



CODE COMPLIANCE CERTIFICATE

SECTION 43(3), BUILDING ACT 1991

APPLICATION

MR. & MRS. TITCHENER
57 MATAI ROAD
RAUMATI SOUTH

No.	990254
Issue date	18/01/00
Overseer	Don Blaikie

PROJECT

Description	Alterations, Repairs or Extensions Being Stage 1 of an intended 1 Stages NEW INBUILT FIRE-PIONEER COMPACT
Intended Life	Indefinite, but not less than 50 years
Intended Use	HEATING
Estimated Value	\$1,500
Location	57 MATAI ROAD, RAUMATI
Legal Description	LOT 59 DP 10231 CT 506/246
Valuation No.	1529131200

This is a final Code Compliance Certificate issued in respect of all the building work under the above building consent.

Signed for and on behalf of the Kapiti Coast District Council:

Name: _____

Date: _____



Code Compliance Certificate

Section 43(3), Building Act 1991

Application

R G & M H TITCHENER
57 MATAI ROAD
RAUMATI

No.	941508
Issue date	19/11/97
Overseer	Peter Wilkinson

Project

Description	ALTERATIONS, REPAIRS or EXTENSIONS BEING STAGE 1 OF AN INTENDED 1 STAGES ADDITION
Intended Life	INDEFINITE, BUT NOT LESS THAN 50 YEARS
Intended Use	RESIDENTIAL
Estimated Value	\$40,000
Location	57 MATAI ROAD, RAUMATI
Legal Description	LOT 59 DP 10231 CT 506/246
Valuation No.	1529131200

The Council's total charges paid on the uplifting of this Code Compliance Certificate in accordance with the following details are \$ 0.00.

This is a final code compliance certificate issued in respect of all the building work under the above building consent.

Signed for and on behalf of the Council:

Name:

Chris Reisch

Date: 19/11/97

North.

N° 57

EXIST. DWELLING.

PROPOSED
ADDITION
(STRUCTURALLY INDEPENDANT.)

EXIST.
G.T.
VENT.

DRIVE WAY.

2.50

STREET.

MATAI

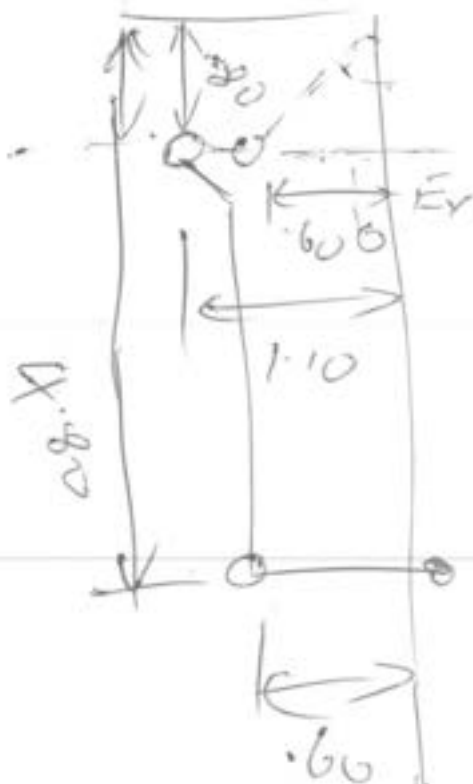


BUILDER TO ENSURE THAT PROPOSED
FOUNDATION HEIGHT WILL ALLOW A
SATISFACTORY DRAINAGE CONNECTION
TO THE SEWER MAIN.

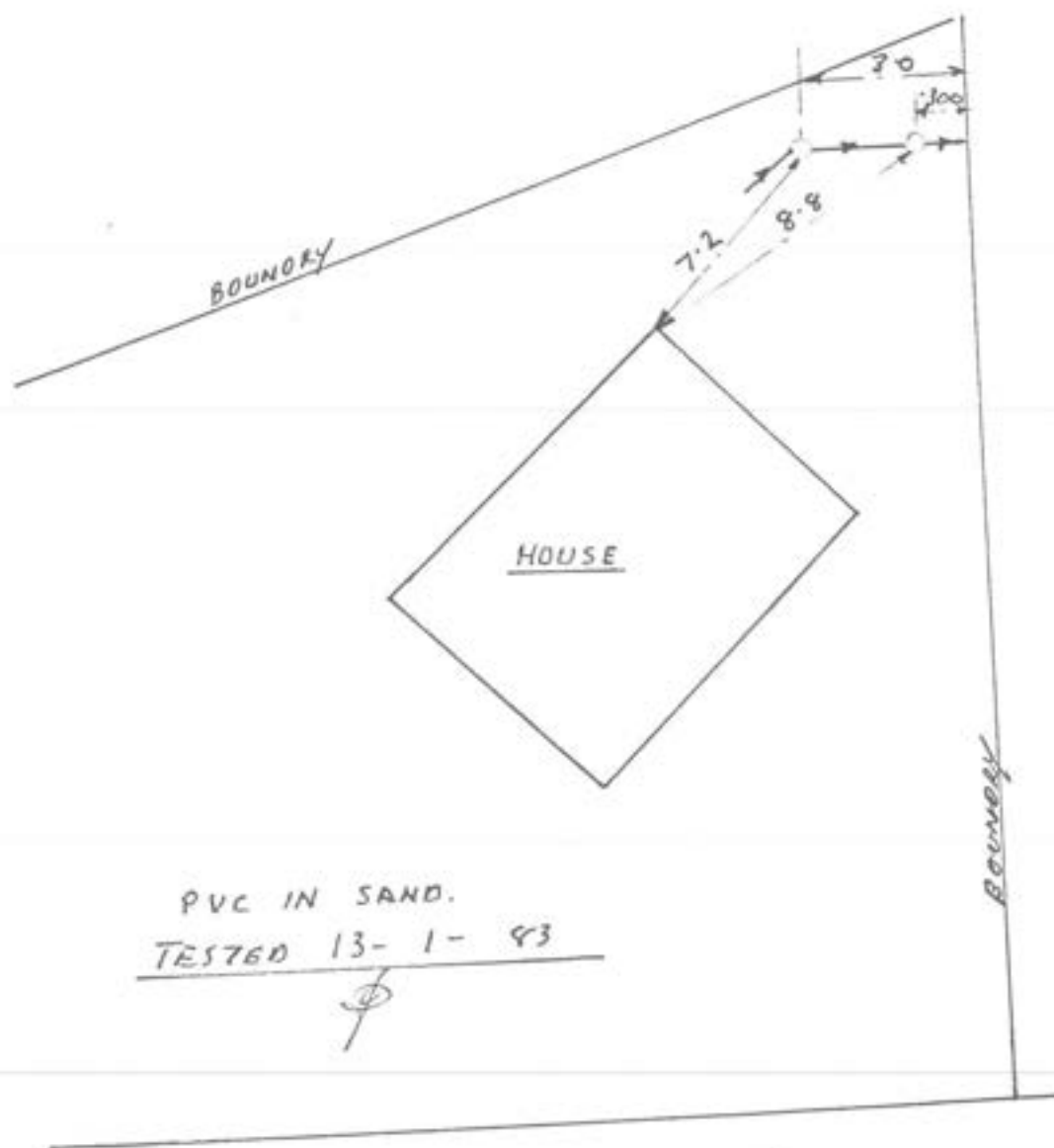
SITE & DRAINAGE PLAN.



Steps to be compo up
 1. V or back vent bar exact
 up stairs we
 stages on Huc



1. Lides
 54 Meter per
 3.1.10/95



57 MATAI RD.

K M'KENZIE.

KAPITI BOROUGH COUNCIL

APPLICATION FOR SEWER CONNECTION AND PERMIT

The Borough Engineer
Private Sec
PARAPARAUMU

I, STANLEY GEORGE SAWTELL (Full name)
54 Malae Road Raumati South (Postal Address)
PLEASE PRINT

hereby apply for an ordinary connection to the Kapiti Borough Sewer from the premises owned by me at

(PROPERTY Address in full
if different from above)

Lot 59 DP 10231 15291 31200

Fees Payable (on application)

Inspection \$ 30
Connection \$ 120
Total \$ 150.00

Note: All dwelling units to pay full inspection fees.

The connection fee to be divided equally between dwelling units situated on the same lot sharing a common lateral.



Owners Signature

Date

THIS PART TO BE COMPLETED BY DRAINLAYER

I, John McKenzie (full name)
80 MATARA Road Raumati (address)

being a licensed Drainlayer apply for permission to connect the premises mentioned above to the Kapiti Borough Sewer.

N.B. Connection NOT permitted until permit obtained.

(Signature)

(License No.)

(Date)

OFFICE USE ONLY

Permit No. <u>2394</u>	Job Inspected <u>13 - 1 - 83</u>	Building Register Entry
Date Issued <u>13 - 1 - 83</u>	Connection Recorded <u>JAH 83</u>	<u>13133 6318 A 019001</u>

KAPITI BOROUGH COUNCIL

APPLICATION FOR WATER SUPPLY AND CONNECTION PERMIT

The Borough Engineer
Private Bag
PARAPARAUMU



I, Stanley R. Sawtell (full name)
57 Matae Rd Raumati South (Postal address)

hereby apply for an "ORDINARY" service to be laid from the Kapiti Borough Water Supply to the premises owned by me at:

(Property address in full)

57 Matae Road Raumati South

Lot 59 DP 10231

1	5	3	1	0	3	3	0
---	---	---	---	---	---	---	---

Valuation No.

Fees Payable (on application)

Inspection \$
Connection \$
Total \$ 125.00

Note: All dwelling units to pay full inspection fees.

The connection fee to be divided equally between dwelling units situated on the same lot sharing a common lateral.

Owners Signature

Date

THIS PART TO BE COMPLETED BY PLUMBER

I, G. N. WARRIS (full name)
of 19 Wairua Grove (address)

being a Licensed Craftsman Plumber apply for permission to connect the above premises to the Kapiti Borough Water Supply. I agree to comply in every respect with the Kapiti Borough Water Supply By-laws. N.B. Connection NOT permitted until permit obtained.

(Signature)

(Craftsman Licence No.)

(Date)

Existing Water Supply .. R.W.

2. Pressure: high/low

3. H/W Cylinder Type 25' Head

4. Approximate Age of Water Piping 30 years

5. If premises have swimming pool what capacity Filter plant Yes/No

6. State precisely how it is proposed to make the new connections:

Run 20mm 1/2" to Header Tank. 1/2" ballcock etc
to R.W. 19 WARRIS

To be retained/dismantled

"Header Tank"/Pressure Reducing Valve

Exhaust Pipe/Pressure Relief Valve

Copper/PVC/Alkathene

OFFICE USE ONLY

Instructions to Plumber:

Supply pipe - B.H.

Application Received <u>18-12-81</u>	Permit No. <u>3923</u>	Connection Recorded <u>26/1/84</u>
Invoice No. <u>5690</u>	Date Issued <u>5/1/82</u>	Building Register Entry
Receipt No. <u>2690</u>	Job Inspected <u>RPD</u>	Rates Advised

KAPITI BOROUGH COUNCIL

Application for Permit

Valuation No.

1 5 3 1 0 3 3 0 0 0

Date Rec'd

Day Book

Initial

Page

OFFICE USE ONLY



OFFICE USE ONLY



Borough Engineer

PRIVATE BAG, PARAPARAUMU

Address) 57 Matai Road, Phone 84 840

Make application for permission to have the work described herein, out in the plans and specifications attached hereto, carried out in the premises situated at —

57 Street or Road Matai District Kaitiaki

Owner of the premises is

(Address)

Signature of Applicant

Date 4.5.81

Building - Plumbing - Drainage

Description of proposed work:

Area floor area of

6.24

sq. metres

Estimated cost of BUILDING incl. materials

\$

Estimated labour content of PLUMBING only

\$

Estimated labour content of DRAINAGE only

\$

TOTAL estimated value of proposed work

\$

Builder's name and address

Type of water supply

Capacity of storage tanks

cubic metres

Owner's name and address

Plumber's name and address

FOR OFFICE USE ONLY

Account No.

6744

Date

22 JUL 1981

Receipt No.

3563

Date

23 7 81

Fees:

Building Permit

\$

Plumbing Permit

\$

Drainage Permit

\$

Sewer Connection

\$

Water Connection

\$

Kerb Crossing

\$

Damage Deposit

\$

Bldg Research Levy

\$

TOTAL

\$

Permit No.

62853

Date Issued

24 JUL 1981

Permit No.

675

Date Issued

Permit No.

Date Issued

Register Entry

Order No.

Refund

Checked

Date

22/7/81

7/81/2-9

Permit Endorsement:

Hutt County Council

PERMIT NO.

367

LOCALITY

Remuera

DATE RECEIVED

7/2/56

DATE ISSUED

20/10/56

Application For Plumbing and Drainage Permit

SCALE OF PERMIT FEES

If the value of each proposed work	£	s.	d.
does not exceed £25	0	5	0
" £50	0	10	0
" £100	1	0	0
" £150	1	10	0
Exceeding £150	2	0	0

OWNER'S NAME

J. G. Smith

FOR OFFICE USE ONLY.

REMARKS:

Application For Plumbing and Drainage Permit

To the Drainage and Plumbing Inspector,
Hutt County Council,
Bowen Street,
Wellington.

Postal Address: Hutt County Council,
P.O. Box 12,
Government Buildings,
Wellington.

I, the undersigned, do hereby apply for a Permit to carry out DRAINAGE and PLUMBING work in accordance with the undermentioned particulars.

Description of Drainage and Plumbing Work *Install septic tank*
Drainage to same from bath basin sink etc.

Allotment. Lot: *59* D.P.: *10231* Section: Area:

Block: S.D.: Nearest Township: *Kaumata Sub.*

4. Previous
Owner

If Section
has been
recently
transferred

J. M. Sawtell

Frontage (Length) *97'* (Name of Street or Road) *Matai Road*

Water Supply (Description) *Tanks*

Estimated value of Plumbing Work: £ : :

Estimated value of Septic Tank £ : :

Estimated value of Drainage Work £ : :

Total £ *200*

All work will be carried out in accordance with Hutt County Council's By-laws.

Please find herewith Permit fees £ *2* : - : - Receipt No.: *10231*
(For Scale of Fees see Back Page.)

Name and Address of Owner: *J. M. Sawtell*

191 High Street Lower Hutt

NOTE:—The following MUST accompany this Application:—

- Ground Plan of Building showing all drains, vents, traps, sumps, Septic Tanks and sanitary fittings to be plotted on opposite page.
 - Detailed Drawings of septic tank— $\frac{1}{4}$ in. to one foot.
 - Specifications of work and materials to be used.
- Plan showing drains should be drawn to a scale of $\frac{1}{4}$ in. to 1 foot for large premises—in DUPLICATE.
Stormwater drains should be shown (if any) in dotted lines.

Signature of applicant *J. M. Sawtell*

Address *191 High Street Lower Hutt*

Plumber's Name { If not the applicant } *L. H. Macnath Esq.*
and Address

Plan of Allotment

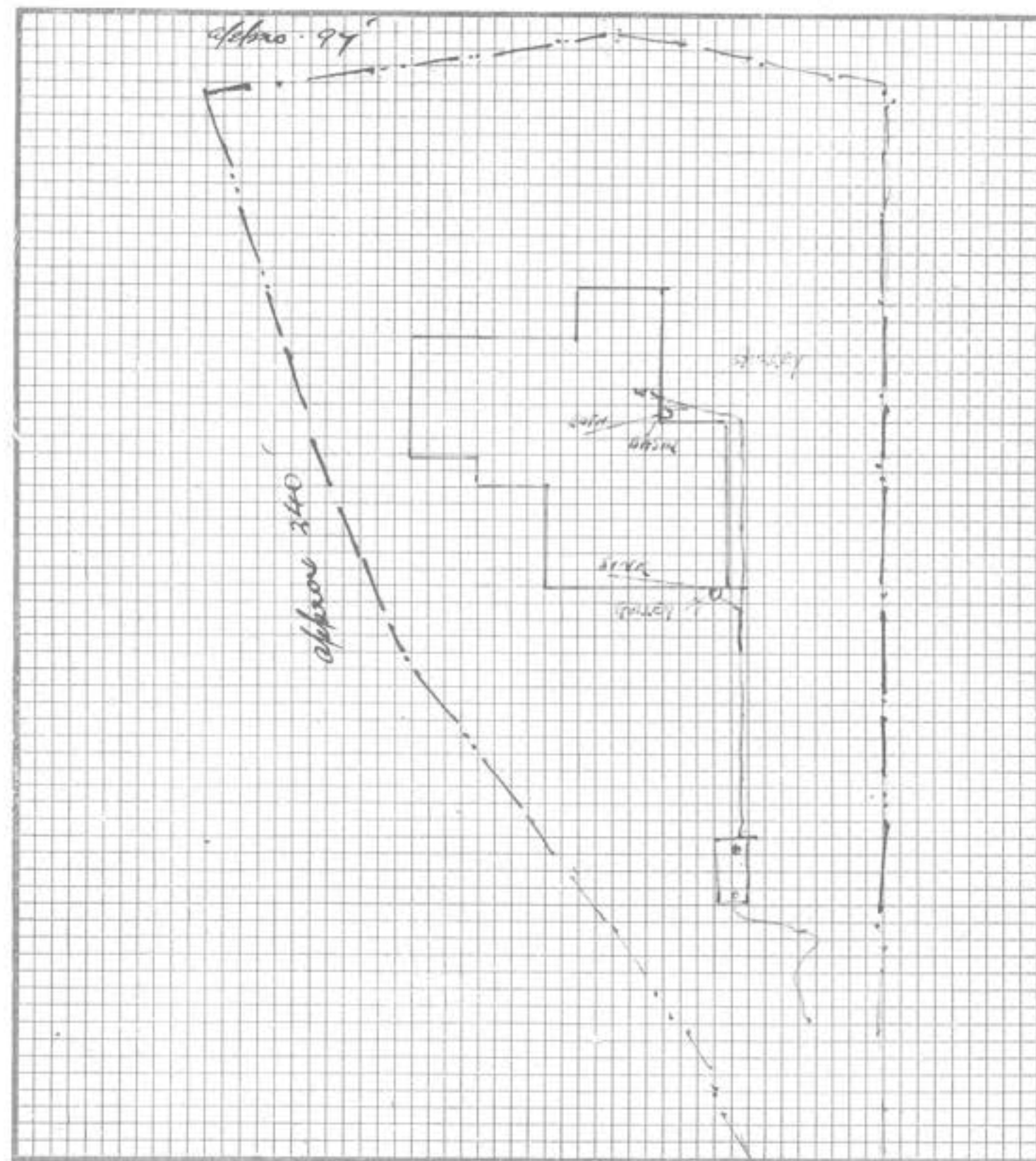
Showing position of proposed buildings, Sanitary fittings, Drains, Gully traps, Inspection pipes and Ventilators; Septic Tanks, Sumps, Irrigation trenches, Sewers and Stormwater drains, if any.

(Scale: Two feet to a square.)

Boundary Lines to be shown thus: ————

WATER SUPPLY: Position to be shown of Well or Bore if within 100 feet.

Frontage to *Matai Road. Kaumata Sub.* Road



KAPITICOAST
 DISTRICT COUNCIL
SITE CHECK SHEET

NAME: Mr. & Mrs. Titchener

ADDRESS: 57 Matai Rd, Paipahi LOT: 59 DP: 10231

PROJECT: New Inbuilt Fire - South CONSENT NO: 990254

Pioneer Compact

WORK CANNOT PROCEED PAST EACH STEP UNTIL THAT STEP HAS BEEN INSPECTED, APPROVED AND THIS FORM SIGNED BY THE RELEVANT INSPECTOR. WORK APPROVED BY A CERTIFIER REQUIRES A BUILDING CERTIFICATE SUPPLIED BY THE CERTIFIER.

COMPONENT TO BE INSPECTED	INSPECTION REQUIRED (TICK)	INSPECTION		COMMENTS AND/OR RECTIFICATION NOTICE NO	OK TO PROCEED YES/NO	ADDITION INSPECT YES/NO	DATE & SIGNATURE
		CHECK	RECHECK				
FREESTANDING FIRES							
Seismic fixing							
Hearth				New Hearth to be Brinded Existing Chimney walls concrete. Chimney being cleaned out.			10.3.2011 WKS
Flue							
Flashing							
INBUILT FIRES							
Chimney & Flue	✓						
Seismic fixing	✓						
SWIMMING POOLS							
Fencing							
Gates - Doors							
Water Supply							
Backwash disposal							

NO floor plan - only approved if in location as noted on existing plan (attached)

BUILDING COMPONENTS DEEMED COMPLETED

CERTIFIER	SIGNATURE	DATE	CERTIFIER	SIGNATURE	DATE
Building					
Plumbing					
Drainage					

WORK IS NOW DEEMED TO BE COMPLETED. A CODE COMPLIANCE CERTIFICATE WILL BE ISSUED WHERE REQUIRED BY THE BUILDING ACT.

CODE COMPLIANCE CERTIFICATE NUMBER

FOR COUNCIL USE:

DEPARTMENT	REQUIREMENTS	Yes	No	COMMENTS	CHECKED/DATE STAMP
Town Planning	Zoning Confirms				
	Dispensation				
	Planning Consent				
	Special Floor Level				
Plumbing					
Drainage					
Stormwater	To Channel				
	To Drain				
	Confined to Lot				
Building					
Structural	Specific Design				
	Foundation				
	Structure				
	Roof				
Subdivisional Engineer	Earthworks Bylaw				
	Conditions				
Environmental Health					
Site- Footpath & Entrance Conditions				Ground	
NOTES:					



Form 3

APPLICATION FOR BUILDING CONSENT

Section 33, Building Act 1991

To: Kapiti Coast District Council

[Cross each applicable box and attach relevant documents in duplicate]

CONSENT NO

990254

ANTICIPATED COMMENCEMENT

DATE

PART A : GENERAL

(Complete Part A and B in all cases - Refer over for Parts C-E, sign and date)

APPLICANT (OWNER*)	PROJECT
Name: MR & MRS TITCHENER	Cross One ☐ New or relocated Building ☐ Alterations or additions ☒ Accessory Building or Fire ☐ Building Demolition or Removal Being stage _____ of an intended _____ stages. Estimated value (inclusive of GST): \$ 2000. Intended use, eg Dwelling, Carport, Garage, etc <u>Pioneer Compact Inbuilt</u> Intended life: (of building) ☐ Indefinite but not less than 50 years ☐ Specified as _____ years
Mailing address: 57 MATAI RD RAUMATI STH	
Contact [Print Name and position]:	
Phone: 299-4804 Fax	
*Under section 33 of the Building Act 1991, the applicant must be the owner of the land on which building work is contemplated or a person who or which has agreed in writing, whether conditionally or unconditionally, to purchase the land or any leasehold estate or interest in the land, or to take a lease of the land, while the agreement remains in force.	
FOR COUNCIL USE	
Received: 9/3/99	PROJECT LOCATION
Application fee: \$ 76.00	Street address (if any) 57 MATAI RD RAUMATI STH
Receipt No: 760968	Legal description (as shown on certificate of title or rates notice, if any): Lot 59
Paid By: The Heating Centre (Nat Chg)	DP 10231
	Valuation No. 15291-312-00

NOTE: BALANCE OF FEES ARE PAYABLE ON CONSENT APPROVAL

This Application is for:

☐ Building Consent only, in accordance with project information

☐ Both building consent and a project information memorandum

PLEASE NOTE	CONFIDENTIALITY	SIZE OF BUILDING
The information provided in support of this application is public and as such is freely available on request. However under Section 27(3) of the Building Act 1991 you may for security and/or copyright reasons request the plans and specifications pertaining to this application be marked as confidential by completing the following section	Plans and Specifications	Floor area m ²
	1. ☐ I/We require that my/our:	No of stories
	2. ☐ plans	No of Units
	3. ☐ specifications be treated as confidential in order to protect:	
	4. ☐ the security of the building	
	5. ☐ copyright	
	Signed: _____	

PART B : BUILDING DETAILS

(Complete Part B in all cases)

This application is accompanied by (cross each applicable box, attach relevant documents in duplicate):

The drawings, specifications and other documents according to which the building is proposed to be constructed to comply with the provisions of the building code, with supporting documents, if any, including:

Building certificates

Producer statements

References to accreditation certificates issued by the Building Industry Authority

References to determinations issued by the Building Industry Authority

Proposed procedures, if any, for inspection during construction

PART C : PROJECT DETAILS

(Complete Part C only if you have not applied separately for a project information memorandum)

Location, in relation to legal boundaries, and external dimensions of new, relocated, or altered buildings

New provisions to be made for vehicular access, including parking

Provisions to be made in building over or adjacent to any road or public place

New provisions to be made for disposing of stormwater and wastewater

Precautions to be taken where building work is to take place over existing drains or sewers or in close proximity to wells or watermains

New connections to public utilities

Provisions to be made in any demolition work for the protection of the public, suppression of dust, disposal of debris, disconnection from public utilities and suppression of noise

Any cultural heritage significance of the building or building site, including whether it is on a marae

PART D : KEY PERSONNEL

(Complete Part D as far as possible in all cases. Give names, addresses and telephone numbers. Give relevant registration numbers if known)

Designer(s): _____

Building Certifier(s): THE HEATING CENTRE

3 IHAKARA STREET

PARAPARAUMU

Builder/s PH. (04) 298-6556

Registered Drainlayer: _____ REG NO: _____

Craftsman Plumber: _____ REG NO: _____

Other: _____

PART E : COMPLIANCE SCHEDULE DETAILS

E1: Systems Necessitating a Compliance Schedule

(Complete Part E1 for all new buildings and alterations, except single residential dwellings)

The building will contain the following (Cross each applicable box and attach proposed inspection, maintenance, and reporting procedures):

Automatic sprinkler systems or other systems of automatic fire protection

Automatic doors which form part of any fire wall and which are designed to close shut and remain shut on an alarm of fire

Emergency warning systems for fire or other dangers

Emergency lighting systems

Escape route pressurisation systems

Riser mains for fire service use.

Any automatic back-flow preventer connected to a potable water supply

Lifts, escalators or travelators or other similar

Mechanical ventilation or air conditioning

Any other mechanical, electrical, hydraulic compliance with the building code

Building maintenance units for providing a

Such signs as are required by the building code

None of the above

E2: Other Systems and Features

(Complete Part E2 only if building)

The building will contain the following (cross maintenance and reporting procedures):

Means of escape from fire

Safety barriers

Means of access and facilities for use by people of the Disabled Persons Community Welfare

Handheld hoses for firefighting

Such signs as are required by the building code or Section 23 of the Disabled Persons Community Welfare Act 1975

Signed for and on behalf of the Applicant:

Name: John Neal

Position: Manager Date: 8/3/99

FOR OFFICE USE ONLY

FEES		APPLICATION DEPOSIT \$.....	
Building	\$ <u>76.00</u>	RECEIPT NO	DATE.....
Sewer Connection	\$.....	INVOICE NO	DATE <u>11.3.99</u>
Water Connection	\$.....	<u>31723</u>	
Vehicle Crossing	\$.....	RECEIPT NO	DATE <u>10.3.99</u>
Damage Deposit	\$.....	<u>760968</u>	
Structural Checking	\$.....	FEES PAID BY:	
Building Research Levy	\$.....	<u>The Heating Centre</u>	
Development Levy	\$.....	<u>(Nat Chg)</u>	
BIA Levy	\$.....	BUILDING CONSENT NUMBER	DATE ISSUED
Compliance Schedule	\$.....	<u>990254</u>	<u>11.3.99</u>
Digital Storage Fee	\$.....	AUTHORISATION FOR REFUND OF DEPOSITS	
Certificate of Title Change	\$.....	Deposit held =	\$.....
Photocopying	\$.....	Cost to Repair Damage Caused During Construction =	\$.....
SUBTOTAL	\$ <u>76.00</u>	Total Balance to be Refunded	
Less Deposit Paid	\$ <u>72.00</u>	Authority Number:	
TOTAL	\$ <u>4.00</u>	Authorised:	DATE:
GST INCLUDED	\$.....		



Building Consent

Section 35, Building Act 1991

Application

MR. & MRS. TITCHENER
57 MATAI ROAD
RAUMATI SOUTH

No. 990254
Issue date 11/03/99
Application date 10/03/99
Overseer Don Blaikie

Project

Description	ALTERATIONS, REPAIRS or EXTENSIONS BEING STAGE 1 OF AN INTENDED 1 STAGES NEW INBUILT FIRE-PIONEER COMPACT
Intended Life	INDEFINITE, BUT NOT LESS THAN 50 YEARS
Intended Use	HEATING
Estimated Value	\$1,500
Location	57 MATAI ROAD, RAUMATI
Legal Description	LOT 59 DP 10231 CT 506/246
Valuation No.	1529131200

Charges

The Council's charges paid on uplifting this Building Consent, in accordance with the attached details are:

	\$	76.00
Building Research Levy	\$	0.00
Building Industry Authority Levy	\$	0.00
Total	\$	76.00

PAID

This building consent is a consent under the Building Act 1991 to undertake building work in accordance with the attached plans and specifications so as to comply with the provisions of the building code. It is not a consent under the Resource Management Act and does not affect any duty or responsibility under any other Act nor permit any breach of any other Act.

Signed for and on behalf of the Council:

Name:

Date:

11.3.99

Addenda to Application

Application

MR.& MRS. TITCHENER 57 MATAI ROAD RAUMATI SOUTH	No. Overseer	990254 11/03/99 Don Blaikie
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Project

Description	ALTERATIONS, REPAIRS or EXTENSIONS BEING STAGE 1 OF AN INTENDED 1 STAGES NEW INBUILT FIRE-PIONEER COMPACT
Intended Life	INDEFINITE, BUT NOT LESS THAN 50 YEARS
Intended Use	HEATING
Estimated Value	\$1,500
Location	57 MATAI ROAD, RAUMATI
Legal Description	LOT 59 DP 10231 CT 506/246
Valuation No.	1529131200

Builder: THE HEATING CENTRE 3 IHAKARA
STREET,PARAPARAUMU

General Requirements

- a) The District Inspector is to be given 24 hours' notice before carrying out the following inspections:
 1. FINAL INSPECTION BUILDING
- b) To arrange for any of the above required inspections by the District Inspector, please contact the building inspectorate on (04) 298 5139 between the hours of 8.00am and 4.30pm.

1. Installation of solid fuel appliances must comply with manufactures specifications and be secured against seismic movement ie EARTHQUAKES.
2. Chimney to be cleaned prior to inspection before new unit is installed.

I have read the foregoing requirements, and the Owner/Builder/Authorised Person hereby agrees to comply with them.

OWNER/BUILDER/
AUTHORISED PERSON

Date: _____



KAPITI COAST DISTRICT COUNCIL
REGULATORY SERVICES
INSPECTORATE BRANCH
Private Bag 601, Paraparaumu
Telephone (04) 298-5139

ADDRESS 57 Matai Rd
Raumati Sth
DATE 10-3-99
PHONE 299

Dear Sir

FREE STANDING FIRE OR FIRE PLACE HEATER INSTALLED AT:

57 Matai Rd, Raumati Sth
for MR & MRS TITCHENER
THE HEATING CENTRE
by 3 IHAKARA STREET
Address PARAPARAUMU
Phone PH. (04) 298-6556

I hereby notify you that the following requirements under NZS 7421:1990 have been met and the solid fuel burning domestic appliance type and model Pioneer Metro Inbuilt has been installed in accordance with the manufacturer's installation instructions.

Please tick where applicable the following:

1.	Building Consent Number issued and sited	
2.	The chimney has been cleaned.	✓
3.	The chimney is in a sound condition.	✓
4.	The chimney is of pumice and of correct dimensions to comply with BRANZ zero clearance certificate.	✓
5.	The chimney is ventilated to manufacturer's requirements.	✓
6.	The appliance is restrained against seismic activity (free standing and fireplace heaters).	✓
7.	The fire place heater has been approved by BRANZ as complying with their zero clearance certificate.	✓
8.	The hearth is an approved type according to manufacturer's requirements.	✓
9.	The hearth is restrained against seismic activity.	✓
10.	The fire surround at its connection to the fireplace is fully insulated with approved material [see BRANZ Building Information Bulletin 248 (1986)].	✓
11.	The ash hearth is of correct dimensions to installation instructions.	✓

Mark N/A if clause not applicable. Please return promptly after installation.

(PRINT) INSTALLERS NAME Paul Gardner



MR. & MRS. ITTCHENER
57 NATAI ROAD
RAUNATI SOUTH

GST REG No. 51-960-608
CUST No. BC990254
11/03/99

TAX INVOICE 51723

990254 : 57 NATAI ROAD, RAUNATI
NEW INBUILT FIRE-PIONEER COMPACT

QTY	DESCRIPTION	RATE	AMOUNT
	Building Consent/Project Info. Memo.		76.00 *
(+ INCL GST \$6.44)	TOTAL		\$76.00
	CASH RECEIVED		76.0000
	NET DUE		0.00

THIS IS NOTIFICATION THAT YOUR APPROVED PLANS
ARE READY TO GRANT.

BC 990254 11/03/99 51-960-608 BC990254 51723 0.00

23 March, 1998

Cuttriss, McKenzie, Martin Limited
173 Rimu Road
P O Box 1445
Paraparaumu

Attention: W M Edgar

Dear Mr Edgar

**SCHEME PLAN 17400 SC: PROPOSED BOUNDARY ADJUSTMENT AT 57
MATAI ROAD, RAUMATI, FOR R G TITCHENER**

That pursuant to Section 105(1)(a) of the Resource Management Act 1991, the non-notified application for resource consent made by Cuttriss, Mackenzie, Martin Limited for R G Titchener for a Controlled Activity under the Transitional and Proposed District Plans for a subdivision (boundary adjustment) at No. 57 Matai Road, Raumati (Lot 59 DP 10321) be **GRANTED** subject to the following conditions:

- 1 That the proposal shall proceed in accordance with the plan (17400 SC) and information lodged with the application dated 24 February, 1998.
- 2 The land transfer plan shall be endorsed with the following amalgamation condition:

"That Lot 1 hereon be transferred to the owner of Lot 59 DP 10231 (CT 506/246) and that one certificate of title be issued to include both parcels. See"

Note: The District Land Registrar will be consulted in respect to this condition and the relevant consultation number will be provided prior to the issue of a section 223 certificate.

- 3 The Developer's Representative is to supply a copy of the title and survey data plans and is to list and indicate how each condition has been met to the satisfaction of Manager, Consents and Compliance.
- 4 All costs arising from any of the above conditions shall be at the expense of the Developer.

REASONS FOR DECISION:

1. There are considered to be little or no adverse effects relating to the proposed new subdivision boundaries.
2. The subdivision would provide a superior layout which would benefit the owners of No. 57 Matai Road, Raumati.
3. The proposal would not be contrary to Council's objectives and policies under the Transitional and Proposed District Plans.

Please note that if you do not concur with the above you may have the matter considered by the Hearing Commissioners by lodging an objection under Section 357 of the Resource Management Act 1991. Please advise within 15 working days from the date of receiving this notice if you wish to have the matter heard.

The deposit fee for an objection to a decision is \$225 plus \$60 for engineering. Please note that if the objection is upheld the deposit will be refunded in full. If the decision is upheld in part, half the deposit will be refunded.

You are advised that under Section 125 of the Resource Management Act 1991 you are required to give effect to the consent within 2 years. Alternatively a longer period may be fixed upon application by you within 3 months of the expiry if the following criteria is met:

1. Substantial progress has been made in giving effect to the consent
2. The written approval of all adversely effected persons has been obtained.

Please contact me if you wish to discuss any matter relating to this consent.

Yours faithfully



David Lamason
Resource Consents Planner
Ph. 298 5139



57 matai Rd.



Approvals REGISTERED PROPRIETORS	
WE HEREBY CERTIFY THAT THIS PLAN WAS APPROVED BY THE KAPITI COAST DISTRICT COUNCIL PURSUANT TO SECTION 223 OF THE RESOURCE MANAGEMENT ACT 1991 ON THE 16th DAY OF June 1998 SUBJECT TO THE AMALGAMATION CONDITION SET OUT HEREON, AND, FOR THE PURPOSES OF SECTION 224(c) RESOURCE MANAGEMENT ACT 1991, THAT ALL OF THE CONDITIONS OF THE SUBDIVISION CONSENT HAVE BEEN COMPLIED WITH TO THE SATISFACTION OF THE KAPITI COAST DISTRICT COUNCIL.	
 AUTHORISED OFFICER	
 AUTHORISED OFFICER	
AMALGAMATION CONDITION THAT LOT 1 HEREON BE TRANSFERRED TO THE OWNERS OF LOT 59 DP 10231 (CT 506/246) AND THAT ONE CERTIFICATE OF TITLE BE ISSUED TO INCLUDE BOTH PARCELS. SEE DOC B.658005.1	
Total Area 91m²	
Comprised in CT 508/275 (PART)	
I, EDWARD CHARLES WELDRUM Registered Surveyor and holder of an annual practising certificate (or who may act as a registered surveyor pursuant to section 25 of the Survey Act 1986) hereby certify that this plan has been made from surveys executed by me or under my directions, that both plan and survey are correct and have been made in accordance with the Survey Regulations 1972 or any regulations made in substitution thereof. Dated at PARAPARAUMU this 16th day of July 1998 Signature	
Field Book Reg 9(3) p. Reference Plans DP's 10231, 83537	Inverse Book p.
Examined Correct	
Approved as to Survey / / Chief Surveyor	
Deposited this day of 19.....	
District Land Registrar	
File 17400 LTT Received 16/07/98 Instructions	86361

LAND DISTRICT WELLINGTON SURVEY BLK & DIST I PAEKAKARIKI NZMS 261 SHT RECORD MAP No.	LOT 1 BEING A SUBDIVISION OF LOT 56 DP 10231	TERRITORIAL AUTHORITY KAPITI COAST DISTRICT Surveyed by Cuttriss Consultants Limited Scale 1 : 200 JUNE 1998
---	---	--



KAPITI COAST DISTRICT COUNCIL

SITE CHECK SHEET

NAME : *Johnston*

ADDRESS : LOT : DP :

PROJECT : PERMIT NO :

WORK CANNOT PROCEED PAST EACH STEP UNTIL THAT STEP HAS BEEN INSPECTED, APPROVED AND THIS FORM SIGNED BY THE RELEVANT INSPECTOR. WORK APPROVED BY A CERTIFIER REQUIRES A BUILDING CERTIFICATE SUPPLIED BY THE CERTIFIER.

COMPONENT TO BE INSPECTED	CHECK	INSP REQUIRED (TICK)	COMMENTS AND/OR RECTIFICATION NOTICE NO	OK TO PROCEED YES/NO	ADDITION INSPECT YES/NO	DATE, SIGNATURE
FOUNDATIONS						
Siting						
Footings						
Steel						
BOND/BEAMS						
1st						
2nd						
3rd						
CONCRETE FLOOR						
Building						
P&D						
Elect						
Gas						
EHO						
SUB FLOOR						
Connections						
Braces						
Blocking						
PRE LINE						
Wall Framing			<i>Prelim insp all OK. M/C 26% Bl. straps on outside. Truss fixings etc.</i>	<i>Yes</i>	<i>No.</i>	<i>BF 22-6-94</i>
Bracing						
Fixings						
Lintels						
Roof Framing						
Trusses						
Bracing						
Fixing						
P&D	<i>OK</i>		<i>Partial inspection soil & vents & waste etc</i>	<i>Yes</i>	<i>No</i>	<i>JB 27/9/14</i>
Elect						
Gas						
EHO						

COMPONENT TO BE INSPECTED	C H E C K	INSPECT REQUIRED (TICK)	COMMENTS AND/OR RECTIFICATION NOTICE NO	OK TO PROCEED YES/NO	ADDITION INSPECT YES/NO	DATE, SIGNATURE
INSULATION			<i>POSTLINE OK</i>	<i>YES</i>	<i>NO</i>	<i>2/11/97 [Signature]</i>
Wall/Floors						
Ceiling/Skillion						
WALL LINING						
Building						
EHO						
EXT CLADDING			<i>ALL OK AT THIS FINAL STAGE NTR ITEMS INCLUDED</i>			<i>BDML 18-11-97</i>
Walls						
Roof						
JOINERY						
NZS4211						
NZS4223						
FIRE FIGHTING EQUIPMENT						
EGRESS COMPONENTS						
DISABLED PERSONS FACILITIES ETC						

FINAL INSPECTION

BUILDING COMPONENTS DEEMED COMPLETED

CERTIFIER	SIGNATURE	DATE	CERTIFIER	SIGNATURE	DATE
Building	<i>BDML</i>	<i>19/11/97</i>	Power		
Plumbing	<i>[Signature]</i>	<i>3/11/96</i>	Gas		
Drainage	<i>[Signature]</i>	<i>3/11/96</i>	Services		
EHO			Resource Management		
Lifts			Air Conditioning		
Compliance Schedule					

WORK IS NOW DEEMED TO BE COMPLETED. A CODE COMPLIANCE CERTIFICATE WILL BE ISSUED WHERE REQUIRED BY THE BUILDING ACT. CODE COMPLIANCE CERTIFICATE NUMBER

Signature

Designation

Date

WHEN THE PROJECT IS COMPLETED THIS INSPECTION SHEET WILL BE ATTACHED TO THE RELEVANT PROPERTY FILE HELD AT THE COUNCIL OFFICE.

SITE CHECK SHEET

NAME :

ADDRESS : LOT : DP :

Date Inspected

31-7-96

Final Bld - xclude HW Gyl from CCC.

NR

Seal Handrails - Flash under W/O over stucco when applied.

Complete stopping inside. Install Handrails to 2 stairs.

? Head Flashing to Garage Door. A.H.

Application No: 941508 Std Insp 1-2-4-5-6
Date: Std Cond: 2-3-4-7-9-
Site Address:

FEE CALCULATION SHEET

ADMIN = \$36 per hour

PLAN VETTING = \$60 per hour

INSPECTIONS = \$35

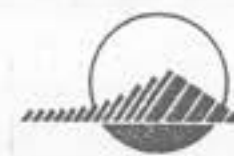
TECHNICAL CONSULTANTS = Cost + 10%

NETWORK UTILITY OPERATORS = Cost + 10%

N.S. Consulting Engineers & Surveyors

Classification		\$					Total \$				Total \$	Inspections							Total \$	Admin \$	PIM \$	Total
			PI	D	Bld	EH						Site	PI	D	Bld	EH						
1	Fire Places, Signs	0-1500																	36	Nil		
2	Sheds, Carports	1501-4000																	36	Nil		
3	Garages, Conservatories, Swim Pool, Etc	4001-10000																	36	50		
4	House Additions	4001-10000																	36	50		
5	House Additions	10001-50000	2	2	6		150						2	2	5			315	36	50	551	
6	Dwellings	50001-100000																	36	100		
7	Dwellings	100001-150000																	36	100		
8	Dwellings	150001-200000																	54	100		
9	Dwellings	200001-250000																	54	140		
10	Dwellings	250001-300000																	72	140		
11	Dwellings	300000 +																	72	180		
12	Commercial/Industrial	0-10000																	36	50		
13	Commercial/Industrial	10001-50000																	36	60		
14	Commercial/Industrial	50001-100000																	36	100		
15	Commercial/Industrial	100001-150000																	36	100		
16	Commercial/Industrial	150001-200000																	54	100		
17	Commercial/Industrial	200001-250000																	54	140		
18	Commercial/Industrial	250001-300000																	54	140		
19	Commercial/Industrial	350001-350000																	54	140		
20	Commercial/Industrial	350001-400000																	72	180		
21	Commercial/Industrial	400001-450000																	72	180		
22	Commercial/Industrial	450001-500000																	72	200		
23	Commercial/Industrial	500000 +																	72	250		

TYPE OF BUILDING	Dwelling	Retail *	Additions	☒ Accessory
	New	Industrial	Alterations	Other



KAPITI COAST DISTRICT COUNCIL

Form 3

APPLICATION FOR BUILDING CONSENT

Section 33, Building Act 1991

To : Kapiti Coast District Council

[Cross each applicable box and attach relevant documents in triplicate]

941508

PART A : GENERAL (Complete Part A in all cases)

10 FEB 1994

DEPARTMENT	REQUIREMENTS		COMMENTS	CHECKED/DATE STAMP
	Yes	No		
Town Planning				
	Zoning Conforms			
	Dispensation			
	Planning Consent			
	Special Floor Level			
Plumbing			OK	
Drainage	BUILDER TO ENSURE THAT PROPOSED FOUNDATION HEIGHT WILL ALLOW A SATISFACTORY DRAINAGE CONNECTION TO THE SEWER MAIN.			
Stormwater	To Channel			
	To Drain			
	Confined to Lot			
Building				
Structural	Specific Design			
	Foundation			
	Structure			
	Roof			
Subdivisional Engineer				
	Earthworks Bylaw Conditions			
Environmental Health				
Site	Shared V6 Existing cracks to V6 & backpath right side.			

APPLICANT*	PROJECT
Name: <u>RC. + MH TITCHENER.</u>	New or relocated building ☐
Mailing address: <u>57 MATAI ROAD RAUMATI</u>	Alteration ☐
Contact [Print name and position]: <u>ROSS TITCHENER</u>	Intended use(s) [In detail]: <u>ADDITION 3 BEDROOM / GARAGE.</u>
Phone: <u>2984804</u> Fax: _____	Intended life: Indefinite but not less than 50 years ☐
*Under section 33 of the Building Act 1991, the applicant must be the owner of the land on which building work is contemplated or a person who or which has agreed in writing, whether conditionally or unconditionally, to purchase the land or any leasehold estate or interest in the land, or to take a lease of the land, while the agreement remains in force.	Specified as _____ years ☐
FOR COUNCIL USE	Demolition ☐
Received: <u>10/2/94</u>	Being stage _____ of an intended _____ stages.
Application fee: <u>\$200-</u>	Estimated value (inclusive of GST): <u>\$40,000</u>
Receipt No.: <u>409159</u>	PROJECT LOCATION
	Street address [If any]: <u>57 MATAI ROAD RAUMATI</u>
	Legal description [as shown on certificate of title or rates notice, if any]: Lot _____
	DP _____

This application is for :

☒ Building consent only, in accordance with project information memorandum number _____.

☐ Both building consent and a project information memorandum.

Floor (tick boxes)	Roof (tick boxes)	External Cladding (tick boxes)
Timber ☒	Steel Sheeting ☐	Brick ☐
Concrete ☒	Steel Tiles ☒	Concrete ☐
Wood Products ☒	Concrete Tiles ☐	Concrete Block ☒
Other ☒	Shingles ☐	Cement Board ☒
Framing (tick boxes)	Aluminium ☐	Plaster ☐
Timber ☒	Other ☐	Timber ☒
Concrete ☐	Internal linings (tick boxes)	Steel ☐
Steel ☐	Plaster Board ☒	Aluminium ☐
Aluminium ☐	Fibrous Plaster ☒	Other ☐
Other ☐	Wood Products ☐	Size of Building _____
	Other ☐	Floor area m ² <u>52</u> No. of storeys <u>2</u>
		No. of dwelling units <u>N/A.</u>

PART B : PROJECT DETAILS

(Complete Part B only if you have not applied separately for a project information memorandum)

- ☐ Location, in relation to legal boundaries, and external dimensions of new, relocated, or altered buildings.
- ☐ New provisions to be made for vehicular access, including parking.
- ☐ Provisions to be made in building over or adjacent to any road or public place.
- ☐ New provisions to be made for disposing of stormwater and wastewater.
- ☐ Precautions to be taken where building work is to take place over existing drains or sewers or in close proximity to wells or watermain.
- ☐ New connections to public utilities.
- ☐ Provisions to be made in any demolition work for the protection of the public, suppression of dust, disposal of debris, disconnection from public utilities, and suppression of noise.
- ☐ Any cultural heritage significance of the building or building site, including whether it is on a marae.

PART C : BUILDING DETAILS

(Complete Part C in all cases)

This application is accompanied by [Cross each applicable box, attach relevant documents in duplicate]:

- ☐ The drawings, specifications and other documents according to which the building is proposed to be constructed to comply with the provisions of the building code, with supporting documents, if any, including:
- ☐ Building certificates
- ☒ Producer statements
- ☐ References to accreditation certificates issued by the Building Industry Authority
- ☐ References to determinations issued by the Building Industry Authority
- ☐ Proposed procedures, if any, for inspection during construction.

PART D : KEY PERSONNEL

(Complete Part D as far as possible in all cases. Give names, addresses, and telephone numbers. Give relevant registration numbers if known.)

Designer(s): P. Bolton / R. Titchener

Building Certifier(s): _____

Builder(s): TO BE ADVISEDRegistered Drainlayer: A. Thomas REG NO.: _____Craftsman Plumber: = REG NO.: _____

Craftsman Gasfitter: _____ REG NO.: _____

Registered Electrician: R. Wilkinson REG NO.: _____

Other: _____

PART E : COMPLIANCE SCHEDULE DETAILS**E1 : Systems Necessitating a Compliance Schedule**

(Complete Part E1 for all new buildings and alterations, except single residential dwellings.)

The building will contain the following [Cross each applicable box and attach proposed inspection, maintenance, and reporting procedures]:

- ☐ Automatic sprinkler systems or other systems of automatic fire protection.
- ☐ Automatic doors which form part of any fire wall and which are designed to close shut and remain shut on an alarm of fire.
- ☐ Emergency warning systems for fire or other dangers.
- ☐ Emergency lighting systems.
- ☐ Escape route pressurisation systems.
- ☐ Riser mains for fire service use.

- ☐ Any automatic back-flow preventer connected to a potable water supply.
- ☐ Lifts, escalators, or travelators or other similar systems.
- ☐ Mechanical ventilation or air conditioning system serving all or a major part of the building.
- ☐ Any other mechanical, electrical, hydraulic, or electronic system whose proper operation is necessary for compliance with the building code.
- ☐ Building maintenance units for providing access.
- ☐ Such signs as are required by the building code.
- ☐ Non of the above.

E2 : Other Systems and Features

(Complete Part E2 only if building contains)

The building will contain the following [Cross each applicable box, attach proposed inspection, maintenance, and reporting procedures]:

- ☐ Means of escape from fire.
- ☐ Safety barriers.
- ☐ Means of access and facilities for use by persons with disabilities which meet the requirements of Section 25 of the Disabled Persons Community Welfare Act 1975.
- ☐ Handheld hoses for firefighting.
- ☐ Such signs as are required by the building code or Section 25 of the Disabled Persons Community Welfare Act 1975.

Signed for and on behalf of the Applicant:

Name: [Signature]

Position: _____

Date: 4/2/94**FOR OFFICE USE ONLY**

FEES		APPLICATION FEE	
Building	\$ 551		\$ 200
Sewer Connection	\$	RECEIPT NO	DATE 10-2-94
Water Connection	\$	409159	
Vehicle Crossing	\$	INVOICE NO	DATE 2-3-94
Damage Deposit	\$	1498	
Structural Checking	\$	RECEIPT NO	DATE 9-3-94
Building Research Levy	\$ 40	420901	
Development Levy	\$	BUILDING CONSENT NO	DATE ISSUED
BIA Levy	\$ 10	941508	9-3-94
Compliance Schedule	\$	AUTHORISATION FOR REFUND OF DEPOSITS	
SUBTOTAL	\$	Deposit held =	\$
Less Deposit Paid	\$ 200	Cost to Repair Damage Caused During Construction =	\$
TOTAL	\$	Total Balance to be Refunded =	\$
GST INCLUDED	\$	Authority Number :	
		Authorised	DATE

Received with thanks by 48-01
 KAPITI COAST DISTRICT COUNCIL
 18-02-94 15:12 Receipt No. 409159
 DR 903959 TRSF TO BOS
 288.00
 SUSPENSE BUILDING CONSENT FEES: 11111
 OF 9041508
 TITCHENER R G & N R 200.00-
 R G & N R TITCHENER 1157 MITAI ROAD, PUNAHU



KAPITI COAST DISTRICT COUNCIL

Ref:

BUILDING CONSENT ADDENDA 941508

APPLICANT: R G & M H TITCHENER : 57 MATAI ROAD : RAUMATI
LOCATION: 57 MATAI RD. PARAPARAUMU

General requirements

- a) The District Inspector is to be given 24 hours notice before carrying out the following inspections.

PRELINING INSPECTION OF PLUMBING

FINAL INSPECTION OF PLUMBING

WATER TEST ON SEWER DRAINS

FINAL INSPECTION GULLIES, ETC

FINAL INSPECTION STORMWATER

FOUNDATION INSPECTION

PRE-SLAB INSPECTION, CONCRETE FLOOR

PRELINING INSPECTION, MOISTURE TEST, CHECK BRACING

POST-LINING INSPECTION, LININGS, FIXED AS PER BRACE DESIGN

FINAL INSPECTION BUILDING

- b) To arrange for any of the above required inspections by the District Inspector, please contact P Wilkinson on (04) 298-5139 between the hours of 8.00 am and 4.30 pm.

Conditions of consent

- i) It is the owner's responsibility to ensure the satisfactory over all standard of the workmanship. The issue of the Building Consent does not in any way guarantee or imply continuous supervision of the works by the District Inspector. All work approved by an approved certifier requires a building certificate to be supplied to the territorial authority. Failure to have the required inspections carried out may result in non-issue of Code Compliance Certificate.



KAPITI COAST DISTRICT COUNCIL

Ref:

BUILDING CONSENT ADDENDA 941508: [Continued]

2. Names and registration numbers of plumber and drainlayer are required before work commences.
3. A tempering valve is to be installed on the hot water cylinder.
4. Roof stormwater to be adequately disposed of within property boundaries.
5. The inspection of all specific design components of the building is the responsibility of the design engineer who is also required to supply a written report to Council.
6. All foundations are to be to solid bearing minimum of 300mm.
7. Work to comply with NZS3604-1990.
8. Metal head flashings required over all exterior joinery.
9. Note and comply with endorsements on approved plans.
10. HEIGHT ENVELOPE MUST BE CHECKED ON SITE DURING CONSTRUCTION FOR COMPLIANCE BY BUILDER/OWNER.

I have read the foregoing requirements and conditions of consent, and the Owner/Builder/Authorized Person hereby agrees to comply with them.

OWNER/BUILDER/AUTHORIZED PERSON

DATE

9/3/94

Ngarara Building, Rimu
Road, Private Bag 601,
Paraparaumu,
Telephone (04) 298-5139
Fax (04) 297-2563



NOTICE TO RECTIFY BUILDING WORK
Section 42, Building Act 1991

To

Consent Details

R G & M H TITCHENER
57 MATAI ROAD
RAUMATI

Consent/PIM No.: 941508
Date issued: 2/08/96

Valn No: 1529131200
Overseer: Peter Wilkinson

Project Descrn: ALTERATIONS, REPAIRS or EXTENSIONS
BEING STAGE 1 OF AN INTENDED 1 STAGES
ADDITION

Intended Life: INDEFINITE, BUT NOT LESS THAN 50 YEARS

Intended Uses: RESIDENTIAL

Project Location: 57 MATAI ROAD, RAUMATI

Legal Description: LOT 59 DP 10231 CT 506/246

Estimated Value: \$ 40,000

You are hereby notified to rectify building work on the project described above that was not done in accordance with the Building Act 1991 or the building code, as detailed in the attached page(s) headed Particulars of Contravention.

SIGNED FOR AND ON BEHALF OF THE COUNCIL:

NAME: J. G. G. BUILDING CONTROL OFFICER DATE: 9/4/97



Particulars of Contravention 941508

- 1 ITEMS REQUIRING COMPLETION OR CHANGE TO COMPLY WITH BUILDING CONSENT #941508 APPROVED DOCUMENTS.
 - 1 HARDIE-TEX SHOULD HAVE BEEN SEALED WITH IN THREE MONTHS OF INSTALLATION.WHEN STUCCO COATING IS APPLIED YOU ARE TO WEATHER THE TOP OF IT WITH A METAL FLASHING CARRIED UP UNDER THE EDGE OF THE BOTTOM WEATHERBOARD.
 - 2 COMPLETE THE STOPPING OF "GIB"BOARD.
 - 3 INSTALL COMPLYING GRAB HANDRAILS TO 2 STAIRWAYS.
 - 4 INSTALL HEADFLASHING OVER GARAGE DOOR OPENING.

PROPOSED ADDITION FOR

IMPORTANT
An additional inspection is now required for all buildings once internal linings have been installed and prior to GIB stopping, fitting of skirtings and scotia contact building inspectors

R.G. & M.H. TITCHENER AT

57 MATAI ROAD

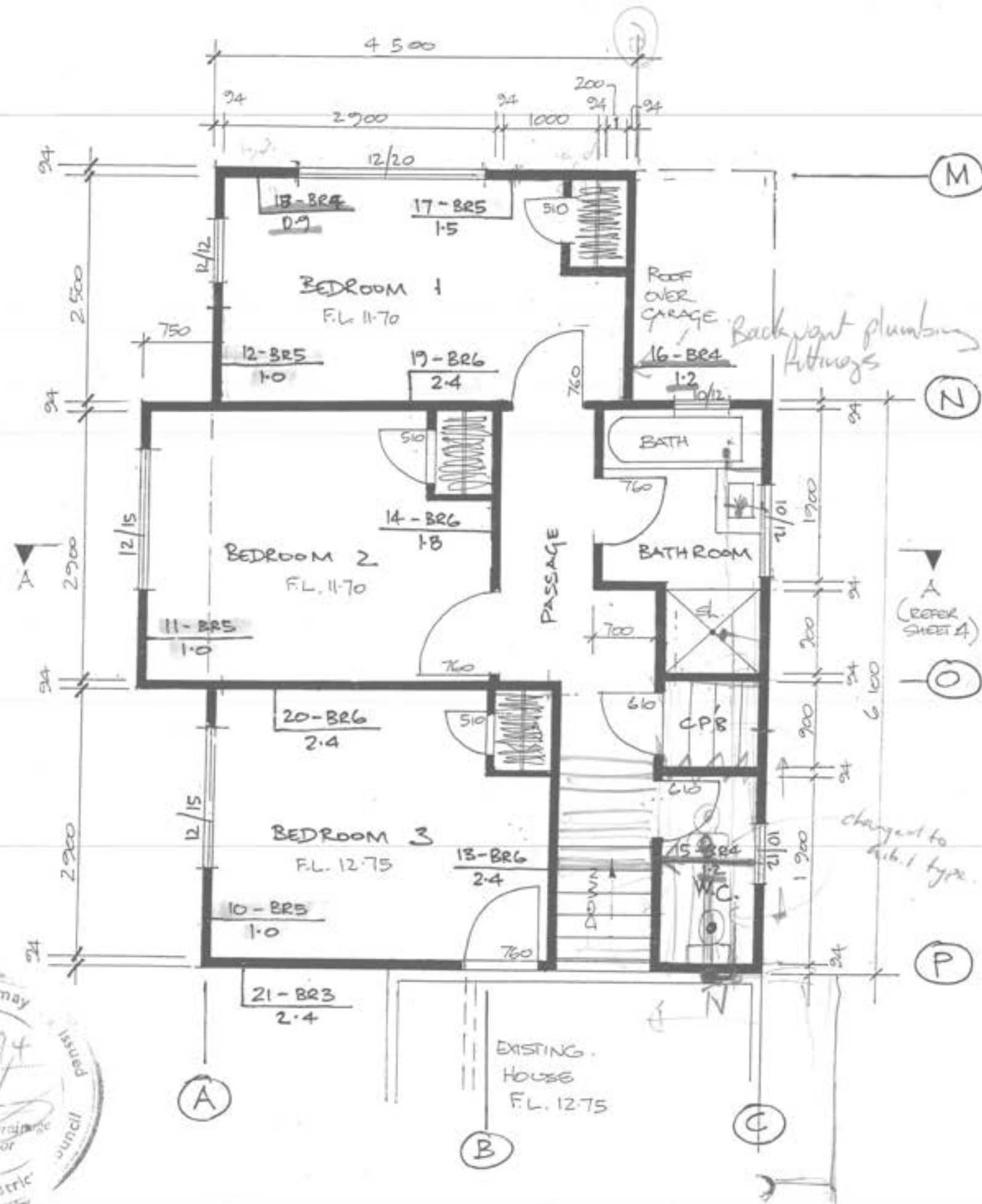
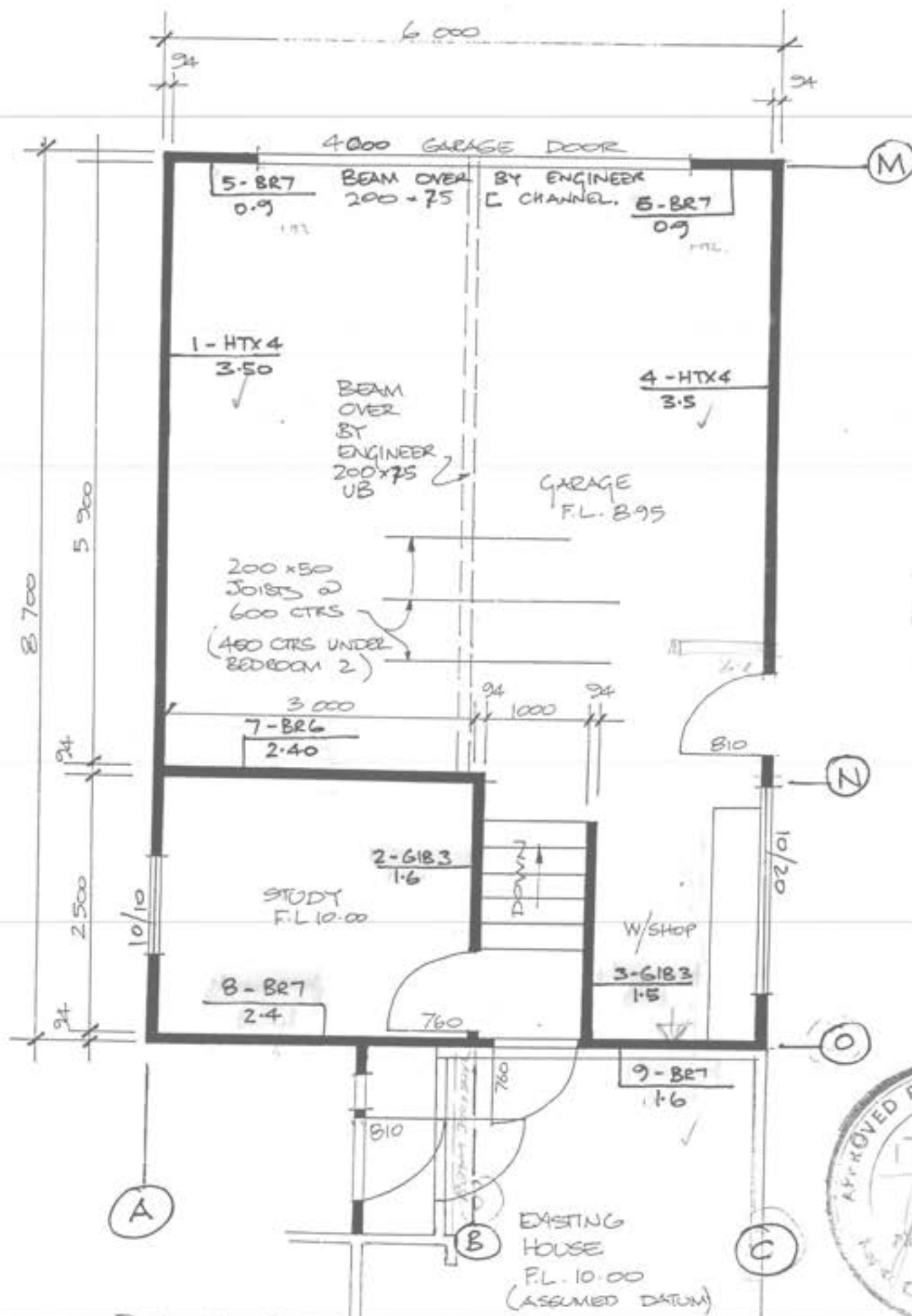


IMPORTANT
24 HRS NOTICE MUST BE GIVEN
THE INSPECTOR FOR ALL STAGES
OF WORK TICKED BELOW.

AMENDMENT OF WORK	☒
ONE POLING ANY SCHEDE	☒
ONE FIXING ANY FLOOR	☒
ONE FIXING ANY WALL CEILING LININGS	☒
ONE BACKFILLING ANY TRENCH	☐
ONE CEILING ANY CROWN MOULD	☐
ONE FILLING ANY FLAT ROOF	☐
ONE FILLING ANY TRENCH	☒
ONE FILLING ANY TRENCH	☐

RAUHATI SOUTH.

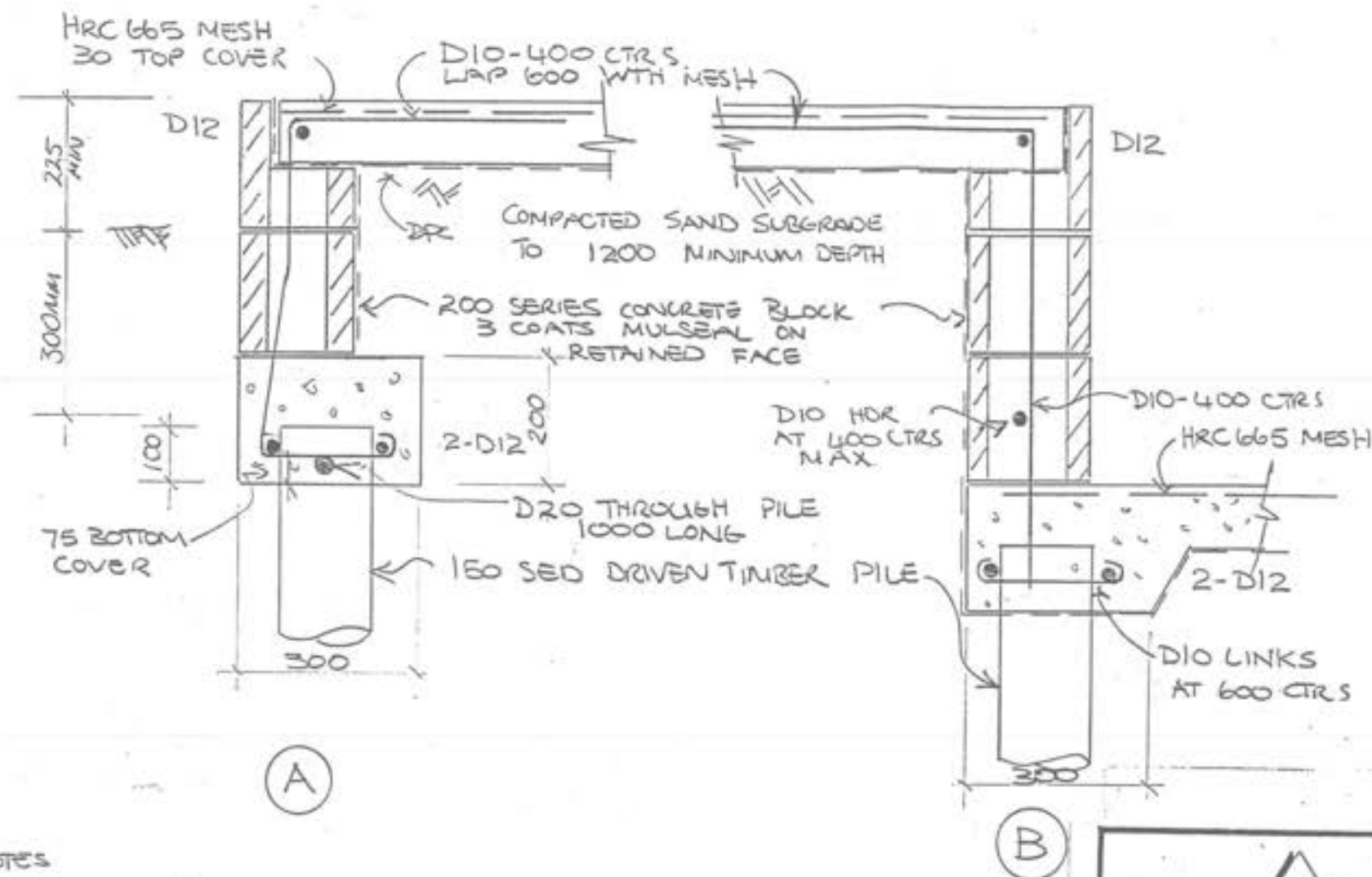




COPPER WATER PIPES FOR COLD WATER NOT PERMITTED
Exemptions, See Plumbing Inspector



SITE PLAN



NOTES

1. CONCRETE STRENGTH TO BE 20 MPa AT 28 DAYS
2. CURE CONCRETE BY PONDING MINIMUM 7 DAYS
3. REINFORCING TO BE MILD STEEL DEFORMED 300 MPa
4. LAP LENGTH FOR BARS TO BE 400 MM MINIMUM.

SAND FILL TO BE COMPACTED IN 150 MM LAYERS TO 95% RELATIVE COMPACTION IN ACCORDANCE WITH NZS4402

PILES TO BE DRIVEN USING A 675 kg HAMMER FOR 600mm FALL AND MAXIMUM SET OF 200mm/10 BLOWS. KEEP RECORDS OF SET AND DO NOT VARY WITHOUT ENGINEERS APPROVAL

BLOCKWORK TO BE 200 SERIES ALL CELLS FILLED 17.5MPa GROUT



Base Consulting Engineers Ltd

28 Queen Street
P.O. Box 434
Levin

Telephone Levin (06) 36 70088
Paraparaumu (04) 29 70088
Fax (06) 36 79329

R & M. TITCHENER
57 MATAI RD. RAUMATI

PROPOSED GARAGE &
DWELLING EXTENSION
FOUNDATION PLAN

Date JAN 1994 Scale 1:50 1:10

Survived
Designed
Drawn
Checked

Drawing No.

G402

SHEET 7



BANDSAWN
HARDIPLANK

HARDITEX SHEET



DECRA-BOND ROOF



HARDITEX SHEET



ELEVATIONS 1:100

ROOF:- DECELRABOND TILES, BUILDING PAPER & NETTING
ON 75 x 50 'ON FLAT' PURLINS AT 900 CTRS

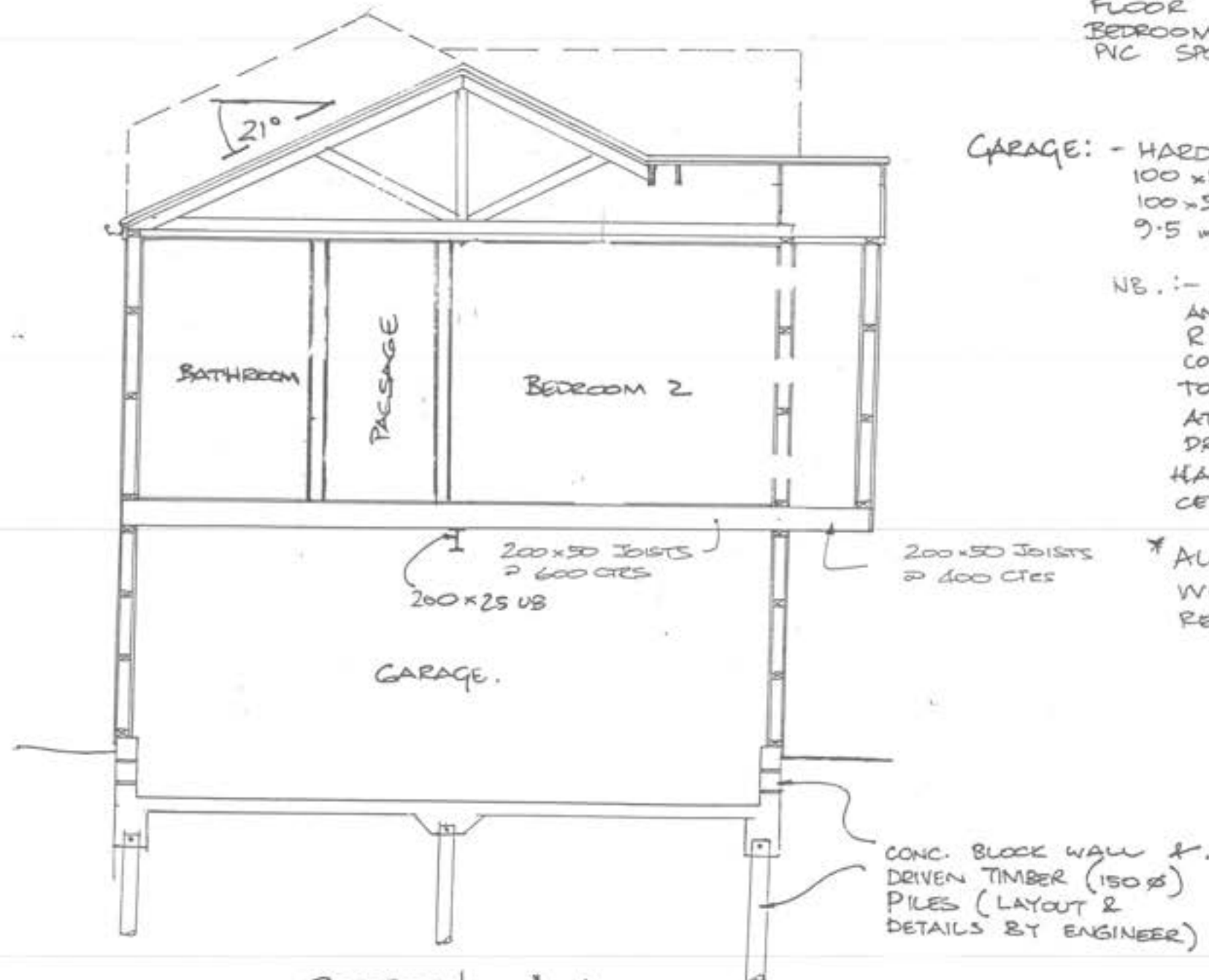
TRUSSES AT 900 CTRS, 50 x 40 CEILING BATTENS
@ 450 1/2, R 2.4 INSULATION BATTS & 9.5 GIB
CABLE END TO MATCH EXISTING HOUSE.

UPPER FLOOR (OVER GARAGE):- RUSTICATED W/BOARDED 'HARDIPLANK 205'
ON BUILDING PAPER ON 100 x 50 mm N°1 H.I P.G.
FRAMING, STUDS AT 600 CTRS, R1-B BATT, 2 ROWS
DWANGS, 100 x 50 TOP & BOTTOM PLATES, STD 9.5 mm GIB
& 9.5 mm BRACELINE LININGS
200 x 25 FASCIA BOARD, WOODEN JOINERY
20 mm PARTICLE BOARD FLOORING OVER 200 x 50
FLOOR JOISTS @ 600 CTRS (400 CTRS OVER UNDER
BEDROOM 2 (REFER ENGINEERS DESIGN FOR BEAMS)
PVC SPOUTING AND DOWNPIPES 'MARLEY'

GARAGE:- HARDITEX SHEET CLADDING, BUILDING PAPER ON
100 x 50 N°1 H.I P.G. FRAMING, 2 ROWS OF DWANGS
100 x 50 STUDS @ 600 CTRS, 100 x 50 TOP PLATE,
9.5 mm STD GIB & BRACELINE & 7.5 mm PLY LININGS

NB.:- BATTS NOT REQUIRED IF WALL BETWEEN HOUSE,
AND FLOOR TO BEDROOMS IS INSULATED WITH
R1-B BATTS.
CONC. BLOCK CONSTRUCTION AND PILE LAYOUT
TO ENGINEERS SPECIFICATION AND DETAILS
ATTACHED, 100 mm THK CONC SLAB (REFER ENGINEER
DRNGS), ON DRIVEN 150 Ø TANAPILES S.E.D.
HARDITEX SHEETS TO BE SPRAY COATED WITH FIBRE
CEMENT TO MANUFACTURERS SPECIFICATION.

* ALL WORK TO BE CARRIED OUT TO COMPLY
WITH THE CURRENT BUILDING ACT AND
RELEVANT NZS 3604:1990.



SECTION A-A.
1:50



KAPITI COAST DISTRICT COUNCIL

NGARARA BUILDING, RIMU ROAD

Private Bag, Paraparaumu

WALLBRACING CALCULATION SHEET A

(For use with NZS 3604 : 1990)

Name: TITCHENER

1. Location of STOREY: single
upper of two
lower of two

SITE WIND ZONE: (Table 2.4) high very high

EARTHQUAKE ZONE: (Fig. 2.2, Table 2.3) A

SITE ADDRESS

City/Town or District: KAPITI

Street and Number: 57 MATAI ROAD

or LOT AND D.P. Number: _____

2. FOR EARTHQUAKE

Roof weight: light / heavy

Average Roof Pitch: 21°

Type of Cladding: light / heavy

Earthquake Zone: A

Storey in Roof space: yes / no

E = 4.0 BU's/m² ✓

3. FOR WIND

Building Height: 6.5 m W = 145 BU's/m Along

Roof Height: 1.5 m W = 135 BU's/m Across

Stud Height: 2.4 m

Wind Speed: HIGH

4. ROOF or BUILDING LENGTH BL = 8.70 m ✓

ROOF or BUILDING WIDTH BW = 6.70 m ✓

GROSS ROOF or BUILDING PLAN AREA GPA = 58.7 m² ✓

5. EARTHQUAKE LOAD (ACROSS and ALONG) E x GPA = 4 x 58.7 = 234.8 BU's

WIND LOAD: ACROSS W ACROSS x BL = 135 x 8.70 = 1174.5 BU's

WIND LOAD: ALONG W ALONG x BW = 145 x 6.70 = 971.5 BU's

UPPER OF TWO

ALONG

WALL OR BRACING LINE		BRACING ELEMENTS PROVIDED			EARTHQUAKE		WIND	
1	2	3	4	5	6 EQ	7 EQ	6 W	7 W
Line Label	Minimum BU's Required	Bracing Element No.	Bracing Type	Length Element (m) L	Rating BU/m EQ	BU's Achieved (BU/m x L) EQ	Rating BU/m W	BU's Achieved (BU/m x L) W
A	87	10	BR4	1.0	85	85	100	100
		11	BR4	1.0	85	85	100	100
		12	BR4	1.0	85	85	100	100
B	70	13	BR6	2.4	110	264	150	360
		14	BR6	1.8	110	198	150	270
C	87	15	BR4	1.2	85	102	100	120
		16	BR4	1.2	85	102	100	120
D								
E								

TOTALS ACHIEVED

EQ 921 W 1170

TOTALS REQUIRED

EQ 234.8 W 971.5

(From Sheet A)

ACROSS

WALL OR BRACING LINE		BRACING ELEMENTS PROVIDED			EARTHQUAKE		WIND	
1	2	3	4	5	6 EQ	7 EQ	6 W	7 W
Line Label	Minimum BU's Required	Bracing Element No.	Bracing Type	Length Element (m) L	Rating BU/m EQ	BU's Achieved (BU/m x L) EQ	Rating BU/m W	BU's Achieved (BU/m x L) W
M	45	17	BR5	1.5	85	127.5	115	172.5
		18	BR4	0.9	85	76.5	100	90
N	70	19	BR6	2.4	110	264	150	360
O	70	20	BR6	2.4	110	264	150	360
P	60	21	BR3	2.4	65	156	94	225.6
Q								

TOTALS ACHIEVED

EQ 888 W 1208.1

TOTALS REQUIRED

EQ 234.8 W 1174.5

(From Sheet A)

SHEET 5



KAPITI COAST DISTRICT COUNCIL

NGARARA BUILDING, RIMU ROAD
Private Bag, Paraparaumu

WALLBRACING CALCULATION SHEET A (For use with NZS 3604 : 1990)

Name: TITCHENER

1. Location of STOREY: single upper of two lower of two

SITE WIND ZONE: (Table 2.4) high very high

EARTHQUAKE ZONE: (Fig. 2.2, Table 2.3) A

SITE ADDRESS

City/Town or District: KAPITI

Street and Number: 57 MATAI ROAD

or LOT AND D.P. Number: _____

2. FOR EARTHQUAKE

Roof weight: light/ heavy

Average Roof Pitch: 21°

Type of Cladding: light/ heavy

Earthquake Zone: A

Storey in Roof space: yes no

$$E = 8.0 \text{ BU's/m}^2$$

3. FOR WIND

Building Height: 6.5 m

Roof Height: 1.5 m

Stud Height: 2.4 m

Wind Speed: HIGH

$W = 145 \text{ BU's/m Along}$

$W = 135 \text{ BU's/m Across}$

4. ROOF or BUILDING LENGTH BL = 8.70 m

ROOF or BUILDING WIDTH BW = 6.00 m

GROSS ROOF or BUILDING PLAN AREA GPA = 52.20 m²

5. EARTHQUAKE LOAD (ACROSS and ALONG) $E \times GPA = 8 \times 52.20 = 417.6 \text{ BU's}$

WIND LOAD: ACROSS $W \text{ ACROSS} \times BL = 135 \times 8.7 = 1174.5 \text{ BU's}$

WIND LOAD: ALONG $W \text{ ALONG} \times BW = 145 \times 6.0 = 870 \text{ BU's}$

LOWER OF TWO STOREYS.

ALONG

WALL OR BRACING LINE		BRACING ELEMENTS PROVIDED			EARTHQUAKE		WIND	
1	2	3	4	5	6 EQ	7 EQ	6 W	7 W
Line Label	Minimum BU's Required	Bracing Element No.	Bracing Type	Length Element (m) L	Rating BU/m EQ	BU's Achieved (BU/m x L) EQ	Rating BU/m W	BU's Achieved (BU/m x L) W
A	87	1	HTX4	3.5	90	315	103	360.5
B	70	2	GIB3	1.6	60	96	65	104
C	87	3	GIB3	1.5	60	90	65	97.5
D		4	HTX4	3.5	90	315	103	360.5
E								

TOTALS ACHIEVED

EQ 816 W 922.5

TOTALS REQUIRED

EQ 417.6 W 870

(From Sheet A)

ACROSS

WALL OR BRACING LINE		BRACING ELEMENTS PROVIDED			EARTHQUAKE		WIND	
1	2	3	4	5	6 EQ	7 EQ	6 W	7 W
Line Label	Minimum BU's Required	Bracing Element No.	Bracing Type	Length Element (m) L	Rating BU/m EQ	BU's Achieved (BU/m x L) EQ	Rating BU/m W	BU's Achieved (BU/m x L) W
M	60	5	BR7	0.9	145	130.5	145	130.5
N	70	6	BR7	0.9	145	130.5	145	130.5
O	60	7	BR6	2.4	110	264	150	360
P		8	BR7	2.4	145	348	145	348
Q		9	BR7	1.6	145	232	145	232

TOTALS ACHIEVED

EQ 1105 W 1201

TOTALS REQUIRED

EQ 417.6 W 1174.5

(From Sheet A)

SHEET 6

BRIEF SPECIFICATION.

PROJECT. ADDITION (3 BEDROOMS; GARAGE UNDER)

OWNER. MR & MRS TITCHENER

DATE. FEB 1994.

FOUNDATION WALL. CONCRETE. FOUNDATION ON PILES
CONCRETE BLOCK RETAINING WALL.

FLOOR. G.F.L. CONC. SLAB.

EXTERNAL CLADDING.

Ground Floor. HARDITEX SHEET TO BE SPRAY COATED

Upper Floor. 205 HARDIPLANK 'RUSTICATED W/B.

Gable Ends. 'HARDITEX SHEET

Dormers. N/A.

WALL FRAMING.

Ground Floor. 100x50mm N°1 H.P.G. FRAMING TO NZS 3604 SEC 6.

Upper Floor. " " " " "

JOINERY. WOODEN TO MATCH EXISTING.

INSULATION.

Floor. BATTS AS APPLICABLE (UNDER BEDROOM 1, 2 & 3, BATHROOM)

Walls. N.Z. FIBREGLASS CO. R1.8 BATTS

Ceilings. " " " R2.6 BATTS

INTERNAL LININGS.

Walls & Ceilings. 9.5mm GIBRALTAR BOARD / BRACELINE

Walls Wet Areas. 9.5mm W.R. GIB

.. .. Floors. PARTICLE BOARD. (20mm)

ROOF COVERING.

Covering. DECRA-BOND TILES.

System. TRUSS.

PLUMBING.

Cold Water Supply. EXISTING MAIN.

.. .. Piping. "BUTELINE"

Hot Water Piping. " "

Hot Water Cylinder. N/A.

C.W. Storage Tank. N/A

Fittings.

W.C. Pan & Cistern. 'COROMA' UNISET WITH FOWLER PANS.

Bidet. N/A.

Bath. CLEARLITE 'PACIFIC'

Shower & Fittings. TOPUS MIXERS

Vanity. MADE UP CABINETS & TOPS BY KITCHEN FABRICATOR

Sink. FORMICA TOPS. S.S. BASINS.

Waste Disposal. N/A

Tub. N/A

TAPS. METHVEN.

WASTE PIPES / TRAPS / FITTINGS. "MARLEY"

DRAINS (SANITARY) "MARLEY"

DISPOSAL. Sewer / Septic Tank. CONNECT TO EXIST. LATERAL.

STORMWATER SYSTEM. "MARLEY"

DRAINS (Stormwater.) "

COOKING APPLIANCE. N/A.

HEATING APPLIANCE. 'SKOPE' NIGHTSTORE



NB:- ALL MATERIALS FITTINGS AND APPLIANCES TO BE FIXED AND
INSTALLED STRICTLY IN ACCORDANCE WITH THE MANUFACTURER'S
SPECIFICATIONS AND INSTRUCTIONS TO COMPLY WITH RELEVANT
NEW ZEALAND STANDARDS NZS 3604 AND THE
NEW ZEALAND BUILDING CODE

UPPER OF TWO

ALONG

WALL OR BRACING LINE		BRACING ELEMENTS PROVIDED			EARTHQUAKE		WIND	
1	2	3	4	5	6 EQ	7 EQ	6 W	7 W
Line Label	Minimum BU's Required	Bracing Element No.	Bracing Type	Length Element (m) L	Rating BU/m EQ	BU's Achieved (BU/m x L) EQ	Rating BU/m W	BU's Achieved (BU/m x L) W
A	87	9	BR 5	1.35	85	114.75	115	155.25
B	70	10	GB 2	2.0	60	120	75	150
		11	GB 2	2.0	60	120	75	150
C	87	12	BR 4	1.1	85	93.5	100	110
		13	BR 5	1.2	85	102	115	138
D		14	GB 1	2.5	50	125	75	187.5
		15	GB 3	1.5	60	90	65	97.5
E								

TOTALS ACHIEVED

EQ 765.25

W 988.25

TOTALS REQUIRED

EQ 234.8

W 971.5

(From Sheet A)

RECEIVED

ACROSS

WALL OR BRACING LINE		BRACING ELEMENTS PROVIDED			EARTHQUAKE		WIND	
1	2	3	4	5	6 EQ	7 EQ	6 W	7 W
Line Label	Minimum BU's Required	Bracing Element No.	Bracing Type	Length Element (m) L	Rating BU/m EQ	BU's Achieved (BU/m x L) EQ	Rating BU/m W	BU's Achieved (BU/m x L) W
M	45	16	CP 6	1.10	99	108.9	100	110
		17	CP 6	1.10	99	108.9	100	110
N	70	18	GB 1	3.6	50	180	75	270
		19	GB 1	3.6	50	180	75	270
O	70	20	BR 4	0.9	85	76.5	100	90
P	60	21	BR 4	0.9	85	76.5	100	90
		22	GB 1	3.8	50	190	75	285
Q								

TOTALS ACHIEVED

EQ 920.3

W 1225

TOTALS REQUIRED

EQ 234.8

W 1174.5

(From Sheet A)

26 APR 1996

KAPITI COAST DISTRICT COUNCIL

LOWER OF TWO STOREYS

ALONG

WALL OR BRACING LINE		BRACING ELEMENTS PROVIDED			EARTHQUAKE		WIND	
1	2	3	4	5	6 EQ	7 EQ	6 W	7 W
Line Label	Minimum BU's Required	Bracing Element No.	Bracing Type	Length Element (m) L	Rating BU/m EQ	BU's Achieved (BU/m x L) EQ	Rating BU/m W	BU's Achieved (BU/m x L) W
A	87	1	HTA4	3.5	90	315	103	360.5
B	70	2	GIB 3	1.6	60	96	65	104
C	87	3	QB 3	1.5	60	90	65	97.5
D		4	HTX 4	3.5	90	315	103	360.5
E								

TOTALS ACHIEVED

EQ 816

W 922.5

TOTALS REQUIRED

EQ 417.6

W 870

(From Sheet A)

ACROSS

WALL OR BRACING LINE		BRACING ELEMENTS PROVIDED			EARTHQUAKE		WIND	
1	2	3	4	5	6 EQ	7 EQ	6 W	7 W
Line Label	Minimum BU's Required	Bracing Element No.	Bracing Type	Length Element (m) L	Rating BU/m EQ	BU's Achieved (BU/m x L) EQ	Rating BU/m W	BU's Achieved (BU/m x L) W
M	60	5	HTX 1	0.9	110	99	101	90.9
N	70	6	HTX 1	0.9	110	99	101	90.9
O	60	7	CP 10	3.0	122	366	142	426
P		8	GIB 1	1.8	50	90	55	99
Q								

TOTALS ACHIEVED

EQ 654

W 1193.6

TOTALS REQUIRED

EQ 417.6

W 1174.5

(From Sheet A)

$$\times \frac{3.0}{1.4} = 912.8$$



KAPITI COAST DISTRICT COUNCIL

NGARARA BUILDING, RIMU ROAD
Private Bag, Paraparaumu

WALLBRACING CALCULATION SHEET A (For use with NZS 3604 : 1990)

Name: R.G. TITCHENER.

1. Location of STOREY	single <u>upper of two</u> lower of two
SITE WIND ZONE: (Table 2.4)	<u>high</u> very high
EARTHQUAKE ZONE: (Fig. 2.2, Table 2.3)	<u>A</u>

SITE ADDRESS

City/Town or District: RAUMATI.
Street and Number: 57
or
LOT AND D.P. Number: 59 D.P. 10231

2. FOR EARTHQUAKE	
Roof weight:	<u>light</u> heavy
Average Roof Pitch:	<u>20°</u>
Type of Cladding:	<u>light</u> heavy
Earthquake Zone:	<u>A</u>
Storey in Roof space:	yes <u>no</u>
	$E = 4 \text{ BU's/m}^2$

3. FOR WIND		
Building Height	: <u>5.9</u> m	$W = 122 \text{ BU's/m Along}$
Roof Height	: <u>0.8</u> m	$W = 209 \text{ BU's/m Across}$
Stud Height	: <u>2.4</u> m	
Wind Speed	: <u>126</u>	

4. ROOF or BUILDING LENGTH	BL = <u>4.8</u> m
ROOF or BUILDING WIDTH	BW = <u>4.6</u> m
GROSS ROOF or BUILDING PLAN AREA	GPA = <u>22</u> m ²

5. EARTHQUAKE LOAD (ACROSS and ALONG) $E \times GPA$	= $4 \times 22 = 88$ BU's
WIND LOAD: ACROSS $W \text{ ACROSS} \times BL$	= $209 \times 4.8 = 376.2$ BU's
WIND LOAD: ALONG $W \text{ ALONG} \times BW$	= $122 \times 4.6 = 561.2$ BU's

ALONG

[illegible]

TOTALS ACHIEVED	EQ	384	W	562.5
TOTALS REQUIRED	EQ	88	W	561.2

(From Sheet A)

ACROSS

[illegible]

TOTALS ACHIEVED	EQ	269	W	377.5
TOTALS REQUIRED	EQ	88	W	316.2

Sheet A)

22/08/96



FILE

R G & M H TITCHENER
57 MATAI ROAD
RAUMATI

Dear Sir/Madam

Re Notice to Rectify no.941508
ADDITION
57 MATAI ROAD, RAUMATI

A check of our records has revealed that the above notice to rectify has not been complied with.

You, as owner, are required to comply with notices issued under section 42 of the Building Act 1991.

Please contact this office if the remedial work detailed in the notice to rectify has been completed, to enable a final inspection to be arranged.

Alternatively, if work is not yet completed, please advise accordingly, and provide some indication of when the remedial work is expected to be finalised.

Yours faithfully


Ken Smith
MANAGER, BUILDING CONTROL



8/04/97

R G & M H TITCHENER
57 MATAI ROAD
RAUMATI

Dear Sir/Madam

Re Notice to Rectify no.941508
ADDITION
57 MATAI ROAD, RAUMATI

A check of our records has revealed that the above notice to rectify has not been complied with.

You, as owner, are required to comply with notices issued under section 42 of the Building Act 1991.

Please contact this office if the remedial work detailed in the notice to rectify has been completed, to enable a final inspection to be arranged.

Alternatively, if work is not yet completed, please advise accordingly, and provide some indication of when the remedial work is expected to be finalised.

Yours faithfully


Ken Smith
MANAGER, BUILDING CONTROL



KAPITI COAST DISTRICT COUNCIL

Ref:

PROJECT INFORMATION MEMORANDUM

Section 31, Building Act 1991

APPLICANT

R G & M H TITCHENER
57 MATAI ROAD
RAUMATI

CONSENT DETAILS

Consent/PIM No.: 941508
Date issued: 3/03/94
Date of applicn: 10/02/94
Valn No: 1529131200
Overseer: P Wilkinson

PROJECT DESCRN: ALTERATIONS, REPAIRS or EXTENSIONS
BEING STAGE 1 OF AN INTENDED 1 STAGES
ADDITION

INTENDED LIFE: INDEFINITE, BUT NOT LESS THAN 50 YEARS

INTENDED USES: RESIDENTIAL

PROJECT LOCATION: 57 MATAI RD, PARAPARAUMU

LEGAL DESCRIPTION: LOT 59 DP 10231 CT 506/246

This project information memorandum is confirmation that the proposed building work may be undertaken, subject to the provisions of the Building Act 1991, and any requirements of the building consent attached.



KAPITI COAST DISTRICT COUNCIL

Ref:

PROJECT INFORMATION MEMORANDUM No.: 941508 [continued]

This project information memorandum includes:

- Information identifying relevant special features of the land concerned
- Details of relevant utility systems
- Details of authorisations which have been granted

SIGNED FOR AND ON BEHALF OF THE COUNCIL:

NAME:

BUILDING CONTROL OFFICER

DATE:

3.5.94



PROJECT INFORMATION MEMORANDUM

Planning Requirements

APPLICANT: R G - M H TITCHENER

MAILING ADDRESS: 57 Masei Rd Raumati

SITE ADDRESS: AS ABOVE

LOT NO: 59 DP: 10231

PROJECT: New Building ☐ Alteration ☒
Removal/Demolition ☐ Relocated Building ☐
(approx. age _____ years)

INTENDED USE: DWELLING ADDITIONS

ZONING: Residential A

USE PERMITTED: Yes

RESOURCE CONSENT GRANTED: NIL

DESIGNATIONS ON PROPERTY: NIL

EASEMENTS: NIL

SITE SUBJECT TO INUNDATION: No

COASTAL BUILDING LINE RESTRICTION: N/A

RELOCATABLE ZONE: N/A

MINIMUM FLOOR LEVEL: N/A

YARD & HEIGHT REQUIREMENTS: OK - site during construction for compliance by builder/owner.
Height envelope must be checked on

TREE PRESERVATION: NIL

OTHER COMMENTS: —

TIME TAKEN TO SUPPLY ABOVE: _____



PROJECT INFORMATION MEMORANDUM

(Plumbing & Drainage)

APPLICANT: R G - M H TITCHENER

MAILING ADDRESS: 57 Matai Rd Raumati

SITE ADDRESS: AS ABOVE

LOT NO: 59 DP: 10231

PROJECT: New Building ☐ Alteration ☒
Removal/Demolition ☐ Relocated Building ☐
(approx. age _____ years)

INTENDED USE: DWELLING ADDITIONS

SEWER ~~AVAILABLE~~/CONNECTED _____

WATER ~~AVAILABLE~~/CONNECTED _____

SITE PLAN OF EXISTING SERVICES (IF ANY) plan supplied

LOCATION OF SEWER LATERAL plan supplied

LOCATION AND SIZE OF WATER TAP plan supplied 20-

LOCATION OF EASEMENTS (IF ANY) none known

LOCATION OF PUBLIC DRAINS (IF ANY) none known

STORMWATER DISPOSAL TO
CHANNEL ☐
DRAIN ☐
ON SITE ☒

ADDITIONAL COMMENTS

Time taken to supply above _____

13

D.P. 15214

D.P. 15214

8

1

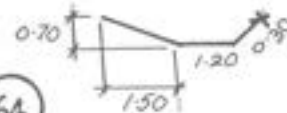
11

12

66

B-T-0.00
T-M-1.40
M-K-2.40

64



62

B-T-1.00
T-M-0.90
M-K-3.00

60

B-T-0.50
T-M-1.30
M-K-3.40

58

B-T-0.10
T-M-1.60

56

B-T-0.30
T-M-1.40

65

B-T-0.70
T-M-4.50

63

B-T-0.40
T-M-4.20

61

B-T-0.10
T-M-0.60

59

B-T-0.20

57

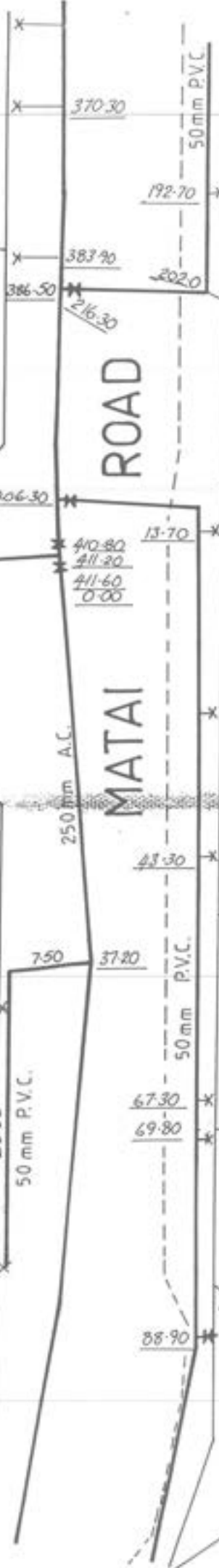
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60

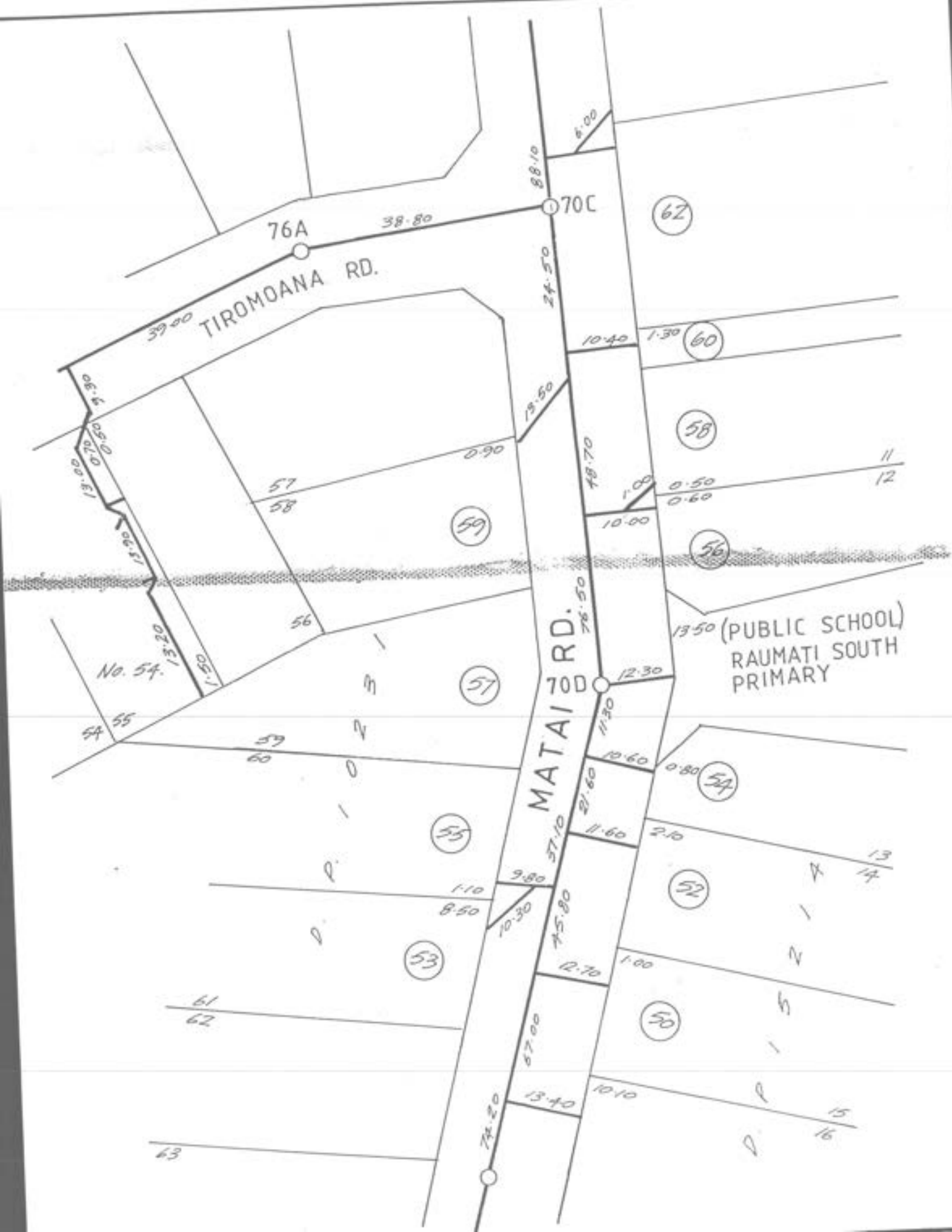
ROAD

MATAI

TIROMOANA RD.

RAUMATI SOUTH SCHOOL.







KAPITI COAST DISTRICT COUNCIL

Ref:

R G & M H TITCHENER
57 MATAI ROAD
RAUMATI

GST REG No. 51-860-608
CUST No. BC941508
7/03/94

TAX INVOICE 1498

QTY	DESCRIPTION	RATE	AMOUNT
	Building Consent/PIM		551.00 *
	941508 : 57 MATAI RD, PARAPARAUMU : ADDITION		
	BRANZ Levy		40.00 *
	BIA Levy		40.00 *
(* INCL GST \$70.10)		TOTAL	\$631.00
		CASH RECEIVED	200.00CR
		NET DUE	431.00 *****

Ngarara Building, Rimu
Road, Private Bag 601,
Paraparaumu.
Telephone (04) 298-5139
Fax (04) 297-2563

LAND INFORMATION MEMO
DATA COLLECTION FORM

Property Address
Legal Description

(Number and street)
(Lot and DP number)
(Section, Town, SD)

57 Matai Road
Lots 9 DP 10231

Valuation Rate Reference
Zoning
Planning Consent

(Zone Name)
(Res. File Number)

Building Restrictions
Coastal

A. Building Restriction Line
B. Reclaimable Zone
A. Aerodrome
B. Other

Height

Flood Risk/Other

Building Platform

(Yes/No/Uncertain)

Easements

(Yes/None Known)

Public Drain

(Yes/No)

Common Private Drain

(Yes/-)

Public Utility

(Yes/No)

Sewer Available

(Yes/No)

Sewer Connected

(Yes/No)

Water Available

(Yes/No)

Water Connected

(Yes/No)

Natural Gas Available

(Yes/No)

Natural Gas Connected

(Yes/No)

Electricity Available

(Yes/No)

Electricity Connected

(Yes/No)

EXISTING

BUILDINGS

Date Permit Issued

Type

Area

1.

29-11-46 4476 New additions to Dwelling

2.

20-10-50 7623 " alterations "

3.

24-07-81 62953 add Bathroom 6.24 Sm

4.

X

First Floor addition 10.50 Sm X

5.

6.

DISPENSATION GRANTED

SPECIAL FACTORS

Cancelled

OWNER R.G. + M.H. TITCHENER Lot 59 DP 10231
 PROPERTY ADDRESS 57 MATAI RD, RAUMATI DATE RECEIVED _____

TYPE OF BUILDING	Dwelling		Retail		Additions	☒	Accessory	
	New		Industrial		Alterations		Other	

DEPARTMENT	REQUIREMENTS	COMMENTS	CHECKED/DATE STAMP
Town Planning		Yes	No
	Zoning Conforms		
	Dispensation		
	Planning Consent		
Plumbing		N/A	
Drainage		N/A	
Stormwater	To Channel	To existing	
	To Drain		
	Confined to Lot		
Building			
General			
Commercial			
Egress	To NZS 4121		
Structural	Specific Design	Consistent with existing	
	Foundation		
	Structure		
	Roof		
	Special Floor Level		
	Earthworks Bylaw Conditions		
Site			

22/12/92 [Stamp: APPROVED PERMIT MAY BE ISSUED, DISTRICT PLANNER, KAPITI COAST DISTRICT COUNCIL]

23-12-92 [Stamp: APPROVED PERMIT MAY BE ISSUED, Plumbing/Drainage Inspector, Kapiti Coast District Council]

21.12.92 [Signature]



KAPITI COAST DISTRICT COUNCIL APPLICATION FOR PERMIT

File 38

TO : The General Manager, Kapiti Coast District Council

I/We R.G. & M.H. TITCHENER (Print)
 of 57 MATAI ROAD, RAUMATI (postal address) 2784804 (Telephone) hereby make application for permission to have the work described herein, and set out in the plans and specifications attached, carried out on the premises situated : (Please ensure this portion is fully completed).

SITE ADDRESS
Street No. <u>57</u>
Street Name <u>MATAI ROAD</u>
Town <u>RAUMATI</u>

LEGAL DESCRIPTION
Valuation No. _____
Lot <u>59</u> DP <u>10231</u>
Section <u>1</u> Block _____
Survey District <u>PAEKAKARIKI</u>

OWNER
Name <u>R.G. & M.H. TITCHENER</u>
Address <u>57 MATAI ROAD</u> <u>RAUMATI</u>
Phone <u>84804</u> Home <u>85319</u> Bus _____

Land Area	sqm
<u>1050</u>	
21 DEC 1992	
[Signature]	
SIGNATURE OF APPLICANT	DATE

BUILDING

DESCRIPTION OF PROPOSED WORK
<u>FIRST FLOOR ADDITION.</u>
FLOOR AREA <u>18.50</u> square metres

BUILDER
Name <u>TO BE ADVISED.</u>
Address _____
Phone _____ Home _____ Bus _____

ESTIMATED VALUES (inc GST)	
Building	\$ <u>15000</u>
Plumbing	\$ _____
Drainage	\$ _____
TOTAL	\$ <u>15000.</u>

DOCUMENTS SUBMITTED WITH THIS APPLICATION (please tick box) IN DUPLICATE AND TO SCALE			
Site and/or Drainage Plans	☒	Wall Bracing Calculations	☒
Floor Plans	☒	Specifications	<u>N/A</u>
Cross-sections and details	☒	Structural Calculations	<u>TO BE PROVIDED</u>
All elevations	☒	Other	_____

IMPORTANT - No work to be commenced before permit is issued.

PLUMBING & BUILDING PTO

CONSTRUCTION OF VEHICULAR CROSSINGS

SITE ADDRESS Street No Name Town

BOUNDARY	BOUNDARY	BOUNDARY
←----- INDICATES CENTRE LINE OF CROSSING -----> <i>Extg Shared Road</i> v Kerb Face v		

FOR OFFICE USE ONLY

Operational Services Manager

KAPITI COAST DISTRICT COUNCIL Please arrange for the construction of the vehicle crossing as detailed below.

Distance to Centre of V.C. from right/left boundary (when viewed from road)	Type A, B, C, D, E or F		Sealed Access	Extra Concrete				Stormwater Outlet Required Cost (\$)	Total Cost (\$)
	Type	Cost (\$)		Extra Width (m)	Extra or Reduced Length (m)	Total Extra (+) or Reduced (-) area (sqm)	Cost (+/-)		

SKETCH OF DAMAGE TO FOOTPATH

Also required :

1. Distance from footpath to kerb face 2. Distance from footpath to boundary

V.C. is already quite extensively cracked (extg)

Date of Completion	Building Permit No	\$
	Receipt No	\$
	Date Paid	\$

AUTHORISATION FOR REFUND OF DEPOSITS

Item	OK	Repair Required	Cost	TO : ACCOUNTS CLERK	DATE
Road				Deposit held = \$ <i>400</i> Cost to Repair Damage Caused During Construction = \$ Balance to be Refunded = \$	
Kerb					
Path					
Crossing					
Stormwater					
Berm				Balance to be Refunded = \$	
Other					
Works Completed			Total Amount	Authorised	DATE

PLUMBING & DRAINAGE

DESCRIPTION OF PROPOSED PLUMBING AND DRAINAGE WORK

PLUMBER

Name

Address

Reg No.

Phone Home Bus

Signature Date

DRAINLAYER

Name

Address

Reg No.

Phone Home Bus

Signature Date

ESTIMATED VALUES

Total Value Plumbing Work	\$	Total Value Drainage Work	\$
Labour Value Plumbing Work	\$	Labour Value Drainage Work	\$
Fees	\$	Fees	\$

FOR OFFICE USE ONLY

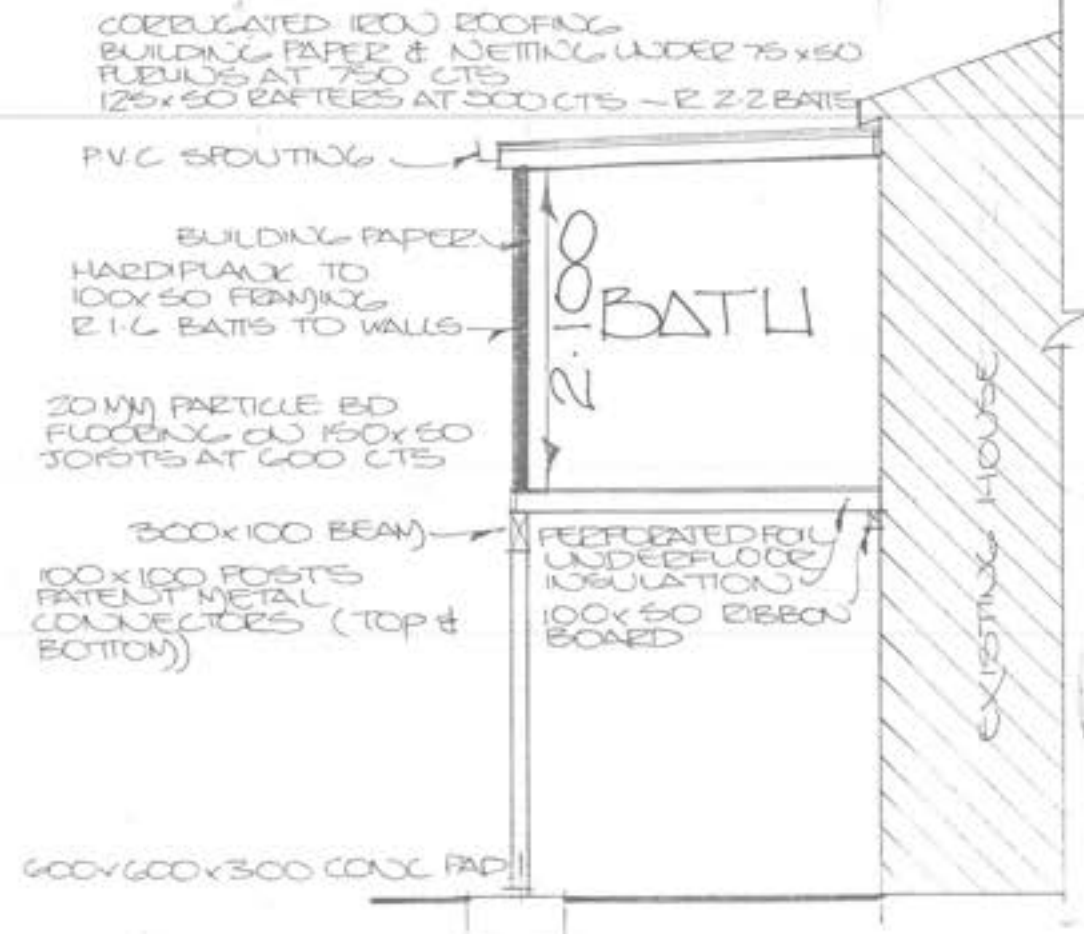
FEES		PLAN EXAMINATION FEE	
Building	\$	\$	
Plumbing	\$	RECEIPT NO	DATE
Drainage	\$		
Sewer Connection	\$		
Water Connection	\$	INVOICE NO	DATE
Vehicle Crossing	\$		
Damage Deposit	\$ 400		
Structural Checking	\$	RECEIPT NO	DATE
Building Research Levy	\$		
Development Levy	\$		
	\$	BUILDING PERMIT NO	DATE ISSUED
	\$		
	\$		
	\$	PLUMBING PERMIT NO	DATE ISSUED
	\$		
	\$		
SUBTOTAL	\$	DRAINAGE PERMIT NO	DATE ISSUED
Less Deposit Paid	\$		
TOTAL	\$		
GST INCLUDED	\$		



ELEVATION 1



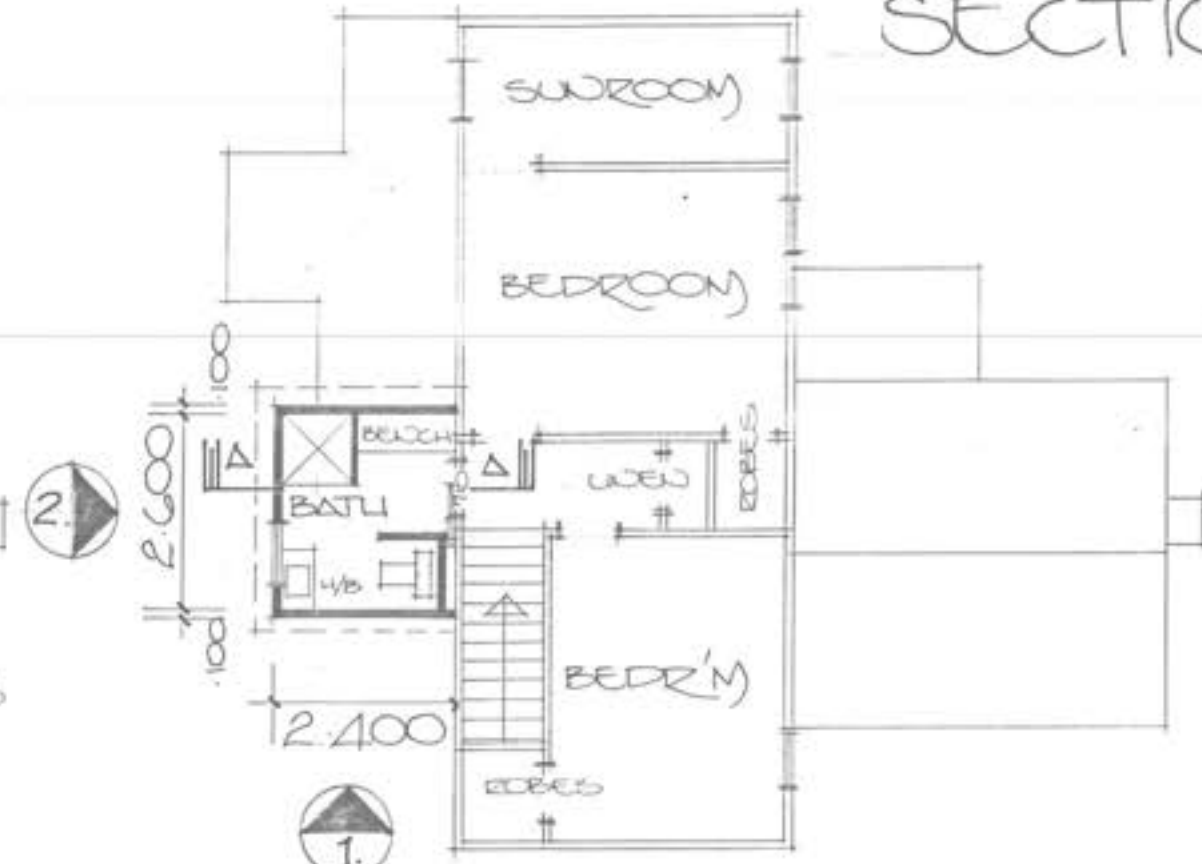
ELEVATION 2
SCALE 1:100



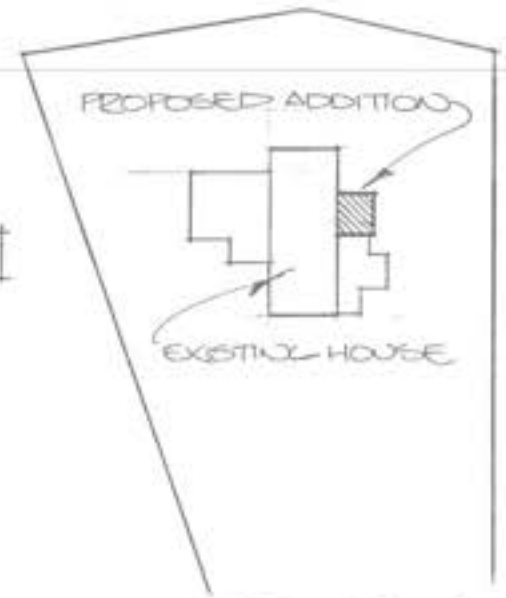
SECTION A:A SCALE 1:50



UPPER FLOOR PLAN
AS EXISTING SCALE 1:100



UPPER FLOOR PLAN
AS PROPOSED SCALE 1:100



SITE PLAN
LOT 59 D.P. 10231
SCALE 1:500

PROPOSED ADDITION FOR MR SAWTELL - MATAI RD RAUMATI

SPECIFICATION OF LABOUR AND MATERIALS IN THE ALTERATIONS OF
DWELLING AT MATAI ROAD RAUMATI SOUTH FOR S.G. SATTELL
BUILDING INSPECTOR,
HUTT COUNTY COUNCIL

RECEIVED

15 SEP 1950

PREPARATORY WORK The lean-to portion of building forming kitchen bedroom ect. now existing to be taken down to make room for new work as per plan and owners direction.

NOTICES The Owner to give all requisite notices and descriptions to the Council Authorities and pay all permit fees.

ATTEND TO TRADES The Owner is to attend to and make good all trades.

ACCIDENT AND FIRE INSURANCE The Owner to take out Accident Insurance Policy in respect to all men employed on the work and sufficient Fire Insurance cover.

FOUNDATIONS The foundations and piles are to be a mixture composed of 4parts shingle, two parts sand and one part cement.

REINFORCING Reinforce the foundations with 4- $\frac{1}{2}$ " mild steel rods hooked at ends and lapped. Two placed in footings of walls and two just above the air vents.

DAMPCOURSE Lay under all timber resting on concrete 3 ply malthoid dampcourse.

TIMBER The whole of the timber throughout is to be thoroughly sound and straight grained, cut square, well seasoned, free from worm holes, shakes or other defects.

PLATES Plates throughout are to be true and straight and properly halved and scarfed at joints and angles and check $\frac{1}{4}$ " to receive studs.

SLEEPERS All sleepers to be long lengths and splay out over piles.

STUDDING All studding to be housed $\frac{1}{4}$ " into plates.

Construct framing to sizes specified. Trim up all openings ect. and generally do all work to make a complete job.

SPACING OF TIMBERS No framing timbers are to be placed at not more than 18" centres.

TIMBER SCHEDULE

Wall plates	4"x2"	)	
Sleepers	4"x3"	)	Heart
Floor joists (ground floor)	5"x2"	)	Rimu
" " 1st. "	10"x2"	)	$\rightarrow$ O.B.R.
Flooring T & G	5"x1"	)	

Plates	4"x2"	)	
Studs	4"x2"	)	
Refters	4"x2"	)	O.B. Rimu
Ceiling Joists	4"x2"	)	
Window and Door Frames		)	Dressing A
All exterior finished timbers		)	Totara or Ht.
		)	Rimu.

BRACING All walls and partitions are to be braced where possible with 6"x1" or 3"x2" and dwanged with 4"x2" and 2"x2" to suit wallboard.

EXTERIOR WALLS

Ground floor exterior walls to be lined with Sisalkraft then sheathed with Hardies Fibrolite sheets.

On this will be stretched galv'd. 1" Stucco wire netting and fixed fixed with galv'd staples followed by two coats of cement plaster and finished with Portland cement paint white.

First floor exterior walls to be lined as above then sheathed with Durock Sidings and stained with earth colour to Owners choice.

ROOF

Roof to be sarked with 6"x1" . Sheathed with Sisalkraft and covered with "Norsl" corr. Aluminium sheets.

LININGS

Line walls and ceiling of kitchen , bathroom, hall and lobby with 3/4" Gibraltar Board also bedrooms and sunroom.

Ceilings of the later rooms to be lined with Pinex wallboard "V" grooved and jointed.

CUPBOARDS

Cupboards, doors and other fittings to be taken from existing building and reused where required.

PLUMBER

All materials are to be the best of their respective kinds, and all workmanship to be of the best, and all work to be left in a sound and watertight condition. All sanitary connections and drainage are to be in accordance with the Local Authority By-Laws.

ELECTRICIAN

To install lighting points and heating points where directed complete with all necessary fittings to comply with regulations. Also to reinstall electric range and connect electric copper cylinder.

SCALE OF FEES

For the examination of plans and specifications of any building and for the inspection of such building the following fees shall be payable according to the estimated value of the work.

ESTIMATED VALUE OF WORK

				Fees		
				£	s.	d.
Not exceeding £10	—	—	—	0	5	0
Over £10 and not exceeding £100	—	—	—	0	10	0
" £100	"	"	"	1	0	0
" £200	"	"	"	1	10	0
" £300	"	"	"	2	0	0
" £400	"	"	"	2	10	0
" £500	"	"	"	3	0	0
" £600	"	"	"	3	10	0
" £700	"	"	"	4	0	0
" £800	"	"	"	4	10	0
" £900	"	"	"	5	0	0
" £1,000	"	"	"	6	0	0
" £1,250	"	"	"	7	0	0
" £1,500	"	"	"	8	0	0
" £1,750	"	"	"	9	0	0
" £2,000	"	"	"	10	10	0
" £2,500	"	"	"	12	0	0
" £3,000	"	"	"	13	10	0
" £3,500	"	"	"	15	0	0
" £4,000	"	"	"	16	10	0
" £4,500	"	"	"	18	0	0
" £5,000	"	"	"	20	0	0
" £6,000	"	"	"	22	0	0
" £7,000	"	"	"	24	0	0
" £8,000	"	"	"	26	0	0
" £9,000	"	"	"	28	0	0
" £10,000	"	"	"	32	0	0
" £12,500	"	"	"	36	0	0
" £15,000	"	"	"	40	0	0
" £17,500	"	"	"	44	0	0
" £20,000	"	"	"	49	0	0
" £25,000	"	"	"	54	0	0
" £30,000	"	"	"	59	0	0
" £35,000	"	"	"	64	0	0
" £40,000	"	"	"	69	0	0
" £45,000	"	"	"	74	0	0
" £50,000	"	"	"	79	0	0
" £60,000	"	"	"	84	0	0
" £70,000	"	"	"	89	0	0
" £80,000	"	"	"	94	0	0
" £90,000	"	"	"	99	0	0
Exceeding £100,000	—	—	—	100	0	0

FEES PAYABLE FOR SPECIAL DUTIES

For inspection required in the case of proposed structural alterations before plans are submitted for approval	0	10	0
For inspecting every detached stove, furnace, oven, close fire or forge erected subsequently to the building	0	5	0
For inspecting old timber before reusing the same in a new building	0	15	0
For any inspection that may be deemed necessary in connection with any building or work in respect of which no fee has otherwise been paid	0	2	6

Hutt County Council

PERMIT NO. 7623

LOCALITY ... Rannamahi...

DATE RECEIVED 15: 9: 50.

DATE ISSUED 10: 1: 50.

Application For Building Permit

OWNER'S NAME ... J. G. Sattell

FOR OFFICE USE ONLY.

REMARKS:

2/c 10/10/50

31/330

NOTE.—

- Where the foundations of any building are above or below road level, the position of the intended structure must be approved by the County Overseer before building operations commence
- Buildings must **not** be erected within Five feet of adjoining properties.

Application for Building Permit

TO THE BUILDING INSPECTOR,
Hutt County Council,
Bowen Street,
Wellington.

Postal Address: Hutt County Council,
P.O. Box 12,
Government Buildings,
Wellington.

I, the undersigned do hereby apply for a PERMIT to erect BUILDINGS in accordance with the undermentioned particulars in *Waikanae* RIDING.

1. Nature of Buildings:

Dwelling new additional alteration

Materials

new materials

2. Allotment: Lot:

59

D.P. *10231*

Section: *3*

Area: Block:

S.D. Nearest Township:

Raumati South

3. Owner's Name

G. Sawtell

Address

191 High Street Lower Hutt

4. Previous Owner

If Section has been previously transferred

G. M. Sawtell

5. Frontage (Length)

97'

Name of Street or Road:

Matai Road

6. Estimated Value of Building (excluding Sanitary Fittings)

£1400 : 0 : 0

7. Fees (herewith) £

7 : 0 : 0

No. of Receipt:

All work will be carried out in accordance with Hutt County Council's By-laws.

NOTE:—The following MUST accompany this Application:—

(a) Ground Plans of Proposed Work:

(b) Front Elevation:

(c) Sections: Cross and Longitudinal.

Ground Plan must show position of all sanitary fittings.

(d) Specifications of BUILDING, and MATERIALS to be used:

PLANS and SPECIFICATIONS must be submitted in DUPLICATE.

(e) A SEPARATE DRAINAGE and PLUMBING APPLICATION FORM must be filled in per directions on same and a PERMIT obtained before commencing any DRAINAGE or PLUMBING WORK.

(f) A Deposit of £2 must be made where building material is taken ACROSS A FOOTPATH.

Signature of Applicant

G. Sawtell

as BUILDER or OWNER.

Address

191 High Street Lower Hutt

Builder's Name

If not the applicant

and Address

Plan of Allotment

Showing position of proposed buildings on such allotment.

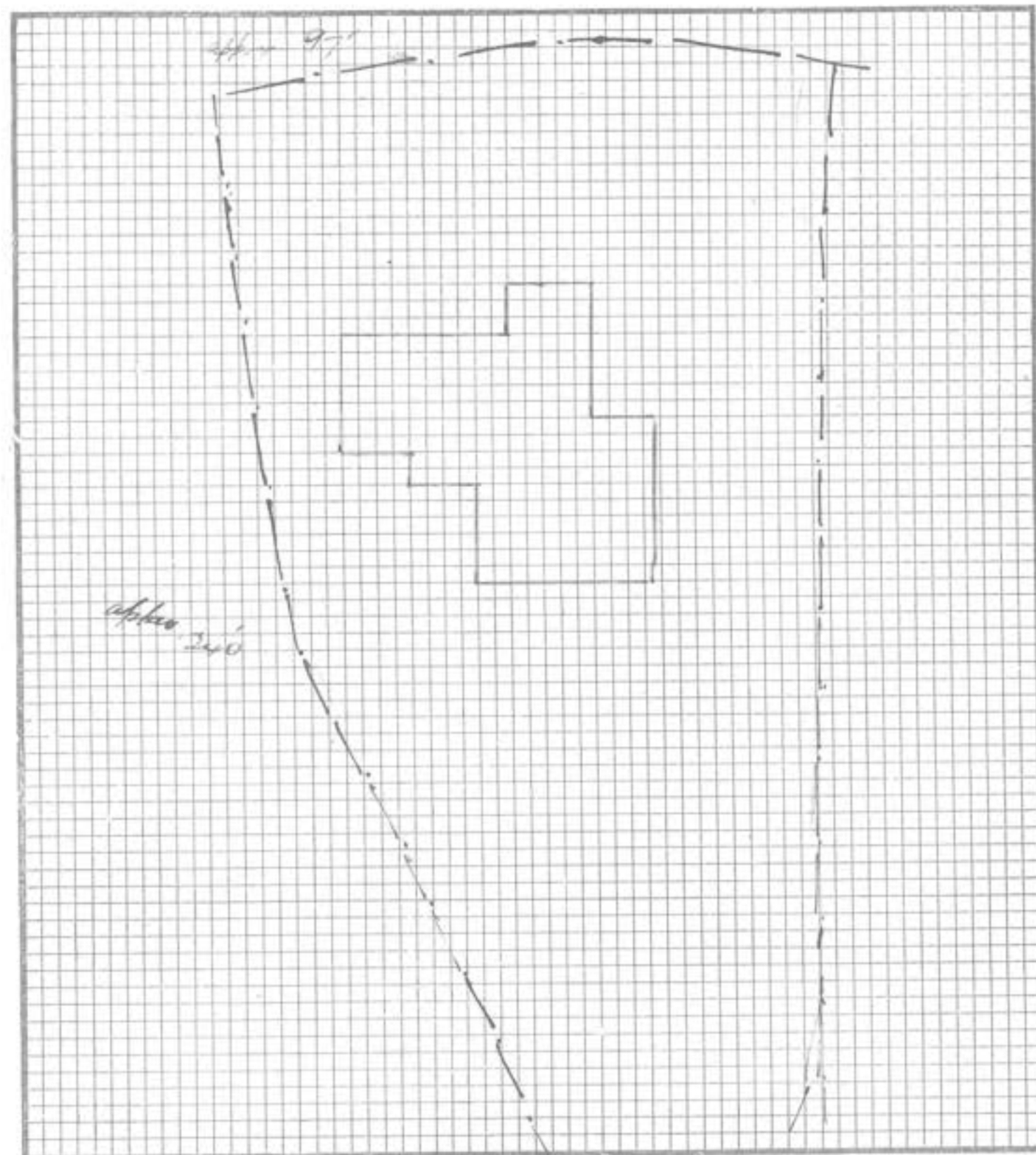
NOTE—Distances of each building from boundary lines must be clearly indicated.
(Scale: Two feet to a square.)

Boundary Lines to be shown thus:—
BUILDINGS must NOT be ERECTED within FIVE FEET of ADJOINING properties.

Frontage to

Matai Road

Road



ALL EXISTING BUILDINGS TO BE SHOWN RED ON THIS PLAN.

SPECIFICATION OF THE WORK TO BE DONE AND
MATERIAL TO BE USED IN THE ERECTION AND
COMPLETION OF ADDITIONS AND ALTERATIONS
TO A DWELLING AT RAUMATI FOR MR. S.G. SAWTELL
IN ACCORDANCE WITH THE PLANS AND THIS SPECIFICATION.

SITE:

The site is situated in Matsi Road, Raumati, being Lot 59, D.P. 10231.

NATURE OF WORK:

The work consists of additions to an existing dwelling, providing additional bed sitting room and dining alcove, to enable the house to be used for permanent all year occupation by the owner.

WORK:

All work to be executed as indicated or implied by the drawings and these specifications, or any instructions given during construction.

All work shown must include the provision of all sundry items, such as screws, nails, etc.

DRAWINGS:

Include $\frac{1}{8}$ " scale plan, elevations, section, details and these specifications.

LEVELS:

The levels shown on plan are approximately correct, but the contractor must check these and any variation be allowed for in the tender.

PERMITS:

Contractor is to obtain all permits, pay all fees, give all notices, and carry all insurances.

BY-LAWS:

Local Authority by-laws in relation to the building shall be complied with.

FOUNDATIONS:

Foundations to be in concrete to general details shown on plan and as specified under "Concrete".

SITE CLEARANCE:

Clear all rank vegetation, tree stumps and roots. Remove all timber off-cuts and builder's debris from below building.

EXCAVATION:

Excavate as required for all site levelling, foundations, footings, piles, blocks, walls, water pipes, etc., to the full widths and depths shown and figured on the drawings. Foundation depths are to go to solid bearing (min. 12".) Any work excavated deeper than called for by the drawings will require to be filled with concrete as specified for footings, this extra concrete to be the responsibility of the contractor. Well ram and consolidate earth around foundation when fixed.

FILLING:

Fill in all porch floors, terraces, etc., to within 6" of final level with good clean spoil free from vegetable matter, then consolidate with 5" of rotten rock and blue metal. Roll thoroughly with a heavy roller and bring to a true even surface with a slight fall to the outer edge. Finish surface with $\frac{1}{2}$ " layer of Colfix and crushed brick.

Porch steps may be constructed in concrete.

CONCRETE.CONCRETE:

The concrete for all work throughout, unless specified otherwise, shall be composed of 6 parts aggregate to 1 part cement.

CEMENT:

Shall be Portland to conform with N.Z. Specification No. 43. All precautions to be taken to keep cement in first-class condition before using.

AGGREGATE:

To consist of 4 parts crushed metal or shingle of a size to pass a 1" mesh and 2 parts sharp gritty sand. Aggregate to be clean and free from salt, earthy matter and other foreign substance.

FOUNDATIONS:

Form continuous foundation under external walls to dimensions shown on plans, main corners to be blocked. Form openings in concrete foundation at a distance of 2' 6" from each corner and spaced not more than 6' centres at intermediate points. Ventilator openings to terraces and flower boxes shall be piped through with 6" diameter E.W. pipes or equivalent alternative. Ventilators generally are to be 12" x 6". Provide opening for access door in foundation wall in a position approved by the owner. All bearing footings must be level stepped on bed.

BOXING:

See "CARPENTER". The removal time for boxing after concrete has been poured shall be 2 days for foundations and seven days for hearth slabs, etc.

PILES:

Internal foundation blocks are to be poured in situ of a minimum size of 8" x 8" set not less than 12" into ground and constructed with two strands of No. 8 galvanised wire extending 9" from the top of the block. Blocks shall be spaced not more than 4' 6" under stringers in rows maximum 6' centres. Piles upstanding more than 3' reinforced with four $\frac{3}{8}$ " steel rods hooped at 12" intervals.

CHIMNEY:

The chimney as shown to be constructed in concrete to design and dimensions shown on plan, the walls in no place to be less than 9" thick and carried up reinforced with $\frac{1}{2}$ " vertical rods in each corner. Reinforcing to be tied at 12" centres with $\frac{1}{4}$ " steel stirrups. Chimney flue shall be lined with flue liners complete with concrete fillings. Chimney foundation footing is to be 9" thickness, projecting 6". Reinforcing to be carried into foundation walls and flower box. Chimney foundation footing is to be reinforced with grid $\frac{3}{8}$ " rods at 12" centres. Hearth to be 4" thick reinforced with $\frac{3}{8}$ " rods at 12" centres both ways. Build up flower boxes as shown on plans and reinforce with
(cont'd.)

No. 8 galvanised wire at corners. Insert wire ties in chimney securely stapled to sides of framing and fixed every 2' in height for tying chimney shaft to walls.

The top of the chimney shall be constructed to form a tray with a consistent fall to drain stormwater on to the roof. The tray, formed with 1" raised edge, to be weathered with 1 to 3 cement and sand mortar, steel trowelled to a dense smooth surface.

ASH-PIT:

Provide ash pit in hearth under grate, complete with door in outside of chimney.

BRICKLAYER.

MORTAR:

3 parts sand to 1 part cement-lime mixture, the cement lime mixture to contain not more than 1/3 part lime.

Chimney foundations to be provided by Concretor, the Bricklayer to give necessary dimensions.

FIREPLACE:

Construct brick fireplace in lounge. Back and hearth shall be lined in firebrick, and bobs shall be formed with firebricks set on edge. The firebrick shall be bonded to the jambs. The back shall be left free, but the space shall be filled in with fine shingle and finished at top with 1" cement mortar coat.

FIREPLACE SURROUND:

Allow for brick fireplace surround finished to detail. Face with selected red pressed bricks properly bonded to the chimney. All joints shall be raked out as the work proceeds and pointed at completion with light buff-coloured mortar. Flat brick arches shall be supported on 2 1/2" by 1/2" mild-steel bars cambered 1/8" with ends split and turned up and down into brick joints 9" from the opening.

Fireplace opening to suit a surround opening 30" x 22". Supply 18" Colonial grate.

CONCRETOR - COVERING USE OF "NO FINES CONCRETE" CONSTRUCTION USING METAL AGGREGATE.

Foundation as specified under Concretor.

CONCRETE BAND:

A continuous reinforced concrete band shall be laid on the top of all "No fines concrete" walls as shown on drawings. Reinforcement shall be hooked at ends carried round all angles and tied into all wall junctions. Exterior wall band shall be reinforced with four 1/2" rods with No. 8 wire finiers at 12" centres. Bands spanning more than 8' shall have four 3/4" rods with 1/2" stirrups at 8" centres.

On the top of all foundation walls lay a continuous bed of 2:1 cement compo 1/2" thick. Key top of mortar to take "No Fines Concrete". Build in all fixings as required out of dovetailed Mt. Totara.

"NO FINES CONCRETE" WALLS:

- (a) Aggregate shall be clean crushed metal and must not be flakey in character. Aggregate should pass a $\frac{3}{4}$ " sieve and not more than 5% by weight should pass a $\frac{3}{8}$ " sieve.
- (b) Cement shall be as specified under "Concrete".
- (c) Mix: Aggregate and cement shall be mixed in the proportion of 1 cement to 8 of aggregate by volume, and mixes shall have a minimum compressive strength of 300 lb./sq. ins. at 7 days.
- (d) Water/Cement Ratio: Only sufficient water should be used to ensure that each particle of aggregate is coated with cement grout of pasty consistency, but care should be taken to ensure that the grout is not sufficiently fluid to run in to the voids. (The object of "No Fines" concrete is to ensure that the void between each piece of aggregate is left as a void and not filled).
- (e) Mixing: Aggregate should be mixed in damp condition before cement and remainder of water is added, after which mixing shall continue for at least one minute until mix is uniform in colour and all aggregate is evenly covered with cement grout.
- (f) Pouring: Place immediately after mixing. N.B. Do not ram or tamp into position, but use a rod to ensure that no "bridging" occurs in boxing. Mechanical vibration must not be used. Pour walls in horizontal layers proceeding continuously round the building. Do not "pile up" or "slope" the concrete in the boxing.
- (g) Place wet sacks on top of "No Fines Concrete" in boxing immediately after pouring.
- (h) Removal of boxings: Boxings shall not be removed until 3 days after pouring.
- (i) Fixings: Build in all fixings, lugs, etc., as required.

CARPENTER AND JOINER.

All timbers used in framing and finishing must be well seasoned and free from sap, shakes, large loose or dead knots, decay of any kind and all other defects, and shall be the best of their respective kinds specified.

CONCRETE BOXING:

The carpenter is to provide concrete forms for all concrete work, all solidly braced and tied. Provide boxes in foundation walls for 12" x 6" vents and trap door, also for waste pipes.

DAMP-PROOF COURSE:

Between all faces of stringers, sleepers and plates in contact with concrete work, place a layer of 3-ply bituminous fabric. The damp-proofing shall be laid continuously under, and to the full width of, the bearing timbers.

FRAMING GENERALLY:

Framing timbers generally shall be spaced at not more than 18" centres. The whole of the building to be properly framed and securely spiked together. All framing timbers shall be of the full size specified, cut true and square. Plates, sleepers and stringers shall be halved together at joints and angles and dovetailed and halved at intersections, which in all cases shall be over solid bearing. All angles to framing in house shall have three studs securely blocked and spiked together.

SCHEDULE OF SCANTLING:

Sleeper Plates	4" x 2" B.A. Ht. Rimu or Matai
Floor Joists	5" x 2" B.A. Ht. Rimu or Matai
Stringers	4" x 3" B.A. Ht. Rimu or Matai
Bottom Wall Plates	4" x 2" B.A. Ht. Rimu (thickened)
Top Wall Plates	4" x 2" B.A. Rimu (thickened)
Studs	4" x 2" B.A. Rimu "
Studs to openings over 3' wide	4" x 3" B.A. Rimu "
Dwanging to interior walls	4" x 2" B.A. Rimu "
Bracing	6" x 1" B.A. Rimu
Ceiling Joists	8" x 2" B.A. Rimu
Herringbone strutting to ceiling joists	2" x 2" B.A. Rimu at 7' centres
Ceiling Joist Dwangs	3" x 2" B.A. Rimu
Partition Plates	4" x 2" B.A. Rimu (thickened)
Partition Studs	4" x 2" B.A. Rimu "
Minor Partitions	3" x 2" B.A. Rimu
Trimmers	Headers shall be 4" thick and 1" in depth for every foot width of span.

TRIMMING:

The contractor shall perform all necessary trimming for hearth, chimney, windows, door opening and wherever else necessary, and to allow for all clearances. All trimmers to be checked into studs 2".

DWANGING:

All cupboard walls and partitions to be dwanged ready to receive wall boards with timbers as in schedule. Dwangs to be fixed at 2' centres on walls. Dwang also for and to suit internal linings to ceilings.

ROOF FRAMING:

Roof to be constructed as shown with 8" x 2" joists 18" O.C. and 2" x 2" herringbone strutting at 7' centres (max.) Securely fix to top of rafter a 4" x 2" cut diagonally to provide necessary fall.

The roof shall be sarked with 6" x 1" T. & G. O.B. Rimu. Remove all byewood and arries to sarking.

The soffit shall be lined with plain asbestos sheets with joints covered with 1" half round battens.

FABRIC ROOFING:

This shall be three layers of 2-ply malthoid.

All surfaces to be laid with fabric shall be thoroughly dry. All bitumen shall be natural "Trinidad Lake Bitumen". The first layer shall be firmly fixed with large head galvanised clouts 7" long fixed at 8" centres. Laps, joints and edges shall be sealed with hot bitumen. The two succeeding layers shall be bedded in hot bitumen, and the final coat of bitumen shall be properly blinded with pea gravel at 25 lbs. of gravel to each square yard of roof.

The roofing contractor shall furnish a written guarantee to cover fabric roofing for a period of ten (10) years.

WALL FRAMING:

All lined wall framing shall be thickened to a uniform width. Bracing shall be cut flush with face of stud at approximately 45 deg. or 3" x 2" dog leg bracing shall be used.

BOARDS: Boords shall be framed up as shown on plan, tops finished with malthoid as for main roof, undersides lined with hardboard as specified for soffit lining.

FLOORING:

Cover the whole of the floors with 4" x 1" T. & G. Ht. Rimu. Flooring to be well cramped together and double nailed to every joist with brad head nails (2½" x 11 g.).

All joints to be neatly fitted, well scattered and all byewood cleaned off at completion.

All rooms shall have floors machine-sanded with coarse grade of sand paper.

ARCHITRAVES:

Architraves and skirting as detailed drawings.

SOUNDY INTERNAL FINISHINGS: All finishing timbers to be oil stained and varnished shall be clean O.B. rimu of good quality. Where work is to be painted, fix clean O.B. rimu timbers.

All interior finishing to be well seasoned and free from all defects, exposed surfaces of finishings to be hand dressed and sanded.

JOINERY.

All joiners work to be constructed with thoroughly seasoned timbers free from all defects.

WINDOWS:

Windows throughout shall be constructed in accordance with detailed drawings.

Solid rebated jambs 4" x 2½" Ht. Totara

Sills 8" x 2½" Ht. Matai

Transoms and Mullions 4" x 3" Ht. Matai

Sashes to be constructed out of clear Ht. Totara or Redwood 1½" thickness finished. Sashes shall be divided into panels as shown with 1" wooden astragals. Styles and mullions are to be checked into sills. Split sash fans to have galvanised weather bar. Butts to be 3" galvanised with three butts for all sashes exceeding 3' 6" to be hung with 3 butts.

INTERNAL DOORS:

To be hung to rimu frames finished ¾" thickness with jambs set plumb and securely fixed and wedged into openings. Hang doors to jamb with three butt hinges.

Internal doors generally shall be glush panel rimu 6' 6" x 2' 8" x 1½" thickness constructed with clashing strip on lock stile to match door panel.

Hutt County Council



PERMIT NO.

LOCALITY *Donaghadee*

DATE RECEIVED 29 OCT 1946

DATE ISSUED : : .

SCALE OF FEES

For the examination of plans and specifications of any building and for the inspection of such buildings the following fees shall be payable:—

	£	s.	d.
If the value of the building is not more than £20 ..	0	1	0
If the value is over £20 but not more than £100 ..	0	5	0
If the value is over £100 but not more than £200 ..	0	10	0
If the value is over £200 but not more than £300 ..	0	15	0
If the value is over £300 but not more than £400 ..	1	0	0
If the value is over £400 but not more than £600 ..	1	5	0
If the value is over £600 but not more than £800 ..	1	10	0
If the value is over £800 but not more than £1000 ..	2	0	0
If the value is over £1000 but not more than £1500 ..	2	10	0
If the value is over £1500 and upwards ..	3	0	0

In any dispute as to value, the Building Inspector shall have the absolute determination of the value of the proposed work or building.

Application For Building Permit

OWNER'S NAME *J.M. Sawtell*

FOR OFFICE USE ONLY.

REMARKS:

NOTE.—

1. Where the foundations of any building are above or below road level, the position of the intended structure must be approved by the County Overseer before building operations commence
2. Buildings must not be erected within Five feet of adjoining properties.

Application for Building Permit

TO THE BUILDING INSPECTOR,
Hutt County Council,
Bowen Street,
Wellington.

Postal Address: Hutt County Council,
P.O. Box 12,
Government Buildings,
Wellington.

I, the undersigned do hereby apply for a PERMIT to erect BUILDINGS in accordance with the undermentioned particulars in RIDING.

1. Nature of Buildings: *new additions for dwelling*
Dwellings etc.; new, additions or alterations

Materials *new materials*

(State if new or second hand and where from)

2. Allotment: Lot: *59* D.P.: *10231* Section: *59*

Area: Block: S.D. Nearest Township:

3. Owner's Name *J.M. Sawtell*

Address

4. Previous Owner If Section has been recently transferred

5. Frontage (Length) *95ft* Name of Street or Road *Matai Road*

6. Estimated Value of Building (excluding Sanitary Fittings) *£1100: - : -*

7. Fees (herewith) £ : : No. of Receipt:

All work will be carried out in accordance with Hutt County Council's By-laws.

NOTE:—The following MUST accompany this Application:—

- Ground Plans of Proposed Work;
- Front Elevation;
- Sections: Cross and Longitudinal.
Ground Plan must show position of all sanitary fittings.
- Specifications of BUILDING, and MATERIALS to be used:
PLANS and SPECIFICATIONS must be submitted in DUPLICATE.
- A SEPARATE DRAINAGE and PLUMBING APPLICATION FORM must be filled in per directions on same and a PERMIT obtained before commencing any DRAINAGE or PLUMBING WORK.
- A Deposit of £2 must be made where building material is taken ACROSS A FOOTPATH.

Signature of Applicant *J.M. Sawtell* as BUILDER and OWNER.

Address *191 High Street Lower Hutt*

Builder's Name and Address *J.M. Sawtell*

Plan of Allotment

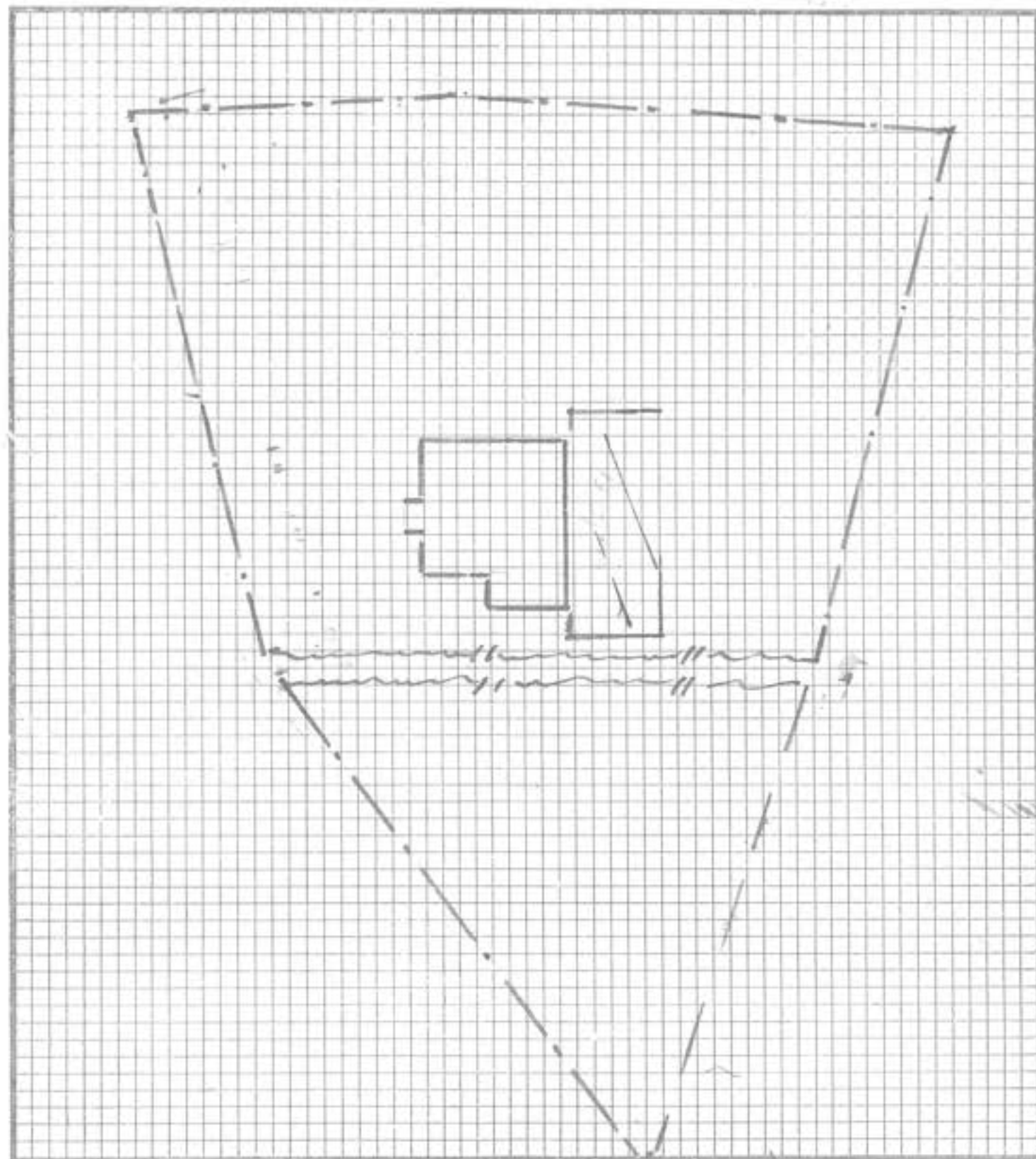
Showing position of proposed buildings on such allotment.

NOTE—Distances of each building from boundary lines must be clearly indicated.
(Scale: Two feet to a square.)

Boundary Lines to be shown thus: ————

BUILDINGS must NOT be ERECTED within FIVE FEET of ADJOINING properties.

Frontage to *Matai Road Raumati South Road*



ALL EXISTING BUILDINGS TO BE SHOWN RED ON THIS PLAN.

Mr. I.G. Sawtell,
191 High Str.,
Lower Hutt.

1/19/10/3

Office of the District Building Controller

Aotea Quay
Wellington

19/11/46

Dear Sir,

BUILDING PERMIT APPLICATION.

APPLICANT: I.M. Sawtell
BUILDER: I.G. Sawtell
PROPOSAL: Addition
ESTIMATED COST: £160

The above proposal is approved subject to the provisions of the Supply Control Emergency Regulations 1939, the Building Emergency Regulations 1939 and Amendments, and contingent upon your compliance with the amendments, as listed below, made in this office to your plans and specifications which have now been forwarded to Hutt County Council

The contractor's attention must be drawn to the following amendments:-

The use of heartwood must be confined in building grades to sub-floor timbers within 3 feet of the ground level, and in dressing grades to exteriors, flooring for ground floors and exterior joinery. It is not permissible to use heartwood for interior finishings, lining, framing, upper storey floors, joists, roof timbers etc., and in addition all doors must comply with N.Z.S.S. E.106 for Doors. The demand for timber particularly exceeds the supply and some time may elapse before your merchant can fulfil your order. The use of new galvanised iron on roof, spouting, downpipe, valleys, gutters, extensions to vent pipes and supply tank in roof, etc., is NOT APPROVED.

The issue of a permit by the local authority is necessary before operations commence, but this permit does not imply that the necessary labour and materials will be made available.

The use of cement for paths, non-essential steps, fences, terraces and ornamental purposes generally is strictly prohibited.

Your attention is drawn to the penalties set out in the Regulations for the non-compliance with the requirements of the various Building Control Notices.

Yours faithfully,

District Building Controller.

Subject to applicant taking immediate possession on completion and using as his only permanent place of abode.

Dear Sir,

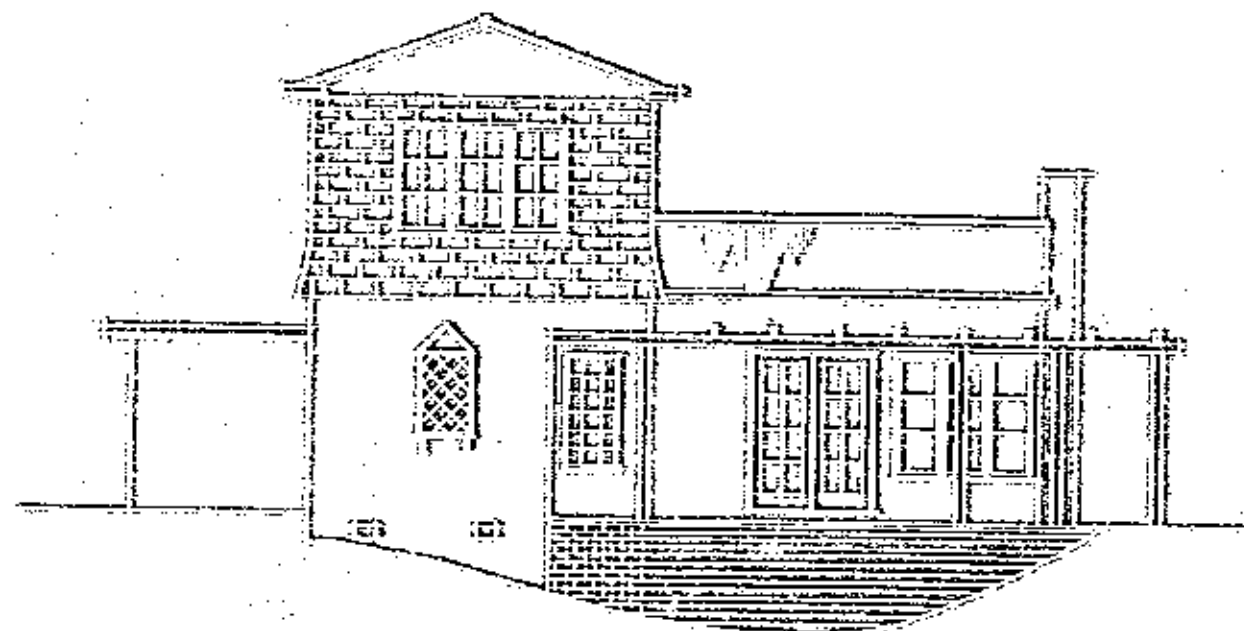
Copy for your information. Subject to your requirements a permit may be issued provided that the applicant's attention is drawn to the necessity of complying with the Regulations and the amendments to the documents made in this office.

Plans and specifications are forwarded herewith.

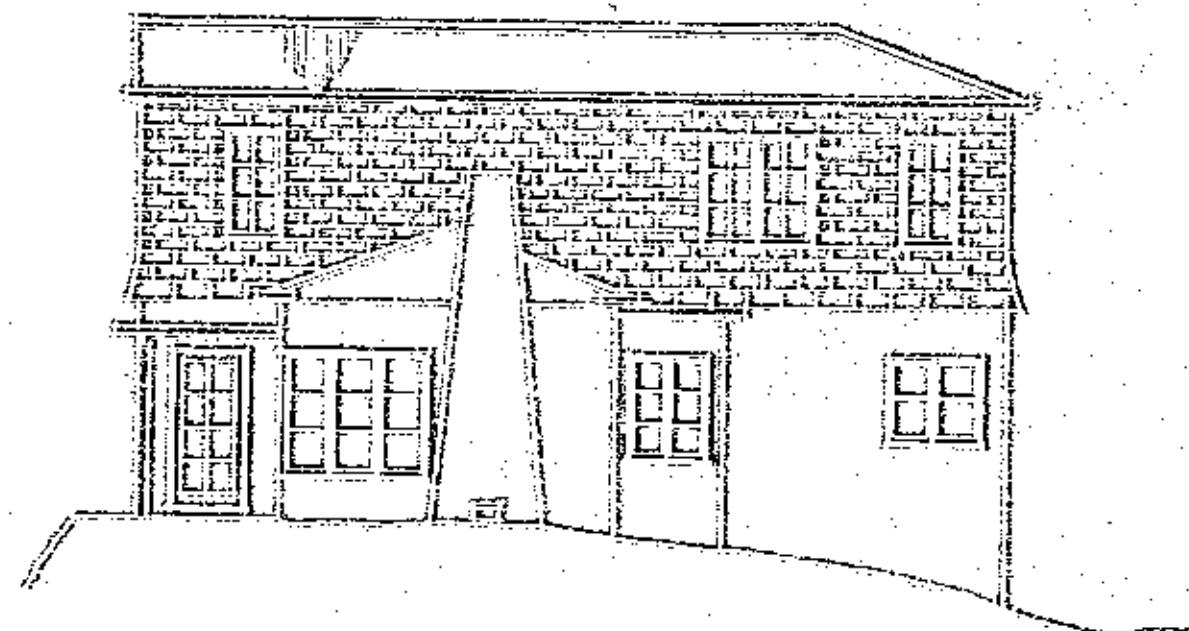
Yours faithfully,

I.D. Stewart
District Building Controller

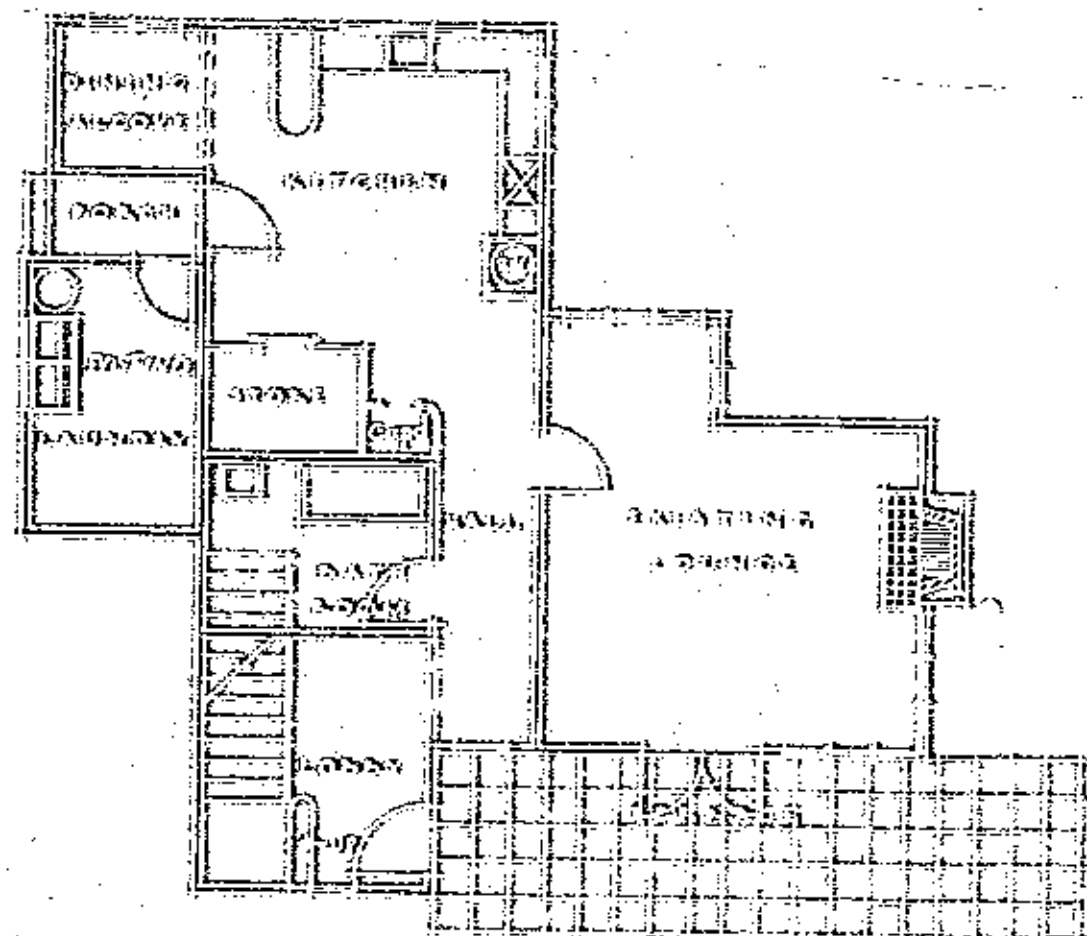
The County Clerk,
Hutt County Council,
P.O. Box 12 Govt. Bldg.,
Wellington.



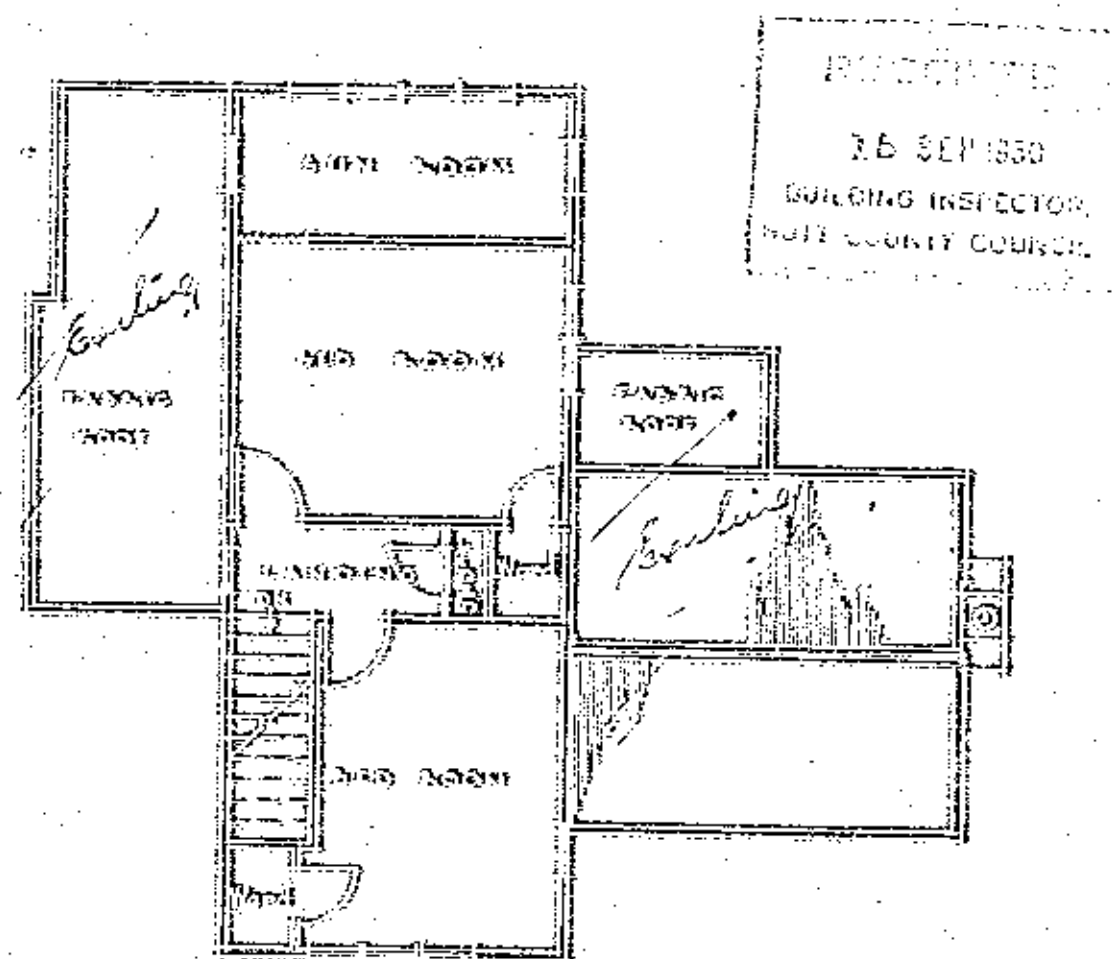
EAST ELEVATION



NORTH ELEVATION



GROUND FLOOR PLAN



FIRST FLOOR PLAN

RECORDED

25 SEP 1830

BUILDING INSPECTOR,
NORTH COUNTY COUNCIL

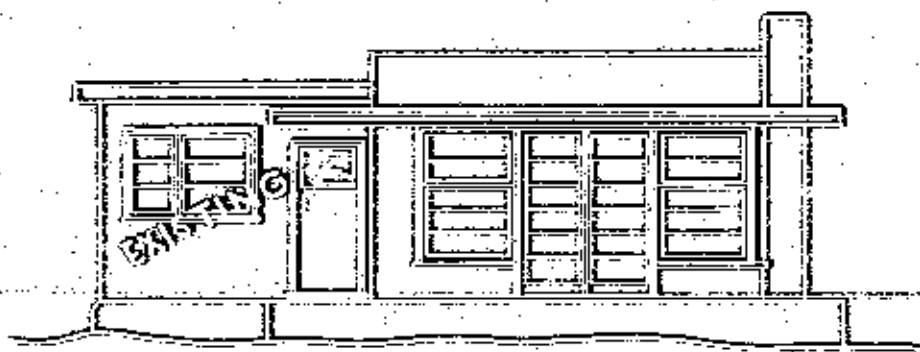
RESIDENCE

FOR

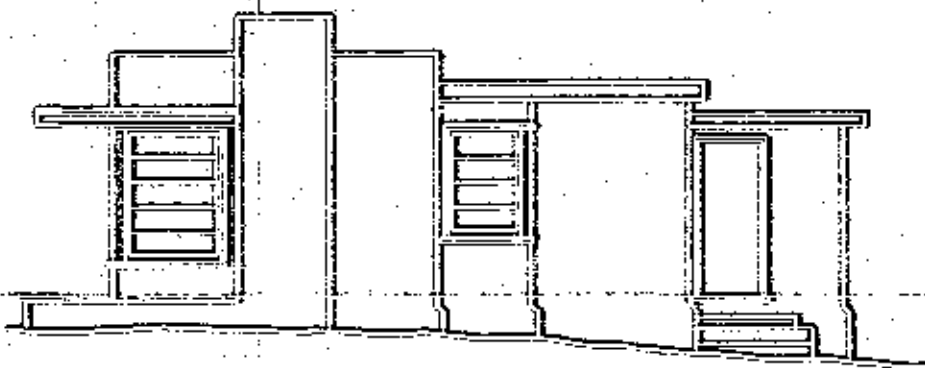
S.

SAWTELL

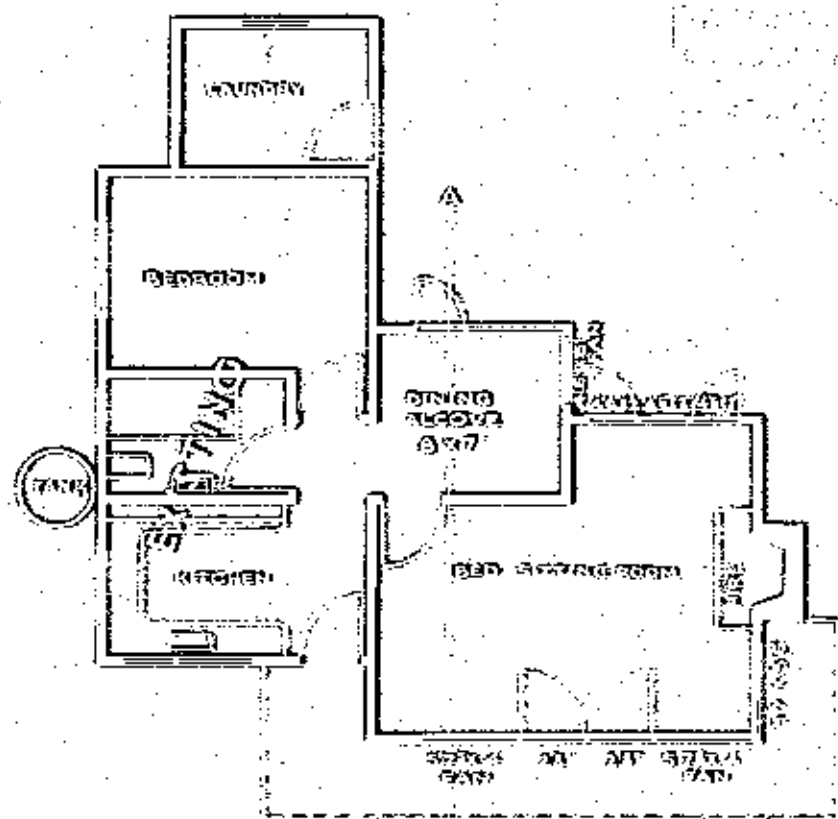
B3Q



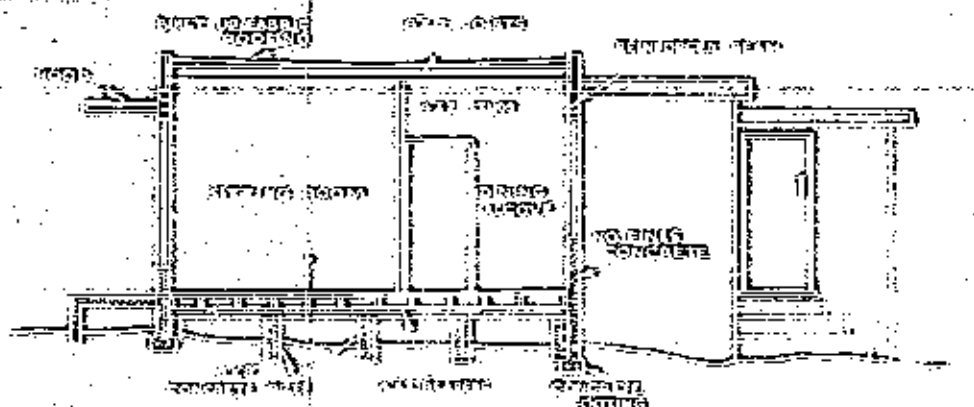
EAST ELEVATION



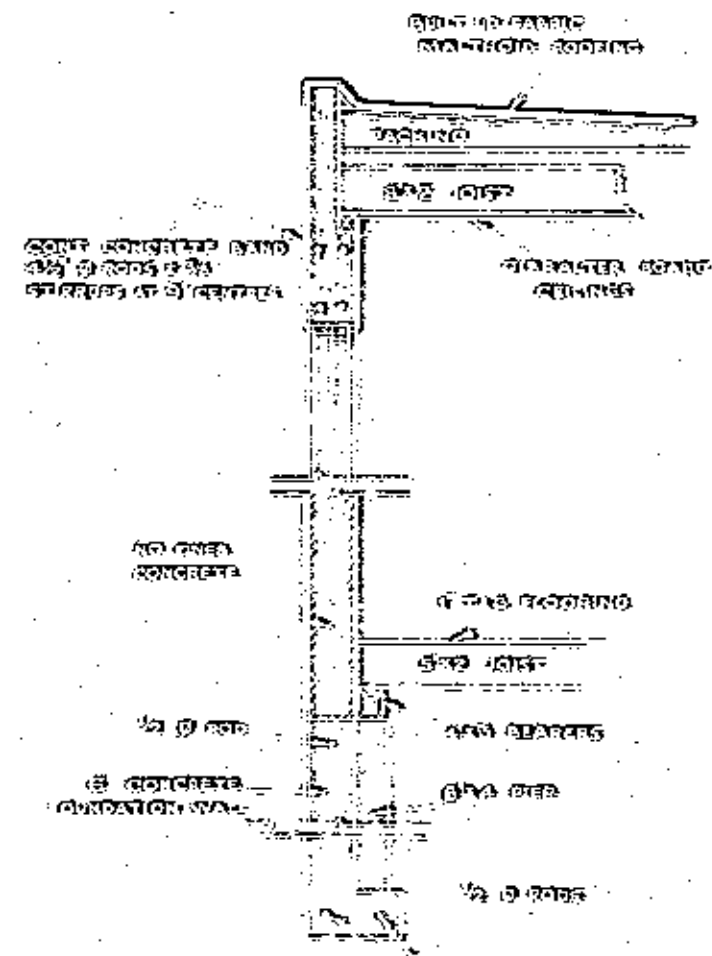
NORTH ELEVATION



PLAN



SECTION THRU AA



SECTION THRU PARAPET
& FOUNDATION

PROPOSED ADDITIONS TO DWELLING
MATAI ROAD RAUMATI
FOR MR S. G. SAWTELL

LOT 59
D.D. 10231

METRO

METRO is the result of over 25 years of continual development in combustion technology. Design criteria for the Metro range of woodfires was to achieve exceptional performance and life presented in a compact and

stylish form, at an affordable price. And development didn't stop with the fire. Pioneer presents a complete range of compact ash hearths and genuine wetbacks with tested results. CAD/CAM technology

utilised by Pioneer reduces production costs, yet greatly improves tolerances and efficiencies which reflect in the tested performance. Your Metro retailer has these test reports on display and will happily discuss

them with you in detail. At Pioneer we test, not guess, and we proudly display the results. If you are thinking wood heating we dare you to compare. Metro is in a league of its own, offering so much for so little.

FEATURES

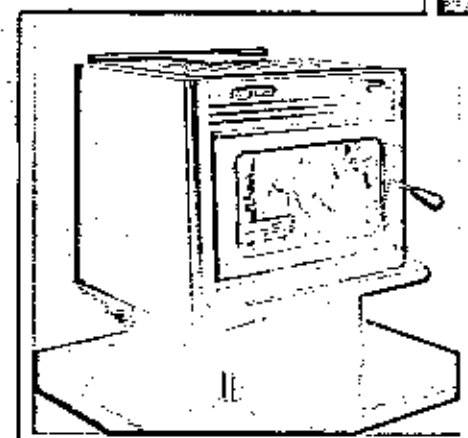
- Firebox - 6mm firebrick lined
- Guarantee - 5 years on firebox
- Compact - Minimal clearances
- Glass - 5mm ceramic
- Output - Tested freestanding
- Burn time - Metro Tested at 18hrs

- Emissions - Tested to NZS7403
- Safety - Tested to NZS7421
- Wetbacks - Tested - 3.2kw & 4.1 kw
- Euro Door - Option, All models
- Secondary burn chamber
- Proudly New Zealand made

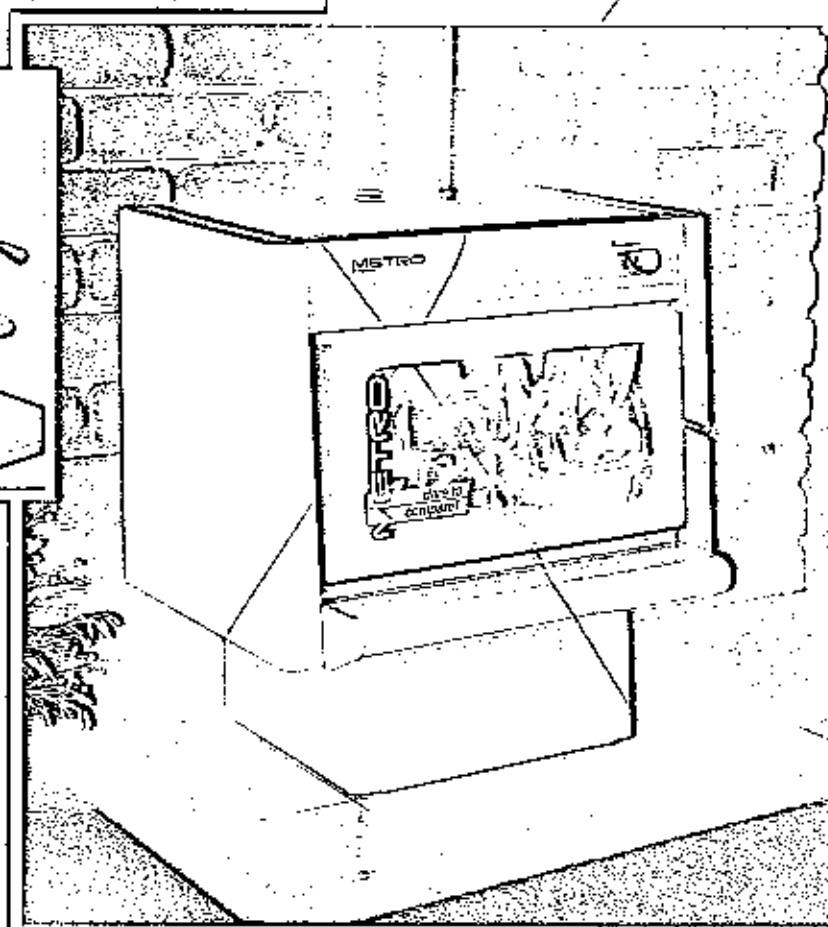
METRO is two woodfires in one. Compactness and control make Metro ideal for home units, while its 14.6kw output makes it equally suited for the family home. No 1 in efficiency, with performance and styling complemented with the durability of firebrick lining and a heavy 6mm steel firebox.

Colours - matt black, matt brown, dark charcoal, forest green, jasmine. Metro Chameleon has all the features, and in a finish enabling colour to change with decor and desire. 16 aerosol colours are available with 4 standard options. Colours - metallic black, charcoal, moss green and golden fire brown.

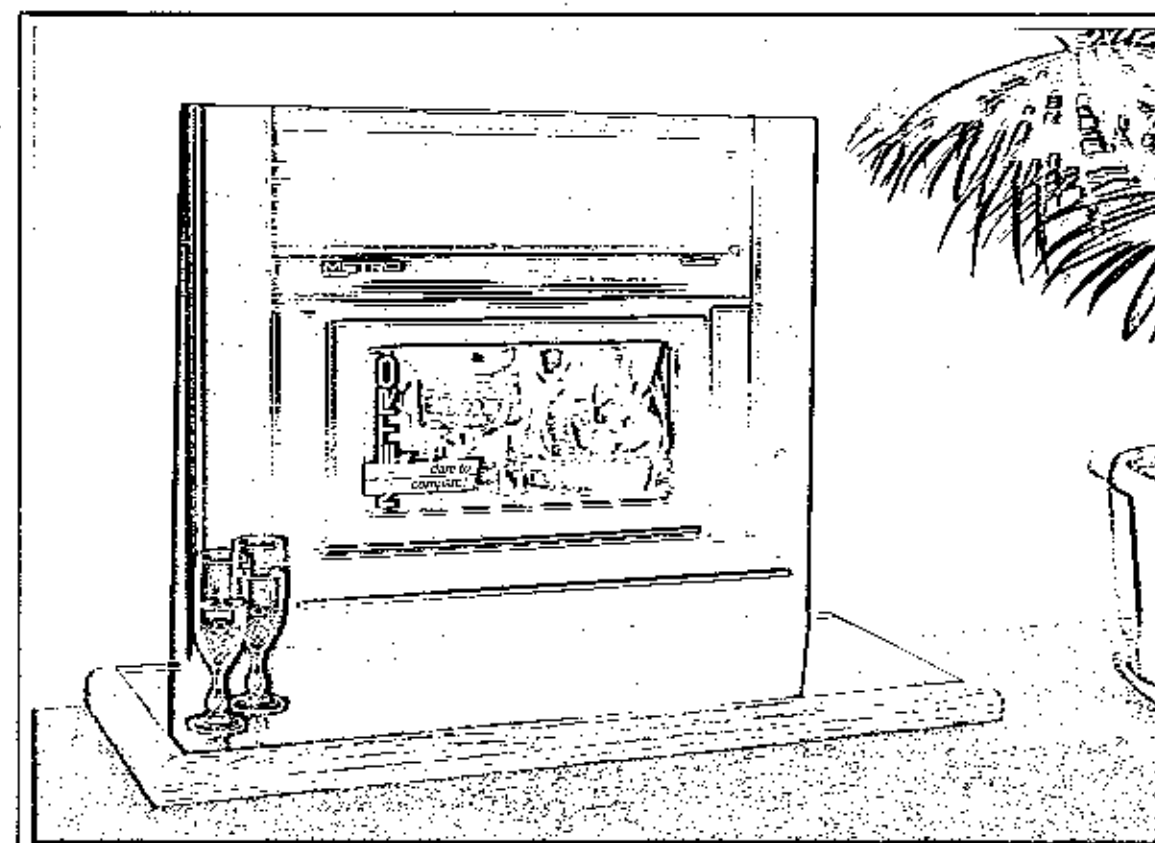
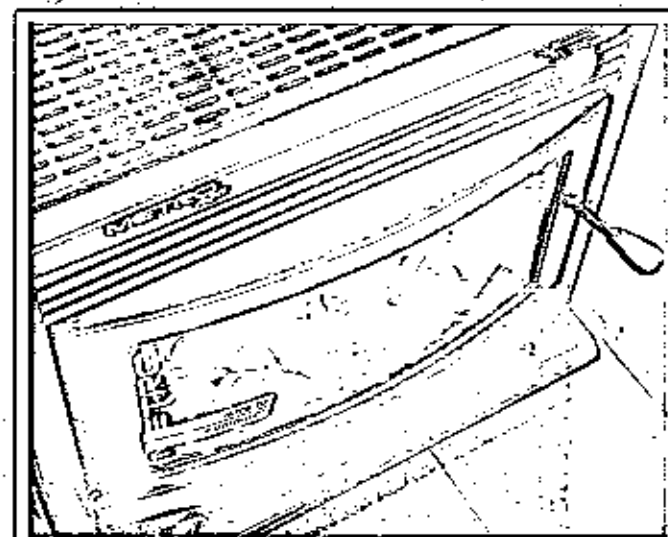
Metro



REAR OUTLET METRO Offers the alternative's. Either fire outside through another room or direct into an existing fireplace. Optional height pedestals include a "Juno swap over". Colours options as Metro.



EURO DOOR option offers a panoramic view of the fire while adding a European style. Available to fit all models in all colours.



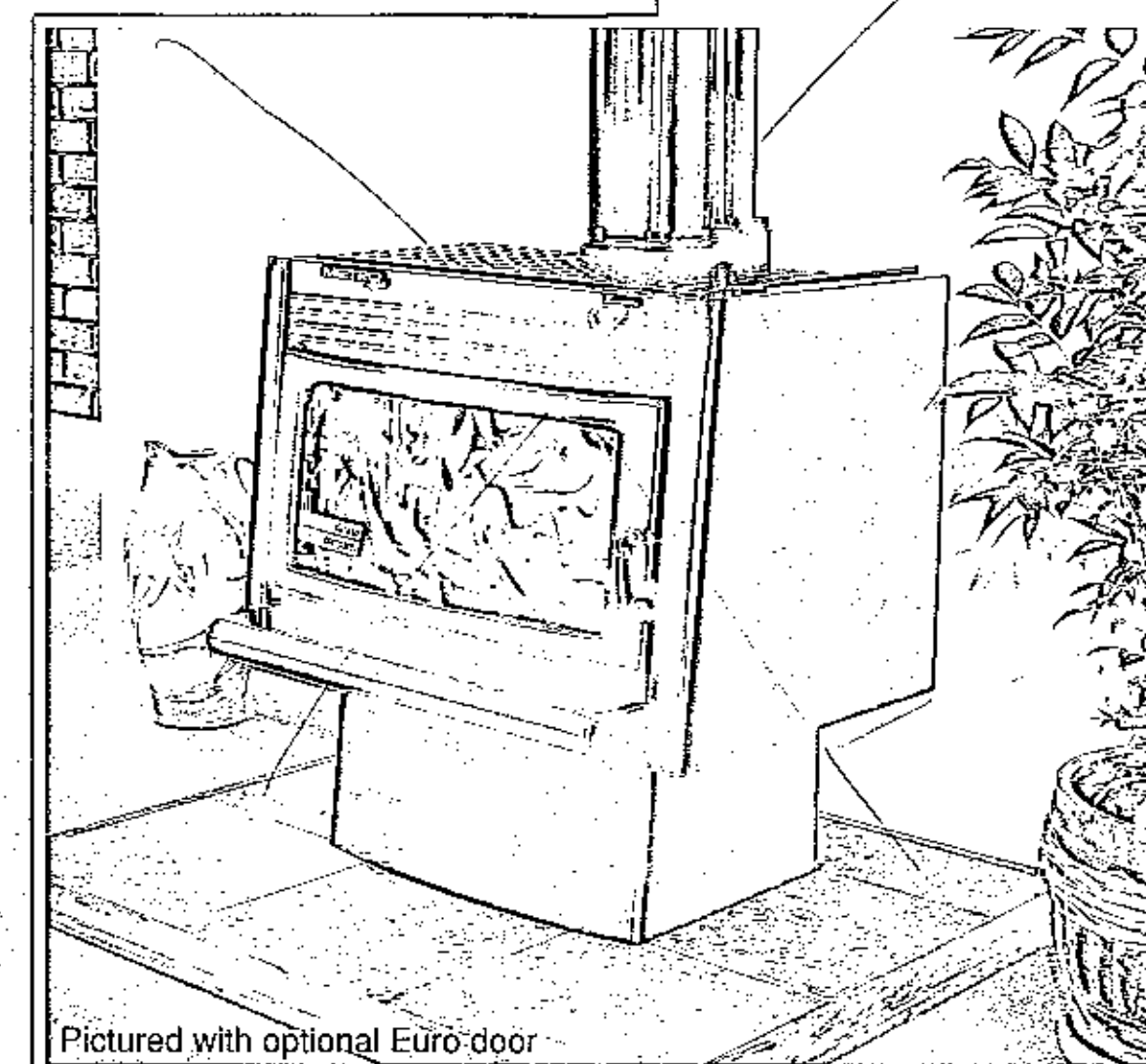
Metro Inserts

METRO INSERTS break away from tradition with a gently sloping fascia and soft rounded corners. Performance in design, as with all Metros, is foremost and the insulated lower convection chamber unique to Metro Insert's substantially increase's convection. Available in two firebox size options, the compact is ideal for shallow fireplaces while the deeper high output model fully utilises the more common precast fireplace. The optional Euro door with its soft curved lines compliments the inserts styling while offering an enhanced view of the fire. Fascia colour options - matt black, matt brown, dark charcoal, forest green, jasmine.

METRO ASPIRE extends the Metro family to accommodate the larger home with output to perform in the coldest climates. While retaining the style of the Metro family, obvious subtle visual differences assist in the free convection of air enabling minimal clearances from walls and furnishings. The extreme outputs of the Aspire required a totally new firebox design. The conventional rectangular firebox shape has been replaced with a more complex form combining firebox and ceramic lining inside an offset firebox. An optional three speed fan is available for the Metro Aspire enabling a more even distribution of heat throughout the home from this large output model.

Colours - matt black, matt brown, dark charcoal, forest green and jasmine.

Metro Aspire



Pictured with optional Euro door

HEARTH'S

All Metro freestanding models as well as high output insert may be installed on a compact ash hearth increasing visual effect options while reducing installation cost. Pioneer manufacture an extensive range of hearths styled to complement the Metro range as featured in this brochure. Standard Hearth illustrated under the Metro is available to suit both corner and straight wall situations. Trim is black anodised finish with two standard tile options of satin black and black marble. (Black marble wall hearth illustrated). An optional rear extension panel is available to enable the standard hearth to be extended away from the rear wall, sometimes necessary in wetback installations. Rimu Hearths are available in a range of tile colours (terracotta tile displayed with Metro Aspire) and your Metro retailer has samples of colour options available. For those who wish to match a specific tile the rimu hearth is also available un-tiled. Metro Insert Hearths are specifically designed to suit the high output insert, featuring rimu trim this hearth is offered tiled in a range of colours, un-tiled, and as illustrated as a "glass hearth".

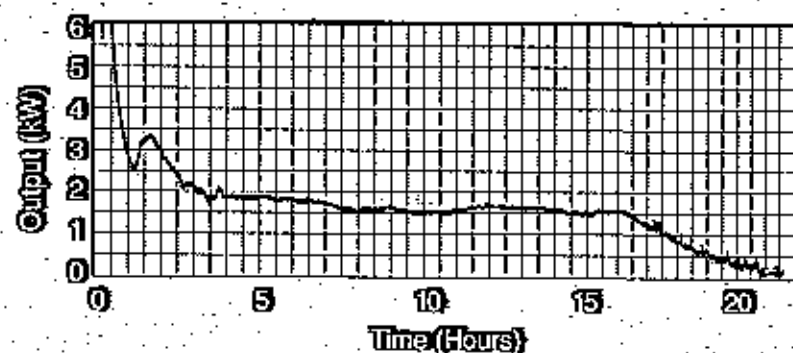
WETBACKS

A major feature of the Metro range is to offer genuine wetback performance rather than the limited output of "boosters". Utilising heavy cast heatsinks, copper coils are pressed into a carbon rich paste and sealed with graphite cement to form the Pioneer wetback. Location within the Metro firebox ensures minimal increase in emissions and enables utilisation of excess heat resulting in further increased overall efficiency. Laboratory testing of the Pioneer wetback system in the Metro, the smaller in the Pioneer range, resulted in total output increasing by a further 14.4% to a staggering 16.7kw. Your metro retailer has this test report detailing two available options of 3kw and 4kw. Call in and compare.

BURN TIME

Another feature of the Metro is its responsive total control of burn rate, enabling burn times previously not attainable. Recent testing carried out in a Telarc registered laboratory recorded burn time and output of the Metro which was set at a very low burn rate on a single fuel load of pine.

The illustrated results are quite remarkable, with 35kw of energy being released over 22 hours, an average output of 1.6kw per hour. NOTE: Operating on extended burn can cause build up in the flue. Variables such as fuel, flue length and wind strength will effect time achieved. Results in this test were obtained with air setting below that tested for NZS7403 and therefore results do not apply to clean air zones.



OUTPUT

Metro freestanding woodfires are tested for maximum output by an independent Telarc registered laboratory. Surprisingly, this makes Pioneer unique as most other manufactures don't test. Some estimate realistic outputs, some don't. Some note this on their brochure, most don't. All Metro retailers have output test results available. We dare to compare.

All Metro woodfires are tested to NZS7421:1990 with full specifications detailed in the installation and operation manual supplied with every Metro. As research and development is

ongoing, specifications may alter and those detailed below should be used as a guide only. Consult your local Metro retailer if in doubt.

SPECIFICATIONS

	METRO, CHAMELEON AND REAR OUTLET	METRO ASPIRE	METRO INSERTS COMPACT	METRO INSERTS HIGH OUTPUT
PEAK OUTPUT	14.6kw TESTED	19.8kw TESTED	13kw - est	16kw - est
WIDTH	590mm	670mm	560mm	560mm ⁽²⁾
DEPTH	530mm	575mm	410mm	500mm ⁽²⁾
HEIGHT	640mm ⁽¹⁾	715mm	550mm ⁽²⁾	550mm ⁽²⁾
FASCIA DIMENSION	N.A.	N.A.	650 high x 810 wide	
WETBACK INLET CENTRE HEIGHT	270mm ⁽¹⁾	340mm	170mm	170mm
WETBACK RETURN CENTRE HEIGHT	460mm ⁽¹⁾	530mm	360mm	360mm
FIREBOX - ALL MODELS	6mm STEEL, FIREBRICK/CERAMIC LINING			
WARRANTY - ALL MODELS	5 YEARS ON FIREBOX, 1 YEAR OTHER PARTS			
FLUE SIZE - ALL MODELS	150mm DIAMETER, MINIMUM 3.6m LONG			
WATER HEATING - ALL MODELS	OPTIONAL - 3kw and 4kw WETBACK AVAILABLE			

Note (1) A reduced height pedestal is available, but an insulating hearth is required when fitted. See manual.

Note (2) These insert measurements exclude insulation supplied with and fitted to the cabinet.

CLEARANCES

		METRO AND METRO CHAMELEON	REAR OUTLET METRO	METRO ASPIRE
WITH PIONEER DOUBLE FLUESHIELD	REAR CLEARANCE	50mm	N/A	80mm
	SIDE CLEARANCE	300mm ⁽³⁾	N/A	240mm
	CORNER CLEARANCE	85mm	N/A	110mm
	MINIMUM HEARTH SIZE	680 Deep x 830 W	N/A	755 Deep x 910 W
WITHOUT FLUESHIELD	REAR CLEARANCE	430mm	60mm	650
	SIDE CLEARANCE	300mm	270mm	240
	CORNER CLEARANCE	280mm	100mm	250
	MINIMUM HEARTH SIZE	1,060 Deep x 830 W	690 Deep x 830 W	1,325 Deep x 910 W

Clearances specified are minimum allowable from combustible surfaces tested to NZS7421:1990.

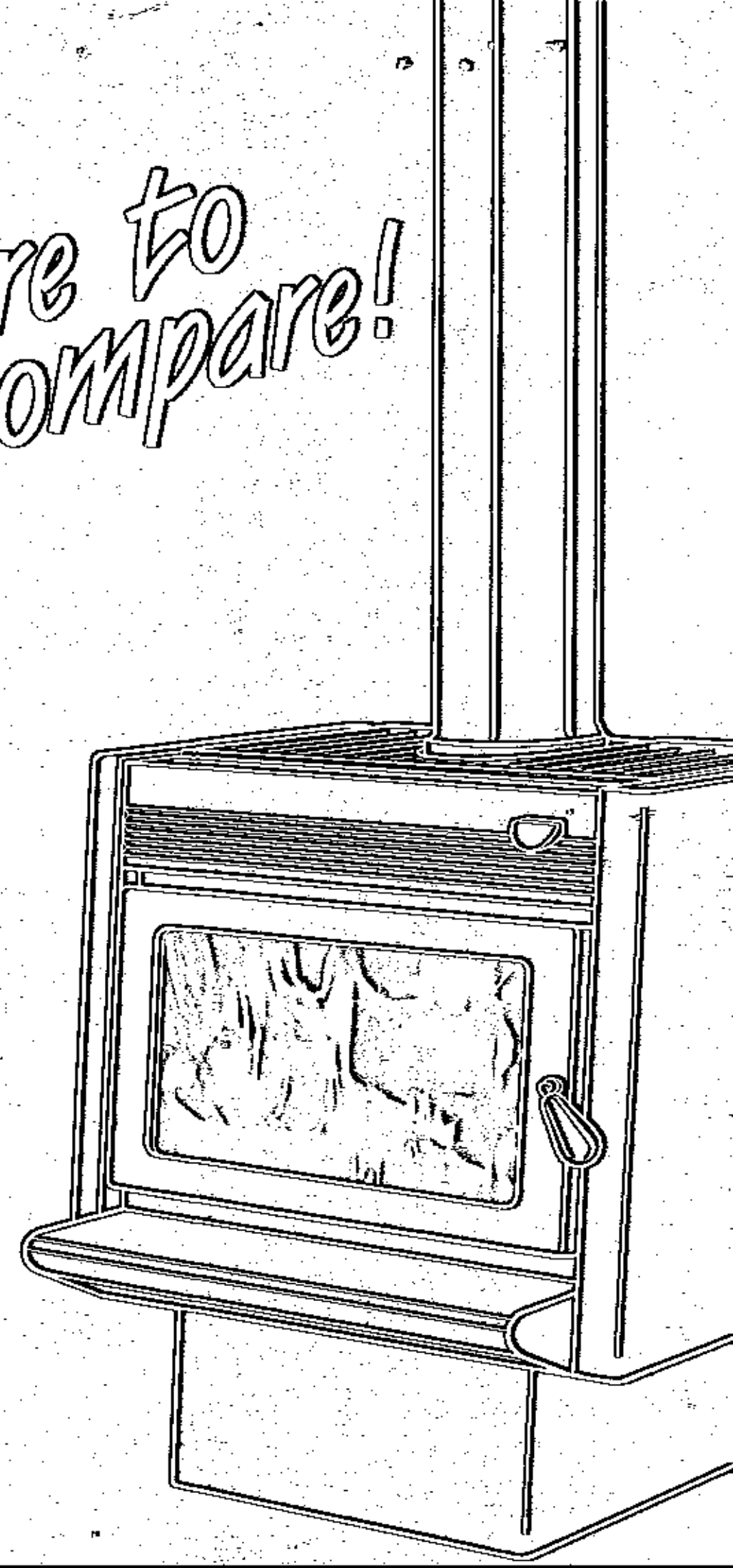
Note (3) By fitting the optional flueshield side extension panel, min side clearances reduce to 270mm or 220mm if in an alcove not projecting forward of the Metro.

HEARTH'S

All Metro free standing woodfires comply with NZS7421 when installed on an ash hearth, which must extend 200mm forward, to each side and rear of the door opening. Refer to the installation and operation manual for full specifications.

Metro inserts must be installed on an insulated base of 12mm minimum thickness. If the insert is raised above the combustible floor a 200mm ash hearth projection applies, the compact insert must be raised a minimum of 50mm and high output model 40mm. Refer to manual for full details.

dare to compare!



THE HEATING CENTRE
3 IHAKARA STREET
PARAPARAUMU
PH. (04) 298-6556

METRO
BY PIONEER
MAMAKU STREET, PO BOX 11, INGLEWOOD
TELEPHONE 06 756 6520
FAX 06 756 6540
NEW ZEALAND