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Document, Interest, Instrument: 6824352.4

Property: 115C Gladstone Road, Richmond, Tasman District

Legal Description: Lot 4 Deposited Plan 365148

CoreLogic Reference: 3262590/1

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**Easement Instrument to Grant Easement or Profit à Prendre,
or Create Land Covenant**

Sections 90A and 90F, Land Transfer Act 1952

EI 6824352.4 Easemen

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DocID: 211711915

Land registration district

Nelson

Grantor

Surname must be underlined

Shorewood Holdings Limited

Grantee

Surname must be underlined

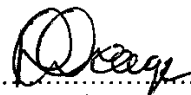
Shorewood Holdings Limited

Grant* of easement or profit à prendre or creation or covenant

The Grantor, being the registered proprietor of the servient tenement(s) set out in Schedule A, **grants to the Grantee** (and, if so stated, in gross) the easement(s) or *profit(s) à Prendre* set out in Schedule A, or **creates** the covenant(s) **set out** in Schedule A, with the rights and powers or provisions set out in the Annexure Schedule(s).

Dated this 27th day of January 2006

Attestation


.....
(Director)


.....
(Director)

Signature [common seal]
of Grantor

Signed in my presence by the Grantor Shorewood Holdings Limited by two of its Directors

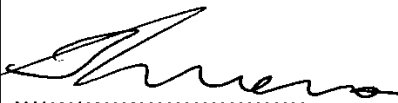
~~Signature of witness~~

~~Witness to complete in BLOCK letters (unless legibly printed)~~

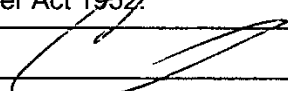
Witness name

Occupation

Address

 (Director)	Signed in my presence by the Grantee Shorewood Holdings Limited by two of its Directors
 (Director)	_____ <i>Signature of witness</i> Witness to complete in BLOCK letters (unless legibly printed)
Signature [common seal] of Grantee	Witness name Occupation Address

Certified correct for the purposes of the Land Transfer Act 1952.



[Solicitor for] the Grantee

*If the consent of any person is required for the grant, the specified consent form must be used.



ANNEXURE SCHEDULE 1

Easement instrument Dated

Schedule A

Continue on additional Annexure Schedule if required.

Purpose (nature and extent) of easement, profit, or covenant	Shown (plan reference)	Servient tenement (Identifier/CT)	Dominant tenement (Identifier/CT or in gross)
Right of way, Right to convey & drain water	A on DP 365148	Lot 8 DP 365148 - CT 264314	Lots 1 to 7 inclusive DP 365148 - CsT 264307, 264308, 264309, 264310, 264311, 264312, 264313

Easements or *profits à prendre* rights and powers (including terms, covenants, and conditions)

Continue in additional Annexure Schedule if required.

Unless otherwise provided below, the rights and powers implied in specific classes of easement are those prescribed by the Land Transfer Regulations 2002 and/or the Ninth Schedule of the Property Law Act 1952.

The implied rights and powers are (varied added to by) by:

Memorandum number ..., registered under section 155A of the Land Transfer Act 1952).

[the provisions set out in Annexure Schedule 2]

All signing parties and either their witnesses or solicitors must sign or initial in this box



ANNEXURE SCHEDULE 2

Where there is a conflict between the provisions of Schedule 4 of the Land Transfer Regulations 2002 and Schedule 9 of the Property Law Act 1952, the provisions of Schedule 9 must prevail.

Where there is a conflict between the provisions of Schedule 4 and/or Schedule 9, and the modifications in this Easement Instrument, the modifications must prevail.

Any maintenance, repair or replacement of the easement facilities on the servient or dominant land that is necessary because of any act or omission by the Grantor or the Grantee (which includes agents, employees, contractors, subcontractors and invitees of that Grantor or Grantee) must be carried out promptly by that owner and at that owner's sole cost. Where the act or omission is the partial cause of the maintenance, repair or replacement, the costs payable by that owner responsible must be in proportion to the amount attributable to that act or omission (with the balance payable in accordance with Clause 11 of the said Schedule 4).

All signing parties and either their witnesses or solicitors must sign or initial in this box

A handwritten signature in black ink, appearing to be 'R. J. H.', is written over the signature line in the box.