

Seller disclosure statement



Queensland
Government

Property Law Act 2023 section 99

Form 2, Version 1 | Effective from: 1 August 2025

WARNING TO BUYER – This statement contains important legal and other information about the property offered for sale. You should read and satisfy yourself of the information in this statement before signing a contract. You are advised to seek legal advice before signing this form. You should not assume you can terminate the contract after signing if you are not satisfied with the information in this statement.

WARNING – You must be given this statement before you sign the contract for the sale of the property.

This statement does not include information about:

- » flooding or other natural hazard history
- » structural soundness of the building or pest infestation
- » current or historical use of the property
- » current or past building or development approvals for the property
- » limits imposed by planning laws on the use of the land
- » services that are or may be connected to the property
- » the presence of asbestos within buildings or improvements on the property.

You are encouraged to make your own inquiries about these matters before signing a contract. You may not be able to terminate the contract if these matters are discovered after you sign.

Part 1 – Seller and property details

Seller Ashutosh and Suhani Agarwal

Property address 22 New Found Way
(referred to as the
“property” in this
statement) Ripley, QLD 4306

Lot on plan description L913 SP330556

Community titles scheme
or BUGTA scheme:

Is the property part of a community titles scheme or a BUGTA scheme:

☐ **Yes**

*If **Yes**, refer to Part 6 of this statement
for additional information*

☒ **No**

*If **No**, please disregard Part 6 of this statement
as it does not need to be completed*

Part 2 – Title details, encumbrances and residential tenancy or rooming accommodation agreement

Title details

The seller gives or has given the buyer the following—

A title search for the property issued under the *Land Title Act 1994*
showing interests registered under that Act for the property.

☒ **Yes**

A copy of the plan of survey registered for the property.

☒ **Yes**

Registered encumbrances	Registered encumbrances, if any, are recorded on the title search, and may affect your use of the property. Examples include easements, statutory covenants, leases and mortgages. You should seek legal advice about your rights and obligations before signing the contract.
Unregistered encumbrances (excluding statutory encumbrances)	There are encumbrances not registered on the title that will continue to affect the property after settlement. ☒ Yes ☐ No Note—If the property is part of a community titles scheme or a BUGTA scheme it may be subject to and have the benefit of statutory easements that are NOT required to be disclosed. Unregistered lease (if applicable) If the unregistered encumbrance is an unregistered lease, the details of the agreement are as follows: » the start and end day of the term of the lease: » the amount of rent and bond payable: » whether the lease has an option to renew: Other unregistered agreement in writing (if applicable) If the unregistered encumbrance is created by an agreement in writing, and is not an unregistered lease, a copy of the agreement is given, together with relevant plans, if any. ☐ Yes Unregistered oral agreement (if applicable) If the unregistered encumbrance is created by an oral agreement, and is not an unregistered lease, the details of the agreement are as follows:
Statutory encumbrances	There are statutory encumbrances that affect the property. ☒ Yes ☐ No <i>If Yes, the details of any statutory encumbrances are as follows:</i> Protected vegetation notice.
Residential tenancy or rooming accommodation agreement	The property has been subject to a residential tenancy agreement or a rooming accommodation agreement under the <i>Residential Tenancies and Rooming Accommodation Act 2008</i> during the last 12 months. ☐ Yes ☒ No If Yes, when was the rent for the premises or each of the residents' rooms last increased? <i>(Insert date of the most recent rent increase for the premises or rooms)</i> Note—Under the <i>Residential Tenancies and Rooming Accommodation Act 2008</i> the rent for a residential premises may not be increased earlier than 12 months after the last rent increase for the premises. As the owner of the property, you may need to provide evidence of the day of the last rent increase. You should ask the seller to provide this evidence to you prior to settlement.

Part 3 – Land use, planning and environment

WARNING TO BUYER – You may not have any rights if the current or proposed use of the property is not lawful under the local planning scheme. You can obtain further information about any planning and development restrictions applicable to the lot, including in relation to short-term letting, from the relevant local government.

Zoning	The zoning of the property is <i>(Insert zoning under the planning scheme, the Economic Development Act 2012; the Integrated Resort Development Act 1987; the Mixed Use Development Act 1993; the State Development and Public Works Organisation Act 1971 or the Sanctuary Cove Resort Act 1985, as applicable)</i> : Future Urban		
Transport proposals and resumptions	The lot is affected by a notice issued by a Commonwealth, State or local government entity and given to the seller about a transport infrastructure proposal* to: locate transport infrastructure on the property; or alter the dimensions of the property.	☐ Yes	☒ No
	The lot is affected by a notice of intention to resume the property or any part of the property.	☐ Yes	☒ No
	<i>If Yes, a copy of the notice, order, proposal or correspondence must be given by the seller.</i>		
Contamination and environmental protection	The property is recorded on the Environmental Management Register or the Contaminated Land Register under the <i>Environmental Protection Act 1994</i> .	☐ Yes	☒ No
	The following notices are, or have been, given:		
	A notice under section 408(2) of the <i>Environmental Protection Act 1994</i> (for example, land is contaminated, show cause notice, requirement for site investigation, clean up notice or site management plan).	☐ Yes	☒ No
	A notice under section 369C(2) of the <i>Environmental Protection Act 1994</i> (the property is a place or business to which an environmental enforcement order applies).	☐ Yes	☒ No
	A notice under section 347(2) of the <i>Environmental Protection Act 1994</i> (the property is a place or business to which a prescribed transitional environmental program applies).	☐ Yes	☒ No
Trees	There is a tree order or application under the <i>Neighbourhood Disputes (Dividing Fences and Trees) Act 2011</i> affecting the property.	☐ Yes	☒ No
	<i>If Yes, a copy of the order or application must be given by the seller.</i>		
Heritage	The property is affected by the <i>Queensland Heritage Act 1992</i> or is included in the World Heritage List under the <i>Environment Protection and Biodiversity Conservation Act 1999</i> (Cwlth).	☐ Yes	☒ No
Flooding	Information about whether the property is affected by flooding or another natural hazard or within a natural hazard overlay can be obtained from the relevant local government and you should make your own enquires. Flood information for the property may also be available at the FloodCheck Queensland portal or the Australian Flood Risk Information portal.		
Vegetation, habitats and protected plants	Information about vegetation clearing, koala habitats and other restrictions on development of the land that may apply can be obtained from the relevant State government agency.		

Part 4 – Buildings and structures

WARNING TO BUYER – The seller does not warrant the structural soundness of the buildings or improvements on the property, or that the buildings on the property have the required approval, or that there is no pest infestation affecting the property. You should engage a licensed building inspector or an appropriately qualified engineer, builder or pest inspector to inspect the property and provide a report and also undertake searches to determine whether buildings and improvements on the property have the required approvals.

Swimming pool	There is a relevant pool for the property.	☐ Yes	☒ No
	If a community titles scheme or a BUGTA scheme – a shared pool is located in the scheme.	☐ Yes	☒ No
	Pool compliance certificate is given.	☐ Yes	☒ No
	OR Notice of no pool safety certificate is given.	☐ Yes	☒ No
Unlicensed building work under owner builder permit	Building work was carried out on the property under an owner builder permit in the last 6 years.	☐ Yes	☒ No
	<i>A notice under section 47 of the Queensland Building and Construction Commission Act 1991 must be given by the seller and you may be required to sign the notice and return it to the seller prior to signing the contract.</i>		
Notices and orders	There is an unsatisfied show cause notice or enforcement notice under the <i>Building Act 1975</i> , section 246AG, 247 or 248 or under the <i>Planning Act 2016</i> , section 167 or 168.	☐ Yes	☒ No
	The seller has been given a notice or order, that remains in effect, from a local, State or Commonwealth government, a court or tribunal, or other competent authority, requiring work to be done or money to be spent in relation to the property.	☐ Yes	☒ No
	<i>If Yes, a copy of the notice or order must be given by the seller.</i>		
Building Energy Efficiency Certificate	If the property is a commercial office building of more than 1,000m ² , a Building Energy Efficiency Certificate is available on the Building Energy Efficiency Register.		
Asbestos	The seller does not warrant whether asbestos is present within buildings or improvements on the property. Buildings or improvements built before 1990 may contain asbestos. Asbestos containing materials (ACM) may have been used up until the early 2000s. Asbestos or ACM may become dangerous when damaged, disturbed, or deteriorating. Information about asbestos is available at the Queensland Government Asbestos Website (asbestos.qld.gov.au) including common locations of asbestos and other practical guidance for homeowners.		

Part 5 – Rates and services

WARNING TO BUYER – The amount of charges imposed on you may be different to the amount imposed on the seller.

Rates	Whichever of the following applies—
The total amount payable* for all rates and charges (without any discount) for the property as stated in the most recent rate notice is:	
Amount: \$1,567.95	Date Range: 01/07/2025-30/09/2025
OR	
The property is currently a rates exempt lot.**	☐
OR	
The property is not rates exempt but no separate assessment of rates is issued by a local government for the property.	☐

*Concessions: A local government may grant a concession for rates. The concession will not pass to you as buyer unless you meet the criteria in section 120 of the *Local Government Regulation 2012* or section 112 of the *City of Brisbane Regulation 2012*.

** An exemption for rates applies to particular entities. The exemption will not pass to you as buyer unless you meet the criteria in section 93 of the *Local Government Act 2009* or section 95 of the *City of Brisbane Act 2010*.

Water	Whichever of the following applies—
	The total amount payable as charges for water services for the property as indicated in the most recent water services notice* is: Amount: _____ Date Range: _____ OR There is no separate water services notice issued for the lot; however, an estimate of the total amount payable for water services is: Amount: _____ Date Range: _____

* A water services notices means a notice of water charges issued by a water service provider under the *Water Supply (Safety and Reliability) Act 2008*.

Part 6 – Community titles schemes and BUGTA schemes

(If the property is part of a community titles scheme or a BUGTA scheme this Part must be completed)

WARNING TO BUYER – If the property is part of a community titles scheme or a BUGTA scheme and you purchase the property, you will become a member of the body corporate for the scheme with the right to participate in significant decisions about the scheme and you will be required to pay contributions towards the body corporate's expenses in managing the scheme. You will also be required to comply with the by-laws. By-laws will regulate your use of common property and the lot.

For more information about living in a body corporate and your rights and obligations, contact the Office of the Commissioner for Body Corporate and Community Management.

Body Corporate and Community Management Act 1997	The property is included in a community titles scheme. ☐ Yes ☒ No <i>(If Yes, complete the information below)</i>
Community Management Statement	A copy of the most recent community management statement for the scheme as recorded under the <i>Land Title Act 1994</i> or another Act is given to the buyer. ☐ Yes Note—If the property is part of a community titles scheme, the community management statement for the scheme contains important information about the rights and obligations of owners of lots in the scheme including matters such as lot entitlements, by-laws and exclusive use areas.
Body Corporate Certificate	A copy of a body corporate certificate for the lot under the <i>Body Corporate and Community Management Act 1997</i>, section 205(4) is given to the buyer. ☐ Yes ☐ No <i>If No</i>— An explanatory statement is given to the buyer that states: ☐ Yes » a copy of a body corporate certificate for the lot is not attached; and » the reasons under section 6 of the <i>Property Law Regulation 2024</i> why the seller has not been able to obtain a copy of the body corporate certificate for the lot.
Statutory Warranties	Statutory Warranties—If you enter into a contract, you will have implied warranties under the <i>Body Corporate and Community Management Act 1997</i> relating to matters such as latent or patent defects in common property or body corporate assets; any actual, expected or contingent financial liabilities that are not part of the normal operating costs; and any circumstances in relation to the affairs of the body corporate that will materially prejudice you as owner of the property. There will be further disclosure about warranties in the contract.

Building Units and Group Titles Act 1980	The property is included in a BUGTA scheme ☐ Yes ☒ No <i>(If Yes, complete the information below)</i>
Body Corporate Certificate	A copy of a body corporate certificate for the lot under the <i>Building Units and Group Titles Act 1980</i>, section 40AA(1) is given to the buyer. ☐ Yes ☐ No <i>If No</i>— An explanatory statement is given to the buyer that states: ☐ Yes » a copy of a body corporate certificate for the lot is not attached; and » the reasons under section 7 of the <i>Property Law Regulation 2024</i> why the seller has not been able to obtain a copy of the body corporate certificate for the lot. Note—If the property is part of a BUGTA scheme, you will be subject to by-laws approved by the body corporate and other by-laws that regulate your use of the property and common property.

Signatures – SELLER

Ashutosh Agarwal

Suhani Agarwal

Signature of seller

Signature of seller

Ashutosh Agarwal

Suhani Agarwal

Name of seller

Name of seller

10-09-2025

13-09-2025

Date

Date

Signatures – BUYER

By signing this disclosure statement the buyer acknowledges receipt of this disclosure statement before entering into a contract with the seller for the sale of the lot.

Signature of buyer

Signature of buyer

Name of buyer

Name of buyer

Date

Date

CURRENT TITLE SEARCH
QUEENSLAND TITLES REGISTRY PTY LTD

Request No: 53243917

Search Date: 04/09/2025 13:51

Title Reference: 51367704

Date Created: 25/11/2024

Previous Title: 51334243

REGISTERED OWNER

Dealing No: 723740519 11/12/2024

SUHANI AGARWAL

ASHUTOSH AGARWAL

JOINT TENANTS

ESTATE AND LAND

Estate in Fee Simple

LOT 913 SURVEY PLAN 330556

Local Government: IPSWICH

For depth restrictions refer to Plan SP 330556

EASEMENTS, ENCUMBRANCES AND INTERESTS

1. Rights and interests reserved to the Crown by
Deed of Grant No. 19510145 (POR 231)
2. MORTGAGE No 723740520 11/12/2024 at 14:16
PEPPER FINANCE CORPORATION LIMITED A.C.N. 094 317 647

ADMINISTRATIVE ADVICES

Dealing	Type	Lodgement Date	Status
710868523	VEG NOTICE	02/08/2007 16:08	CURRENT

VEGETATION MANAGEMENT ACT 1999

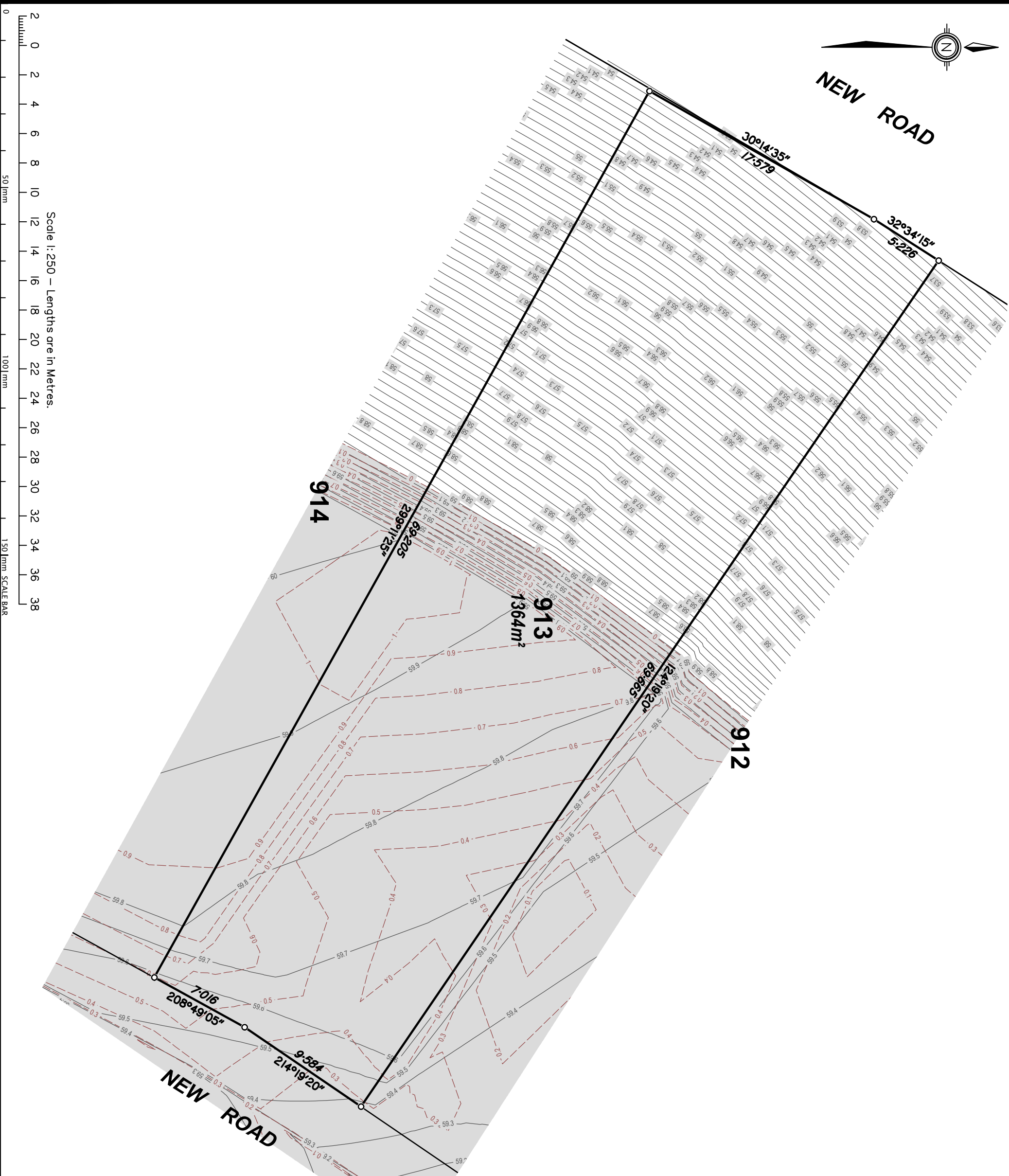
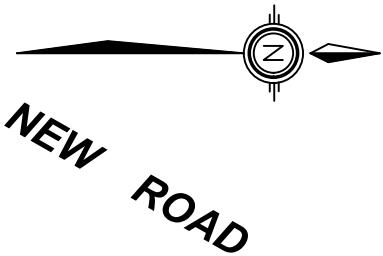
UNREGISTERED DEALINGS - NIL

Caution - Charges do not necessarily appear in order of priority

** End of Current Title Search **

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Requested By: D-ENQ EQUIFAX



DISCLOSURE PLAN

FOR PROPOSED LOT 913

Proposed Lot **913** is currently described as part of Lot 901 on SP330535 and situated at Ripley.

Legend:

- 1.0--- Design Fill Depth Contour (0.1m Interval)
- 2.0--- Design Surface Level Contour (0.1m Interval)
- Area of Design Fill
- For retaining wall construction detail see Engineering Civil O.P.W. Plans

Builders Note:

Builders shall not build off the design levels shown. A site survey is required. This note is an integral part of this plan.

Engineering Note :

Engineering design information supplied by Peak Urban, January 2022.

Compaction Statement :

The earthworks must be carried out in accordance with AS 3798-2007 *Guidelines on earthworks for commercial and residential developments*. Supervision of bulk earthworks must be to Level 1 and the frequency of field density testing must be in accordance with Table 8.1 of AS 3798-2007.

Note:

This plan has been prepared by Survey Mark Pty Ltd, who is registered with the Surveyors Board of Queensland as a Cadastral Surveyor.

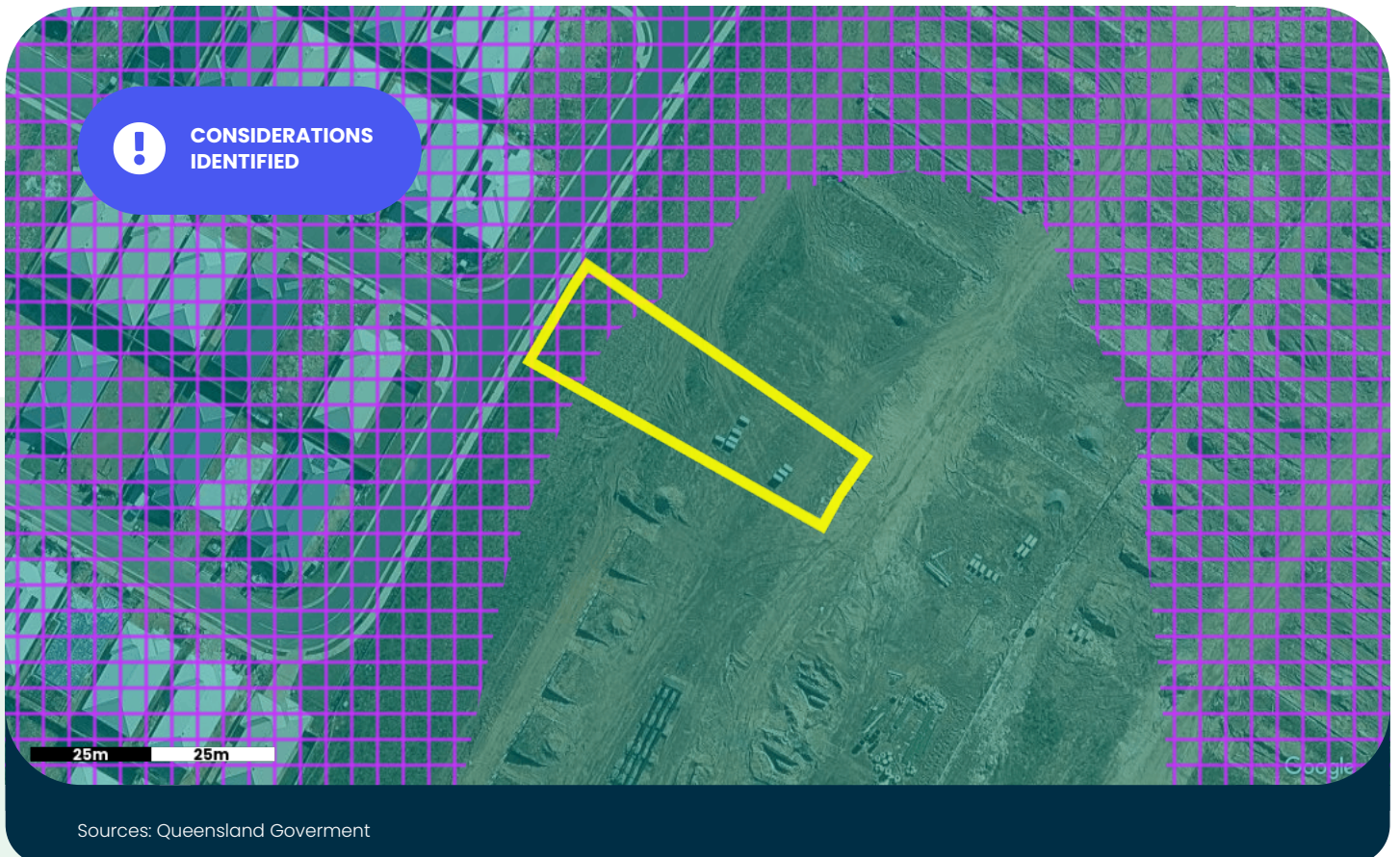
SURVEY MARK
LAND SURVEYING URBAN PLANNING

101 / 15 Cameron Street, South Brisbane QLD 4101
E info@surveymark.com.au W surveymark.com.au P 07 3168 9020

LOCALITY	MAP REFERENCE
Ripley	9442-13424
HEIGHT DATUM	LOCAL AUTHORITY
AHD D	IPSWICH CITY COUNCIL
HEIGHT ORIGIN	SCALE
PM67629	RL:53.501 1:250 (A3)
MERIDIAN	SURVEYOR
MGA Wide GNSS	-
CONTOUR INTERVAL	DRAWN
SEE NOTE	03/02/2022
PLAN NUMBER	REVISION
3366-0050-913	A

Vegetation

Is the property in an area with vegetation protection?



THINGS TO KNOW

Properties located in protected vegetation areas may have tree clearing restrictions over the native vegetation or significant vegetation on the property. Your property may have vegetation protection if it:

- is located near a river, creek or a waterway corridor
- is located in a bushland area or rural area with native vegetation
- contains large significant trees even in an urban area
- the trees have heritage values and cultural sentiment

If these features are present, your property may contribute to the preservation of important environmental or cultural values. In these cases, planning controls may apply to help guide how vegetation is managed or how land can be developed.

Note: The map provided identifies areas that may have restrictions on tree clearing of native vegetation or significant. The mapping is based on broad modelling assumptions and does not assess each site individually. Newly subdivided lots may already have considered protected vegetation in the design of the subdivision and removal of vegetation approved by Council. To obtain accurate information about tree clearing and building on a site with protected vegetation considerations, it is recommended to contact your local Council or a local arborist for guidance.

Questions to ask

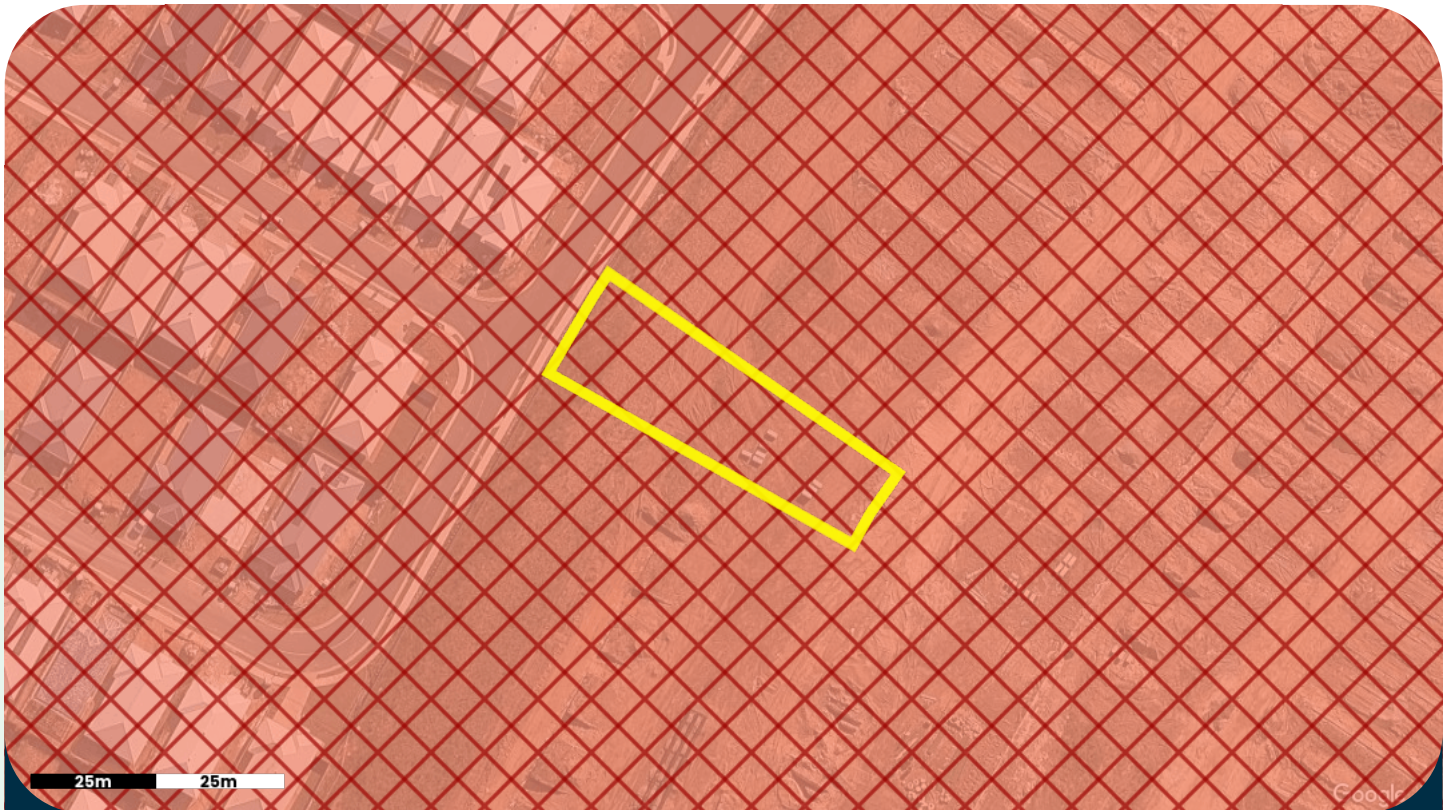
- Where is the protected vegetation located on the property?
- Is the identified vegetation "native" or an introduced species?
- How does this consideration positively or negatively impact the property?

LEGEND

-  Selected Property
-  Protected Vegetation - Rvm Cat B (Remnant Vegetation)
-  Essential Habitat

Zoning

What zone is my property?



Sources: State Government – Economic Development Queensland, Ipswich City Council

THINGS TO KNOW

Zoning helps organise cities and towns by dividing properties into specific land use types, such as commercial, residential, industrial, agricultural, and public-use. This structured approach prevents disorderly development, making cities and towns more livable, navigable, and attractive.

Zoning rules determine how land can be used and developed, including identifying desirable developments like townhouses or apartment units near public transport. Zoning may also impose restrictions on building heights to preserve local neighbourhood views.

Local area plans provide even more specific details to protect an area's unique character or encourage growth in suitable places. These plans can modify zoning rules and influence development possibilities, supporting economic growth, preserving local identity, providing open spaces, and improving transport routes.

Note: To determine the development possibilities for your property, it's essential to review the planning documents provided by local authorities, contact directly, or consult with a practising town planner.

Questions to ask

- What does the zoning and local plan mean for the property?
- What land uses are suitable for the applicable zone and/or local plan?

LEGEND

-  Selected Property
-  Future Urban – Ripley Valley/Deebing Creek
-  Priority Development Area – State Gov

Boundary

View your property boundaries



LEGEND

 Selected Property

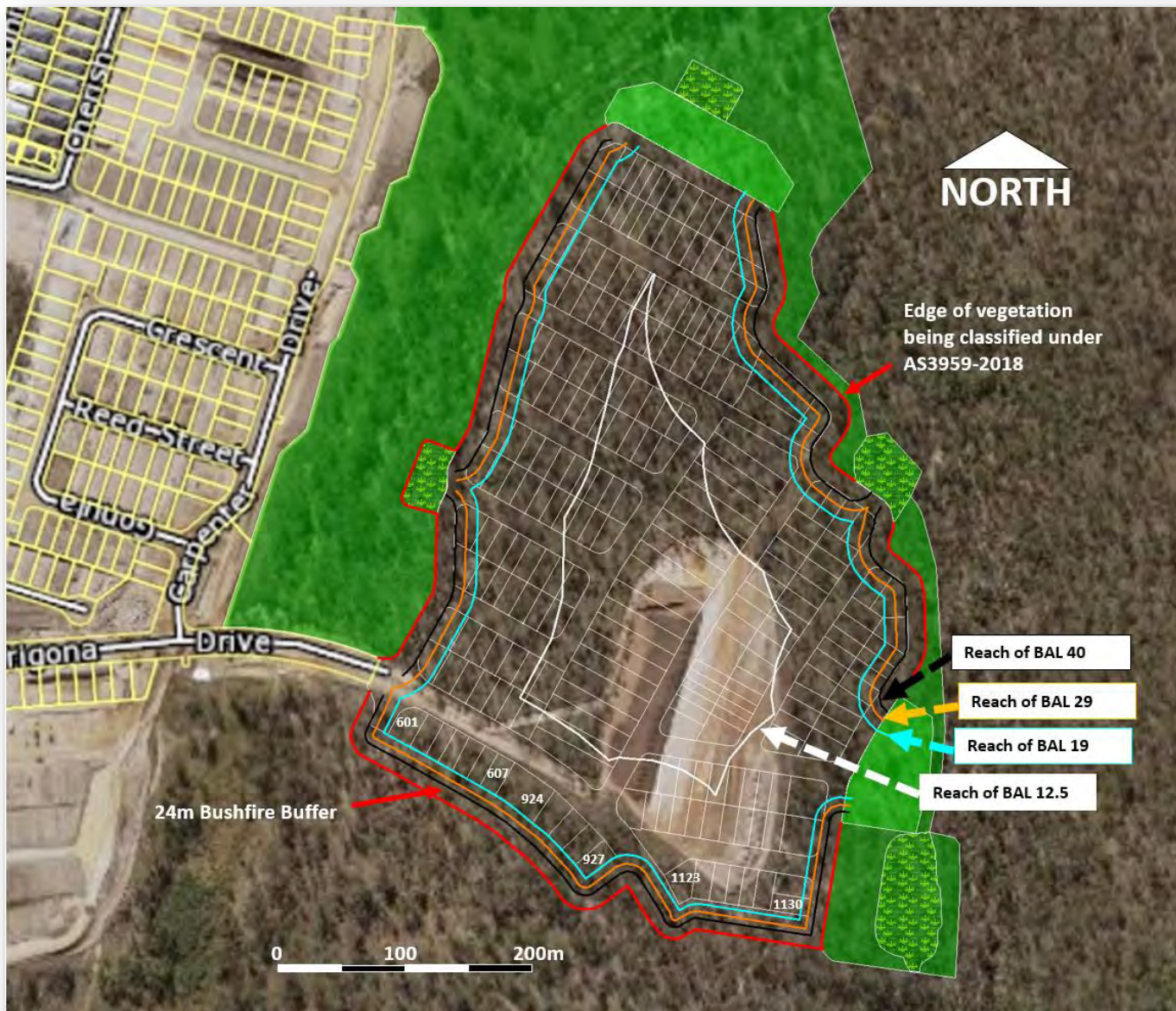


Figure 15. BAL contours for affected Lots.

purposes.

Hayfield
352 Ripley Road, Ripley

GOLDFIELDS GROUP

SUBJECT SITE

- | | |
|---|--|
|  | STAGING BOUNDARY |
|  | TOP OF BANK |
|  | SANDERS HWY. - 25M ECOLOGICAL BUFFER |
|  | SANDERS HWY. - 10M ECOLOGICAL BUFFER |
|  | PEAK (RBN) - 02/29/1904.MP |
|  | PEAK (RBN) - 01/02/29/1904.MP |
|  | EDGE OF VEGETATION |
|  | BAL 12.5 |
|  | BAL 10 |
|  | BAL 29 |
|  | BAL 40 |
|  | LINEA PARK |
|  | NEIGHBORHOOD RECREATION PARK |
|  | OPEN SPACE CORRIDOR |
|  | STORMWATER MANAGEMENT AREA |
|  | 3.0 METER LANDSCAPE ZONE IN ALLOTMENT |
|  | BUILDING RESTRICTION AREA - MINING CONSTRAINT AREA 4 FELDSPAR FAULT ZONE |
|  | BUILDING EXCLUSION ZONE - BOREHOLE LOCATION |
|  | NO DEVELOPMENT AREA - ECOLOGICAL AREA |
|  | PREFERRED DRIVEWAY LOCATION |

Note: Bat lines as per Bushfire Risk Reducers Report, 007.09.20 - Rev 1

Note: Borehole locations as per Taylor Mining Services DNRM Borehole Location Plan May 2019, M1_144_2019.05.16_01

Note: Subject Site sourced from 3366_V_Lat Calcs.dwg.

NOT FOR
CONSTRUCTION

STAGE 6 - 11
OVERALL PLAN

DESIGN : CK
DOCUMENT: TW
PROJECT : 1017024
SCALE : 1:2500@A1



Pursuant to the Economic Development Act 2012, this plan forms part of Council's approval for

Approval No: 7231/2020/PDA

Date: 3 December 2021

Signed:

NOTE: The contents of this plan are subject to relevant Council, State and Federal Government Approvals.

	TERRACE		VILLA A		VILLA B		COURTYARD		TRADITIONAL		FAMILY		LARGE LOT	
Typical Lot Frontage	7.5 - 9.9m		10.0 - 11.9m		12.0 - 13.9m		14.0 - 15.9m		16.0 - 17.9m		18.0 - 19.9m		20m +	
Typical Lot Depth	30m		30m		30m		30m		30m		30m		30m	
Typical Lot Area	225 - 299m ²		300 - 359m ²		360 - 419m ²		420 - 479m ²		480 - 539m ²		540 - 699m ²		600m ² +	
Setback Location	Ground floor	First floor	Ground floor	First floor	Ground floor	First floor	Ground floor	First floor	Ground floor	First floor	Ground floor	First floor	Ground floor	First floor
Front Setback	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m
Rear Setback	0.9m	1.0m	0.9m	1.0m	1.0m	1.5m	1.0m	2.0m	1.5m	2.0m	1.5m	2.0m	1.5m	2.0m
Side Boundary Setback														
Built to Boundary	Mandatory		Mandatory		Optional		Optional		Optional		Optional		Optional	
	0.0 - 0.2m	1.0m	0.0 - 0.2m	1.0m	0.0 - 0.2m	1.0m	0.0 - 0.2m	1.5m	0.0 - 0.2m	1.5m	0.0 - 0.2m	1.5m	0.0 - 0.2m	1.5m
Non Built to Boundary	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	1.0m	1.5m	1.0m	1.5m	1.0m	1.5m	1.5m	1.5m
Corner Lots - Secondary Road Frontage*	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	1.5m	2.0m	2.0m	2.0m	2.0m
Maximum Site Cover	75%		75%		60%		60%		60%		60%		60%	
Private Open Space	Min area = 15sqm		Min area = 15sqm		Min area = 15sqm		Min area = 15sqm		Min area = 15sqm		Min area = 15sqm		Min area = 15sqm	
On Site Parking	2		2		2		3		3		3		3	
Garage Door Setback	5.4m		5.4m		5.4m		5.4m		5.4m		5.4m		5.4m	
*Concession for open structures supporting post/pier can be located 1.0m from secondary road frontage														

*Concession for open structures supporting post/pier can be located 1.0m from secondary road frontage

LOT TYPE	Typical Dimensions	Typical area	STAGE 7	
TERRACE LOT	7.5 X 30m	225m ²	0	0%
VILLA A	11m X 30m	330m ²	9	19%
VILLA B	12.5m X 30m	375m ²	17	36%
COURTYARD	14m X 30m	420m ²	16	34%
TRADITIONAL	16m X 30m	480m ²	4	9%
FAMILY	18m X 30m	540m ²	0	0%
LARGE LOT	20m X 30m	600m ²	1	2%
LIFESTYLE LOT A	14 x 69m	960m ²	0	0%
LIFESTYLE LOT B	16 x 69m	1100m ²	0	0%
SUB-TOTAL			47	100%

	Stage 7 (ha)
Total Stage Area	4.59
Linear Park	0.23
Neighbourhood Recreation Park	0.00
Open Space Corridor	1.56
Indicative Stormwater Management Area	0.00
Pedestrian Link	0.00
Total Area of Road	0.92
Total Area of Residential Allotments	1.88
Length of New Road	Stage 7 (m)
Total Length (m) of Road (21.0m)	0
Total Length (m) of Road (16.0m)	443
Total Length (m) of Road (5.0m)	0
Total Length (m) of Esplanade Road (16.0m standard with reduced verge to park side = 14.0m)	157

KEY PLAN



place design group.

BRISBANE
131 Robertson Street
PO Box 419
FORTITUDE VALLEY, QLD, 4006
P: +61 7 3852 3922
F: +61 7 3852 4766

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PROJECT

Hayfield
352 Ripley Road, Ripley

CLIENT

GOLDFIELDS GROUP

KEY PLAN / NOTES

- SUBJECT SITE
- STAGING BOUNDARY
- TOP OF BANK
- SAUNDERS HAVILL - 25M ECOLOGICAL BUFFER
- SAUNDERS HAVILL - 10M ECOLOGICAL BUFFER
- PEAK URBAN - Q20 20191004_MP
- PEAK URBAN - Q100 20191004_MP
- EDGE OF VEGETATION
- BAL 12.5
- BAL 19
- BAL 29
- BAL 40
- LINEAR PARK
- NEIGHBOURHOOD RECREATION PARK
- OPEN SPACE CORRIDOR
- STORMWATER MANAGEMENT AREA
- 3.0M WIDE LANDSCAPE ZONE IN ALLOTMENT
- BUILDING RESTRICTION AREA - MINING CONSTRAINT AREA 4 FELDSPAR FAULT ZONE
- BUILDING EXCLUSION ZONE - BOREHOLE LOCATION
- NO DEVELOPMENT AREA - ECOLOGICAL AREA
- MANDATORY BTB WALL
- OPTIONAL BTB WALL
- PREFERRED DRIVEWAY LOCATION
- PREFERRED PRIVATE OPEN SPACE LOCATION
- PRIMARY STREET FRONTAGE

Note: Borehole locations as per Taylor Mining Services DNRM Borehole Location Plan May 2019, M1:144, 2019.05.16_01
Note: Subject Site sourced from 3366 V Lot Calcs.dwg
Note: BAL Lines as per Bushfire Risk Reducers Report, 007.09.20 - Rev 1

NOT FOR CONSTRUCTION

DRAWING TITLE

STAGE 7
RECONFIGURATION OF A LOT (ROL)
AND PLAN OF DEVELOPMENT (POD)

DESIGN : CK
DOCUMENT: TW
PROJECT : 1017024
SCALE : 1:1000@A1



SHEET NUMBER 77 REVISION L

NOTES

General:

- Setbacks and maximum building location envelopes are subject to future proposed easements, building exclusion zones and/or other underground services.
- The maximum height of buildings shall not exceed 2 storeys or 9m whichever is lesser.
- Letter boxes should be located in close relationship to the front entry.

Setbacks:

- Setbacks listed in the Site Setback Table are the minimum distance required unless otherwise specified on plan.
- Setbacks can be greater unless restricted by these Development Controls.
- Built to boundary walls are mandatory on 7.5-11.9 m allotments. Built to Boundary walls are optional for lots equal to or greater than a 12.0m lot.
- Built to boundary walls are to have a maximum length of 15 metres and a maximum height of 3.5 metres.
- Built to boundary walls on lots with a frontage equal to or greater than 14.0m applies to garages only.
- Boundary setbacks are measured to the walls or support of the structure.
- Indicative driveways typically correspond with BTB walls, if a dwelling does not incorporate BTB walls, the garage and driveway may be located on the opposite side boundary where standard side setbacks apply.
- Eaves should not encroach (other than where dwellings are built to boundary) closer than 300mm to the lot boundary.
- Open structures such as a portico, entry porch or under roof recreational areas can encroach within the front or secondary frontage setback but must not be closer than 1.0m from the boundary to the supporting structure.
- On corner lots, no building or structure over 2m high is built within 4m by 4m truncation at the corner of the 2 road frontages.

Notes applicable to Terrace Home Lots:

- Built to boundary wall length is to comply with the requirements outlined in PDA Guideline 7 - Low Rise Buildings.

Building Design:

- Front doors of dwellings are to address the primary street frontage.
- Each street or park frontage must be addressed with the inclusion of two or more of the following design elements in the related facade:
 - verandahs / porches,
 - entertaining awnings and shade structures,
 - variation to roof and building lines,
 - inclusion of window openings,
 - use of varying building materials compliant with AS 3959-2009.
- All buildings that have a width of more than 10m that are visible from the street or open space are to be articulated to reduce the mass of the building by one or more of the follow design elements:
 - windows / doors recessed onto the facade,
 - balconies, porches or verandahs,
 - window hoods,
 - minor changes in the building facade (minimum 100mm).

Parking:

- Minimum off-street requirements are 2 spaces per dwelling, which may be achieved in tandem, with one space provided in front of the garage or carport.
- 7.5 - 9.9m allotments with a single storey dwelling are to have a tandem parking space provided in front of the garage or carport.
- Double width garages are not permitted on 7.5 - 9.9m wide allotments unless contained within a two-storey dwelling that has a 1m upper storey or roof projection over at least 50% of the garage opening width.
- Double width garages are permitted on 10 - 12.4m wide allotments within a single storey dwelling provided that they include the following design elements:
 - habitable rooms fronting the public street and projecting forward 1.0m from the garage,
 - 1.0m eave overhang for double garage or alternatively an arbour or architectural awning to add depth and cast shadow,
 - a front door incorporating glass or a sidelight incorporating glass,
 - incorporation of a large or multiple habitable room windows fronting the public street,
 - a combination of materials and colours including a minimum of 3 different materials and complimentary colours on the front facade (including the garage door but excluding glass).

Site Cover:

- Site cover for each dwelling is specific to the allotment type and shown in the Site Setback Table.

Private Open Space:

- Private open space criteria are detailed in the Site Setback Table.
- The space can be made up from areas in two locations providing the area containing the specified circle is accessed from the main living area.
- Private open space area to have a minimum width of 3m.

Fencing:

- Fencing on all primary street frontages to be either 50% transparent or not to exceed 1.2m in height. Where private open space is provided within the front or secondary setback, the fence can be up to 1.5m in height and 20% transparent for at least 60% of the boundary.

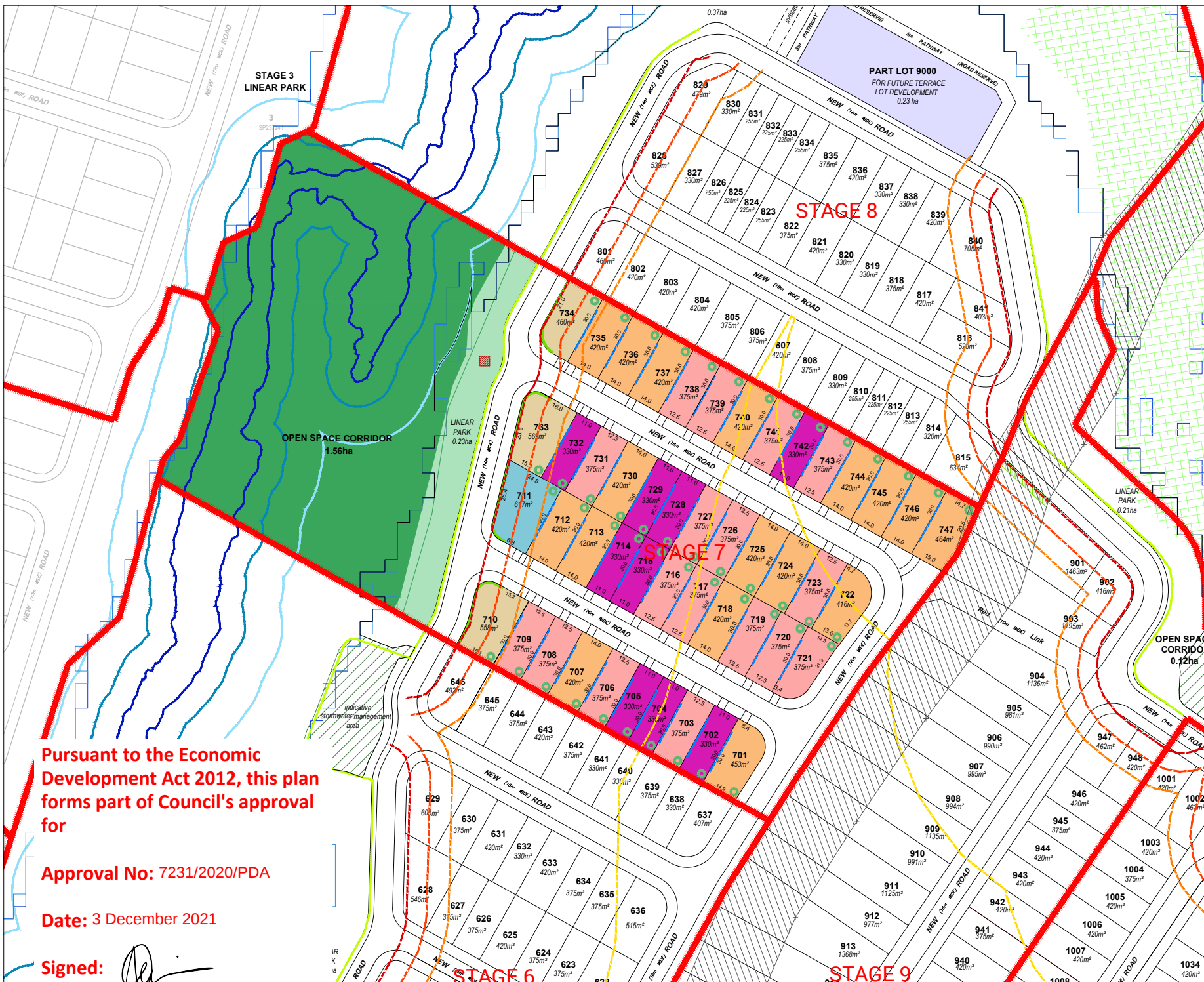
Undermining:

- No habitable building construction is permitted within the Feldspar Fault Zone.

Energy:

- All dwellings to have a minimum energy rating of 6 stars under NatHERS & taking into account the B.C.A and the Queensland amendments as outlined in QDC MP4.1 A1 (d) (i) (ii).

Applicant must update the Plan of Development to clearly articulate any mining related requirement in accordance with Attachment B Condition 3 and any requirements of the revised Bushfire Risk Report required to be prepared in accordance with Attachment B, Condition 4.



Pursuant to the Economic Development Act 2012, this plan forms part of Council's approval for

Approval No: 7231/2020/PDA

Date: 3 December 2021

Signed:

NOTE: The contents of this plan are subject to relevant Council, State and Federal Government Approvals. Pavement Layout is indicative only and subject to detail design

	TERRACE		VILLA A		VILLA B		COURTYARD		TRADITIONAL		FAMILY		LARGE LOT
Typical Lot Frontage	7.5 - 9.9m		10.0 - 11.9m		12.0 - 13.9m		14.0 - 15.9m		16.0 - 17.9m		18.0 - 19.9m		20m +
Typical Lot Depth	30m		30m		30m		30m		30m		30m		30m
Typical Lot Area	225 - 299m ²		300 - 359m ²		360 - 419m ²		420 - 479m ²		480 - 539m ²		540 - 699m ²		600m ² +
Setback Location	Ground floor	First floor	Ground floor	First floor	Ground floor	First floor	Ground floor	First floor	Ground floor	First floor	Ground floor	First floor	Ground floor
Front Setback	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m
Rear Setback	0.9m	1.0m	0.9m	1.0m	1.0m	1.5m	1.0m	2.0m	1.5m	2.0m	1.5m	2.0m	2.0m
Side Boundary Setback													
Built to Boundary	Mandatory		Mandatory		Optional		Optional		Optional		Optional		Optional
Non Built to Boundary	0.0 - 0.2m	1.0m	0.0 - 0.2m	1.0m	0.0 - 0.2m	1.0m	0.0 - 0.2m	1.5m	0.0 - 0.2m	1.5m	0.0 - 0.2m	1.5m	1.5m
Corner Lots- Secondary Road Frontage*	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	1.0m	1.5m	1.0m	1.5m	1.0m	1.5m	1.5m
Maximum Site Cover	75%		75%		60%		60%		60%		60%		60%
Private Open Space	Min area = 15sqm		Min area = 15sqm		Min area = 15sqm		Min area = 15sqm		Min area = 15sqm		Min area = 15sqm		Min area = 15sqm
On Site Parking	2		2		2		3		3		3		3
Garage Door Setback	5.4m		5.4m		5.4m		5.4m		5.4m		5.4m		5.4m

*Concession for open structures supporting post/porch can be located 1.0m from secondary road frontage

LOT TYPE	Typical Dimensions	Typical area	STAGE 8	
TERRACE LOT	7.5 X 30m	225m ²	12	29%
VILLA A	11m X 30m	330m ²	8	20%
VILLA B	12.5m X 30m	375m ²	6	15%
COURTYARD	14m X 30m	420m ²	9	22%
TRADITIONAL	16m X 30m	480m ²	2	5%
FAMILY	18m X 30m	540m ²	2	5%
LARGE LOT	20m X 30m	600m ²	2	5%
LIFESTYLE LOT A	14 x 69m	960m ²	0	0%
LIFESTYLE LOT B	16 x 69m	1100m ²	0	0%
SUB-TOTAL			41	100%

	Stage 8 (ha)
Total Stage Area	8.92
Linear Park	0.37
Neighbourhood Recreation Park	0.00
Open Space Corridor	6.07
Indicative Stormwater Management Area	0.13
Pedestrian Link	0.00
Total Area of Road	0.87
Total Area of Residential Allotments	1.48
Length of New Road	Stage 8 (m)
Total Length (m) of Road (21.0m)	0
Total Length (m) of Road (16.0m)	187
Total Length (m) of Road (5.0m)	144
Total Length (m) of Esplanade Road (16.0m standard with reduced verge to park side = 14.0m)	347

KEY PLAN



place
design
group.

BRISBANE
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FORTITUDE VALLEY, QLD, 4006
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PROJECT

Hayfield
352 Ripley Road, Ripley

CLIENT

GOLDFIELDS GROUP

KEY PLAN / NOTES

- SUBJECT SITE
- STAGING BOUNDARY
- TOP OF BANK
- SAUNDERS HAVILL - 25M ECOLOGICAL BUFFER
- SAUNDERS HAVILL - 10M ECOLOGICAL BUFFER
- PEAK URBAN - Q20 20191004_MP
- PEAK URBAN - Q100 20191004_MP
- EDGE OF VEGETATION
- BAL 12.5
- BAL 19
- BAL 29
- BAL 40
- LINEAR PARK
- NEIGHBOURHOOD RECREATION PARK
- OPEN SPACE CORRIDOR
- STORMWATER MANAGEMENT AREA
- 3.0M WIDE LANDSCAPE ZONE IN ALLOTMENT
- BUILDING RESTRICTION AREA - MINING CONSTRAINT AREA 4 FELDSPAR FAULT ZONE
- BUILDING EXCLUSION ZONE - BOREHOLE LOCATION
- NO DEVELOPMENT AREA - ECOLOGICAL AREA
- MANDATORY BTB WALL
- OPTIONAL BTB WALL
- PREFERRED DRIVEWAY LOCATION
- PREFERRED PRIVATE OPEN SPACE LOCATION
- PRIMARY STREET FRONTAGE

Note: Borehole locations as per Taylor Mining Services DNRM Borehole Location Plan May 2019, M1:144, 2019.05.16_01

Note: Subject Site sourced from 3366 V_Lot Calcas.dwg

Note: BAL Lines as per Bushfire Risk Reducers Report, 007.09.20 - Rev 1

NOT FOR
CONSTRUCTION

DRAWING TITLE

STAGE 8
RECONFIGURATION OF A LOT (ROL)
AND PLAN OF DEVELOPMENT (POD)

DESIGN : CK
DOCUMENT: TW
PROJECT : 1017024
SCALE : 1:1000@A1



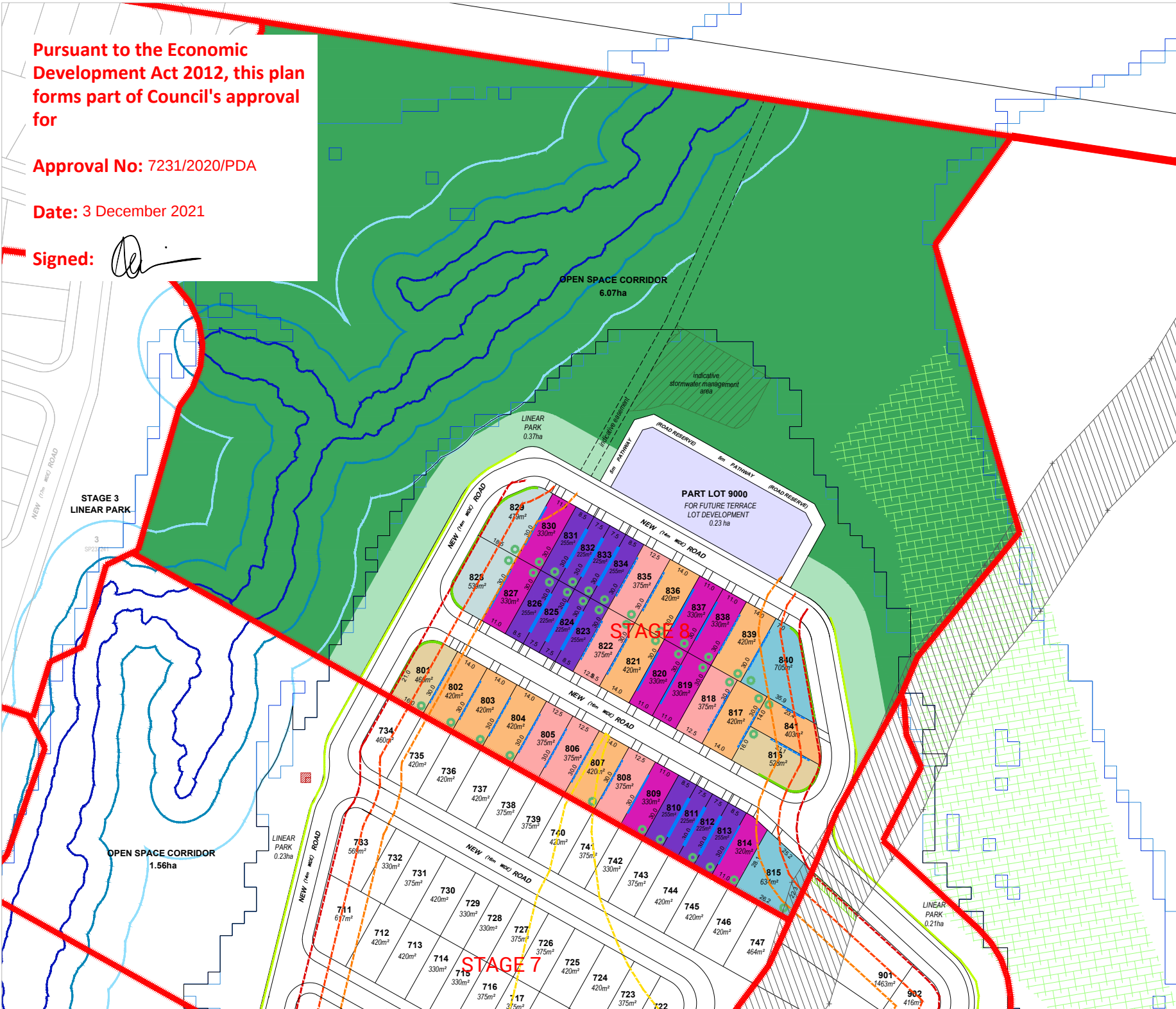
SHEET NUMBER 78
REVISION L

Pursuant to the Economic
Development Act 2012, this plan
forms part of Council's approval
for

Approval No: 7231/2020/PDA

Date: 3 December 2021

Signed:



NOTE: The contents of this plan are subject to relevant Council, State and Federal Government Approvals. Pavement Layout is indicative only and subject to detail design

NOTES

General:

- Setbacks and maximum building location envelopes are subject to future proposed easements, building exclusion zones and/or other underground services.
- The maximum height of buildings shall not exceed 2 storeys or 9m whichever is lesser.
- Letter boxes should be located in close relationship to the front entry.

Setbacks:

- Setbacks listed in the Site Setback Table are the minimum distance required unless otherwise specified on plan.
- Setbacks can be greater unless restricted by these Development Controls.
- Built to boundary walls are mandatory on 7.5-11.9 m allotments. Built to Boundary walls are optional for lots equal to or greater than a 12.0m lot.
- Built to boundary walls are to have a maximum length of 15 metres and a maximum height of 3.5 metres.
- Built to boundary walls on lots with a frontage equal to or greater than 14.0m applies to garages only.
- Boundary setbacks are measured to the walls or support of the structure.
- Indicative driveways typically correspond with BTB walls, if a dwelling does not incorporate BTB walls, the garage and driveway may be located on the opposite side boundary where standard side setbacks apply.
- Eaves should not encroach (other than where dwellings are built to boundary) closer than 300mm to the lot boundary.
- Open structures such as a portico, entry porch or under roof recreational areas can encroach within the front or secondary frontage setback but must not be closer than 1.0m from the boundary to the supporting structure.
- On corner lots, no building or structure over 2m high is built within 4m by 4m truncation at the corner of the 2 road frontages.

Notes applicable to Terrace Home Lots:

- Built to boundary wall length is to comply with the requirements outlined in PDA Guideline 7 - Low Rise Buildings.

Building Design:

- Front doors of dwellings are to address the primary street frontage.
- Each street or park frontage must be addressed with the inclusion of two or more of the following design elements in the related facade:
 - verandahs / porches,
 - entertaining awnings and shade structures,
 - variation to roof and building lines,
 - inclusion of window openings,
 - use of varying building materials compliant with AS 3959-2009.
- All buildings that have a width of more than 10m that are visible from the street or open space are to be articulated to reduce the mass of the building by one or more of the follow design elements:
 - windows / doors recessed onto the facade,
 - balconies, porches or verandahs,
 - window hoods,
 - minor changes in the building facade (minimum 100mm).

Parking:

- Minimum off-street requirements are 2 spaces per dwelling, which may be achieved in tandem, with one space provided in front of the garage or carport.
- 7.5 - 9.9m allotments with a single storey dwelling are to have a tandem parking space provided in front of the garage or carport.
- Double width garages are not permitted on 7.5 - 9.9m wide allotments unless contained within a two-storey dwelling that has a 1m upper storey or roof projection over at least 50% of the garage opening width.
- Double width garages are permitted on 10 - 12.4m wide allotments within a single storey dwelling provided that they include the following design elements:
 - habitable rooms fronting the public street and projecting forward 1.0m from the garage,
 - 1.0m eave overhang for double garage or alternatively an arbour or architectural awning to add depth and cast shadow,
 - a front door incorporating glass or a sidelight incorporating glass,
 - incorporation of a large or multiple habitable room windows fronting the public street,
 - a combination of materials and colours including a minimum of 3 different materials and complimentary colours on the front facade (including the garage door but excluding glass).

Site Cover:

- Site cover for each dwelling is specific to the allotment type and shown in the Site Setback Table.

Private Open Space:

- Private open space criteria are detailed in the Site Setback Table.
- The space can be made up from areas in two locations providing the area containing the specified circle is accessed from the main living area.
- Private open space area to have a minimum width of 3m.

Fencing:

- Fencing on all primary street frontages to be either 50% transparent or not to exceed 1.2m in height. Where private open space is provided within the front or secondary setback, the fence can be up to 1.5m in height and 20% transparent for at least 60% of the boundary.

Undermining:

- No habitable building construction is permitted within the Feldspar Fault Zone.

Energy:

- All dwellings to have a minimum energy rating of 6 stars under NatHERS & taking into account the B.C.A and the Queensland amendments as outlined in QDC MP4.1 A1 (d) (i) (ii).

Applicant must update the Plan of Development to clearly articulate any mining related requirement in accordance with Attachment B Condition 3 and any requirements of the revised Bushfire Risk Report required to be prepared in accordance with Attachment B, Condition 4.

	TERRACE	VILLA A	VILLA B	COURTYARD	TRADITIONAL	FAMILY	LARGE LOT
Typical Lot Frontage	7.5 - 9.9m	10.0 - 11.9m	12.0 - 13.9m	14.0 - 15.9m	16.0 - 17.9m	18.0 - 19.9m	20m +
Typical Lot Depth	30m	30m	30m	30m	30m	30m	30m
Typical Lot Area	225 - 299m ²	300 - 399m ²	360 - 419m ²	420 - 479m ²	480 - 539m ²	540 - 699m ²	600m ² +
Setback Location	Ground floor	First floor	Ground floor	First floor	Ground floor	First floor	Ground floor
Front Setback	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m
Rear Setback	0.9m	1.0m	0.9m	1.0m	1.5m	2.0m	2.0m
Side Boundary Setback							
Built to Boundary	Mandatory	Mandatory	Optional	Optional	Optional	Optional	Optional
Non Built to Boundary	0.0 - 0.2m	0.0 - 0.2m	0.0 - 0.2m	0.0 - 0.2m	0.0 - 0.2m	0.0 - 0.2m	0.0 - 0.2m
Corner Lots - Secondary Road Frontage*	1.5m	1.5m	1.5m	1.5m	1.5m	2.0m	2.0m
Maximum Site Cover	75%	75%	60%	60%	60%	60%	60%
Private Open Space	Min area = 15sqm	Min area = 15sqm	Min area = 15sqm	Min area = 15sqm	Min area = 15sqm	Min area = 15sqm	Min area = 15sqm
On Site Parking	2	2	2	3	3	3	3
Garage Door Setback	5.4m	5.4m	5.4m	5.4m	5.4m	5.4m	5.4m

*Concession for open structures supporting post/pier can be located 1.0m from secondary road frontage

LOT TYPE	Typical Dimensions	Typical area	STAGE 9	STAGE 10
TERRACE LOT	7.5 X 30m	225m ²	4	11%
VILLA A	11m X 30m	330m ²	2	14%
VILLA B	12.5m X 30m	375m ²	2	28%
COURTYARD	14m X 30m	420m ²	9	28%
TRADITIONAL	16m X 30m	480m ²	6	17%
FAMILY	18m X 30m	540m ²	2	0%
LARGE LOT	20m X 30m	600m ²	0	3%
LIFESTYLE LOT A	14 x 69m	960m ²	15	0%
LIFESTYLE LOT B	16 x 69m	1100m ²	8	0%
SUB-TOTAL			48	100%

	Stage 9 (ha)	Stage 10 (ha)
Total Stage Area	5.26	2.22
Linear Park	0.21	0.14
Neighbourhood Recreation Park	0.00	0.00
Open Space Corridor	0.12	0.04
Indicative Stormwater Management Area	0.19	0.00
Pedestrian Link	0.07	0.00
Total Area of Road	1.14	0.62
Total Area of Residential Allotments	3.53	1.42
Length of New Road	Stage 9 (m)	Stage 10 (m)
Total Length (m) of Road (21.0m)	170	0
Total Length (m) of Road (16.0m)	350	283
Total Length (m) of Road (5.0m)	0	0
Total Length (m) of Esplanade Road (16.0m standard with reduced verge to park side = 14.0m)	163	125

KEY PLAN



place
design
group.

BRISBANE
131 Robertson Street
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PROJECT

Hayfield
352 Ripley Road, Ripley

CLIENT

GOLDFIELDS GROUP

KEY PLAN / NOTES

- SUBJECT SITE
- STAGING BOUNDARY
- TOP OF BANK
- SAUNDERS HAVILL - 25M ECOLOGICAL BUFFER
- SAUNDERS HAVILL - 10M ECOLOGICAL BUFFER
- PEAK URBAN - Q29 20191004_MP
- PEAK URBAN - Q100 20191004_MP
- EDGE OF VEGETATION
- BAL 12.5
- BAL 19
- BAL 29
- BAL 40
- LINEAR PARK
- NEIGHBOURHOOD RECREATION PARK
- OPEN SPACE CORRIDOR
- STORMWATER MANAGEMENT AREA
- 3.0M WIDE LANDSCAPE ZONE IN ALLOTMENT
- BUILDING RESTRICTION AREA - MINING CONSTRAINT AREA 4 FELDSPAR FAULT ZONE
- BUILDING EXCLUSION ZONE - BOREHOLE LOCATION
- NO DEVELOPMENT AREA - ECOLOGICAL AREA
- MANDATORY BTB WALL
- OPTIONAL BTB WALL
- PREFERRED DRIVEWAY LOCATION
- PREFERRED PRIVATE OPEN SPACE LOCATION
- PRIMARY STREET FRONTAGE
- No pedestrian or vehicular access permitted. Developer constructed fencing and landscaping to remain in perpetuity.

Note: Borehole locations as per Taylor Mining Services DNRM Borehole Location Plan May 2019, M1:144, 2019.05.16_01
Note: Subject Site sourced from 3366 V.Lot Calca.dwg
Note: BAL Lines as per Bushfire Risk Reducers Report, 007.09.20 - Rev 1

NOT FOR
CONSTRUCTION

DRAWING TITLE

STAGE 9 & 10
RECONFIGURATION OF A LOT (ROL)
AND PLAN OF DEVELOPMENT (POD)

DESIGN : CK
DOCUMENT: TW
PROJECT : 1017024
SCALE : 1:1000@A1



SHEET NUMBER
79

REVISION
L

Pursuant to the Economic
Development Act 2012, this plan
forms part of Council's approval
for

Approval No: 7231/2020/PDA

Date: 3 December 2021

Signed:

NOTES

General:

- Setbacks and maximum building location envelopes are subject to future proposed easements, building exclusion zones and/or other underground services.
- The maximum height of buildings shall not exceed 2 storeys or 9m whichever is lesser.
- Letter boxes should be located in close relationship to the front entry.
- Setbacks:**
 - Setbacks listed in the Site Setback Table are the minimum distance required unless otherwise specified on plan.
 - Setbacks can be greater unless restricted by these Development Controls.
 - Built to boundary walls are mandatory on 7.5-11.9 m allotments. Built to Boundary walls are optional for lots equal to or greater than a 12.0m lot.
 - Built to boundary walls are to have a maximum length of 15 metres and a maximum height of 3.5 metres.
 - Built to boundary walls on lots with a frontage equal to or greater than 14.0m applies to garages only.
 - Boundary setbacks are measured to the walls or support of the structure.
 - Indicative driveways typically correspond with BTB walls, if a dwelling does not incorporate BTB walls, the garage and driveway may be located on the opposite side boundary where standard side setbacks apply.
 - Eaves should not encroach (other than where dwellings are built to boundary) closer than 300mm to the lot boundary.
 - Open structures such as a portico, entry porch or under roof recreational areas can encroach within the front or secondary frontage setback but must not be closer than 1.0m from the boundary to the supporting structure.
 - On corner lots, no building or structure over 2m high is built within 4m by 4m truncation at the corner of the 2 road frontages.
- Notes applicable to Terrace Home Lots:**
 - Built to boundary wall length is to comply with the requirements outlined in PDA Guideline 7 - Low Rise Buildings.
- Building Design:**
 - Front doors of dwellings are to address the primary street frontage.
 - Each street or park frontage must be addressed with the inclusion of two or more of the following design elements in the related facade:
 - verandahs / porches,
 - entertaining awnings and shade structures,
 - variation to roof and building lines,
 - inclusion of window openings,
 - use of varying building materials compliant with AS 3959-2009.
 - All buildings that have a width of more than 10m that are visible from the street or open space are to be articulated to reduce the mass of the building by one or more of the follow design elements:
 - windows / doors recessed onto the facade,
 - balconies, porches or verandahs,
 - window hoods,
 - minor changes in the building facade (minimum 100mm).

Notes applicable to Terrace Home Lots:

- Built to boundary wall length is to comply with the requirements outlined in PDA Guideline 7 - Low Rise Buildings.
- Building Design:**
 - Front doors of dwellings are to address the primary street frontage.
 - Each street or park frontage must be addressed with the inclusion of two or more of the following design elements in the related facade:
 - verandahs / porches,
 - entertaining awnings and shade structures,
 - variation to roof and building lines,
 - inclusion of window openings,
 - use of varying building materials compliant with AS 3959-2009.
 - All buildings that have a width of more than 10m that are visible from the street or open space are to be articulated to reduce the mass of the building by one or more of the follow design elements:
 - windows / doors recessed onto the facade,
 - balconies, porches or verandahs,
 - window hoods,
 - minor changes in the building facade (minimum 100mm).

Parking:

- Minimum off-street requirements are 2 spaces per dwelling, which may be achieved in tandem, with one space provided in front of the garage or carport.
- 7.5 - 9.9m allotments with a single storey dwelling are to have a tandem parking space provided in front of the garage or carport.
- Double width garages are not permitted on 7.5 - 9.9m wide allotments unless contained within a two-storey dwelling that has a 1m upper storey or roof projection over at least 50% of the garage opening width.
- Double width garages are permitted on 10 - 12.4m wide allotments within a single storey dwelling provided that they include the following design elements:
 - habitable rooms fronting the public street and projecting forward 1.0m from the garage,
 - 1.0m eave overhang for double garage or alternatively an arbour or architectural awning to add depth and cast shadow,
 - a front door incorporating glass or a sidelight incorporating glass,
 - incorporation of a large or multiple habitable room windows fronting the public street,
 - a combination of materials and colours including a minimum of 3 different materials and complimentary colours on the front facade (including the garage door but excluding glass).
- Site Cover:**
 - Site cover for each dwelling is specific to the allotment type and shown in the Site Setback Table.
- Private Open Space:**
 - Private open space criteria are detailed in the Site Setback Table.
 - The space can be made up from areas in two locations providing the area containing the specified circle is accessed from the main living area.
 - Private open space area to have a minimum width of 3m.
- Fencing:**
 - Fencing on all primary street frontages to be either 50% transparent or not to exceed 1.2m in height. Where private open space is provided within the front or secondary setback, the fence can be up to 1.5m in height and 20% transparent for at least 60% of the boundary.
- Undermining:**
 - No habitable building construction is permitted within the Feldspar Fault Zone.
- Energy:**
 - All dwellings to have a minimum energy rating of 6 stars under NatHERS & taking into account the B.C.A and the Queensland amendments as outlined in QDC MP4.1 A1 (d) (i) (ii).

Applicant must update the Plan of Development to clearly articulate any mining related requirement in accordance with Attachment B Condition 3 and any requirements of the revised Bushfire Risk Report required to be prepared in accordance with Attachment B, Condition 4.

NOTE: The contents of this plan are subject to relevant Council, State and Federal Government Approvals. Pavement Layout is indicative only and subject to detail design

	TERRACE		VILLA A		VILLA B		COURTYARD		TRADITIONAL		FAMILY		LARGE LOT
Typical Lot Frontage	7.5 - 9.9m		10.0 - 11.9m		12.0 - 13.9m		14.0 - 15.9m		16.0 - 17.9m		18.0 - 19.9m		20m +
Typical Lot Depth	30m		30m		30m		30m		30m		30m		30m
Typical Lot Area	225 - 299m ²		300 - 359m ²		360 - 419m ²		420 - 479m ²		480 - 539m ²		540 - 699m ²		600m ² +
Setback Location	Ground floor		Ground floor		Ground floor		Ground floor		Ground floor		Ground floor		First floor
Front Setback	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m	2.4m
Rear Setback	0.9m	1.0m	0.9m	1.0m	1.0m	1.5m	1.0m	2.0m	1.5m	2.0m	1.5m	2.0m	2.0m
Side Boundary Setback													
Built to Boundary	Mandatory		Mandatory		Optional		Optional		Optional		Optional		Optional
Non Built to Boundary	0.0 - 0.2m	1.0m	0.0 - 0.2m	1.0m	0.0 - 0.2m	1.0m	0.0 - 0.2m	1.5m	0.0 - 0.2m	1.5m	0.0 - 0.2m	1.5m	0.0 - 0.2m
Corner Lots- Secondary Road Frontage*	0.9m	0.9m	0.9m	0.9m	1.0m	1.0m	1.0m	1.5m	1.0m	1.5m	1.0m	1.5m	1.5m
Maximum Site Cover	75%		75%		60%		60%		60%		60%		60%
Private Open Space	Min area = 15sqm		Min area = 15sqm		Min area = 15sqm		Min area = 15sqm		Min area = 15sqm		Min area = 15sqm		Min area = 15sqm
On Site Parking	2		2		2		3		3		3		3
Garage Door Setback	5.4m		5.4m		5.4m		5.4m		5.4m		5.4m		5.4m

*Concession for open structures supporting post/pier can be located 1.0m from secondary road frontage

LOT TYPE	Typical Dimensions	Typical area	STAGE 11	
TERRACE LOT	7.5 X 30m	225m ²	0	0%
VILLA A	11m X 30m	330m ²	9	30%
VILLA B	12.5m X 30m	375m ²	7	23%
COURTYARD	14m X 30m	420m ²	8	27%
TRADITIONAL	16m X 30m	480m ²	4	13%
FAMILY	18m X 30m	540m ²	1	3%
LARGE LOT	20m X 30m	600m ²	1	3%
LIFESTYLE LOT A	14 x 69m	960m ²	0	0%
LIFESTYLE LOT B	16 x 69m	1100m ²	0	0%
SUB-TOTAL			30	100%

	Stage 11 (ha)
Total Stage Area	3.71
Linear Park	0.10
Neighbourhood Recreation Park	0.50
Open Space Corridor	0.81
Indicative Stormwater Management Area	0.42
Pedestrian Link	0.00
Total Area of Road	0.68
Total Area of Residential Allotments	1.20
Length of New Road	Stage 11 (m)
Total Length (m) of Road (21.0m)	0
Total Length (m) of Road (16.0m)	175
Total Length (m) of Road (5.0m)	0
Total Length (m) of Esplanade Road (16.0m standard with reduced verge to park side = 14.0m)	252

KEY PLAN



place
design
group.

BRISBANE
131 Robertson Street
PO Box 419
FORTITUDE VALLEY, QLD, 4006
P: +61 7 3852 3922
F: +61 7 3852 4766

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PROJECT

Hayfield
352 Ripley Road, Ripley

CLIENT

GOLDFIELDS GROUP

KEY PLAN / NOTES

- SUBJECT SITE
- STAGING BOUNDARY
- TOP OF BANK
- SAUNDERS HAVILL - 25M ECOLOGICAL BUFFER
- SAUNDERS HAVILL - 10M ECOLOGICAL BUFFER
- PEAK URBAN - Q20 20191004_MP
- PEAK URBAN - Q100 20191004_MP
- EDGE OF VEGETATION
- BAL 12.5
- BAL 19
- BAL 29
- BAL 40
- LINEAR PARK
- NEIGHBOURHOOD RECREATION PARK
- OPEN SPACE CORRIDOR
- STORMWATER MANAGEMENT AREA
- 3.0M WIDE LANDSCAPE ZONE IN ALLOTMENT
- BUILDING RESTRICTION AREA - MINING CONSTRAINT AREA 4 FELDSPAR FAULT ZONE
- BUILDING EXCLUSION ZONE - BOREHOLE LOCATION
- NO DEVELOPMENT AREA - ECOLOGICAL AREA
- MANDATORY BTB WALL
- OPTIONAL BTB WALL
- PREFERRED DRIVEWAY LOCATION
- PREFERRED PRIVATE OPEN SPACE LOCATION
- PRIMARY STREET FRONTAGE

Note: Borehole locations as per Taylor Mining Services DNRM Borehole Location Plan May 2019, M1:144, 2019.05.16_01
Note: Subject Site sourced from 3366 V_Lot Calcs.dwg
Note: BAL Lines as per Bushfire Risk Reducers Report, 007.09.20 - Rev 1

NOT FOR
CONSTRUCTION

DRAWING TITLE

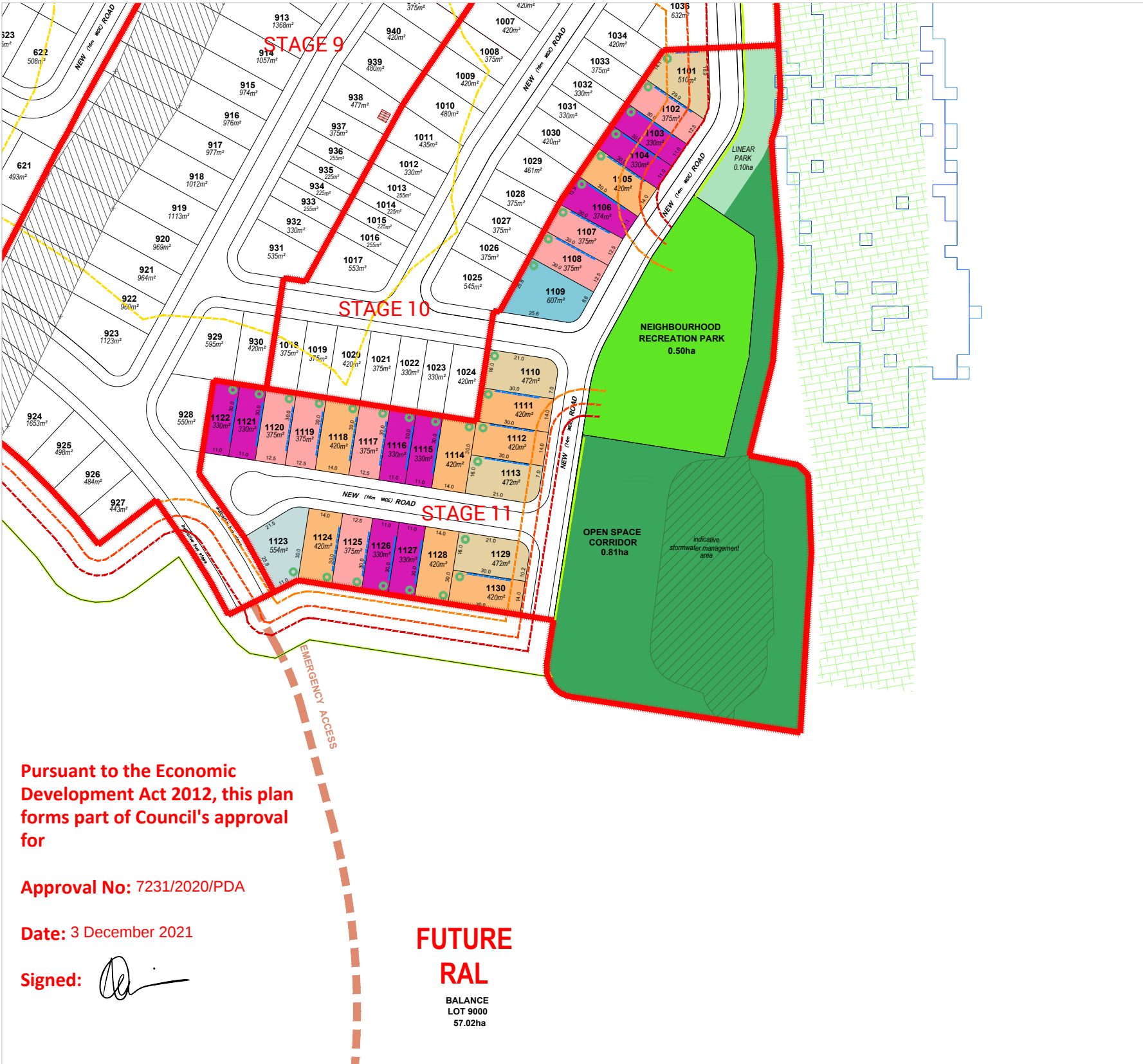
STAGE 11
RECONFIGURATION OF A LOT (ROL)
AND PLAN OF DEVELOPMENT (POD)

DESIGN : CK
DOCUMENT: TW
PROJECT : 1017024
SCALE : 1:1000@A1



SHEET NUMBER
80

REVISION
L



Pursuant to the Economic
Development Act 2012, this plan
forms part of Council's approval
for

Approval No: 7231/2020/PDA

Date: 3 December 2021

Signed:

FUTURE
RAL

BALANCE
LOT 9000
57.02ha

NOTES

General:

- Setbacks and maximum building location envelopes are subject to future proposed easements, building exclusion zones and/or other underground services.
- The maximum height of buildings shall not exceed 2 storeys or 9m whichever is lesser.
- Letter boxes should be located in close relationship to the front entry.

Setbacks:

- Setbacks listed in the Site Setback Table are the minimum distance required unless otherwise specified on plan.
- Setbacks can be greater unless restricted by these Development Controls.
- Built to boundary walls are mandatory on 7.5-11.9 m allotments. Built to Boundary walls are optional for lots equal to or greater than a 12.0m lot.
- Built to boundary walls are to have a maximum length of 15 metres and a maximum height of 3.5 metres.
- Built to boundary walls on lots with a frontage equal to or greater than 14.0m applies to garages only.
- Boundary setbacks are measured to the walls or support of the structure.
- Indicative driveways typically correspond with BTB walls, if a dwelling does not incorporate BTB walls, the garage and driveway may be located on the opposite side boundary where standard side setbacks apply.
- Eaves should not encroach (other than where dwellings are built to boundary) closer than 300mm to the lot boundary.
- Open structures such as a portico, entry porch or under roof recreational areas can encroach within the front or secondary frontage setback but must not be closer than 1.0m from the boundary to the supporting structure.
- On corner lots, no building or structure over 2m high is built within 4m by 4m truncation at the corner of the 2 road frontages.

Notes applicable to Terrace Home Lots:

- Built to boundary wall length is to comply with the requirements outlined in PDA Guideline 7 - Low Rise Buildings.

Building Design:

- Front doors of dwellings are to address the primary street frontage.
- Each street or park frontage must be addressed with the inclusion of two or more of the following design elements in the related facade:
 - verandahs / porches,
 - entertaining awnings and shade structures,
 - variation to roof and building lines,
 - inclusion of window openings,
 - use of varying building materials compliant with AS 3959-2009.
- All buildings that have a width of more than 10m that are visible from the street or open space are to be articulated to reduce the mass of the building by one or more of the follow design elements:
 - windows / doors recessed onto the facade,
 - balconies, porches or verandahs,
 - window hoods,
 - minor changes in the building facade (minimum 100mm).

Parking:

- Minimum off-street requirements are 2 spaces per dwelling, which may be achieved in tandem, with one space provided in front of the garage or carport.
- 7.5 - 9.9m allotments with a single storey dwelling are to have a tandem parking space provided in front of the garage or carport.
- Double width garages are not permitted on 7.5 - 9.9m wide allotments unless contained within a two-storey dwelling that has a 1m upper storey or roof projection over at least 50% of the garage opening width.
- Double width garages are permitted on 10 - 12.4m wide allotments within a single storey dwelling provided that they include the following design elements:
 - habitable rooms fronting the public street and projecting forward 1.0m from the garage,
 - 1.0m eave overhang for double garage or alternatively an arbour or architectural awning to add depth and cast shadow,
 - a front door incorporating glass or a sidelight incorporating glass,
 - incorporation of a large or multiple habitable room windows fronting the public street,
 - a combination of materials and colours including a minimum of 3 different materials and complimentary colours on the front facade (including the garage door but excluding glass).

Site Cover:

- Site cover for each dwelling is specific to the allotment type and shown in the Site Setback Table.

Private Open Space:

- Private open space criteria are detailed in the Site Setback Table.
- The space can be made up from areas in two locations providing the area containing the specified circle is accessed from the main living area.
- Private open space area to have a minimum width of 3m.

Fencing:

- Fencing on all primary street frontages to be either 50% transparent or not to exceed 1.2m in height. Where private open space is provided within the front or secondary setback, the fence can be up to 1.5m in height and 20% transparent for at least 60% of the boundary.

Undermining:

- No habitable building construction is permitted within the Feldspar Fault Zone.

Energy:

- All dwellings to have a minimum energy rating of 6 stars under NatHERS & taking into account the B.C.A and the Queensland amendments as outlined in QDC MP4.1 A1 (d) (i) (ii).

NOTE: The contents of this plan are subject to relevant Council, State and Federal Government Approvals. Pavement Layout is indicative only and subject to detail design

Applicant must update the Plan of Development to clearly articulate any mining related requirement in accordance with Attachment B Condition 3 and any requirements of the revised Bushfire Risk Report required to be prepared in accordance with Attachment B, Condition 4.

Hayfield.

DESIGN GUIDELINES

1) INTRODUCTION

1.1) VISION

Welcome to Hayfield, a new master-planned community that combines natural beauty with urban convenience in the heart of Ripley Valley.

Hayfield is designed to encourage a true connection between families, neighbours and nature. Whether it's a run around the Ripley Track, or a yoga session and morning workout in the park, nourishing activities come with a beautiful backdrop.

1.2) PURPOSE

The principal aim of these Design Guidelines is to create a coherent built form design vision for the Hayfield community. Developed to enhance the lifestyle and investment of purchasers, the Design Guidelines are designed to ensure all homes at Hayfield are built to a high standard whilst encouraging a variety of housing styles which are in harmony with the streetscape.

The Design Guidelines will assist in providing you with peace of mind that your investment will be enhanced in the future, guarding against inappropriate development that may detract from the development.

1.3) OPERATION

You must receive Design Approval for all building works (including houses, garages, driveways, outbuildings and fencing) from the Design Assessment Panel ("DAP") prior to obtaining any relevant Building Approvals.

The Design Guidelines may be amended from time to time at the Developer's discretion to reflect changes in design and building trends and/or amendments to legislation affecting building approvals.

2) APPROVAL PROCESS

2.1) DESIGN YOUR HOUSE

Use the Design Guidelines and the Plan of Development with your selected builder or architect.

2.2) SUBMIT PLANS TO DAP

Please submit all plans, elevations and the DAP Application Form (at Section 8 below) to designs@hayfield.com.au

2.3) DESIGN APPROVAL

The DAP will assess and approve your plans once they meet the standards set out in the Design Guidelines and the Plan of Development. Non-compliant submissions must be amended and re-submitted to the DAP.

2.4) BUILDING PERMIT

Provide a copy of the Design Approval and stamped plans to your Building Surveyor, Private Certifier or Local Council in order to obtain your Building Permit.

2.5) COMMENCE CONSTRUCTION

You must comply with Local Council requirements along with the Design Guidelines and the Plan of Development during all phases of construction. To ensure neighbourhoods are completed in a timely manner, construction must commence within twelve months of purchase of your land and be completed within nine months of commencement.

2.6) COMPLETE CONSTRUCTION & MOVE IN

Certificate of Classification for Occupancy must be obtained from your Building Surveyor or Private Certifier and issued to the DAP prior to occupancy of your home.

3) DESIGN REQUIREMENTS

The Plan of Development contains the minimum design controls to be met for your home.

3.1) BUILDING ENVELOPES, SETBACKS

All building envelopes, and setbacks must comply with the Plan of Development.

Built to boundary walls are mandatory on 8.5-10.5m lots. Built to boundary walls are optional for lots of 12.5m or larger. Built to boundary walls are to have a maximum length of 15m and a maximum height of 3.5m.

Boundary setbacks are measured to the walls or support of the structure.

Open structures such as portico, entry porch or under roof recreational areas can encroach the front or secondary frontage setback but must not be closer than 1.0m from the boundary to the supporting structure.

3.2) BUILDING HEIGHT

Building height must not exceed 2 stories or 9m whichever is the lesser.

3.3) SITE COVER AND PRIVATE OPEN SPACE

Site cover and private open space requirement for each lot is varied and is shown on the Plan of Development.

4) BUILT FORM

4.1) ARCHITECTURAL STYLE

A variety of architectural styles are encouraged and permitted, however, each design will be assessed on its merit by the DAP. Front facades must address the street or park frontages, or two street frontages for a corner lot. Corner houses should include a habitable room with a clear view to secondary streetscapes.

Details to be considered within design are to include:

- An entry feature such as a porch
- Window configurations and positions
- Articulation of the floor plan and roof line
- The choice of external materials and colours
- Articulation between the ground and first floor for double storey houses

A house should avoid replicating an identical or overly similar facade of a house within three lots in either direction on the same side of the street, or within three lots on the opposite side of the street.

4.2) DWELLING SIZE

All houses must comply with the following minimum sizes (excluding garages, porches, verandas, balconies and alfresco areas):

- 120m² Net Internal Area for lots having an area of less than 480m²; and
- 145m² Net Internal Area for lots having an area of 480m² or greater.

4.3) FACADE DESIGN

External colours used in the design of your home should be an expression of natural finishes that will complement the colours of the surrounding natural environment.

Details to be considered include:

- A minimum of two complementary materials and colours to facade facing street and no more than four different materials and colours
- A limit of 75% total wall coverage applies to the use of any one material or colour
- Face brick may be used as a feature to the front facade to a maximum of 50% of total wall coverage
- Façade finishes must return 2m around the corner of the house or to meet the side fence
- Front entries should be clearly visible from the street and should include protruding elements such as a veranda to reinforce the house's sense of address
- Garages should be setback from the front facade to limit impressions of garage dominance
- No downpipes should be visible from any street frontage (with the exception of corner lots)

The front facade must contain at least two contrasting materials (face brick, render, stone, weatherboards, composite cladding or tiles) with the second material comprising at least 25% of total

wall coverage: Materials and finishes such as natural mortar, galvanised metal, raw fibre cement sheet, raw zincalume, reflective glazing and stained glass are not permitted.

4.4) ROOFS

Roof designs that are a simple composition of shapes will aid in reducing their visual prominence. Roof forms must be generally pitched with some flat elements permitted where box guttering is hidden from the street view. All roofs must include minimum 450mm eaves to the front façade and secondary street frontages. Eaves must not encroach (other than where houses are built to boundary) closer than 300mm to the lot boundary.

Roofs should conform to the following types:

- Pitched roofs at a minimum of 22.5° (hip or gable) is required
- Skillion roofs at a minimum of 12.5° is required
- Flat parapeted roofs. (to selected areas only)

4.5) GARAGES

Garage door setback to be a minimum of 5.4m. For corner lots garages must not be located on the corner where the primary and secondary frontages meet.

When designing garages, consideration must be given to the screening of boats, caravans and trailers and for 'drive-through' access to the rear yard. The garage door is a major visual element of the streetscape and doors facing the street must be panelled and of a colour which complements the house. The inclusion of windows, recesses or projections in the garage door should be considered so as to present an interesting and integrated facade.

Roller doors and car ports are not permitted.



Examples of permitted garage door profiles

5) EXTERNAL CONSIDERATIONS

5.1) DRIVEWAYS & PARKING

Driveway locations and minimum off-street parking requirements are specified on the Plan of Development.

Driveways must be constructed of brick and/or concrete pavers, coloured concrete, saw-cut coloured concrete, or exposed aggregate. Plain or natural concrete is not permitted. The visual impact of driveways should be reduced through limiting the width, especially where the driveway crosses the verge and pedestrian footpath. All driveways must be completed prior to the occupation of your home.

Commercial vehicles with a carrying capacity of 2 tonne or more or any boat, caravan or trailer shall not be permitted to be parked on a lot so that it is visible from any street.

5.2) FENCES

FRONT FENCING

Front and side boundary fencing forward of the main building line or garage must be approved by the DAP.

Front fencing on all primary street frontages to be either 50% transparent (not a solid mass) or not to exceed a height of 1.2m. Where private open space is located within the front or secondary setback, the fence can be up to 1.5m in height and 20% transparent for at least 60% of the boundary.

Front fences should not exceed 6m in length without some form of articulation or detailing (i.e. a gateway or recessed garden) to provide visual interest particularly on corner lots. Front fencing design must generally be in accordance with the example images below. Alternatives will be assessed on merit by the DAP.



SIDE AND REAR BOUNDARY FENCING

Side and rear boundary fencing must be constructed from capped timber palings with a plinth and exposed posts (125mm X 75mm), to a height of 1.8m and must not extend past the front facade. Fencing must return from side boundaries at 90 degrees to abut the dwelling. Where applicable, this 'wing fencing' must be setback to allow access to meter boxes and at least 1.0m behind the front facade. Gates may also be included where required. All wing fences and gates must be constructed to match the boundary fencing, or from a complimentary timber style, such as merbau slats.

Fencing to corner boundaries must be setback at least 4.0m behind the front façade.

The boundary fencing described above must be constructed prior to occupation of the home.

5.3) LETTER BOXES & STREET NUMBERS

Letter boxes must be located in close proximity to the front entry and clearly visible from the street. They should be constructed using similar material and colours with the house. Letter boxes on poles are not acceptable.

Street numbers must be clearly visible from the street on the building, front fence or letter box.

5.4) GARBAGE BINS

Garbage bins must not be visible from the street. Appropriate site design or screening measures with fences or enclosures that complement the material and colours of the house should be adopted.

5.5) RETAINING WALLS

The following materials will be permitted for front yard retaining walls:

- Landscape 'key stone' walls
- Split face masonry
- Rendered and smooth face masonry
- A-grade sandstone walls

Timber or concrete sleeper walls will not be permitted for use as retaining walls.

In some lots, the Developer has undertaken retaining walls to improve the buildability of your block. This will be noted on the Disclosure Plans for your lot. These retaining walls cannot be modified without the prior written approval of the Developer.

5.6) GENERAL

Ancillary structures such as air conditioning units, condensers, satellite dishes, antennae, hot water services, rainwater tanks, sheds and clotheslines must be positioned so that they are not visible from the main frontage of the house or street.

Roof mounted building services or solar panels must be located away from the streetscape or appropriately concealed by a parapet or roof structure that is a part of the overall house design.

Meter boxes and gas meters shall be located in the least visually obtrusive location from public view.

Advertising signage is not permitted on residential lots with the following exceptions:

- Only one advertising sign will be permitted to be erected on a lot that is being advertised for resale as a house and land package only
- No signage is allowed for the resale of vacant land

Internal window furnishings which can be viewed by the public must be fitted prior to occupancy of your home. Sheets, blankets or similar materials for which window furnishing is not their primary use will not be permitted.

6) ENERGY EFFICIENCY

All dwellings to have a minimum energy rating of 6 stars under NatHERS, taking into account the B.C.A. and the Queensland amendments as outlined in QDC MP4.1 A1 (d)(i)(ii).

7) FRONT GARDENS

At Hayfield, you have the highly exclusive opportunity to have a home landscaped by renowned landscape architects. We designed four curated gardens for each resident to select from **for** their new Hayfield home.

Once you've received your Certificate of Occupancy and all builder materials have been removed from site, please follow these two easy steps to coordinate the installation of your designer front garden:

1. Contact your client representative to confirm your garden selection via email:
landscaping@hayfield.com.au
2. Your client representative will contact you to discuss your design preference, alteration for site position and to coordinate the installation of your selected garden. **We** will then take care of all the necessary **processes** required to finalise the design, build and planting of your designer front garden.

8) BUILDERS CONDUCT

All builders and contractors must be appropriately licensed with the QBCC and site signs must be clearly labelled with contact phone numbers and QBCC licence numbers.

Construction sites are to be kept in a clean and tidy manner. Proper erosion and sediment control measures must be in place at all times and inspected and maintained after rain events. Mobile plant and equipment are not permitted to track soil or mud on the roads. All attempts are to be made by the builder and contractors to keep the site, roadways, verge and surrounding lots clean and clear at all times throughout construction.

Access to neighbouring lots is only permitted with the prior written consent of the Developer. For the avoidance of doubt, no plant or equipment of a temporary or permanent nature is to be placed on adjoining lots.

Should consent be granted to access adjoining lots any damage to the adjoining lots shall be reinstated to the original condition including footpaths or other works must be repaired within 5 business days. Washing out of concrete trucks is not permitted anywhere within the Hayfield development.

All building sites are to have a skip or cage on the property and are to be emptied on a regular basis or at the request of the Developer. Storage or parking on the verge areas is not permitted under any circumstances. Neighbouring lots are to be kept clean of rubbish and building waste.

Builders and contractors are required to protect and may be required to reinstate Developer's assets such as trees, parks, light poles and other infrastructure. All builders and contractors are to observe working hours and noise restrictions set out by the Local Authorities.

9) EXECUTION

9.1) The Developer may and reserves the right to:

- i) vary, exclude or elect not to enforce all or any part of the Design Guidelines; and
 - ii) interpret the Design Guidelines and the intent of the Design Guidelines,
- in respect of any land within the Hayfield Estate in any way it determines in its total discretion.

9.2) The Buyer:

- i) must not object to; and
- ii) releases the Developer from any claim resulting from;

the Seller exercising its rights under this clause 9.

The Buyer acknowledges having read and understood and agrees to comply with the Hayfield Design Guidelines in accordance with the terms of the Contract for the purchase of the Lot.

Lot Number:

Buyers Name:

Buyers Name:

Signed:

Signed:

Dated:

Dated:

10) DAP APPLICATION FORM

PLEASE COMPLETE THIS CHECK LIST AND SUBMIT TO THE DAP WITH YOUR SUBMISSION DOCUMENTS TO designs@hayfield.com.au

Lot Details

Lot Number:

Owner details

Name:

Mailing Address:

Contact

Phone Number:

Email:

Architect / Builder Details

Company:

Contact Person:

Mailing Address:

Phone Number:

Email:

Correspondence to be sent to Owner or Architect / Builder **(please circle one)**

Attachments - please include the following documents and plans PDF format:

- Site Plan (1:200)
- Floor Plans & Elevations (1:100)
- Schedule of external colours and materials

Hayfield.

Release 9B



Hayfield.

Release 9B



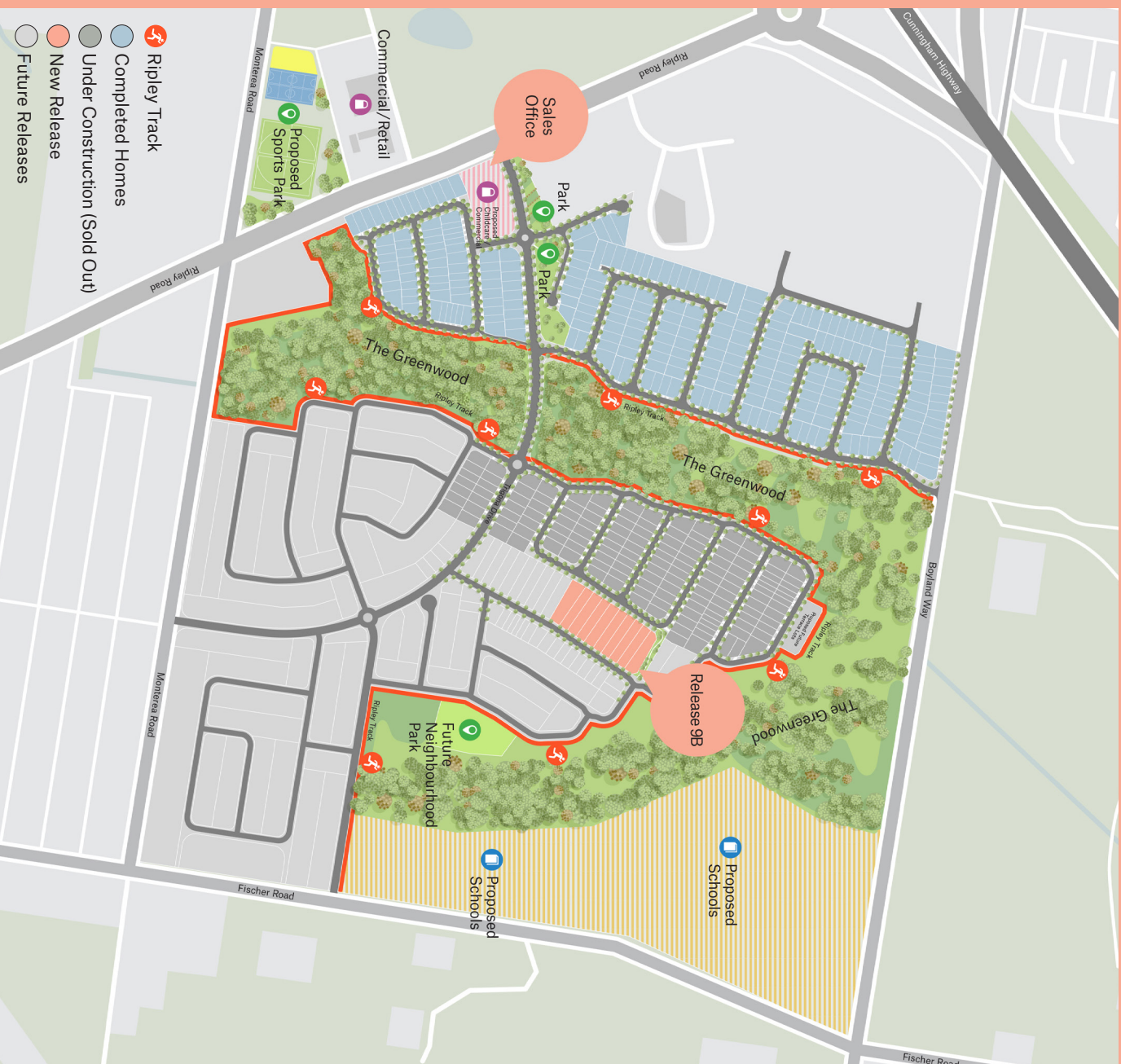
Contact: Colliers
1300 857 646

Hayfield.com.au

Developed by

Goldfields

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Hayfield.

HISTORICAL MINING ACTIVITY

Important legal disclaimer - Please read carefully as this may affect your legal rights

The attached or enclosed letter was written by Moreton Geotechnical Services Pty Ltd 8th April 2022.

In recent years, Moreton Geotechnical Services Pty Ltd was engaged to undertake studies of the land at Fischer Road Ripley to ascertain the existence of "mining influences" affecting the land. This letter summarises the findings in those studies. Despite Ripley Road Land Investments Pty Ltd having no obligation to do so, it has requested Moreton Geotechnical Services Pty Ltd to prepare this letter and provides a copy to you in the interests of full disclosure.

Neither Ripley Road Land Investments Pty Ltd, nor any of its officers, employees, contractors or agents vouches for, warrants or makes any representation about the accuracy or completeness of this letter, any reports referred to in it or any of its attachments. Ripley Road Land Investments Pty Ltd did not prepare the letter and merely passes it on for whatever it may be worth.

In accepting this letter, you acknowledge that you understand this and accept the document on that basis and you represent to Ripley Road Land Investments Pty Ltd that you will not rely on this letter, any of the reports referred to in it or attachments to it in making any decision whether to buy the land or whether to develop it in any particular way and that you will undertake your own investigations and obtain and rely on your own specialist advice. You release and indemnify Ripley Road Land Investments Pty Ltd and each of its officers, employees and agents in relation to all claims and liabilities arising directly or indirectly out of or in connection with anything stated in this report or any part of it.

MORETON GEOTECHNICAL SERVICES PTY. LTD.

PO Box 2484 NORTH IPSWICH 4305

A.C.N. 055 833 120
A.B.N. 24 055 833 120

Telephone (07) 3294 6988
Facsimile (07) 3294 6988
Email info@moretongeotech.com.au

Ref. 2019/71J.1

8 April 2022

Ripley Projects P/L
Office 31B, Level 1
31 James Street
Fortitude Valley
4006
Att. Mr. Daniel Flanagan

Re: **STAGE 9 HAYFIELD ESTATE AT RIPLEY**

1.0 INTRODUCTION

The work in this report was carried out at your request in order to provide information for purchasers wishing to acquire lots in this stage of the Hayfield Estate.

This report also forms a supplement to our earlier reports, to which the reader is referred if more information is required.

Work in this report has included extracting files from long term storage, reviewing the information in past reports, the preparation of a plan by our Associates at Taylor Mining Services P/L and reporting by the undersigned Engineering Geologist.

A plan is attached to this report.

2.0 BACKGROUND

Moreton Geotechnical Services P/L has investigated the area of Stage 9 as part of the whole estate south of Boyland Way (originally Reif Street) and west of Fischer Road over an extended period of time. The investigations were generally required in order to meet with Council's requirements.

Investigations, in the form of desk-top mining studies and more detailed photogrammetry and geophysical studies were carried out for previous

landowners with the intellectual property in our reports being progressively transferred to the new owners. The bulk of the initial studies were carried out for ULDA with subsequent studies flowing on to Kerdic Homes P/L, Ripley Road Land Developments P/L and Ripley Projects P/L.

Some of the main reports completed include:

1. our reference 2011/43 of 5 September 2011 titled "Desktop Mining Study at Fischer Road Ripley"
2. our reference 2011/43/02 of 12 March 2012 titled "Desktop Mining Study at Fischer Road Ripley : Report 2 - Photogrammetry Study"
3. our reference 2011/43/03 of 3 April 2012 titled "Desktop Mining Study at Fischer Road Ripley : Report 3 - Review of Geophysical Study"
4. our reference 2011/43/04 of 17 April 2012 titled "Desktop Mining study at Fischer Road Ripley : Report 4 – Final Report"
5. our reference 2016/17/02 of 13 May 2016 titled "Review of Supplementary Geophysical Study at Fischer Road Ripley"
6. our reference 2016/17/05 of 28 February 2017 titled "Ripley North Estate - Deep Boreholes"
7. our reference 2018/47 of 27 November 2018 titled "Borehole Capping at the Hayfield Estate Ripley Road Ripley"
8. our reference 2019/71A of 5 December 2019 titled "Stage 1 Hayfields Estate at Ripley"
9. our reference 2019/71B of 5 December 2019 titled "Stage 2 Hayfields Estate at Ripley"
- 10.our reference 2019/71C of 5 December 2019 titled "Stage 3 Hayfields Estate at Ripley"
- 11.our reference 2019/71D of 19 March 2020 titled "Stage 4 Hayfields Estate at Ripley"
- 12.our reference 2019/71E.1 of 27 May 2021 titled "Stage 6 Hayfield Estate at Ripley"
- 13.our reference 2019/71G of 15 June 2021 titled "Stage 7 Hayfield Estate at Ripley"
- 14.our report reference 2019/71H of 13 October 2021 titled "Stage 8 Hayfield Estate at Ripley"

Further details can be obtained from the above-referenced reports.

This report deals with mining and design information specific to Stage 9.

3.0 COMMENT

3.1 GENERAL

The first five above-referenced studies revealed that the overall site could be divided into six constraint zones ranging from no mining constraints, three mine influence zones, four undermined zones and a fault residential construction exclusion zone.

The above-referenced sixth report revealed the presence of ten very deep coal exploration boreholes, previously drilled by the Queensland Mines Department, that are located on the overall estate.

Our report reference 7 above, although focussed on Boreholes NS 313 and NS 433, provided the procedure for locating and capping of all of the ten boreholes on the basis of our recommended positioning of these boreholes outside of allotments. The capping works were also recommended to be best carried out at the bulk earthworks stage when suitable equipment and manpower is available.

Reports 8 to 14 inclusive provided specific mining and design information for Stages 1 to 4 inclusive and Stages 6 to 8 inclusive.

Areas 1, 2A and 3A were generally described in our 2011 and 2012 reports as follows:

Area 1 is not undermined and beyond the influence of the underground mining. Residential development there, which is unrestricted in terms of potential subsidence impacts, needs only to cater for normal geotechnical issues including soil type, strength and reactivity and slope stability etc as applicable.

Area 2A is not undermined but is located in the area of the influence zone from the adjoining underground Bluff Seam mining to the east being established on the basis of an assumed 26.5 degree draw angle. Potential subsidence impacts will range from zero at the outer edge of the influence zone to a potential maximum along the ribside (edge) of the mine workings, i.e. average maximum potential subsidence impacts of 1.0 mm/m strain, 1.6 mm/m compression and ground tilts in the order of 1 in 310. These potential subsidence impacts will permit the construction of appropriately sized single or double storey slab on ground residences with conventional footings towards the outer side of the influence zone and appropriately sized and designed single storey

waffle raft or similar footings towards the inner side of the influence zone.

Area 2A was also further subdivided in later reports into Area 2A.1 (outer part of influence zone), Area 2A.2 (central part of influence zone) and Area 2A.3 for lots in the inner part of the influence zone as covered in this report.

Area 3A is part of the site which is undermined along the Bluff Seam "FCT" area where maximum average potential subsidence impacts of 1.0 mm/m strain, 1.6 mm/m compression and ground tilts in the order of 1 in 310 are possible. These potential subsidence impacts should permit the construction of appropriately sized and engineered single storey slab on ground residential development.

Area 4 is part of the site through which the 'Feldspar Fault' is exposed at the surface as revealed in the geophysical study, as well as extrapolated beyond the geophysical study southwards to the edge of the influence zone and northwards to the Reif Street (Boyland Way) boundary of the site. A safety margin of 15m width either side of the fault line has also been included to generate the 30m wide zone. This area should be kept as parkland or similar, or at best be used as rear parts of allotments upon which no building construction is permitted, as this area has the highest potential subsidence risk setting on this site. Road crossings of this area should be minimised, and where these need to be constructed then these should be at right angles to the zone. This approach nonetheless assumes that all buried services are constructed with adequate flexibility, also that maintenance as required can be accepted in the future.

3.2 DESIGNATION OF LOTS

Potential subsidence impacts will range from negligible to low towards the outer edge of the influence zone, increasing to a maximum over the mine workings which are located in the 430m to 500m depth range.

Specifically, all of the residential lots in Stage 9 have now been categorised with Lots 900, 903 to 924 inclusive spanning the fault zone and Lot 938 also having additional considerations due to the presence of Borehole NS 313.

Area 2A.1 outer part of influence zone - unrestricted
Lots 924 to 927 inclusive

Area 2A.2 central part of influence zone - restricted

Residences be designed to cater for 0.7 mm/m strain, 1.2 mm/m compression and ground tilts in the order of 1 in 500. Slab on ground residences to utilise waffle raft type foundations.

Lots 920 to 923 inclusive, 928 and 929

Area 2A.3 inner part of influence zone - restricted

Single storey slab on ground residences be designed from first principles to cater for 1.0 mm/m strain, 1.6 mm/m compression and ground tilts in the order of 1 in 310. Stump type residential construction will provide an acceptable lower risk alternative to slab on ground development if so desired by the purchasers.

Lots 915, 916, 919 and 930

Area 3A undermined - restricted

Single storey slab on ground residences be designed from first principles to cater for 1.0 mm/m strain, 1.6 mm/m compression and ground tilts in the order of 1 in 310. Stump type residential construction will provide an acceptable lower risk alternative to slab on ground development if so desired by the purchasers.

Lots 900, 902 to 914 inclusive, 917, 918, 931 to 948 inclusive and 9000

Area 4 fault zone - no permanent structures

Parts of the following lots include this area - Lots 900, 903 to 924 inclusive

Borehole NS 313

This borehole is located internal to Lot 938 rather than external to the lot as previously recommended. The capping procedure and certification of the borehole as well as any supplementary foundation design requirements are to be carried out by others.

In conclusion, the work in this report has found that most of the lots in Stage 9 are located within the undermined area (Constraint Area 3A) in 'blue', whereas some of the lots are located close to or over the edge of the mined area i.e. in Area 2A (= Area 2A.3) in 'yellow' and the rest of the lots are located in the central or outer parts of the influence zone in 'yellow'. Some of the lots include Area 4 and Lot 938 has a very deep borehole.

4.0 LIMITATIONS

This report, which may contain attachments in the form of plans, borehole record sheets, laboratory test results etc, must be read in its entirety.

The work in this report was produced for Ripley Projects P/L and their Associates on the basis of information available at the time of writing. This report will not contain sufficient information for other parties and purposes.

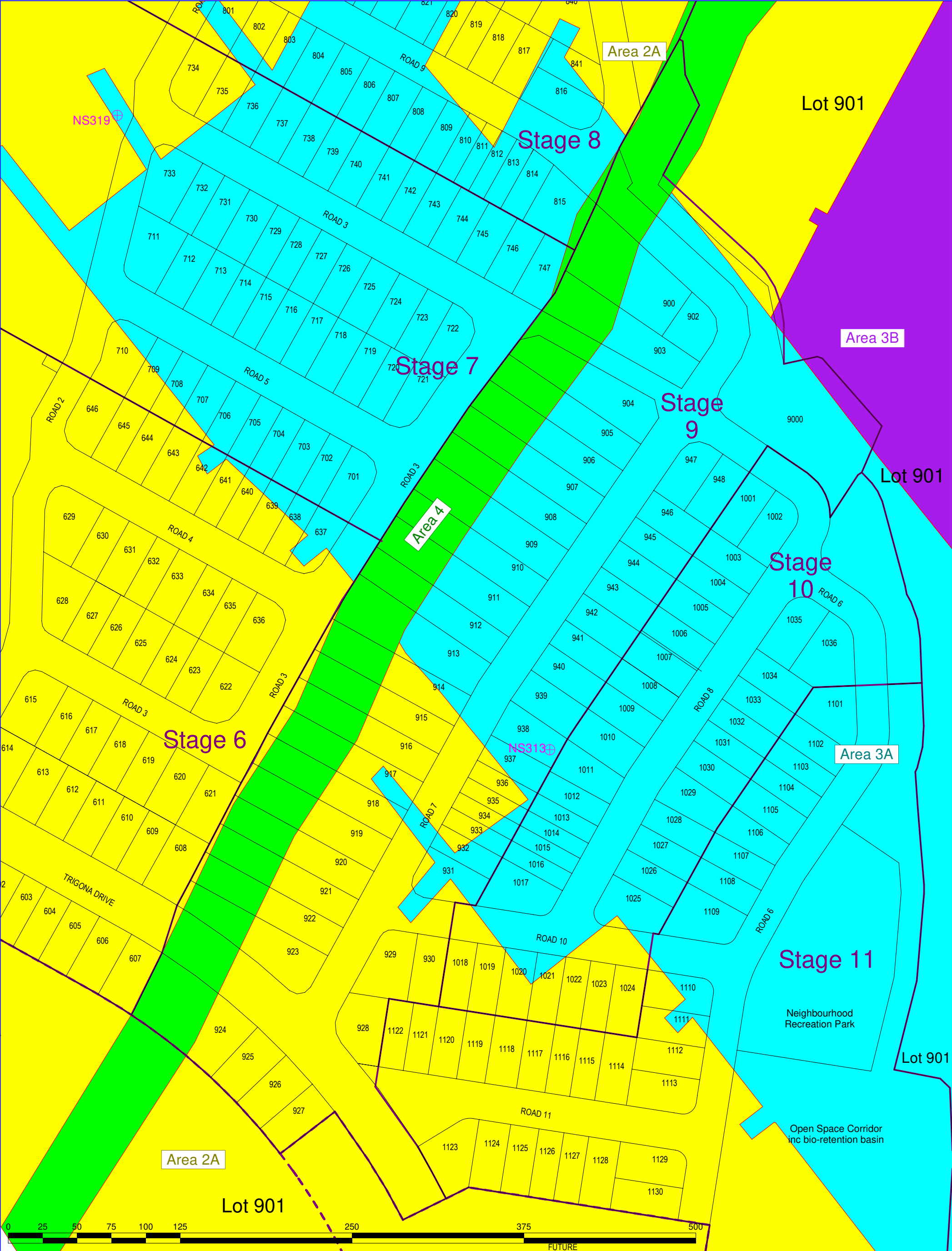
While care has been taken in producing this report, it needs to be said that there will always be some risk associated with building in these settings. Recommendations put forward in this report are aimed at minimising the risk.

This company accepts no responsibility for works which do not fully comply with the recommendations in this report.

MORETON GEOTECHNICAL SERVICES PTY LTD



K. B. GRUBB
M.App.Sc., MIE Aust., CP Eng., RPEQ 2811



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(Dealing No.)

WARNING : Folded or Mutilated Plans will not be accepted.
Plans may be rolled.
Information may not be placed in the outer margins.

4. Lodged by

(Include address, phone number, reference, and Lodger Code)

I. Existing		Created		
Title Reference	Description	New Lots	Road	Secondary Interests
51334243	Lot 901 on SP330535	900 – 948, 9000 & 9001	New Rd	Emts AC – AF

Easement V on SP330535 partially absorbed by New Road.

Easements N, O & AA on SP321876 to be surrendered prior to the registration of this plan.

MORTGAGE ALLOCATIONS

Mortgage	Lots Fully Encumbered	Lots Partially Encumbered
723185489	900 – 948, 9000 & 9001	–

ENCUMBRANCE EASEMENT ALLOCATIONS

Easement	Lots to be Encumbered
719118435 (Emt B on SP304922)	901
719778922 (Emt F on SP304911)	901
719778923 (Emt D on SP304911)	901
719778923 (Emt I on SP304911)	901
720781340 (Emt K on SP317868)	901
720781340 (Emt L on SP317868)	901
722682698 (Emt P on SP321876)	901
722682700 (Emt AB on SP321876)	901
722882950 (Emt V on SP330535)	901

ADMINISTRATIVE ADVICES

Administrative Advice	Lots to be Encumbered
710868523	900 – 948, 9000 & 9001

SURVEY REPORT

REINSTATEMENT

- Plans searched SP330535, IS318189 & SP321881.
- The base parcel has been fixed by measuring a number of original marks from previous plans (SP330535, IS318189 & SP321881).
- Sufficient original marks and reference from previous surveys were found and deed dimensions were available and adopted.

CONNECTION TO DATUM

- The underlying plans (SP330535, IS318189 & SP321881) are adequately connected to datum through GNSS observation and a Network RTK solution on a number of reference marks. By measuring these same marks directly and through measuring numerous other marks from SP330535, IS318189 & SP321881 this survey (SP330556) has sufficiently connected to datum.

900, 902 – 905 & 9001	Por 228
906 – 908, 947, 948 & 9000	Pors 228 & 231
909 – 921 & 931 – 946	Por 231
922 & 923	Pors 231 & 233
924 – 927	Por 233
928	Pors 232 & 233
929	Pors 231 – 233
930	Pors 231 & 232
901	Pors 227, 228 & 230 – 233
Lots	Orig

2. Orig Grant Allocation :

3. References :

Dept File :
Local Govt :
Surveyor : 3366–0051

5. Passed & Endorsed :

By : Survey Mark Pty Ltd
Date : 30-9-24 18:10:24
Signed : *[Signature]*
Designation : Cadastral Surveyor

6. Building Format Plans only.

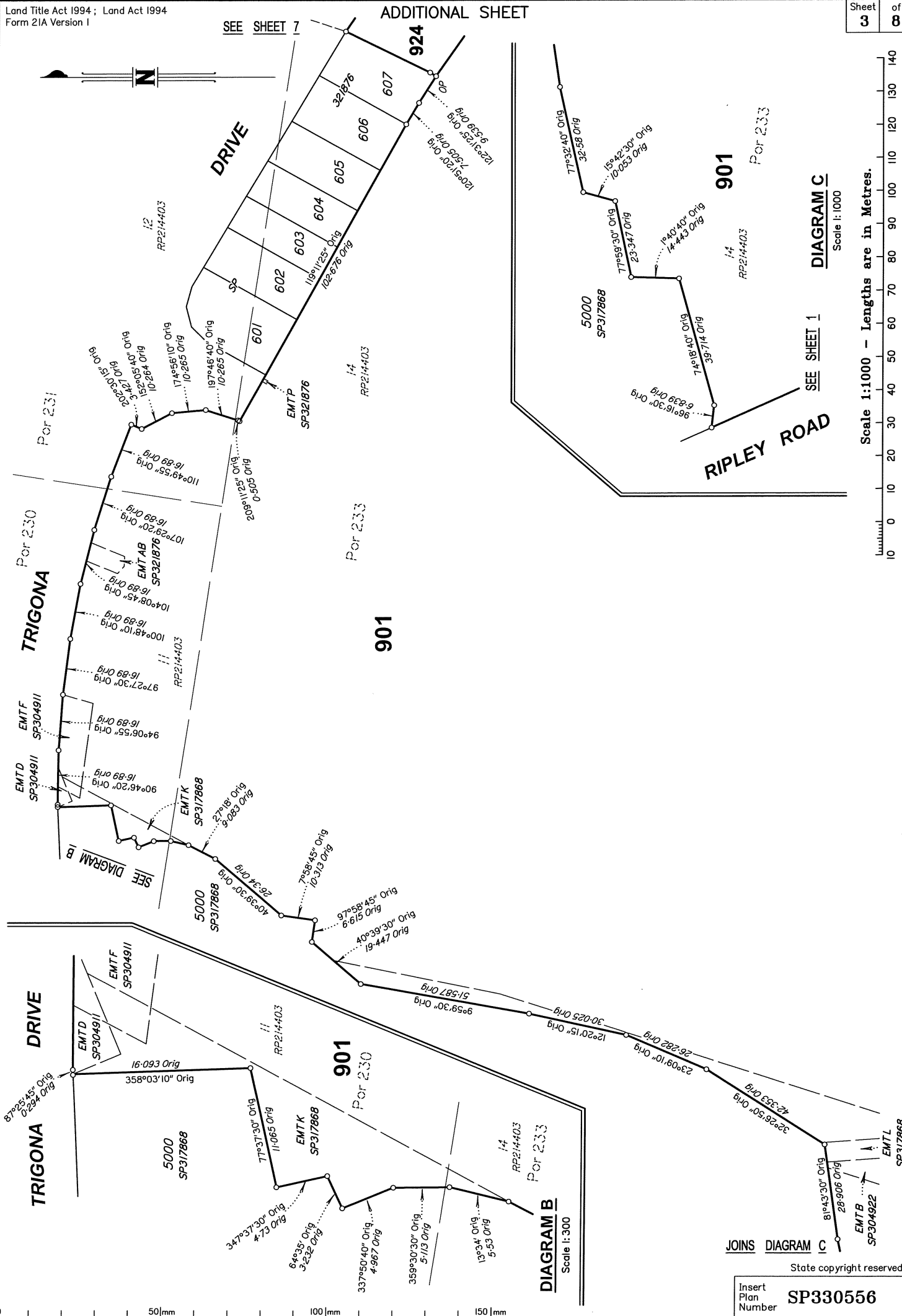
I certify that :
* As far as it is practical to determine, no part of the building shown on this plan encroaches onto adjoining lots or road;
* Part of the building shown on this plan encroaches onto adjoining * lots and road

Cadastral Surveyor/Director * Date
* delete words not required

7. Lodgement Fees :

Survey Deposit \$
Lodgement \$
.....New Titles \$
Photocopy \$
Postage \$
TOTAL \$

8. Insert Plan Number
SP330556



BOYLAND WAY

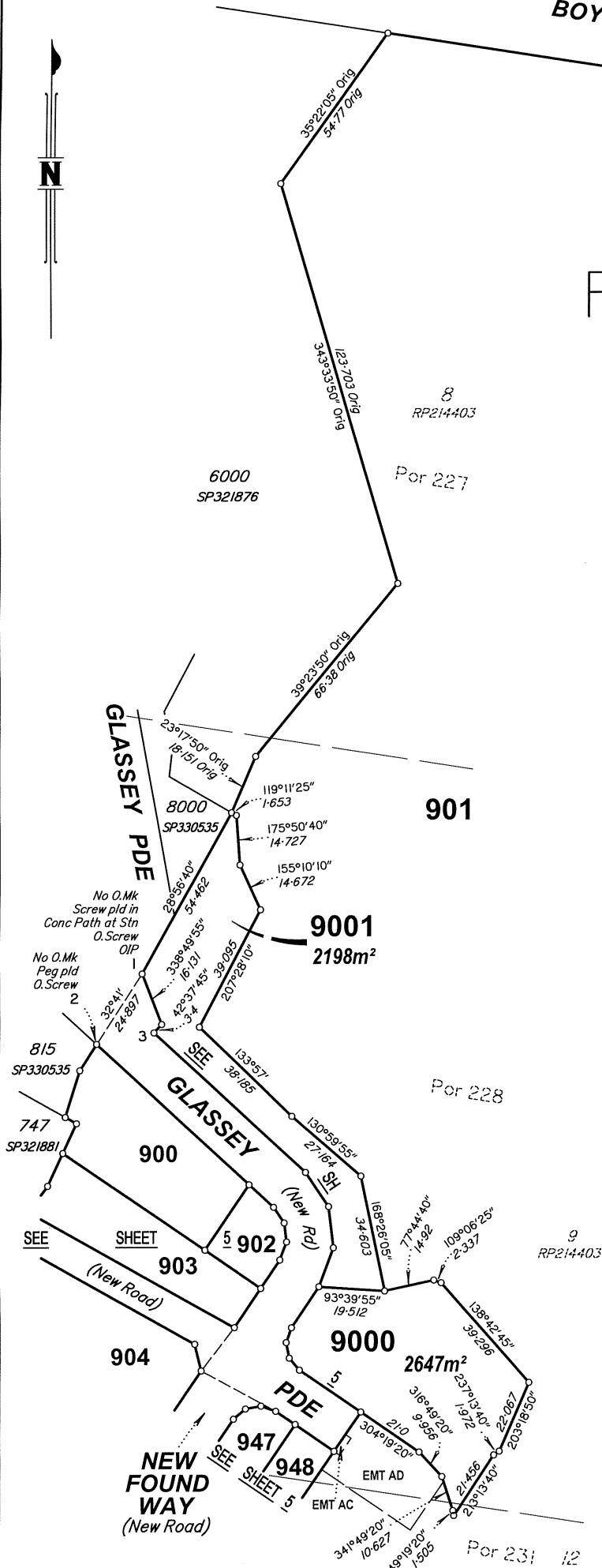
SEE SHEET 1

PERMANENT MARKS

PM	ORIGIN	BEARING	DIST	NO	TYPE
35-PM		170°07'	8-824	210281	Mini Mk

REFERENCE MARKS

STN	TO	ORIGIN	BEARING	DIST
1	O.Screw in Conc Ramp	SP330535	251°33'	2-844
1	OIP	SP330535	221°38'30"	5-995
2	Screw in M/H Surr	SP330535	0°46'	1-939
3	Screw in Kb		136°54'30"	28-841
4	Screw in Kb		186°45'	2-698
5	Screw in Kb		39°0'	4-11
6	I.Pin		112°14'	5-11
7	Screw in Kb		1°21'	4-112
8	Screw in Kb		283°33'	6-155
9	Screw in Kb		341°27'	6-093
9a	I.Pin		30°50'	0-352
10	Screw in Kb		295°25'	4-093
11	Screw in Kb		332°25'	4-294
12	Screw in Kb		76°54'	5-592
13	I.Pin		122°15'	0-766
14	Screw in M/H Surr		124°03'	2-054
15	Screw in Conc		328°49'	1-58
16	Screw in Kb		165°21'	5-42
17	Screw in Kb		340°14'	4-905
18	I.Pin		186°41'	0-861
18	Screw in Conc		262°43'	6-505
19	Screw in Kb		209°06'	4-329
20	Screw in M/H Surr		84°02'	4-792
21	Screw in Conc		31°25'	2-275
22	I.Pin		5°53'	0-551
23	Screw in Conc		307°07'	1-363
24	Screw in M/H Surr		170°55'	3-398
25	I.Pin		119°01'	1-011
26	Screw in Kb		280°42'	10-006
27	O.Screw in M/H gane	IS318189	183°22'	2-002
28	O.Screw in G/T	IS318189	322°50'	10-27
29	Screw in Kb		110°54'30"	9-257
30	Screw in Kb		7°21'	5-567
31	Screw in Kb		359°17'	8-247
32	Screw in Kb		301°05'	9-54
33	Screw in Conc		263°08'	5-892
34	Screw in Kb		277°48'	4-253
35	OIP	IS318189	323°32'	3-072
35	O.Screw in M/H Surr	IS318189	312°28"	8-913
36	OIP	SP321876	179°18'	5-217
37	O.Screw in Kb	IS318189	231°57'	12-294
38	O.Screw in Kb	SP321881	309°04'	4-229
39	OIP	SP321881	216°28'	0-976
39	O.Screw in M/H Surr	SP321881	287°23'	8-959

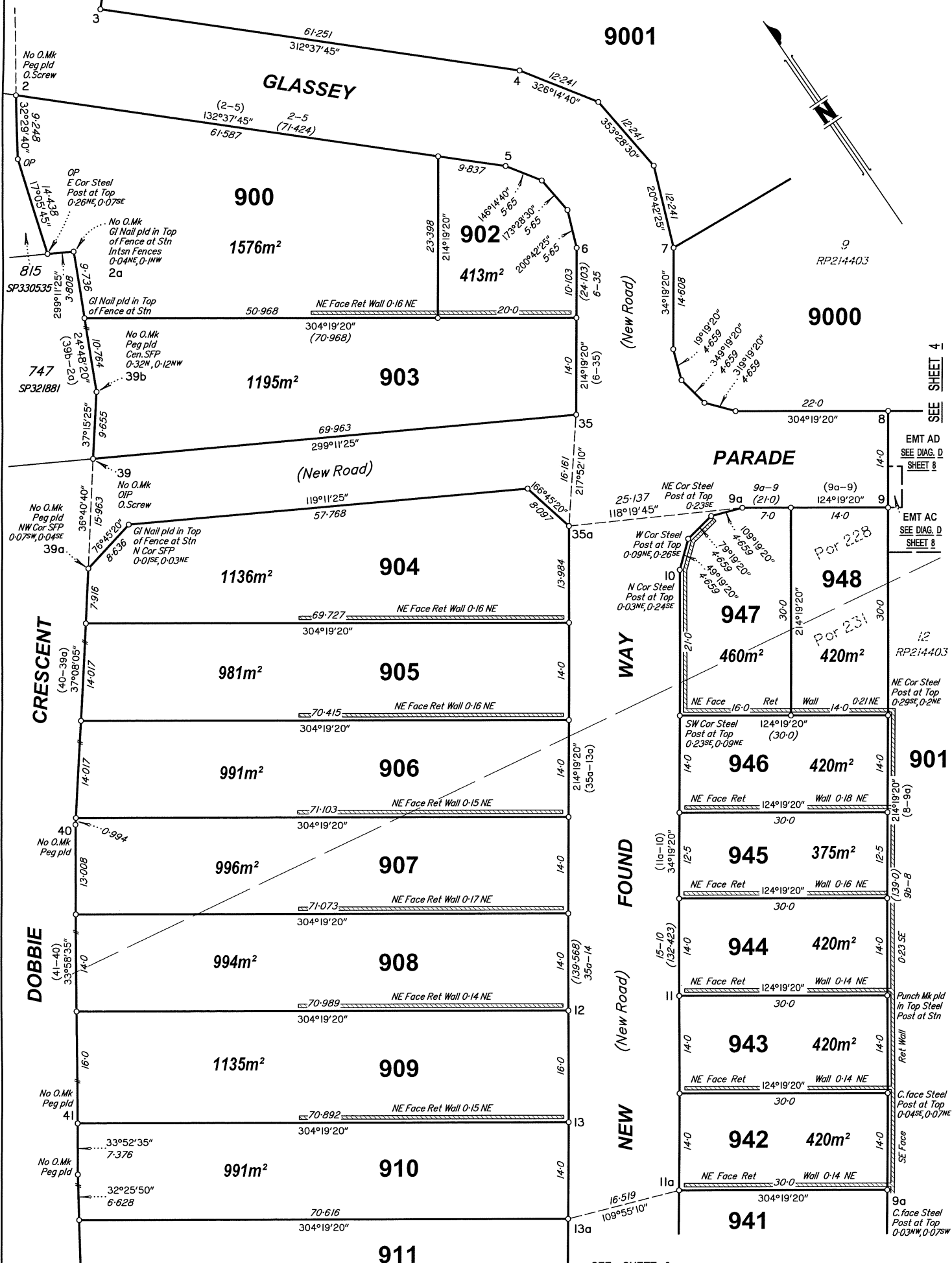


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Insert Plan Number **SP330556**

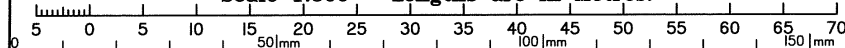
9001



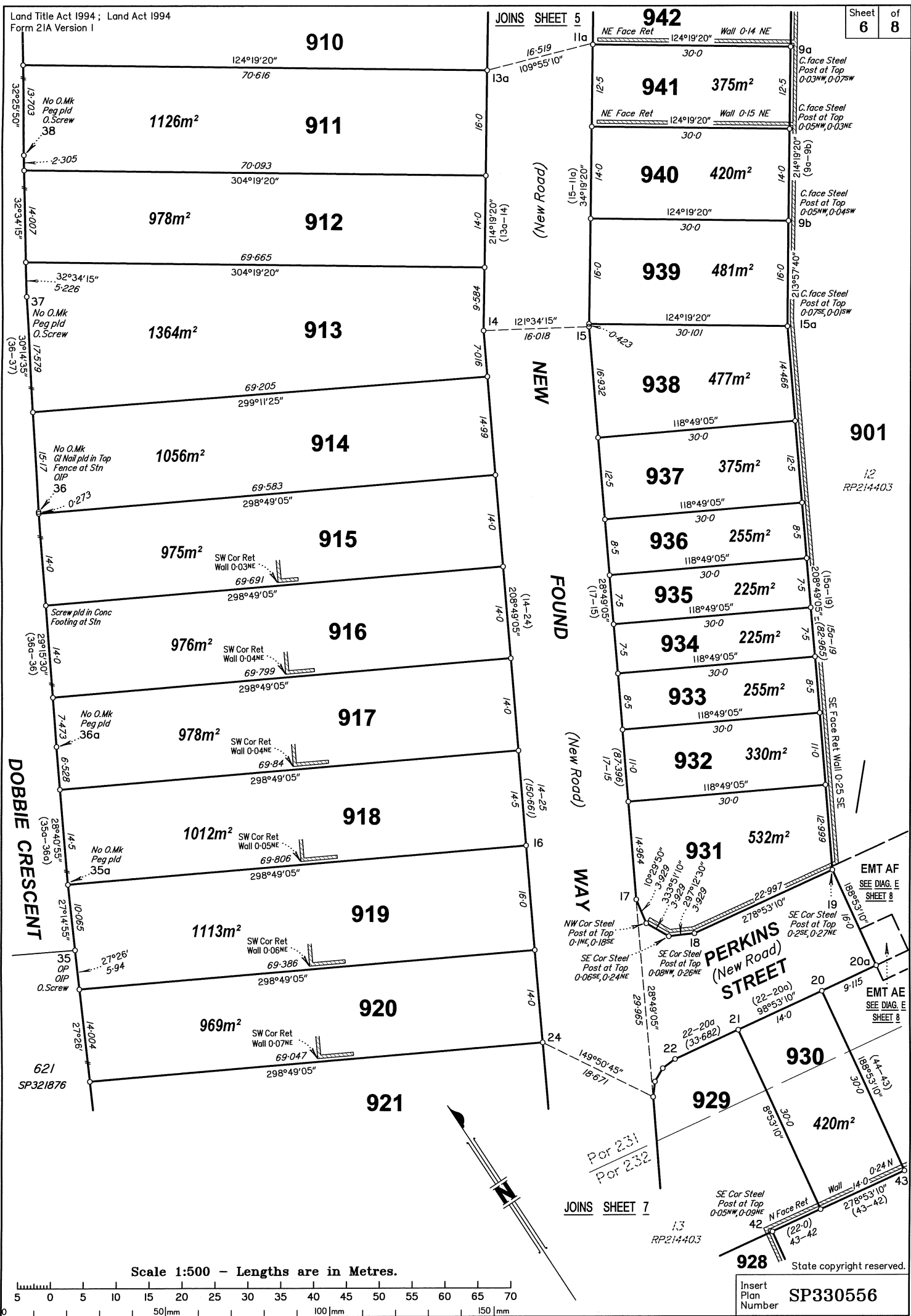
SEE SHEET 6

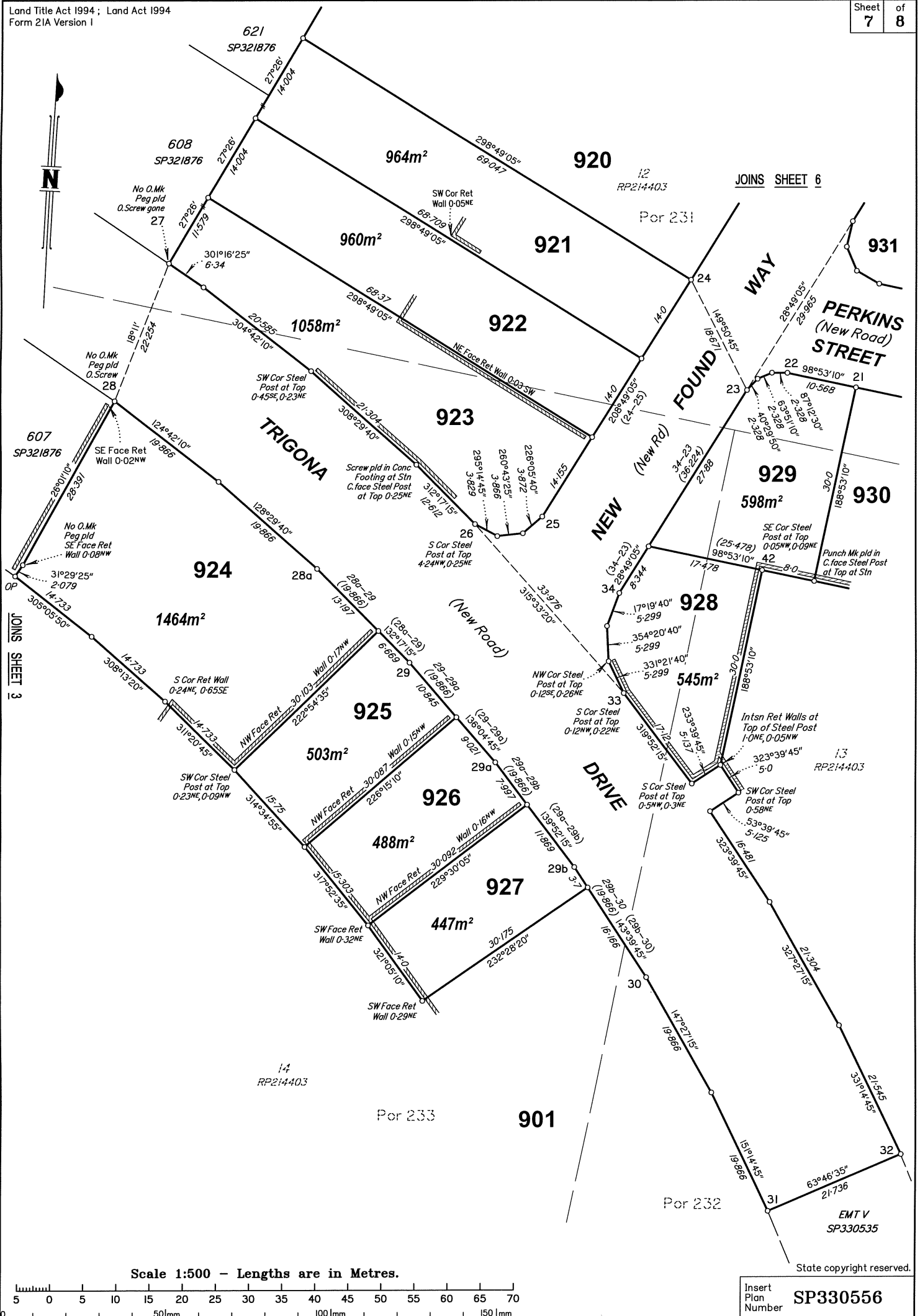
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SP330556





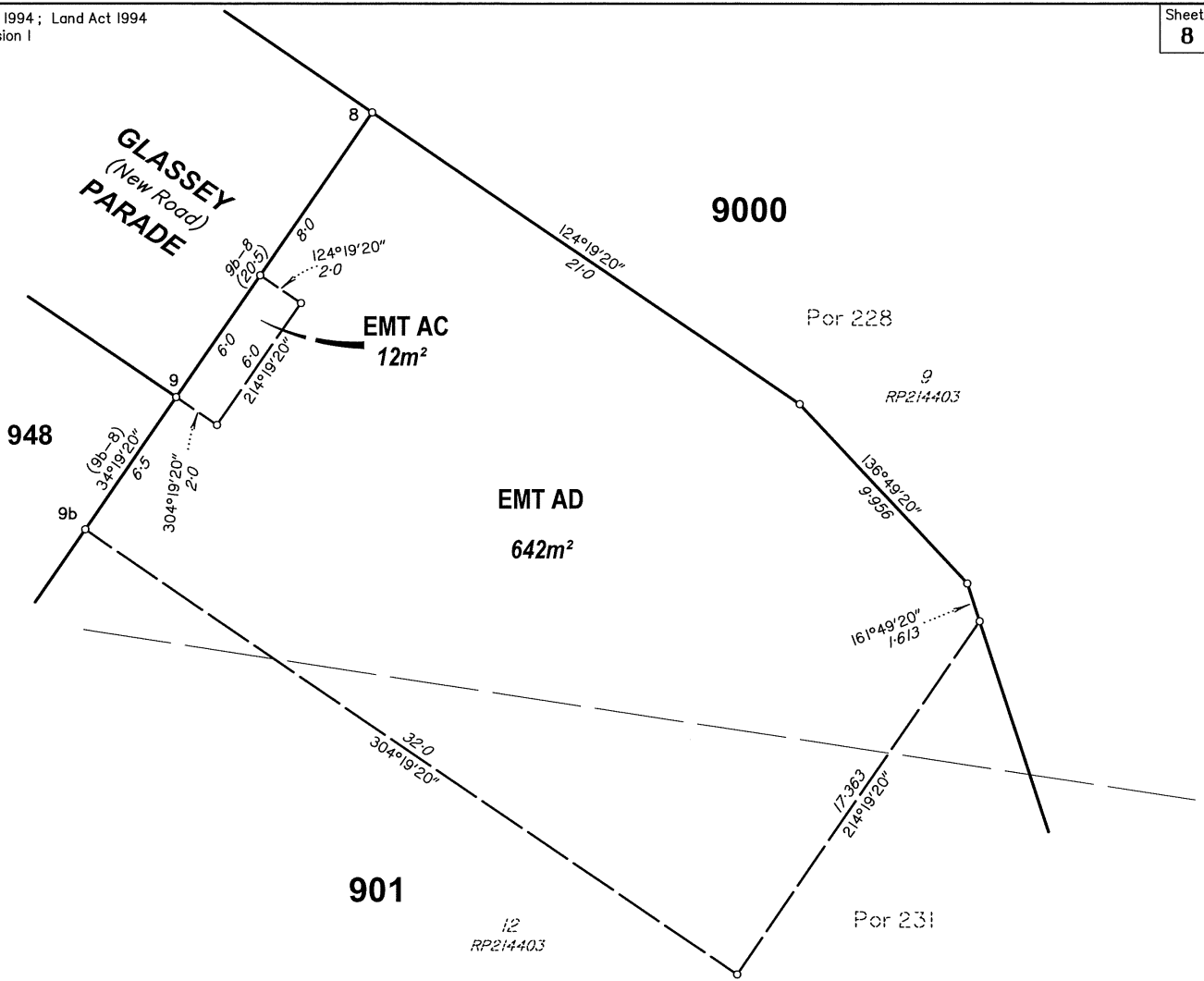


DIAGRAM D

Scale 1: 200

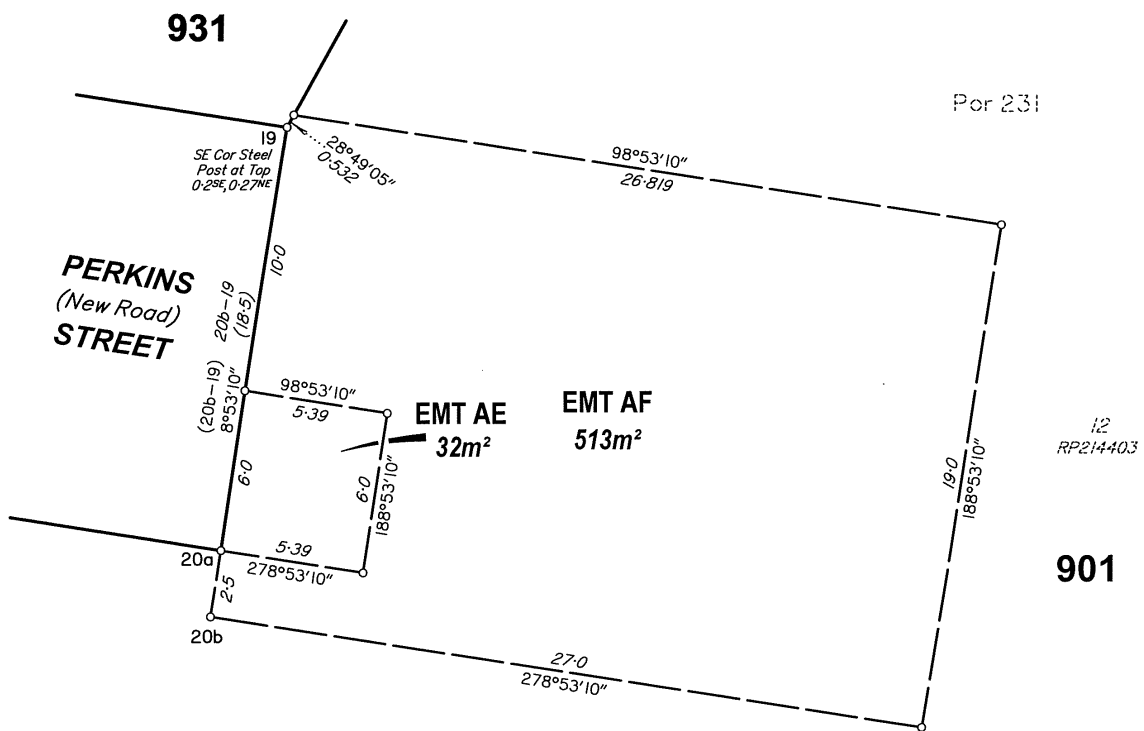
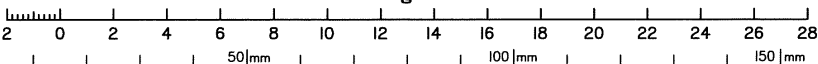


DIAGRAM E

Scale 1: 200

Scale 1:200 - Lengths are in Metres.



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Insert Plan Number
SP330556



CERTIFICATE OF COMPLETION

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Exchange Date: Not Applicable

No. of Signatures: 2

Signature Logs

Signer: Suhani Agarwal

Email Address: suhani.qld@gmail.com

Status: Signed

IP Address: 211.30.34.204

Supervised By:

Email Sent Date: 10/09/2025 03:41:15 PM (AEST)

Signed Date: 13/09/2025 11:06:05 AM (AEST)

Signature: *Suhani Agarwal*

Signer: Ashutosh Agarwal

Email Address: ashutosh.qld@gmail.com

Status: Signed

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Supervised By:

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Signed Date: 10/09/2025 05:01:44 PM (AEST)

Signature: *Ashutosh Agarwal*

Signer:

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Email Sent Date:

Signed Date:

Signature: