

Council Records

These records were obtained in May 2023. NPDC is currently undergoing a review of the property search report content. As such the documentation provided by the NPDC may not be a complete full record. We suggest you get your own professional advice on the provided content and in fact any NPDC files for this property.



	Natural Source		Manhole		Backflow		Outlet		Trunk		Misc Polygon	Yellow = Privately Owned
	Treatment Plant		Alert Valve		Meter		Soakhole		Rise		Proposed Bund and Ponding Areas	Grey = Out of Service/Closed
	Pumpstation		Air Valve		Restricted Flow		End Point		Main		Storm Water Mgmt Plan	Stormwater
	Storage Unit		Non-Return Valve		Well Up		Node		Lateral			Water Supply
	Hydrant		Standard Valve		Inlet		Misc Point		Open Drain			Waste Water
			Manifold Valve						Stream			
									Overland Flow Path			



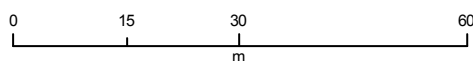
Te Kaunihera-ā-Rohe o Ngāmotu
New Plymouth District Council

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DISCLAIMER: NPDC assumes no responsibility for the completeness or accuracy of the data displayed on the plot. To be used for indicative purposes only.

HORIZONTAL DATUM
 New Zealand Geodetic Datum 2000

MAP PROJECTION
 New Zealand Transverse Mercator



MILES Print Map

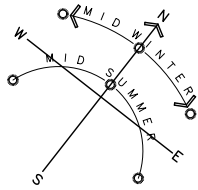
Date: 5/29/2023



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PLANS

BC20/127239



00.00 - Site levels

Secondary flow path

LEGAL DESCRIPTION

Lot : 1
DP : 520844
Site area : 1.2431H
Ground Floor area : 204.9m²
Wind Zone : Extra High
Exposure zone : C
Earthquake zone : 1

Note:
Adequate steps must be undertaken for the control of storm water and sediment during construction. failure to comply may lead to enforcement action being taken under the building act 2004

GENERAL NOTES:

1. All new construction where not specifically designed shall comply with the NZ Building Code Handbook and shall conform to NZS 3604:2011

2. Builder to check all dimensions prior to construction, manufacture or fixing in of any part and shall allow to adjust for fitting tolerances.

3. Dimensional errors shall not be the responsibility of the designer or the design firm or his agents

4. All exposed metal fasteners and plates to be stainless steel in accordance with NZS 3604 : 2011 Section 4 Durability Table 4.1

5. All timber in near contact to concrete, steel or cement based products shall be seperated with a malthoid strip DPC of sufficient width to prevent contact between the two.

6. Bottom plate to be fixed to concrete floor slab with M12 bolts at maximum of 900mm crs. or 600mm crs. when used on slab where edges are formed by masonry header blocks. Set within 150mm of each end of plate. 90mm Min embedment into slab for internal & external walls on in-situ concrete & 120mm min. for external walls on masonry header block

7. Top plate fixed to studs with 2 / 90x3.15 end nails + 2 wire dogs or 4.7kN equivalent fixing.

8. Electrician to confirm all electrical fittings with owner prior to wiring out.

TECHNICAL NOTES:

1. Contractor shall check all dimensions & levels on site before starting construction.

2. Stud sizing (Extra High wind zone)

3. Concrete construction shall comply with NZS 3109
Masonry Construction to comply with NZS 4210

4. Concrete Strengths @ 28 days
- Foundations 20 MPa
- Blockfill 20 MPa
- Floor slab 20 MPa
- Block Grout 20 MPa

5. Reinforcing steel shall comply with NZS 4671

6. Reinforcing Grades
D = Deformed grade 300
H = Deformed grade 500
R = Plain grade grade 300

7. Reinforcing Covers (mm) minimum
- Cast against ground 75
- Formed in-situ 50
- Block walls 50
- Floor slabs - Top 30
- Btm 50

BUILDING WRAP:

Building wrap to be used is Thermakraft Watergate Plus 295.
Thermakraft Covertex 403 to be used for roof underlay

TIMBER TREATMENT SCHEDULE

NOTE: - All structural timber to be SG8 as per NZS 3604:2011

BUILDING ELEMENT	TREATMENT LEVELS
- Roof framing, trusses & ceiling joists - Interior wall framing, including bottom plates - Exterior wall framing in low risk, single storey masonry veneer buildings	- H1.2 treated, planner gauged radiata pine.
- Exterior wall framing and parapets in all but low risk, single storey masonry veneer buildings - Enclosed framing within skillion roofs	- H1.2
- Subfloor framing	- H1.2
- Enclosed framing within flat roofs - Framing for enclosed decks & balconies - Framing within enclosed balustrades - Some framing supporting decks & balconies	- H3.2
- Unroofed decking & external stairs, handrails & balustrades	- H3.2
- Piles & other structural in ground material Bottom of bank	- H5

H	Septic tank, Effluent beds and water tank locations revised	03.06.21
G	Building position revised	02.11.20
F	Septic tank location revised	20.10.20
E	Septic tank location revised	13.10.20
D	Consent Issue	03.09.20
C	Revised Pricing Issue	31.07.20
B	Pricing Issue	11.03.20
A	Preliminary Issue	14.02.20

REVISION :

JOB TITLE :

New Residential Dwelling
Jones Residence
Richmond Road
Lepperton



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Email : paul@4sitedesign.co.nz
PO Box 589 495b Devon Street East
New Plymouth

SCALE : 1:750

DRAWN : ME

CHECKED : -

DATE : September 2020

JOB No. : 4669

REVISION : H

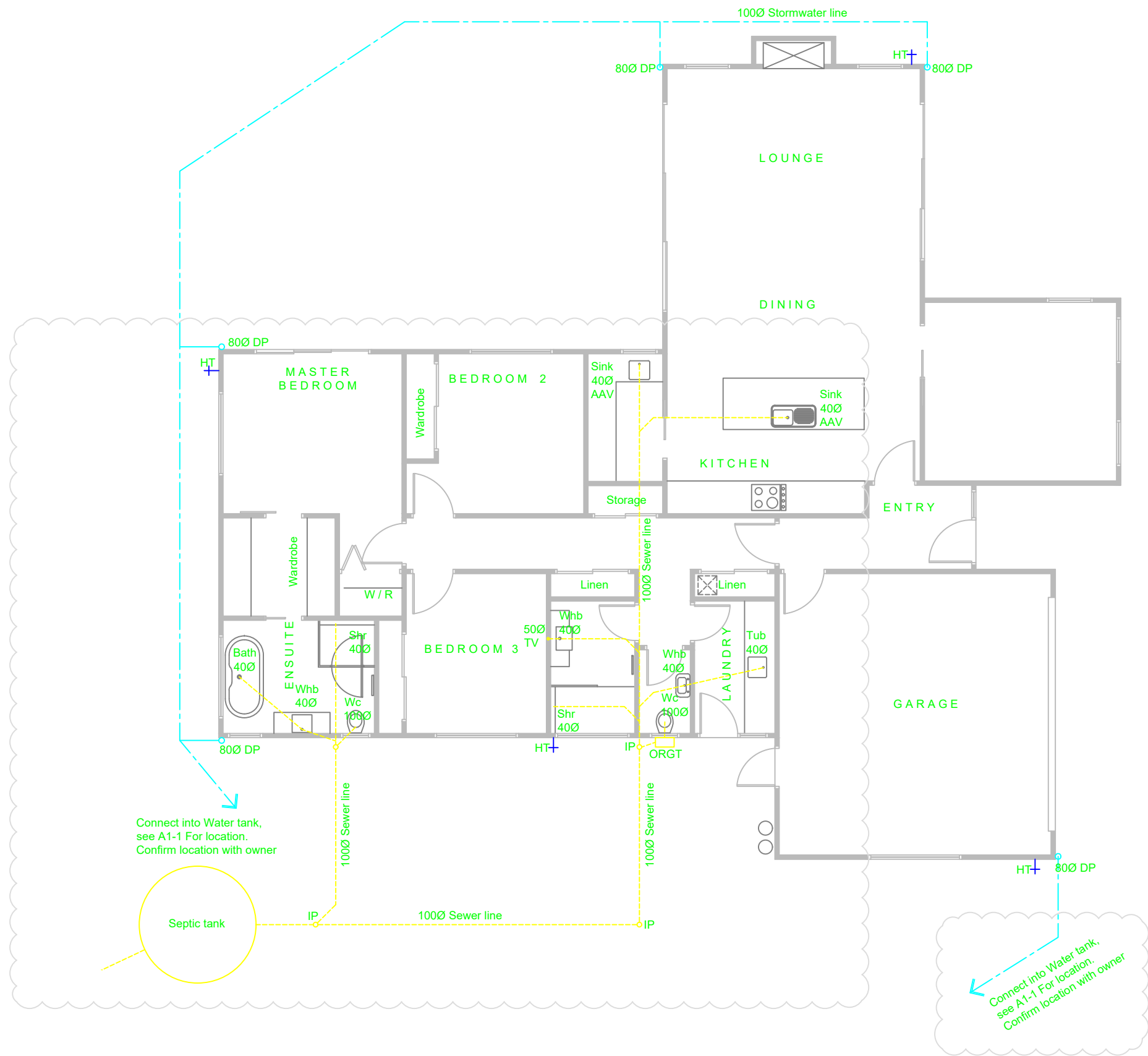
SHEET No. :

A1-1

SITE PLAN

Scale 1:750

Document Set ID: 8646744
Version: 1, Version Date: 21/10/2021



PLUMBING AND DRAINAGE PLAN
Scale 1:100

KEY

- 100 Ø Sewer
- 100 Ø Stormwater

PLUMBING & DRAINAGE NOTES

Foul Water Sanitary Plumbing shall comply with NZS 3500:2018

Stormwater drainage shall comply with NZBC E1/AS1

Size all wastes & drains to comply with the above, lay all drains to acceptable falls

Water supply & reticulation shall comply with NZBC G12/AS1

All drains shall be pvc
All water supply pipes shall be K2 piping

All plumbing and drainage shown as indicative only.
Plumber to confirm plumbing and drainage layout complying with the New Zealand Building Code

PLUMBING & DRAINAGE KEY

- IB Inspection bend
- IJ Inspection Junction
- IP Inspection Point
- Dp Downpipe
- WC Toilet Pan
- Whb Wash hand basin
- TV Terminal vent
- Shr Shower
- GT Gully trap
- + HT Hose tap (Confirm location with owner)
- HWC Hot water cylinder

Minimum Pipe Gradients

40Ø	1:40
100Ø	1:100

D	Waste water design revised as per as built. System changed from G13 to NZS 3500	03.09.20
C	Consent Issue	03.09.20
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DATE : September 2020

JOB No. : 4669 REVISION : D

SHEET No. : A5-3

NEW RESIDENTIAL DWELLING JONES RESIDENCE

Richmond Road , Lepperton

Job No : 4669
September 2020

Consent Issue

NPDC SITE COPY

This building consent is approved under the Building Act and is limited to new work only as shown on these plans and related specifications

Approved: Renata Smith Date: 27/10/2020

The Building Consent documents are to be available on-site to council officers at all times.

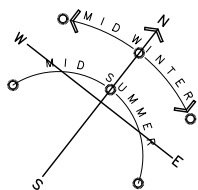
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A7-2 -	INTERNAL DOOR SCHEDULE



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SITE DESIGN
Architectural Designers



⊗ 00.00 - Site levels

➔ - Secondary flow path

LEGAL DESCRIPTION

Lot : 1
DP : 520844
Site area : 1.2431H
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7. Reinforcing Covers (mm) minimum
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BUILDING WRAP:

Building wrap to be used is Thermakraft Watagate Plus 295.
Thermakraft Covertex 403 to be used for roof underlay

TIMBER TREATMENT SCHEDULE

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REVISION :

JOB TITLE :

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DRAWN : ME

CHECKED : -

DATE : September 2020

JOB No. : 4669 REVISION : H

SHEET No. :

A1-1

SITE PLAN

Scale 1:750

Document Set ID: 8646744
Version: 1, Version Date: 21/10/2021

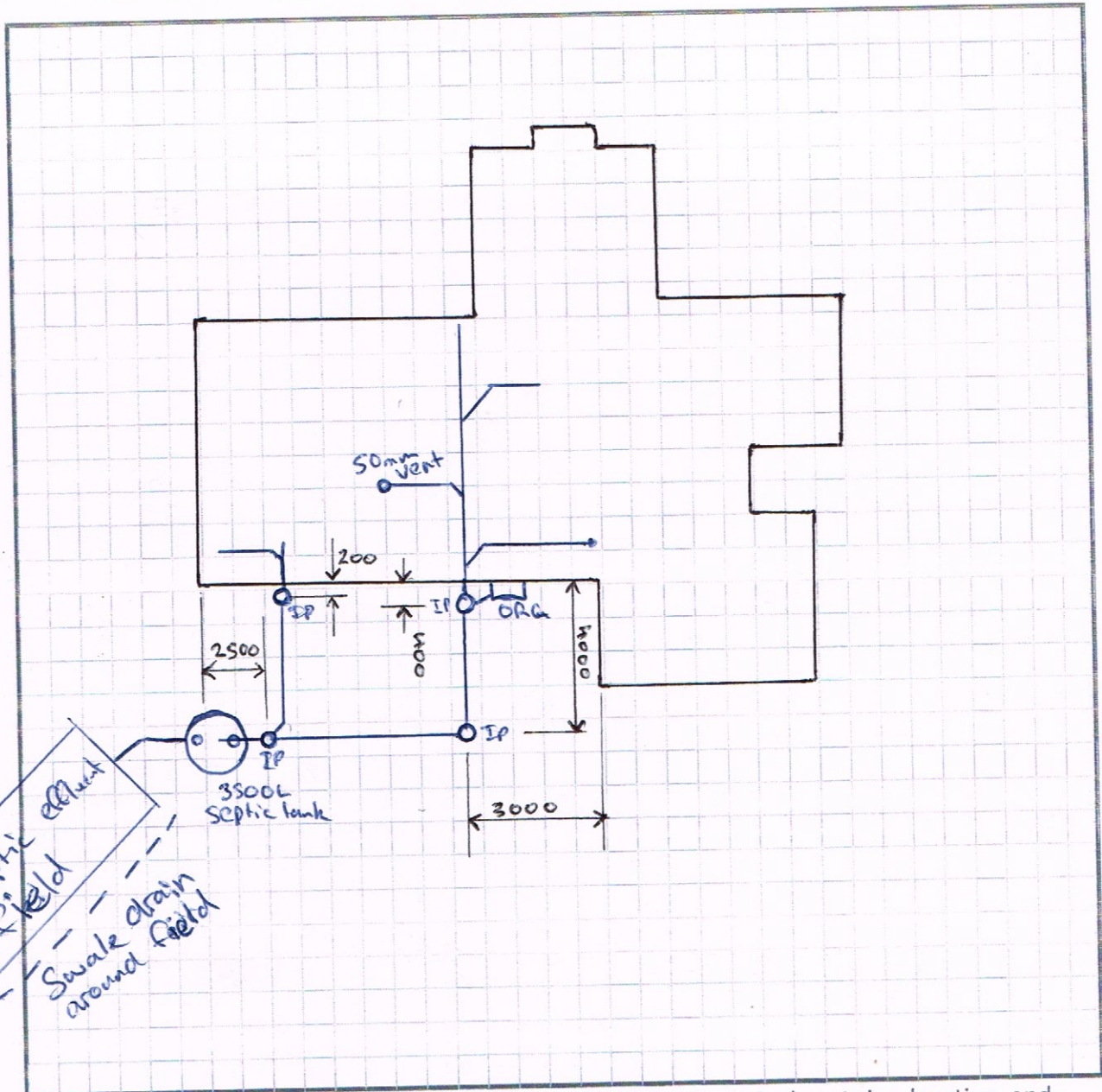


Te Kaunihera-ā-Rohe o Ngāmotu
NEW PLYMOUTH
DISTRICT COUNCIL
 newplymouthnz.com

New Plymouth District Council
 Private Bag 2025
 New Plymouth 4342
 Phone 06 759 6060
 BuildingAdministration@npdc.govt.nz

AS-BUILT DRAINAGE PLAN

Building Consent: BC 20/127239 Address: 956 Richmond road Lepperton
 Drainlayer: John Edgcombe Registration No: 20251
 Date: 30-5-21



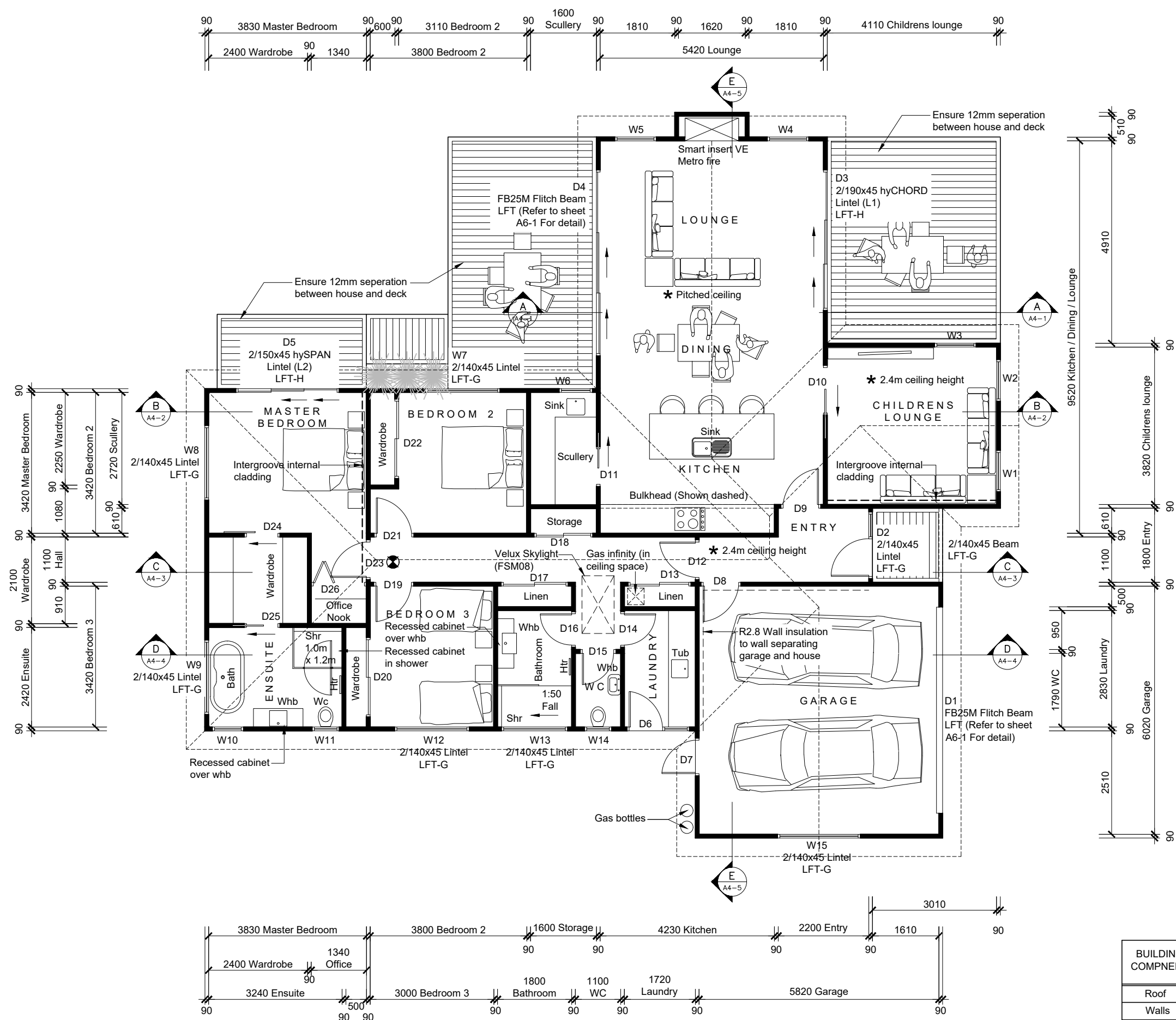
Specify system used:

- ☐ G13/AS1
☒ AS/NZS: 3500

Note: Show terminal vent size, location, and all relevant dimensions to inspection points.

Receipt by NPDC of this record does not imply endorsement of its accuracy.

DM6090910, v3



KEY :

- Timber wall framing
- Whb = Wash hand basin
- WC = Toilet
- Shr = Shower
- HTR = Heated towel rail
- Battery operated Smoke Alarm (within 3m of all bedrooms)

All shower floors to have a selected non slip tile floor and tile walls full height to the underside of the ceiling. Tile to be full height to underside of ceiling in both Bathroom and Ensuite

All Wet areas to have Gib Aqualine substrate and to be water proofed with "Ardex undertile water proofing" or similar BRANZ approved water proofing system, Refer to "Ardex undertile water proofing" Spec. attached. Water proofing to floors to an extent of 1500mm minimum radius off wall of shower rose.

Line bathroom & Ensuite area with Gib Aqualine,
-10mm Gib to walls
-13mm ceilings

NOTE:

- All lintels to be 2/ 90x45 & have a type F fixing unless noted. Refer to lintel fixing details

KEY

- LFTF = Lintel fixing type E, F, G or H refer to lintel fixing details

-Lighting to comply with Table 1 of G8/AS1 & D1/AS1

Note: Timber entry
Timber boardwalk coated and sandgrit impregnated to comply with D1/AS1 2.1. Ensure 12mm separation between house and deck

VENTING :

Mechanically vent Laundry, Kitchen, Master Bedroom wardrobe & Ensuite Shower directly to the outside with a proprietary ventilation ducting system and inline fan run through roof framing space out through wall or soffit.

-Lighting to comply with Table 1 of G8/AS1 & D1/AS1

STUD SIZING AND SPACING :

- Studs to be 2/90x45mm at 600crs max, up to 2.4m high
- Studs to be 2/90x45mm at 600crs max, up to 2.7m high
- Studs to be 2/90x45mm at 400crs max, up to 3.0m high
- Nogs @ 480 max. crs. for Abodo
- Nogs @ 600 max crs. for stratum

NOTE

- Kitchen Layout shown as indicative only, confirm layout with owner prior to construction

D	Consent Issue	03.09.20
C	Revised Pricing Issue	31.07.20
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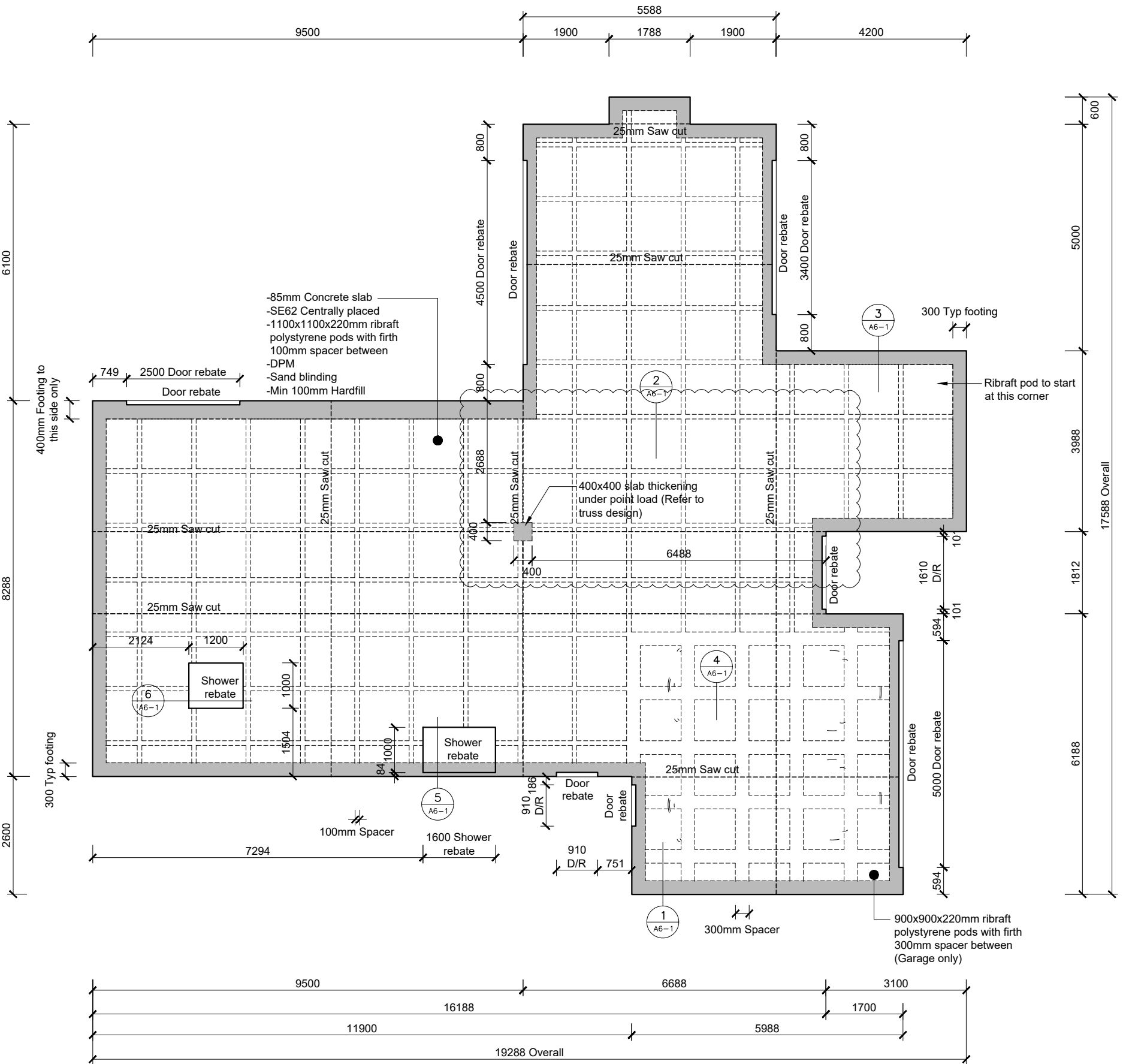
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SHEET No. :

A2-1

BUILDING COMPONENT	Product used	Minimum insulation required	Insulation Achieved
Roof	R3.2 batt insulation	R2.9	R3.2
Walls	R2.8 batt insulation	R2.2	R2.8
Floor	Concrete floor slab	R1.3	R1.3
Glazing	Double Glazing	R0.26	R0.26

FLOOR PLAN



Note:
Door rebates to be confirmed by
joinery manufacturer prior to
fabrication

Note:
Slab offset 6mm, Refer to
attached RIGIDRAP
specifications for additional
information

E	Slab thickening added	17.11.20
D	Slab offset 6mm	13.10.20
C	Consent Issue	03.09.20
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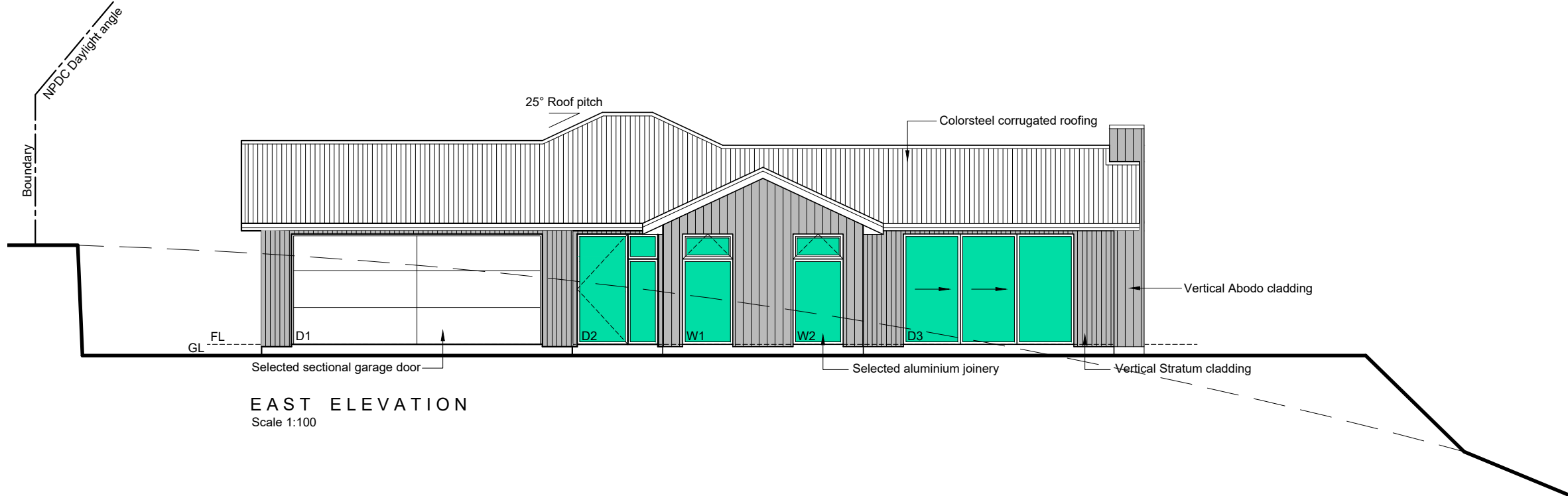
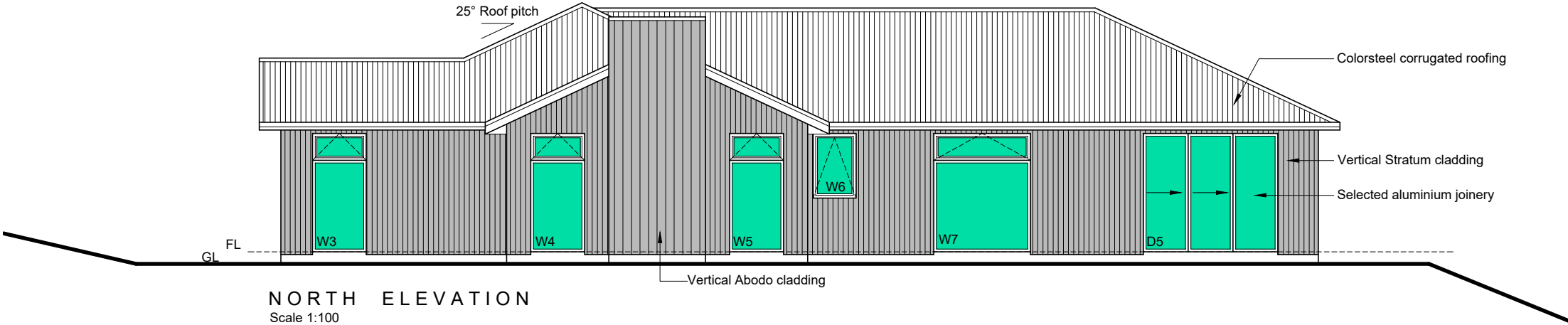
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SHEET No. :

A2-2

FOUNDATION PLAN

Scale 1:100



D	Consent Issue	03.09.20
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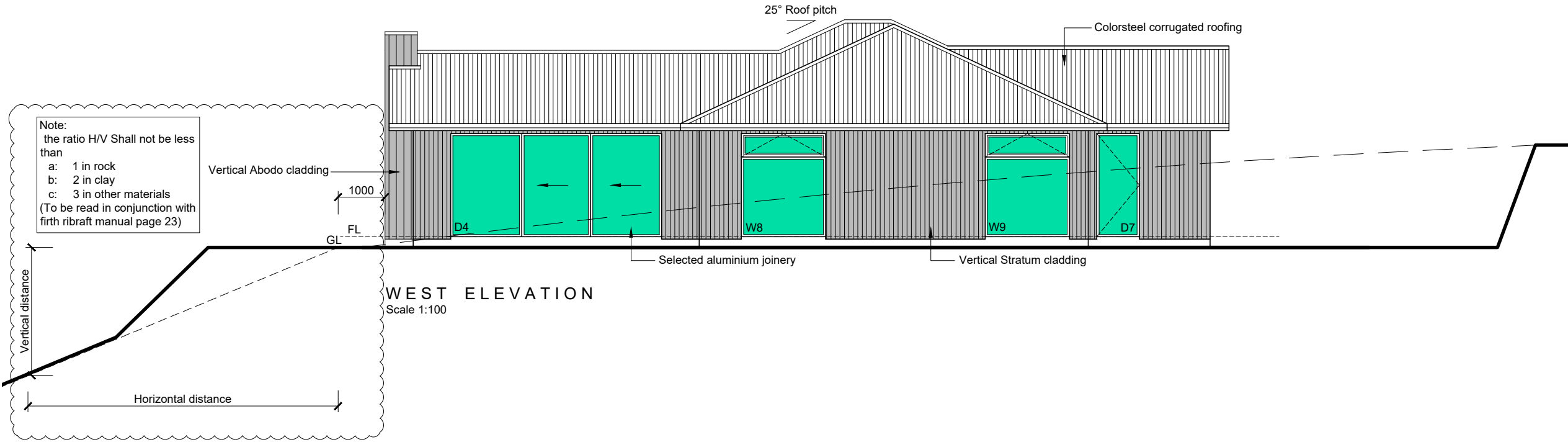
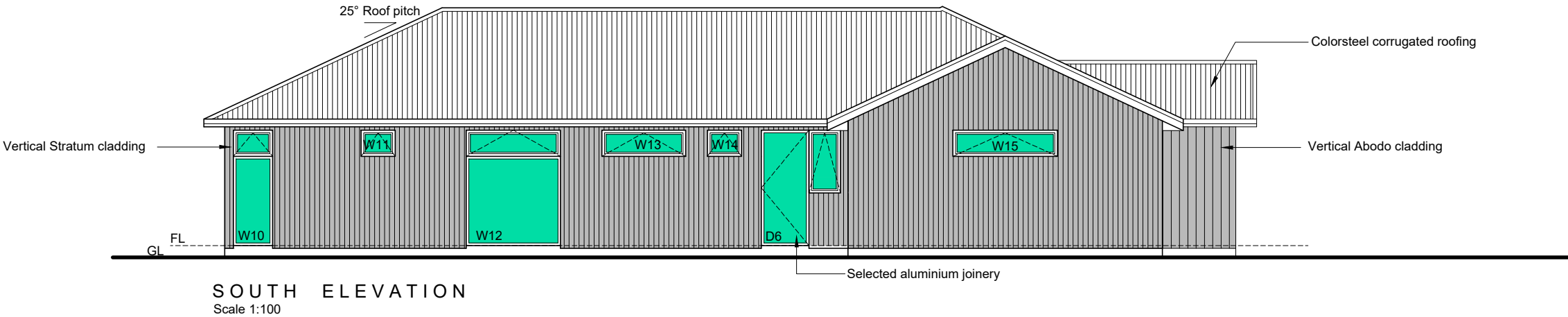
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DATE : September 2020

JOB No. : 4669 REVISION : D

SHEET No. :

A3-1



E	GL Revised, note added	20.10.20
D	Consent Issue	03.09.20
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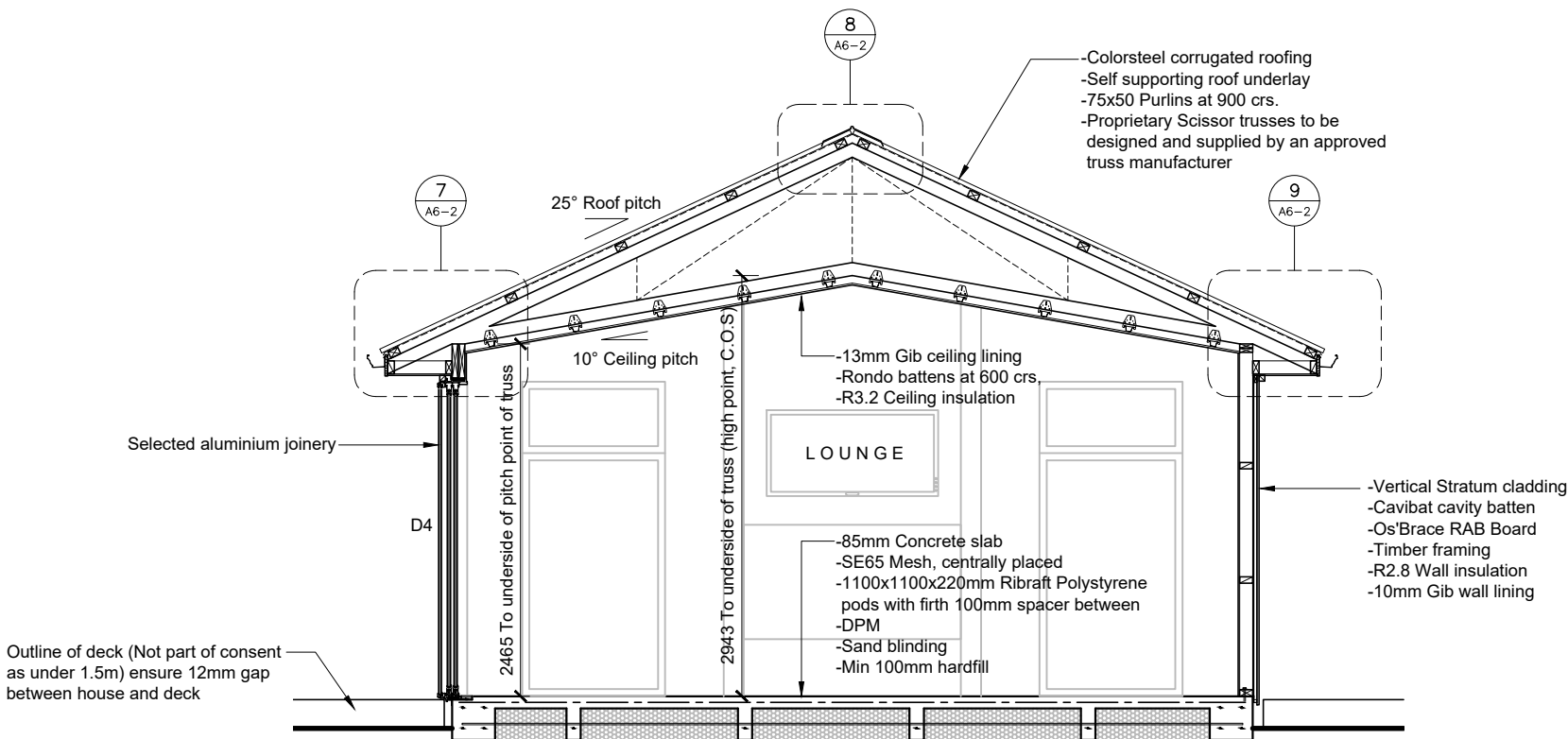
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SHEET No. :

A3-2



CROSS SECTION A-A
Scale 1:50

C	Consent Issue	03.09.20
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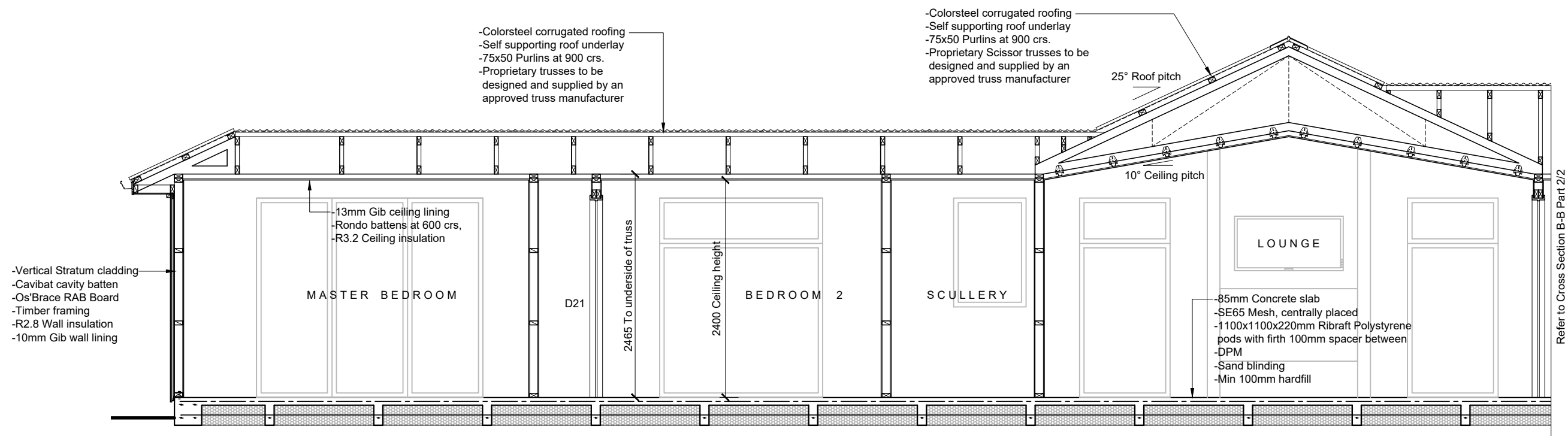
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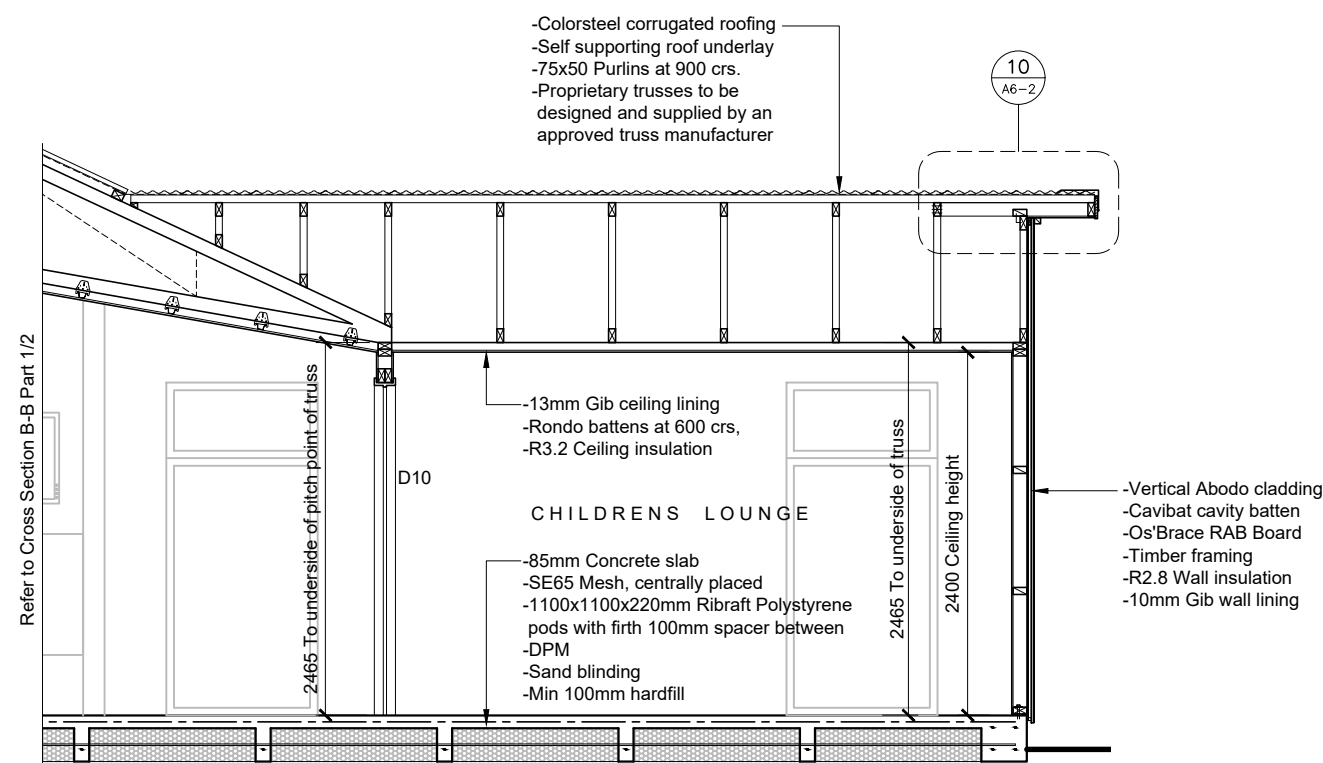
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SHEET No. :

A4-1



CROSS SECTION B-B (Part 1/2)
Scale 1:50



CROSS SECTION B-B (Part 2/2)
Scale 1:50

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REVISION :

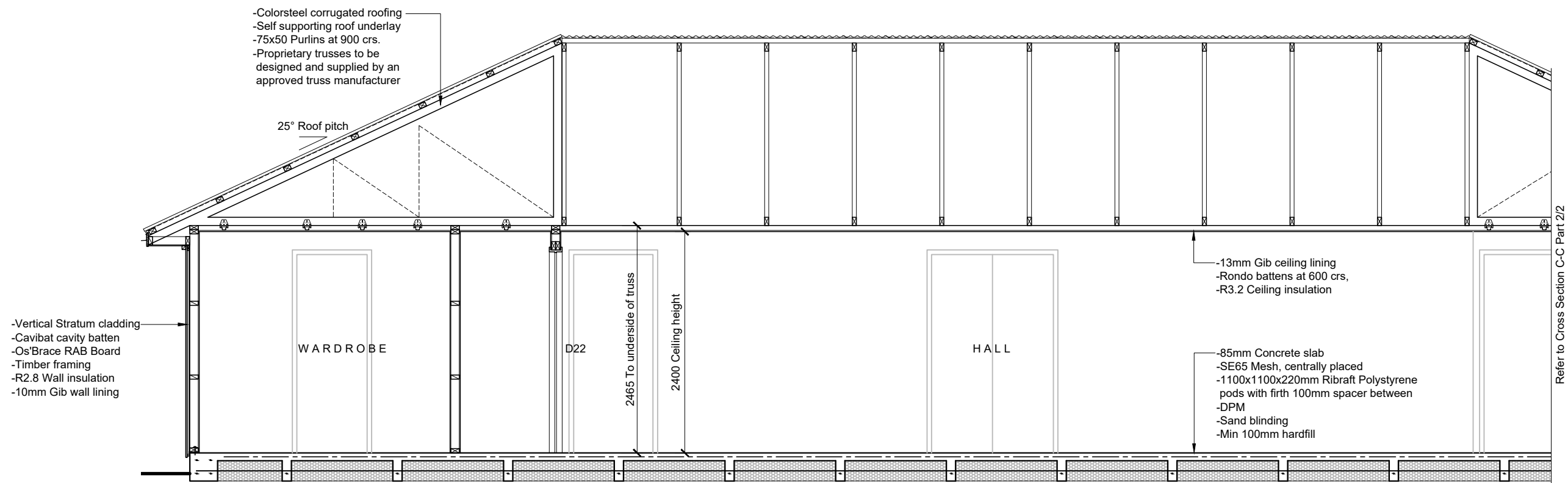
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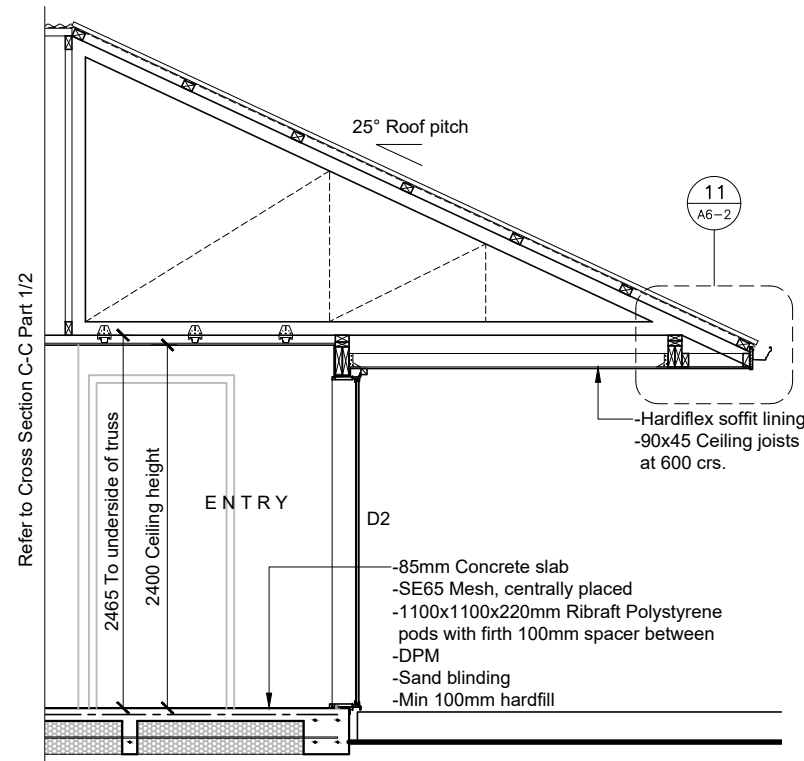
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SHEET No. : A4-2



CROSS SECTION C - C (Part 1/2)

Scale 1:50



CROSS SECTION C - C (Part 2/2)

Scale 1:50

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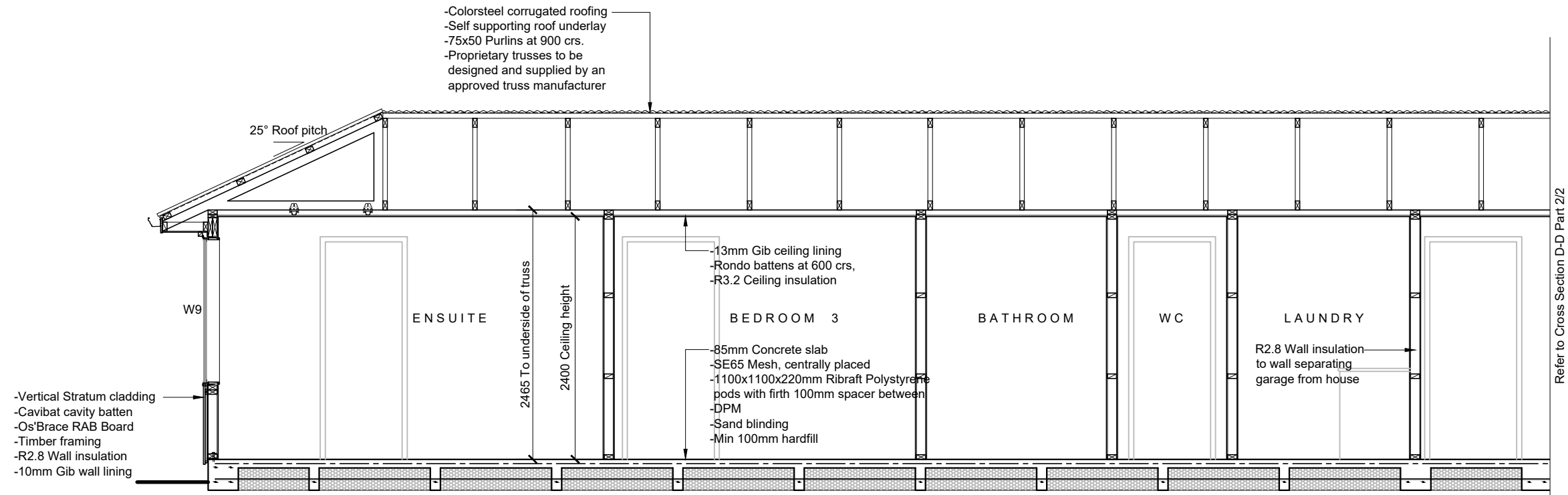
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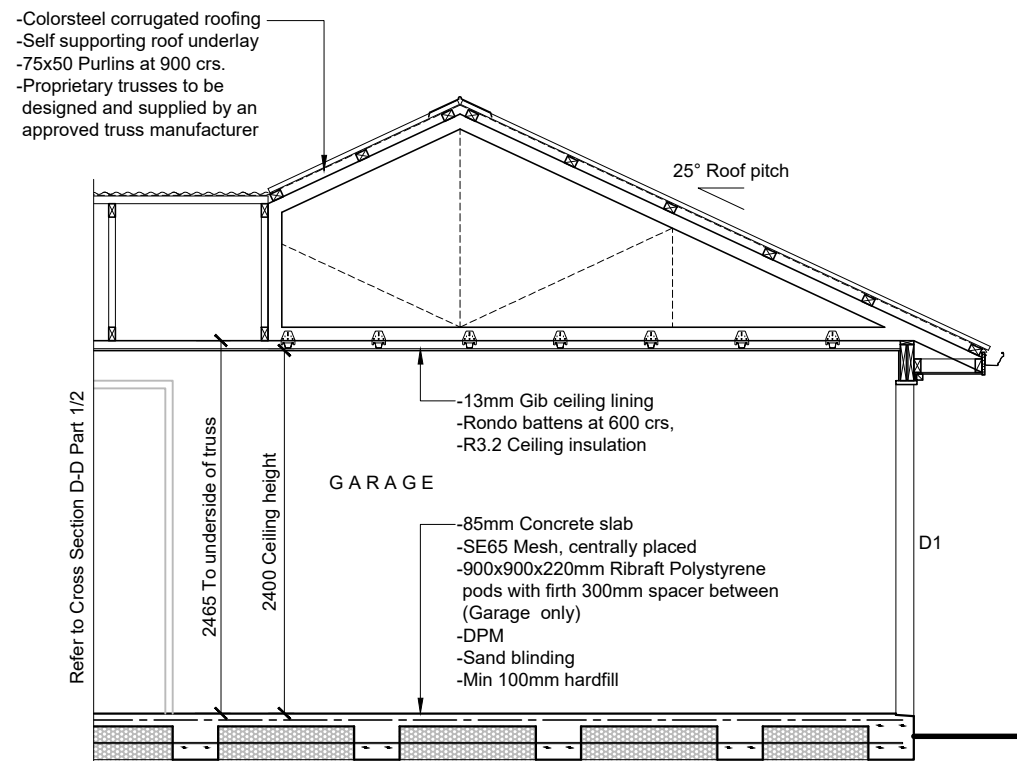
JOB No. : 4669 REVISION : C

SHEET No. :

A4-3



CROSS SECTION D-D (Part 1/2)
Scale 1:50



CROSS SECTION D-D (Part 1/2)
Scale 1:50

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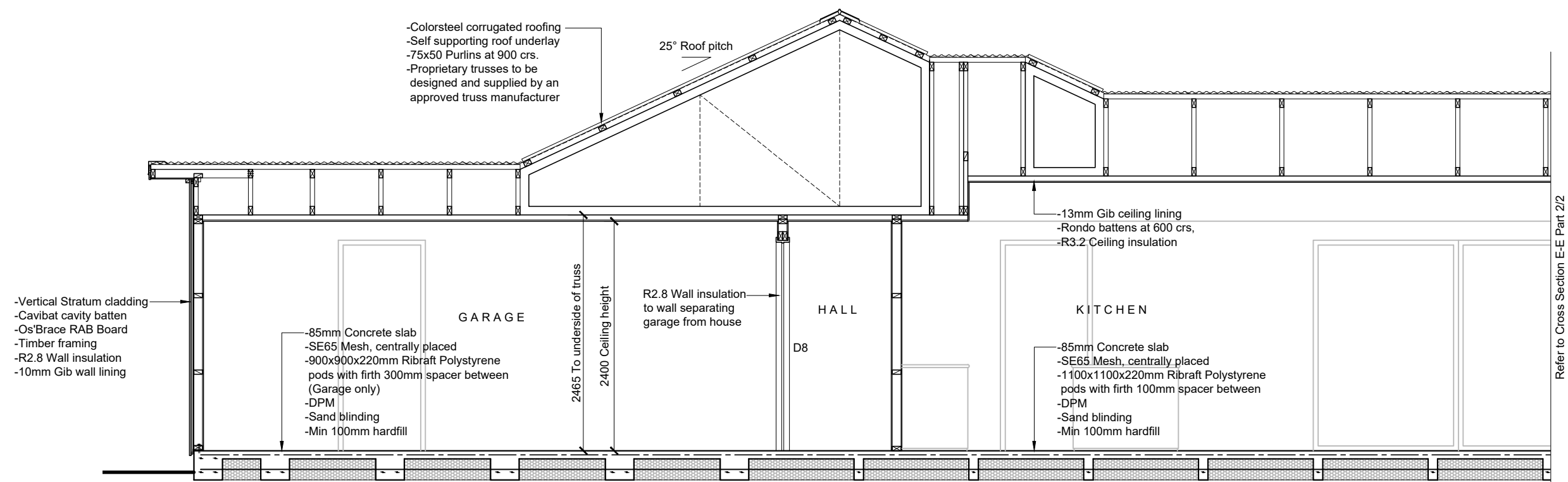
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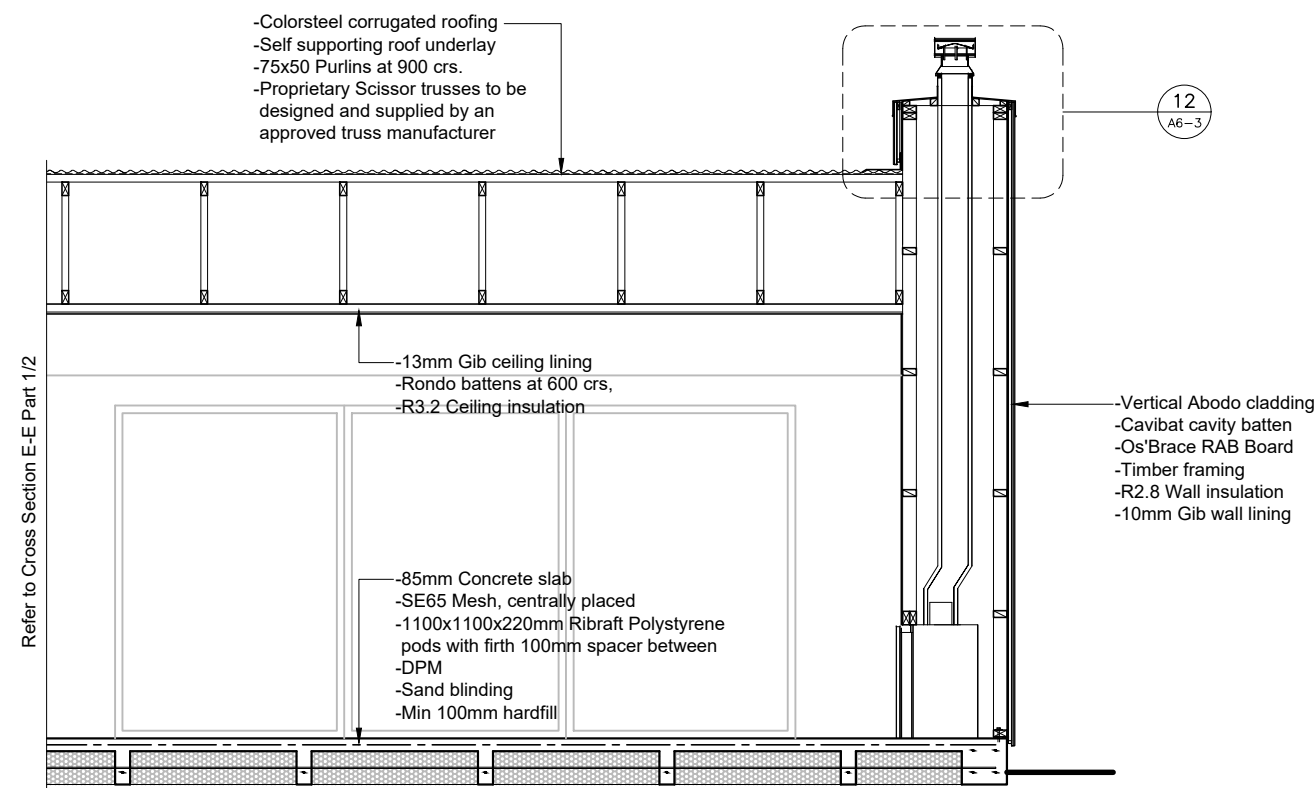
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JOB No. : 4669 REVISION : C

SHEET No. : A4-4



CROSS SECTION E - E (Part 1/2)
Scale 1:50



CROSS SECTION E - E (Part 1/2)
Scale 1:50

C	Consent Issue	03.09.20
B	Pricing Issue	11.03.20
A	Preliminary Issue	14.02.20

REVISION :

JOB TITLE :

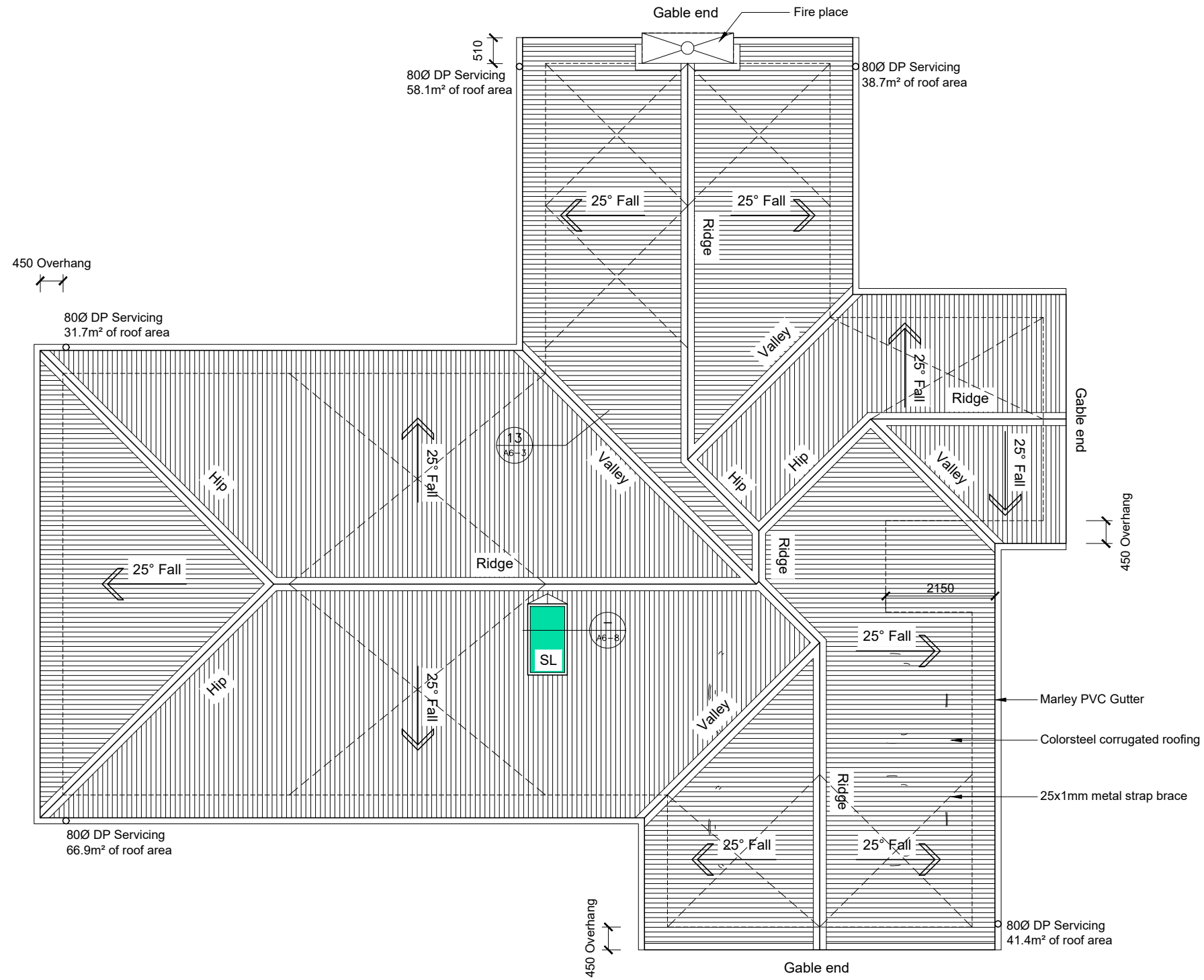
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Lepperton



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A4-5



ROOF PLAN

Scale 1:100
Document Set ID: 8646744

Version: 1, Version Date: 21/10/2021

SL	-	Fixed Velux Skylight 1400x700 (FSM08)
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C	Consent Issue	03.09.20
B	Pricing Issue	11.03.20
A	Preliminary Issue	14.02.20

REVISION :

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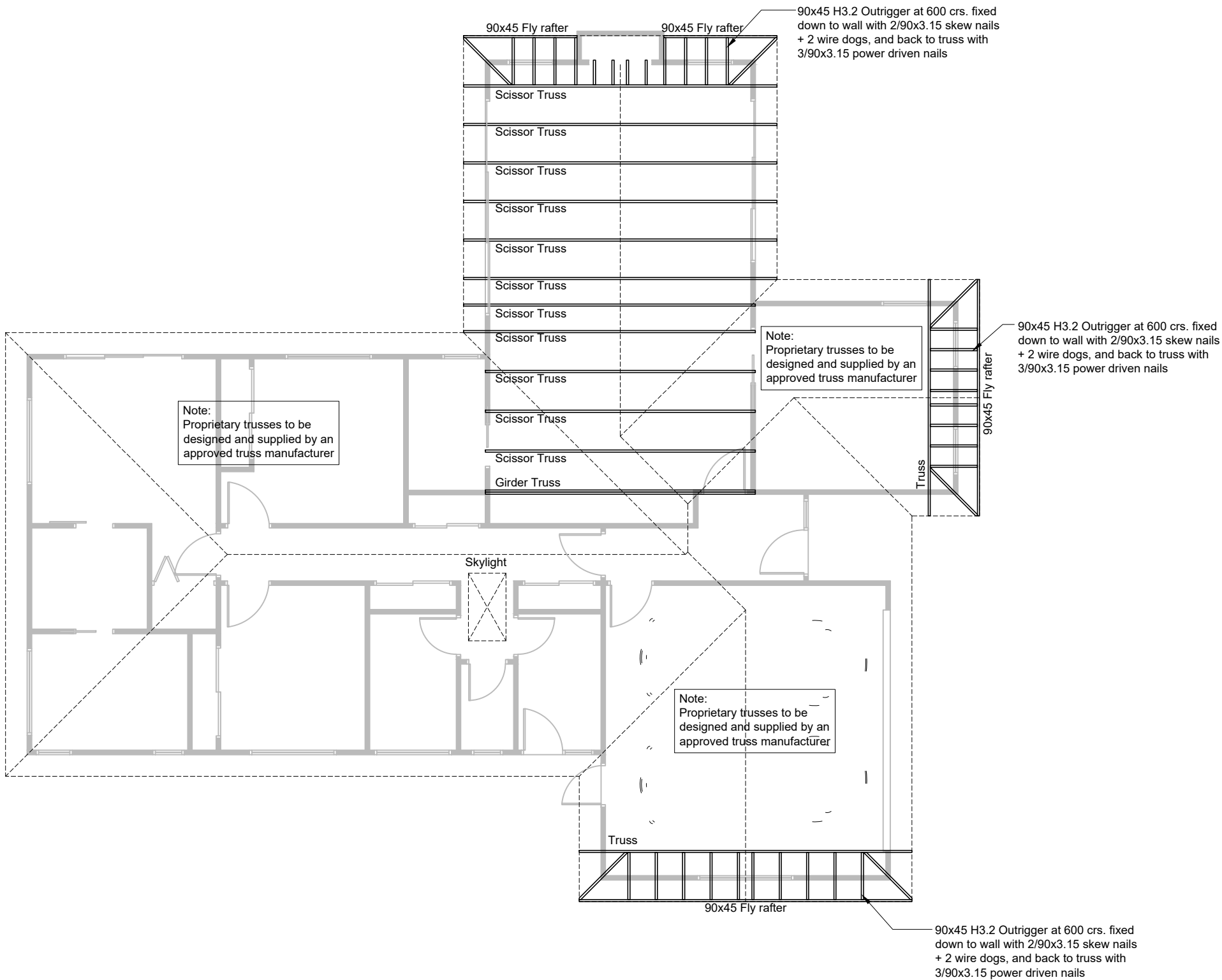
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DATE : September 2020

JOB No. : 4669 **REVISION :** C

SHEET No. :

A5-1



C	Consent Issue	03.09.20
B	Pricing Issue	11.03.20
A	Preliminary Issue	14.02.20

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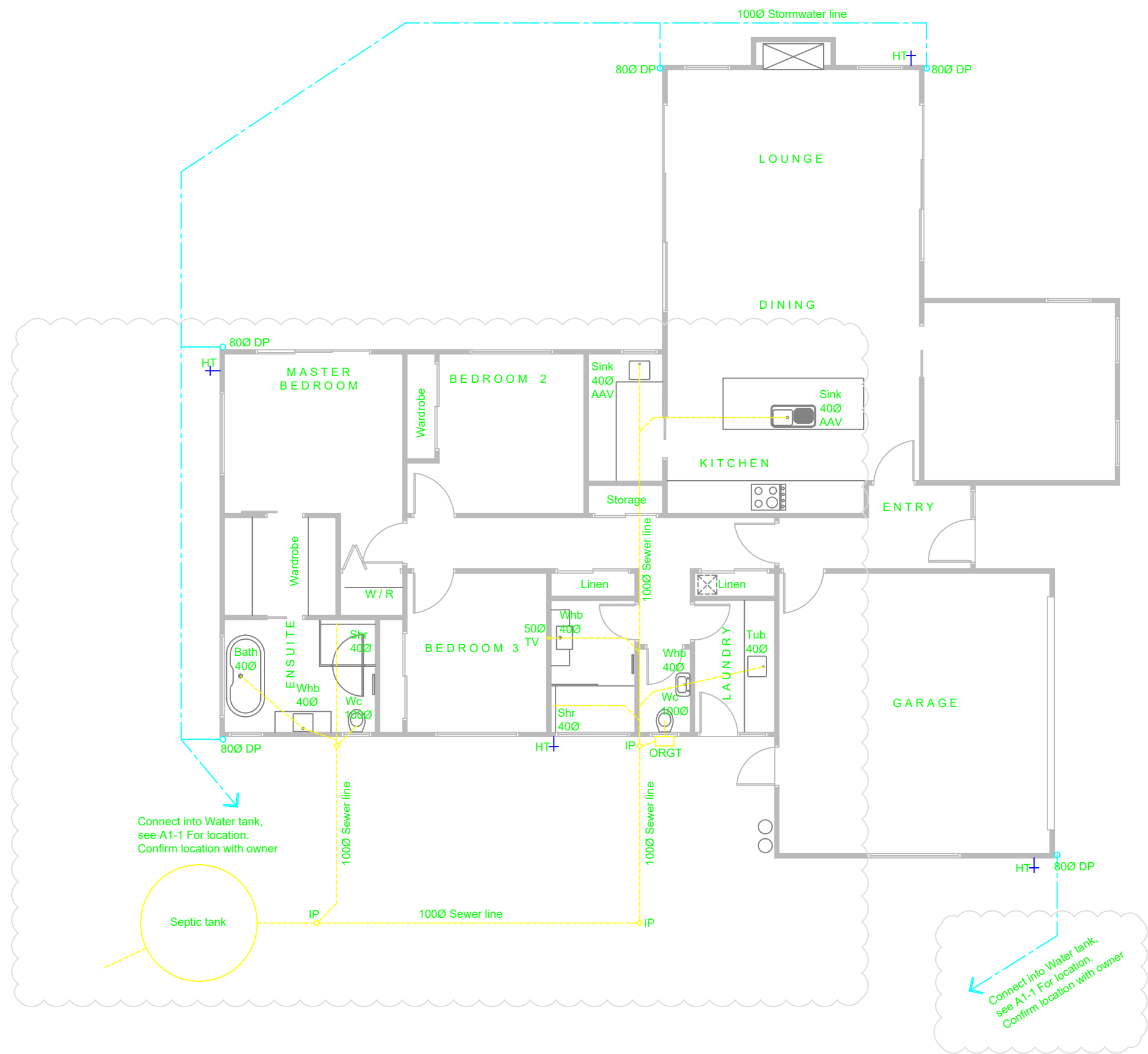
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SHEET No. :

A5-2

ROOF FRAMING PLAN

Scale 1:100



KEY

- 100 Ø Sewer
- 100 Ø Stormwater

PLUMBING & DRAINAGE NOTES

Foul Water Sanitary Plumbing shall comply with NZS 3500:2018

Stormwater drainage shall comply with NZBC E1/AS1

Size all wastes & drains to comply with the above, lay all drains to acceptable falls

Water supply & reticulation shall comply with NZBC G12/AS1

All drains shall be pvc

All water supply pipes shall be K2 piping

All plumbing and drainage shown as indicative only.

Plumber to confirm plumbing and drainage layout complying with the New Zealand Building Code

PLUMBING & DRAINAGE KEY

- IB Inspection bend
- IJ Inspection Junction
- IP Inspection Point
- Dp Downpipe
- WC Toilet Pan
- Whb Wash hand basin
- TV Terminal vent
- Shr Shower
- GT Gully trap
- + HT Hose tap (Confirm location with owner)
- HWC Hot water cylinder

Minimum Pipe Gradients

40Ø	1:40
100Ø	1:100

D	Waste water design revised as per as built. System changed from G13 to NZS 3500	03.09.20
C	Consent Issue	03.09.20
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A	Preliminary Issue	14.02.20

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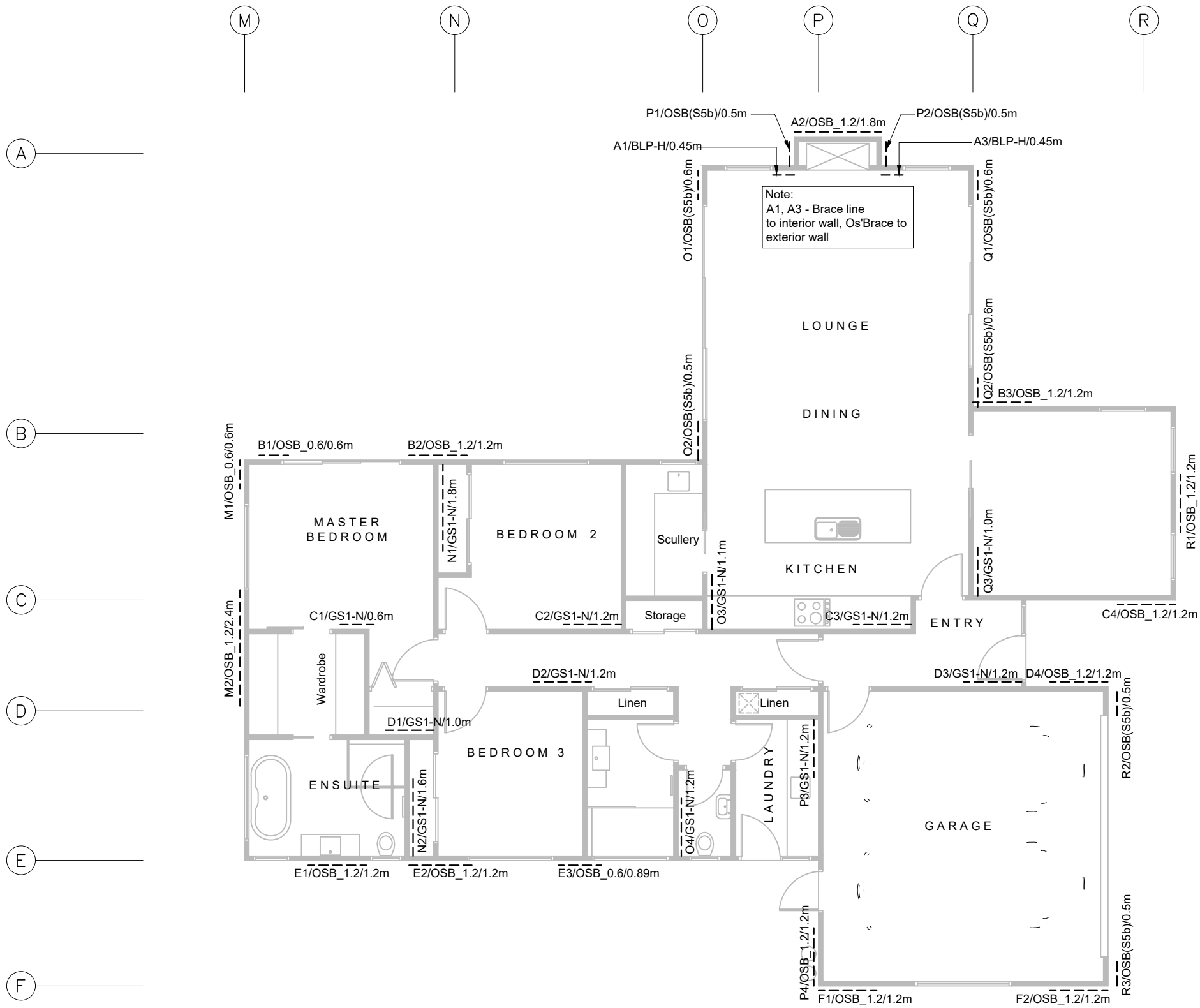
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DATE : September 2020

JOB No. : 4669 REVISION : D

SHEET No. : A5-3

PLUMBING AND DRAINAGE PLAN
Scale 1:100



GIB BRACING SYSTEM			
Type	L (m) Minimum	Lining	Other Requirements
OBS_0.6	0.6	600mm wall OS'brace	OSB - 600mm wall LVL wall framing. Mitek CPC80 Angle brackets with 120 SPAX A9L screws. Panel fixings 45x1.5mm staples
OBS_1.2	1.2	1200mm wall OS'brace	OSB - 1200mm x 2400mm wall 25 x 1.0 strap fixing, 25mm S/steel screws
OSB(S5b)	0.4 1.2	600mm Wall OS'Brace 10mm Standard GIB (System 5b)	OSB - 1200mm x 2400mm wall 25 x 1.0 strap fixing, 25mm S/steel screws
GS1-N	0.4 1.2	10 mm GIB® Standard Plasterboard one face	N/A
BLP-H	0.4 1.2	10mm Braceline to one side and a minimum of 7mm structural plywood to other side	Hold downs
BL1-H	0.4 1.2	10mm Braceline to one side	Hold downs

KEY :
--- Braced wall

C	Consent Issue	03.09.20
B	Pricing Issue	11.03.20
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Architectural Designers

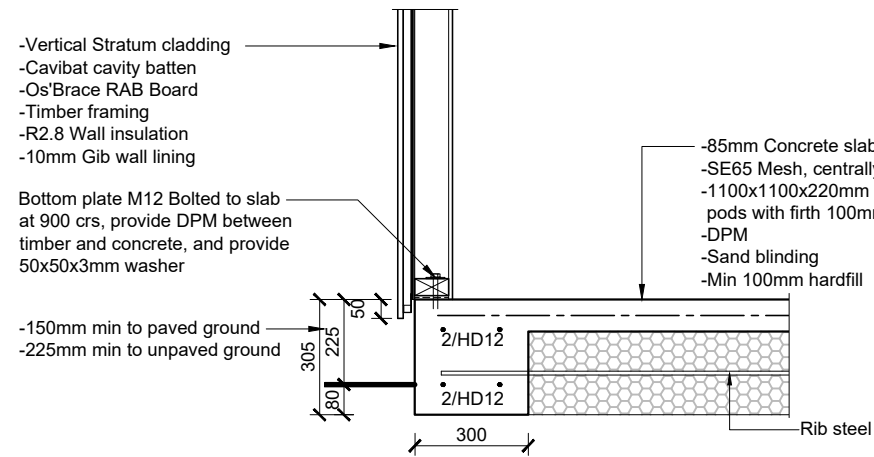
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SHEET No. :

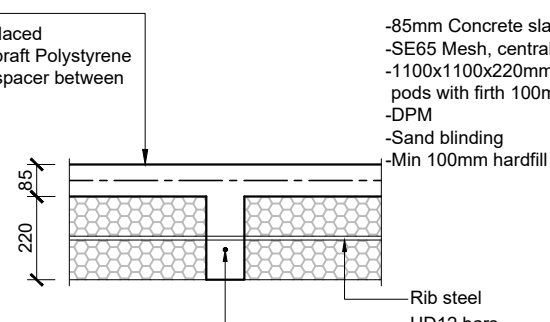
A5-4

BRACING PLAN

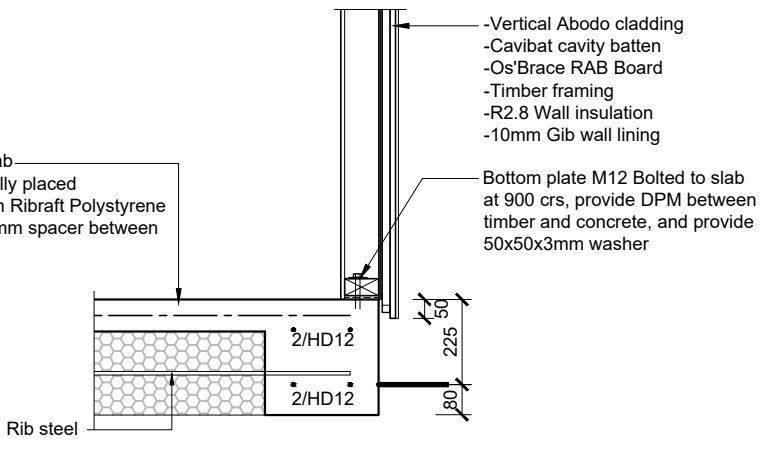
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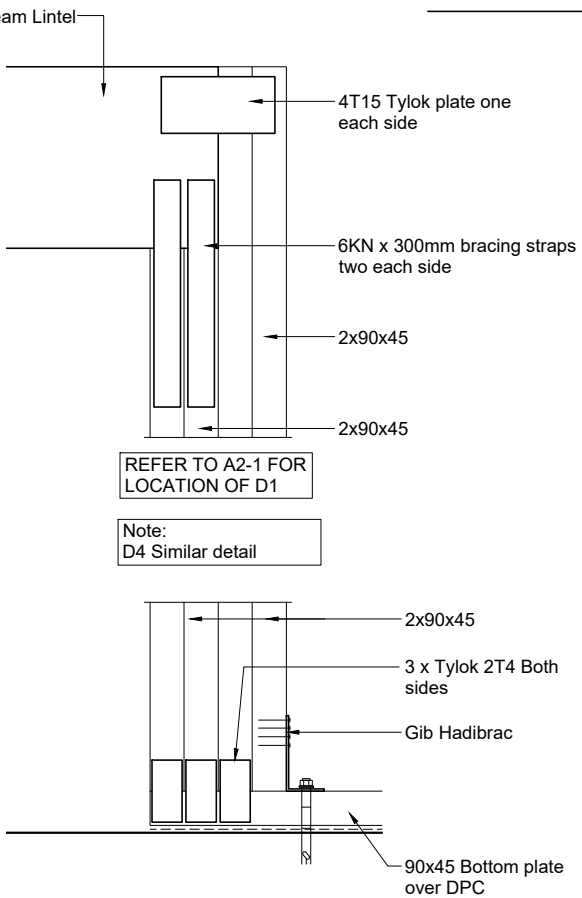
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A2-2 Scale 1:20



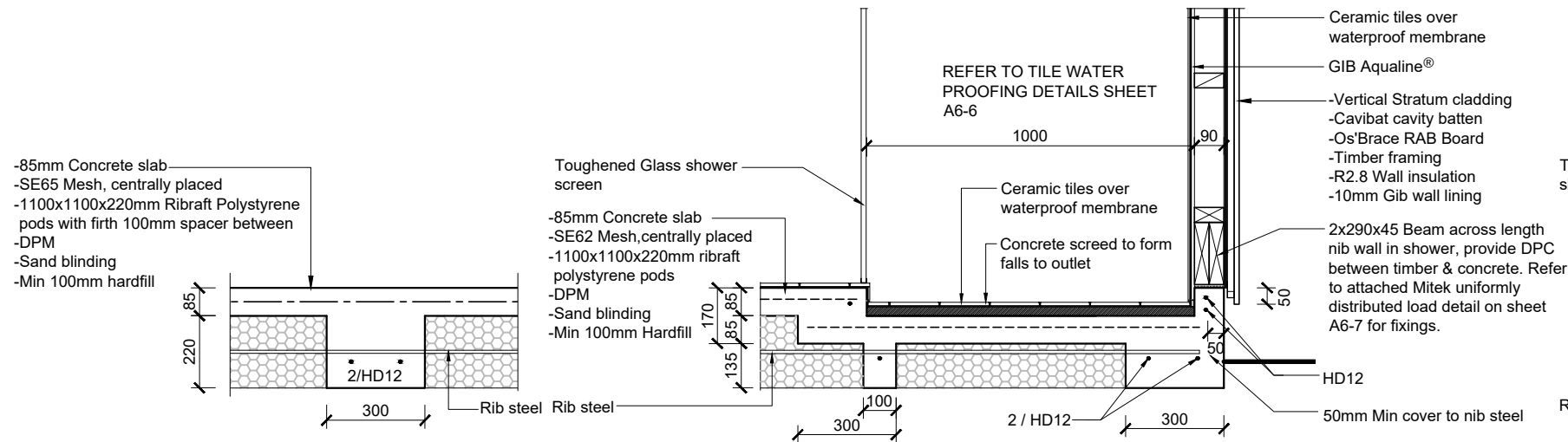
2 INTERNAL RIB DETAIL
A2-2 Scale 1:20



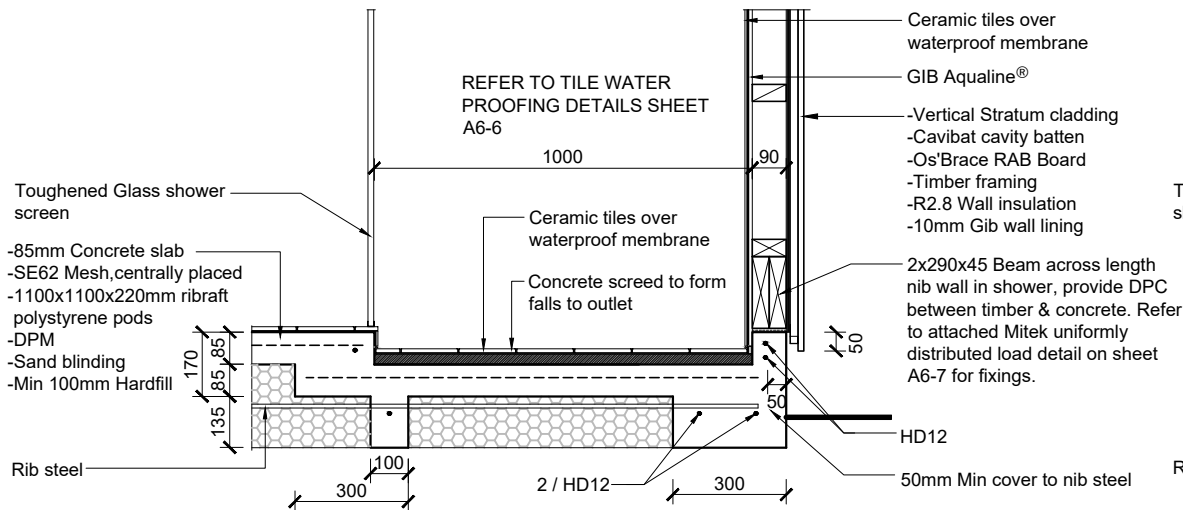
3 FOUNDATION DETAIL
A2-2 Scale 1:20



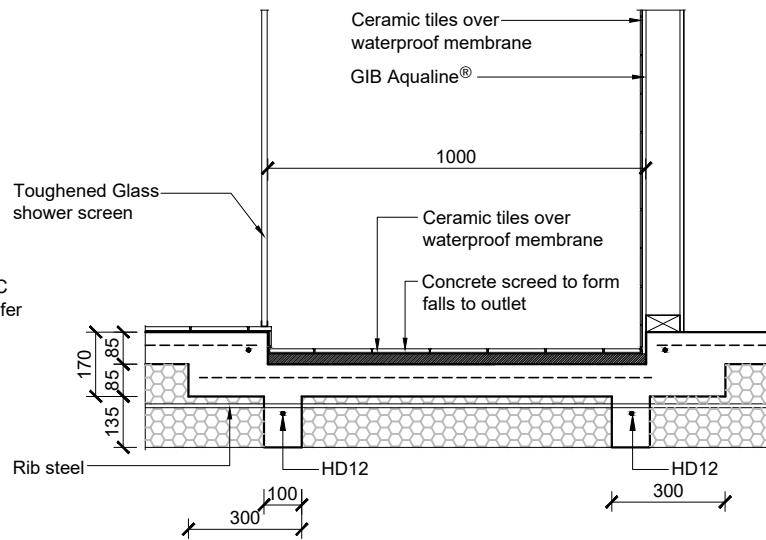
D1 LINTEL FIXING
Scale 1:10



4 INTERNAL RIB GARAGE DETAIL
A2-2 Scale 1:20



5 SHOWER REBATE DETAIL
A2-2 Scale 1:20



6 SHOWER REBATE DETAIL (INTERNAL)
A2-2 Scale 1:20

C	Consent Issue	03.09.20
B	Pricing Issue	11.03.20
A	Preliminary Issue	14.02.20

REVISION :

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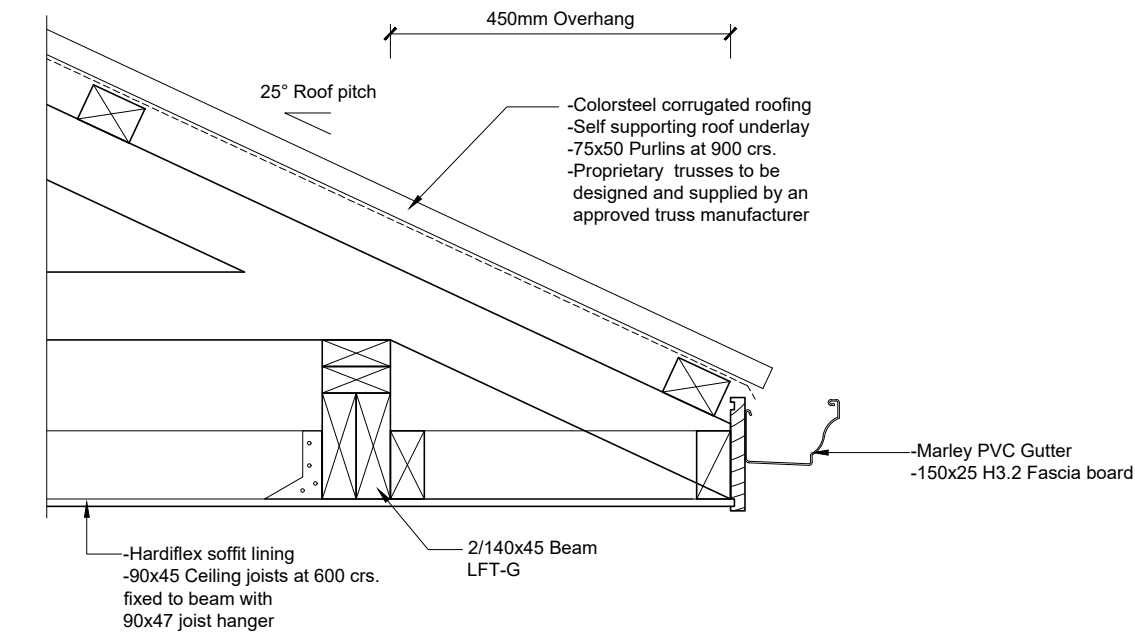
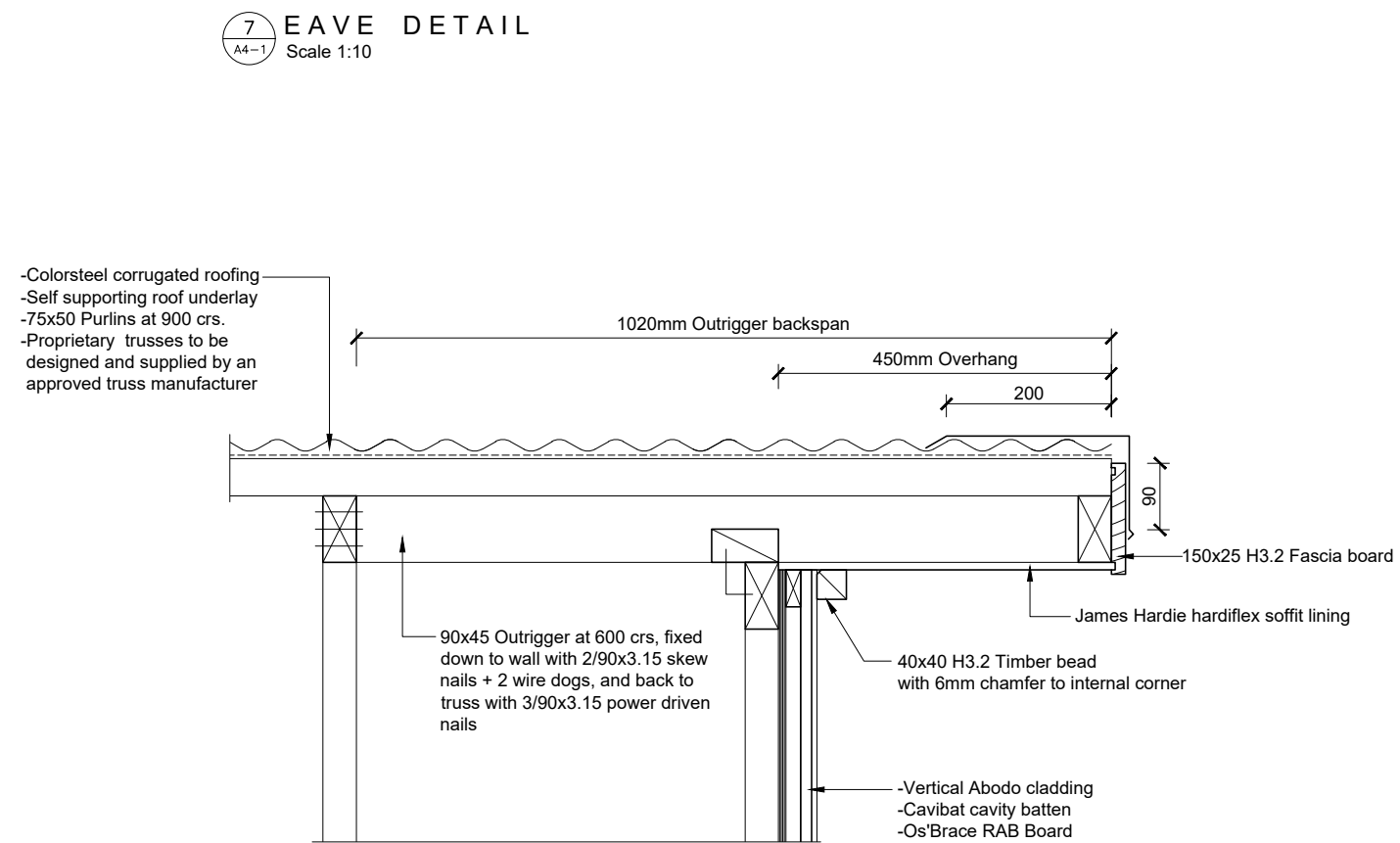
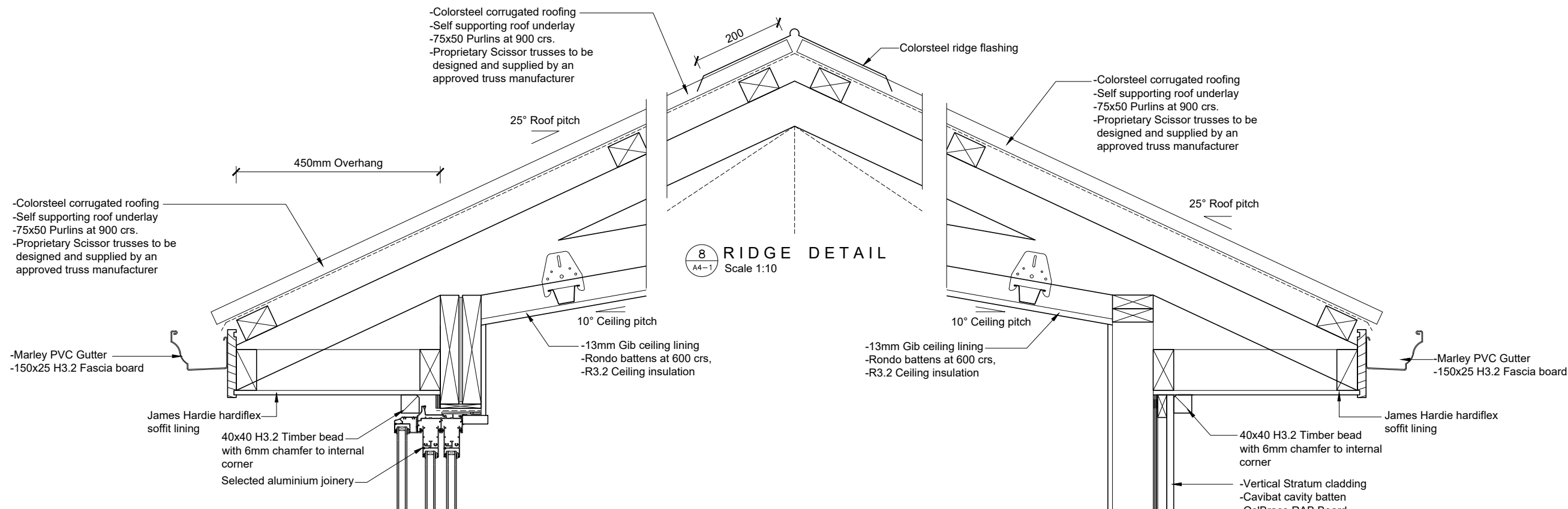
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SHEET No. :

A6-1



C	Consent Issue	03.09.20
B	Pricing Issue	11.03.20
A	Preliminary Issue	14.02.20

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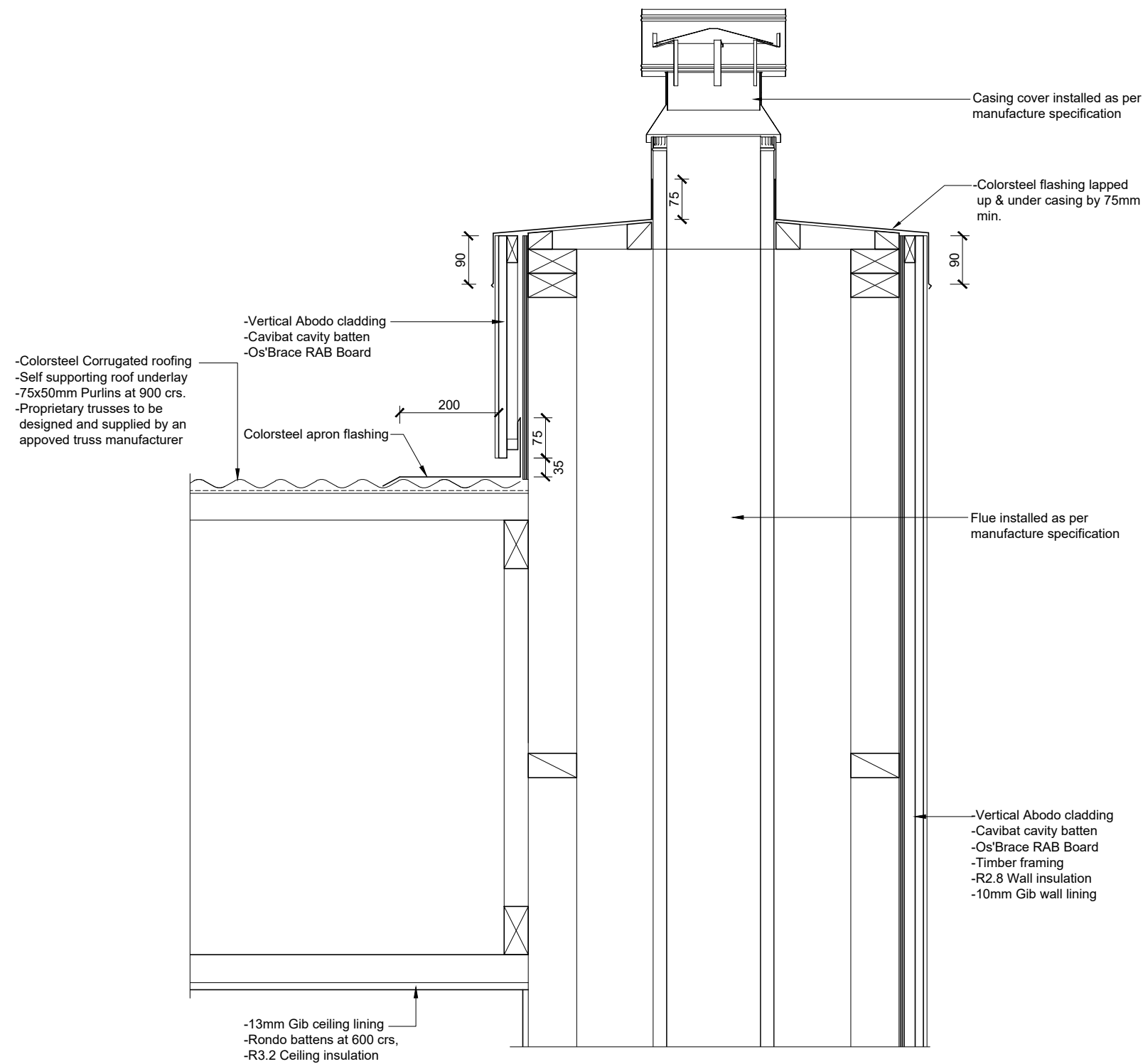
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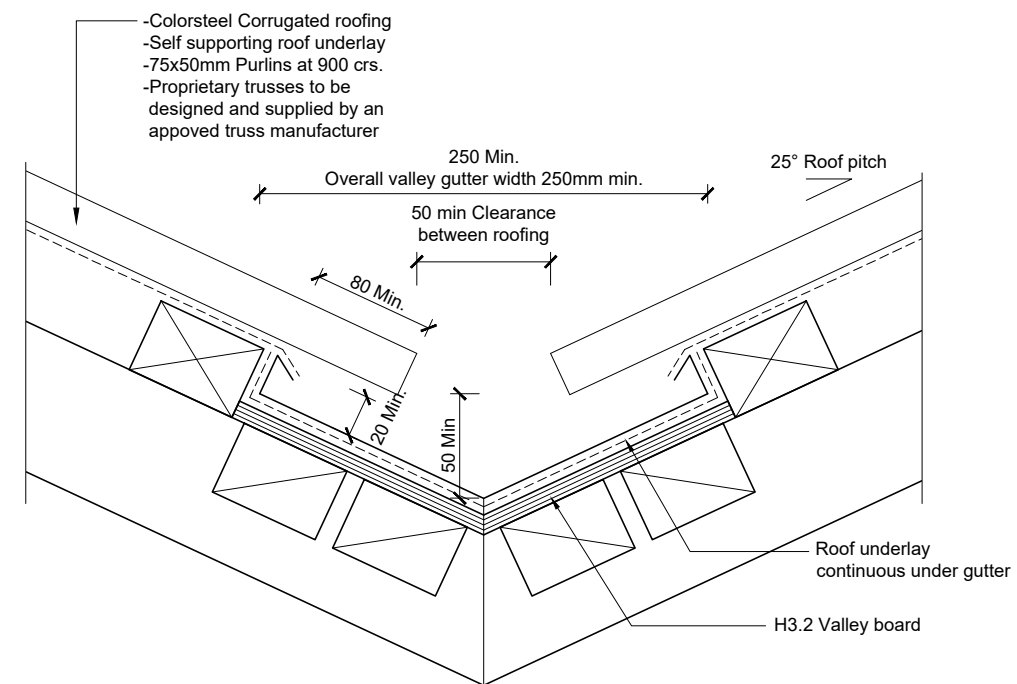
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SHEET No. :

A6-2



12 CHIMNEY DETAIL
A4-5 Scale 1:10



13 VALLEY DETAIL
A5-1 Scale 1:5

C	Consent Issue	03.09.20
B	Pricing Issue	11.03.20
A	Preliminary Issue	14.02.20

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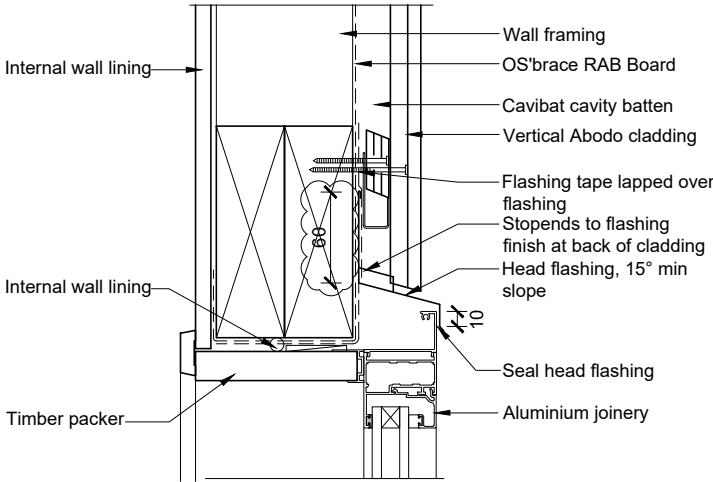
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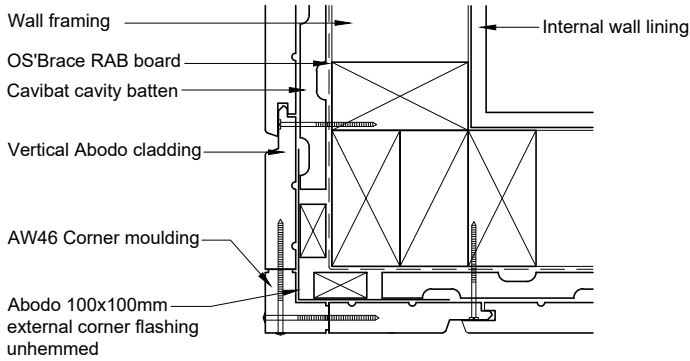
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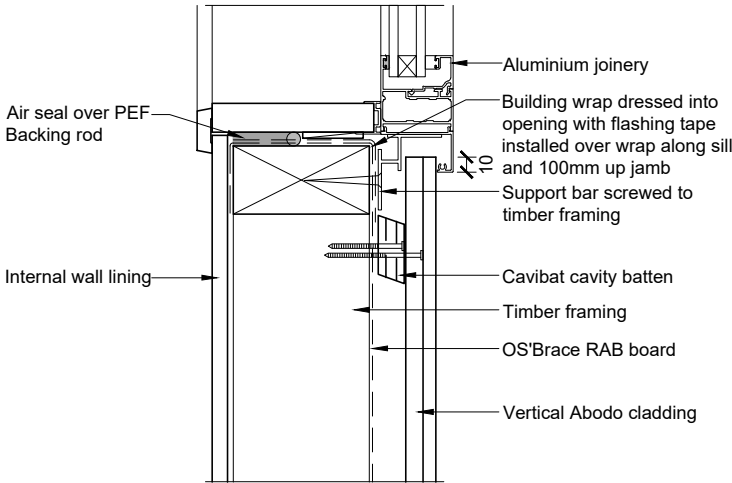
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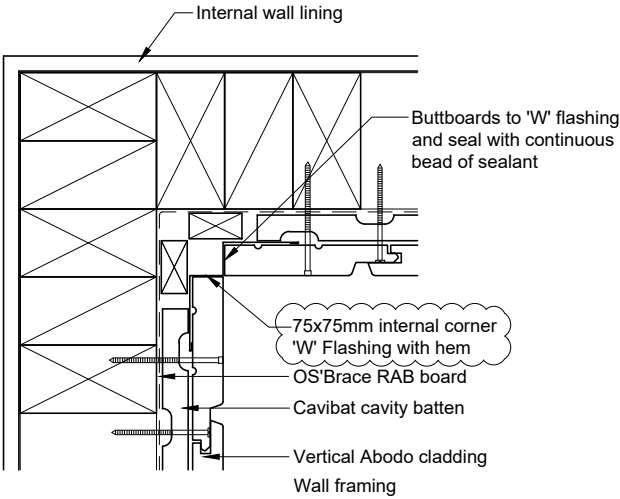
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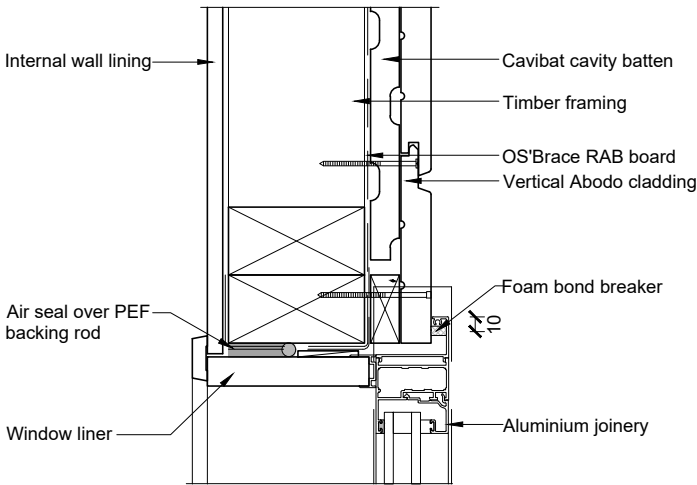
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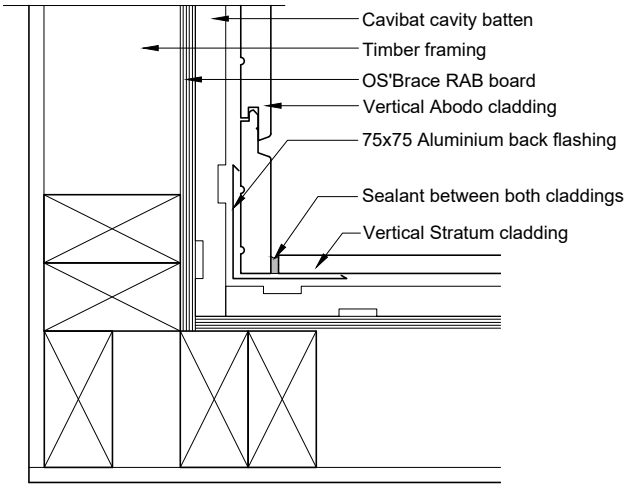
SILL DETAIL (Vertical Abodo)
Scale 1:5



INTERNAL CORNER (Vertical Abodo)
Scale 1:5



JAMB DETAIL (Vertical Abodo)
Scale 1:5



INTERNAL CORNER
(Vertical Abodo & Vertical Stratum)
Scale 1:5

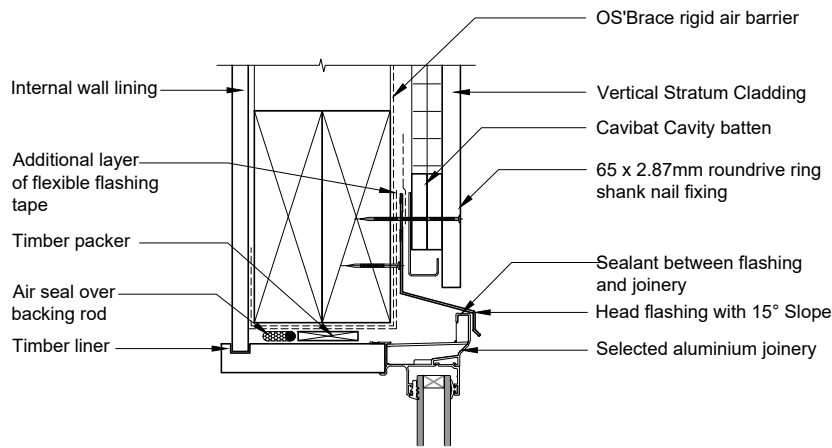
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C	Consent Issue	03.09.20
B	Pricing Issue	11.03.20
A	Preliminary Issue	14.02.20

REVISION :
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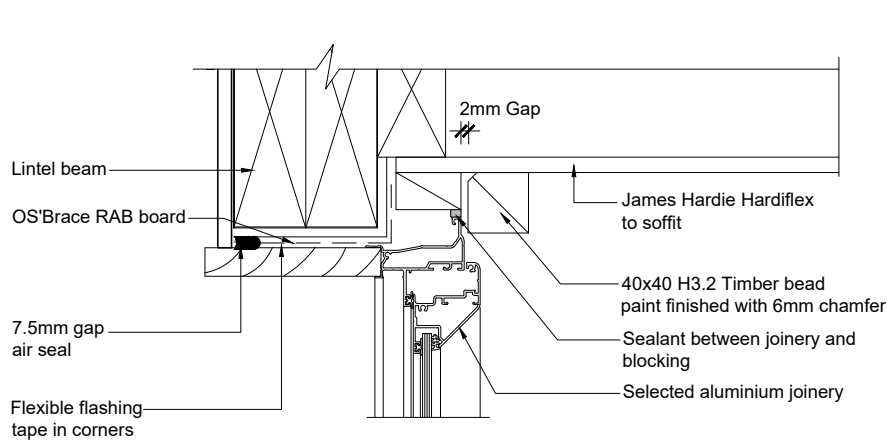
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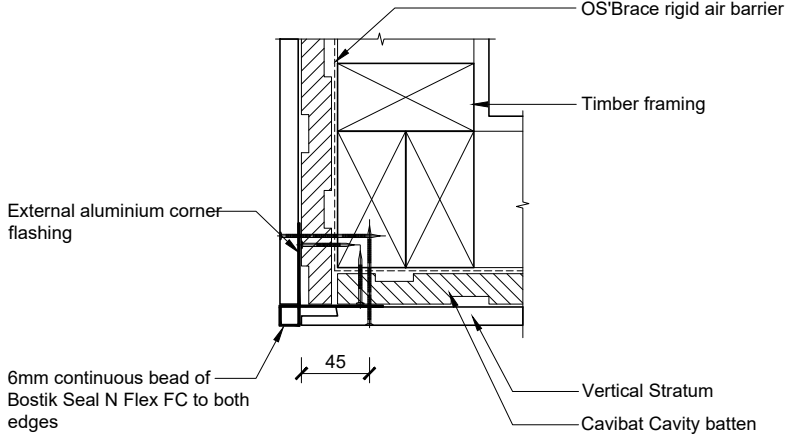
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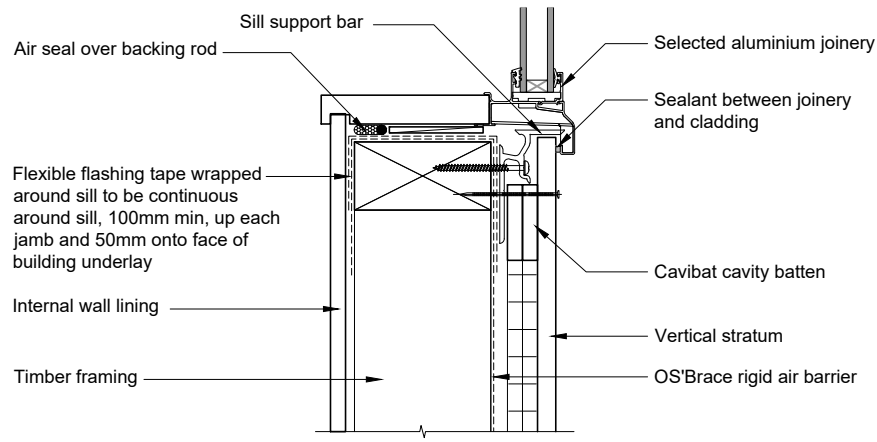
WINDOW HEAD DETAIL (Vertical Stratum)
Scale 1:5



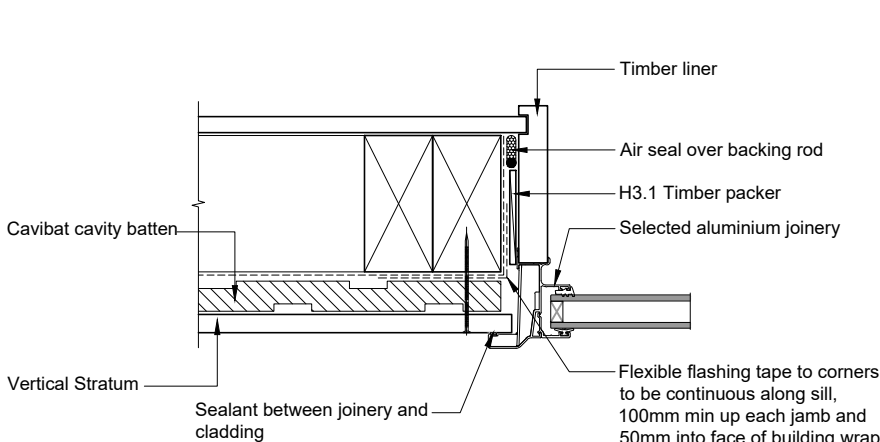
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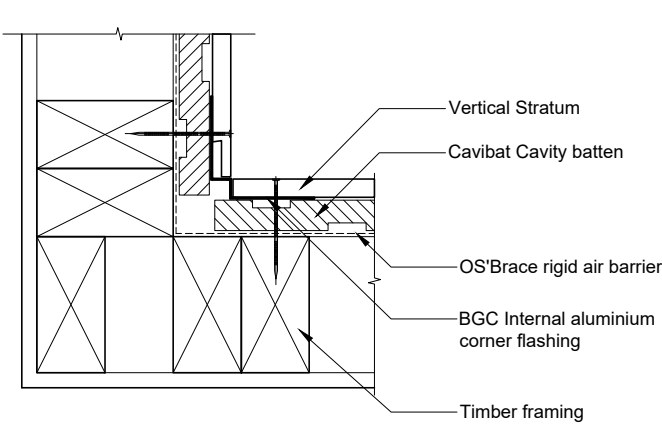
EXTERNAL CORNER DETAIL
(Vertical Stratum)
Scale 1:5



WINDOW SILL DETAIL (Vertical Stratum)
Scale 1:5



WINDOW JAMB DETAIL (Vertical Stratum)
Scale 1:5



INTERNAL CORNER DETAIL
(Vertical Stratum)
Scale 1:5

C	Consent Issue	03.09.20
B	Pricing Issue	11.03.20
A	Preliminary Issue	14.02.20

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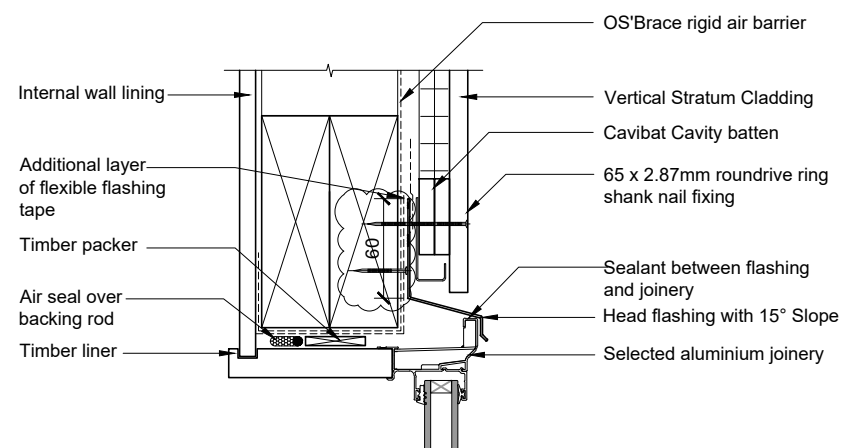
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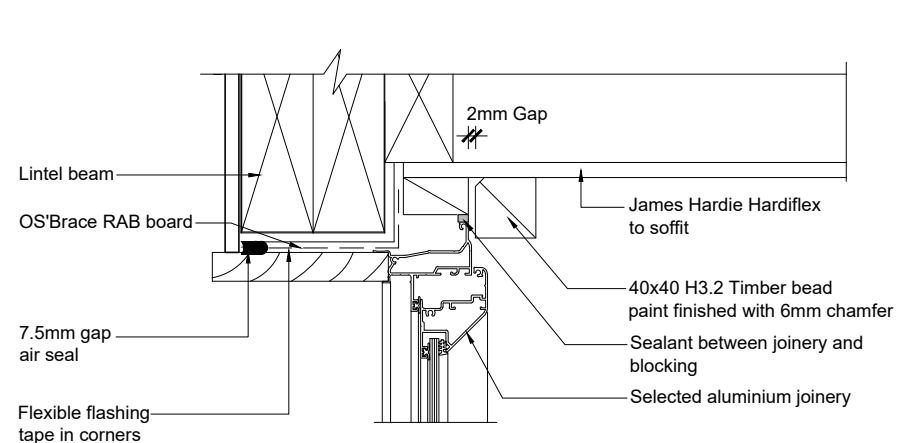
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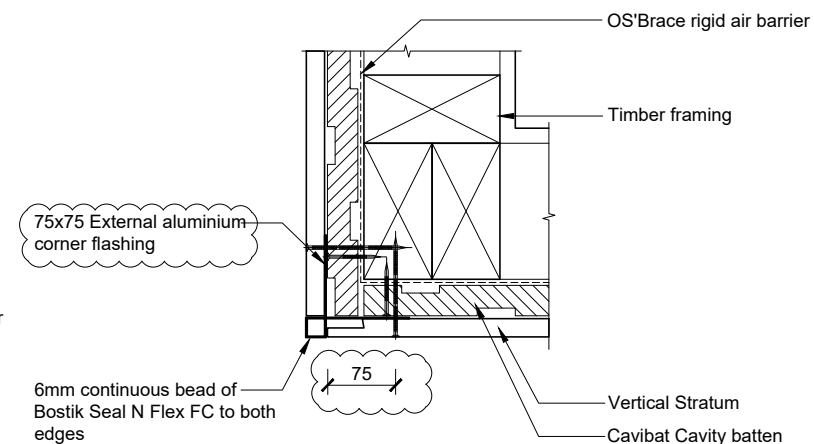
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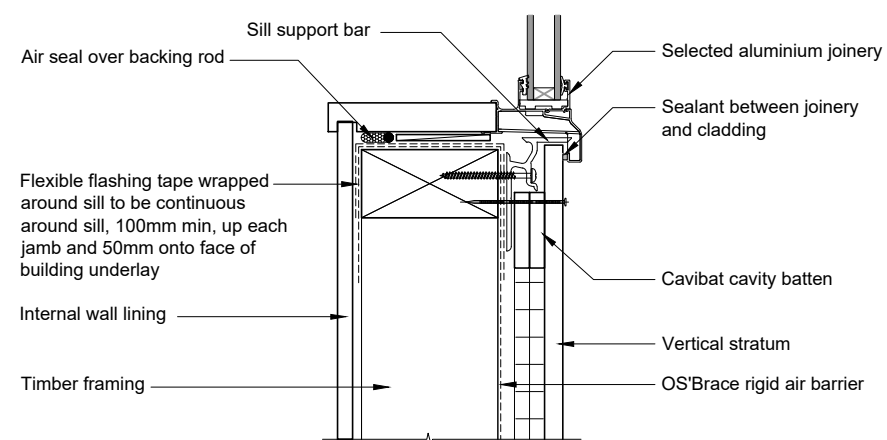
WINDOW HEAD DETAIL (Vertical Stratum)
Scale 1:5



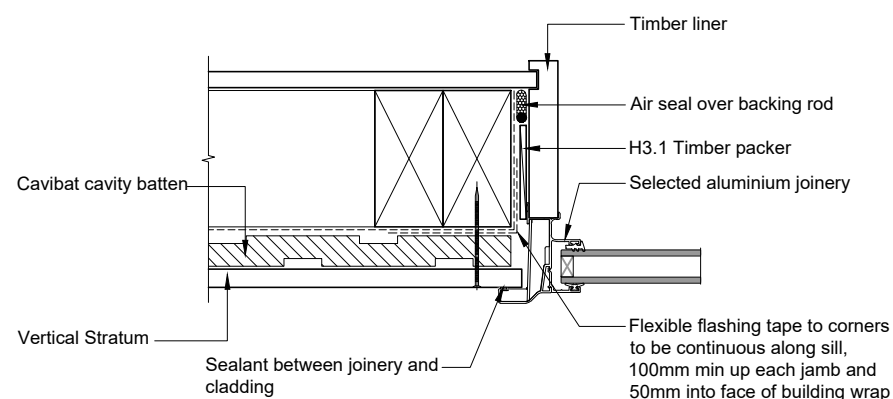
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(Vertical Abodo & Vertical Stratum)
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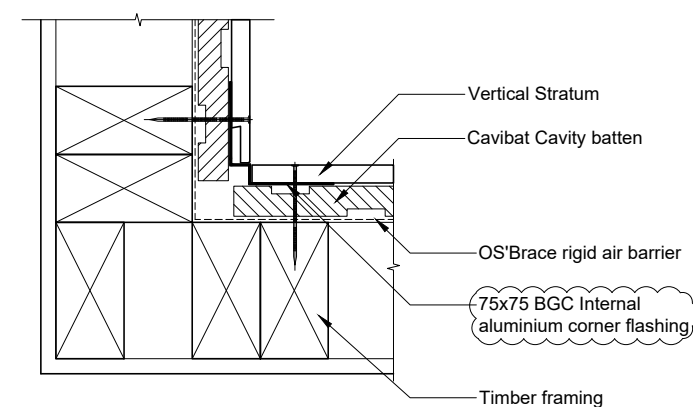
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(Vertical Stratum)
Scale 1:5



WINDOW SILL DETAIL (Vertical Stratum)
Scale 1:5



WINDOW JAMB DETAIL (Vertical Stratum)
Scale 1:5



INTERNAL CORNER DETAIL
(Vertical Stratum)
Scale 1:5

D	Flashings revised	12.10.20
C	Consent Issue	03.09.20
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A	Preliminary Issue	14.02.20

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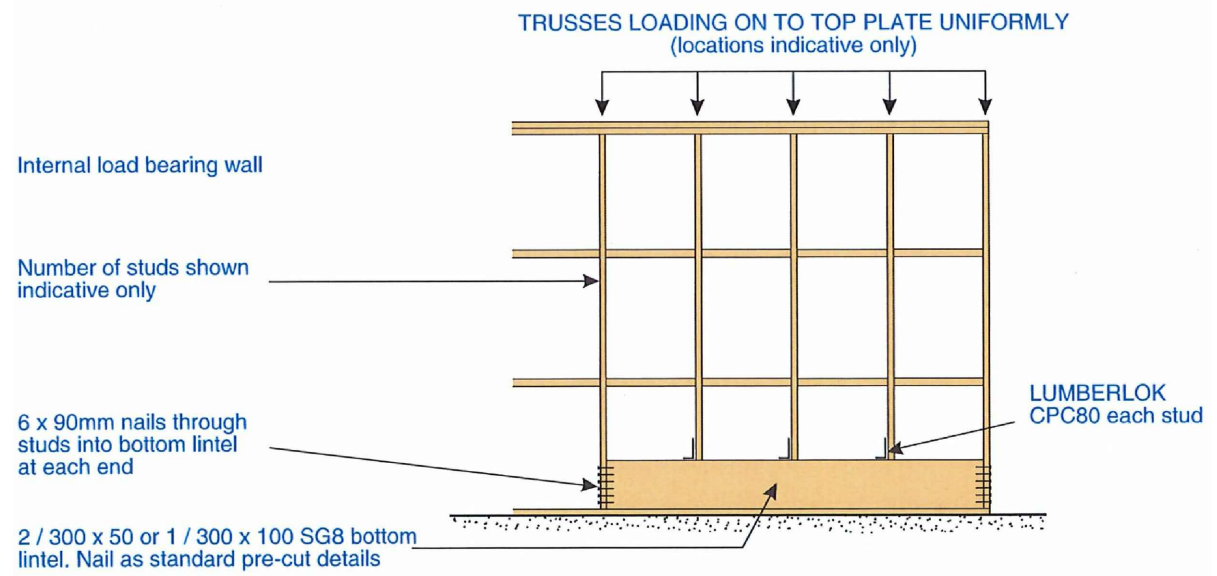
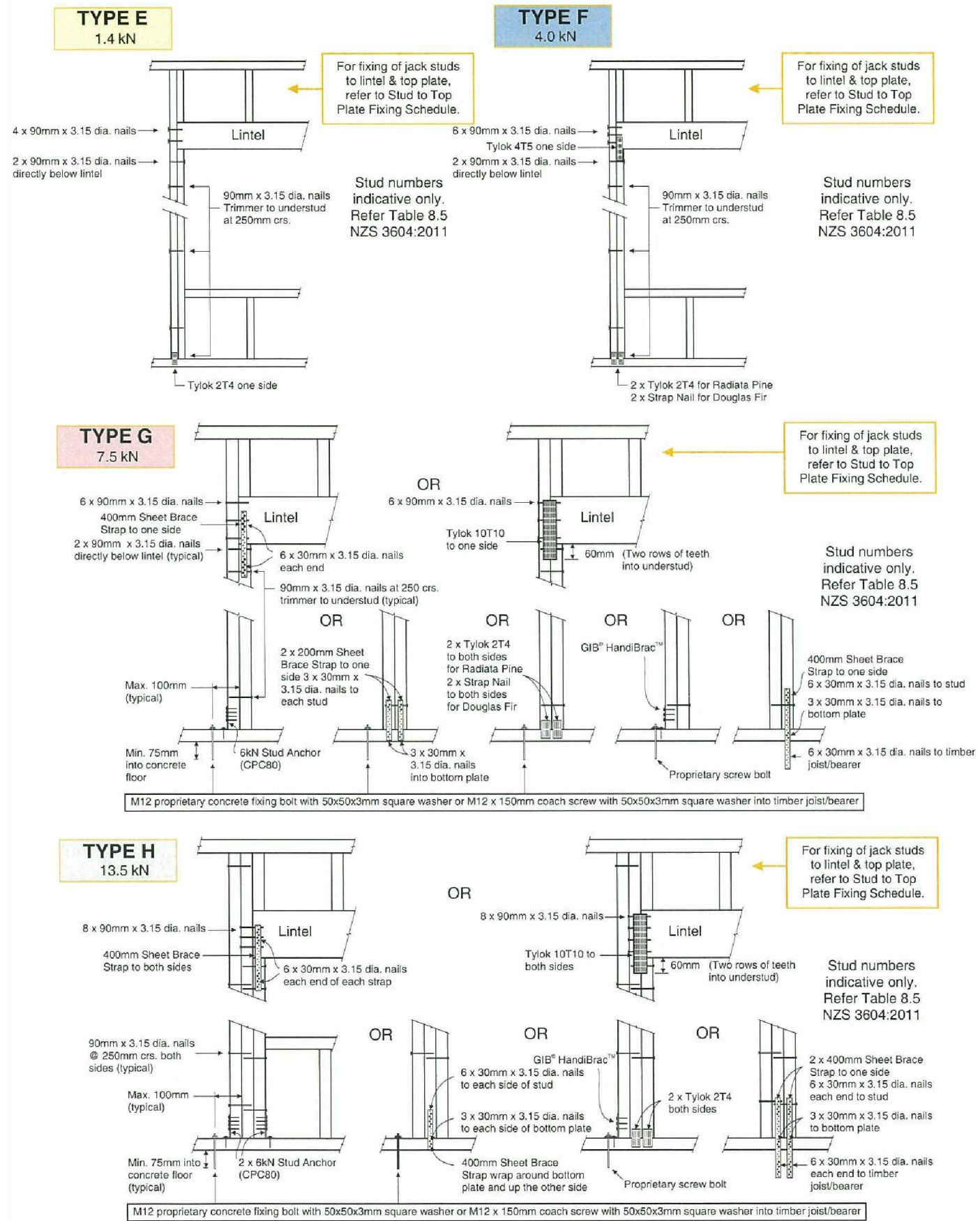
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A6-5



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SCALE NTS

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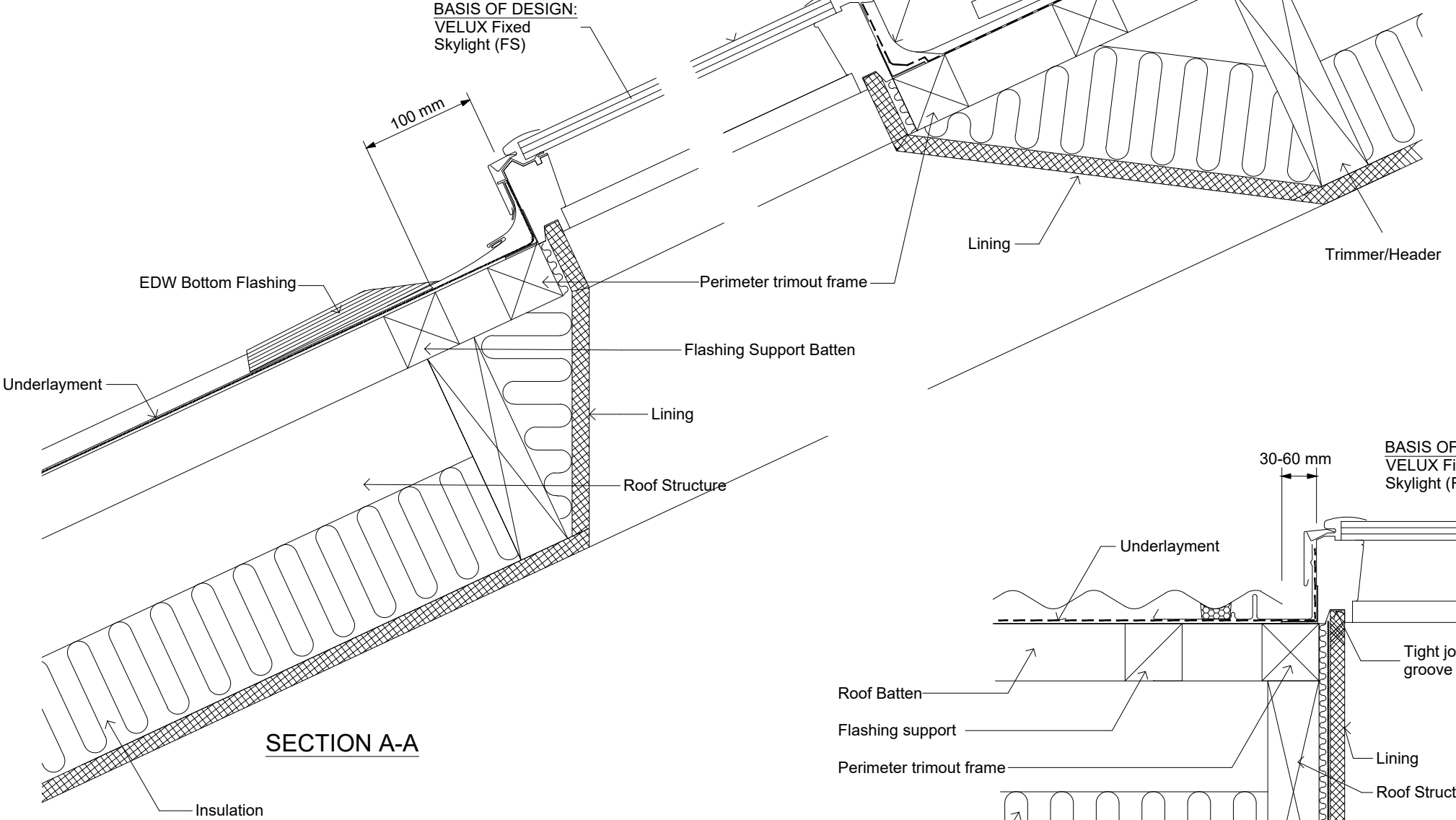
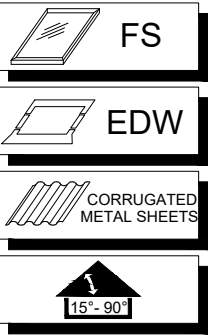
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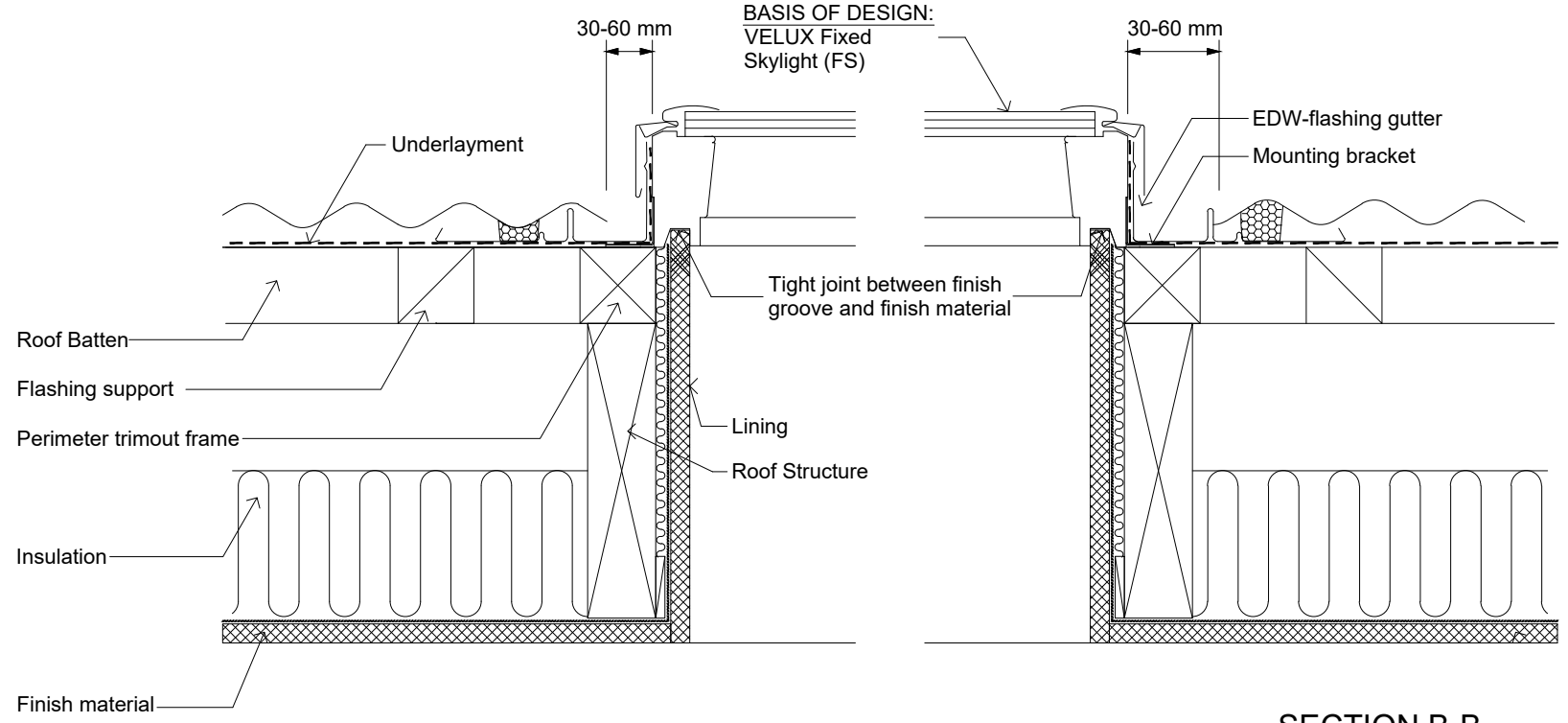
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A6-7

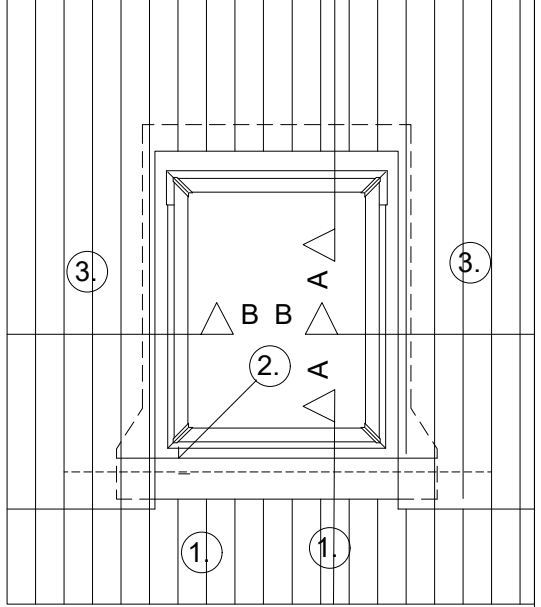


SECTION A-A



SECTION B-B

ELEVATION



VELUX Skylight installed in new metal roofing.

1. The sheets are fitted 100 mm from the bottom frame
2. The flashing is mounted
3. Fit the metal sheets

FS - Fixed Skylight and EDW Flashing in Corrugated Metal Roof



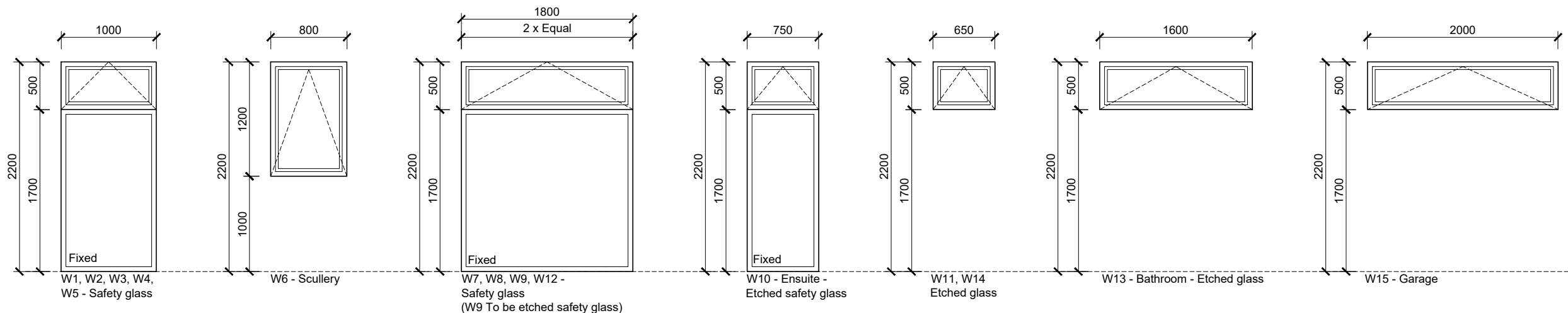
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0800 650 445

Name	Date
Drawn by	Jan 18
Checked by	Jan 18
Drawing No.	A6-8

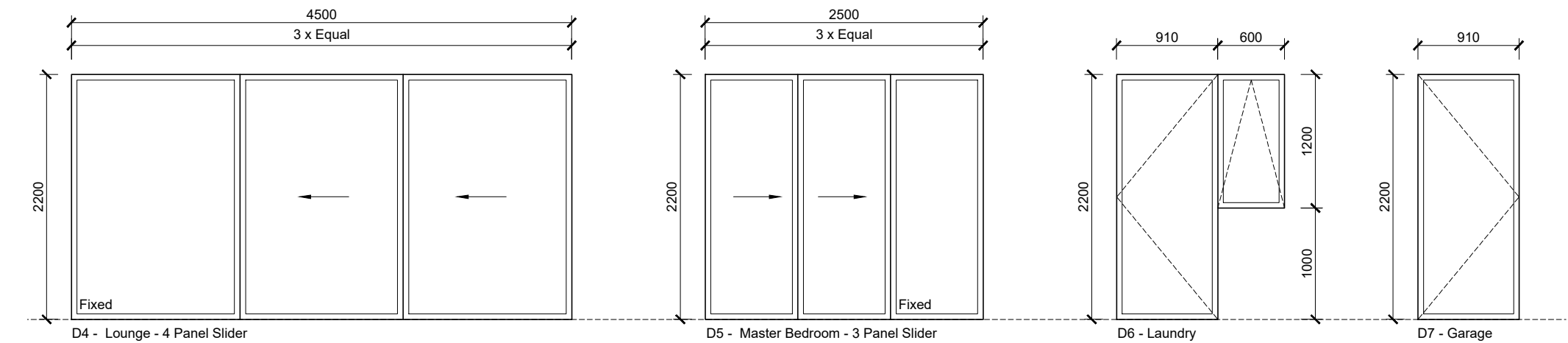
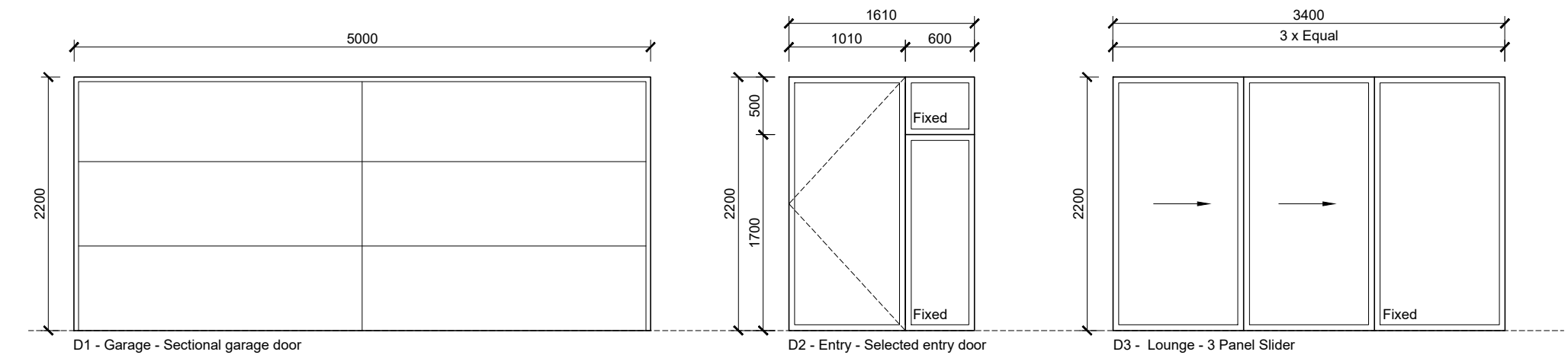
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WINDOW SCHEDULE
Scale 1:50



DOOR SCHEDULE
Scale 1:50

NOTE:

Aluminium windows and doors to comply Aluminium frame IGU clear glass approved specifications and guidelines

Exterior doors to be installed strictly with the manufacturers instructions and recommendations and good trade practice

Comply with NZS 3504, NZS 4211 and NZS 4223

Liase with owner on selected powder coating colour and glazing type

All windows & door glazing to be double glazed

All glass below 800mm to be safety glass as per NZS 4223 clause 6.

C	Consent Issue	03.09.20
B	Pricing Issue	11.03.20
A	Preliminary Issue	14.02.20

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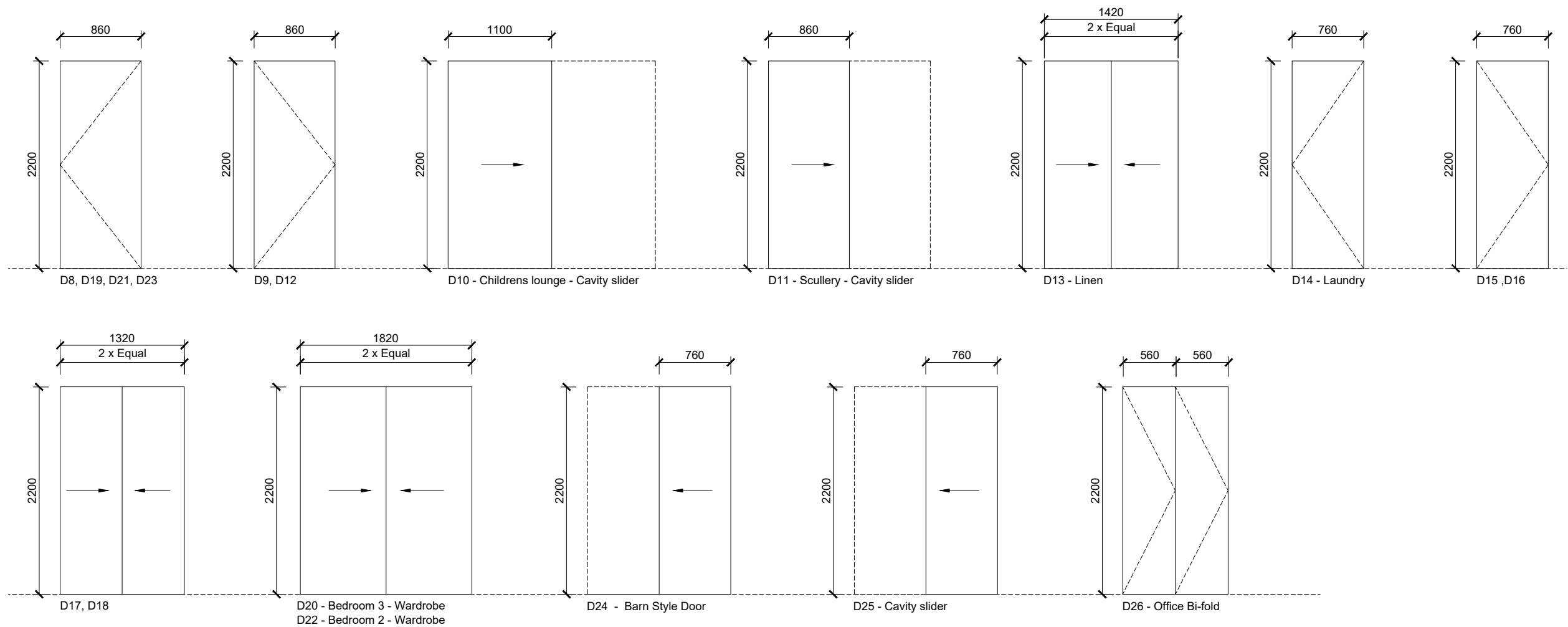
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SHEET No. : A7-1



DOOR SCHEDULE

Scale 1:50

NOTE:

Aluminium windows and doors to comply Aluminium frame IGU clear glass approved specifications and guidelines

Exterior doors to be installed strictly with the manufacturers instructions and recommendations and good trade practice

Comply with NZS 3504, NZS 4211 and NZS 4223

Liase with owner on selected powder coating colour and glazing type

All windows & door glazing to be double glazed

All glass below 800mm to be safety glass as per NZS 4223 clause 6.

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DATE : September 2020

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SHEET No. :

A7-2



Te Kaunihera-ā-Rohe o Ngāmotu

New Plymouth District Council

Code Compliance Certificate

Form 7, Section 95, Building Act 2004

The Building

Street address of building:	956 Richmond Road INGLEWOOD 4389
Legal description of land where building is located:	LOT 1 DP 520844
Current, lawfully established use:	Residential
Year first constructed:	2020

The Owner

Name of owner:	Landon Jones Victoria Jones	
Owner Mailing address:	956 Richmond Road RD 3 NEW PLYMOUTH 4373	Phone No (Pvt): 027 555 3146
Applicant :	4 Site Design	
		Email Address: lvjones16@outlook.com

Building Work

Building consent number:	BC20/127239
Description of work:	Three bedroom dwelling with attached double garage
Issued by:	New Plymouth District Council

Code Compliance

The building consent authority named below is satisfied, on reasonable grounds, that—
(a) the building work complies with the building consent.

This is a final code compliance certificate issued in respect of all of the building work under the above building consent.

Anne Foot
Building Administration Officer

On behalf of: New Plymouth District Council
Date issued: 16 August 2021

Statement of Passing Over:

This information has been supplied by the vendor or the vendor's agents and move (powered by ownly Ltd licensed REAA 208) is merely passing over this information as supplied to us. We cannot guarantee its accuracy as we have not checked, audited, or reviewed the information and all intending purchasers are advised to conduct their own due diligence investigation into this information. Where you have been supplied with a Council Property File or a LIM Report, please note there may be matters relating to pre-1992 consents or permits in this file which may need further investigation in order to determine their relevance. To the maximum extent permitted by law we do not accept any responsibility to any party for the accuracy or use of the information herein.

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