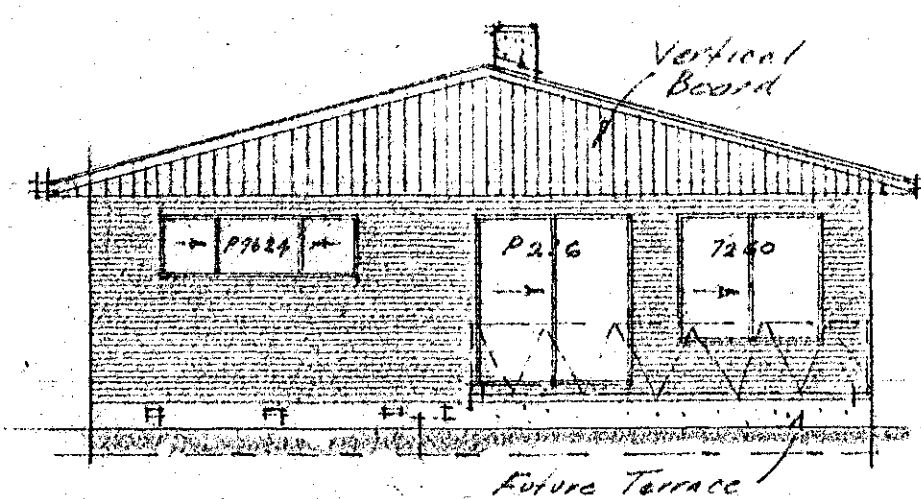


Sharalyn Fraser *Agency*

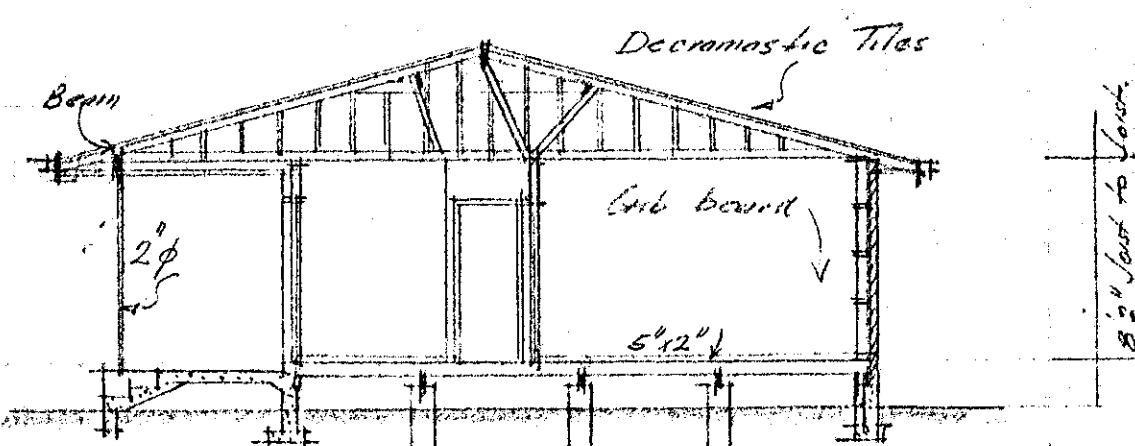
Statement of passing over information – This information has been supplied by the Vendor or the vendor's agents. Accordingly, Sharalyn Fraser Agency (Ownly Limited licensed (REA 2008) is merely passing over the information as supplied to us by the vendor or vendors agents.

We cannot guarantee its accuracy and reliability as we have not checked, audited, or reviewed the information and all intended purchasers are advised to conduct their own due diligence investigation into the same. To the maximum extent permitted by law Sharalyn Fraser Agency (Ownly Limited licensed (REA 2008) does not accept any responsibility to any person for the accuracy of the information herein

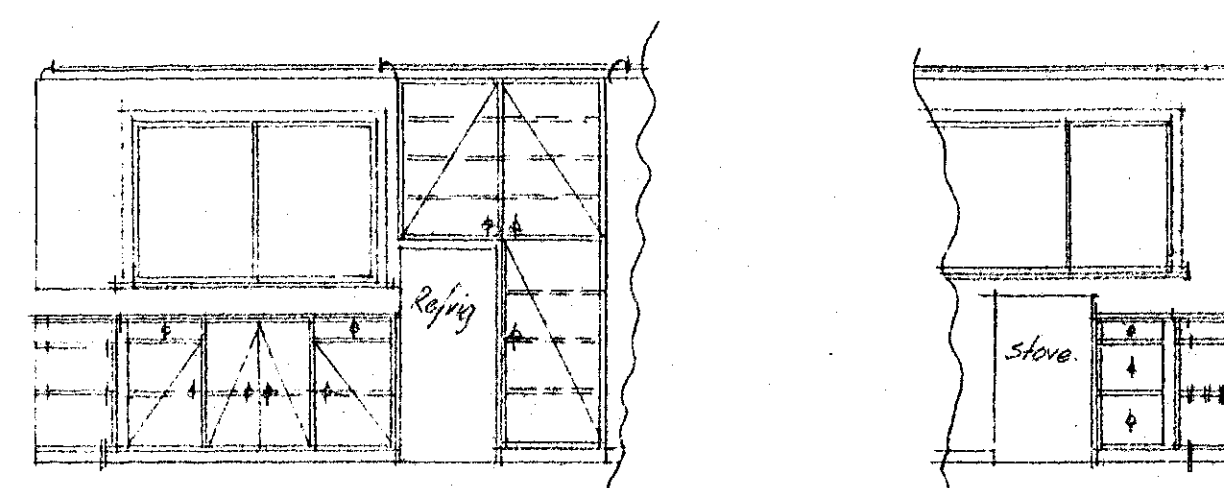
DOOR SCHEDULE
 A 6'6" x 2'8" glazed 1/4" Dr
 B 6'6" x 2'8" Flush Sliding
 C 6'6" x 2'6" Flush
 D 6'6" x 2'2" Flush
 E 6'6" x 1'6" "
 F 6'6" x 2'0" Flush Sliding
 G 6'6" x 8'0" Coll-a-door



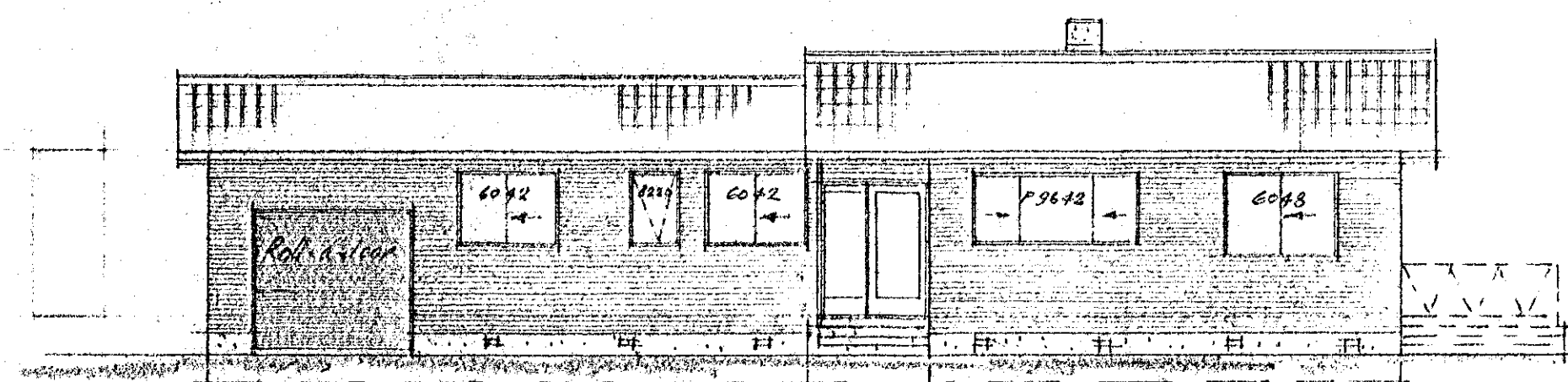
NORTH WEST ELEVATION



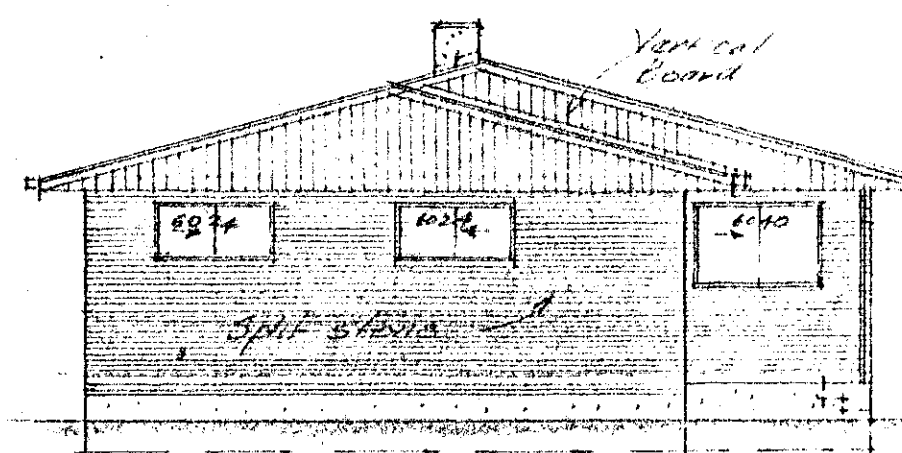
SECTION A A



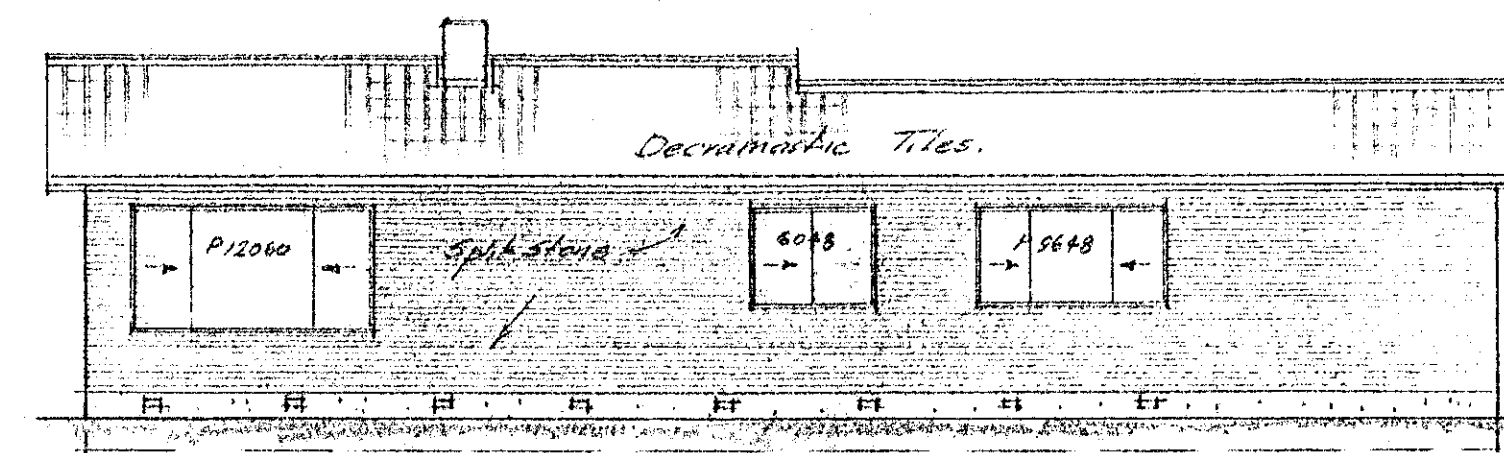
KITCHEN CUPBOARDS 1/4" = 1'-0"



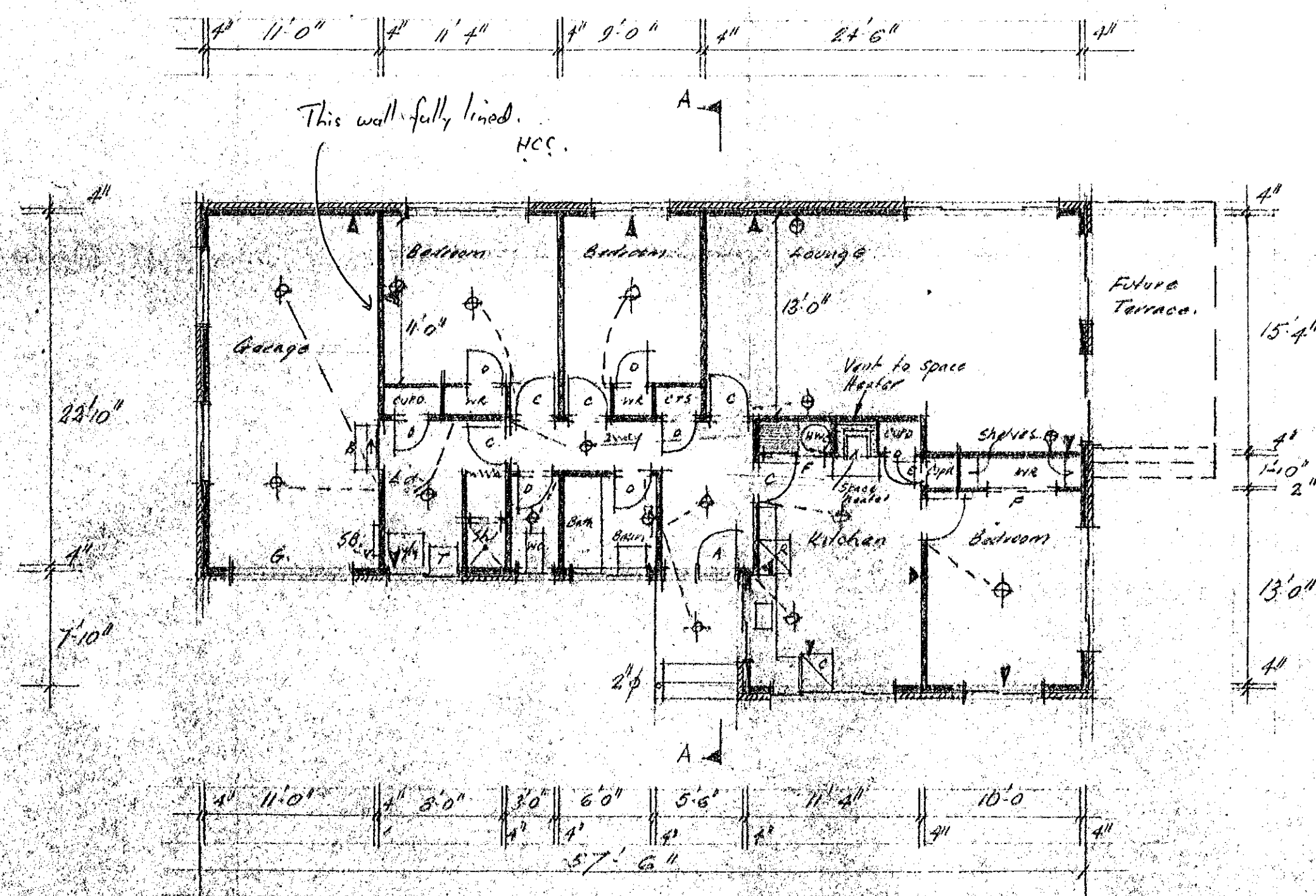
NORTH EAST ELEVATION



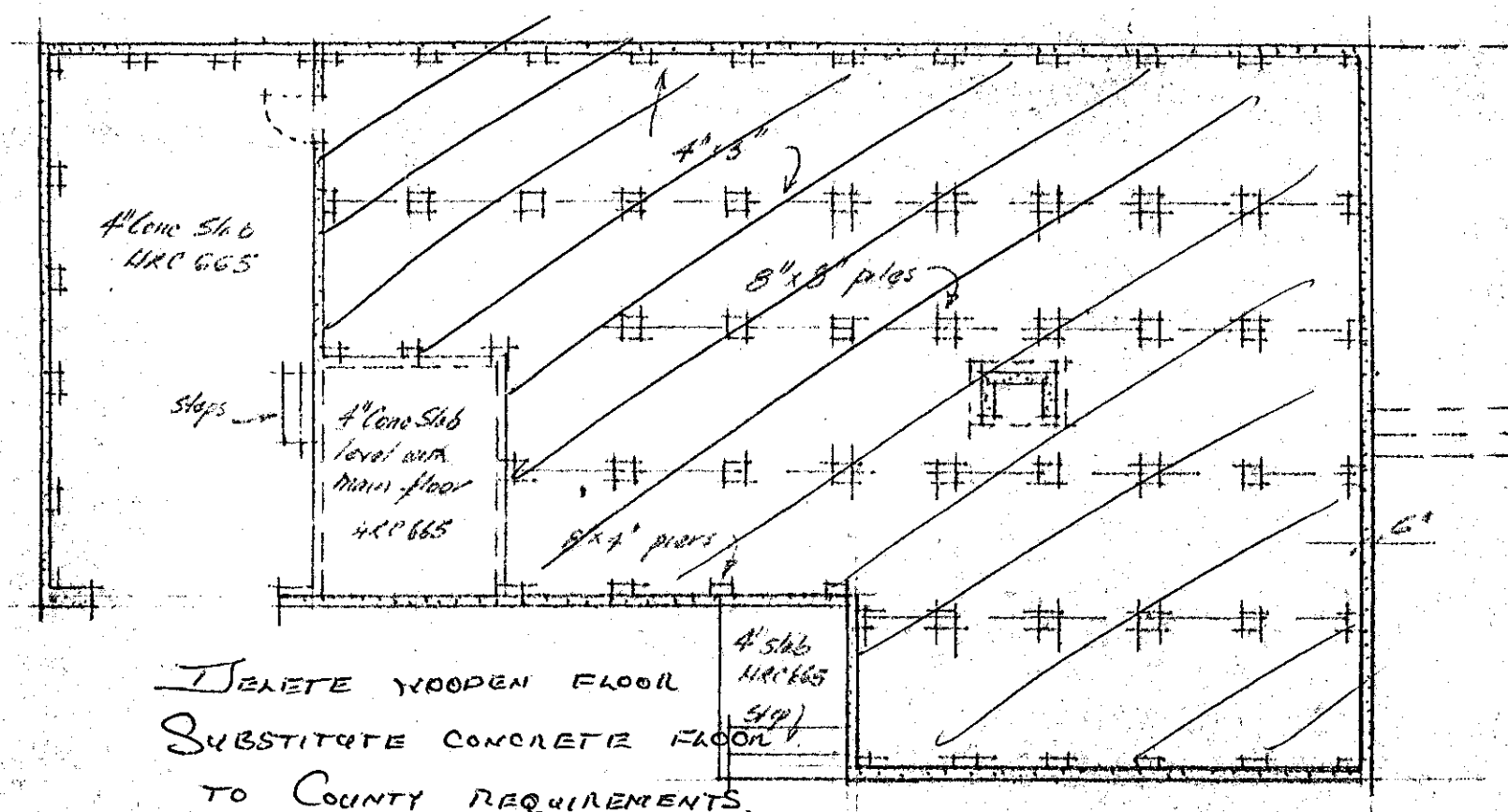
SOUTH EAST ELEVATION



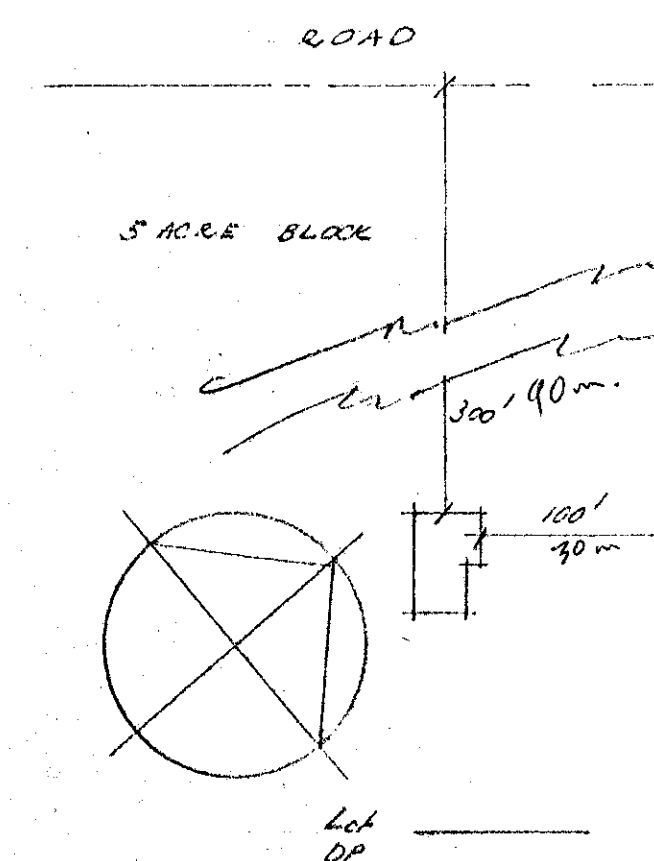
SOUTH WEST ELEVATION



This wall fully lined H.C.



TEAR DOWN FLOOR
 SUBSTITUTE CONCRETE FLOOR
 TO COUNTY REQUIREMENTS.



POSITION ON SITE
 NOT TO SCALE

RESIDENCE PEKA-PEKA WAIKANA
 FOR MR S CLIFTON

1337/1 AUG 1967



Code Compliance Certificate

Section 43(3), Building Act 1991

Application

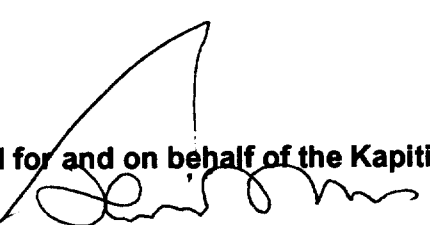
M SANG	No.	001173
107 PAETAWA ROAD	Issue date	31/08/00
PEKA PEKA		
WAIKANA E		

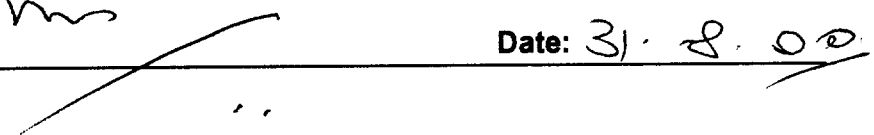
Project

Description	Alterations, Repairs or Extensions Being Stage 1 of an intended 1 Stage INSTALL METRO HIGH-OUTPUT INBUILT FIRE
Intended Life	Indefinite, but not less than 50 years
Intended Use	HEATING
Estimated Value	\$2,300
Location	PAETAWA ROAD, PEKA PEKA
Legal Description	LOT 1 DP 82434
Valuation No.	1489010602

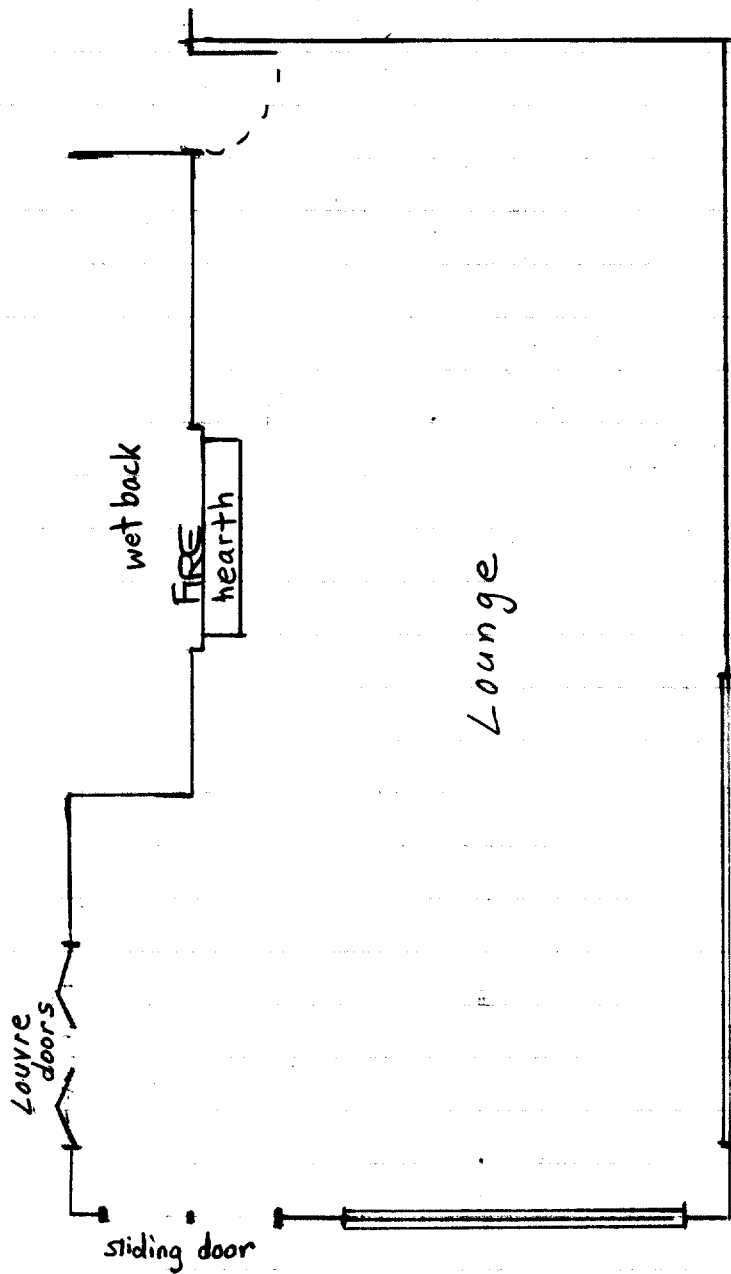
This is a final Code Compliance Certificate issued in respect of all the building work under the above building consent.

Signed for and on behalf of the Kapiti Coast District Council:

Name: 

Date: 31. 8. 00 

Plan for Sang Quote No 5357



181 Paetawa Rd
Petra Petra.

METRO

All Metro woodfires are tested to NZS-7421 and AS-2918, specifications and clearances detailed below apply to both standard and EF Series Metro's. Specifications may alter and those detailed below should be used as a guide only, refer to the installation and operation manual supplied with every Metro or if in doubt consult your Metro Retailer

Tested = *, Estimated = () PEAK OUTPUT	METRO PIONEER'S & CHAMELEON		METRO X-TREME	METRO ASPIRE	METRO INSERTS	
	14.6kw *	17.7kw *	19.8kw *	(13kw)	COMPACT	HIGH OUTPUT
WIDTH	590mm	670mm	670mm	560mm	560mm	560mm ⁽²⁾
DEPTH	530mm	575mm	575mm	410mm	500mm	500mm ⁽²⁾
HEIGHT	640mm ⁽¹⁾	690mm	715mm	550mm ⁽²⁾	550mm	550mm ⁽²⁾
FASCIA DIMENSION	N.A.	N.A.	N.A.	650 high x 810 wide		
WETBACK INLET CENTRE HEIGHT	270mm ⁽¹⁾	315mm	340mm	170mm	170mm	170mm
WETBACK RETURN CENTRE HEIGHT	460mm ⁽¹⁾	505mm	530mm	360mm	360mm	360mm
FLUE CENTRE HEIGHT (Rear O/Let)	550mm ⁽¹⁾	N.A.	N.A.	N.A.	N.A.	N.A.
WARRANTY - ALL MODELS	1 year unconditional, 5 years firebox with 10 year option					
FLUE SIZE - ALL MODELS	150mm diameter					
WETBACK - ALL MODELS	OPTIONAL - 3kw and 4kw (EF series 3kW only)					
FIREBOX - ALL MODELS	6mm Steel, Firebrick/Ceramic Lining					
BOILER	N.A.	X-TREME & ASPIRE ONLY	N.A.	N.A.		N.A.

Note (1) A reduced height pedestal is available, but an insulating hearth is required when fitted. See manual.

Note (2) These insert measurements exclude insulation supplied with and fitted to the cabinet.

WITH PIONEER DOUBLE FLUESHIELD	REAR CLEARANCE	SIDE CLEARANCE	CORNER CLEARANCE	MINIMUM HEARTH SIZE	TOP FLUED PIONEER & METRO CHAMELEON	METRO PIONEER REAR OUTLET	METRO ASPIRE & METRO X-TREME
					50mm	N/A	80mm
					300mm ⁽³⁾	N/A	240mm
					85mm	N/A	110mm
WITHOUT FLUESHIELD Does not apply to EF Series	REAR CLEARANCE	SIDE CLEARANCE	CORNER CLEARANCE	MINIMUM HEARTH SIZE	680 Deep x 830 W	N/A	755 Deep x 910 W
					430mm	60mm	650
					300mm	270mm	240
					280mm	100mm	250
					1,060 Deep x 830 W	690 Deep x 830 W	1,325 Deep x 910 W

Clearances comply to NZS-7421 and AS-2918 being minimum from the Metro's outer cabinet to the nearest combustible surface. Hearth size's are to NZS-7421, add 100mm to depth for AS-2918

Note (3) By fitting the optional flueshield side extension panel, min side clearances reduce to 270mm or 220mm if in an alcove not projecting forward of the Metro.

All Metro free standing woodfires comply with NZS-7421 when installed on an ash hearth, which must extend 200mm forward, to each side and rear of the door opening. AS-2918 requires 300mm forward and 200mm to each side and rear of the door opening. Metro inserts tested to NZS-7421 require a total hearth depth of only 260mm from behind the fascia subject to the thickness of the hearth. If hearth thickness is insufficient the Metro may be raised to achieve this 260mm minimum depth (refer to installation manual) AS-2918 requires a total hearth depth of 360mm.

2000

SHOWROOM CENTRE
1000 WAPA STREET
WILSON PARAUUMU
TEL (04) 298-0556

METRO
Pioneer Manufacturing Limited
MAMAKU STREET, PO BOX 11, INGLEWOOD
PHONE 06 756 6520 FAX 06 756 6540
www.woodfire.co.nz
NEW ZEALAND



METRO

METRO is the result of over 25 years of continual development in combustion technology. The design criteria for the Metro range of woodfires was to achieve exceptional performance and long life, presented in a compact and stylish form, at an affordable price. Development and innovation didn't stop at the Metro, Pioneer's revolutionary wetbacks, "not boosters" and boiler systems overcome those ever increasing winter power bills for thousands of satisfied Metro owners. Cad Cam technology is utilised by Pioneer in all stages of design and production, reducing costs while improving tolerances and efficiencies. This is reflected in Metro's ongoing rating as No.1 in independent efficiency tests.

The Euro Door: Curved Elegance

Metro's exclusive Euro Door offers a panoramic view of the fire while presenting a curved appearance and stability in European style. Available in colours the Euro door options are available for the Chameleon, Pioneer, X-treme and both Metro Inserts. Supplied as standard

on the Metro Aspire and complimented by a curved ashlip as illustrated. The Euro Door is not an approved option with the EF Series Metro.

- Firebox**
 - 6mm firebrick lined
 - All models
- Compact**
 - Minimal clearances
 - Small hearth sizes
- Guarantee**
 - 5 years on firebox
 - 10 year extended option
- Water Heating**
 - 3.2kW & 4.1kW* Wetbacks
 - 7kW Boiler option*
- Euro Door**
 - Optional curved elegance*
 - Standard on Aspire
- Burn Time**
 - Overnight, all models*
- Emissions**
 - Tested to NZS7413:1999
- Safety**
 - Tested to NZS7421:1990
- Proudly**
 - New Zealand made

* does not apply to EF Series Metros

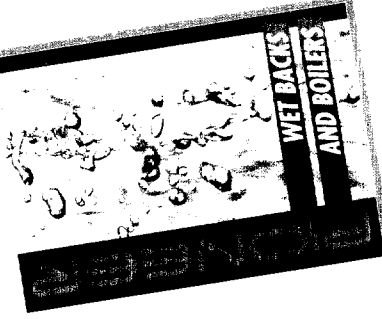
METRO

EF series Environmentally Friendly

Although all Metro woodfires comply with AS/NZS4013: 1999, due to the unique environmental situation that exists in Christchurch and the stringent emission levels imposed by the Christchurch Regional Council, Pioneer have developed the Environmentally Friendly Series Metro which complies with the CRC's maximum emission level of 1.5gms of particulate for every 1kg of fuel burnt. The "EF" series Metros are clearly distinguishable by the 'EF Series' logo sandblasted onto the door glass. At the time of printing this brochure, several 'EF Series' models in the Metro range had their clean air approvals from the CRC pending while other models were being prepared for testing. Consult your Metro retailer to confirm which 'EF Series' models are currently available and approved for sale in the CRC region. Note, not all Metro options apply to the 'EF Series' Metros, refer to the installation manual or your Metro retailer.

All Metros are covered by Pioneer's 12 month unconditional product warranty with an extended 5 year firebox warranty. In New Zealand Pioneer offer an optional ten year firebox warranty to any Metro purchaser who registers the extended warranty and pays the surcharge. In addition to doubling the standard firebox warranty this option entitles the owner to a "free labour" service after the Metro's fifth year of service. See your Metro retailer for details or a copy of the extended warranty registration.

Dare to Compare - Unlike many 10 year firebox warranties the Pioneer warranty **includes all direct costs** for the full ten years without paying for annual inspections.



PIONEER WETBACKS - A major feature of the Metro range of woodfires is the option of genuine wetbacks, not boosters, in two ratings of 3kW and 4kW. Pioneer wetbacks utilise a heavy cast heatsink with copper coils pressed into a carbon paste and graphite cement ensuring maximum heat transfer and minimal cooling within the firebox. EF Series models approved with 3kW only.

PIONEER BOILER is a option with the X-treme/Aspire Series Metros with a tested output of 7kW making it ideal to run radiators or a small zone of underfloor heating. Comprising of a copper lined 3 module system enables the boilers total output to be combined as one, or split between domestic hot water and central heating. For more detailed information see your Metro retailer to obtain a copy of Pioneer's technical bulletin on Wetbacks and Boilers, as illustrated.

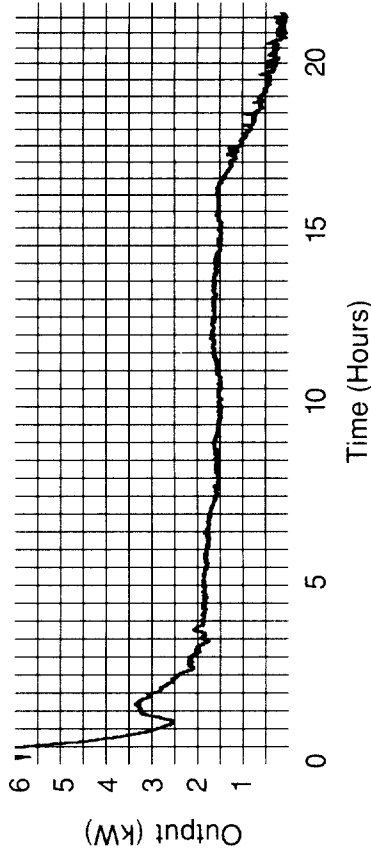
PIONEER ACCESSORIES - All unique and designed with the same innovation and commitment to style and function that Pioneer devotes to its Metro woodfires.

Hearths include Rimu, Stained Pine and black anodised Trim, in a range of sizes, tile options, and shapes in both Insulated and light weight Ash Hearths.

Fireguards are available in seven sizes to fit the entire range of Pioneer Hearths, coated in satin black baked enamel over a folded aluminium frame featuring smooth rolled corners, with steel mesh grill and Pioneer's own adjustable clip release wall brackets, easily New Zealand's premier Child/Fireguard.

Fluebrushes featuring a anodised aluminium telescopic handle system that extends from 1.2 metres to 4.65 metres, with flexible and fixed extensions and a full range of brush head sizes for every application. For more detailed information on these accessories see your Metro retailer to obtain a copy of Pioneer's Accessory brochure, as illustrated.

BURNTIME is another major feature that applies to all Metros with the exception of the 'EF Series'. Metros responsive control of burn rate has enabled burn times not previously attainable. Laboratory testing of the Metro Pioneer resulted in a burn time of 18 hours from a single load of 4 x 2 pine off-cuts, although you may not achieve 18 hours in the your home you will easily achieve an overnight burn with dry fuel, so you always wake to a warm home. Note EF Series do not have the low turnaround or "off" provision of the non EF Series Metros.



METRO

Insert / Inbuilt series

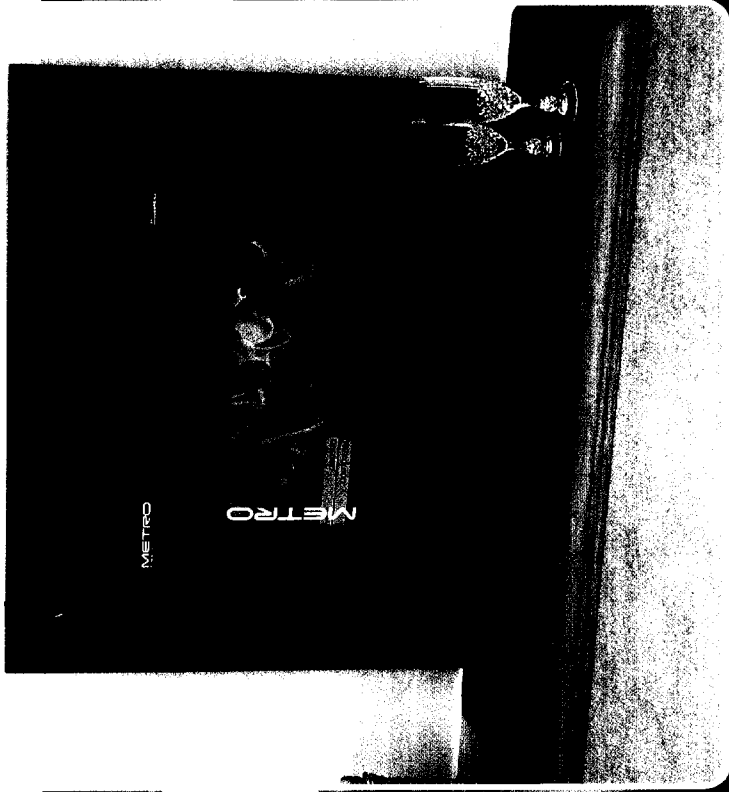
METRO INSERTS break away from traditional styling with gently sloping fascias and soft rounded corners. They are presented in two finishes - the Chameleon fascia, previously featured in this brochure, and the Metro fascia, illustrated below, coated with durable vitreous enamel. Pioneer Inserts are also available in two firebox options, the "Compact" being ideally suited for shallow chimney cavities, while the deeper "High Output" firebox fully utilises the common pre-cast

fireplace cavity, enabling maximum output. Only 100mm hearth projection is required from the front of the fascia, so existing hearths rarely need extending.

The Metro Insert fascia is available in all five vitreous enamel colours. The Chameleon Insert fascia is available in the standard Chameleon colour range. Illustrated below in Matt Brown vitreous enamel, with optional Euro door installed, on a Pioneer rimu trim glass hearth.



Metro Insert



METRO INBUILT. An optional "Vented Zero Clearance Cabinet" is available for the High Output insert firebox. When combined, the two produce the "Metro Inbuilt". The Metro Inbuilt can be installed directly onto a timber or particle board floor and into a timber framed wall, with no need for a masonry chimney. For those wanting a woodfire that does not encroach into their room, the "Metro Inbuilt" greatly reduces installed costs, and enables installations that look truly authentic. Inbuilts can be installed with brick or stone fronts or with a contemporary look, as illustrated. The options are limitless.

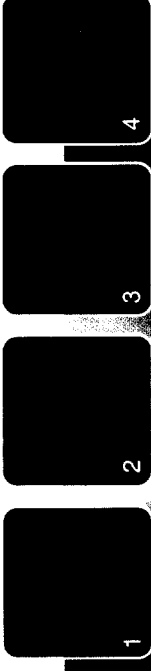
METRO Chameleon series

METRO CHAMELEON, the compact Metro, with big performance, a heavy 6mm firebox and features which are not reflected in their modest price. With a tested output of 14.6kW the freestanding Chameleon will easily heat the average family home, yet due to it's compact size and ability to turn down to very low burn rates it is also ideally suited for

smaller home units and batches. As the name suggests the Chameleon enables you to change their colour as you change your decor. Coated with a durable high temperature paint, the coloured outer cabinet can simply be resprayed with an aerosol if you wish to change it's colour, or at the end of each winter season to give it that "new" look.

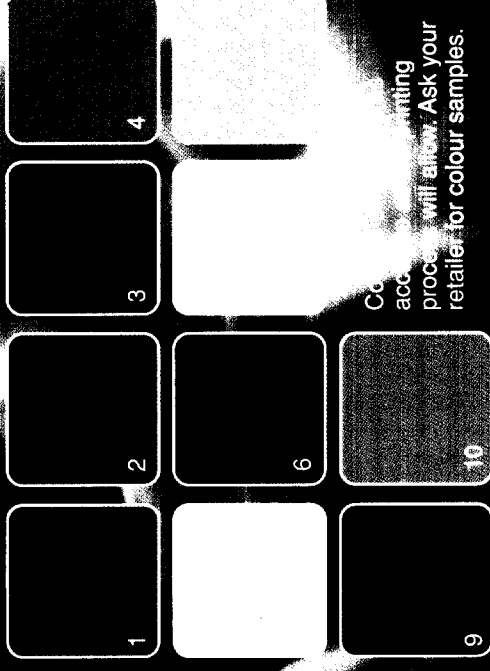
STANDARD COLOURS

1. Golden Fire Brown
2. Metallic Black
3. Moss Green
4. Charcoal



OPTIONAL COLOURS (Aerosol)

- 1 Metallic Brown
- 2 Mojave Red
- 3 Red Wood
- 4 Sand
- 5 Forest Green
- 6 Almond
- 7 Blue
- 8 Blue Metallic
- 9 Blue
- 10 Blue



Colours can be changed at any time. Ask your retailer for colour samples.



The freestanding version of the Metro Chameleon is illustrated here in Metallic Black and installed on a Pioneer standard wall hearth with black tiles.

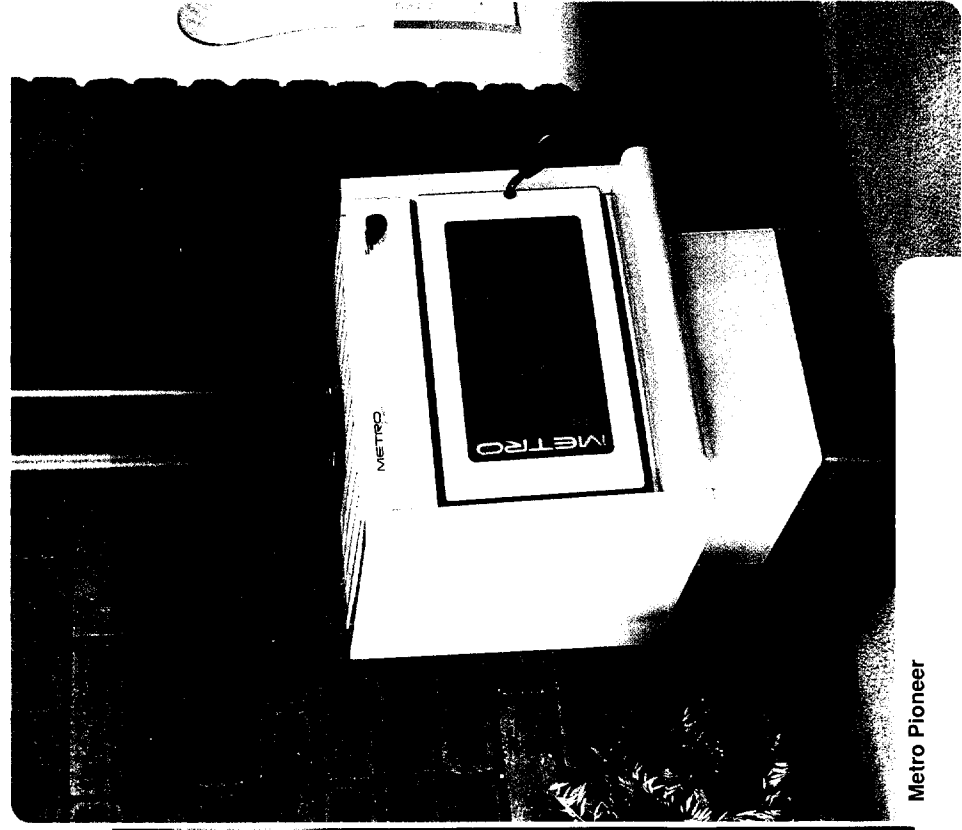
The Chameleon insert fascia is available with two firebox options, as detailed in the Insert/Inbuilt Series copy. Illustrated here in Moss Green, with optional Euro Door installed, on a Pioneer rimu trim insert hearth with multi coloured tiles.

dare to compare!

Pioneer series

METRO PIONEER utilises the firebox and styling of the Chameleon but has the added benefit of an outer cabinet coated in durable vitreous enamel, offering a life time of scratch resistant and easy clean good looks. The Pioneer is two fires in one, at 14.6kW tested output it has the capability to heat the family home, while it's control and compactness makes it equally suitable for smaller areas. As with all Metros water heating is a major feature. Testing of the Metro Pioneer

with the 4kW Pioneer wetback resulted in a combined output of a staggering 16.7kW ensuring a warm home, with lots of hot water, and minimising your power bill. Available in all five vitreous enamel colour options: Illustrated in Jasmine and installed on a Pioneer standard wall hearth with marble tiles.



Metro Pioneer

REAR OUTLET PIONEER extends the Pioneer series to offer all the alternatives, enabling the flue to be diverted into another room, outside or even direct into an open fireplace. The large unrestricted cook top offers ample room for cooking soup, stew, or even the family roast and the hot plate, provided directly above the flue spigot area, allows rapid heating for kettles and percolators. Optional height pedestals are available, including a "Juno" swap over pedestal, making the Rear Outlet Pioneer an ideal replacement for ageing Junos.

Available in four vitreous enamel colour options, excluding Jasmine.

Metro Pioneer - Rear Outlet

PIONEER'S VITREOUS ENAMEL COLOUR RANGE

- 1 Matt Black
- 2 Matt Bronze
- 3 Matt Charcoal
- 4 Forest Green
- 5 Jasmine

Xtreme / Aspire series

METRO X-TREME / ASPIRE designed for larger homes with outputs to perform in the coldest climates. To accommodate the extreme outputs of these two large Metros Pioneer has developed a firebox incorporating an offset rear panel with firebrick and ceramic linings. These increase

durability and ensure long firebox life and are supported by Pioneer's optional 10 year firebox warranty. Pioneer has developed a 7kW boiler option specifically for these two large Metros. This enables you to heat your hot water cylinder and, at the same time, run radiators or underfloor heating.

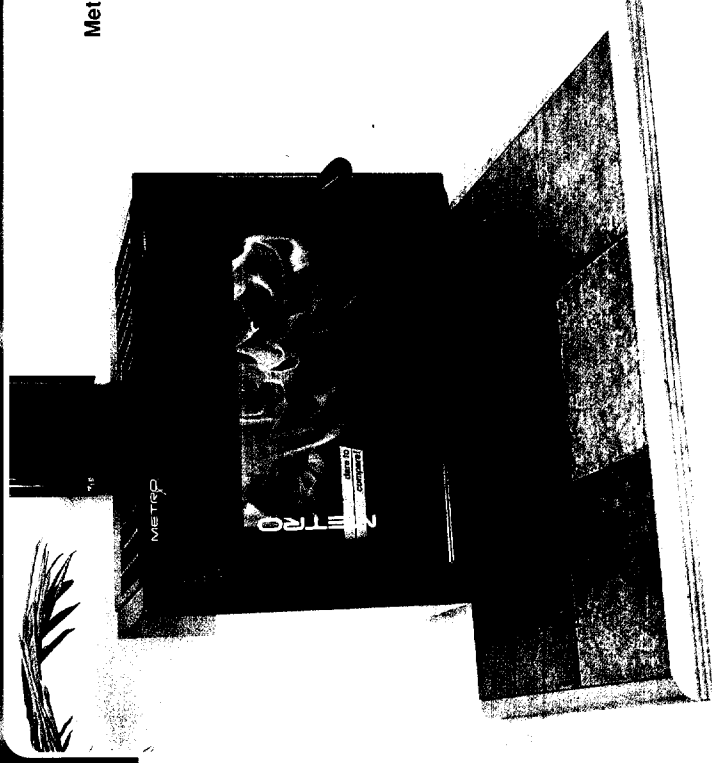
METRO ASPIRE is clearly the flagship of the Metro range. Metro's angled front is complimented on the Aspire with the Euro Door (fitted as standard) and curved panels, with soft radiuses, achieving a visual effect that is truly stunning. The Aspire also incorporates a unique primary air supply which draws incoming air

across the firebox, increasing the output to optional 3 stage output, increasing output to 19.6KWS.

Available in all five vitreous enamel colours. Illustrated in Forest Green and installed on a Pioneer Rimu corner hearth with terracotta tiles.



Metro Aspire



Metro X-treme

METRO X-TREME is the Metro Pioneer's big brother, specially designed for large areas. It features an overnight burn capability to ensure you never wake to a cold home. The large door opening and deep firebox will take chunky pieces of timber, up to 500mm long, so you spend less time cutting wood. As with all Metros, even the large X-treme has minimal clearances and fits on a compact ash hearth.

Available in four vitreous enamel colour options excluding Jasmine. Illustrated in Dark Charcoal and installed on a Pioneer rimu wall hearth with multi coloured tiles.



FILE: 960323

11 September, 1996

I W & E M Gillespie
P O Box 50564
PORIRUA

Dear Mr and Mrs Gillespie

APPLICATION FOR RESOURCE CONSENT: TO RELOCATE A DWELLING

I refer to the above planning application and advise that on 10 September 1996 the following decision was made under delegated authority by Hearing Commissioners.

That pursuant to Section 105 of the Resource Management Act 1991, the Kapiti Coast District Council granted consent to the application by I W and E M Gillespie to relocate a dwelling to 107 Paetawa Road, Lot 1 DP 70026, Peka Peka subject to the following conditions:

1. That a building consent be obtained.
2. That the proposal proceed in accordance with the plans submitted 14 August 1996.
3. That prior to the uplifting of the building consent, a bond to the value of \$500 guaranteed by a bank or other approved financial institution be entered into with Council.

Such bond is to be discharged upon completion of the works required by building consent and resource consent.

Kapiti Coast District Council reserves the right to utilise the bond in full or in part to perform any works required by building consent or resource consent, obtained for this proposal which are not completed within 6 calendar months of the date of issue of that building consent.

Reasons for Decision

1. Neighbours written consent was obtained.
2. The proposal is considered to have no significant environmental effects.

Would you please note that if you do not concur with the above you may have the matter considered by the Hearing Commissioners. Please advise within 15 working days from the date of receiving this notice if you wish to have the matter heard.

Yours faithfully

K Johnston
PLANNER, LAND USE CONSENTS

SCALE OF FEES

For the examination of plans and specifications of any building and for the inspection of such building the following fees shall be payable according to the estimated value of the work.

In any dispute as to value, the County Engineer shall have the absolute determination of the value of the proposed work or building.

Horowhenua County Council

PERMIT No. 4648

A015308

LOCALITY

Te Horo.

DATE RECEIVED 14.12.67

DATE ISSUED 29.1.68.

APPLICATION
FOR BUILDING PERMIT

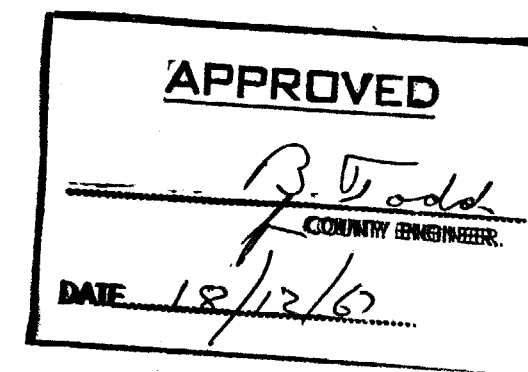
OWNER'S NAME Mr. S. CLIFTON

FOR OFFICE USE ONLY.

PAETANA ST

REMARKS:

- Approved subject to:
- ① Concrete slab floor to approval.
 - ② Rafters at 2'-6" centres for bale battens cut from 3x2.
 - ③ Exterior framework not to be enclosed in any way until completion of exterior veneer.
 - ④ Inside of chimney base to have heater to be lined in fire brick to height of register.



ESTIMATED VALUE OF WORK				FEES	
Not exceeding \$20 (£10)				50c.	(5 0)
Over \$20 (£10) and not exceeding \$200 (£100)				\$1.00	(10 0)
" \$200 (£100) " " " \$400 (£200)				\$2.00	(20 0)
" \$400 (£200) " " " \$600 (£300)				\$3.00	(30 0)
" \$600 (£300) " " " \$800 (£400)				\$4.00	(40 0)
" \$800 (£400) " " " \$1,000 (£500)				\$5.00	(50 0)
" \$1,000 (£500) " " " \$1,200 (£600)				\$6.00	(60 0)
" \$1,200 (£600) " " " \$1,400 (£700)				\$7.00	(70 0)
" \$1,400 (£700) " " " \$1,600 (£800)				\$8.00	(80 0)
" \$1,600 (£800) " " " \$1,800 (£900)				\$9.00	(90 0)
" \$1,800 (£900) " " " \$2,000 (£1,000)				\$10.00	(10 0)
" \$2,000 (£1,000) " " " \$2,500 (£1,250)				\$12.00	(12 0)
" \$2,500 (£1,250) " " " \$3,000 (£1,500)				\$14.00	(14 0)
" \$3,000 (£1,500) " " " \$3,500 (£1,750)				\$16.00	(16 0)
" \$3,500 (£1,750) " " " \$4,000 (£2,000)				\$18.00	(18 0)
" \$4,000 (£2,000) " " " \$5,000 (£2,500)				\$21.00	(21 0)
" \$5,000 (£2,500) " " " \$6,000 (£3,000)				\$24.00	(24 0)
" \$6,000 (£3,000) " " " \$7,000 (£3,500)				\$27.00	(27 0)
" \$7,000 (£3,500) " " " \$8,000 (£4,000)				\$30.00	(30 0)
" \$8,000 (£4,000) " " " \$9,000 (£4,500)				\$33.00	(33 0)
" \$9,000 (£4,500) " " " \$10,000 (£5,000)				\$36.00	(36 0)
" \$10,000 (£5,000) " " " \$12,000 (£6,000)				\$40.00	(40 0)
" \$12,000 (£6,000) " " " \$14,000 (£7,000)				\$44.00	(44 0)
" \$14,000 (£7,000) " " " \$16,000 (£8,000)				\$48.00	(48 0)
" \$16,000 (£8,000) " " " \$18,000 (£9,000)				\$52.00	(52 0)
" \$18,000 (£9,000) " " " \$20,000 (£10,000)				\$56.00	(56 0)
" \$20,000 (£10,000) " " " \$25,000 (£12,500)				\$64.00	(64 0)
" \$25,000 (£12,500) " " " \$30,000 (£15,000)				\$72.00	(72 0)
" \$30,000 (£15,000) " " " \$35,000 (£17,500)				\$80.00	(80 0)
" \$35,000 (£17,500) " " " \$40,000 (£20,000)				\$88.00	(88 0)
" \$40,000 (£20,000) " " " \$50,000 (£25,000)				\$98.00	(98 0)
" \$50,000 (£25,000) " " " \$60,000 (£30,000)				\$108.00	(108 0)
" \$60,000 (£30,000) " " " \$70,000 (£35,000)				\$118.00	(118 0)
" \$70,000 (£35,000) " " " \$80,000 (£40,000)				\$128.00	(128 0)
" \$80,000 (£40,000) " " " \$90,000 (£45,000)				\$138.00	(138 0)
" \$90,000 (£45,000) " " " \$100,000 (£50,000)				\$148.00	(148 0)
" \$100,000 (£50,000) " " " \$120,000 (£60,000)				\$158.00	(158 0)
" \$120,000 (£60,000) " " " \$140,000 (£70,000)				\$168.00	(168 0)
" \$140,000 (£70,000) " " " \$160,000 (£80,000)				\$178.00	(178 0)
" \$160,000 (£80,000) " " " \$180,000 (£90,000)				\$188.00	(188 0)
" \$180,000 (£90,000) " " " \$200,000 (£100,000)				\$198.00	(198 0)
" \$200,000 (£100,000) " " " \$240,000 (£120,000)				\$210.00	(210 0)
" \$240,000 (£120,000) " " " \$280,000 (£140,000)				\$220.00	(220 0)

For every \$40,000 (£20,000) or part thereof in excess of \$280,000 (£140,000) add additional fee of \$10.00 (£5).

FEES PAYABLE FOR SPECIAL DUTIES

For inspection required in the case of proposed structural alterations before plans for approval \$1.00 (10/0)

For inspecting every detached stove, furnace, oven, close fire or forge erected subsequently to the building 50c. (5/0)

For inspecting old timber before reusing the same in a new building \$1.50 (15/0)

For any inspection that may be deemed necessary in connection with any building or work in respect of which no fee has otherwise been paid 25c. (2/6)

NOTE.—

1 All Plans and Specifications must be in ink.

Atk

2nd a/c 18/1/68

Valuation Book No. 1492/218/57 Date Dec 6th, 1967.

Application for Building Permit

TO THE BUILDING INSPECTOR,
Horowhenua County Council,
Bath Street,
Levin.
Postal Address: Horowhenua County Council,
P.O. Box 17,
Levin.

I, the undersigned, do hereby apply for PERMISSION to erect BUILDINGS in accordance with the undermentioned particulars in Dwellings 15 Horo

1. Type of Building: Dwellings
Dwellings, etc.; additions or alterations.

Particulars of Building: Foundations: Conc Walls: Conc Roof: Iron
Total floor area: 1600 sq. ft.

2. Purpose for which every part of Building is to be used or occupied (Describing separately each part intended for use or occupation for a separate purpose) GARAGE ATTACHED

3. Allotment: Lot: 1 D.P.: 26854 Section:

Area: 5 ACRES Block: S.D. Locality:

4. Owner's Full Name: S. CAIFTON MANGANE ROAD
Address: 15 Horo

5. Previous Owner { If Section has been recently transferred }

6. Frontage (Length) Name of Street or Road: MAETAWA ST
HEKA PERA SUBDIVISION

7. Estimated Value of Building, Plumbing and Drainage
\$10184.00 : \$980.00 : Total \$11164.00

8. Fees \$40.00 : No. of Receipt 7451
See Scales of Fees on Back Page.

All work will be carried out in accordance with Horowhenua County Council's By-laws.

NOTE:—The following MUST accompany this Application:—

Plans and Specifications in Duplicate, including—

- (a) Ground Plans of Proposed Work showing position of all sanitary fittings and names of various rooms.
- (b) Where the building is on a sloping site the correct height of foundations must be shown.
- (c) Front, Rear and Side Elevations.
- (d) Cross section showing framing with bracing.
- (e) Where a building requires Plumbing and Drainage Work, a Separate Application Form must be filled in and Permit obtained before commencing any such work.

Signature of Applicant J. F. Dixon & Co. Ltd. Builder or Owner

Address 990 Selkirk Road, Paekanga

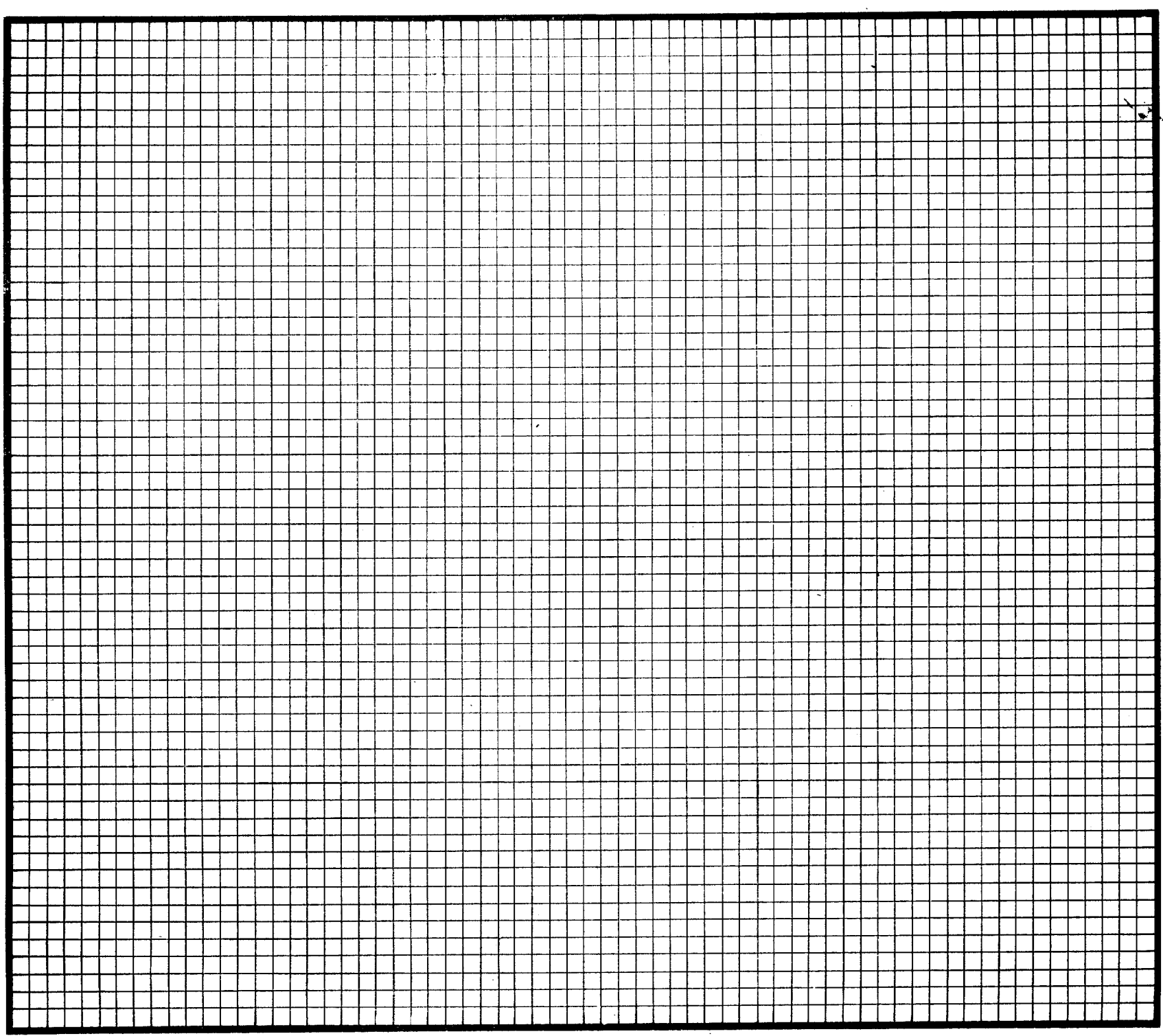
Builder's Name { If not the applicant }

PLAN OF ALLOTMENT

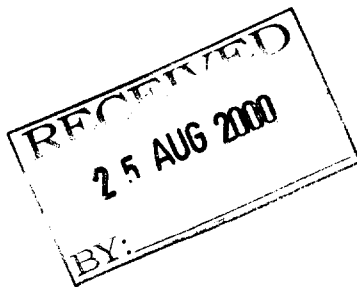
Showing position of proposed building on such allotment.
NOTE—Distances of each building from boundary lines must be clearly indicated.
(Scale: Two feet to a square.)

Boundary Lines to be shown thus: - - - - -
Generally DWELLINGS must NOT be ERECTED within FIVE FEET of ADJOINING properties.

Frontage to Road



ALL EXISTING BUILDINGS TO BE SHOWN IN RED ON THIS PLAN



Address

Date

Phone:

107 Paetawa Rd
Peka Peka
16-8-00
293-2183

Dear Sir

FREE STANDING FIRE OR FIRE PLACE HEATER INSTALLED AT:

107 Paetawa Rd, Peka Peka

for THE HEATING CENTRE

by 3 IHAKARA STREET THE HEATING CENTRE
PARAPARAUMU 3 IHAKARA STREET
PARAPARAUMU

Address: PH. (04) 298-6556 PH. (04) 298-6556

I hereby notify you that the following requirements under NZS 7421:1990 have been met and the solid fuel burning domestic appliance type and model Pioneer Metro has been installed in accordance with the manufacturer's installation instructions. High Output Inbuilt

Please tick where applicable the following:

1.	Building Consent Number issued and sited	
2.	The chimney has been cleaned.	✓
3.	The chimney is in a sound condition.	✓
4.	The chimney is of pumice and of correct dimensions to comply with BRANZ zero clearance certificates.	✓
5.	The chimney is ventilated to manufacturer's requirements.	✓
6.	The appliance is restrained against seismic activity (free standing and fireplace heaters).	✓
7.	The fire plate heater has been approved by BRANZ as complying with their zero clearance certificate.	✓
8.	The hearth is an approved type according to manufacturer's requirements.	✓
9.	The hearth is restrained against seismic activity.	✓
10.	The fire surround at its connection to the fire place is fully insulated with approved material [see BRANZ Building Information Bulletin 248 (1986)].	✓
11.	The ash hearth is of correct dimensions to installation instructions.	✓

Mark N/A if clause not applicable. Please return promptly after installation.

(PRINT) INSTALLERS NAME: PAUL GARDINER



Building Consent

Section 35, Building Act 1991

Application

M SANG
107 PAETAWA ROAD
PEKA PEKA
WAIKANAE

No. 001173
Issue date 25/08/00
Application date 00

Project

Description	Alterations, Repairs or Extensions Being Stage 1 of an intended 1 Stage INSTALL METRO HIGH-OUTPUT INBUILT FIRE
Intended Life	Indefinite, but not less than 50 years
Intended Use	HEATING
Estimated Value	\$2,300
Location	PAETAWA ROAD, PEKA PEKA
Legal Description	LOT 1 DP 82434
Valuation No.	1489010602

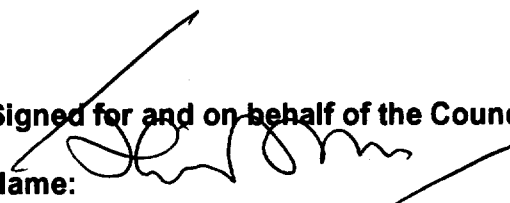
Charges

The Council's charges paid on uplifting this Building Consent, in accordance with the attached details are:

	\$	80.00
Building Research Levy	\$	0.00
Building Industry Authority Levy	\$	0.00
Total	\$	80.00

This building consent is a consent under the Building Act 1991 to undertake building work in accordance with the attached plans and specifications so as to comply with the provisions of the building code. It is not a consent under the Resource Management Act and does not affect any duty or responsibility under any other Act nor permit any breach of any other Act.

Signed for and on behalf of the Council:

Name: 

Date: 25.8.20

there is a future here

KAPITICOAST

DISTRICT COUNCIL

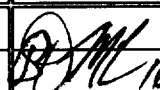
SITE CHECK SHEET

NAME: SANG

ADDRESS: Petare Rd. Petare LOT: DP:

PROJECT: Inbuilt CONSENT NO: 001173

WORK CANNOT PROCEED PAST EACH STEP UNTIL THAT STEP HAS BEEN INSPECTED, APPROVED AND THIS FORM SIGNED BY THE RELEVANT INSPECTOR. WORK APPROVED BY A CERTIFIER REQUIRES A BUILDING CERTIFICATE SUPPLIED BY THE CERTIFIER.

COMPONENT TO BE INSPECTED	INSPECTION REQUIRED (TICK)	INSPECTION CHECK	INSPECTION RECHECK	COMMENTS AND/OR RECTIFICATION NOTICE NO	OK TO PROCEED YES/NO	ADDITION INSPECT YES/NO	DATE, SIGNATURE
FREESTANDING FIRES							
Seismic fixing							
Hearth							
Flue							
Flashing							
INBUILT FIRES				CHIMNEY CLEANED &			 16-8-00
Chimney & Flue				IN GOOD CONDITION			
Seismic fixing							
SWIMMING POOLS							
Fencing							
Gates - Doors							
Water Supply							
Backwash disposal							

BUILDING COMPONENTS DEEMED COMPLETED

INSTALLERS CHECK SHEET REQUIRED - RECEIVED

CERTIFIER	SIGNATURE	DATE	CERTIFIER	SIGNATURE	DATE
Building			Services		
Plumbing			Resource Management		
Drainage			Air Conditioning		
EHO					
Lifts					
Compliance Schedule					

WORK IS NOW DEEMED TO BE COMPLETED. A CODE COMPLIANCE CERTIFICATE WILL BE ISSUED WHERE REQUIRED BY THE BUILDING ACT. CODE COMPLIANCE CERTIFICATE NUMBER 001173

Signature

Designation

Date

WHEN THE PROJECT IS COMPLETED THIS INSPECTION SHEET WILL BE ATTACHED TO THE RELEVANT PROPERTY FILE HELD AT THE COUNCIL OFFICE

175 Rimu Road, Private Bag 601, Paraparaumu. Ph (04) 298 5139, Fax (04) 297 2563, Internet: www.kcdc.govt.nz

Me huri whakamuri ka, titiro a hakaama

BUILDING PERMIT

Local Authority: Horsham & Bury Date: 29/1/68 No. A 015308
 Number on Valuation Roll: 199/118/57 Receipt No. 7451
 Lot: 1 D.P. 26854 Section: Block: Paetana Rd Street
 Site of Building: S.D. Peta Peta Township Je Hono Riding.

Received from J J Dixon & Co Ltd the sum of \$40.00
 in payment of building fee, etc. J M Brown Authorised Officer. 29/1/68

Owner—Name: S Blifton Marymore Rd Je Hono
 Address: J J Dixon & Co Ltd 99 Victoria Rd Warkane
 Builder—Name: J J Dixon & Co Ltd
 Address: 99 Victoria Rd Warkane

(Tick box)
 Nature of Permit: ☒ 1. New Building ☒ 2. Alterations and/or Additions ☐ 3. Conversions ☐ 4. Demolitions ☐
 Type of building: Dwelling Total floor area: 1600 sq. ft.
 Purpose for which building will be used:
 Estimated value of proposed building work \$11,444.00
 Estimated value of plumbing and drainage, if not included in permit \$
 If work valued at \$20,000 or more, state: Estimated date of commencement—Month: Year:
 Estimated date of completion—Month: Year:

Special Conditions:
 (1) Walls 2 1/2" centres for use 5/8" tile
 (2) Veneer framework not to be enclosed in any way until the veneer work has been completed
 (3) Inside of chimney base to be lined with fire brick to the height of the register of space etc

Permission is hereby granted you to carry out the works as proposed in accordance with the drawings and other documents submitted; such work to be subject at any time during progress to inspection, and to be carried out in strict conformity with the requirements of the Council bylaws, and subject to the builder taking full responsibility for any damage done to any works such as telephone cables, power cables, water mains, sewers, pipes, footpaths, roads, or other services.

Stats.—B.P. 1 J M Brown Issuing Officer. 29/1/68

BUILDING APPLICATIONHCC/B9

State of Progress	Date	Initials	Remarks
Building Application Received	14/12/61	B.S.	
Drainage Application Received	"	"	
Site Inspected	15/12/61	"	
Building Application under Action	18/12/61	"	
Drainage Application under Action	"	"	
Miscellaneous			
HCC/38 (Fees) Posted			
Building Permit Authorised	18/12/61		
Drainage Permit Authorised			

SPECIFICATION OF WORK TO BE DONE AND MATERIALS TO BE
USED IN THE ERECTION OF A RESIDENCE AT PEKA PEKA,
WAIKANAE FOR MR. S. CLIFTON.

14th August, 1967

- Att*
- Permit issued subject to;
- ①. Concrete slab floor to County approval.
 - ②. Rafters at 2'-6" centres for tile roof or —
3'-0" " if battens from 4x2.
 - ③. ~~Ex~~ Exterior framework not to be enclosed in
any manner until completion of exterior
siding.
 - ④. Installation of space heater to approval.
ie. inside of chimney base to be lined in fire brick
to height of register.

Contract Drawing No. 1337/1.

HOROWHENUA COUNTY COUNCIL

APPROVED

IN ACCORDANCE WITH PERMIT NO. _____

NOTE: THIS DOCUMENT MUST BE KEPT ON THE
SITE OF THE WORKS DURING CONSTRUCTION.

18/12/67.

B. Todd.
Engineer.

EXCAVATION

Excavation and clearing of the site shall be carried out before building operations commence. In accordance with the drawings, carry out trenches for foundations, walls and piles, maintaining sides as necessary. Backfill and consolidate when footings are completed. See under "Drainlayer" for excavation for drains. Check site levels before tendering.

CONCRETE

1. Materials: Portland cement to conform with N.Z.S.S. No. 43. Aggregates to be approved Builders' mix. Boxing to be clean, close fitting and adequately braced.
2. Mixture: Make concrete of 1-part cement to 6-parts aggregate, thoroughly machine mixed with least amount of water consistent with workability.
3. Reinforcing: Steel to conform with N.Z.S.S. No. 197, free from loose rust and other deleterious coatings. Bend, hook and place as detailed, tie with black iron wire and lap forty diameters.
4. Ties: Cast 8" into piles and foundation walls at 4'6" centres, bent 3/8" rods projecting to secure plates. Build in bolts for fixing glass screen and 2" diameter galvanised pipe standards at Entrance.
5. Openings & Chases: Provide for all pipes, flashings etc. where necessary. Build in 12"x 6" mouseproof vents where shown.
6. Foundations: Build 6" foundation walls, 8"x 8" piles, 6" porous walls 4" slab in Laundry, Garage and Entrance, all as shown. Reinforce foundation walls with One 5/8" rod at top and bottom with Two 5/8" rods, slabs and steps with H.R.C. steel fabric. Form foundations for Terrace supporting pipes. *Concrete slab floor to approved H.C.*
7. Chimney: Form 6" foundation walls, and pad, 4" slab for hearth. Install precast concrete chimney to take Space Heater. Reinforce pad with 3/8" rods at 6" grid, walls with 3/8" rods at 9" grid, hearth with 3/8" rods at 8" grid. Build in 1/4" rods as required for precast chimney.

PLASTERER

Plaster the porch floors and steps with One coat of 1:3 Portland cement and sand mortar, gauged with 10% Hydrated lime. All angles to have arris slightly rounded. Floors and steps to slope outwards. Plaster the foundation walls with One straightening coat and finish with texture to Owner's choice. Foundations to be left grey.

STONEMASON

1. Materials: All stonework shall be Summit Splitstone - colour to Owner's choice.
2. Mortar: Mortar shall be composed of 1-part Portland cement, 3-parts

sand and 10% Hydrated lime with only sufficient water to make a good workable mix.

3. Work required: Build Stone veneer $1\frac{1}{2}$ " clear of timber framing as shown on Plan. Carry up in even heights, no part rising more than 3'0" above adjoining work. Fully flush all joints with mortar. Secure veneer to timber walls with No. 8 gauge galvanised wire ties at 3'0" centres, every fourth course and at all angles, openings and at ends of walls. Ties to be well bedded in joints and nailed to studs with $1\frac{1}{2}$ " x 10" gauge galvanised staples. Build in at every Sixth course 24-gauge expanded metal lathing or other approved material. The strips shall be laid full length of wall, turned down into vertical joints at ends, lapped at intersections and well flushed in mortar. Mortar joints shall not exceed $\frac{3}{8}$ " in thickness and shall be weather struck as work proceeds. Build in vermin-proofing at base of wall and above windows build in galvanised angle iron to support Flat Stone arches. Clear down all stone work and leave free from stains or defects.

SPACE HEATER CHIMNEY

1. Materials: Surround and Hearth selected Tiles to Owner's choice.

2. Mortar: Mortar shall be composed of 1-part Portland cement, 3-parts sand and 10% Hydrated lime with only sufficient water to make a good workable mix.

3. Chimney: Install precast concrete chimney built up and reinforced as recommended by the Manufacturer.

4. Fireplace: Allow P.C. sum of \$30.00 for the supply complete of Tile surround and Hearth to Owner's choice. See under Hardware for Space Heater installation in surround.

CARPENTER

1. Materials: Timber to be best of respective kinds, reasonably well seasoned for carpentry and thoroughly seasoned for joinery, conforming with grading of N.Z.S.S. No. 169.

Framing below floor line & bottom plate	... H.B.A. Rimu or Matai
" above " "	... B.A. Rimu or Treated Rad. Pine
Exterior finishing timber & frames	... H.D.A. Matai or Rimu
Window sashes & exterior doors	... H.D.A. Totara or Redwood
Flooring	... H.D.A. Rimu
Interior finishing timber	... D.A. Rimu

2. Workmanship: Erect framing in conformity with By-Laws, square, plumb securely nailed and adequately braced. All framing timber to be gauged. Machine dress finishing timber and punch all nails. Machine sand interior trim.

3. Schedule of timbers: Rough sizes unless otherwise shown or specified to be as under: ¶

Sleeper plates, stringers, jackstuds & studs to openings over 3'6"	.. 4"x 3"
Floor joists	.. 5"x 2"
Studs, plates, ceiling joists, rafters, stiffeners over ceiling joists, roof struts	.. 4"x 2"

Dwanging	...	3"x 2" or 4"x 1½"
Bracing	...	3"x 2" or 6"x 1"
Lintels up to 4'6"	...	2/4"x 2"
" " 6'6"	...	1/8"x 2"
" over 6'6"	...	10"x 2"
Roof purlins	...	3"x 2"

4. Damp course: Wherever framing timber abuts concrete insert a layer of 2-ply Bituminous fabric.

5. Framing: Secure plates and stringers to foundations with 3/8" rods bent over and stapled. Frame up whole of structure true to line, fix three rows of dwanging and one diagonal brace to every 150 sq. ft. of wall framing. Fix 4"x 2" stiffeners to ceiling joists over 10ft. long. Provide nogging to ceilings. Strut and brace roof thoroughly to Supervisor's satisfaction. Build in splite 3"x 2" roof purlins to suit roof tiles. Construct eaves to detail. Pack down ceilings where shown to door head height. Trim for openings and provide adequate lintels as specified. Notch or bore dwangs and plates for ventilation in exterior walls. Block lower holes against mice. Trim for soap holder. Build in 6"x 4" dressed beam supported on 2" galvanised pipes at Entrance.

6. Exterior Finish: See under Stonework for exterior Splitstone veneer. Overlay Gable ends with Building Paper and 8"x 1" and 3"x 1" Redwood Vertical board and battens. All to receive a coat of priming before fixing. Line eaves and porch ceilings with Asbestos cement board. Fix 1" fascia and fix half-round and quarter-round at angles of wall and fascia.

7. Flooring: ~~Double nailed, close cramped, butts staggered, 4"x 1" NCC.~~
F & G. Flooring. Punch all nails and finish with floor sander. **NOTE:** All floors run through under fittings to give a vermin-proof job.

8. Linings: Line walls of all rooms and cupboards not otherwise specified with first quality Gibralterboard 3/8" thickness, securely nailed, and fill joints and sundry imperfections with Plaster-of-paris to a smooth and even surface. Fix all to Manufacturer's instructions. Line ceilings with best quality Fibrous Plaster, fill nail holes and sundry imperfections with stopping plaster. Walls and ceilings of Garage shall be lined with Gibralterboard. Line Shower Cubicle with Formica. Colour to Owner's choice.

GIBFOIL TO EXTERIOR WALLS

9. Trim: Provide 2" stock cavetto cornice in all rooms not otherwise specified. Sill returns to be same shape as section through members. Form round top skirting from 4"x 1", double bullnosed architraves from 3"x 1", window boards from 1" material with rounded arris and returns and 1" cavetto under. *under int.*

10. Access panel: Form 20"x 16" ceiling access panel in Laundry as *linings* directed to match surrounding work and frame round with architrave.

11. Linen cupboard: Fix slatted shelves 4"x 1" spaced 12" apart.

12. Switchboard cupboard: Where indicated in Garage construct weathere proof recessed cover box with glazed door, complete with hinges and cupboard catch.

13. Wardrobes: Fix 12"x 1" shelves and c.p. tubes for coat hangers in wardrobes. Form hood cupboards above all wardrobes in Bedrooms.

14. Garage Doors: Where shown supply and install a 6'6"x 8'0" Roll-A-door as recommended by the Manufacturer.

JOINER

1. Materials: Exterior doors and frames shall be H.D.A. Rimu. All windows shall be Aluminium sliding - to Owner's choice. Interior joinery D.A. Rimu,

2. Workmanship: All joinery shall be made in accordance with best trade practice, neatly finished with joints of recognised method and in accordance with details.

3. Door frames & Doors: Exterior jambs shall be solid rebated out of 6"x 2" and sills out of 8"x 2" with side flashings, no facings. Interior jambs shall be solid rebated out of 1½" full width of wall. Front door to be as shown on Plan. Interior doors shall be of an approved Rimu finish, framed flush type. All doors to be truly hung in their frames ½" from the floor. Trim for carpets if required. See Plan for Door Schedule.

4. Window frames & Windows: Windows shall be "Structalite" Series 200 and 500 as shown. Installation as recommended by the Manufacturer.

5. Kitchen cupboards: Properly frame up cupboards and drawers in 1" timber in accordance with detailed drawings, with 7/8" coreboard cup-board doors. Arrange cupboards at sink to accommodate bench top specified elsewhere. At all angles where necessary fix small quarter-rounds.

5. Bathroom Cabinet: Where shown form simple cabinet in Bathroom recessed into wall - fix mirror between doors. As detailed for basin cabinet with Formica top.

HARDWARE

1. Builder's hardware: Contractor shall supply all nails, screws, clips, bolts, staples and other sundry ironmongery for the proper construction of the work.

Joiner's hardware: All visible door and cupboard furniture is to be best of its kind, neatly fitted and left in sound working order. Exterior doors are to have Two galvanised steel butts with galvanised screws, and interior and cupboard doors are to have Two A.C. steel butts and screws, all of appropriate sizes. All full sized doors shall have loose pin hinges. Allow the P.C. sum of \$80.00 for all door locks, cupboard catches, drawer pulls, coat hooks, towel rails, door bell etc. to Owner's choice, and allow for neatly fixing same. Set all door handles 4'0" from floor. Window fittings supplied with "Structalite" fittings.

3. Formica bench top: In accordance with detail fix selected Formica to bench tops with special adhesive. All bench tops to be 7/8" coreboard and back ½" Plywood. Formica to be well stuck down at top and brought down front edge of bench and 6" up at wall. Finish with neat cover bead.

4. Space Heater: Allow the P.C. sum of \$120.00 for the supply of a Space Heater to Owner's choice and allow for installation. Connect water on-space jacket on Space Heater to Electric hot water cylinder.

ROOFER

Decorastastic Tiles: 1. **Battens** - Battens to be split 3"x 2" to give batten 2" wide by 1½" at top edge. Set out battens to achieve a full tile around eaves.

2. **Underlay:** Under the whole of the roof fix 2-ply Bitumenous fabric before fixing battens.

or 4x2 m.c.

PLUMBER & SHEET METAL WORKER

1. General: The Plumber shall provide all materials, plant, labour etc. necessary for the proper construction of the work in conformity with Local By-Laws and according to the intent of this Specification, including such items not specifically mentioned herein, but which are necessary for a thoroughly workmanlike job. Upon completion the whole of the work shall be left watertight and to the satisfaction of the Authorities and Employer. Give all notices to, and arrange for inspections by Local Authorities.

2. Materials: All materials shall be best of their respective kinds and to the satisfaction of the Employer. Timber used for supporting sub-floor pipes must be Heart.

3. Workmanship: All workmanship shall be in accordance with best trade practice, joints of recognised method and pipe lines shall be neatly laid out in straight lines with even gradients. Pipe sizes apply to internal diameter. All piping shall be concealed and supported as necessary to prevent displacement. Piping outside the building shall be buried at least 15".

4. Flashings: Roof and chimney flashings shall be 4lbs. lead, accurately fitted and soldered where necessary and left absolutely weatherproof. Flash round windows and doors with 26-gauge galvanised iron and provide trays at sills.

5. Wastes: Fix traps and copper wastes to fittings of size as required by By-Laws, complete with cleaning eyes.

6. Water pipe: Cold and hot water pipes shall be 19-gauge drawn copper with "Silfos" brazed joints, solid brass tap sockets, all hot pipes adequately lagged with cowhair felt securely wired on.

7. Vents: Back vent fittings as required by By-Laws.

8. Soil pipe: Vent shall be carried up in 4" cast iron surmounted by 24-gauge copper, all properly jointed forming a vent finished with a wire bowl.

9. Cold water supply: The positioning and installation of water storage tank will be arranged separately. From tank supply lead through pump to 30-gallon supply tank in roof space and thence to hot water cylinder. Lead branches to all other fittings, including exterior hose taps where shown.

10. Hot water supply: Where shown install 40-gallon "Stanley" or other approved lagged hot water cylinder with 1500 watt element and thermostat control, and arrange with Electrician to connect same to electric supply. From top of cylinder take $\frac{1}{2}$ " lagged expansion pipe through roof and from bottom of cylinder take $\frac{1}{2}$ " stop-cocked sludge pipe to nearest gulley trap. Lead $\frac{1}{2}$ " pipe to bath and $\frac{1}{2}$ " branches to basin, shower, sink, washing tub and washing machine. Connect H.W.C. to jacket on Space Heater.

11. Taps: One hot and one cold over tub and exterior taps brass and threaded for hose coupling. Interior taps and stop-cocks streamlined, chromium plated and marked "hot" and "cold" as necessary. Bath taps to be $\frac{1}{2}$ " extension and other taps $\frac{1}{2}$ " of the appropriate types. Fix central outlet with two stop-cocks at sink.

12. Fittings: Allow for the following fittings and allow for fixing complete with hard rubber plugs and plated chains as required:-

- (a) One white 5'6" enamelled cast iron bath to be built in.
- (b) One white 22"x 16" hand basin on c.p. brackets.
- (c) One 18"x 12" stainless steel sink set in 5'6" top.
- (d) One single stainless steel tub and cupboard fitting.
- (e) One 12"x 6" porcelain recessed soap holder at bath
- (f) One plated paper holder
- (g) One W.C. pan complete with low-down flusher and plastic seat
- (h) One shoulder height rose and mixer.
- (i) One 36"x 30" stainless steel shower tray.

13. Spouting & Downpipes: Along eaves fascia on strong brackets falling to downpipes fix 4" square galvanised iron spouting with 2½" outlets, lead to outlet at storage tank - position to later direction. *P.V.C.*

14. Washing machine: Owner will supply washing machine. *NOVARRAIN*

DRAINLAYER

1. Materials: Drains to be first quality 4" earthenware glazed pipes and fittings.

2. Workmanship: All work must be carried out by skilled and Licensed Drainlayers, and carried out in conformity with Local By-Laws. Excavate trenches to even falls and cut to receive pipe sockets. Remove excess mortar from insides of pipes. Make bends in easy sweeps or with Y-junctions. Form plastered surround to gulley traps, joint with rubber rings.

3. Work required: To lines on the Plan lay the soil drains and waste drains to Septic Tank with minimum falls of 1:40. *60 H.C.C.*

4. Septic Tank: To Local Council's requirements form Septic Tank and soak pits.

ELECTRICIAN

The Electric Supply has not yet been installed, wire for the following -

1. General: The installation shall be made in a sound and workmanlike manner using T.P.S., all in conformity with the Wiring Regulations. All wiring shall be concealed. Use fittings of N.Z. manufacture where possible. Allow 2'6" excess length to all mains coiled behind switchboard. Notify Authorities for inspections.

2. Switchboard: Install switchboard where indicated. Supply and clearly label all switches, meters, fuses as required. Arrange for position of street main and take lead from future point of entry to switchboard.

3. Lighting Points: Exact positions to be confirmed with Owner on the job. Wire for the following points, fix ivory flush switchplates and shades as indicated. Owner will supply fittings marked "x".

<u>POSITION</u>	<u>NO. & TYPE</u>	<u>SWITCH</u>	<u>LAMP</u>	<u>FITTING</u>
Living Room	3 bracket	3 Flush	3- 75w	3 x
Kitchen	2 ceiling	2 "	2 "	2 x
Bathroom	1 bracket	1 "	1 "	6" Ball
W.C.	1 ceiling	1 "	1 "	6" Ball
Laundry	1 "	1 "	1 "	6" Ball
Bedroom No. 1	1 "	2 "	2 "	2 x
	1 bracket			
" No. 2	1 ceiling	1 "	1 "	1 x
" No. 3	1 "	1 "	1 "	1 x
Hall	1 "	1 "	1 "	1 x
Passage	1 " 2/way	2 "	1 "	1 x
Front Porch	1 ceiling	1 "	1 "	1 W/T
Garage	2 "	2 "	2 "	NIL

4. Power Outlets: Fix three pin socketed power outlets in preset positions as follows:-

<u>POSITION</u>	<u>No. & Height</u>
Living Room	2 - 12"
Kitchen	1 on cooker, 1 - 4'0" Refrig. 1 - 12"
Bedroom No. 1	1 - 12"
Bedroom No. 2	1 - 12"
Bedroom No. 3	1 - 12"
Laundry	1 - 3'0" H/Duty
Garage	1 - 3'0"

5. Electric hot water system: See under Plumber - allow for connection of same - 40 gallon.

6. Electric cooker: Wire for stove only. Stove will be installed later.

7. Washing machine: Owner will supply washing machine.

8. Telephone entry: Install draw wire for future telephone.

PAINTER, PAPERHANGER & GLAZIER

1. Relations with other trades: See under "General Conditions of Contract".

2. Materials: N.Z. factory prepared products to be used. Paint to be brought onto the site unopened and thinned when necessary to Manufacturer's instructions. Best prepared putty to be used.

3. Workmanship: Work must be carried out by skilled tradesmen. No painting shall be done in dusty or unsuitable weather. Each coat to differ slightly in hue from previous coat. Coats to be well brushed in and finished smooth and free from brush marks. All finish coats to be shades approved by the Owner.

4. Protection of the work: Adequate precautions must be taken to protect the work inside and out during and after completion. Covers shall be used for interior work.

5. Priming & Puttying: Whole of the surfaces both inside and out, excluding floors shall be thoroughly puttied as necessary to give a smooth and even surface for finishing after the priming coat is dry.

6. Exterior finish: All exterior metalwork, asbestos cement sheeting and woodwork shall be primed before fixing. After puttying all metalwork, woodwork and puttywork not otherwise specified shall be given One undercoat and One finishing coat of High gloss house paint.

7. Interior painting: Paint all ceilings with One coat of sealer and Two coats of oil paint, finishing Flat. Prime all timber joinery, architraves, skirtings doors where not otherwise specified and finish with Two coats of Semi-gloss enamel, rubbed down between each coat.

8. Papering: Walls of all rooms, including cupboards, wardrobes not otherwise specified, shall be finished in wallpaper average P.C. \$1.50 per single roll, truly hung with matched patterns, using poisoned paste and neatly fitted up to trim.

9. Interior enamelling: Ceilings and timber work in Kitchen, W.C. Laundry and Bathroom to be enamelled. Prime all woodwork and Hardboard and apply One coat of Dussal to plasterwork and One undercoat and One finishing

coat of approved enamel. Walls and cupboards - colours to Owner's choice.

10. Glazing: Glaze large panes with 32 oz. $\frac{1}{4}$ " drawn. Glaze all other sashes with 24 oz. O.Q. British sheet glass, Bathroom and W.C. windows to have obscure glass to Owner's choice. Provide and fix mirror on ~~back of~~ Bathroom cabinet doors.

11. Completion: Clean off all paint spots and make good any defects.

- - - - -

Fees not to be paid until requested by Office.

SCALE OF FEES

For the examination of plans and specifications of any building and for the inspection of such building the following fees shall be payable according to the estimated value of the work.

In any dispute as to value, the County Engineer shall have the absolute determination of the value of the proposed work or building.

ESTIMATED VALUE OF WORK		FEES
Over	Not exceeding	\$0.50
"	\$20 and not exceeding	\$1.00
"	\$200	\$2.00
"	\$400	\$3.00
"	\$600	\$4.00
"	\$800	\$5.00
"	\$1,000	\$6.00
"	\$1,200	\$7.00
"	\$1,400	\$8.00
"	\$1,600	\$9.00
"	\$1,800	\$10.00
"	\$2,000	\$12.00
"	\$2,500	\$14.00
"	\$3,000	\$16.00
"	\$3,500	\$18.00
"	\$4,000	\$21.00
"	\$5,000	\$24.00
"	\$6,000	\$27.00
"	\$7,000	\$30.00
"	\$8,000	\$33.00
"	\$9,000	\$36.00
"	\$10,000	\$40.00
"	\$12,000	\$44.00
"	\$14,000	\$48.00
"	\$16,000	\$52.00
"	\$18,000	\$56.00
"	\$20,000	\$64.00
"	\$25,000	\$72.00
"	\$30,000	\$80.00
"	\$35,000	\$88.00
"	\$40,000	\$98.00
"	\$50,000	\$108.00
"	\$60,000	\$118.00
"	\$70,000	\$128.00
"	\$80,000	\$138.00
"	\$90,000	\$148.00
"	\$100,000	\$158.00
"	\$120,000	\$168.00
"	\$140,000	\$178.00
"	\$160,000	\$188.00
"	\$180,000	\$198.00
"	\$200,000	\$210.00
"	\$240,000	\$220.00
"	\$280,000	
For every \$40,000 or part thereof in excess of \$280,000 add additional fee of \$10.00.		

FEES PAYABLE FOR SPECIAL DUTIES

For inspection required in the case of proposed structural alterations before plans for approval	\$1.00
For inspecting every detached stove, furnace, oven, close fire or forge erected subsequently to the building	\$0.50
For inspecting old timber before re-using the same in a new building	\$1.50
For any inspection that may be deemed necessary in connection with any building or work in respect of which no fee has otherwise been paid	\$0.25

H.C.C./B.1.

Horowhenua County Council

PERMIT No. G119

CONG 729

LOCALITY

Le Hoc

DATE ISSUED

30:14

71

DATE RECEIVED

15:4

APPLICATION FOR BUILDING PERMIT

OWNER'S NAME

S. R. Clayton

FOR OFFICE USE ONLY

REMARKS:

APPROVED

J. McLean

COUNTY ENGINEER

DATE

19/4/71

NOTE.—

1 All Plans and Specifications must be in ink.

Valuation Book No. 1492/218/57 Date 15-4-1971

Application for Building Permit

TO THE BUILDING INSPECTOR, Horowhenua County Council, Bath Street, Levin.
Postal Address: Horowhenua County Council, P.O. Box 17, Levin.

I, the undersigned, do hereby apply for PERMISSION to erect BUILDINGS in accordance with the undermentioned particulars in PRIVATE Lane Garage RIDING.

1. Type of Building: Dwelling, etc.; additions or alterations. Particulars of Building: Foundations: low pile Walls: Gable UP Roof: Cor. Iron Total floor area: 600 sq. ft.

2. Purpose for which every part of Building is to be used or occupied (Describing separately each part intended for use or occupation for a separate purpose) Implement Shed

3. Allotment: 1 Lot: D.P. 26854 Section: Area: Block: Locality: B.D.

4. Owner's Full Name: Samuel Robert Clifton Address: P.O. Box 13, Te Anau.

5. Previous Owner: { If Section has been recently transferred }

6. Frontage (Length): Name of Street or Road: Paiterua Rd.

7. Estimated Value of Building: \$ 936-00: Plumbing and Drainage: \$: Total \$ 936-00:

8. Fees \$ 5-00: No. of Receipt: H920

See Scales of Fees on Back Page.

All work will be carried out in accordance with Horowhenua County Council's By-laws.

NOTE:—The following MUST accompany this Application:—

Plans and Specifications in Duplicate, including —

- (a) Ground Plans of Proposed Work showing position of all sanitary fittings and names of various rooms.
- (b) Where the building is on a sloping site the correct height of foundations must be shown.
- (c) Front, Rear and Side Elevations.
- (d) Cross section showing framing with bracing.
- (e) Where a building requires Plumbing and Drainage Work, a Separate Application Form must be filled in and Permit obtained before commencing any such work.

Signature of Applicant: [Signature] as ~~Owner~~ Builder

Address: Skyline Building, Ltd., 16 Danvers St., Palm. Bld.

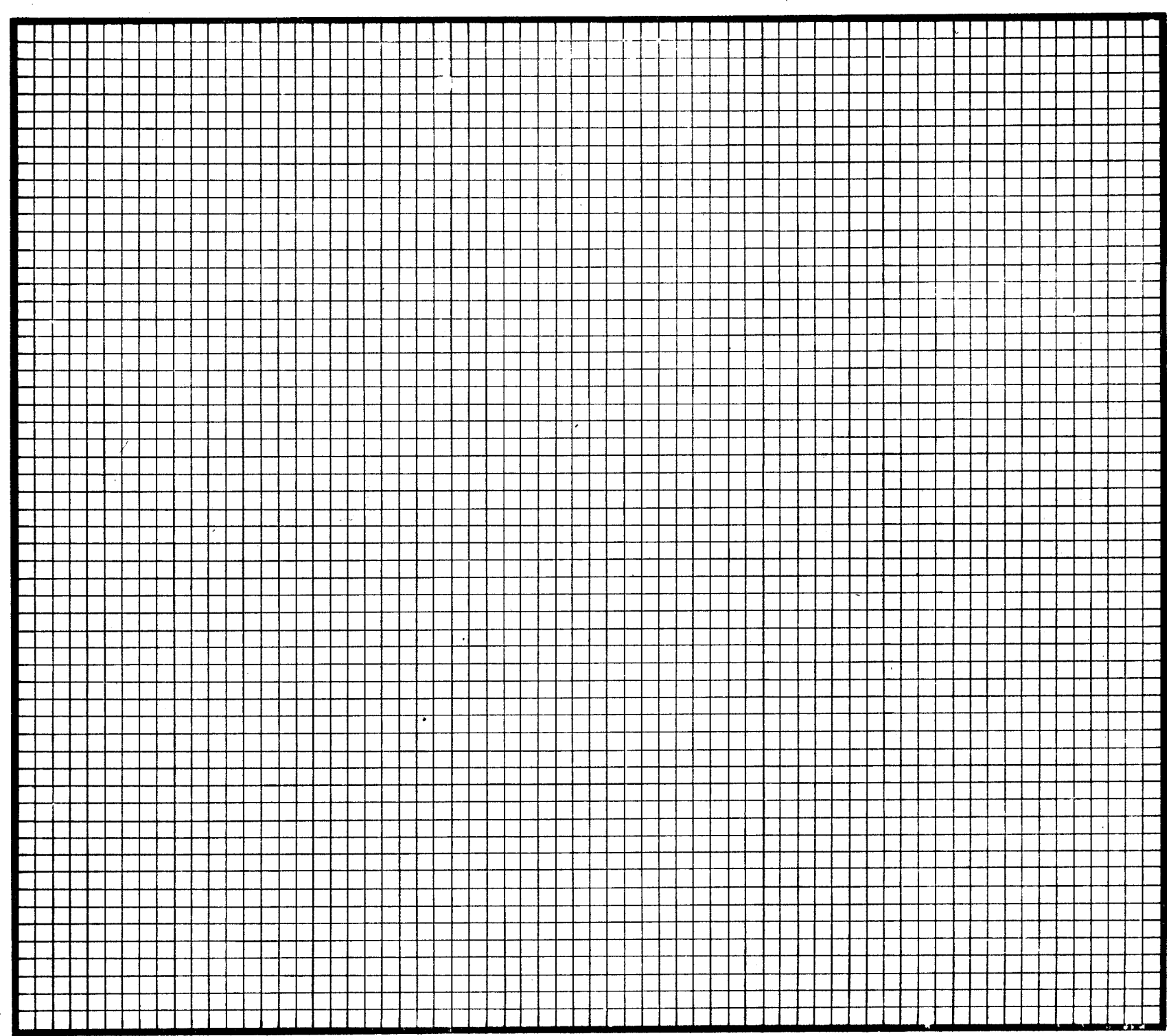
Builder's Name and Address: { If not the applicant } Skyline Building, Ltd., 16 Danvers St., Palm. Bld.

PLAN OF ALLOTMENT

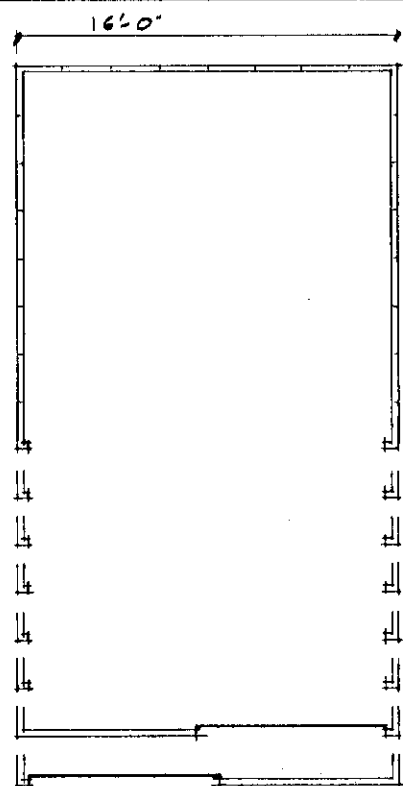
Showing position of proposed building on such allotment. NOTE—Distances of each building from boundary lines must be clearly indicated. (Scale: Two feet to a square.)

Boundary Lines to be shown thus: ———— Generally DWELLINGS must NOT be ERECTED within FIVE FEET of ADJOINING properties.

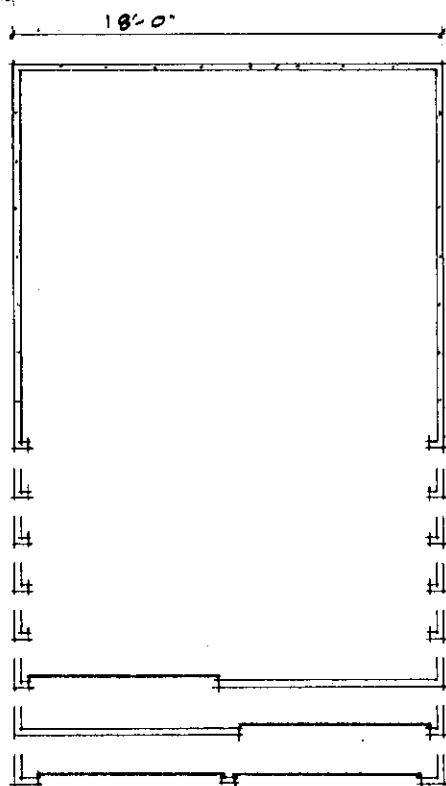
Frontage to Road



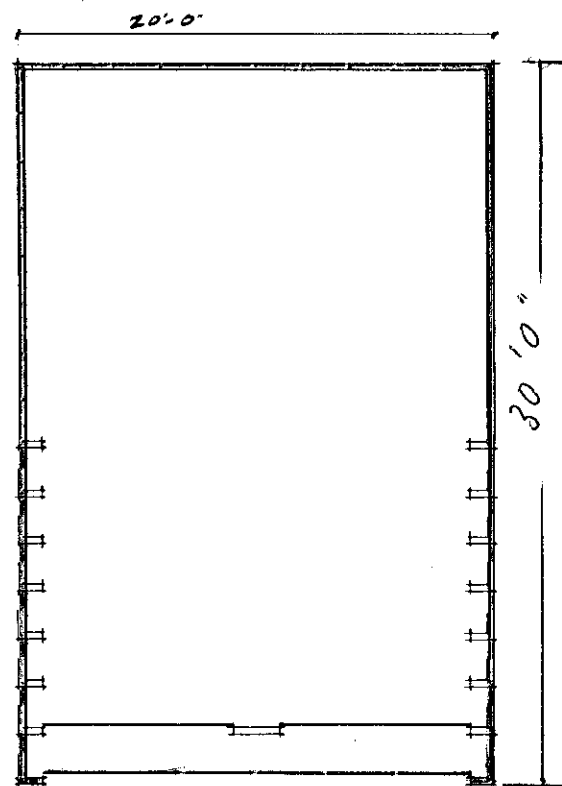
ALL EXISTING BUILDINGS TO BE SHOWN IN RED ON THIS PLAN



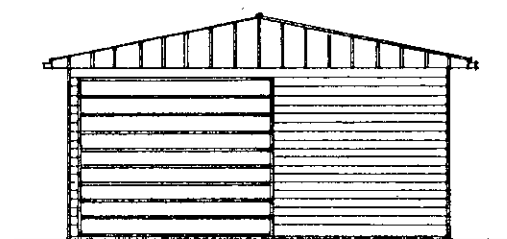
PLAN 1/8" = 1'-0"



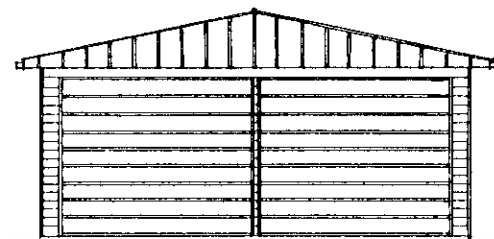
PLAN 1/8" = 1'-0"



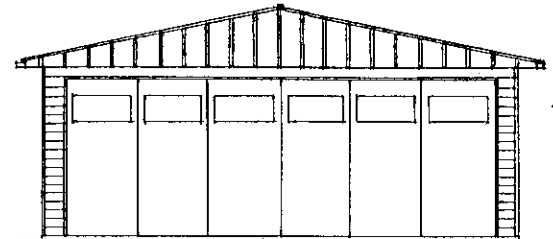
PLAN 1/8" = 1'-0"



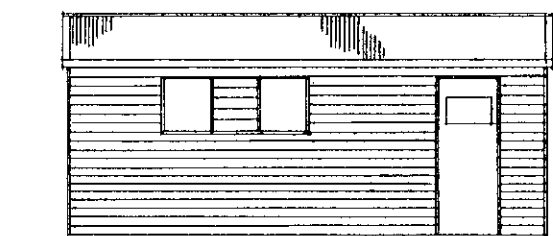
ELEVATION



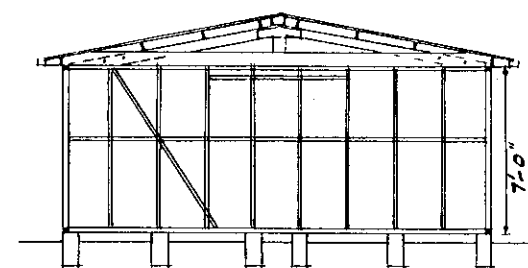
ELEVATION



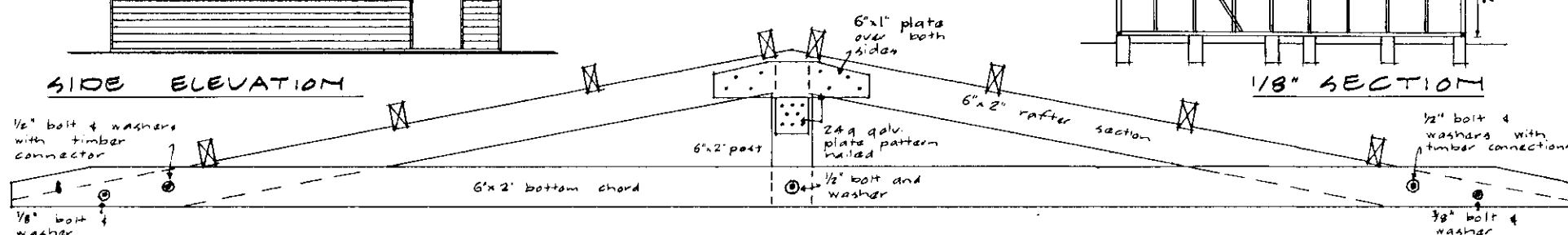
ELEVATION



SIDE ELEVATION



1/8" SECTION



Detail of 20'-0" span truss scale: 1/2" = 1'-0"
Trusses for 18'-0" and 16'-0" exactly the same but scaled down to suit. When light metal lined door sections hung on rollers are used for 17' and 18' door openings in double garages, the gable end is formed with a similar truss and completely metal lined.

- SPECIFICATIONS:**
- Foundations:** 8"x6" concrete piles at 4'-0" & 2'-0" centres under studs or continuous concrete dwarf walls or pads.
 - Dampcourse:** 2 ply malthoid under all plates.
 - Framing:** All timber is boris treated machine ganged No 1 framing radiata. All framing is housed i.e. studs checked into plates & noggs checked into studs.
 - Studs:** 2'-0" centres top and bottom plates and noggs - 4"x2".
 - Wall braces:** 3"x2" cut on edge at least one to each bay with 2 to bays over 20'-0".
 - Door beams:** Minimum 6"x2" with minimum of 1/2" check in at each end.
 - Roof trusses and purlins:** as per detail drawing placed over studs at 6'-0" and 8'-0" centres to suit.
 - Dragon ties:** 3"x2" at 45° over top plate to each corner.
 - Roofing:** 26 g. galv. corr. iron single sheets.
 - Ridging:** 26 g. galv. lead edged.
 - Walls:** 26 g. galv. metal weatherboards.
 - Speoting:** 4" galv. iron.
 - Downpipes:** 2" galv. iron.
 - Doors:** sliding doors on track gal metal lined. 24 g & 26 g. galv. metal doors on overhead gear galv. roller doors.

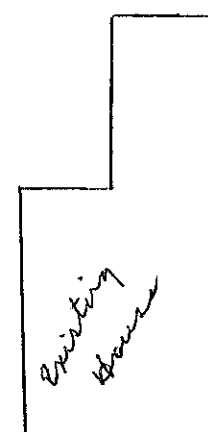
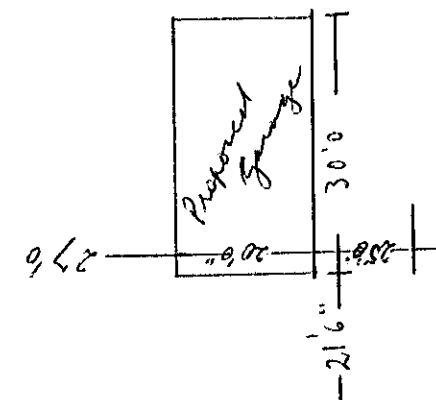
GARAGE, SHED at Paetaua Rd., for Mr. S. R. Clifton.
Te Horo Waikanae

SK - P2

SKYLINE GARAGES

manufactured by Skyline Buildings Ltd.,
64 A Wall's Rd., Panrose. Auckland. Ph. 598 821

Boundary Fence.



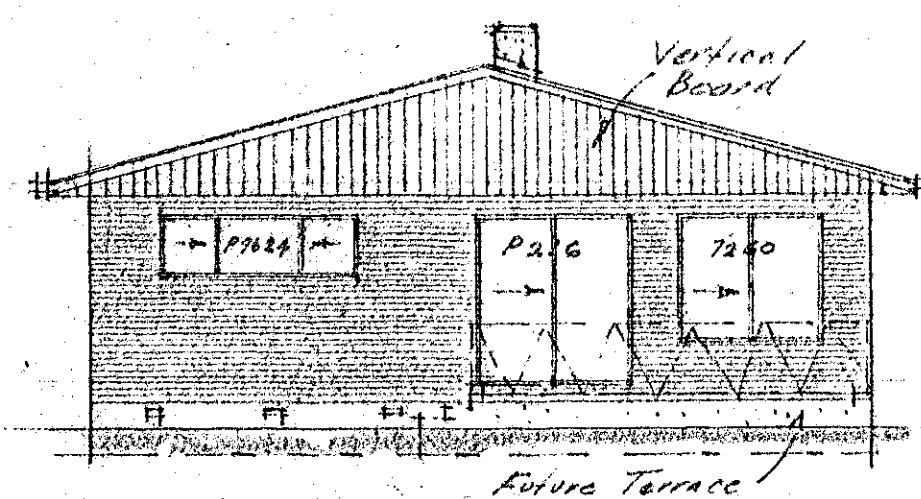
Existing House

SKYLINE BUILDINGS LTD.
16 David St.,
Palmerston North
Phone 75-106

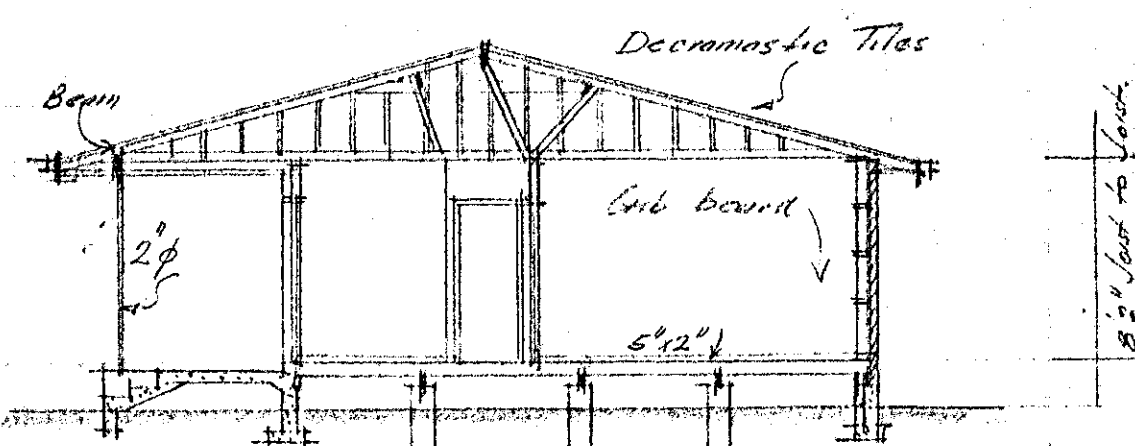
PAETAUA. R.D.

site plan 1/16" = 1'-0"

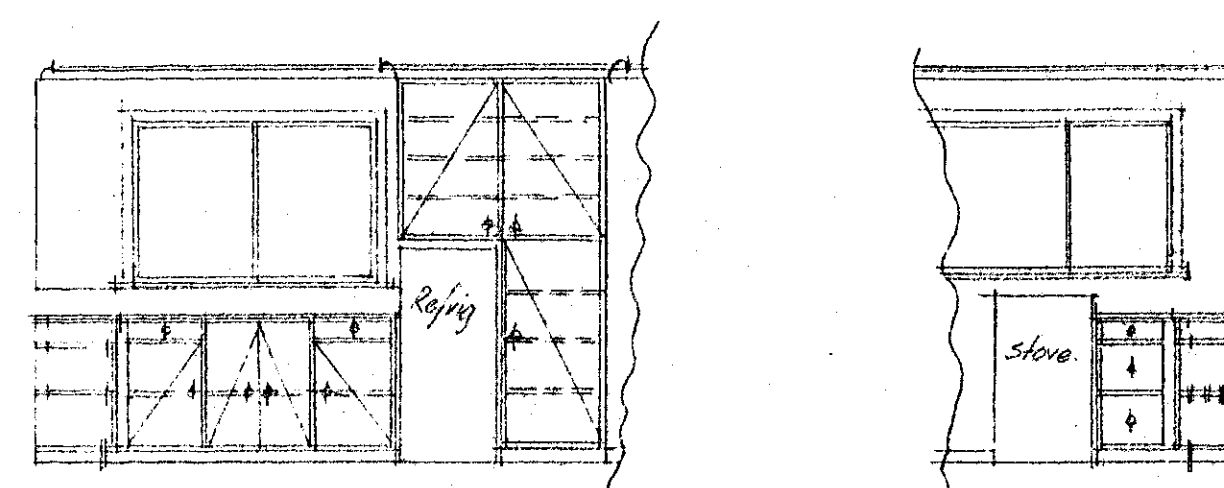
DOOR SCHEDULE
 A 6'6" x 2'8" glazed 1/4" Dr
 B 6'6" x 2'8" Flush Sliding
 C 6'6" x 2'6" Flush
 D 6'6" x 2'2" Flush
 E 6'6" x 1'6" "
 F 6'6" x 2'0" Flush Sliding
 G 6'6" x 8'0" Coll-a-door



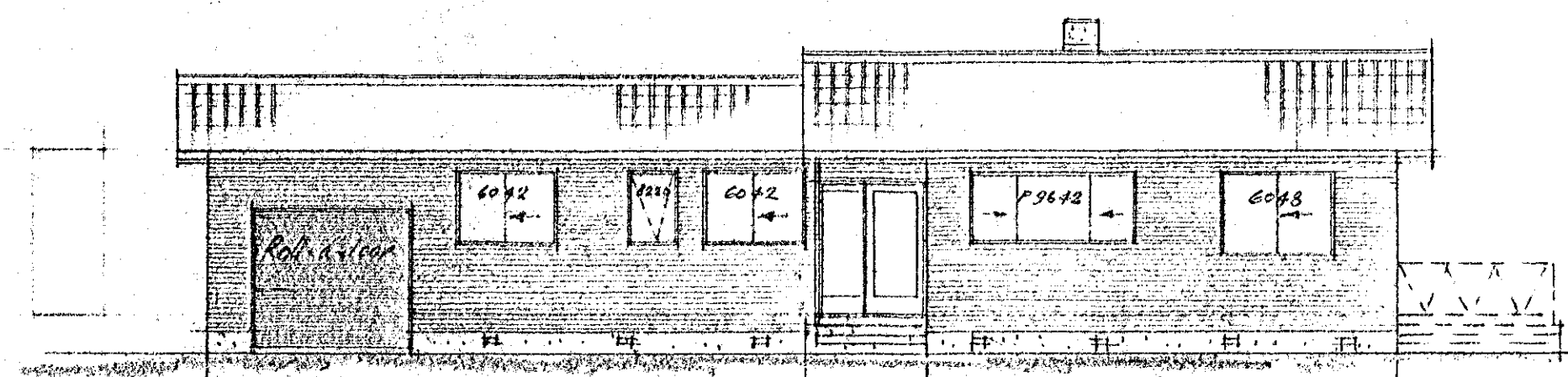
NORTH WEST ELEVATION



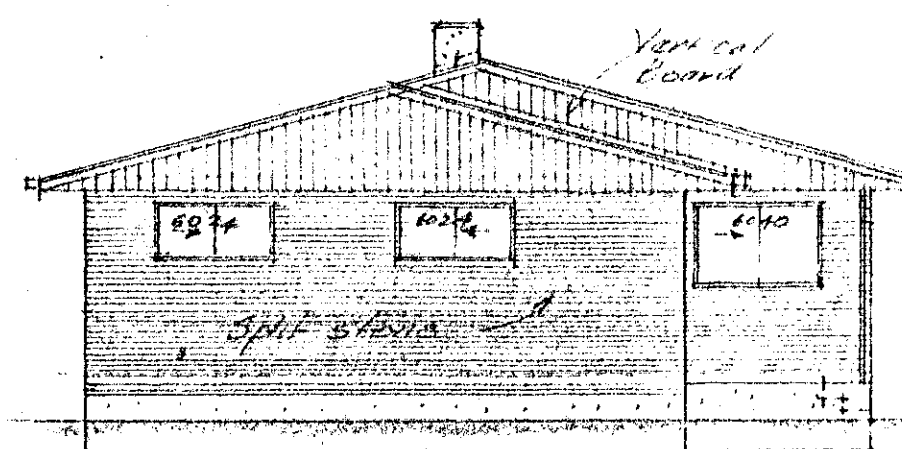
SECTION A A



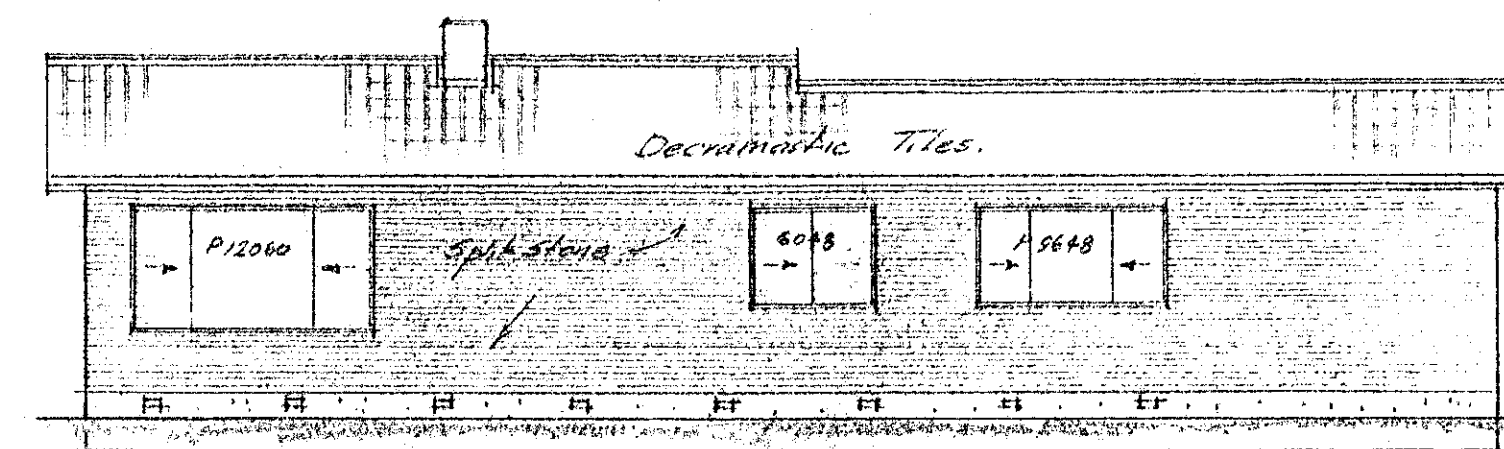
KITCHEN CUPBOARDS 1/4" = 1'-0"



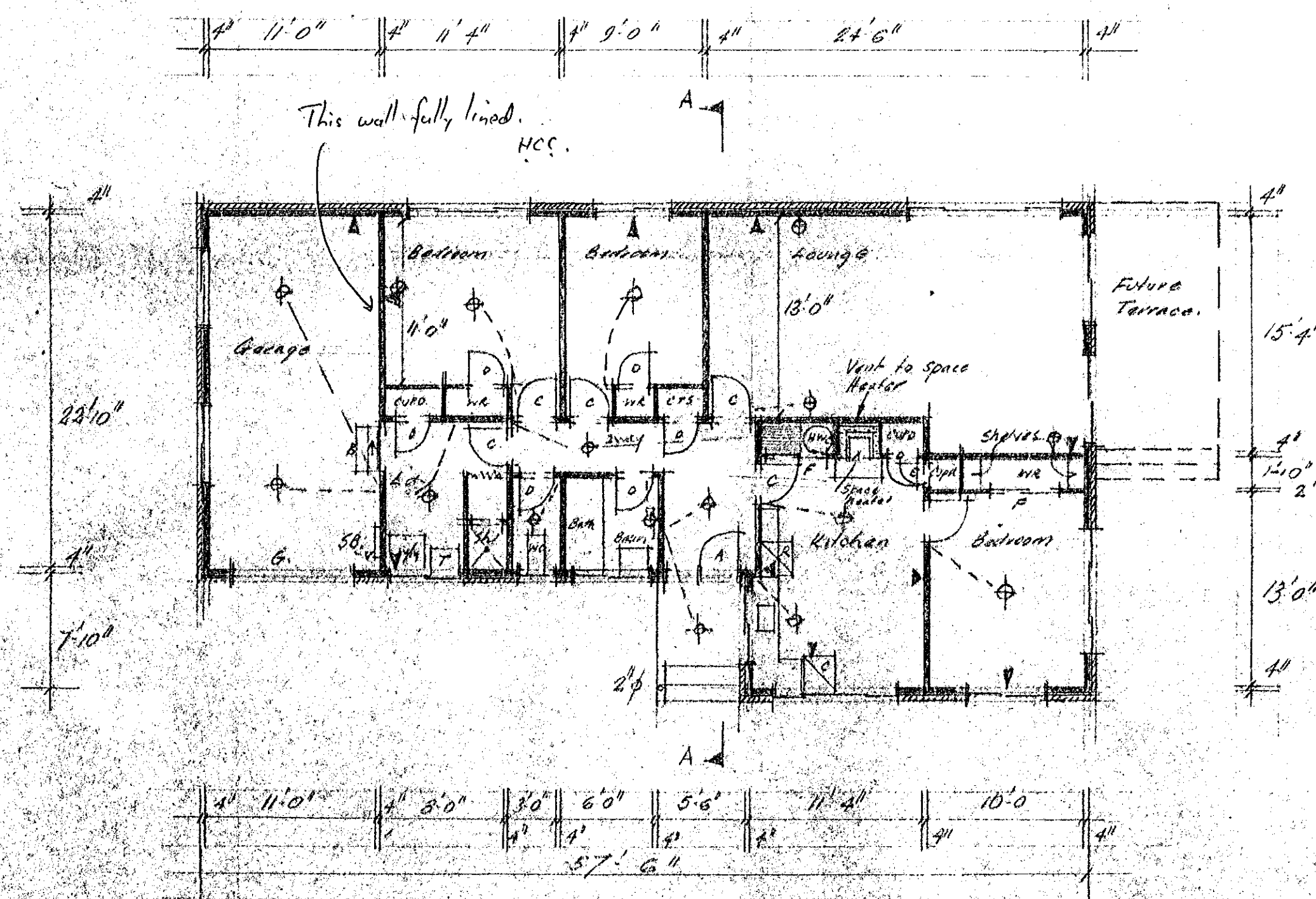
NORTH EAST ELEVATION



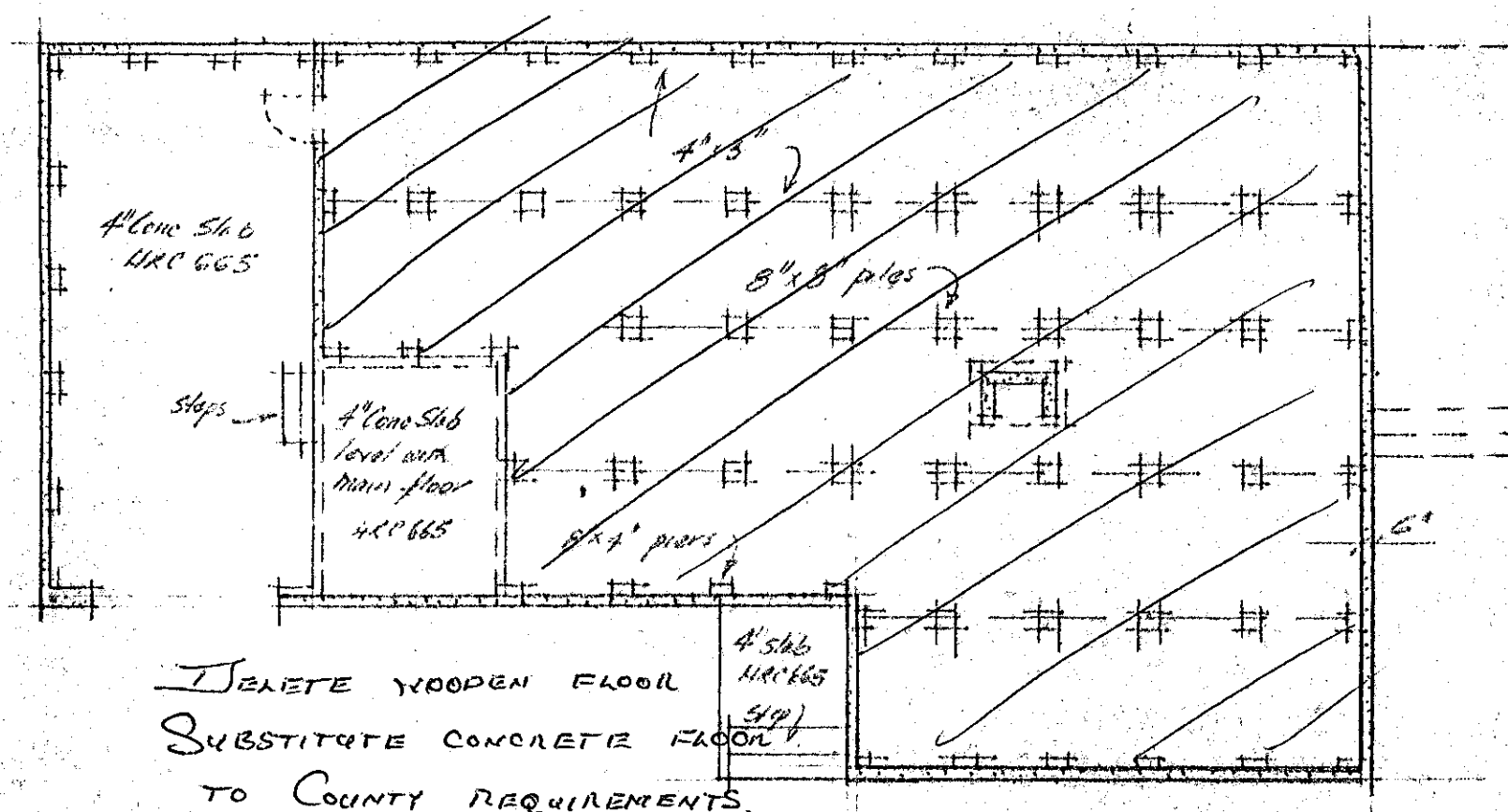
SOUTH EAST ELEVATION



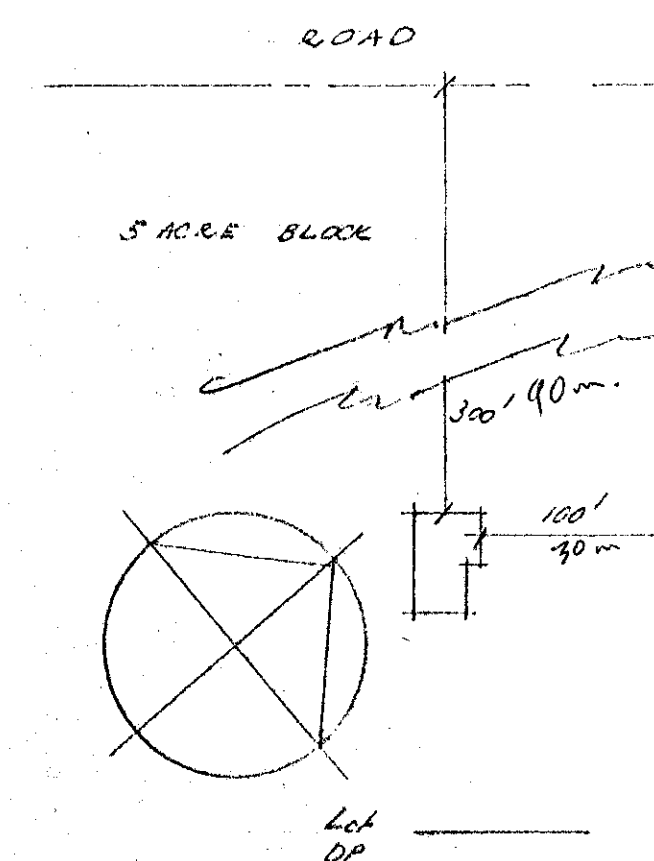
SOUTH WEST ELEVATION



This wall fully lined H.C.



TEAR DOWN FLOOR
 SUBSTITUTE CONCRETE FLOOR
 TO COUNTY REQUIREMENTS.



POSITION ON SITE
 NOT TO SCALE

RESIDENCE PEKA-PEKA WAIKANA
 FOR MR S CLIFTON

1337/1 AUG 1967