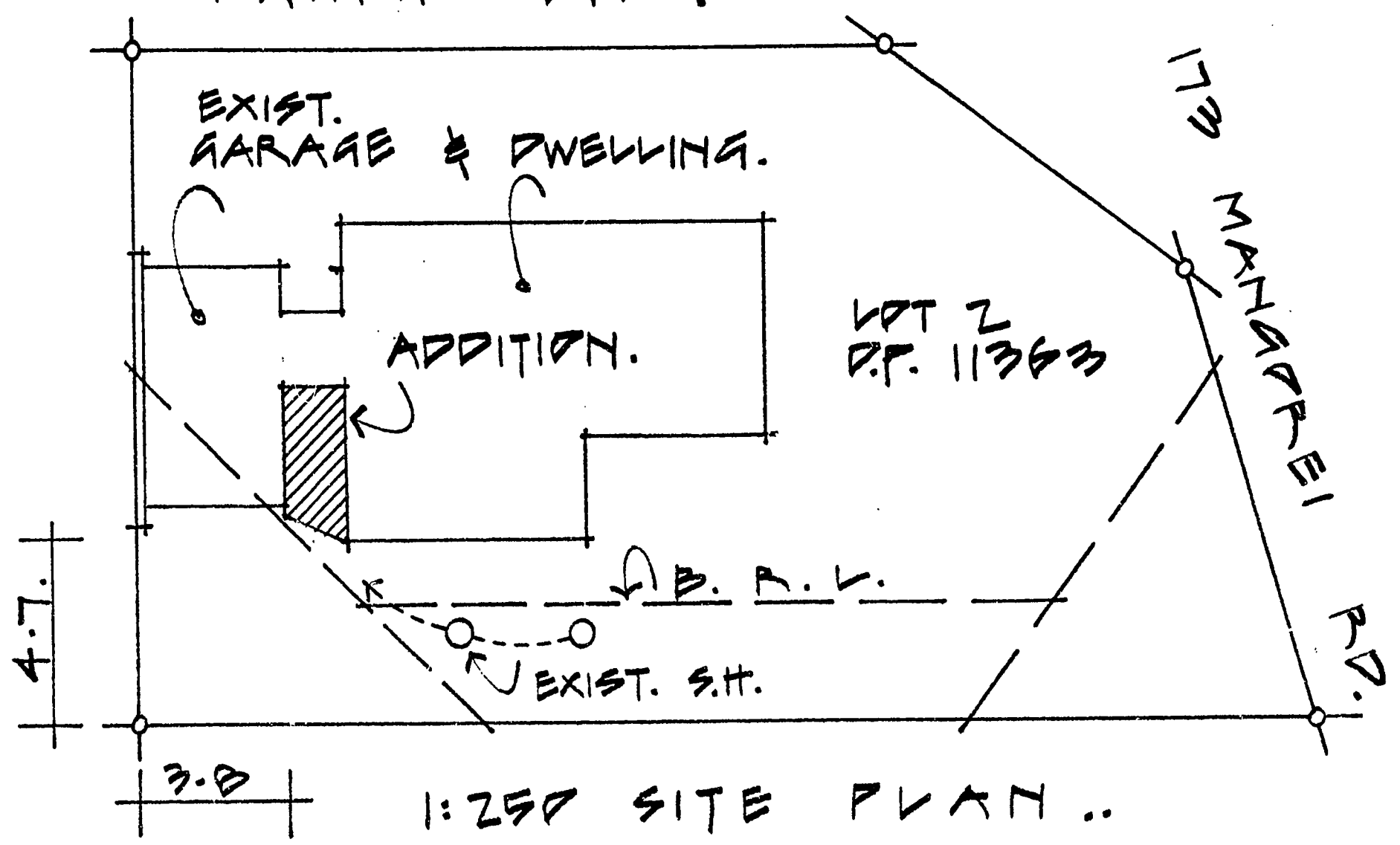
6

- D.B. WEATHER BOARD CLADDING.
- FACINGS TO WINDOWS TO MATCH EXIST.



- P.C. ALUMINIUM WINDOW JOINERY.
- STICK ON GLAZING BAR.
- PINE JAMBS AND ARCHITRAVE.
- PAINT FINISH.

KANRI STR.



GENERAL NOTES:

- COMPLY WITH N.Z.S. 3604:1990 AND RELEVANT N.Z.S. REQUIREMENTS.
- CHECK DRAWINGS PRIOR TO COMMENCING ANY WORKS.
- IF IN DOUBT, ASK FIRST.

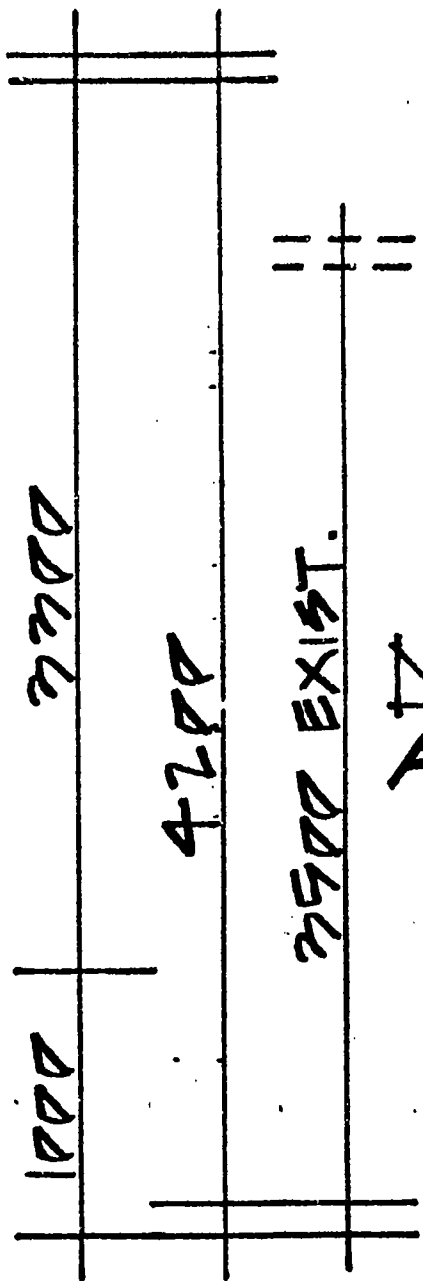
MIKE JOHNS DESIGNS : 7535493

SHT 1 OF 2

345/173

PROPOSED ADDITIONS OVER EXISTING PECK.
L. & J. RICHARDS - 173 MANGOREI RD.
NEW PLYMOUTH.

ADDITION OVER EXISTING DECK.



G A R A G E.

SOFFIT TO NEW BUTYL ROOF.

FRAME OFF EXISTING GARAGE WALLS TO NEW STND HEIGHT.

NEW AIR-LINE ENTIRE WALL TO DINING RM.

FRAME UP EXISTING WINDOW.

NEW FLOOR OVER EXISTING DECK.

KITCHEN.

2/200X50 BEAM IN ROOF SPACE.

REMOVE WALLS AND EXIST. LEAN-TO ROOF OVER.

OUT BACK EXIST. SOFFIT.

DINING RM.

LEAN TO.

STEPS.

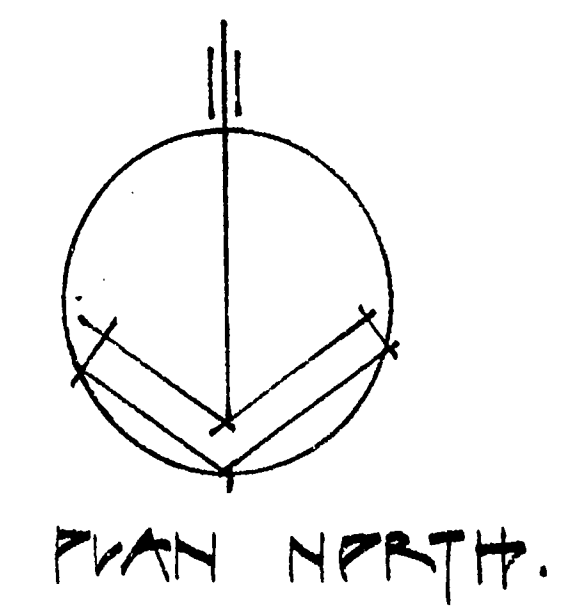
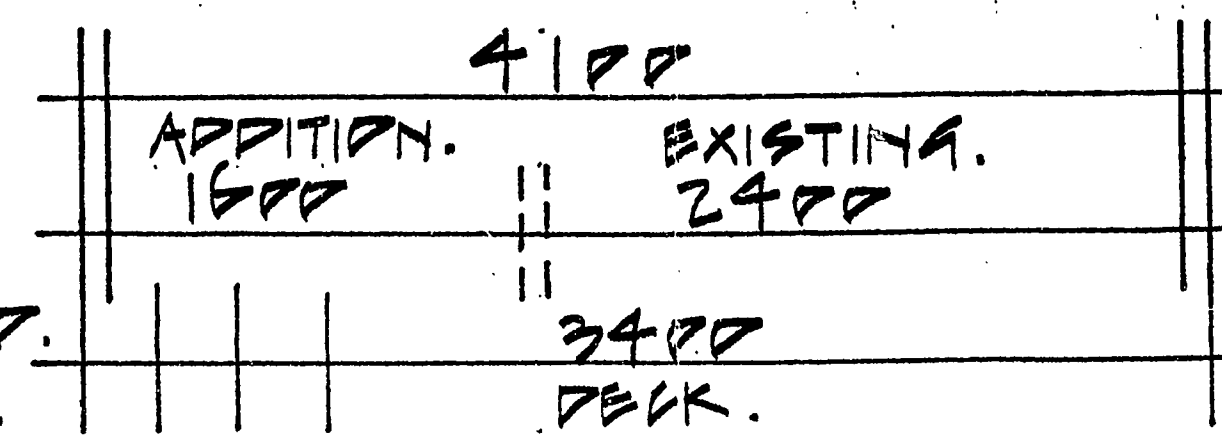
900 DECK.

1:50 FLOOR PLAN.

ADDITION : 6.24 M²

- EXIST. WALLS.
- WALLS REMOVED.
- NEW WALLS.

3X300. STEPS.



SHT. 2 OF 3.

MIKE JAHNS DESIGNS : 7585493.

RICHARDS ADDITIONS - 173 MANGOREI RD.

NEW ROOF: (PROVIDE GUARANTEE.)

- REMOVE EXIST. CUT BACK SOFFITS.
- 1.5MM BUTYL ON 17.5MM GPD PLYWOOD.
- FURRING STRIPS ON
- EX 200 X 50 RAFTERS @ 600 C/S.

- EX 100 X 50 FRAME OFF EXISTING GARAGE.
- MATCH EXIST. CLAPPING.
- FLASH ONTO ROOF.

NEW FLOOR:

- 20MM PARTICLE BOARD.
- INSULATION OVER EX 50MM PACKERS OVER EXISTING DECK.
- @ 600 C/S.

G A R A G E .

GIB. LINE WALLS AND CEILING AS REQUIRED.

PINING.

CLAPPING.

EXIST. DECK / SUB FLOOR.

R.I.B BATTES TO NEW ROOF & EXTERIOR WALLS.

SOFFIT:

- 150 X 40 FASCIA
- HARDIPLEX LININGS.
- PVC GUTTERS TO MATCH WHERE REQUIRED.

PERGOLA: (SAWN PINE.)

- 150 X 50 RAFTERS @ 600 NOM.
- 200 X 50 BEAM, 2M12 GALV. BOLTS.
- 100 X 75 H4 POSTS.

DECK / BALUSTRADE.

- EX 150 X 50 CAP, 100 X 50 POSTS
- INFILL PANELS BY OWNERS.
- 100 X 40 PINE DECKING
- 100 X 50 JOISTS @ 600 C/S
- 2/150 X 50 BEAMER, 2M12 GALV. BOLT. (2.4M SPAN MAX.)

CONC. PAD.

- 2/200 X 50 BEAM WITHIN CEILING SPACE.
- NAIL-ON PLATE CONNECT EXISTING RAFTERS & CEILING JOISTS.

CUT BACK SOFFITS. REMOVE WALL.

KITCHEN.

DINING.

EXIST. G.V.V.

1:50 A.A.

1:50 B.B.

SHT 7. OF 7.

AMENDMENT

- B.B. WEATHER BOARD CLADDING.

- FACINGS TO WINDOWS TO MATCH EXIST.

NEW BUTYL ROOF.

ADDITION.

EXIST. GARAGE.

- P.C. ALUMINIUM WINDOW JOINERY.
- STICK ON GLAZING BAR.
- FINE JAMBS AND ARCHITRAVES
- PAINT FINISH

OFFICE COPY

PLANS AND SPECIFICATIONS APPROVED FOR TYPE, USE, SITING, COVERAGE AND CONSTRUCTION, AS IN ACCORDANCE WITH ALL RELEVANT ACTS REGULATIONS AND BY-LAWS ADMINISTERED BY THE NEW PLYMOUTH DISTRICT COUNCIL.

1:50 NORTH ELEVATION.

APPROVED:

THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF THE NEW PLYMOUTH DISTRICT COUNCIL.

TANAPIE FOUNDATION TO DECK & PERGOLA.

REV: A 26-1-96.

KARU STR.

EXIST. GARAGE & DWELLING.

ADDITION.

VOT 2
D.P. 11363

B.B. R.V.

EXIST. S.H.

1:250 SITE PLAN..

PLAN NORTH.

GENERAL NOTES:

- COMPLY WITH N.Z.S. 3604:1990 AND RELEVANT N.Z.S. REQUIREMENTS.
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- IF IN DOUBT, ASK FIRST.

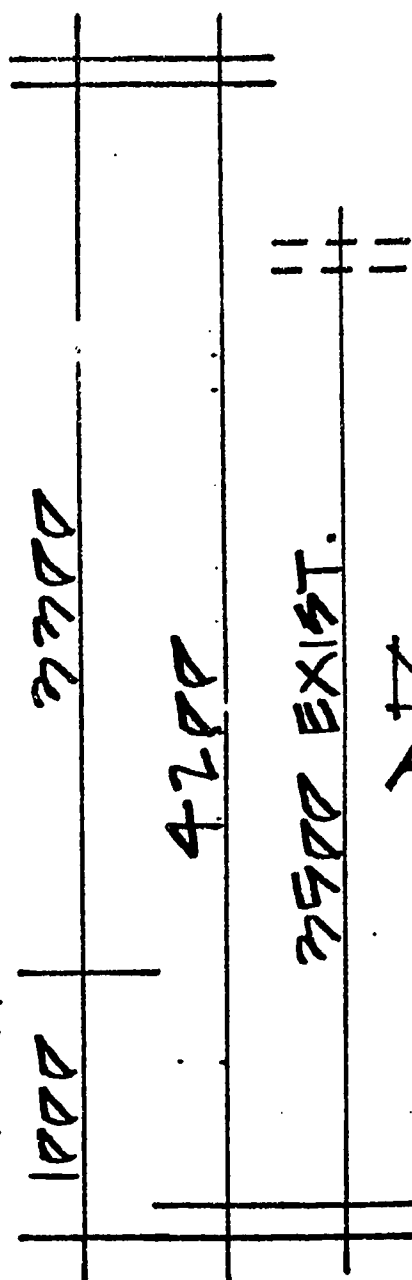
MIKE JOHNS DESIGNS : 7505493

SHT 1 OF 2.

PROPOSED ADDITIONS OVER EXISTING DECK.

L. & J. RICHARDS - 173 MANGOREI RD.
NEW PLYMOUTH.

ADDITION OVER EXISTING DECK.



G A R A G E

SPFFIT TO NEW ROOF.

FRAME OFF EXISTING GARAGE WALLS TO NEW STEP HEIGHT.

NEW GIB-LINE ENTIRE WALL TO DINING RM.

FRAME UP EXISTING WINDOW.

NEW FLOOR OVER EXISTING DECK.

2.4M GIB. 1.3

STEPS.

KITCHEN.

2/200X50 BEAM IN ROOF SPACE.

REMOVE WALLS AND EXIST. LEAN-TO ROOF OVER.

OUT BACK EXIST. SPFFIT.

DINING RM.

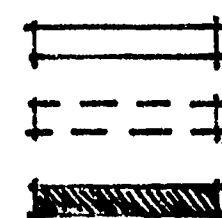
2/150X50 LINTELS.

LEAN TO R.

900 DECK.

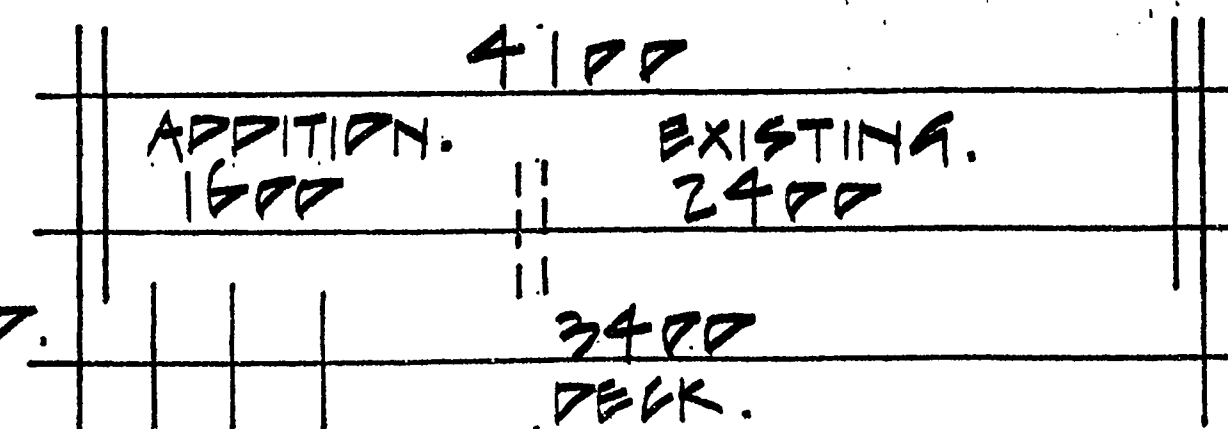
1:50 FLOOR PLAN.

ADDITION : 6.24 M²

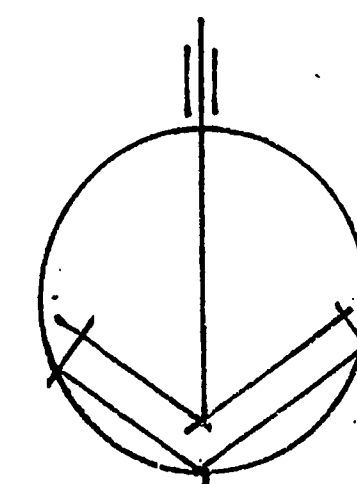


EXIST. WALLS.
WALLS REMOVED.
NEW WALLS.

3x300 STEPS.



WALL BRACING & LINTELS SHOWN. SEE ATTACHED DETAILS. REV. A 26.1.96.



PLAN NORTH.

SHT. 2 OF 3.

MIKE JOHNS DESIGNS : 7505493.

RICHARDS ADDITIONS - 173 MANGOREI RD.

NEW ROOF: (PROVIDE GUARANTEE.)

- REMOVE EXIST. GUT BACK SOFFITS.
- 1.5MM BUTYL ON 17.5MM GPD PLYWOOD.
- FURRING STRIPS ON
- EX 200 X 50 RAFTERS @ 600 CFS.

RE ROOF EXIST. DWELLING
WITH CORR. COLOUR
STEEL.

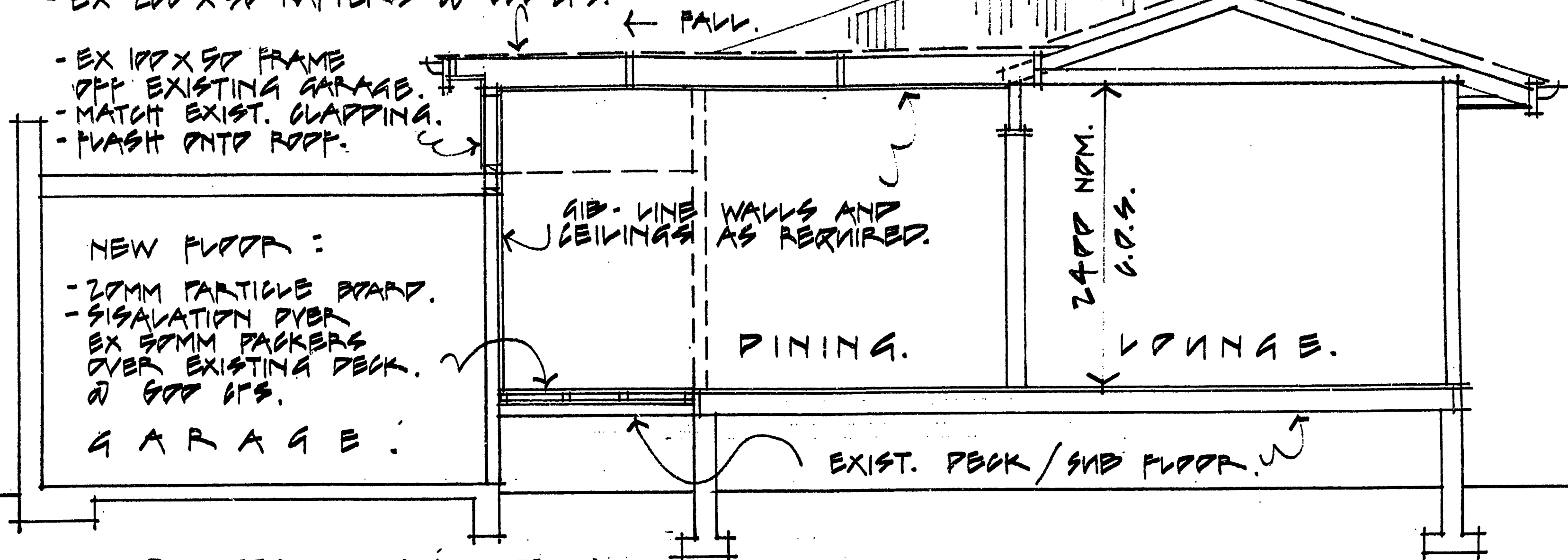
- EX 100 X 50 FRAME
OFF EXISTING GARAGE.
- MATCH EXIST. CLAPPING.
- FLASH ONTO ROOF.

NEW FLOOR:

- 20MM PARTICLE BOARD.
- INSULATION OVER
EX 50MM PACKERS
OVER EXISTING DECK.
@ 600 CFS.

GARAGE:

1:50 A.A.



RIB-BATTS TO NEW ROOF
& EXTERIOR WALLS.

SOFFIT:

- 150 X 40 FASCIA
- HARDIFLEX LININGS.
- PVC GUTTERS TO MATCH
WHERE REQUIRED.

- 2/200 X 50 BEAM WITHIN
CEILING SPACE.
- NAIL-ON PLATE CONNECT
EXISTING RAFTERS &
CEILING JOISTS.

GUT BACK SOFFITS.
REMOVE WALL.

KITCHEN.

DINING.

PERGOLA: (SAWN PINE.)

- 150 X 50 RAFTERS @ 600 NOM.
- 2/200 X 50 BEAM, 2M12 GALV. BOLTS.
(2.75M. SPAN MAX.)

100 X 40 DECKING

100 X 50 JOISTS @ 600 CFS.

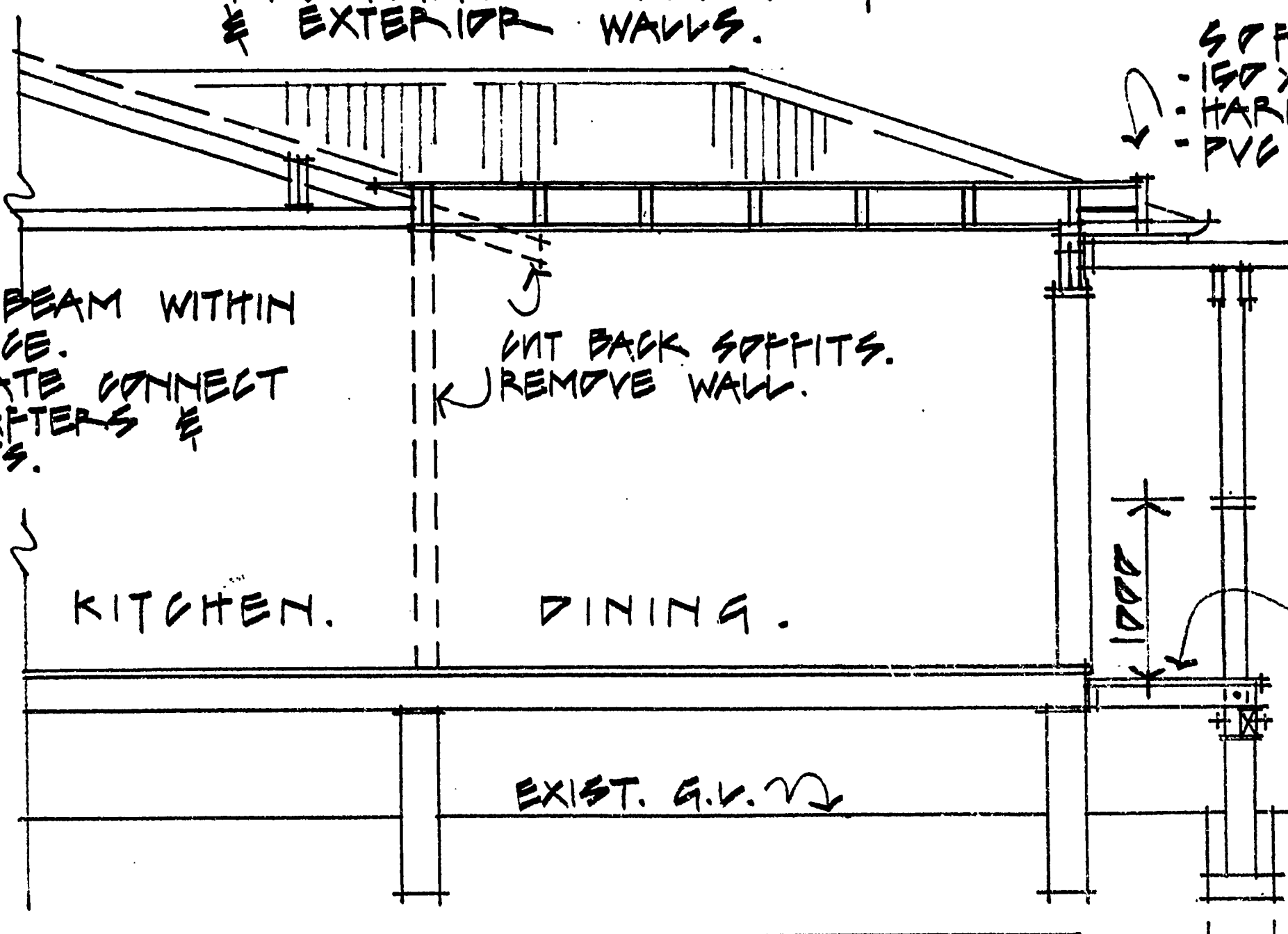
100 X 50 BALUSTRADE POSTS. / 150 X 50 CAP.

100 X 75 H4 POSTS. REBATE OVER BEARER
& SIT ON PILE. M12 GALV. BOLT THRU JOIST
AND BEARER. NAIL-ON PLATE TO PILE.

100 X 75 BEARER, 1.3M SPAN MAX.
125 X 125 TANAPILES.

1:50 B.B.

EXIST. G.V.



REV. A.
28.1.96.

RICHARDS ADDITIONS - 13 MANSFIELD RD.

4/11/96