

Inspector: M _____

File No. _____

Receipt No. 1041

Date Permit Issued 11/4/89

OWNER	
Name	116-1111
Mailing Address	116-1111
	116-1111

BUILDER	
Name	116-1111
Mailing Address	116-1111
	116-1111

PROPERTY ON WHICH BUILDING IS TO BE ERECTED/DEMOLISHED

SITE	
Street No.	116
Street Name	116-1111
Town/District	116-1111
Riding	116-1111

LEGAL DESCRIPTION	
Valuation Roll No.	116-1111
Lot	116
D.P.	116-1111
Section	
Block	
Survey District	

DESCRIPTION OF PROPOSED WORK AND MAIN PURPOSE OF USE

116-1111

FLOOR AREA	
Whole Sq. Metres	4

DWELLING UNITS

Number Erected

ESTIMATED VALUES	
Building	5945
Plumbing	
Drainage	
G.S.T.	
TOTAL	5945

NATURE OF PERMIT (TICK BOX)

- ☐ NEW BUILDING
- exclude domestic garages and domestic outbuildings
- ☐ FOUNDATIONS ONLY
- ☒ ALTERED, REPAIRED, EXTENDED, CONVERTED, RESITED
- include installation of heating appliances
- ☐ NEW CONSTRUCTION
OTHER THAN BUILDINGS - include demolitions
- ☐ DOMESTIC GARAGES
AND DOMESTIC OUTBUILDINGS

FEES APPLICABLE

Building Permit	\$ 1041	Water Connection	\$
Street Damage Deposit	\$		\$
Building Research Levy	\$		\$
Plumbing	\$		\$
Drainage	\$		\$
Sewer Connection	\$		\$
Vehicle Crossing Levy	\$		\$
M.S. Plumbing	\$		\$
		G.S.T.	\$
		TOTAL:	\$ 1041

Receipt No. 1041

Date of Payment 6/4/89

Authorised Officer _____

Special Conditions:

Date Inspected REMARKS (e.g. stage reached with work)

12-18A

SCOPE OF WORK

1. To take delivery of the Sunroom components to the erection and fixing in place with all the necessary finishings, flashings and glazing as required.

FIXING IN PLACE

2. Fabricated units shall be stood and shall be square and in a true plane without wind or twist and shall be vertically plumb.

FIXING TO BASE

3. Fixing to the existing materials and/or concrete nib etc. shall be as detailed drawing 1.

Where wooden plates are to be used the minimum thickness shall be 25mm and will be dyna screwed with the recommended length and diameter fixing at a maximum of 600mm centres.

Aluminium units will then be screwed fixed, stainless steel screws or when directly onto concrete bases, dyna screwed, these being positioned, (a) as close to the corners of the unit
(b) as close to verticle mullions as practical
(c) maximum spacings to be 600mm centres

SEALING OF ALUMINIUM UNITS TO BASE

4. See detail 1 or recommended sealing.

All fixings through the aluminium cills will be thoroughly sealed. The application of silicone seal will be in line with the specification data sheet form AZ-61-348.

WALL ATTACHMENT TO FACE OF HOUSE

5. The fixing of tanalised packers are either dyna screws, nailing or screwing at 400mm centres maximum.

Aluminium joinery units will be screw fixed with stainless screws of suitable size and diameter at 300mm centres maximum. Sealing and fixing will be as detailed in drawing 2.

CORNER JOINTS AND BOX SECTIONS

6. This will be carried out with silicone RTV and all joinery units will be sealed behind the fixing flanges and any RTV sealants that may escape onto seen surfaces will be removed by the contractor upon completion of the said works.

All joinery units that are fixed to box sections or pipe will be ~~xx~~ fixed in behind the fixed glazing beads or where sashes are fitted in the rebate cavity with stainless steel screws at 300mm centre maximum.

prior to the timbers being required on site.

STOPPING OR FILLING

12. All timber work that will require a filler so as to make the surface presentable for painting will be filled with Sellys Ready Mixed Permafil.

SEALANTS

13. Any timber work that will be painted and require a sealant to be applied to the surface or joint will be of a suitable sealant that will skin off and allow the application of paint. Sealants will be applied in accordance with the manufacturer's specifications, will either be knifed or trowelled off to a smooth finish, and all excess removed at the completion of the contract. RTV Silicone Seal. This material to be used, refer to specification data sheet, and where in contact with any surface that will be required to be painted will be removed, so as to allow application of paint to adhere to the surface. Any RTV silicone used will be used with care and removed from all seen surfaces of the finished product prior to completion of contract.

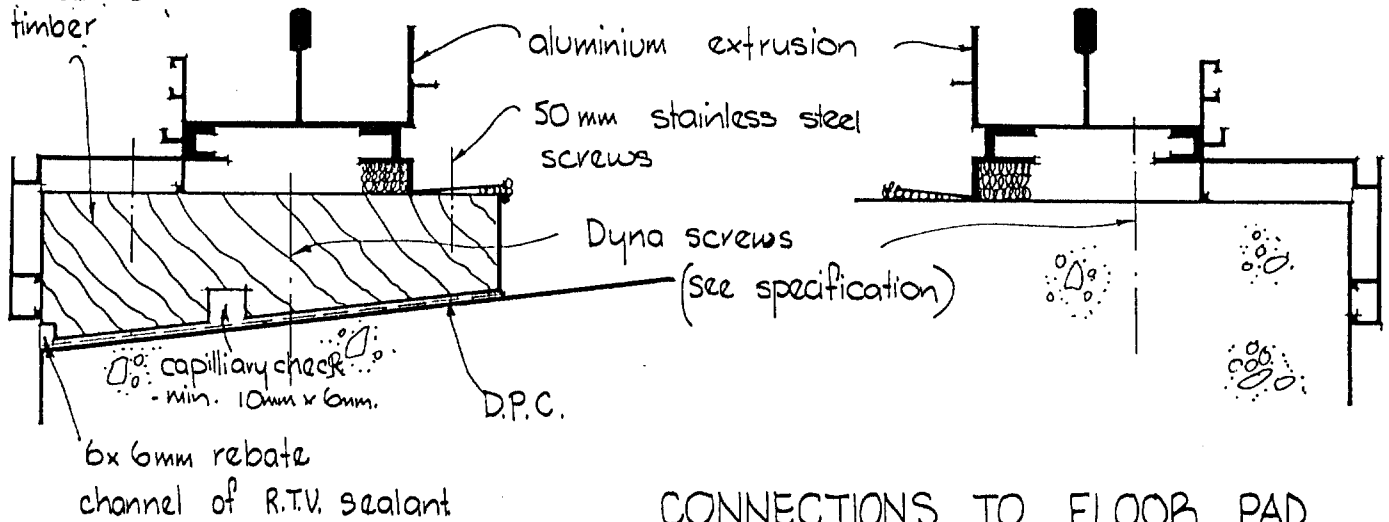
GLAZING OF ROOF PANELS

14. All acrylic polycarbonate and glass will be glazed as is the practice in the factory.
Special glazing tapes 6063 will be used on all roofing mullions and will be set in place as instructed by the factory supervisors and glazier.
Double sided contact tape will be used on the under purlins for the purposes of holding the acrylic sheets from flexing.

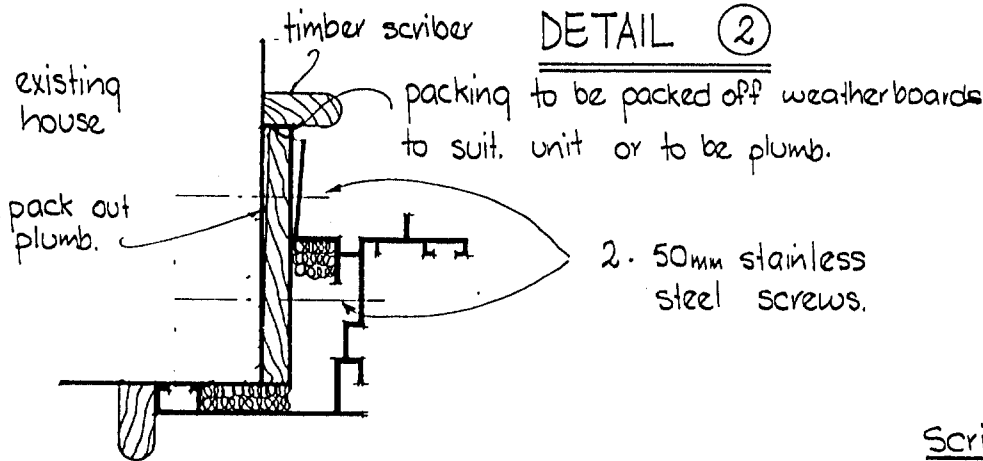
PSS/D12

tanalised
timber

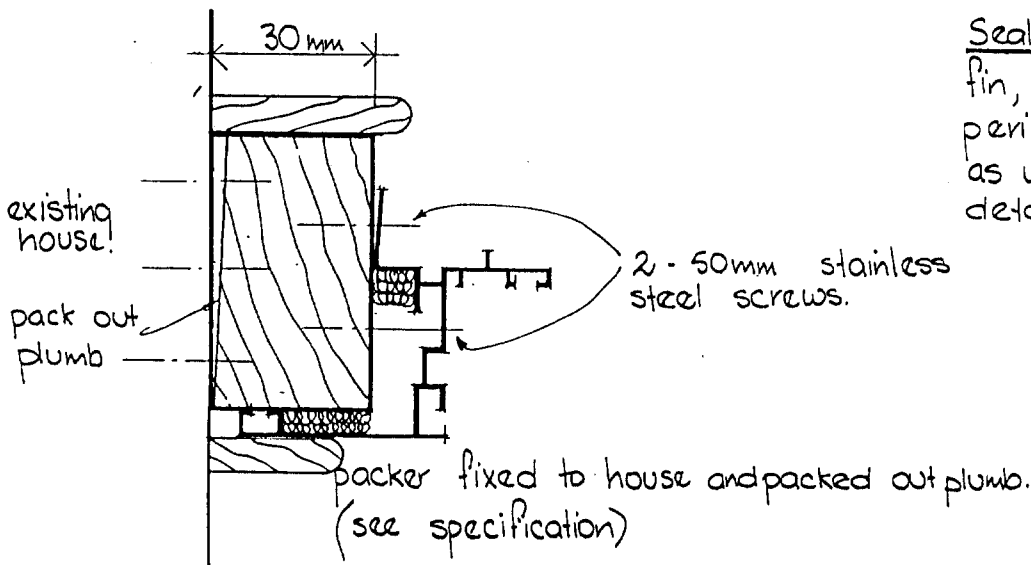
DETAIL ①



DETAIL ②



Scribes will be cut tight and neat, and will take up variations in the vertical walls where these are not plumb.



Sealing: along and under the reveal fin, around the complete inside perimeter of the unit and box set as well as soffit and fascia (as detailed in drawing 1 2 3)

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cont 2

APPLICATION FOR BUILDING PERMIT

TO: THE BUILDING INSPECTOR
HOROWHENUA COUNTY COUNCIL
P.O. BOX 542, LEVIN

Date

WAIKANAE BRANCH OFFICE
APUTA PLACE, WAIKANAE

OR

I, the undersigned, hereby apply for permission to: (tick box)

Erect a New Building including
separate buildings added to existing complex

☐

Additions, alterations, or repairs
to an existing building

☒

New construction other than buildings,
e.g. retaining walls, swimming pools

☐

Demolition

☐

Conversion

☐

DESCRIPTION OF PROPOSED WORK AND MAIN PURPOSE OF USE

NON HABITABLE CONSERVATORY

FLOOR AREA 2 sq. metres

LAND AREA Ha./sq.m.

SITE ADDRESS

Street No. 18A
Street Name BLUEBERRY AVENUE
Town WAIKANAE

LEGAL DESCRIPTION

Valuation No. 14950/198/00
Lot 30 D.P. 34696
Section Block

OWNER

Name MRS M.D. KELUNG
Address 18A BLUEBERRY AVE
WAIKANAE
Phone No. — Home — Bus. —

BUILDER

Name PASSIVE SOLAR SYSTEMS
Address PO BOX 40
WAIKANAE
Phone No. — Home 87385 Bus. 8587

ESTIMATED VALUES (inclusive of G.S.T.)

Building \$ 5995
Plumbing \$
Drainage \$
Total \$ 5995

DOCUMENTS SUBMITTED WITH THIS APPLICATION (please tick box) IN DUPLICATE AND TO SCALE

Site and/or Drainage plans ☒ Wall Bracing Calculations ☒
Floor plans ☒ Specifications ☒
Cross-sections and details ☒ Structural Calculations ☒
All Elevations ☒ Other ☒

NAME OF APPLICANT PASSIVE SOLAR SYSTEMS LTD
(IN BLOCK LETTERS)

SIGNATURE OF APPLICANT [Signature]

SCALE OF FEES

(All Fees and Values of Work Inclusive of G.S.T.)

For the examination of plans and specifications of any building and for the inspection of such building the following fees shall be payable according to the estimated value of work.

In any dispute as to value, the County Engineer shall have the absolute determination of the value of the proposed work or building.

Estimated Value of Work:

Not exceeding \$ 3,000 \$ 65.00
Over \$ 3,000 & not exceeding \$ 7,000 \$ 78.00
Over \$ 7,000 & not exceeding \$ 10,000 \$ 118.00
Over \$ 10,000 & not exceeding \$ 15,000 \$ 144.00
Over \$ 15,000 & not exceeding \$ 20,000 \$ 196.00
Over \$ 20,000 & not exceeding \$ 25,000 \$ 249.00
Over \$ 25,000 & not exceeding \$ 30,000 \$ 300.00
Over \$ 30,000 & not exceeding \$ 40,000 \$ 340.00
Over \$ 40,000 & not exceeding \$ 50,000 \$ 392.00

Estimated Value of Work

Over \$ 50,000 & not exceeding \$ 60,000 \$444.00
Over \$ 60,000 & not exceeding \$ 70,000 \$496.00
Over \$ 70,000 & not exceeding \$ 80,000 \$549.00
Over \$ 80,000 & not exceeding \$ 90,000 \$562.00
Over \$ 90,000 & not exceeding \$100,000 \$589.00
Over \$100,000 & not exceeding \$150,000 \$640.00
Over \$150,000 & not exceeding \$200,000 \$693.00

For every \$500,000 extra add \$105.00

Fees Payable for Special Duties

For inspection required in the case of proposed structural alterations before plans for approval \$ 40.00
For inspecting every detached stove, furnace, oven, close fire or forge erected subsequently to the building \$ 65.00
For inspecting old timber before re-using the same in a new building \$ 40.00
For any inspection that may be deemed necessary for connection with any building work in respect of which no fee has otherwise been paid \$ 40.00
Inspecting any timber or building outside the County prior to re-using or resiting within the County \$40 plus actual expense incurred
For structurally checking plans and specifications by Council's Engineers, an increase of up to 25% of the building permit fee based upon the total value of the work may be charged.
Road Damage Deposit Rural \$200.00
Residential \$300.00
Waikanae D.C.C. \$400.00
Transported buildings — additional \$100.00
\$400.00

Vehicle Entrance Installation Deposit

FOR OFFICE USE

Building Permit Fee	<u>65-00</u>	
Plumbing Permit Fee		
Drainage Permit Fee		
F.P. and Road Damage Deposit		
V.E. Installation Deposit		
Water Installation Fee		
Building Research Levy		
TOTAL FEES	<u>65-00</u>	

INVOICE No. 20764 RECEIPT No. 1041
DATE 22-3-89 DATE 6-4-89

A GUIDE TO APPLICANTS FOR BUILDING PERMITS

NOTE:

The following information is intended to be used for guidance only and should not be taken as the completed procedure which applies on all occasions. More detailed information is available from the building Inspectors Office.

PLANS AND SPECIFICATIONS

1. Plans and specifications submitted for approval must be in duplicate and of sufficient clarity to show the exact nature and character of the proposed undertaking and the provision made for full compliance with the requirements of the Building Bylaws and Codes of Practice. Elevations must clearly and accurately indicate existing and proposed ground levels.
2. All drawings must be in ink on good quality drawing paper, and must be accurately drawn to metric scales and the appropriate scales denoted on the plans.
3. All drawings, calculation sheets, and other data submitted must be **SIGNED** by the person responsible for the design, and shall clearly identify that person and his/her firm or organisation.
4. Elements of a building structure which exceed the provisions for non-specific design are required to be supported by structural calculations and drawings.
5. All Engineering calculations submitted must be accompanied by an appropriate Design Certificate and signed by the Registered Engineer responsible for their production.
6. Building permit applications for work involving plumbing and drainage must be accompanied by a relevant and **completed** Plumbing and Drainage application.

Applications submitted which are incomplete or contain insufficient details will be subject to unavoidable delays in permit issue.

DWELLINGS AND ACCESSORY BUILDINGS

Council's District Planning Scheme lays down various requirements with respect to the siting of buildings, and the following information is intended as a **guide** to these requirements.

1. SITING AND LOCATION OF DWELLINGS

Dwellings shall be sited no closer than the following distances from boundaries:

Residential Zones	Front Yard	Rear Yard	Side Yard
Front Site	4.5m	3.0m	One side 1.5m Other side 3.0m

Rear Site 3.0m from all boundaries

Corner Site 4.5m (from all street boundaries)

Rural Zones

Sites Under 2000m² 9.0m 3.0m 3.0m

Sites Over 200m² 9.0m 4.5m 4.5m

Daylighting (Height Slope Factor) — 2.7m — 56°

2. RELOCATED DWELLINGS

Residential Zones — permitted as a Conditional Use, which needs specific planning consent from Council.

Rural Zones — Specific planning consent not required, but subject to the following.

All buildings for relocation need to be in sound condition and subject to inspection and approval by Council's Building Inspector prior to the issue of the building permit. An inspection fee is payable, which may include additional charges for travelling expenses out of the County.

3. ACCESSORY BUILDINGS (GARAGES, SHEDS, CARPORTS, ETC.)

Residential Zones — detached accessory buildings shall be located a minimum of 0.9m from a boundary, provided that the dwelling on the same site is at least 1.5m away and that an adjoining dwelling is more than 3.0m away, and the accessory building is no greater than 9.0m in length. Buildings closer than 0.9m to a boundary are required to be constructed of fire resistant materials that comply with Council's Building Bylaws. The neighbours consent is required. Detached buildings must be located no further forward than any existing or proposed dwelling on that site.

Rural Zones — detached accessory buildings and farm buildings may be located within 4.5m of a boundary as a general rule.

Accessory buildings which are attached to dwellings are subject to the same siting requirements as the dwelling.

In all cases eaves, including spouting may project not more than 800mm over any yard.

Horowhenua County Council

APPLICATION FOR BUILDING PERMIT

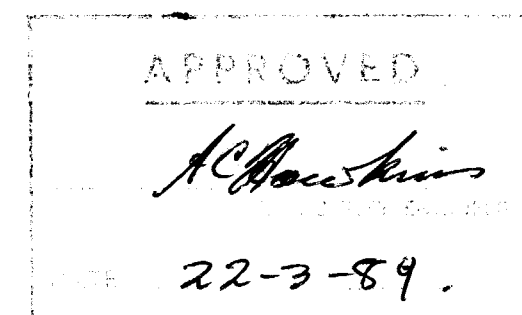
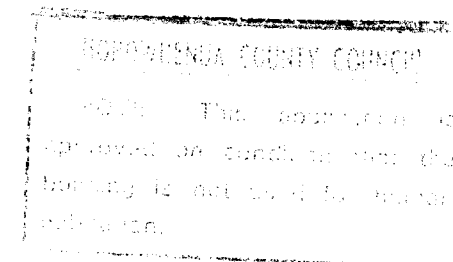
OWNER'S NAME Kellins

SITE ADDRESS 18 A Belvedere Ave

Waikanae RIDING

FOR OFFICE USE

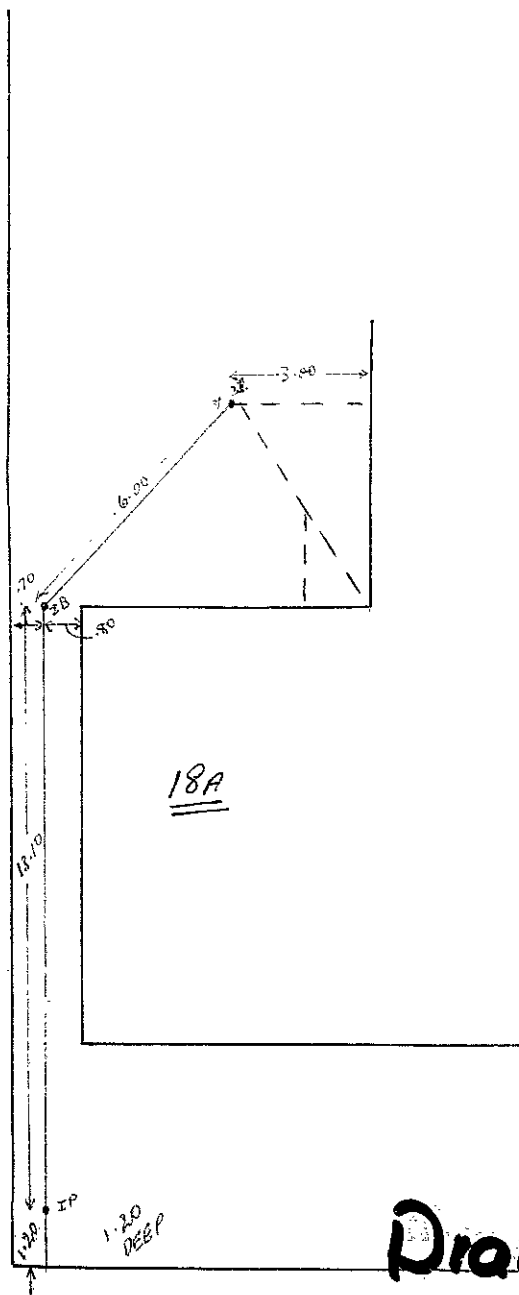
Remarks:—



APPLICATION No. 89 PERMIT No. 19394/19011539

DATE RECEIVED 8-3-89 DATE ISSUED 11-4-89





ROAD- 189 BELVEDERE AVE

Net - 30

2P-34696

Franklin C. McFarlane

OWNER - STRAFFORD

DATE - 18-11-80

ROE - TERRAIN F.V.C.

Drainage Plan

12-18

