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Horowhenua County Council

PERMIT No. 12296

7011038.

LOCALITY

Waikanae

DATE RECEIVED

22 : 7 : 80.

DATE ISSUED

18 : 8 : 80.

APPLICATION FOR BUILDING PERMIT

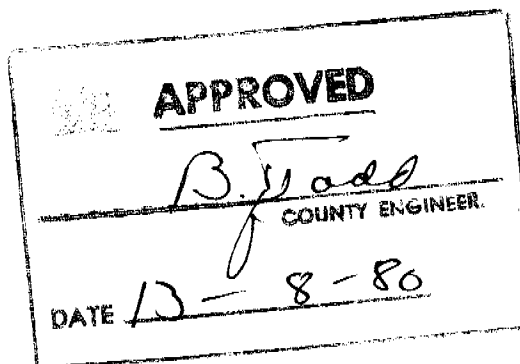
OWNER'S NAME

Sparrow.

FOR OFFICE USE ONLY

REMARKS:

Footpath damage 4m² directly attributable to site works
on responsibility of applicant.



o/c by hand.

NOTE.—

1 All Plans and Specifications must be in ink.

FP
1004
1004

APPLICATION FOR BUILDING PERMIT

TO THE BUILDING INSPECTOR,
Horowhenua County Council,
Bath Street,
Levin.Postal Address: Horowhenua County Council,
P.O. Box 258,
Levin.I, the undersigned, do hereby apply for PERMISSION to erect BUILDINGS in accordance with the under-mentioned particulars in WAIKANAÉ RIDING.1. Type of Building: PRIVATE DWELLING

Dwellings, etc.; additions or alterations.

Particulars of Building: Foundations: CONCRETEWalls: Timber Frame
Brick veneer
Hardiflex Sheet
Hardiplanks Roof: Steel Piles
Asph/Flt coatedTotal floor area: 265 sq. metres.Garage 44-88m²2. Purpose for which every part of Building is to be used or occupied. (Describing separately each part intended for use or occupation for a separate purpose) Residential dwelling3. Allotment: Lot: 11 D.P.: 46078 Section: 7Area: 1154 M² Block: _____ S.D. _____ Locality: Waikanae4. Owner's Full Name: Gilbert Jefferson SparrowAddress: Heather Yvonne Sparrow
26 GLEN RD RAUMATI SOUTH5. Previous Owner ☐ If Section has been recently transferred Riverglade Limited6. Frontage (Length): 34.1 M Name of Street or Road: River Glade7. Estimated Value of Building— \$ 44,090.00Plumbing and Drainage— \$ 5,230.00Total \$ 59,320.008. Fees \$ 177.00 :No. of Receipt 16532

See Scales of Fees on Back Page.

Building Research Levy \$ 73.00 : Footpath Damage Deposit \$ 200.00 :

All work will be carried out in accordance with Horowhenua County Council's By-laws.

NOTE:—The following MUST accompany this Application:—

Plans and Specifications in Duplicate to be provided.

Together with every application there shall be submitted to the Engineer, in duplicate, detailed plans, elevations, cross sections, and specifications, which shall together furnish complete details of design and qualities and descriptions of all materials of construction and workmanship, and which shall be of sufficient clarity to show to the satisfaction of the Engineer the exact nature and character of the proposed undertaking and the provision made for full compliance with the requirements of the By-laws including:

- A Floor plan of each floor level;
- An elevation of each external wall;
- The type and location of each foundation element (for example; reinforced masonry foundation wall. Anchor pile, cantilevered pile, etc.);
- Adequate information on all subfloor, floor, wall and roof framing, including the type and location of each subfloor brace, diagonal brace, and wall bracing element and the number of bracing units assigned to each wall bracing element;
- The type and location of cladding, sheathing and lining.
- Where a building requires Plumbing and Drainage Work, a separate application form must be filled in and Permit obtained before commencing any such work.

Signature of Applicant [Signature] as BUILDER or OWNER.Address 26 GLEN RD RAUMATI SOUTHBuilder's Name and Address ☐ if not the applicant [Signature]

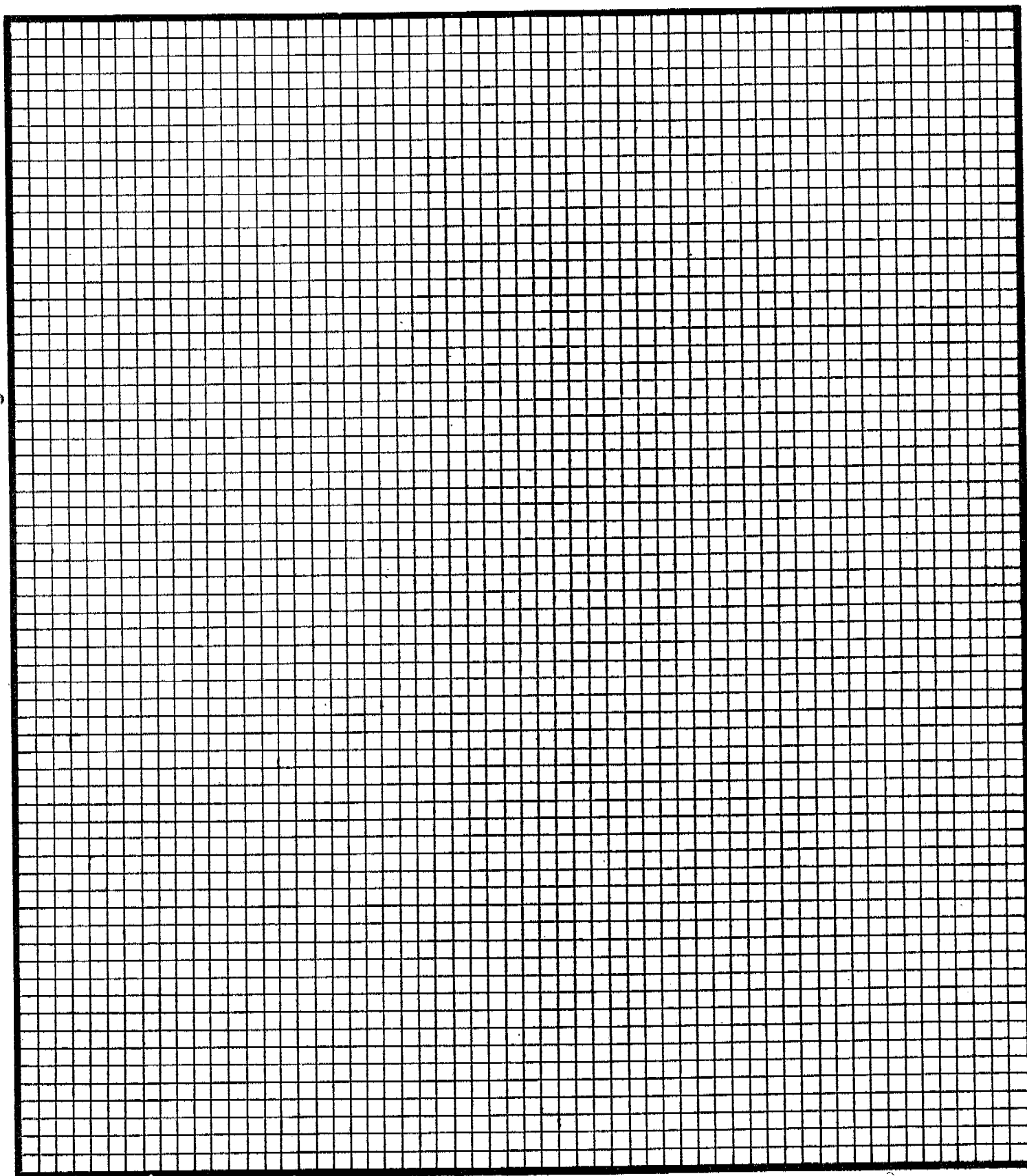
PLAN OF ALLOTMENT

Showing position of proposed building on such allotment.
NOTE.—Distances of each building from boundary lines must be clearly indicated.
(Scale: Two squares to one metre.)

Boundary Lines to be shown thus: — — — — —

Generally DWELLINGS must NOT be ERECTED within 1.5 METRES of ADJOINING properties.

Frontage to Road



ALL EXISTING BUILDINGS TO BE SHOWN IN RED ON THIS PLAN

SCALE OF FEES

For the examination of plans and specifications of any building and for the inspection of such building the following fees shall be payable according to the estimated value of the work.

In any dispute as to value, the County Engineer shall have the absolute determination of the value of the proposed work or building.

ESTIMATED VALUE OF WORK					FEES
Over	\$400	and	Not exceeding	\$400	\$3.00
	\$600		not exceeding	\$600	\$4.50
"	\$800	"	"	\$800	\$6.00
"	\$1,000	"	"	\$1,000	\$7.50
"	\$1,200	"	"	\$1,200	\$9.00
"	\$1,400	"	"	\$1,400	\$10.50
"	\$1,600	"	"	\$1,600	\$12.00
"	\$1,800	"	"	\$1,800	\$13.50
"	\$2,000	"	"	\$2,000	\$15.00
"	\$2,500	"	"	\$2,500	\$18.00
"	\$3,000	"	"	\$3,000	\$21.00
"	\$3,500	"	"	\$3,500	\$24.00
"	\$4,000	"	"	\$4,000	\$27.00
"	\$5,000	"	"	\$5,000	\$31.50
"	\$6,000	"	"	\$6,000	\$36.00
"	\$7,000	"	"	\$7,000	\$40.50
"	\$8,000	"	"	\$8,000	\$45.00
"	\$9,000	"	"	\$9,000	\$49.50
"	\$10,000	"	"	\$10,000	\$54.00
"	\$12,000	"	"	\$12,000	\$60.00
"	\$14,000	"	"	\$14,000	\$66.00
"	\$16,000	"	"	\$16,000	\$72.00
"	\$18,000	"	"	\$18,000	\$78.00
"	\$20,000	"	"	\$20,000	\$84.00
"	\$25,000	"	"	\$25,000	\$96.00
"	\$30,000	"	"	\$30,000	\$108.00
"	\$35,000	"	"	\$35,000	\$120.00
"	\$40,000	"	"	\$40,000	\$132.00
"	\$50,000	"	"	\$50,000	\$147.00
"	\$60,000	"	"	\$60,000	\$162.00
"	\$70,000	"	"	\$70,000	\$177.00
"	\$80,000	"	"	\$80,000	\$192.00
"	\$90,000	"	"	\$90,000	\$207.00
"	\$100,000	"	"	\$100,000	\$222.00
"	\$120,000	"	"	\$120,000	\$237.00
"	\$140,000	"	"	\$140,000	\$252.00
"	\$160,000	"	"	\$160,000	\$267.00
"	\$180,000	"	"	\$180,000	\$282.00
"	\$200,000	"	"	\$200,000	\$297.00
"	\$240,000	"	"	\$240,000	\$315.00
"	\$280,000	"	"	\$280,000	\$330.00

For every \$40,000 or part thereof in excess of \$280,000 add additional fee of \$15.00

FEES PAYABLE FOR SPECIAL DUTIES

For inspection required in the case of proposed structural alterations before plans for approval	\$6.00
For inspecting every detached stove, furnace, oven, close fire or forge erected subsequently to the building	\$6.00
For inspecting old timber before re-using the same in a new building	\$6.00
For any inspection that may be deemed necessary in connection with any building or work in respect of which no fee has otherwise been paid	\$6.00
For inspecting any timber or building outside the County prior to re-using or re-siting within the County (plus car mileage allowance)	\$6.00
For structurally checking plans and specifications by Council's Engineers, an increase of 25% of the building permit fee based upon the total value of the work will be charged.	

Horowhenua County Council

PERMIT No. W3991

LOCALITY Waikanae

DATE RECEIVED

DATE ISSUED 18.8.80

APPLICATION FOR PLUMBING AND DRAINAGE PERMIT

OWNER'S NAME Sparrow

FOR OFFICE USE ONLY

REMARKS:

Particular care must be taken in establishing drainage
inlet levels to coincide with proposed sewer levels.

APPROVED
<u>B. Todd</u>
COUNTY ENGINEER.
DATE <u>14-8-80</u>

Pressure reducing valves not permitted.
Upper floor wastes to be backvented as required.

NOTE.—In all cases where septic tanks are installed the site and position must be first approved by the County Health Inspector.

PLAN OF ALLOTMENT

Showing position of proposed buildings, Sanitary fittings, Drains, Gully traps, Inspection pipes and Ventilators, Septic tanks, Sumps, Irrigation trenches, Sewers and Stormwater drains, if any.

No Septic Tank or Effluent Drainage System may be installed within 3.3 metres of a dwelling or 1.5 metres of any boundary.

Boundary Lines to be shown thus: — — — — —

Frontage to Road

FEES NOT TO BE PAID UNTIL REQUESTED BY OFFICE

SCALE OF PERMIT FEES

Estimated Labour Value of Work:

Fee Payable:

Not exceeding	\$50	.....	\$6
In excess of \$50 but not exceeding	\$75	.....	\$9
In excess of \$75 but not exceeding	\$100	.....	\$12
In excess of \$100 but not exceeding	\$200	.....	\$18
In excess of \$200 but not exceeding	\$300	.....	\$24
In excess of \$300 but not exceeding	\$400	.....	\$30

Plus \$6 for every \$100 or part thereof in excess of \$400.

1068

H.C.C./D.1

Horowhenua County Council

PERMIT No. W4619

LOCALITY Waikanae Suez

DATE RECEIVED : : .

DATE ISSUED 24 : 11 : 81.

**APPLICATION
FOR PLUMBING AND DRAINAGE PERMIT**

OWNER'S NAME Sparrow

FOR OFFICE USE ONLY

REMARKS:

APPROVED
A. G. Jackson
COUNTY ENGINEER.
DATE 11-11-81

NOTE.—In all cases where septic tanks are installed the site and position must be first approved by the County Health Inspector.

Application For Plumbing and Drainage Permit

TO THE COUNTY HEALTH INSPECTOR,
Horowhenua County Council,
Bath Street,
Levin.

Postal Address:
Horowhenua County Council,
P.O. Box 258,
Levin.

I, the undersigned, do hereby apply for a permit to carry out DRAINAGE and PLUMBING work in accordance with the undermentioned particulars.

Description of Drainage and Plumbing Work

*Sewer connection
to bypass temporary Septic tank.*

Allotment. Lot: *11* D.P.: *46078* Section: Area:

Block: S.D.: Locality:

Previous
Owner

{ If Section
has been
recently
transferred }

N/A

3

Frontage (Length) (Name of Street or Road) *Riverglade*

Water Supply (Description)

Estimated Material Value of Plumbing Work \$

Estimated Labour Value of Plumbing Work \$

Estimated Material Value of Drainage Work \$ *50*

Estimated Labour Value of Drainage Work \$ *50*

Total \$ *100*

All work will be carried out in accordance with Horowhenua County Council's By-laws and the Drainage and Plumbing Regulations 1978 and Amendments.

Permit Fee Based on Labour Value \$ *6*

Receipt No.: *35346*

Water Connection Fee \$

Receipt No.:

Full Name and Address of Owner:

Gilbert Tefferson Sparrow Heather Yvonne Sparrow

NOTE.—The following MUST accompany this Application:—

(a) Ground Plan of Building showing all drains, vents, sumps, septic tanks and sanitary fittings to be plotted on opposite page. For a sewer connection, complete enclosed carbonised form.

(b) Specifications of work materials to be used.

Plan showing drain should be drawn to scale of 1-100.

Stormwater drains should be shown (if any) in dotted lines.

Signature of Applicant: *[Signature]*

Address

7 Riverglade Waikanae

Craftsman

Plumber's Signature,

Address, and

Registered No.

Registered Drainlayer's
Signature, Address, and
Registered No.

Paul Mot 438 Levin

PLAN OF ALLOTMENT

Showing position of proposed buildings, Sanitary fittings, Drains, Gully traps, Inspection pipes and Ventilators, Septic tanks, Sumps, Irrigation trenches, Sewers and Stormwater drains, if any.

No Septic Tank or Effluent Drainage System may be installed within 3.3 metres of a dwelling or 1.5 metres of any boundary.

Boundary Lines to be shown thus: — — — — —

Frontage to Road

FEES NOT TO BE PAID UNTIL REQUESTED BY OFFICE

SCALE OF PERMIT FEES

Estimated Labour Value of Work:

Fee Payable:

Not exceeding	\$50	.....	.....	.....	.....	.....	\$6
In excess of \$50 but not exceeding	\$75	.....	.....	.....	.....	.....	\$9
In excess of \$75 but not exceeding	\$100	.....	.....	.....	.....	.....	\$12
In excess of \$100 but not exceeding	\$200	.....	.....	.....	.....	.....	\$18
In excess of \$200 but not exceeding	\$300	.....	.....	.....	.....	.....	\$24
In excess of \$300 but not exceeding	\$400	.....	.....	.....	.....	.....	\$30

Plus \$6 for every \$100 or part thereof in excess of \$400.



LOGAN CONSULTING

520 Queen Street
LEVIN
89-670
84-787 After Hours

CIVIL & STRUCTURAL ENGINEERING
BUILDING DESIGN & PROJECT MANAGEMENT
LAND DEVELOPMENT

BRIAN R. LOGAN

REGISTERED ENGINEER
B.E., P.ENG. (CANADA), DIP. C.E., DIP. B.A.

SOIL BEARING CAPACITY TEST REPORT

for

G.J. Sparrow

Lot 11, D.P.46078, Waikanae

1. Purpose To establish whether the filled and existing soil condition will permit construction of a light timber frame building in accordance with NZS 3604: 1978, Code of Practice for Light Timber Frame buildings and in particular determine that the safe soil bearing pressure is no less than 100 K Pa.
2. Site Description The site is located on the Waikanae River flats or former flood plain. Natural material is alluvial fill deposited by the river in recent geological times. Generally it is composed of gravels with fine silts and clays as a matrix, however larger deposits of silt or silty clays occur at random. The natural ground is typically in an unconsolidated or loose condition.

All topsoil and loose silty gravel has been stripped down to about - 500 mm around the building site and the area backfilled with clean fine uniform sand to an average depth of 700 mm.
3. Site Tests
 - (1) Auger Only the sand fill could be penetrated with the auger, the natural ground was too stony. The fill was found to be clean sand with some stones mixed into it.
 - (2) Penetrometer Scala penetrometer tests were taken in 6 locations as shown on the site plan, the number of blows per 100 mm of penetration are recorded on the attached table. Penetration was stopped by stones in most cases.

- (3) Soil Density A soil density test was taken roughly in the centre of the building, the result was a field dry density of 1690 kg/m^3 , and a moisture content of 13.4%.

(4) Soil Bearing Capacity Assessment

(1) NZS 3604 : 1978 Appendix C4 (b) specifies an average maximum penetration of 25 mm per blow within a depth below the footing equal to its width and below this to 1.2 m depth no more than 37 mm penetration per blow.

(2) Since the footing will be placed at 300 mm depth results above this level can be ignored. Averaging the results of the penetrometer logs indicate values above the standard for tests 1,4,5,6 and just below the standard for tests 2 and 3, however resistance greatly increases at the lower level for all tests except 6. Below 700 mm the penetrometer was into natural ground which indicates a lower bearing capacity, however several other probes in this area failed to penetrate the gravel at 700 mm depth. This probably indicates that the ground has only a localised soft spot.

(3) Because the gravel layer could not be penetrated conditions below this level may vary at depth and location as indicated by one probe. In view of this it would be advisable to reinforce the footing for negative bending as well so that any localised soft spots can be bridged over without cracking. The D10 bar should be replaced by 2 D12 bars in the house plans.

(4) The tests indicate that the sand fill has a safe bearing capacity of 100 K Pa, however this applies only to footings 900 mm and wider according to NZS 4205 P:1973 narrow footings must have the safe bearing modified by $\frac{\text{width}}{900 \text{ mm}} \times 100 \text{ K Pa}$ for sand and gravels.

Checks on the foundation widths indicate for the brick veneer and 2 level construction bearing pressures are too high, a width of 400 mm is required in those areas.

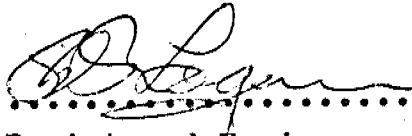
(5) No assessment can be given on consolidation of any deep deposits of soft silts or clays which may be affected by the brick construction and any additional fills placed on the site after construction of the building.

5. Summary

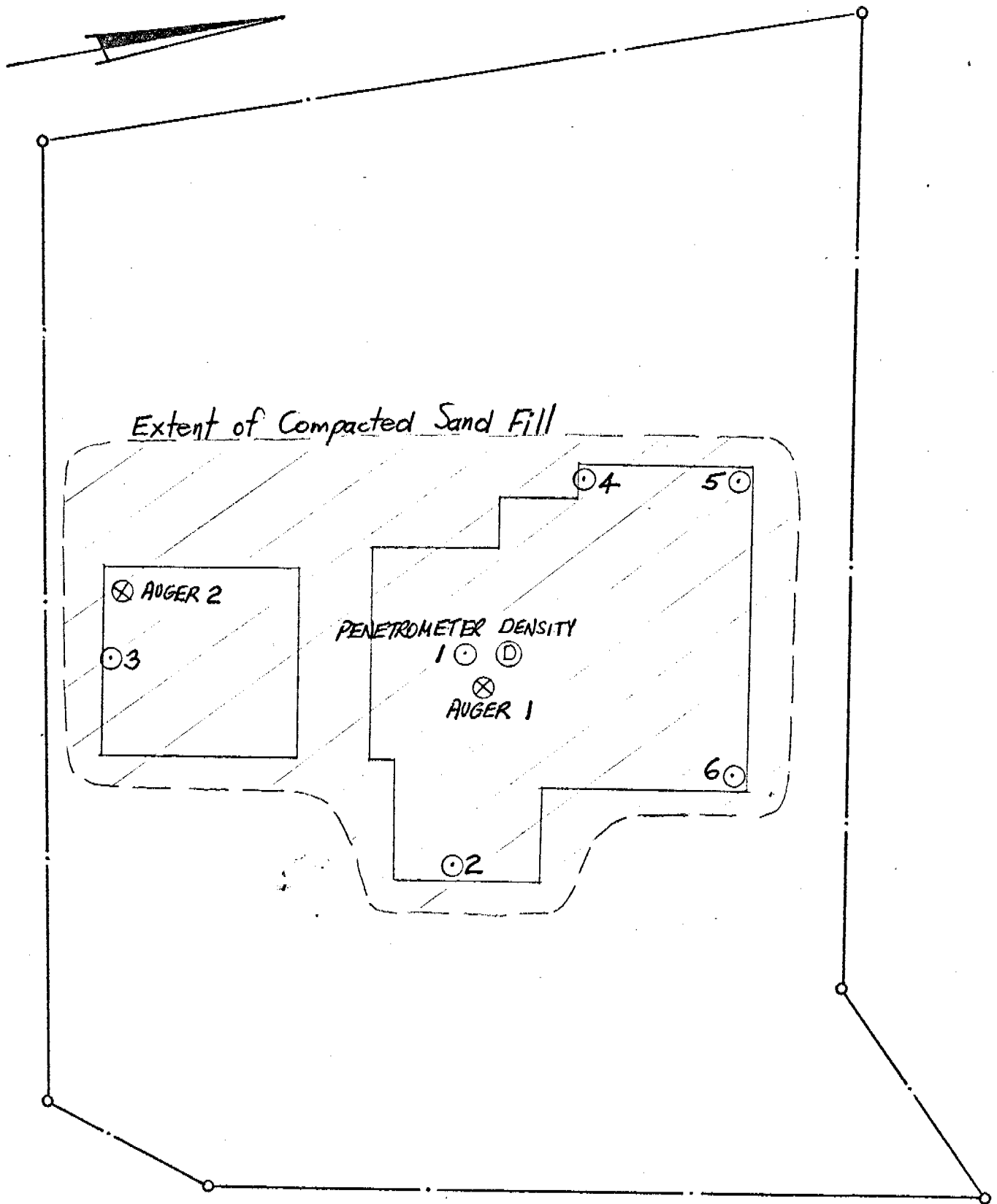
- (1) The shallow sand fills placed within the building area have been found sufficiently compacted to provide a safe bearing load of 100 K Pa as required by NZS 3604 : 1978. However this allowable bearing must be modified for narrow footings as:

$$\frac{\text{width}}{900 \text{ mm}} \times 100 \text{ K Pa}$$

- (2) Wall footings carrying brick veneer should be increased at the base to 400 mm wide in order to satisfy the conditions above (1)
- (3) Outside wall footings should be reinforced in the top with at least 2 D12 bars instead of the D10 shown on the house plans.
- (4) Placing additional fills after construction against the building should be avoided because of possible settlement in the deep alluvial deposits below this site.

Signed..........
Registered Engineer

BRL:al



SITE PLAN

1:200

LOT 11 DP 46078
WAIKANA
G. J. SPARROW

SOIL TEST
LOCATIONS



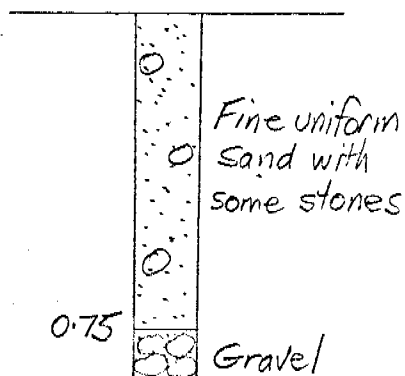
LOGAN
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520 QUEEN ST. LEVIN.

TEST RESULTS

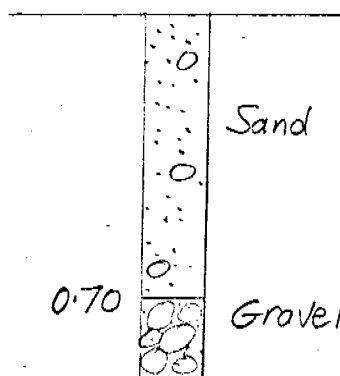
G. J. SPARROW

SCALA PENETROMETER PROBING LOGS

PROBE LOCATION	N° OF BLOWS per 100mm											
	0-100	-200	-300	-400	-500	-600	-700	-800	-900	-1000	-1100	-1200
1	1	3	4	5	5	7	11	Stones				
2	1	2	4	3	3	5	9	Stones				
3	1	1	2	3	3	4	7	7	Stones			
4	1	2	3	3	3	7	10	Stones				
5	1	2	3	3	5	6	7	8	Stones			
6	1	3	3	6 Stones	3	4	3	2	3	2	2	1



AUGER 1



2



**LOGAN
CONSULTING**

520 QUEEN ST. LEVIN.



**p. k. hooker
building plan
services**

new homes — flats — commercial — additions
18 Castle Cres. — Stokes Valley — ph. 63 6266

G.J. SPARROW - ADDENDA TO SHEET BRACING TO WALLS

This addenda is to be read in conjunction with the Bracing Tables shown on the drawings and allows the substitution of 9mm Particle Board sheet with 6mm Hardies Asbestos Flat or 7.5mm Hardies Stucco Board.

Fix of the asbestos sheets shall be :

1. The detail shown in Figure 47 NZS 3604 in which the sheet material is nailed to the joists must not be used with Hardiflex building board. Studs must be corrected to the joists with the fixing specified in Clause 6.9.4.5.
2. Fasteners for fixing sheets shall be 40 x 2.5 flat head hot-dipped galvanised nails only.
3. The fasteners shall be a minimum of 13mm from the sheet edges.
4. The fasteners shall be at 150mm centres to studs and plates around all sheet edges and at 300mm centres to intermediate framing.

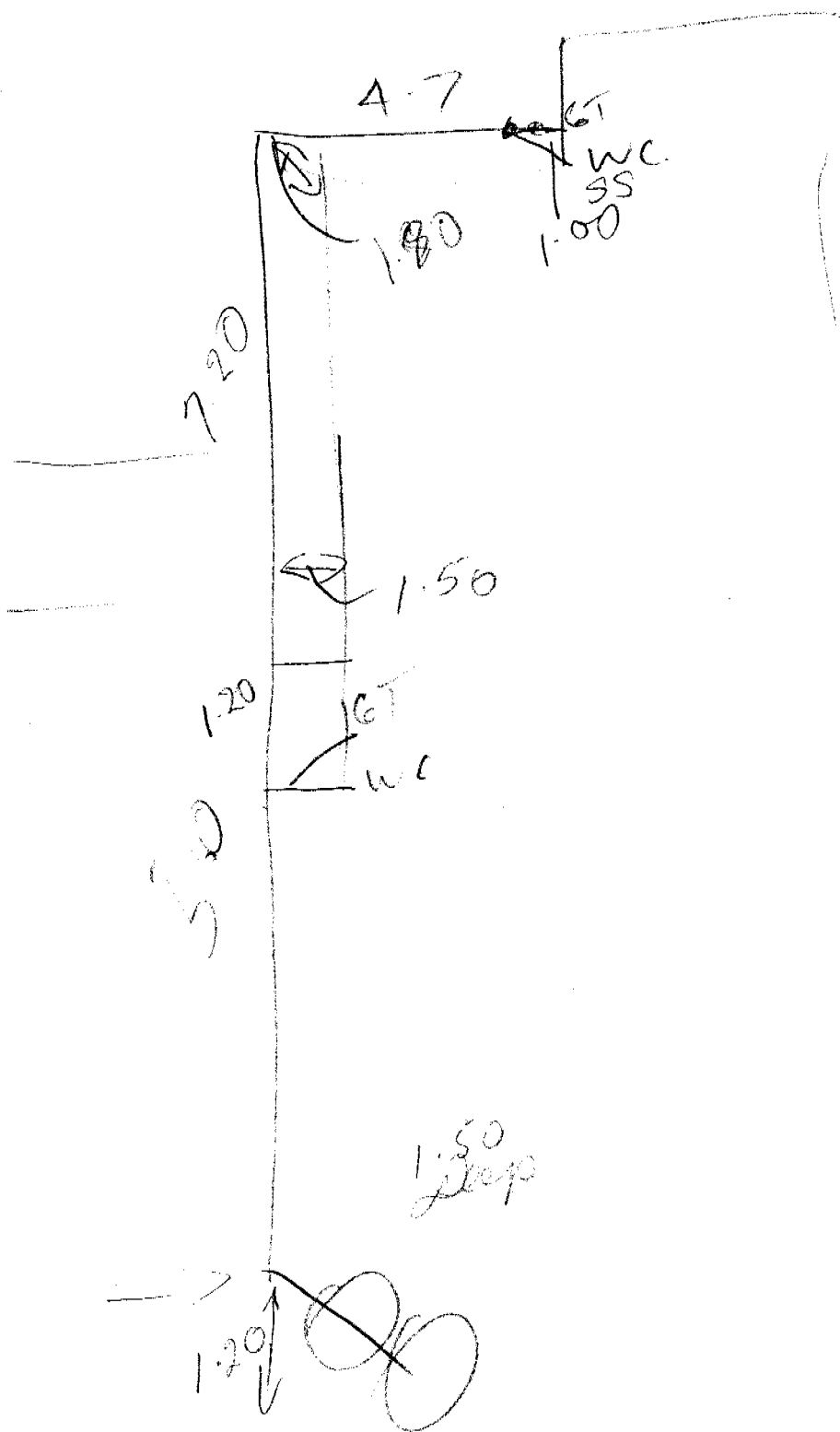
The following are bracing numbers which may be substituted.

No	Type	Sheet Brace Materials
B1	10	9mm Particle board inside - 6mm asbestos flat sheet outside with Hardiplanks over.
B2	10	9mm Particle board inside - 6mm asbestos flat sheet outside with Hardiplanks over.
E1	10	9mm Particle Board inside 6mm asb. flat outside behind brick veneer.
E2	10	9mm Particle Board inside 6mm asb. flat outside behind brick veneer
D4	10	9mm Particle Board inside 6mm asb. flat outside behind brick veneer
D5	10	9mm Particle Board inside 6mm asb. flat outside behind brick veneer.
F3	10	9mm Particle Board inside 6mm asb. flat outside behind brick veneer.
A1	10	9mm Particle Board inside 7.5mm Stucco board outside
A2	10	" " " " " " " "
B1	10	" " " " " " " "
B2	10	" " " " " " " "

spread

3-2-81

river bank



PERMIT **W** N^o **3991****HOROWHENUA COUNTY COUNCIL****WAIKANA E COUNTY TOWN****PERMIT FOR A PLUMBER OR DRAINLAYER TO CARRY OUT PLUMBING OR DRAINAGE WORK**Mr **N Adams**,**P.O. Box 158**,**Paraparaumu**

(a licensed plumber or drainlayer), is hereby authorised to carry out the work described herein, and as set forth in the plan deposited with me, on the premises owned (or occupied) by

Mr **G.J. Spence**and situated in **River Glade**

Street (or

Road),

Waikanae

being described as

Lt 11 DP 46048Description of work: **Complete plumbing & drainage for new dwelling**

Estimated Value of work including materials:

Estimated Cost **\$ 1,600.00**Permit Fee **\$ 100.00**Receipt No. **16533**Connection Fee **\$ —****TOTAL \$ 100.00**

Such work is to be carried out in strict accordance with the Plumbing and Drainage Regulations 1959 and Horowhenua County Council By-Law No. 9, and shall be completed on or before the

day of _____ 19____

Date **18.8.80**

County Engineer

This permit is issued subject to:

Particular care must be taken in establishing drainage invert levels to coincide with proposed sewer levels.
Pressure reducing valves not permitted. Upper floor wastes to be back vented as required.

HOROWHENUA COUNTY COUNCIL**WAIKANA E COUNTY TOWN****Notice of Completion of Work and Request for Inspection**To: The Health Inspector,
Horowhenua County Council
LEVIN.

I HEREBY GIVE NOTICE that I have completed at premises situated at _____ the plumbing/drainage

works specified in Permit No. _____, issued on _____ 19____, and I do hereby request that such works should be inspected.

Dates this _____ day of _____ 19____

Plumber/Drainlayer

Address of Plumber: _____

FOR OFFICE USE ONLY

The works above referred to in Permit No. _____

I HEREBY CERTIFY that the work has been examined and found satisfactory.

Date: _____ 19____

Inspector

PERMIT

W

No

4619

HOROWHENUA COUNTY COUNCIL

WAIKANAE DISTRICT COMMUNITY

PERMIT FOR A PLUMBER OR DRAINLAYER TO CARRY OUT PLUMBING OR DRAINAGE WORK

Mr G. Paul,
P.O. Box 438,
Levin.

(a licensed plumber or drainlayer), is hereby authorised to carry out the work described herein, and as set forth in the plan deposited with me, on the premises owned (or occupied) by

Mr G.F. Sparrow and situated in 3 Riverglen Street (or
Waikanae Road), being described as Lot 11 DP 460418.

Description of work: Sewer connection to bypass temporary septic tank.

Estimated Value of work excluding materials:

Estimated Cost \$ 50.00Receipt No. 35346Permit Fee \$ 6.00Connection Fee \$ —TOTAL \$ 6.00

Such work is to be carried out in strict accordance with the Plumbing and Drainage Regulations 1978 and Horowhenua County Council By-Law No. 9, and shall be completed on or before the

day of _____ 19____

Date 24-11-8

County Engineer

This permit is issued subject to:

HOROWHENUA COUNTY COUNCIL

WAIKANAE DISTRICT COMMUNITY

Notice of Completion of Work and Request for Inspection

To: The Health Inspector,
 Horowhenua County Council
 LEVIN.

I HEREBY GIVE NOTICE that I have completed at premises situated at _____

_____ Street/Road, owned by Mr _____ the plumbing/drainage works specified in Permit No. _____, issued on _____ 19____, and I do hereby request that such works should be inspected.

Dated this _____ day of _____ 19____

Plumber/Drainlayer

Address of Plumber: _____

FOR OFFICE USE ONLY

The works above referred to in Permit No. _____

I HEREBY CERTIFY that the work has been examined and found satisfactory.

Date: _____ 19____

Inspector

WAIKANAE DISTRICT COMMUNITY PLAN OF ALLOTMENT - PROPOSED DRAINAGE LAYOUT

Showing existing buildings and drainage layout and proposed drainage layout to the sewer
scale 1-100.

Boundary Lines to be shown thus: _____

Frontage to

RIVER GLADE

Road

NEW DRAIN

1.20

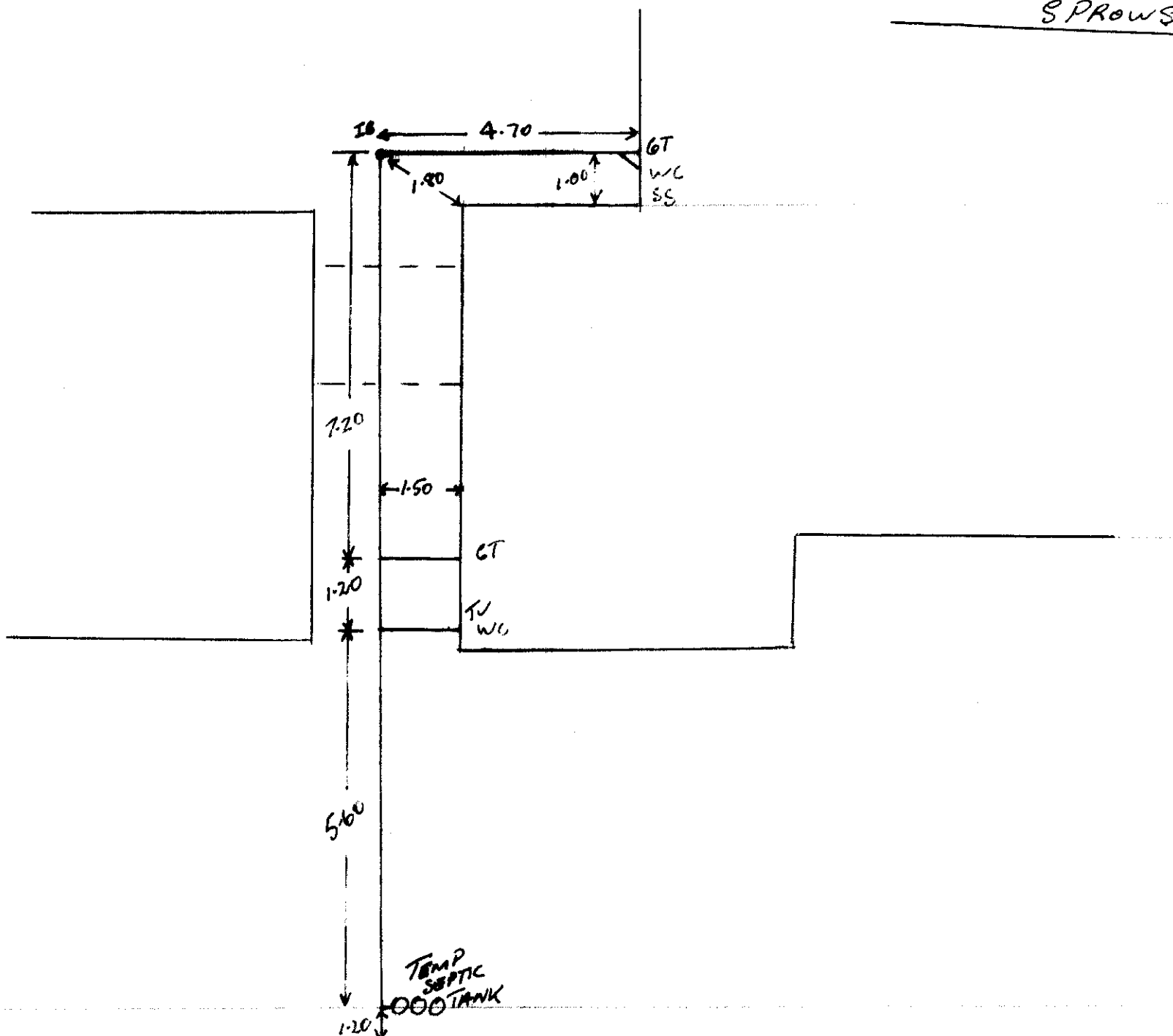
*TEMP
SECTION*

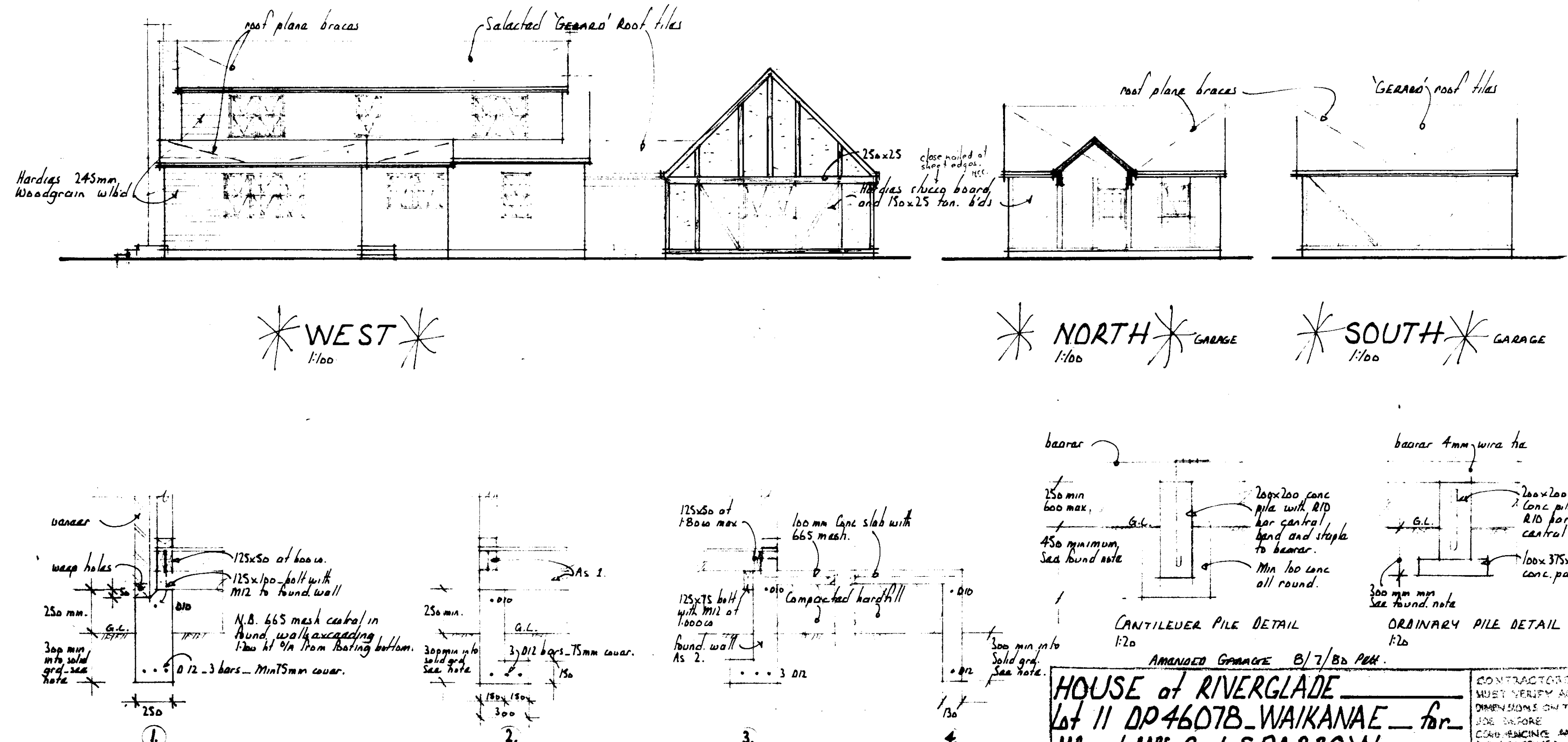
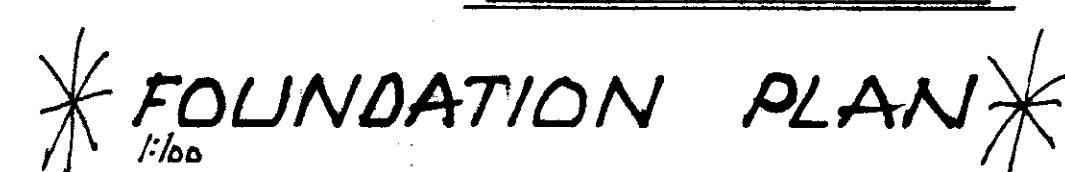
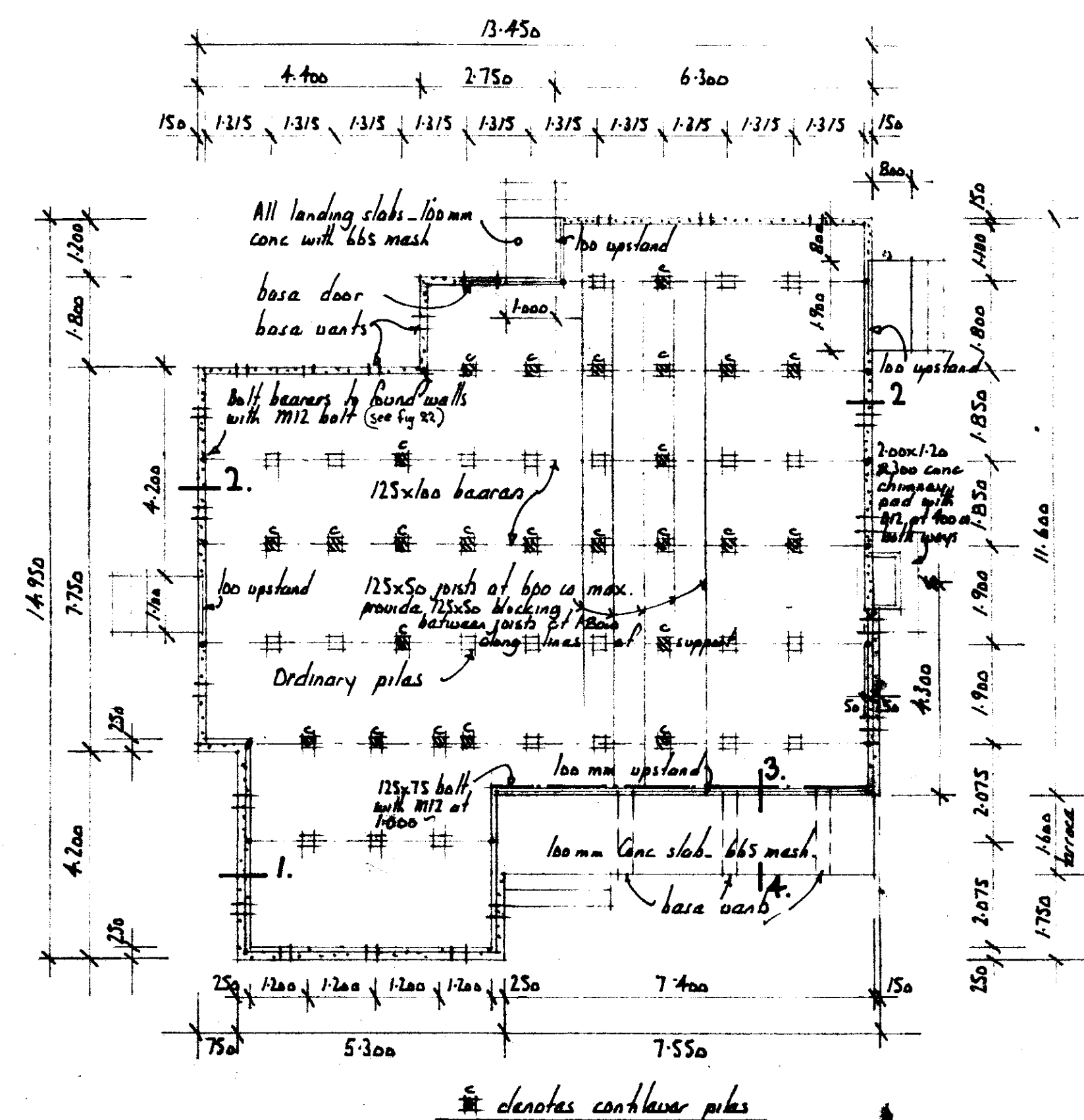
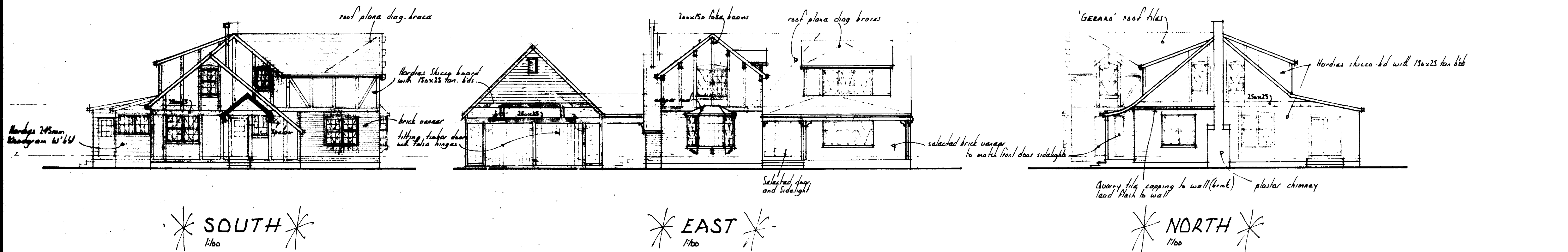
EXISTING DRAIN

B. Jackson

11-11-81

ROAD - RIVER GLADE
 LOT -
 D.P. - 46078
 DRAINAGE - WARWICK
 DATE - 3-2-81
 PIPE - TERRAIN P.V.C.
 SPROWS





** FOUNDATION DETAILS **

FOUNDATIONS NOTE:
Ground in the area of foundations has been filled and compacted. The contractor shall make tests of 2000 intervals for 6000s and at each pile in accordance with N73 3604 appendix C and shall take all found in ground with bearing pressure of 1000-1500 lbs per sq ft.

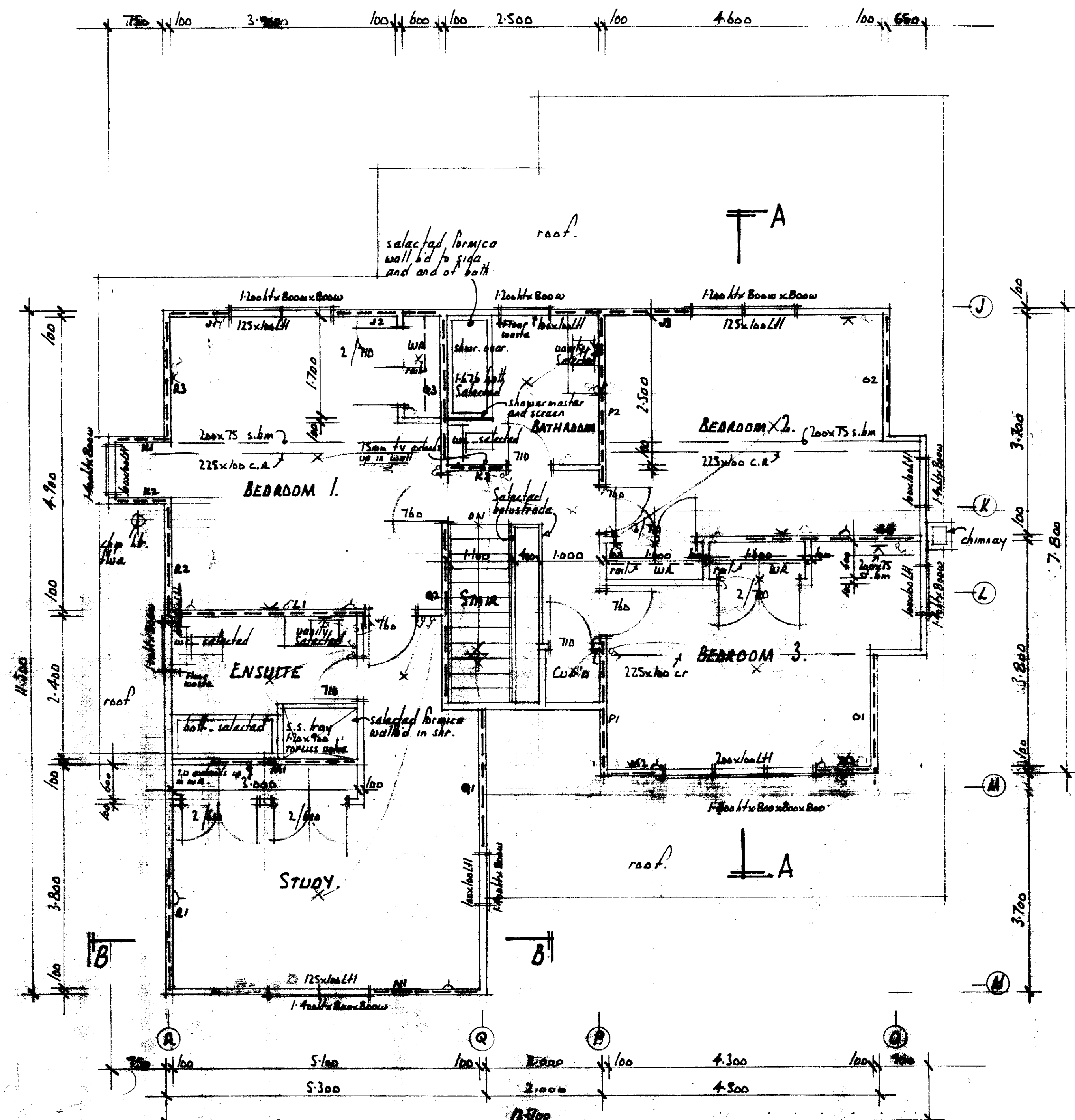
HOUSE at RIVERGLADE
Lot 11 DP4607B WAIKANAE for
MR and MRS G.J. SPARROW

pk hooker
18 CASTLE CRES
STOKES VALLEY
SY6266

DATE MAY 1980	SCALE As shown
JOB 819.	DRAWING TWO / 4.

CONTRACTORS
MUST VERIFY ALL
DIMENSIONS ON THE
JOB BEFORE
COMMENCING ANY
HANDRAILING OR
SHEAR DRAWINGS

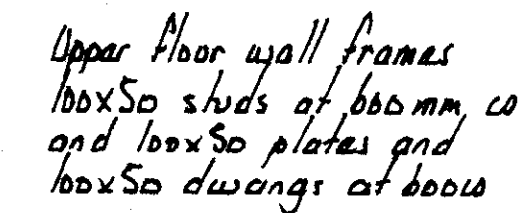
Refer to tables below for
Bracing types and lengths and specification
for fixing details



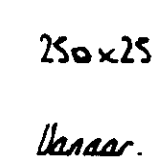
* UPPER FLOOR *

[illegible]

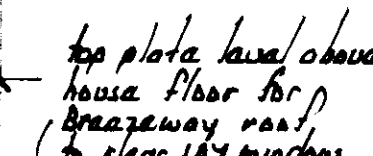
ROOFING - GROUND Coated metal tiles
over tan. Sox So battens and 2 ply rag felt



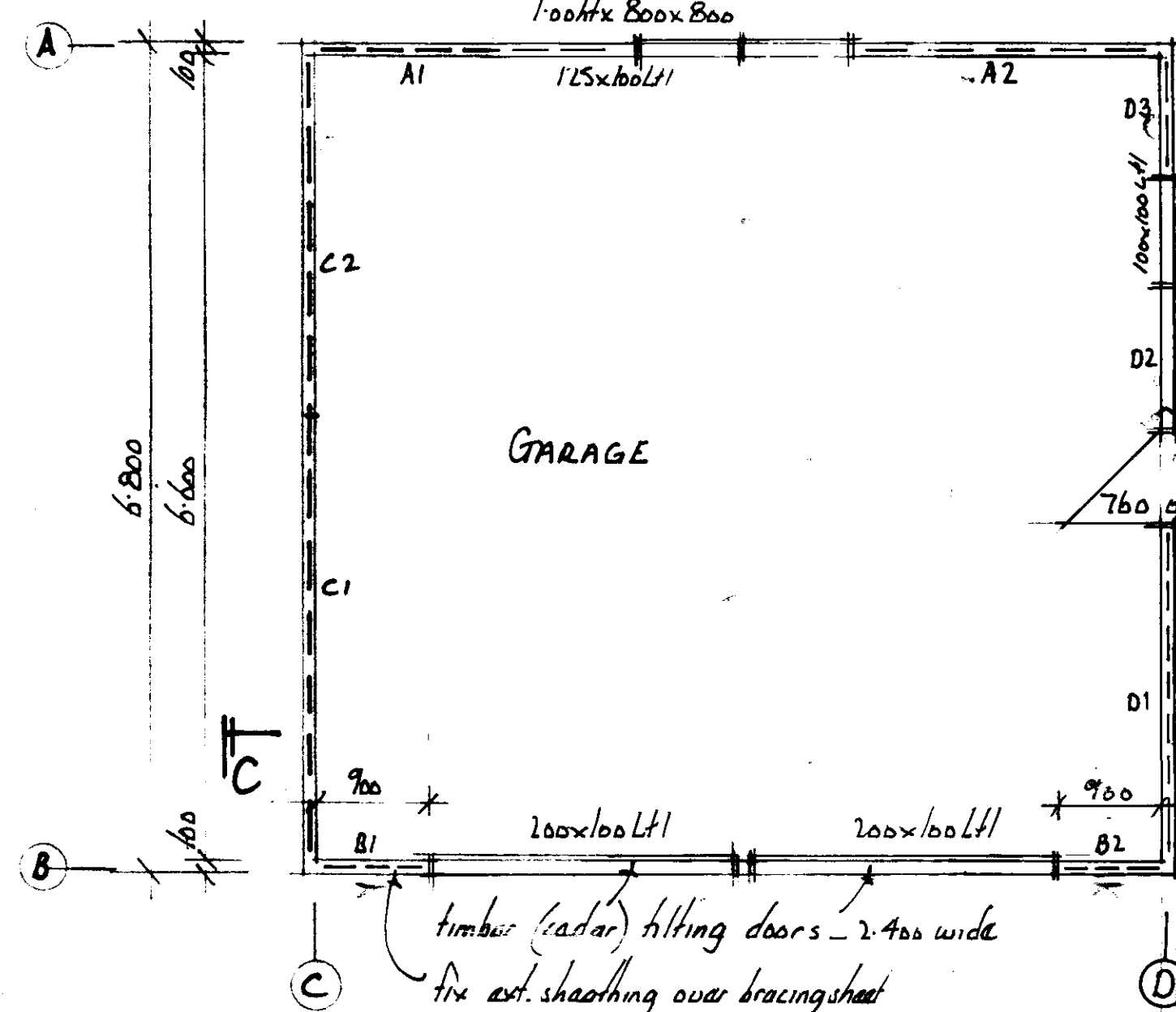
** SECTION A-A **
1:50



SECTION B-B



SECTION C-C



* PLAN of GARAGE * 34 m².
1:50



* GARAGE SLAB *

BRACING SCHEDULE

ROOF
WIND AREA
EARTHQUAKE AREA
ROOF LENGTH
ROOF WIDTH
ROOF AREA
FLOOR LENGTH
FLOOR WIDTH
FLOOR AREA
EARTHQUAKE $8\frac{1}{2}$ ' along o.
WIND $8\frac{1}{2}$ ' along
WIND $8\frac{1}{2}$ ' across

GARAGE
LIGHT — 40° pitch
HIGH — W = 80
A — E = 4
7.200
7.400
53.3 m²

LINE	NO	TYPE	READING	LENGTH	BON
A	A1	10	B3	2.00	179.2
	A2	10	B3	2.00	180.2
	B1	10	B3	2.00	174.7
B	B3	10	B3	2.00	174.7 = 54.4
	C1	1	A3	1.00	180.8
C	C2	1	A3	1.00	174.3
	D1	9	B3	2.10	170.0
	B1	8	B7	1.00	170.0
	B3	8	B7	1.00	170.0 = 58.5

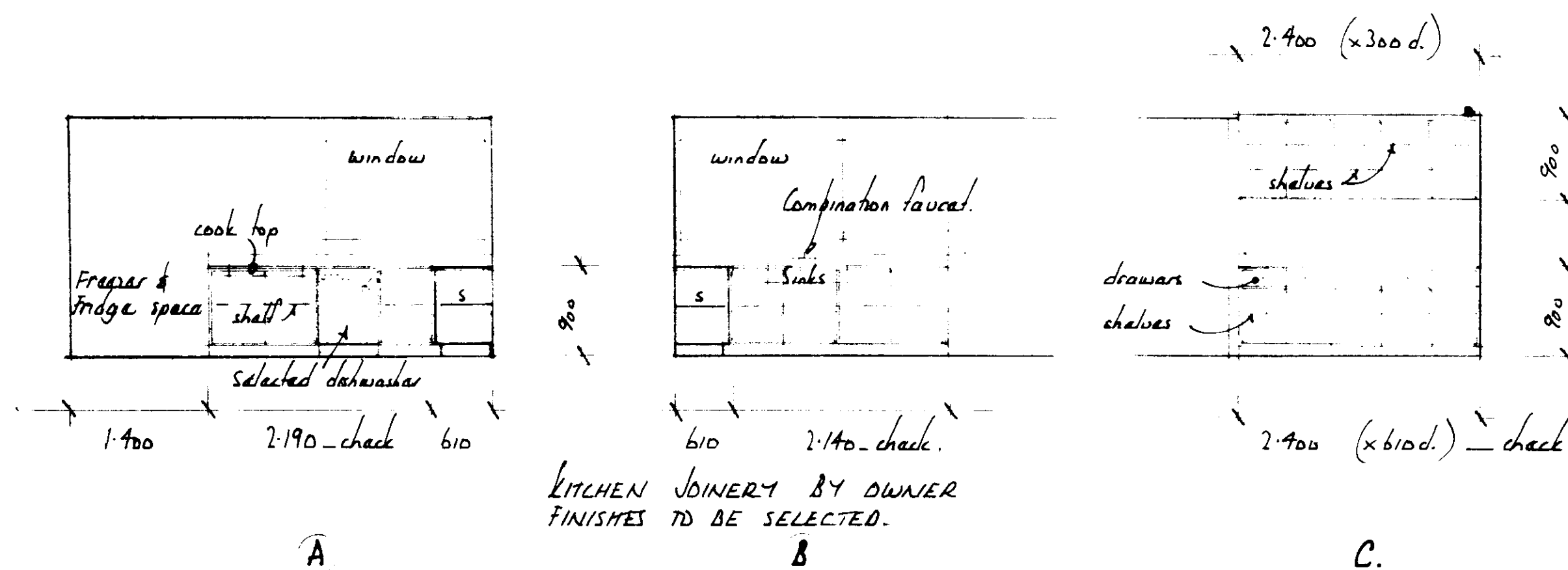
Garage Amandad 8/7/80 PM.

HOUSE at RIVERGLADE _____
 Lot 11 DP 46078 WAIKANA E for _____
 M^{rs} and M^{rs} G. J. SPARROW _____

0 **pk hooker**
18 CASTLE CRES
STOKES VALLEY
SV6266

DATE MAY 1980
JOB 8/9.

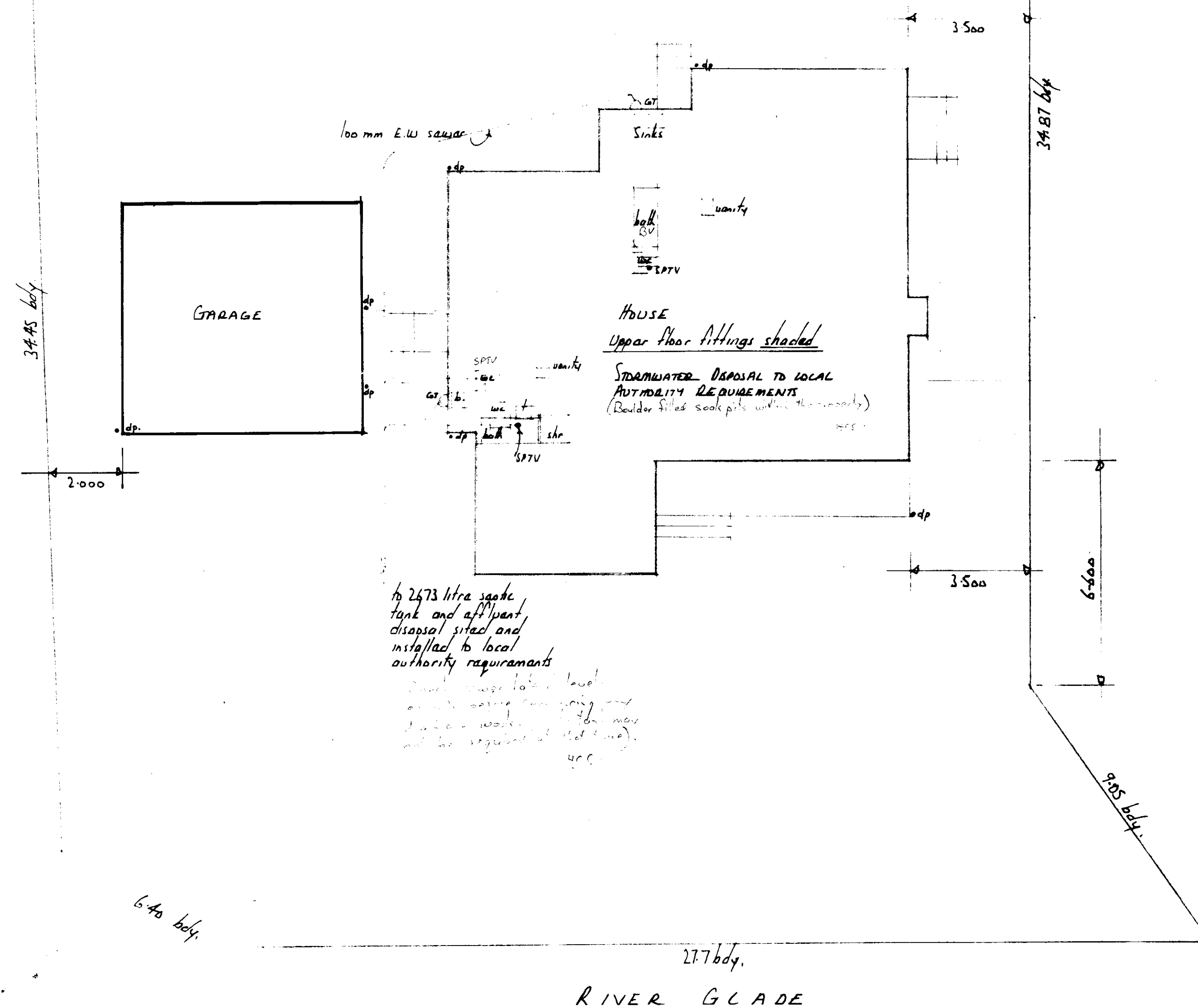
CONTRACTORS MUST VERIFY ALL DIMENSIONS ON THE JOB BEFORE COMMENCING ANY MANUFACTURE OR SHED DRAWINGS.
SCALE <i>As shown.</i>
DRAWING THREE / 4.



KITCHEN JOINERY BY OWNER
FINISHES TO BE SELECTED.

* KITCHEN DETAILS *

Lot 11
DP 46078.



* SITE PLAN *

GARAGE AMENDED 8/7/80 PCH

HOUSE at RIVERGLADE
Lot 11 - DP46078 - WAIKANAE - Br -
MR and MRS G.J. SPARROW

p k hooker
18 CASTLE CRES
STOKES VALLEY
SV6266

DATE
MAY 1980

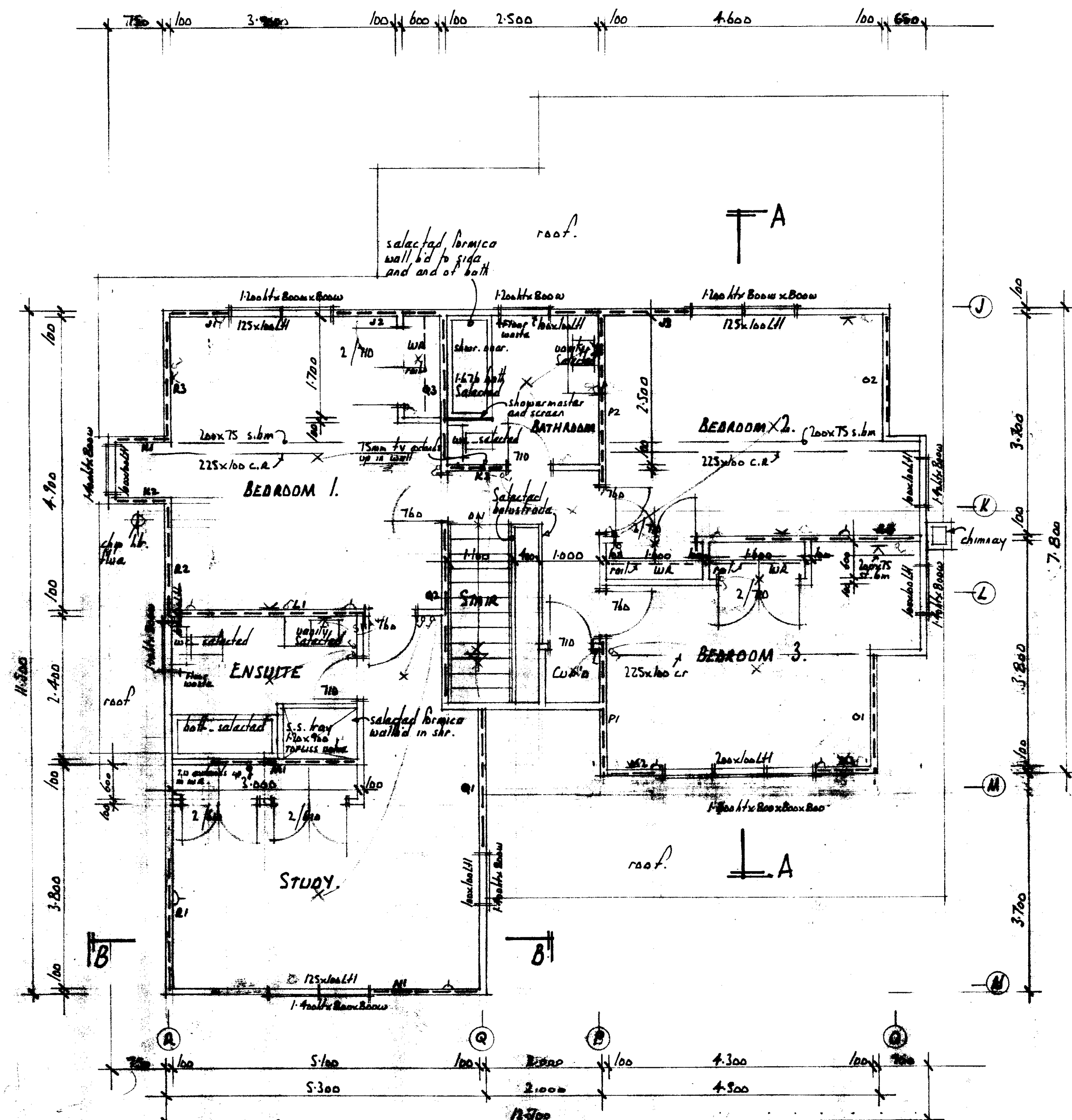
JOB
819.

CONTRACTORS
MUST VERIFY ALL
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JOB BEFORE
COMMENCING ANY
MANUFACTURE OR
BUILDING WORK.

SCALE
As shown.

DRAWING
FOUR / 4.

Refer to tables below for
Bracing types and lengths and specification
for fixing details

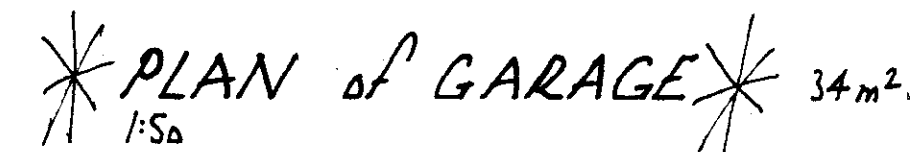
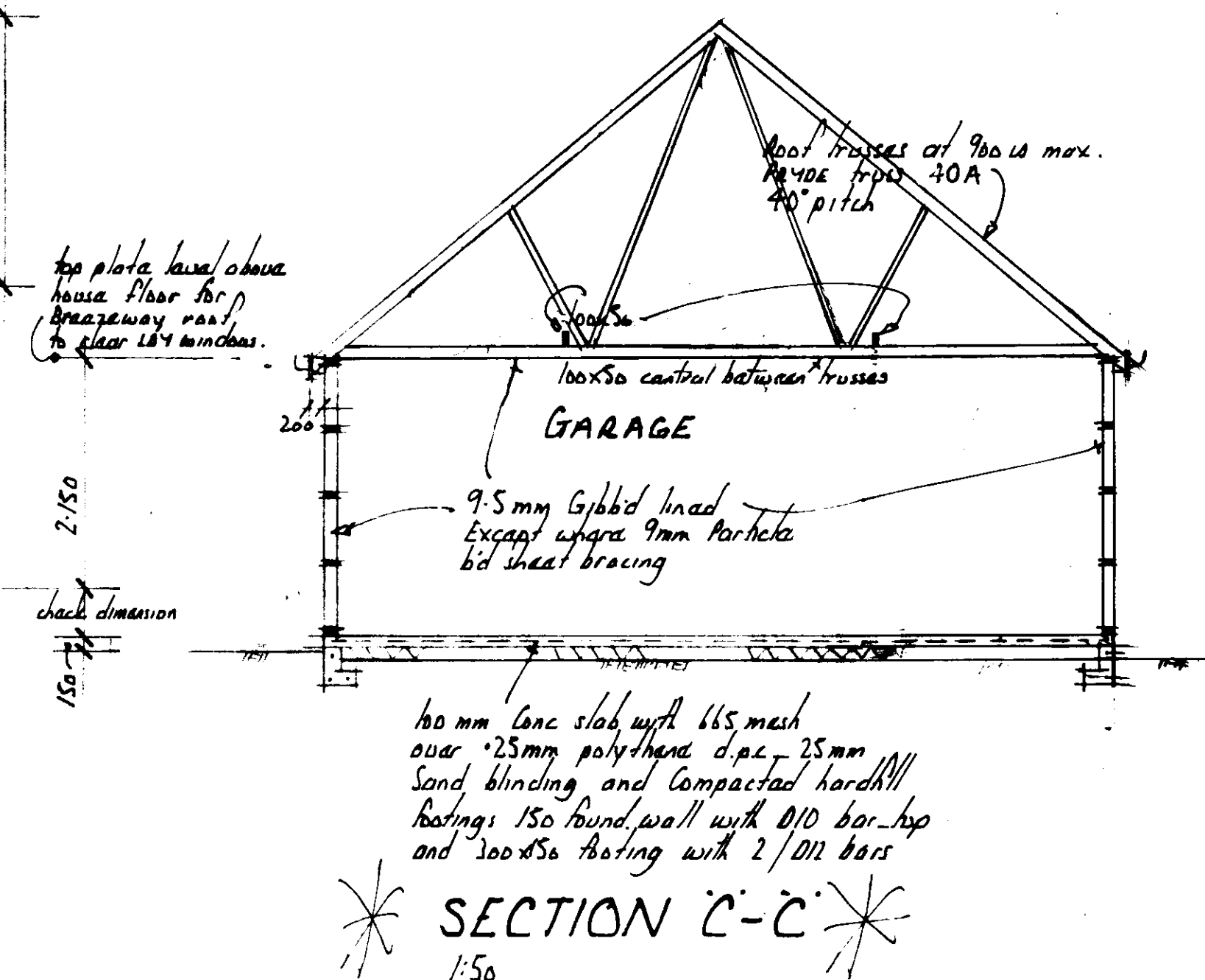
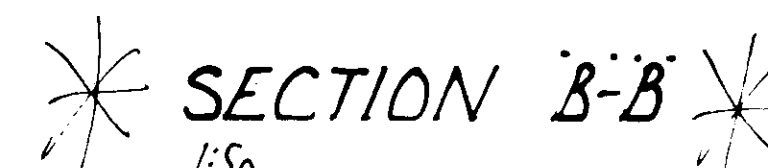


*** LOWER FLOOR *** 154m²

* UPPER FLOOR *

[illegible]

Upper floor wall frames
100x50 studs at 600 mm c/c
and 100x50 plates and
100x50 dwangs at 600 mm



GARAGE
 LIGHT — 40° pitch
 HIGH — W = 80
 A — E = 4
 7.200
 7.400
 53.3 m²

LINE	Nº	TYPE	RATING	LENGTH	BID
A	A1	10	83	2-40	179.2
	A1	10	83	2-40	179.2
	B1	10	83	9-0	14.7
B	C1	10	83	9-0	74.7
	C2	1	83	13-8	10.8
	D1	9	83	2-10	74.3
D	E1	8	83	1-05	8.7
	F1	8	81	1-00	87.0

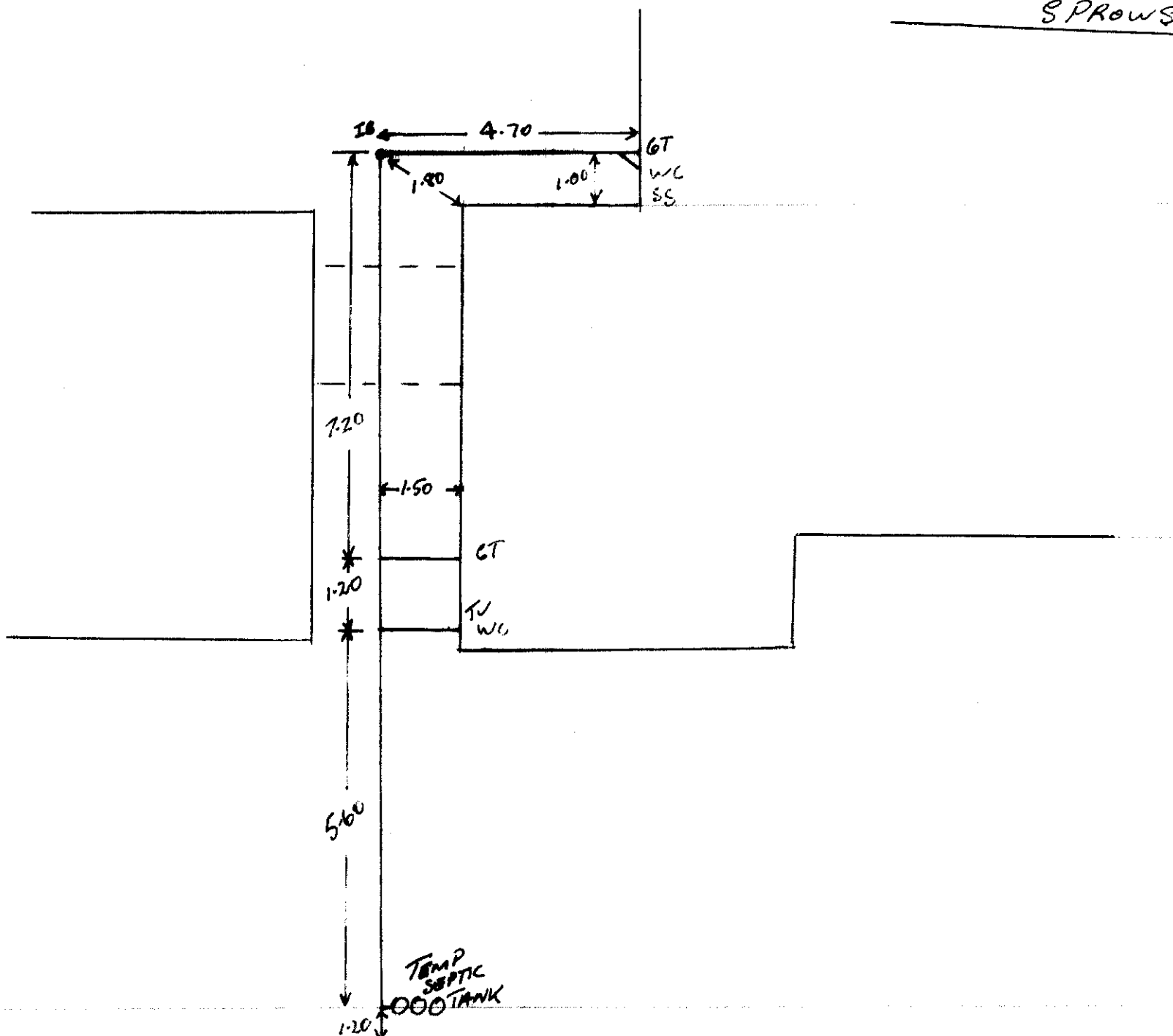
HOUSE at RIVERGLADE _____
 Lot 11 DP 46078 WAIKANA E for _____
 Mr and Mrs G. J. SPARROW _____

pk hooker
18 CASTLE CRE
STOKES VALLEY
SY6266

DATE	MAY 1980
JOB	8/1

CONTRACTORS MUST VERIFY ALL DIMENSIONS ON THE JOB BEFORE COMMENCING ANY MANUFACTURE OF SHOD DRAWINGS
SCALE As shown.
DRAWING THREE / 4

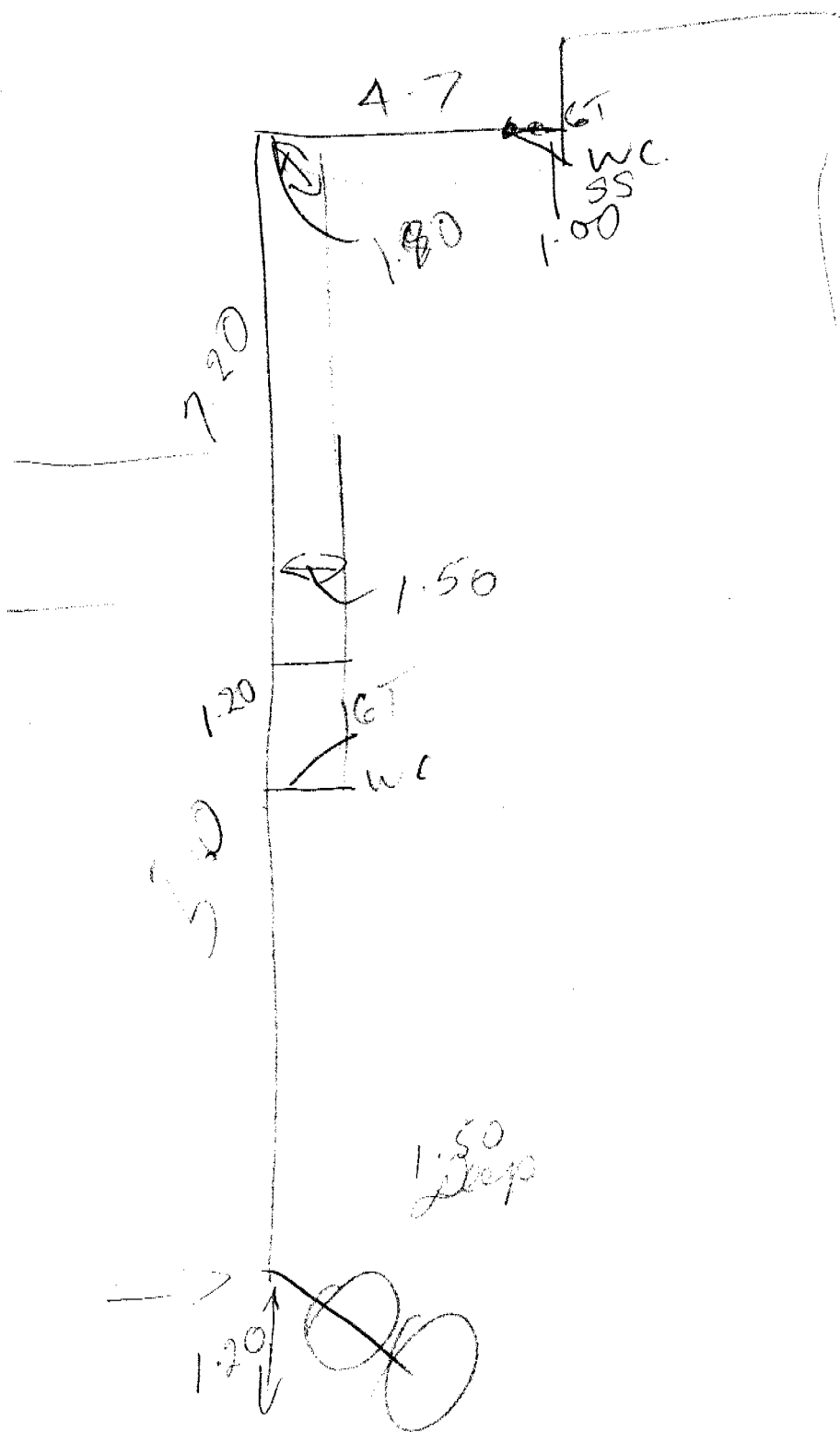
ROAD - RIVER GLADE
 LOT -
 D.P. - 46078
 DRAINAGE - WARWICK
 DATE - 3-2-81
 PIPE - TERRAIN P.V.C.
 SPROWS

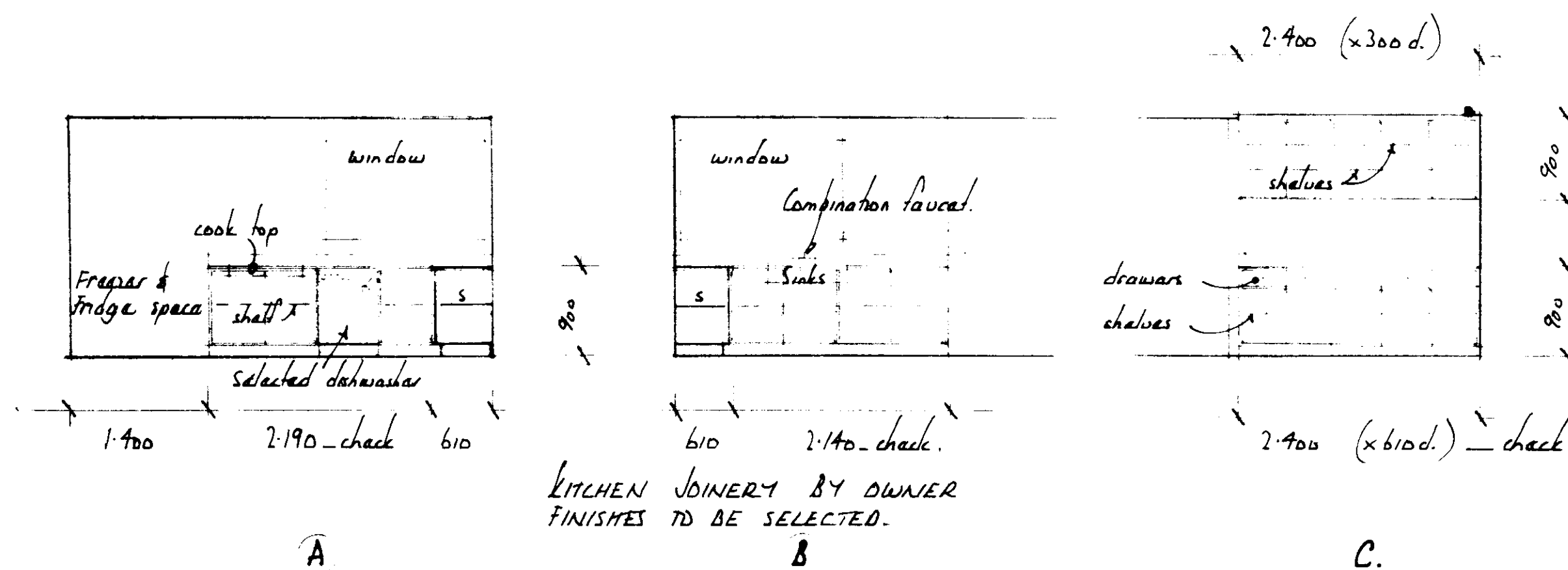


spread

3-2-81

river bank

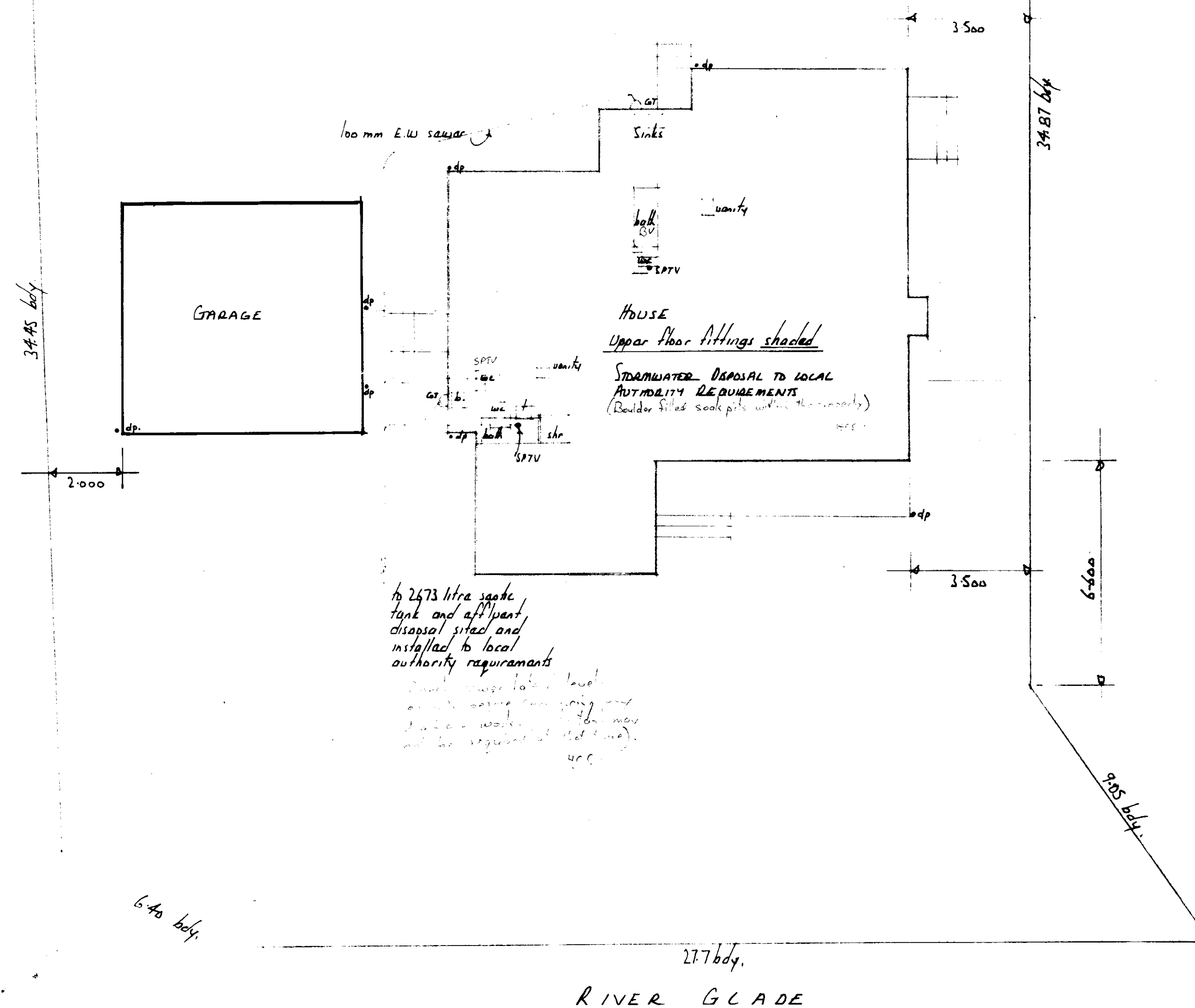




KITCHEN JOINERY BY OWNER
FINISHES TO BE SELECTED.

* KITCHEN DETAILS *

Lot 11
DP 46078.



* SITE PLAN *

GARAGE AMENDED 8/7/80 PCH

HOUSE at RIVERGLADE
Lot 11 - DP 46078 - WAIKANAE - Br.
MR and MRS G.J. SPARROW

p k hooker
18 CASTLE CRES
STOKES VALLEY
SV6266

DATE
MAY 1980

JOB
819.

CONTRACTORS
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FIXING OF
DRAWINGS

SCALE
As shown.

DRAWING
FOUR / 4.