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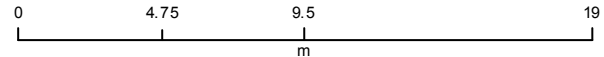
Council Records

These records were obtained in April 2023. NPDC is currently undergoing a review of the property search report content. As such the documentation provided by the NPDC may not be a complete full record. We suggest you get your own professional advice on the provided content and in fact any NPDC files for this property.



- Natural Source
- Treatment Plant
- Pumpstation
- Storage Unit
- Hydrant
- Manhole
- Alert Valve
- Air Valve
- Non-Return Valve
- Standard Valve
- Manifold Valve
- Backflow
- Meter
- Restricted Flow
- Wellup
- Inlet
- Outlet
- Soakhole
- End Point
- Node
- Misc Point
- Trunk
- Rise
- Main
- Lateral
- Open Drain
- Stream
- Overland Flow Path
- Misc Polygon
- Proposed Bund and Ponding Areas
- Storm Water Mgmt Plan

Yellow = Privately Owned
Grey = Out of Service/Closed
Stormwater
Water Supply
Waste Water



16mm 35mm

BUILDING FILE

Code No. 41 / 94^A

Subject DWL

No. Sheets 1

Permit No 3158

Date 13 MAY 1971

16 mm 35 mm

BUILDING FILE

Code No. 41/94^A

Subject DWL

No. Sheets 14

Permit No 3158

Date 13 May 1971

NEW PLYMOUTH CITY ENGINEERS DEPARTMENT

21/947

ESTIMATE FOR WATER CONNECTION

No. 11

Name of Project

Building for 6 Motors

Date

14.5.71

Address

2nd Regt Pl

Lot No.

2

Plan No.

D.P.

Area

Purpose of Supply: Domestic & Trade

☒ Type of Building

Dwelling

Fire

☒ (Dwelling, Flats, Offices, Factory, etc.)

New Subdivision

☒

Distance, Building to Main

130/13

Altitude of Building

170'

(City Datum)

Size of Connection requested

1 1/2"

ESTIMATED COST

Nil

REMARKS

Satisfactory Flow

This estimate is NOT a quotation and is subject to amendment when final plans are submitted.

10/6/71

J. A. G. G. G.

for City Engineer

NEW PLYMOUTH CITY COUNCIL

41/94A

FOR OFFICE USE: File No. 534 Check Sheet No. 3108
Receipt No. 1171 Sewer Sheet No. 146
Date of Receipt 13/5/71 Zone Residential

To the City Engineer Date May 19/5/71
APPLICATION FOR BUILDING PERMIT and/or services Lot No. 2 of Subdiv. 1
At (House No.) 746 Bay Rd NP D.P. 7987 4/1/74
For erection of New Residence Sec. No. 8 of Div. 1
OWNER: Mr. & Mrs. B. Watson ADDRESS: 746 Bay Rd
Proposed use: Private Residence
Foundation: Concrete & Blocks Walls: Timber Roof: Terra
AREA of existing buildings sq. ft.
AREA of existing accessory buildings sq. ft.
AREA of building to application 1196 sq. ft.

ESTIMATED FINISHED VALUE

Building (including roofing, downpipes, flashings, etc.) \$ 11500.00 \$ 40.00
Sanitary plumbing and drainage \$ 1060.00 \$ 2.00

STORMWATER CONNECTION:

Distance from left boundary 12.6' \$
Depth and size of service \$

SEWER CONNECTION:

Distance from left boundary Already in \$

WATER CONNECTION:

Distance from left boundary Already in \$

WATER (Building)

Distance from left boundary Already in \$

VEHICLE CROSSING: When required

Distance from left boundary \$

Type of footpath

For Seal \$

Type of crossing

\$

Removal of existing crossing

\$

DEPOSIT FOR DAMAGE TO FOOTPATH

\$

HOARDINGS

\$

INSPECTION of second-hand building or materials

\$

BUILDING RESEARCH LEVY

\$ 6.50

BUILDER

MERU MARTIN \$ 56.50

Starting date

Mon. 17th May 71 Finishing date Nov 71

NAME AND ADDRESS OF APPLICANT

M. L. MARTIN
746 Bay Rd.
Signature of Applicant M. L. Martin

SANITARY PLUMBING AND DRAINAGE APPLICATION

Signature of Registered Plumber

Signature of Registered Drainlayer

ESTIMATED FINISHED VALUE OF WORK

PLUMBING \$ 760.00

DRAINAGE \$ 300.00

\$ 1060.00

$27'0"$
 $\frac{13'8"}{27'0"} = 13'8"$
 $\frac{27'}{40'0"} = 13'8"$

height should be $6'2"$ not $5'2"$

4/19/94

basement should be 10×10 not 8×8
 with $4 \frac{1}{2}"$ walls

No ground basement in basement area

Retaining wall in basement?

u.b. supports $13'0" \times 11'0"$ equal 143 sq ft
 $\times 75 \text{ lbs}$
 $\frac{10725}{1081}$
 $\frac{2200}{8525}$
 $\frac{10225}{10225}$
 OK

lounge/brown supports $8'8" \times 12'6"$ = 108.35 sq ft
 $\frac{15 \text{ lb}}{5615 \text{ lb}}$
 $\frac{1615}{1015}$
 $\frac{1623.75 \text{ lbs.}}$

should be $8'5"$, $10'3"$, $9'6"$ (radiata)
 or $9'3"$ average

kitchen/dining brown supports $9'6" \times 10'6"$ plus $12'6" \times 5'$
 equals 105 sq ft
 $\frac{15 \text{ lb}}{1055 \text{ lb}}$
 $\frac{205}{3075 \text{ lbs.}}$

should be $9'5"$ or $10'4"$ (radiata)
 or $9'6"$ or $10'3"$ or $8'6"$ average

ceiling lowering? to middle of $38"$ space

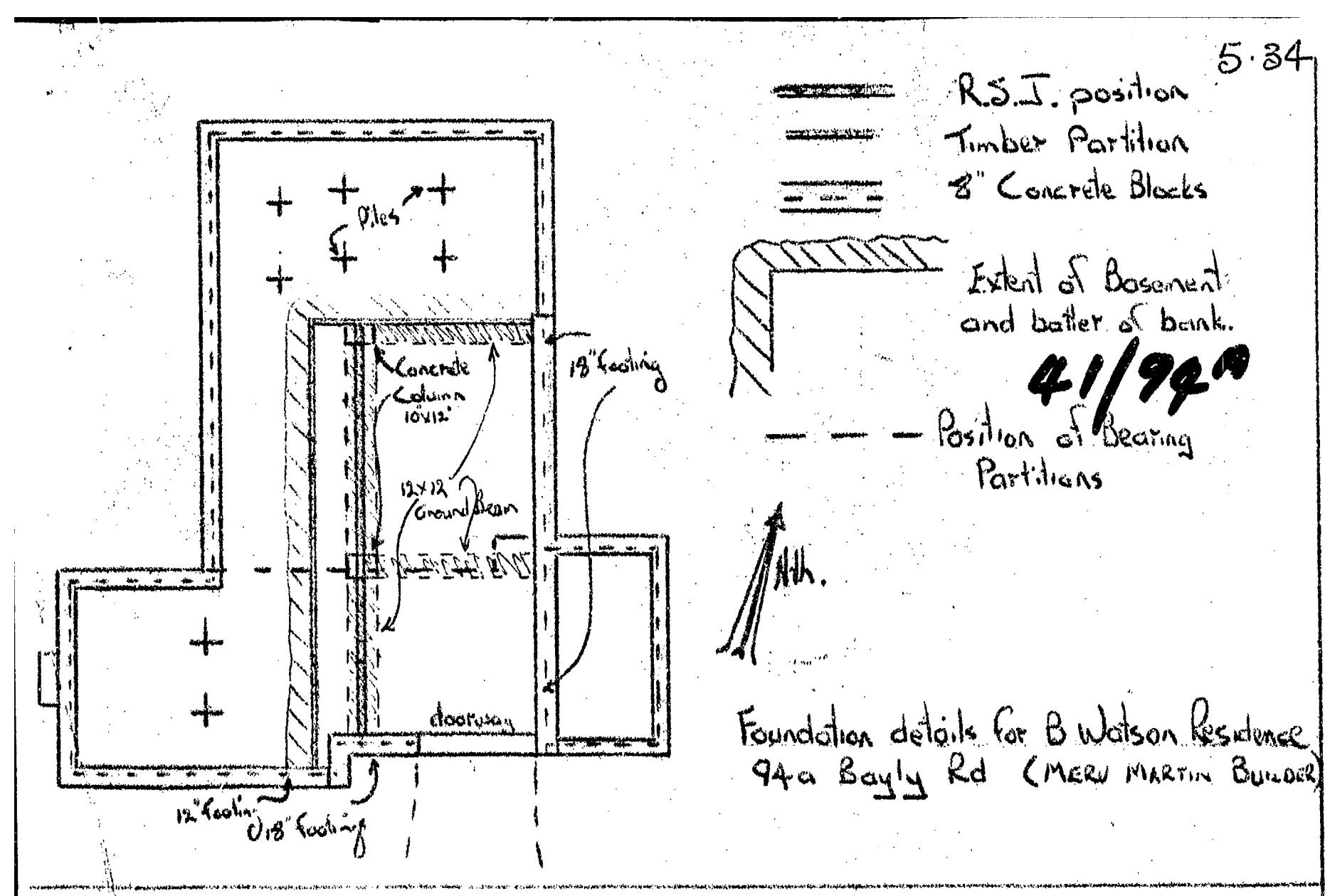
Garage door built - should be like this

Watson's Job. (HODENDA)

4/94"

Foundations As shown on foundation plan with ground beams being 12"x12" with 4@1" rods longitudinally and 3@1" strips to tie at 12" c/s. Pile takes near to ballast bank to be lower than on a 45° angle from base of batter.
Columns To be increased to 10"x12" with 1/2" rods vertically and strips at 12" c/s.
Lintel Basement entrance lintel to be 16" deep x 16" wide with 2@1" rods at top, 2@1" rods 7/8" down and 2@3/8" rods at bottom, all tied together with 1/2" strips at 12" c/s.
Exposed beam ceiling Beams to be 8"x4" Oregon in lieu of 8"x4" glulam. Rafter to be 6"x2" Borac pine. Red white sloping ceiling area to be laterally braced with 3x2 solid bracing on 45° angle from centre point of roof above Lgo-Bldg. - Dining wall intersection.

[illegible]



41/947
12 MAY 1971
5 34
SPECIFICATION

Of Labour and Materials to be used in the Construction of a residence at No. 94A Bayly Road for Mr. & Mrs. B. Watson
see addendum to spec

GENERAL

PROVISIONS: Unless stated otherwise all materials and Labour supplied by the Builder or sub-contractor concerned.

PRICE FLUCTUATIONS: The Owner shall pay builder and all sub-contractors and all suppliers of materials the necessary extra amount which may be required due to increase in wages (as approved by the Court of Arbitration) or materials. Similarly the builders and sub-contractors shall reduce their price due to reductions which may occur as above.

CONTINGENT: The builder shall allow the sum of \$400 for any contingency which may arise during construction.

SUB-CONTRACTORS TO VISIT SITE: Before tendering sub-contractors are advised to visit the site so as to ensure that nothing unforeseen due to irregularities to the above mentioned site is omitted from their contract price.

NOTICES AND PERMITS: Give all requisite notices to the Local Council authorities and obtain all licences, permits etc. The builder shall see to these, but sub-contractors to pay respective fees except in the case of Plumber.

INSURANCE: The builder shall take out a Builders Risk Policy to cover the said building during the construction of such, and also see that the amount of coverage be increased as the work proceeds. The builder shall also provide insurance coverage for all workmen he may employ during the period of construction.

PLANS & SPECIFICATIONS: All work to comply to these and for this purpose one set shall be on the site permanently.

SPECIAL MENTION: Where details have been omitted from plans and specifications the said phase of work to be carried out to match the rest of the said dwelling and to comply to N.Z.B.A. requirements.

LEVELS & MEASUREMENTS: Levels indicated on the plan are to be regarded as approximately correct, any doubt must be settled by the contractor concerned as to extra will be allowed under this heading. All written dimensions to take preference to scale.

QUALITY OF MATERIALS: All materials used to be strictly to specifications or if unavailable, alternate materials as agreed to by owner.

INSPECTIONS: All inspectors to be given notice when inspection is required and also full co-operation at times they themselves see fit to inspect various aspects of the work.

MATERIALS STORAGE: Materials, plant etc., stored on the site to be stored in such a way as to keep them dry and in perfect condition. Builder to provide temporary coverance.

STACKING TIMBER: All timber to be stacked in such a way to reduce warp and shrinkage to a minimum and out of direct rays of the sun where possible.

2.

41/94A

DATE OF SITE:

The site of the with crossings and adjoining properties liable to be covered to be builders responsibility. Any damage to be repaired satisfactorily.

APPROPRIATE OF THE CONTRACTOR:

Full co-operation with the sub-contractors to be given by the builder to ensure that the work is carried out to the satisfaction of the building department to be placed and any necessary footings to be carried out by builders.

PLANT AND MATERIALS:

At various stages of construction, rubbish to be removed to ensure pleasant safe working conditions. At completion of job, all debris, vegetation and accumulated rubbish to be removed from under the said dwelling, and chips, nails etc., from around the site.

MAINTENANCE:

Builder and sub-contractors to inspect and carry out the necessary adjustments required during a 30 days period commencing at date of completion. Any material found to have defects to be replaced free of charge.

PAYMENTS:

Payments in accordance with work done shall be made as per agreement up owner to the builder. 10% may be withheld until maintenance is satisfactory.

VARIATION:

Any variations in the contract to be confirmed in writing.

SITE VEGETATION:

Before commencement of building, vegetation to be removed from site, and earthwork done, P.C. sum allowed is \$70.00.

Builder

FOUNDATION:

After building being accurately levelled and set out square etc., pile holes and trenches for footings to be dug out level, flat and plumb. All footings dug down to solid clay to minimum depth of 18" below G.L.

STEELWORK:

All footings to walls to have three 1" rods placed along top and tied with starter rods at 2' 0" centres and extending 2' 0" into blocks. Lintel beams to have 2 - 1" rods if over 5' 0" in length.

CONCRETE:

No concrete to be poured until inspectors from the City Council have given approval.

POUR CONCRETE:

All foundation walls to be minimum of 1' 0" above ground level. Concrete throughout to be made up of 6 parts clean approved aggregate to 1 part fresh Portland Cement or suitable hydraulic cement, mixed with enough water to give a workable mix. Concrete to be well mixed and tamped, and left 2 days before boxing is removed.

POUR AND ROUGHEN:

Dig to solid clay for porch and step footings, and pour porch floors 4" thick reinforced. Steps to have 3" plaster and 1" tarmac.

FOUNDATIONS:

To be 8" thick on 12" x 8" footings up to basement floor level, thereafter to be 3" concrete blocks laid with 4" joints not reinforced every 20" with one vertical 1" rod. Along horizontal rods in 20" beams at 8' 0" and in lintel blocks.
Columns to have 18x18x8 reinforced footings.
Pile under piles carrying 9x9 joints to be 15x15x8.
Footings under basement to be 15x15.

TIMBER:

All timber used to be in strict compliance with the schedule found below. Drains in walls, studs, plates, ceiling joists and columns to be arranged to standard sizes. Timber used to be properly seasoned and when not heart is used, to be of southern treatment for borers etc. All doors, door frames, window frames, casings, mouldings and interior finishings to be planed or sanded to approval. N.B. All timber to be heart or treated.

CEILING JOISTS:

Strepers 4 x 3 Can. Pine
Joists to basement 2 x 2 Baltic Pine
Joists 6 x 2 Baltic Pine
Bottom and Ground plates 4 x 2 " "
Top plates 4 x 2 " "
Studs 4 x 2 " "
Studs to wardrobe etc. 3 x 2 " "
Beams 4 x 2 + 3 x 2 Baltic Pine
Ceiling Joists 4 x 2 " "
Carport divisions 4 x 2 + 5 x 2 Plywood etc.
Carport 4 x 2 + 5 x 2 " "
Batten short in 6 x 4 + 4 x 4 " "
Ceiling runners 6 x 4 (Battens) " "
Order Purline 4 x 2 (On edge) " "
Soffit struts 4 x 2 " "
Ridge board 3 x 4 " "
Valley joint 3 x 4 " "
Valley ceiling 6 x 4 " "
Purlins 3 x 2 " "
Soffit framing & drainage 3 x 4 " "
Lounge & Dining Room 8 x 4 Oregon
Flooring 12 x 6, 8 x 4 or 8 x 3 sheets of
Parquet Board.
Panels & Batten Board 6 x 41 dressed Tan.O.B.
Skirting - dressed lat. 6 x 4, 12 x 4 etc. Baltic Pine
Skirting 3 x 4 Bevelled edge Tan.O.B.
Architrave 2 x 4 Bevelled edge Tan. O.B.
Vertical Cornice 4 x 4 painted Tan. O.B. or clear
Treated Pine
Ceiling Cornice 2 x 4 Bevelled edge Tan. O.B.
or clear Treated Pine.

SKIRTINGS:

4 x 3 on edge closely strapped to plates. Spaced maximum of 4" lengthwise and 6ft. apart.

CEILING PLATES:

4 x 2 well secured down to foundation walls (at 4'0" maximum centres).

WALL JOISTS:

To be 6 x 2 at 15" max. centres except over basement area. Over basement to be 5 x 2 Baltic Pine at 15" max. centres. Supported as shown by 3 x 5 x 47lbs. S.C.C. with 3" reinforced columns at 14'0" centres.

FLOOR & ROOF PLATES:

4 x 2 except for wardrobes etc. Double drilled between studs for ventilation.

DOORS:

4 x 2 except for wardrobes etc. to be cut to give 5'0" between floor and ceiling joists.

WINDOWS:

This opening to 3'0" with 4 x 2, to 4'0" with 4 x 3, others to be 5 x 4 and 6 x 4. To be 5 x 4 where over 5'0" in length.

WALL BRACKETS:

3 rows with ventilation through each.

WALLS:

6 x 4 on 45 degree or as near as possible. Check into studs rectify. 4 x 4 may be used on internal walls.

41/74

CEILING JOISTS: 4 x 2 on edge at 16" centres and 45° right angles to exterior walls where possible.

CEILING BRACING: 4 braced 6 x 4 to all rooms with joist span over 8 ft.

CEILING BRACES: 3 x 4 to all sheet joints and extra rows where greater stiffening required in larger rooms. 3 x 4 to perimeter of sheets.

RAFTERS: 4 x 2 on edge supported by 4 x 2 underpurlin on edge and at every 8th pair by 4 x 2 struts to bearing partitions. Out sills over top plates. After 2" x 4 maximum centres. Rafters to be 5 x 2 over lounge, dining and kitchen.

RISE: 8 x 4 in long lengths braced at ends and raftered where joined.

CEILING JOISTS: 6 x 4 to alternate rafter pairs.

CEILING: 5 x 2 with maximum spacing of 2'6".

ROOFING: Box d eave type 1'6" overhang. Fibrolite lining and aluminium or 1/4" to joints. Lining to follow rafter line. 1" x 4" moulding to eaves and wall intersection.

VENTILATION: Where shown on plan fix 'fibroplank' or flat 1" fibrolite sheets. To be fixed to hangings with recommendations using screws behind fibroplank joints and at corners. Corner screws to be of galvanized iron. Fix building paper behind all fibrolite surfaces.

RAILS AND RAILS: To be 5 x 4 in long lengths and grooved to take fibrolite.

SCREENS: Framed 2 x 1" at. Tapers on order to all windows and door frames where necessary to make watertight.

FLOORING: To be of flooring grade plyboard 1" thick nailed at 6" centres on joints and 13" centres. To have solid bearing under all joints. To be pre-laid and nailed with galvanized floor brads.

INTERIORS: Between all concrete and timber surfaces place a 3 ply malthoid strip. Nail cut out for bolts and wire ties. Spare basement floor level to be below 1st.

WALL JOINTS: Set in concrete at 4'0" maximum centres, 8" x 2" bolts or 1" steel rods. Rods to be bent over 2" during framing.

WALL JOINTS: Gauged to 5/8" to save checking down. Bearing walls must be straight both ways before raftering joists. Nail with 2" x 4" nails at each rafter and lashed to be 1/2" and 1/2" to be 7' x 4". 5 x 2 joists to be over basement as in cross-section.

VENTILATION: Fix at 6'0" centres in concrete blocks, approved written and also drill 3/4" holes in top and bottom plates to provide ventilation for timbers. Intermediate designs may be drilled or notched as shown.

HEATING: In lounge test wall form opening to take firebox and chimney. Chimney to be constructed in Roman brick. Endroom to be double skin up to 4'0" level. Firebox to be constructed with firebricks and 1" iron back. Surround to be of sinarsa stone full width of lounge. 5'0" x 4'0" tiled hearth to be 2'10" x 4'0" x 1'0" tiled hearth to be 2'10" x 4'0" x 1'0".

41/194A

INSULATION: Where ceilings are sloping fix corrugated 'Gutta' for insulation.

CEILING: To be of longrun corrugated iron where over 12ft. in length, otherwise standard corrugated iron of 26 gauge and end laps not less than 8" and side laps of 12 corrugations. All laps to be pre-painted with Neoc-Mulium. Roof pitch of 8:10. Wall dorm with lead heads at every 2nd corrugation at ends and every 3rd or 4th at centres. Side ridging of galvanized iron with lead sliding moulded into corrugations. Barge mould to be galvanized iron. Under all roofing fix ceiling tightly stretched and then lay building paper.

RAILS: All exterior rails to be galvanized or approved other non-rust materials.

STEELT RAILS: As shown in elevations construct rails in 4 x 2 and 3 x 2 timbers and paint or stain finish to owners approval.

CORRO-LITE: Over to fix 3'x3" x 3'x3" x 4'x3" oak pit 6'x3" from each dormer and bulid to post a reinforced concrete slab over each. Between dormers and pit lay 3" field tiles and secure in place with concrete where required.

SHEDDING & ARCHITRAVE: Architrave to be of 2 x 4 bevelled section to match top 2" of State House Type 3 x 4 sectioning. Corners to be mitred and glass, for architraves, external corners in eaving to be mitred, internal to be square. Window architraves to be picture frame type (i.e. no sill board).

OPENINGS: Between kitchen and dining to be 3'x3" high with canvas top, open shelves at end with 4 drawers and 'burgwin' faced doors. Over cupboard to have 'burgwin' doors at each end and centre. Section of have sliding glass doors both sides. To south, wall to be floor to ceiling with 10 doors. 'Burgwin' faced and having a recess for an average size flag. Sink unit to have forward top, stainless steel, 3 'burgwin' doors and 3 drawers. Builder to supply over with detailed elevations.

FINISHES: Hardboard: Supply and fit 3/4" hardboard to ceilings of bathroom, W.C. and Laundry, 3/8" hardboard to walls of kitchen, bathroom, W.C. Laundry and Storage. H.V.C. Hardboard. All other wall linings to be of 1/2" alabaster board with galv. nail fixing and nails and joints finished over with plaster of paris. Ceilings to lounge and dining-kitchen to be of Pinex 4'x5" tiles. Panels fixed to 2 x 4 battens at 1/2" centres with battens to perimeters to be of 3 x 4 painted brogue planks are thick. Panels to finish 2" clear of walls and beams thus eliminating the need for cornices. Other ceilings to be plaster sheets fixed as for clance but with 3 x 4 battens to sheet painter pre-painted, distance between sheets to be 8".
=====
Upstate round bath to be 4'x4' high in 'Gerstone'. Shower walls in 'Gerstone'.

DOORS: Laundry exterior door to be 6'x6" x 2'6" top glazed with obscure glass. Front door to be exterior quality flush ply with 3 glazed panels to exterior side. Doors to plaster rooms to be maple faced and varnished, painted doors may be hardboard faced. Bedroom doors and Laundry slide door to be 6'x6" x 2'6", bathroom and W.C. doors to be 6'x6" x 2'6".

41/94th

Hardware and storage cupboard doors to be 2 1/2" x 2 1/2" with overdoors.
Patented doors adapted on 3 - 4" half hinges and overdoors on 2 - 1/2" hinges.
Slide doors to be hung on Sanger tracks except linette and bathroom door and panel which are to be "hipped" "barrel" type with obscure glass. Georgian doors to lounge north wall to be "hipped" "barrel" exterior type.

FINISHES: As shown on plan. Bath sizes to be 6'0" x 6'0" and 6'6" x 2'0".
Lounge 6'0" x 3'0" and 6'6" x 2'0".
Bedroom 1 5'0" x 6'0" with 5'0" x 2'0" side panel and overframe. Bedsets to be 2'0" x 3'0".
Bedroom 2 & 3 Bedsets to be 4'6" x 2'0" and 4'6" x 4'0".
Bathroom 4 4'0" x 2'0" and 2'0" x 2'0".
Lounge bath to be as large as possible.
Kitchen North to be 3'0" x 4'0". Bath to be 3'0" x 3'0".
Dining room to be 5'0" x 2'0" and 3'0" x 3'0".
Dining windows above bench to have panes 2'0" x 2'0".
BASEMENTS: To extend under Dining Room and Laundry, actual size to be 14'6" x 28'0". Doors to be overhead true style to match front door. Windows to be as shown in elevations - fixed glass units. Cover to concrete floor at later date. Ceiling of basement to be 1/2" plaster board. Basement retain walls to be of 6" concrete blocks with wall to West and South sides graded in 1 x 3 Tan Stone and covered with 3/16" fibrolite (for removal if required at later date to enlarge basement area.)
HARDWARE: Fit door locksets, latchsets, and knobs and cupboard door handles and catches etc., as shown on owner and window catches to all timber sashes. Supply and fit 2 plastic door holders, 1 plastic toilet fixture etc., in bathroom and "C.O." of each unit. Unless chosen otherwise all Hardware fittings and catches to be chrome. P.V.C. and 2 1/2" has been allowed in the quote for hardware.

EXTRAORDINARY

GENERAL: The installation shall be strictly to regulations and as laid out thoroughly and clearly. The work of the wiring shall be unbroken. The electrician shall do his own drilling etc., and an outlet out for larger wiring or where necessary must not be any greater than that needed.
CONNECTIONS: All lighting and heating circuits shall be in T.P.C. or P.V.C. cable of appropriate capacity.
WIRING: Connect supply from nearest power pole and extend underground to meter box set in basement wall. Wiring to lights as shown on plan and as follows:
WIRING: a) Switches shall be green plastic act flush to wall. Provide 2-way switching to passage and front entrance light and 2nd. switch to be in basement.
b) Power plugs. Shall be three pin type, flush to wall and having green covers. 3 in house, and 1 in basement.

41/947

- c) Coiling baton holders. Green plastic and white plastic shades. 1 in house and 2 in basement.
- d) One watertight ball fitting to front porch and one to back corner.
- e) Supply and fit pearl gas filled bulbs in each. Two/day entailing to passage.

CONNECTIONS: Connect up range, and 1800 watt element and thermostat to hot water cylinder.
E.L.S. All electrical materials supplied and fitted by electrician including stove. Allow P.V.C. run of \$17.00 per stove.

PLUMBING

P.V.C. All plumbing to be carried out by registered plumber in accordance with City Council and Health Department regulations.

FLUWINGS: Fit galvanized flashings where necessary.
E.L.S. Pay particular attention to round corner windows.

SCOUTING AND TOILETS: Fit 20" galvanized scouting with falls to down pipes. One at W.C. Laundry partition, one at Kitchen North corner, one at Lounge North corner and one at Bedroom 3. Lead thru 3" P.V.C. tiles to 2 skrapits with concrete covers.

SEWER: Sear to be 5'0" x 2'6" stainless steel. Taps connected to Stanley copper mixer.

BATH: Connect up 5'0" Regal bath of good quality and complete with grating, taps and chrome chain. Builder to fit bath into 3' x 2' constructed grating with 1 1/2" high formica surround as splash board.

BATH: Basin to match bath in quality and fittings, supported on formica top and connected to P.V.C. wastes and corner or P.V.C. supply.

SINK: Co-operate with carpenter in fitting formica sink top supplied by builder.

WATER: All wastes to be of 1 1/2" P.V.C. pipe with the necessary traps and inspection points.

W.C. Set up a W.C. pan and plastic seat with lid. Connect to tank a 5 gallon low flume plastic cistern. Connect to water supply in 1" copper or P.V.C. pipes. To be complete with stop cock and overflow through outside wall.

HOT WATER SERVICE: Connect up all hot taps to 40 gal. cylinder in 1" copper pipes and brass fittings, lagged and wired. Draw off pipe to protrude through the roof. From the bottom of the cylinder draw off a 1/2" copper pipe complete with stop cock for draining cylinder.

COLD WATER SERVICE: From street connection draw off 1" copper lead and connect to sink, bath, basin, cylinder, W.C. etc. One outlet to bath. Exterior brass taps to be positioned: 1 at basement door and 1 at Bedroom 3 corner.

WATER: Fit stranded surface bib cocks and pillar cocks to all outlets (marked Hot and Cold) except sink. Sink outlets to be surface consultation to place of P.V.C. Outside taps to be brass.

8. 41/94A

VENTS:

Fit P.V.C. vent pipes to drainage & discharge to terminate and fit P.V.C. caps to top of same.

PLUMBING:

All pipes shall be 4" quality glazed earthenware pipes laid straight and to fall of at least 1 in 60. Joints to be flexible. Plumber to dig all drains.

PLASTER:

Sand used to be clean, sharp and free from impurities.

FORMER TERRACE WALL:

Terrace and porch floors, steps and ramp to have single coat, finished neatly with steel float. Mortar used to be 2 parts sand to 1 part cement.

GIBBALTER BOARD:

All joints and no. holes to be flushed over with plaster of paris.

PAINTING:

Timber to be primed with red lead, and have 1 undercoat and oil holes puttied before a gloss finish coat is applied. Scaffolds to be 'sealed' and painted with flat finish. Concrete blocks and covering to have at least 2 coats of 'spray' paint.

INTERIOR:

2 coats of paint to be applied to all woodwork. Paint over hardwood and G.B. board to be properly sealed before undercoat is applied. See to Kitchen, Lounge, Passageway and entrance, and all bedrooms to be clear varnished. All paint work other than red lead to joiners (exterior only) to be underpainted by owner. Rail "crossed beams to be varnished (inside only).

PAPERING:

Before paper is hung all Gibbaltar Board surfaces to be sealed, using solution of paste and water in correct proportion. Paper used to be as good in quality as is available for its average cost of \$1.50 per roll. Paper-hanger to allow an extra 212 for "drammings," paper. Paper to be hung true and plumb and where patterned to be properly matched. All stray edges to be cut off.

No. 94^A Sec. _____ Lot. 2 Sub. Lot 19th 44 D.P. 7869
Address BAYLY ROAD

DRAINAGE AND PLUMBING REGISTER

OWNER B. WATSON
ADDRESS _____
BUILDER M. MARTIN
PLUMBER B. SANGER
DRAINLAYER " "

5/34/71 PERMITS
PLUMBING 760.00
DRAINAGE 300.00
VALUE \$1060 - 00

NATURE OF WORK DWELLING

DRAIN TESTED 15 / 9 / 71

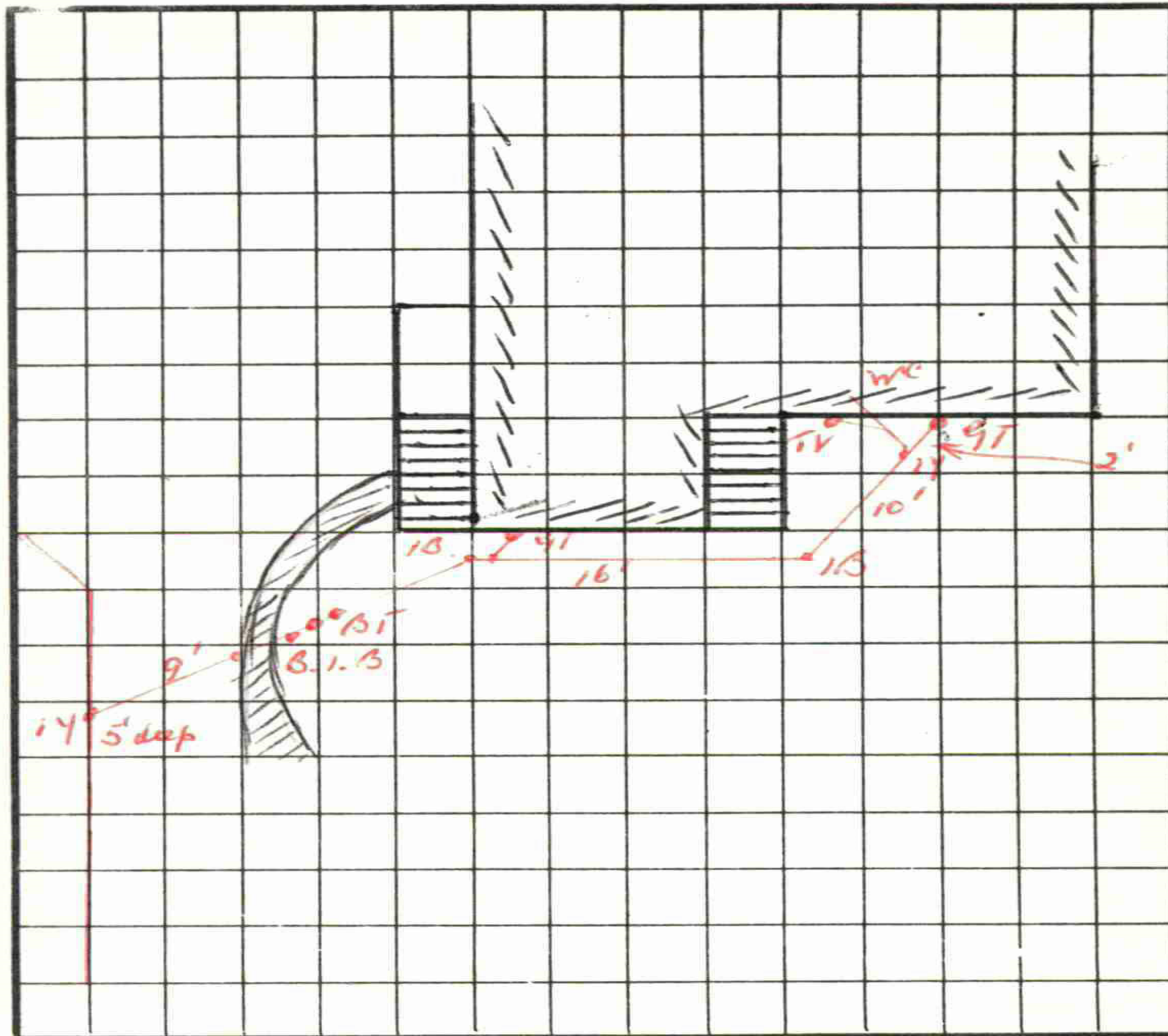
PLUMBING PASSED 26 / 10 / 71

FALL AND DESCRIPTION Good fall - through B.T. to common
chain in R.O.W.

[Signature]

Inspector.

DRAINAGE PLAN SCALE



FRONTAGE

94^A Bayly Rd.

Masterprint 8958

Statement of Passing Over:

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