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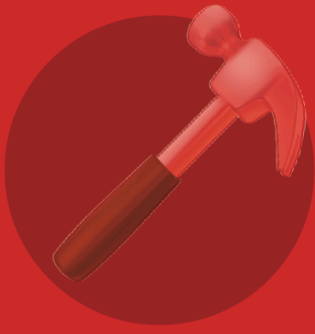
BUILDING INSPECTION REPORT

Statement of Passing Over: This building inspection has been supplied by the vendor in good faith. GRIFFIOEN. (Powered by Ownly Limited, Licensed REAA 2008) is merely passing over this information as supplied to us.

We cannot guarantee its accuracy as we have not checked, audited, or reviewed the information and all intending purchasers are advised to seek your own advice as to the information contained in this document.

Prospective purchasers are advised to seek their own independent advice as to the condition of the property either prior to, or as a condition of, purchasing the property.

To the maximum extent permitted by law we do not accept any responsibility to any party for the accuracy or use of the information herein.



RED LBP CONDITION REPORT

- ✓ Completed by a trade professional
- ✓ Full comprehensive written report
- ✓ Summary identifying any significant faults or defects in areas requested



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CONDITION REPORT



YOUR INSPECTOR



Jamie Chapman

Red LBP Inspector for Christchurch North

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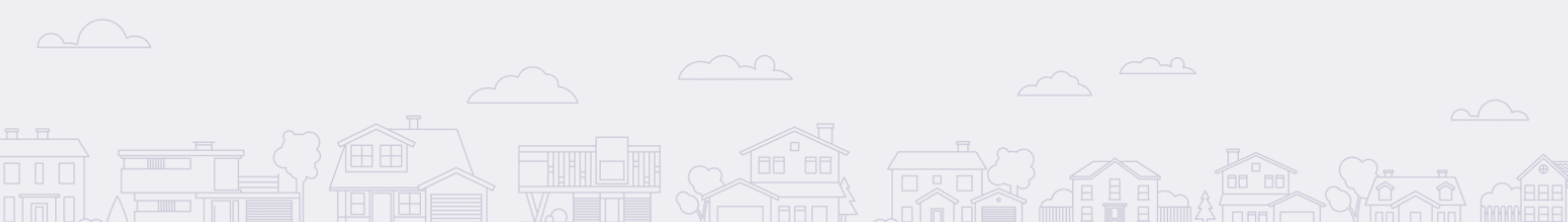
- ✔ **Licensed Building Practitioner (LBP)**
- ✔ **12 years experience working in the building industry**
- ✔ **2 years of international building experience in Brisbane**
- ✔ **Built spec homes while working as a foreman**
- ✔ **Known for punctuality and maintaining a strong reputation for quality work**

Hi, I'm Jamie, franchise owner and inspector for Red LBP Christchurch North.

I am a Licensed Building Practitioner and qualified builder with over 12 years of experience in the industry. Born and raised in Christchurch, I expanded my expertise in Brisbane, gaining two years of international building experience before returning home in 2017. I have built several spec homes in Christchurch while also working as a foreman, further refining my skills in construction management.

Recognising the need for a career shift that would allow me to stay within the industry I'm passionate about, I took the opportunity to invest in a Red LBP franchise. This role enables me to apply my extensive building knowledge to help clients make informed property decisions.

When I'm not conducting inspections, you'll find me out on my mountain bike or spending time with my wife and our two dogs. I take great pride in my professionalism, punctuality, and the reputation I've built within the industry.



ABOUT RED LBP

Red LBP is New Zealand's trusted network of experienced, Licensed Building Practitioners. We provide thorough, independent property inspections, ensuring buyers and homeowners have the knowledge they need to make informed decisions. With a commitment to quality, compliance, and customer confidence, Red LBP inspectors uphold the highest standards in the industry.

For more information, visit redlbp.co.nz.

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CONDITION REPORT

Property Address	299 Hills Road, Mairehau, Christchurch 8013
Client	John A Logan
Date of Inspection	16th September 2025
Time	11:30 am
Inspector	Jamie Chapman National Certificate in Carpentry
LBP Number	BP137228
People Present	Inspector, Owner
House Occupied	Yes



SCOPE OF REPORT, LIMITATIONS & CONDITIONS

WHAT'S INCLUDED

RedLBP building condition reports provide far more than a basic visual check. Each inspection is carried out by a Licensed Building Practitioner (LBP) with practical, real-world construction experience. Our inspectors know where to look and how to identify issues that may not be obvious.

Subject to the specific inspection scope requested by the client, the following areas may be assessed:

- Roof, cladding, and exterior condition
- Subfloor, foundations, and floor levels (spot-checked where accessible)
- Interior surfaces - walls, ceilings, floors, and joinery
- Roof cavity or attic space (where accessible)
- Plumbing and electrical systems (visual only)
- Presence of insulation (where visible)
- Non-invasive moisture testing
- Signs of movement, damage, or structural concerns

A written report is provided, including photographs, a summary of key findings.

INSPECTION, REPORT SCOPE & LIMITATIONS

Scope of Report

This report is limited to the specific aspects of the property requested by the client and constitutes a visual-only condition report. It is a snapshot of the property's condition at the time of inspection, conducted by a trade professional. It is not a complete building survey or a comprehensive defect list.

The purpose of the report is to identify visible significant faults or defects present at the time of inspection. These will be detailed in the Summary section as requiring maintenance or remedial works. Items deemed in acceptable condition for their age and type may not be individually reported on.

This report is not intended to replace assessments carried out by other specialists such as structural engineers, electricians, or weathertightness experts. If conditions warrant further evaluation, the report may recommend specialist input.

Inspection Limitations

- The inspection is visual and non-invasive. No destructive testing, dismantling of building components, or movement of personal items or furnishings will be performed.
- The inspector will not disturb vendor, tenant, or occupant possessions, and is not responsible for inaccessible or obscured areas (e.g. flooring hidden by rugs, subfloor blocked by stored items, etc.).
- Linings, insulation, and structural elements concealed within walls or sealed spaces are excluded unless specifically agreed otherwise.
- Moisture readings, where taken, are non-invasive and indicative only. Elevated readings do not confirm active leaks or decay. Further investigation by a specialist may be recommended.
- Plumbing and electrical systems are inspected visually only; no testing of services is performed.

REPORT VALIDITY AND USE

- This report reflects the condition of the property only at the date and time of inspection. The condition of the premises may change thereafter due to use, weather, or other factors.
- The report is intended solely for the named client and must not be relied upon by any third party.
- The content is based on the inspector's trade experience and professional opinion at the time of the inspection.
- This report must be read in its entirety. It may not be reproduced or distributed in part, nor altered or interpreted out of context.
- The client is encouraged to contact the inspector with any questions or for clarification of report content.

OWNERSHIP, COPYRIGHT & DISPUTES

- The report and its contents remain the intellectual property of RedLBP Ltd. The purchaser is granted a license to view and use the report for personal decision-making only.
- Any disputes regarding the report must be addressed in accordance with the terms and conditions accepted at the time of booking.
- RedLBP Ltd acts as franchisor only. All inspections are carried out by independent franchisees, who are solely responsible for their own work and reporting.

DISCLAIMER

This report is general in nature and is not intended as a compliance check for regulatory purposes or a guarantee of future building performance. It does not constitute a land or property survey. If additional detail or specialist input is required, the client should seek advice from relevant qualified professionals.

[RedLBP T&C's](#)

SUMMARY

The overall condition of the house is average. This is in context of the average condition of similar buildings of approximately the same age, type of construction and material type.

NZS4306:2005

3.2 The Property Report

A property report supplied by the inspector shall include the following

(I) A summary which includes an opinion as to the overall condition of the dwelling in the context of its age, type and general expectations of similar properties.

It is recommended to engage a Licensed Building Practitioner (LBP) specialising in roofing for a thorough assessment and report.

See the Roof System for more details.

There are cracks to the exterior cladding, in our view these need to be professionally repaired, as any cracks can allow moisture in behind the cladding and into the timber framing.

Refer to the Exterior Cladding section for further detail.

The toilet waste pipe appears to be leaking when viewing inside the subfloor. It is recommended to have a licensed plumber to inspect and advise further. Detailed further in the foundation section of this report.

Areas not inspected or accessed fully:

Roof space - Was only viewed from the access point.

Subfloor - Was only viewed from the access point.

Roof system - Was only viewed from the ladder.

Every effort will be made to carry out a safe and thorough inspection; however, inaccessible areas will be assessed from the best possible vantage point, with photographs taken to document all visible areas.

Faults have been identified in the report however, these are omitted from the executive summary due to not being a significant fault or a deferred maintenance issue. We kindly request that you review the report in its entirety.

Non-Structural Systems

Maintain a clear area around drainage systems by ensuring vegetation and soil are kept away. This helps to prevent blockages, maintain proper water flow, and reduce the risk of water pooling or drainage failure.

Regularly inspect and remove any overgrowth or debris that may obstruct the drainage.

PROPERTY IDENTIFIERS

Address	299 Hills Road, Mairehau, Christchurch 8013
Legal Description	FLAT 2 DP 65783 ON LOT 15 DP 13198 HAVING SHARE IN 916 M2
Certificate of Title	CB38C/1279
Land classification	Wind Zone - Low - BRANZ - GIS. Residential Suburban. Land Technical Category Two TC2
Weather	Fine
Soil	Dry
Site Exposure	Sheltered

BUILDING DESCRIPTION

The property was originally built in the 1950s and is located in Mairehau. It is a cross-lease title situated on a rear section that is flat.

The dwelling is one storey with three bedrooms and one bathroom. Internally, the property has heating that consists of a heat pump which is located in the living room. The water system is heated by gas. The internal linings are plasterboard and are decorated with paint. The floors are T&G timber and chipboard or similar with floor coverings being vinyl and carpet.

The foundation system is a perimeter concrete ring with piles with the dwelling being timber construction.

The exterior joinery is timber and aluminium and is single & double glazed. The property is clad with a block veneer with a stucco plaster and paint finish.

The roof is profiled metal. There is a garage, that is detached from the house, with single capacity. The driveway is concrete.

Generally, the property has a living aspect of north and includes hard landscaping that consists of a deck and concrete paths. Soft landscaping of lawn and gardens.

BUILDING ELEMENTS

Type	Inspected
Roof system	
Profiled metal	Limited access
Flashings & penetrations	Limited access
Guttering, downpipes, fascia & soffits	Limited access
Exterior cladding	
Block veneer with a plaster finish	Viewed
Exterior joinery	
Single-glazed timber joinery with timber reveals.	Viewed
Double-glazed aluminium joinery with timber reveals.	Viewed
Foundation	
Site-specific design for the era of construction	Limited access
Roof space	
Timber framed - roof	Limited access
Wall framing & non-invasive moisture testing	
Timber framed - wall	Not viewed
Interior linings	
Plasterboard ceiling and wall linings, timber trims and doors.	
Living and dining room	Viewed
Kitchen	Viewed
Hallway	Viewed
Bedroom 1	Viewed
Bedroom 2	Viewed
Bedroom 3	Viewed
Bathroom	Viewed
Laundry	Viewed
Outbuildings	
Garage	Limited access
Conservatory	
Conservatory	Limited access

ROOF SYSTEM

Roofing material - Profiled metal - Short run.

Coating - Painted.

Condition of roofing material coating - No visible issues at the time of the inspection.

Fixings - Nail.

Laps - Areas requiring maintenance, Refer to the photos below.

Corrosion or damage to the roofing material - Areas noted, refer to photos below.

Moss, mould or lichen - Minor areas were visible on the South side.

Defects - Refer to the photos below and the roof space section of this report.

Type of roof construction - Hip roof.

Pitch of roofs - 15 - 20 degrees.

Pitch appropriate for materials - Yes.

Deflections of roof planes - No visible deflections in the roof lines at the time of the inspection.

Every effort will be made to safely conduct a thorough inspection, however, if certain areas are inaccessible, they will be observed from the best available vantage point within the inspector's line of sight. Photographs will be taken to document all viewable areas for reference.

Recommendations:

It is recommended to engage a Licensed Building Practitioner (LBP) specialising in roofing to undertake a comprehensive assessment of the roof's condition and provide a detailed report. Without proper evaluation and timely repairs, undetected or unresolved roofing issues could lead to leaks, water intrusion, and subsequent damage to the underlying structures, insulation, and interior spaces. Over time, this could result in costly repairs, reduced energy efficiency, and compromised structural integrity. A thorough inspection ensures potential issues are identified and addressed promptly, safeguarding the long-term durability and performance of the roof system.



Photo 3

Profiled metal roof with nail fixings is located over the dwelling.



Photo 4

A few lifting lap joints were noticed around the roof system.



Photo 5

Example of a lifting lap joint and likely corrosion holes visible near the conservatory.

Flashings - Flashings as per their design are never completely visible, the inspector will view all areas accessible safely from a 3.6-metre ladder or safe vantage point.

Valleys - Viewable areas only.

Material type - Metal.

Finish - Painted.

Condition - Visible areas of corrosion.

Laps - No visible issues at the time of the inspection.

Hips - Viewable areas only.

Material type - Metal.

Finish - Painted.

Condition - Requires maintenance.

Laps - Refix down areas required.

Ridges - Viewable areas only.

Material type - Metal.

Finish - Painted.

Condition - Requires maintenance.

Laps - Refix down areas required.

Penetrations

Type - Pipes.

Flashing material - Lead.

Condition - Areas requiring maintenance.

Sealants - Signs of ageing.

Signs of leaking - Have an LBP in roofing report on repairs and maintenance required.

Recommendations:

As detailed above, it is recommended to have a licensed roofer to advise further on this roof system. Further information on this roof system is also described in the roof space section of this report.



Photo 6

Corrosion was visible under the lifting sheet join on the metal valley.



Photo 7

Gaps were visible between some metal hip flashings. This was common around the dwelling.



Photo 8

A couple areas of corrosion were also noticed on the metal hip flashings.



Photo 9

Example of the gaps visible on the metal hip flashing joints.



Photo 10

Silicone repairs and ageing were noticed around the southside vent penetration with lead flashing. Have a licensed roofer to advise further on this flashing.

Guttering

Type - External.

Material - Profiled metal.

Falls - Functional.

Fixings/brackets - Functional.

Obstructions - Clear at time of inspection.

Damage/Corrosion/Leaks - None visible at the time of inspection.

Adequate outlets - Yes - No visible issues.

Rainwater heads and droppers - No visible issues at the time of the inspection.

Moss and or lichen visible on or in the guttering system - None visible at the time of the inspection.

Downpipes

Material - uPVC.

Fixings - No visible issues at the time of the inspection.

Brackets - No visible issues at the time of the inspection.

Damage - No visible issues at the time of the inspection.

Leakage, blockages - No visible issues at the time of the inspection.

Discharge - Risers.

Fascia & bargeboards

Material - Timber.

Finish - Paint.

Damage & corrosion or rot - Areas requiring maintenance.

Soffits & eaves

Material - Fibrous cement sheeting.

Finish - Painted.

Damage, rot or corrosion - Areas requiring maintenance.

Soffit width from cladding to fascia - 400 - 500mm

Eaves & soffit widths measured from the external face of wall cladding to the outer edge of the overhang, including the fascia.

Recommendations:

There are areas of the timber fascia and fibre cement soffits that require sanding back any loose flakey paint, apply a sealer coat then redecoration to prevent further deterioration.

Maintenance recommendations:

At the time of the inspection, the gutters were found to be clear. To maintain proper drainage, it is crucial to ensure gutters remain free of debris. Blocked gutters can result in water overflowing and accumulating on the roof or other parts of the building, potentially causing water damage, leaks, and structural issues. Regular maintenance, such as removing leaves, twigs, and other debris, prevents blockages and ensures efficient water flow away from the roof, protecting the building's integrity.



Photo 11

Paint flaking on the fibre cement soffits and timber fascia boards were noticed around parts of the dwelling.



Photo 12

Example of paint flaking and timber splitting noticed on the south side of the dwelling.

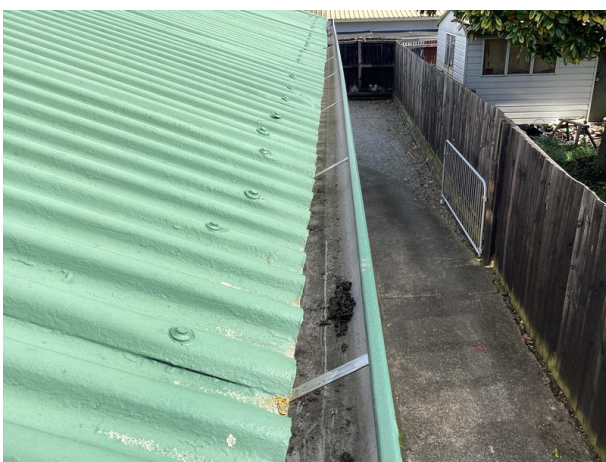


Photo 13

The metal gutter system was clean and clear at the time of the inspection.



Photo 14

A T join has been installed on the east side PVC downpipe. Blocking this off is recommended so the stormwater goes directly into the stormwater riser.

EXTERIOR CLADDING

Plastered

Substrate - Block veneer.

Finish - Stucco plastered.

Overall condition - Visible cracking.

Control joints - None.

Vertical cracking - Visible.

Cracking at window corners - None visible.

Horizontal cracking - Visible.

Staining or mould visible - Nothing visible.

Penetrations - Maintain all penetrations as required.

Ground clearances - Adequate ground clearances around the dwelling.

Recommendations:

There are cracks to the exterior cladding, in our view these need to be professionally repaired, as any cracks can allow moisture in behind the cladding and into the timber framing. Some of the cracking may relate to the lack of control joints and this can be determined by a exterior cladding specialist before carrying out the repairs.



Photo 15

Plaster over block veneer is located around the dwelling.



Photo 16

Vertical cracking was noticed on the west side of the dwelling.



Photo 17

It is recommended to appropriately seal around this west side cladding penetration.



Photo 18

It is recommended to seal along this plaster to fibre cement sheeting junction located near the laundry.



Photo 19

Unsealed penetration holes were visible on the South/West corner of the dwelling.



Photo 20

Unsealed penetration holes were noticed on the south side of the dwelling.



Photo 21

A horizontal crack was noticed on the south side of the dwelling.

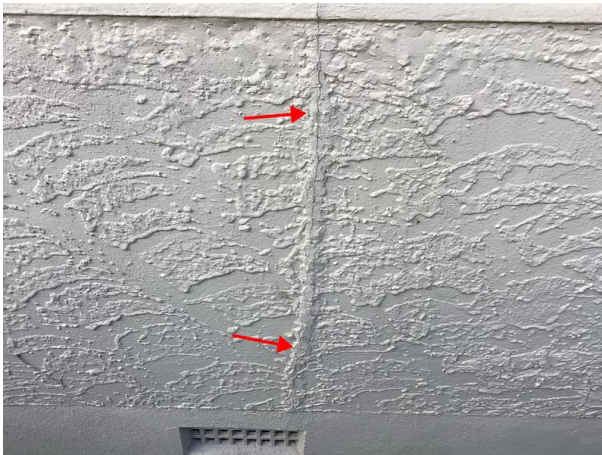


Photo 22

Recracking was noticed on the south side of the dwelling.



Photo 23

It is recommended to appropriately seal around this tap penetration.



Photo 24

Unsealed penetration holes were noticed on the north side of the dwelling.

EXTERIOR JOINERY

Single-glazed timber joinery.

Coating - Exterior - Painted. Condition - Areas requiring maintenance.

Putty/Beadings - No visible issues at the time of inspection.

Timbers - No visible issues at the time of the inspection.

Reveals - Timber.

Finish - Painted. No visible issues at the time of the inspection.

Coating - Interior - Painted. Condition - No visible issues at the time of the inspection.

Hardware - Functional at the time of the inspection.

Opening sashes - All functional at the time of the inspection.

Damage - None visible at the time of the inspection.

Defects - Refer to the photos below.

Recommendations:

Make sure paint is maintained and moisture is kept at a minimum.



Photo 25

Single glazed timber windows are located around some of the dwelling.



Photo 26

General ageing was noticed on some areas of the timber windows. Photo of the north side elevation.



Photo 27

The West dining room timber doors are due for general maintenance.



Photo 28

A couple window hinges around the dwelling had visible corrosion. Replacing these as part of future maintenance is recommended.



Photo 29

Timber windows viewed from inside the dwelling.



Photo 30

Some gaps were noticed between the timber window frame and windowsill. These areas have been sealed.

Double-glazed aluminium joinery.

Coating - Powder coated.

Joinery rubbers - No visible issues at the time of inspection.

Aluminium - No visible issues at the time of the inspection.

Hardware - Functional at the time of the inspection.

Tracks, drainage channels & weep-holes - No visible issue at the time of the inspection.

Reveals - Timber.

Finish - Painted. No visible issues at the time of the inspection.

Damage - None visible at the time of the inspection.

Scribers and/or seals - Sealed.

Maintenance recommendations:

To maintain proper water flow and prevent blockages, it is essential to keep tracks, drainage channels, and weep holes clear of debris. Regular cleaning ensures these critical drainage systems function effectively, protecting the building from potential moisture-related damage.



Photo 31

Double glazed aluminium windows are also located around the dwelling.



Photo 32

Ensure to keep the plaster to aluminium window junctions well sealed and maintained.



Photo 33

Aluminium windows viewed from inside the dwelling.

FOUNDATION

The subfloor space was viewed via the floor hatch located in the Laundry with approximately 40% visibility inside the subfloor.

The inspection was taken from the access hatch.

Please note this is a restricted access area for inspection due to current NZ legislation (Health & Safety at Work Act 2015). Every effort will be made to safely conduct a thorough inspection; however, if certain areas are inaccessible, they will be observed from the best available vantage point within the inspector's line of sight. Photographs will be taken to document all viewable areas for reference.

Foundation type - Site-specific design for the era of construction.

Foundation wall - Perimeter concrete beam.

Subfloor ventilation - Vents.

Piles - Concrete.

Condition of piles - Limited visibility of subfloor structure, only line of sight viewed from the access point.

Sub-floor timbers, type and condition - Suspended timber floor. Timber treatment was not tested. Limited visibility of subfloor structure, only line of sight viewed from the access point.

Flooring - type and condition - Timber flooring - Flooring type only visible at the access point.

Insulation - Polystyrene and polyester.

R value of insulation - R1.5.

Coverage - Acceptable.

Ground cover - Polythene - Tidy where visible.

Ground condition - Not visible below the dwelling due to the presence of the moisture barrier.

Underfloor Space - Tidy.

Electrical - Modern TPS (Tough Plastic Sheath) wiring visible

Non-Electrical wiring - Aerial/Data - Visible - Unsupported.

Plumbing - Waste and water pipes visible - Supported.

Plumbing type - Galvanised, polybutylene - Grey, uPVC and lagged, so not visible.

Structural alterations - Yes. From inside the subfloor it looks like the north end of the dining room has been extended at some point since this dwelling was originally built.

Sub-floor Clearance - Where visible - 450 mm below the bearer.

Defects - Refer to the photos below.

The property had an overall level difference of 35mm (where measured) with a self-levelling laser.

This is not a floor level survey and only a spot-check.

The floor levels were checked using a self-levelling laser and are within acceptable tolerances as set out by MBIE.

There are indications of undulations and minor slopes at random locations, however, this is to be expected of older properties.

Tolerances as per MBIE guide to tolerances, materials and workmanship in new residential construction 2015. as per below:

- Finished floor slope no more than 1:200 = 5 mm per 1 metre - MBIE

Ministry of Business, Innovation and Employment (MBIE)

Recommendations:

As viewed in the photos below, signs of leaking were noticed coming from the toilet waste pipe. It is recommended to have a licensed plumber to inspect and advise further.

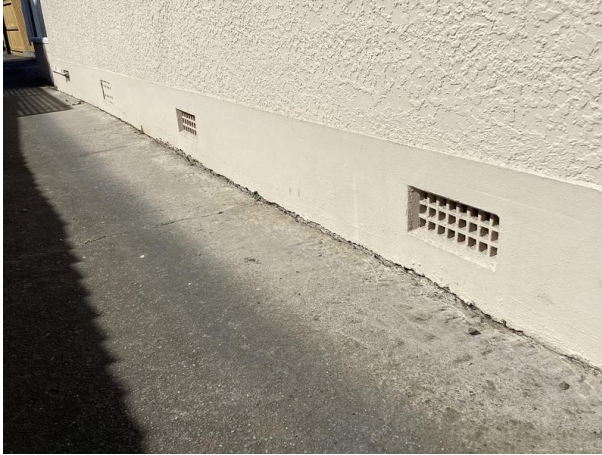


Photo 34

A concrete ring foundation with vent holes is located around the dwelling.



Photo 35

A couple vent holes were blocked by the timber deck on the west side of the dwelling.



Photo 36

It is recommended to seal some vent holes to avoid rodents from entering into the subfloor.



Photo 37

The floor levels were spot checked around the dwelling using a self levelling laser.

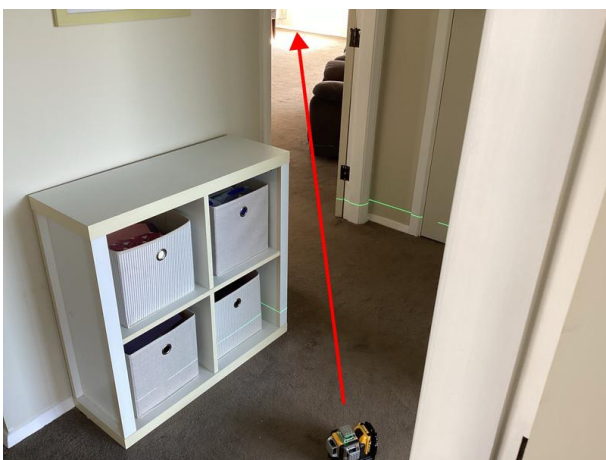


Photo 38

A 20mm difference was noticed from the hallway to the North end of the dining room over a 10m distance.



Photo 39

A 15mm difference was also noticed over a 4.3m distance in the other direction of the previous photo from the hallway into bedroom 2. A total of 35mm was noticed over the dwelling.



Photo 40
View of inside the subfloor.



Photo 41
Signs of leaking was coming from the toilet waste pipe in the subfloor. See the next photo.



Photo 42
Example of the water ponding visible on top of the ground moisture barrier near the toilet waste pipe in the subfloor.



Photo 43

Polystyrene and polyester installation was visible inside the subfloor.



Photo 44

Insulation label located in the subfloor.



Photo 45

Corrosion around some galvanized plumbing joints were visible in the subfloor. It is recommended to have a licensed plumber to advise further.

ROOF SPACE

The ceiling space was viewed from the top of a ladder via a manhole located in the hallway.

Every effort will be made to safely access and inspect the roof space, however, if certain areas are inaccessible, they will be assessed from the best available vantage point within the inspector's line of sight. Photographs will be taken to document visible areas for reference. It is important to note that not all parts of the roof structure may be visible during the inspection. The primary objective is to identify any significant defects observable through a visual assessment of accessible areas.

Roof frame construction and connections - Pitched timber framing. Connections were not all visible.

Condition - Moisture issues.

Roofing underlay - Timber sarking. Condition - Moisture damage visible.

Structural alterations - None visible.

Ceiling construction - Not visible.

Vermin and insects - No visible signs during the inspection.

Electrical - Modern TPS (Tough Plastic Sheath) wiring visible

Non-Electrical wiring - Aerial/Data - Visible - Unsupported.

Plumbing - Heat pump piping visible and decommissioned lagging.

Plumbing type - Galvanised.

Insulation - Polyester.

Thickness of insulation visible - Over 150mm.

Coverage - Blanket - Fitted between or over joists - Full coverage where visible.

Discharges into the roof space - None.

Stored items - No.

Defects - Refer to the photos below.

Regular maintenance of the property should include periodic visual inspections of the roof space through the manhole. These checks are essential to identify potential issues such as water leaks, signs of pest infestation, or other structural concerns. Conducting these inspections can help detect problems early, allowing for timely repairs and preventing more significant damage or costly remedial work in the future.

Recommendations:

As viewed in the photos below, and in the roof system section of this report, defects on the roof system and possible moisture staining inside the roof space was noticed. It is recommended to have a licensed roofer to inspect and advise further on this roof system.



Photo 46

View from inside the roof space.



Photo 47

Some screw fixings below the ridge capping near the manhole were missing the timber purlin.



Photo 48

A couple areas of corrosion were also identified on the profiled metal roof viewed from inside the roof space.



Photo 49

Areas of visible timber staining was noticed throughout this roof space on the timber roof framing.



Photo 50

Example of the discolouring and staining noticed on the timber sarking boards.

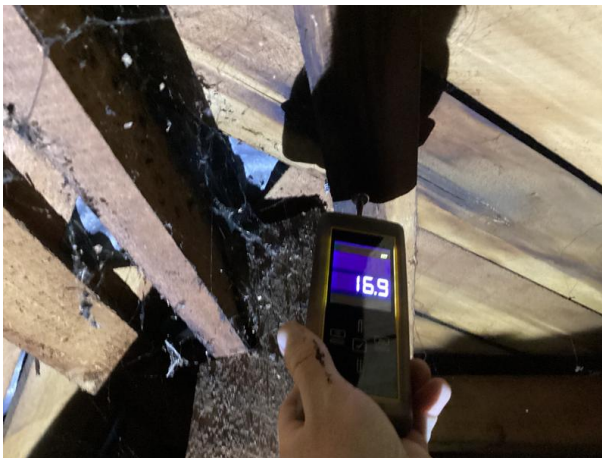


Photo 51

However, these areas were moisture tested with no elevated moisture readings detected where I was able to reach at the time of the inspection.



Photo 52

Acceptable coverage of insulation were visible in the roof space.

WALL FRAMING & NON-INVASIVE MOISTURE TESTING

A base reading was taken to an interior wall using the non-invasive moisture metre - 23.0

Trotec T660 Moisture Metre is used for the testing of moisture levels in the dwelling. At the time of the inspection non-invasive internal surface moisture tests were completed, this was consistent throughout the house with no abnormalities.

The ensured values are only to be interpreted as indicators (dry, damp, wet).

0>50 = Dry

50>80 = Damp

80> = Wet

The condition of the timber framing is unknown.

No indications of elevated moisture readings were detected. 'Supplementary' moisture testing photos are a representative sample of the comprehensive testing conducted.



Photo 53

Example of a base reading that was taken on an internal wall. This is the average moisture reading for this dwelling.

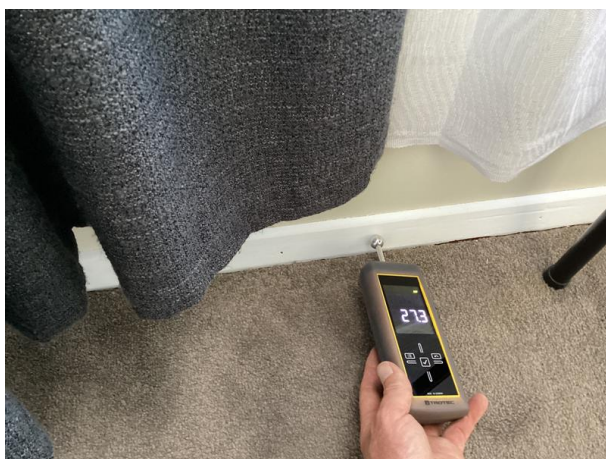


Photo 54

Moisture testing was done around the external walls of the dwelling.



Photo 55

Moisture testing was done around the external window joinery.



Photo 56

Example of moisture testing being carried out around the window joinery.



Photo 57

Moisture testing was done around plumbing and wet areas.

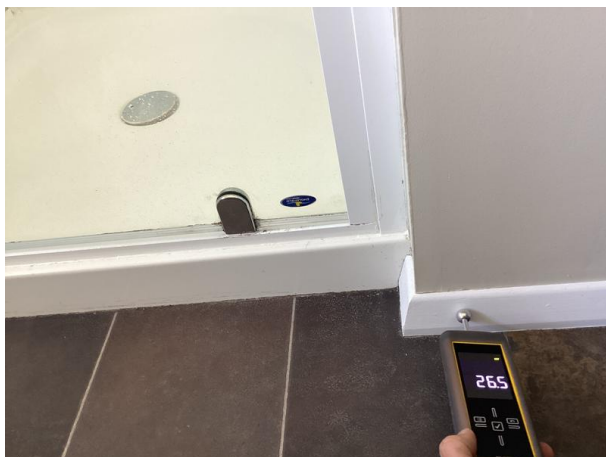


Photo 58

Example of moisture testing being carried out around wet areas.

INTERIOR LININGS

Plasterboard ceiling and wall linings with a paint finish, timber trims and doors with a paint finish, carpet and vinyl floor coverings.

The inspection and resulting report are not intended to comprehensively identify or describe minor faults or minor defects. A minor fault or minor defect is a matter which, in view of the age, type or condition of the residential building, does not require substantial repairs or urgent attention and rectification and which could be attended to during normal maintenance. Minor faults and defects are common to most properties and may include minor blemishes, corrosion, cracking, weathering, general deterioration, unevenness, and physical damage to materials and finishes.

Recommendations:

There are areas to most of the home's interior that are not viewable due to personal belongings and furniture obstructing the view under or behind. These areas should be checked for defects on handover inspection. RedLBP has no liability for defects and damages not being able to be viewed.

Living and dining room

Ceiling linings - Plasterboard and Softboard tiles - Paint finished.

Ceiling wall junction - Scotia.

Wall linings - Plasterboard - Paint finished.

Exterior joinery - Timber - Single-glazed - Standard glass - Painted timber reveals.

Internal doors - Hollow core.

Floor coverings - Carpet.



Photo 59
Living room.



Photo 60
Dining room.

Kitchen

Ceiling linings - Plasterboard - Paint finished.

Ceiling wall junction - Scotia.

Wall linings - Plasterboard - Paint finished.

Exterior joinery - Timber - Single-glazed - Standard glass - Painted timber reveals.

Internal doors - Hollow core.

Benchtop - Sealed to cabinet/wall junction - Yes.

Benchtop material - Laminate.

Benchtops level - Yes.

Damage - None visible at the time of the inspection.

Cabinetry - Functional - Yes. Material type - Laminate.

Cabinetry requires maintenance - Yes.

Water hammer - No noise or vibration noted.

Sink - Leaks or visible issues - No.

Faucet functional - Yes.

Type of plumbing - uPVC waste

Heat shield - Tempered glass.

Cooktop - Gas - Checked. Functional - Yes.

Oven - Powered on only - Functioning - Yes.

Mechanical ventilation - Functional - Yes.

Floor coverings - Vinyl.

Dishwasher - Functional - Yes. This was powered on only, not run through a cycle.

It is outside the scope of this report to check the operation and performance of the appliances, these are checked only for power connection. It is recommended that appliances are serviced regularly to ensure proper safe operation.



Photo 61
Kitchen.

Hallway

Ceiling linings - Plasterboard - Textured finish.
Ceiling defects - Cosmetic issues.
Ceiling wall junction - Square stopped.
Wall linings - Plasterboard - Paint finished.
Internal doors - Hollow core.
Floor coverings - Carpet.
Cupboards - Single - Door - Hollow core.



Photo 62
Hallway.

Bedroom 1

Ceiling linings - Plasterboard - Paint finished.
Ceiling wall junction - Scotia.
Wall linings - Plasterboard - Paint finished.
Exterior joinery - Aluminium - Double-glazed - Standard glass - Painted timber reveals.
Internal doors - Hollow core.
Floor coverings - Carpet.
Cupboards - Double - Doors - Panel.



Photo 63
Bedroom 1.

Bedroom 2

Ceiling linings - Plasterboard - Paint finished.

Ceiling wall junction - Coving.

Wall linings - Plasterboard - Paint finished.

Exterior joinery - Aluminium - Double-glazed - Standard glass - Painted timber reveals.

Internal doors - Hollow core.

Floor coverings - Carpet.

Cupboards - Double - Doors - Panel.



Photo 64
Bedroom 2.

Bedroom 3

Ceiling linings - Plasterboard - Paint finished.

Ceiling wall junction - Scotia.

Wall linings - Plasterboard - Paint finished.

Exterior joinery - Aluminium - Double-glazed - Standard glass - Painted timber reveals.

Internal doors - Hollow core.

Floor coverings - Carpet.

Cupboards - Double

Defects - Refer to the photos below.



Photo 65
Bedroom 3.



Photo 66
The bedroom three internal door requires adjusting for better functionality.

Bathroom

Ceiling linings - Plasterboard - Paint finished.

Ceiling wall junction - Scotia.

Wall linings - Plasterboard - Paint finished.

Exterior joinery - Aluminium - Double-glazed - Safety glass - Painted timber reveals.

Internal doors - Hollow core.

Floor covering - Vinyl.

Cistern & pan - Floor mounted. Tested - Functional - Yes.

Single or dual flush - Dual.

Vanity - Floor mounted.

Taps and waste - Functional - Yes.

Leakage - None visible at the time of the inspection.

Type of plumbing - uPVC waste

Splashback - Upstand.

Shower - Enclosure. No visible moisture issues.

Glass type - Safety.

Shower pressure - Adequate.

Water hammer - No noise or vibration noted.

Leaks from shower fittings - No.

Mechanical ventilation - Functional - Yes.

Heating - Yes.

Heated towel rail - Yes.

All wet areas, due to being exposed to water have the risk of water damage to surrounding elements that cannot be seen.

The common fail areas of the shower and plumbed areas were checked for indications of elevated moisture. Moisture levels were within the normal range.

The inspection of showers is limited to testing only using the provided shower rose or handheld rose from outside the shower enclosure, this limits the ability to find leaks.

The statement regarding the shower pressure (adequate or inadequate) reflects the inspector's opinion based on the pressure observed during the inspection and is subjective to their judgment.



Photo 67
Bathroom.

Laundry

Ceiling linings - Timber - Paint finished.

Ceiling wall junction - Scotia.

Wall linings - Plasterboard - Paint finished.

Exterior joinery - Aluminium - Double-glazed - Standard glass - Painted timber reveals.

Internal doors - Timber and glass.

Floor coverings - Vinyl planking.

Laundry tub/sink - Powder-coated metal cabinet with a stainless steel tub. Not secured in place.

Taps & waste - Functional - Yes.

Leaks - As noted in the photos below.

Type of plumbing - uPVC waste

Washing machine discharge - To the waste under the tub.

Water hammer - No noise or vibration noted.

Cabinets - No visible issues.

Ventilation - Opening door or window. Mechanical - None.

Defects - Refer to the photos below.



Photo 68
Laundry.



Photo 69
The laundry tap was leaking and requires replacing.

OUTBUILDINGS

Garage

Foundation system - Concrete slab on grade.

Timber construction.

Cladding - Metal profiled weatherboard.

Exterior joinery - Timber and pressed metal - Single-glazed Standard glass - Painted timber reveals.

Roofing - Profiled metal.

Linings - None.

Garage door - Tilt door - Single - Aluminium.

Lights/Switch - Light not working.

Electrical sockets - Not tested.

Internal doors - Refer to the photos below.

Defects - Refer to the photos below.

Recommendations:

Regular maintenance as per the main dwelling is required.



Photo 70
Garage.



Photo 71
Metal dents and defects were noticed around the garage.



Photo 72

It is recommended to connect the garage downpipes to an approved stormwater system.



Photo 73

Recommend lowering the stones on the south side of the garage so it is below the garage cladding.



Photo 74

General ageing was noticed on the timber windowsills.



Photo 75

Metal roof with screw fixings is located over the garage.



Photo 76

View of inside the garage. Limited inspection due to personal belongings.



Photo 77

Corrosion was visible on the metal cladding weatherboards viewed from inside the garage.

CONSERVATORY

Conservatory

Exterior joinery - Single-glazed aluminium.

Coating - Anodised.

Condition of the joinery - No visible issues at the time of the inspection.

Rubbers and seals - No visible issues at the time of the inspection.

Hardware - No visible issues at the time of the inspection.

Tracks, drainage channels & weep-holes - Clear of debris at the time of inspection.

Access door - Aluminium slider.

Roofing - Polycarbonate.

Roofing condition - Areas requiring maintenance.

Cladding to soffit junctions - Areas requiring maintenance.

External flashings - No visible issues at the time of the inspection.

Closed off from the home - Yes.

Recommendations:

Regular maintenance as per the main dwelling is required.



Photo 78
Conservatory.



Photo 79
It is recommended to connect the conservatory downpipe to an approved stormwater system.



Photo 80

There were gaps between the conservatory and the dwelling noticed. It is recommended to seal these junctions.



Photo 81

It is recommended to reinstall the conservatory gutter end capping.



Photo 82

View of the conservatory roof. Minor areas of moss, mould or lichen was noticed.



Photo 83

Ensure to keep the conservatory roof to timber fascia board junction well sealed and maintained.



Photo 84

View of inside the conservatory.



Photo 85

The Northside Conservatory window was difficult to open and close. Adjustments are recommended for better functionality.

NON-STRUCTURAL SYSTEMS

The following is a summary of the non-structural systems in the dwelling:

Driveway

Boundary Fences

Paths

Deck

**Plumbing, Drainage &
Sewerage**

Heating

Services

Electrical

DRIVEWAY

Plain concrete.
Saw cuts - Yes.
Cracking - Areas of cracking visible.

Recommendations:

General upkeep and maintenance of driveway by cleaning and keeping free of debris.



Photo 86

Concrete cracking was noticed in the driveway.



Photo 87

A timber bridge is also located on the driveway. Under this was not viewed or inspected. However, general ageing and timber splitting was noticed on top.

BOUNDARY FENCES

Painted timber palings fixed to timber rails with concrete and timber posts.

Condition of cladding - Palings loose or missing.

Alignment - No visible issues.

Post and rail condition - No visible issues.

Average height - 1.8 metres.

Recommendations:

Ensure regular upkeep and maintenance by keeping vegetation and soil away from exterior timbers. These timbers are treated for external exposure but are not designed for prolonged contact with vegetation or soil, which can trap moisture and accelerate rot. Periodically inspect the area and clear any overgrowth or soil buildup.



Photo 88

The timber fences are in a condition expected for age.

PATHS

Plain concrete paths.

Recommendations:

General upkeep and maintenance.



Photo 89

No significant issues with the concrete paths.

DECK

Timber deck over timber substrate with nail fixings.
Connected to dwelling - Unknown.
Condition of visible timbers - In a condition expected for age.
Defects - Refer to photos.

Recommendations:

General upkeep and maintenance.

Trim back the decking from the wall cladding, the decking should be a minimum of 12mm off the wall cladding to prevent water pooling against the cladding and deteriorating the building elements.



Photo 90
West side timber deck.



Photo 91
Normally the deck would have been kept 12mm off the dwelling.

PLUMBING, DRAINAGE & SEWERAGE

Gully traps and stormwater risers.

Water source - Town supply. The water toby is located on the footpath .

Sewerage Disposal - Council sewer.

Water heating

Type - Gas califont.

Capacity - Continuous flow.

Approximate age - Unknown.

Area serviced - Entire house.

Any visible defects - None visible.

The general adequacy of site drainage is not included in the report. Comments on surface water drainage are limited as where there has been either little or no rainfall for a period of time, surface water drainage may appear to be adequate but then during periods of heavy rain, may be found to be inadequate. Any comments made in this section are relevant only in light of the conditions present at the time of inspection.

Recommendations:

Maintain a clear area around drainage systems by ensuring vegetation and soil are kept away. This helps to prevent blockages, maintain proper water flow, and reduce the risk of water pooling or drainage failure. Regularly inspect and remove any overgrowth or debris that may obstruct the drainage.

Earthenware drains were noted at the property. These are prone to tree root blockage. It is recommend that these drains be CCTV inspected and cleared if required.

Maintenance recommendations:

Service intervals for externally mounted gas appliances should be every 18 months - 2 yrs or in accordance with the manufacturers' specifications. Some areas may require a higher level of servicing due to the location being in a sea spray zone or from things such as hard water.



Photo 92

Gas hot water Califont located on the west side of the dwelling.



Photo 93

Gas bottle station located on the south side of the dwelling. Normally there is a cover installed above the bottles.



Photo 94

South side gully trap.



Photo 95

South side stormwater riser.



Photo 96

East side stormwater riser. Ensure the debris and vegetation is kept clear of the risers.

HEATING

Heat pump - Power connected at the time of inspection, full operation not tested.

Manufacturer - Daikin.

Location - Living room.

Kilowatt rating - Heating - 8.0kW - Cooling - 7.1kW

Recommendations:

Follow the manufacturer's recommended servicing schedule to ensure the equipment operates efficiently and maintains optimal performance. Adhering to these guidelines helps identify and address potential issues early, reducing the risk of costly repairs and ensuring compliance with warranty requirements.

Regularly clean the filters of your heat pump to maintain optimal performance. The frequency of cleaning depends on the unit's location and usage, typically ranging from every 4 to 12 weeks. Units placed in areas with higher dust or debris accumulation may require more frequent cleaning, while those in cleaner environments may need less frequent maintenance. This ensures efficient operation.



Photo 97
External Daikin heatpump system.



Photo 98
Daikin heat pump located in the living room.



Photo 99

Wall panel heater located in the hallway.

SERVICES

Services/systems tested.

Fire warning & control systems - Tested - No.
Heating systems - Powered on only.
Central vacuum systems - Not applicable.
Ventilation systems - Tested - No.
Heat transfer system - Not applicable.
Security systems - Tested - No.
Security cameras - Tested - No.
Electricity services - Tested - Yes.
Gas services - Tested - Yes.
Gas bottle storage - Tested - No.
Water services - Tested - Yes.
Hot water services - Tested - Yes.
Foul water services - Tested - Yes.
Grey water recycling system - Not applicable.
Rainwater recycling system - Not applicable.
Solar heating - Not applicable.
Solar power/panels/inverter - Not applicable.
Aerials & antennae - Tested - No.
Shading systems - Not applicable.
Telecommunications - Not applicable.
Lifts - Disabled access - Not applicable.
Water pump - Not applicable.
Water filters - Not applicable.
Stormwater soak pits - Not applicable.
Distribution board - Tested - No.
Header tank - Tested - No.
Communications hub - Tested - No.
Automatic garage door opener - Not applicable.
Ceiling fan - Not applicable.

Recommendations:

All building services should be regularly tested, serviced, and maintained by appropriately certified professionals in accordance with the manufacturer's specifications and guidelines. This ensures optimal performance, safety, and longevity of the systems while reducing the risk of malfunctions or failures.

Regular checks to ensure smoke detectors are functional.



Photo 100
Antenna located on the roof system.



Photo 101
Satellite aerial located on the roof system.



Photo 102
Communications hub located in the living room.



Photo 103

Smoke alarms have been installed around the dwelling.

ELECTRICAL

Electrical

Electrical sockets - All accessible sockets and light switches throughout the house were tested at the time of the inspection -

Distribution board location - Hallway.

Earth stake - Location - On the South side of the dwelling.

Metre box - Location - On the East side of the dwelling.

Electrical connection - Underground supply.



Photo 104

Earth connection located on the south side of the dwelling.



Photo 105

Meter box located on the east side of the dwelling. Corrosion was noticed around the meter box.



Photo 106
Switchboard located in the hallway.

DEFECTS LIST

The defects are detailed throughout the report.

The data and statistical information presented in this report were gathered from reliable, commonly utilized industry sources for survey purposes. While we have made every effort to ensure the accuracy of the information, in many cases, we cannot directly verify the information at its source and therefore cannot guarantee its accuracy.

We recommend checking the records of the BCA: Building Consent Authority to ensure that all necessary permits, consents, and Code Compliance Certificates are obtained and that the materials and finishes match the approved plans. It is also important to confirm that the floor layout matches the plans.

The age of the buildings was taken into consideration when the inspection and reporting was carried out. The survey of the condition of the building elements and components was carried out on the basis of 'the expected condition of the materials' considering their use, location and age.

It is important to carry out regular maintenance on a dwelling to identify and rectify minor problems before they become major, and to maintain weathertightness.

Generally, the interior of the house appears in a tidy condition. No immediate repairs are required, and any necessary repairs can be carried out as part of normal maintenance. Minor scuffs, marks and small areas of damage are evident which are to be expected and can be attended to as part of normal maintenance.

It's important when carrying out maintenance or renovations to use licensed practitioners, where required. Hiring licensed builders, electricians, plumbers, gas fitters and drain layer helps make sure the work is done correctly, adheres to safety standards, and meets legal requirements. The use of unlicensed tradespersons may impact your insurance coverage and could ultimately result in higher costs if the work needs fixing later.

There are areas as noted within the report where maintenance is recommended.

Note: Due to current NZ legislation (Health & Safety at Work Act 2015)

We will only provide a very limited visual inspection of the subfloor area that can be seen from the manhole location (within a 2m radius).

If you have any concerns about the condition of the subfloor we recommend engaging a qualified contractor to provide you with a specialist subfloor inspection report.

Floor levels are spot checked using a self-levelling laser. This is not a comprehensive floor level survey and is not designed to replace an engineer's assessment. These measurements are indicative readings only. Floors are spot checked at different areas of the house. If a more in depth level survey is required, a floor level survey should be commissioned.

It would be advisable to have a drainage inspection completed due to the age of the property.

The property is in a condition that would be expected for the age and location.

Structural Systems

There are cracks to the exterior cladding, in our view these need to be professionally repaired, as any cracks can allow moisture in behind the cladding and into the timber framing. Some of the cracking may relate to the lack of control joints and this can be determined by a exterior cladding specialist before carrying out the repairs.

ASBESTOS IDENTIFICATION

The following is a summary of possible building materials that may contain asbestos:

Exterior, possible ACM (Asbestos Containing Material).

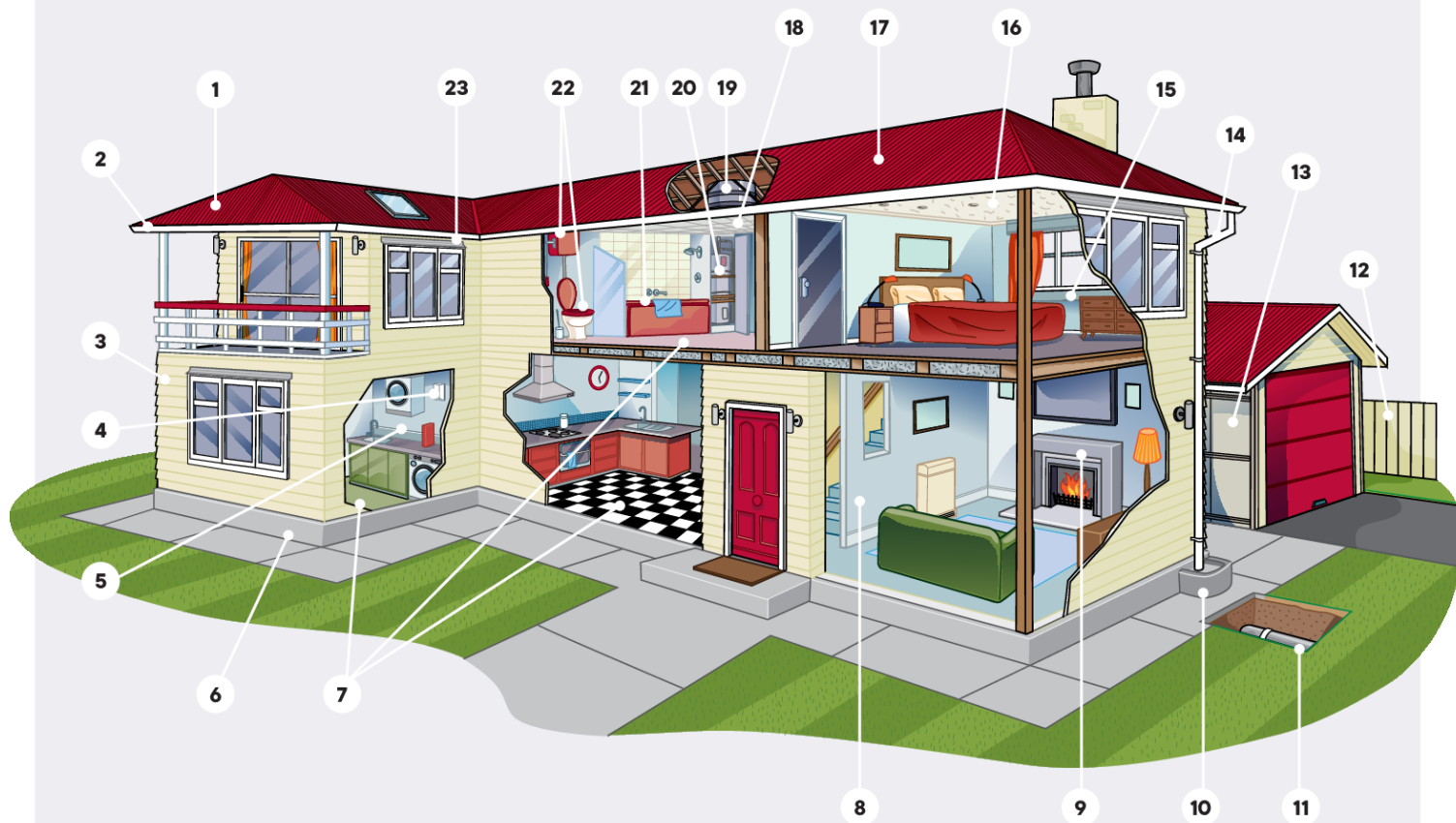
Fibrous cement sheeting.

Interior, possible ACM (Asbestos Containing Material).

Stippled/textured ceiling finish.

Asbestos is a naturally occurring mineral that can be fluffed into a woolly consistency and mixed into building materials such as cement. Adding asbestos makes cement more durable, weatherproof and heat resistant, and because asbestos cement sheets are fireproof, builders initially considered them a much safer material than wood. Unfortunately, it is now well known that when asbestos particles are air borne it becomes toxic to inhale. Left undisturbed, these materials pose a negligible risk as long as they are in good condition and it is recommended that the asbestos-containing materials in good condition be left alone.

POTENTIAL ASBESTOS LOCATIONS IN A PRE-2000 HOUSE



- | | |
|--|---------------------------------|
| 1 ACM roofing panels, eg Super Six | 13 ACM clad garage |
| 2 Soffits | 14 Gutters and downpipes |
| 3 Compressed sheeting (asbestos containing material) | 15 ACM interior window panel |
| 4 Electrical meter board | 16 Textured ceiling |
| 5 Wet area lining substrate | 17 Loose fill insulation |
| 6 Cladding, including baseboards | 18 ACM ceiling tiles |
| 7 Vinyl flooring | 19 ACM water tank |
| 8 ACM partition wall | 20 ACM hotwater cupboard lining |
| 9 ACM surrounding fireplace | 21 ACM bath panel |
| 10 ACM stormwater trap | 22 ACM toilet seat and cistern |
| 11 ACM stormwater and sewage piping | 23 Exterior window flashing |
| 12 ACM fence panels | |