

WAIMAIRI COUNTY COUNCIL

Permit No. 21618 Application No. 1512 | **B1**  
 Riding Wairarapa  
 Assessment No. 2199/14/183/7  
 (FOR OFFICE USE ONLY) File No. ~~W 162~~ 150

APPLICATION FOR A BUILDING PERMIT 3450

TO THE COUNTY ENGINEER,

Sir,  
 I hereby apply for permission to erect/alter/install a DWELLING  
 (Dwelling, Garage, Shed, etc.)  
 at No. 5 Gilmore Place Street, in accordance with the SITE PLANS, and detailed PLANS,  
 ELEVATIONS AND SPECIFICATIONS submitted herewith in duplicate, (see over)

PARTICULARS OF LAND

Lot No. 6 D.P. 26914 R.S. C.T. 8K. 1698  
 Frontage 151-42 LINKS Area X

PARTICULARS OF BUILDING

Foundations CONCRETE Stud Height BRICK 8' Floor CONCRETES  
 External Walls BRICK VENEER Roof HARVEY TILES  
 Distance from Nearest Building On Site — On Adjoining Site 30 ft.  
 MAIN BUILDING - AREAS (see over)  
 Ground Floor 1830 sq. ft. 1st Floor — sq. ft. Over Foundations 1830 sq. ft.  
 (or Basement)  
 OUTBUILDINGS - AREA  
 Area Proposed — sq. ft. Area of Existing — sq. ft.  
 TOTAL AREA OF ALL BUILDINGS (Existing and Proposed) 1830 sq. ft.

ESTIMATED VALUE OF PROPOSED WORK

Main Buildings \$ 13,000  
 Outbuildings \$ —  
 Plumbing & Drainage \$ 1,550  
 TOTAL \$ 14,550

Estimated Completion Date 1st JULY 1971

Owner MR GIBSON Address 208 HAREWOOD RD  
 Builder SAVOY BUILDERS Address 169 ESTUARY RD. 7  
 Plumber STANWEIR Address Collingwood STR 7

Proposed purpose for which every part of the building is to be used or occupied (see over)

Yours faithfully,

Telephone No. 596-347 Owner/Builder 886-460 C Smith.  
 PH / 11-2-71

(FOR OFFICE USE ONLY)

| FEE PAYABLE                  |                      | REMARKS                                                     |
|------------------------------|----------------------|-------------------------------------------------------------|
| Building Permit              | <u>48</u> .00        | <u>1st</u> <u>Seting</u> <u>OK</u> <u>16/2/71</u> <u>AK</u> |
| Inspection Fees              |                      |                                                             |
| Plumbing & Drainage Permit   |                      |                                                             |
| F/P Opening/Crossing Deposit | <u>5</u> : <u>50</u> |                                                             |
| F/P Opening/Crossing Permit  | <u>1</u> : <u>00</u> | <u>100S9</u>                                                |
| Vehicle Entrance             |                      |                                                             |
| Water Connection             | <u>34</u> .00        |                                                             |
| Builders Water Supply        | <u>3</u> .50         |                                                             |
| Building Research Levy       | <u>4</u> .50         |                                                             |
| TOTAL FEES PAYABLE           | <u>99</u> .50        |                                                             |

APPROVED D.J. Duncan for (County Engineer) 3 - 2 - 71 19 71

## APPLYING FOR A BUILDING PERMIT

### COMPLETION OF THIS FORM

All details on the form must be completed, in cases where the answer is nil enter 'nil'.

### FLOOR AREAS

The area of each floor in buildings of more than single storey must be entered. For site coverage only the area of the ground floor is computed. In accessory buildings the floor areas are for computing permissible floor area.

### PROPOSED USE

The proposed use of every building or part of a building must be clearly indicated, e.g. private car garage, private storage shed, ownership flats, leasehold shops etc.

### STORMWATER DISPOSAL

An approved method of stormwater disposal must be provided to all buildings and must be fixed before occupation of the building.

NOTE: All stormwater must go to side channel except where otherwise specifically approved.

## DETAILS TO BE SUBMITTED WITH EVERY APPLICATION

The following extract from the Building By-Laws sets out briefly the details required with every application. Full details can be gained in N.Z.S. 1900, Chapter 2, Clauses 2.4 and 2.5.

### 2.5 PLANS AND SPECIFICATIONS

- 2.5.1. Together with every application there shall be submitted to the Engineer, in duplicate, detailed plans, elevations, cross sections, and specifications, which shall together furnish complete details of design and qualities and descriptions of all materials of construction and workmanship, and which shall be of sufficient clarity to show to the satisfaction of the Engineer the exact nature and character of the proposed undertaking and the provision made for full compliance with the requirements of this by-law and any other relevant by-law for the time being in force:—
  - (v) Detailed drawings shall be in such form and on such scale as the Engineer may consider necessary to ensure certainty of interpretation.
  - (vi) All drawings other than detailed drawings shall be accurately, clearly, and indelibly executed to scale, and shall be drawn in ink upon drawing paper or tracing cloth or printed upon cloth or approved paper. Except in the case of detailed drawings all drawings shall be to a scale of  $\frac{1}{8}"$  or  $\frac{1}{4}"$  to the foot.
- 2.5.2. The drawings shall be accompanied by a locality plan. This locality plan shall be drawn to scale and shall show the site of the building, together with the land, streets, private streets, public places, private ways, public reserves, and buildings immediately surrounding the site and shall be sufficient to enable the Engineer to locate the precise situation of the site not only relative to the boundaries of its own land, but also relative to any buildings erected upon immediately adjoining lands.
- 2.5.3. On all drawings deposited under this chapter of this by-law the following methods shall be used to assist in making clear the various parts of the work:—
  - (i) The site of the proposed building shall be coloured or edged red.
  - (ii) Existing buildings immediately adjoining shall be coloured grey.
  - (iii) Sewers and sewer connections shall be shown by red lines.
  - (iv) Stormwater drains and drain connections shall be shown by green or black lines.
  - (v) The construction drawings shall be so prepared as to distinguish the various materials employed in the construction of the building, also existing work from new work.
- 2.5.5. In addition to the structural details etc., required, the plans and sections shall show as regards every floor of the proposed building the dimensions of the rooms the situation of the flues, fireplaces, stoves, and chimneys, and the position of all the several parts of the building, and every water closet, fuel store, wash-house, and all other appurtenances. The plan and section shall further show the proposed means of water supply, and the level of the lowest floor of the intended building and of the yard and ground belonging thereto, and also the means whereby it is proposed to deal with all stormwater and drainage.
- 2.5.6. When lodged, the application and drawings and other documents accompanying the application shall become the absolute property of the Council.

WAIMAIRI COUNTY COUNCIL

BUILDING CHECK SHEET

Application No. 1512

Application Received: - Date 26/1/71

Initials of Receiving Officer RJA

Details Required

- 2 SITE PLANS - Distance from all boundaries and buildings - street front indicated ✓ Stormwater Disposal System shown. ✓
- 2 SETS OF WORKING DRAWINGS - Fully detailed and dimensioned. ONE SET TO COME.
- 2 SETS OF ELEVATIONS - showing height and windows (size and openings). ONE SET TO COME.
- 2 CROSS-SECTIONS - fully detailed and dimensioned, showing all beam fixings etc. ONE TO COME.
- 2 SETS OF SPECIFICATIONS = Spacing - Type of Materials etc. ONE TO COME.
- 2 PLUMBING AND DRAINAGE FORMS - (Non sewerred areas only) - Drainage layout
- WATER APPLICATION FORM SIGNED BY OWNER. ✓
- BUILDING PERMIT APPLICATION FORM FULLY COMPLETED.

Where required:

- Written consent of adjoining owner.
- Design Certificate or calculations.
- Certificate of Registration from Building Projects Registration Authority.
- Swimming Pool - Application form to discharge water

| Department                                                            | Check List              | Remarks                        | Initials | Date    |
|-----------------------------------------------------------------------|-------------------------|--------------------------------|----------|---------|
| TOWN<br>PLANNING                                                      | Legal Description       | ✓                              |          |         |
|                                                                       | Zoning                  | Wes A                          |          |         |
|                                                                       | Street No. Issued       | 5C                             |          |         |
|                                                                       | Building Line Restrict. | N A Back Section               |          |         |
|                                                                       | Conditional Use etc.    |                                |          |         |
|                                                                       | Parking Requirements    |                                |          |         |
|                                                                       |                         |                                |          |         |
| HEALTH<br>INSPECTORS                                                  | General Requirements    |                                |          |         |
|                                                                       | Stormwater etc.         | To side channel                |          |         |
|                                                                       | Food Premises           |                                |          |         |
|                                                                       | Apartment House         |                                |          |         |
|                                                                       |                         |                                |          |         |
| RATES                                                                 | Owner                   |                                |          |         |
|                                                                       | Assessment No. entered  |                                |          | 28-1-71 |
| CHRIST-<br>CHURCH<br>DRAINAGE<br>BOARD                                | Sewage Disposal         |                                |          |         |
|                                                                       | F1416                   | 11-22-87                       | BKS      | 2/2/78  |
| FIRE AND<br>EGRESS<br>INDUSTRIAL<br>COMMERCIAL<br>PUBLIC<br>BUILDINGS | Occupancy classificat.  |                                |          |         |
|                                                                       | Fire Zone               |                                |          |         |
|                                                                       | Type of Construction    |                                |          |         |
|                                                                       | Fire Resistance Rating  |                                |          |         |
|                                                                       | Egress & Exit signs     |                                |          |         |
|                                                                       | Fire Stops              |                                |          |         |
|                                                                       | Alarm/Emergency Lights  |                                |          |         |
|                                                                       | Fire Fighting Equipment | (Checked by Met. Fire Brigade) |          |         |

| Department                        | Check List                                 | Remarks | Initials | Date |
|-----------------------------------|--------------------------------------------|---------|----------|------|
| DANGEROUS<br>GOODS AND<br>BY-LAWS | Dangerous Goods                            |         |          |      |
|                                   | Signs                                      |         |          |      |
|                                   | Projections over St. etc                   |         |          |      |
|                                   | Hoardings                                  |         |          |      |
|                                   |                                            |         |          |      |
| STRUCTURAL<br>CHECK               | Design Certificate                         |         |          |      |
|                                   | Calculations                               |         |          |      |
| TRAFFIC                           |                                            |         |          |      |
|                                   |                                            |         |          |      |
| SPECIAL<br>APPROVALS              | County Engineer                            |         |          |      |
|                                   | T.P. Sub-Committee                         |         |          |      |
|                                   | Council                                    |         |          |      |
|                                   | Resiting                                   |         |          |      |
| BUILDING<br>INSPECTORS            | Siting and Height                          | ✓       |          |      |
|                                   | Coverage                                   | ✓       |          |      |
|                                   | Construction:-                             | ✓       |          |      |
|                                   | Foundations                                | ✓       |          |      |
|                                   | Floor                                      | ✓       |          |      |
|                                   | Framing                                    | ✓       |          |      |
|                                   | Roof                                       | ✓       |          |      |
|                                   | Veneer                                     | ✓       |          |      |
|                                   | Heating                                    | ✓       |          |      |
|                                   | Stud Height                                | ✓       |          |      |
|                                   | Room Sizes                                 | ✓       |          |      |
|                                   | Light & Ventilation                        | ✓       |          |      |
|                                   | F.R.R. (Residential)                       | ✓       |          |      |
|                                   | Vehicular Access                           | ✓       |          |      |
|                                   | Veh. Acc. Cnr. Site                        |         |          |      |
|                                   | Section levels                             |         |          |      |
|                                   | Fill                                       |         |          |      |
|                                   | Building Regulations Certificate (Date:- ) |         |          |      |
|                                   |                                            |         |          |      |
|                                   |                                            |         |          |      |

11/2-71

2nd Check siting - all checks completed.

Signed R. J. Harris Date:- 11/2/71  
(Checking Officer)

Proposed new Residence  
for Mr. & Mrs. H. Gibson  
at 56 Gilmore Place,  
CHESHIRE.

208 Harewood Rd  
CHCH5

Mr 596-347  
Bus 588-234

G.R. Claridge A.R.C.S.I.B.  
Architectural Draughtsman,  
37 Latimer Square,  
Phone 69-112,  
CHESHIRE.

Tender will close with the owner  
at 6.00 p.m. on the 18 Dec 70

6. Interpretation of the contract.  
The contract shall be interpreted in accordance with all general principles and all provisions of the law of the country of the contract. The contract shall be interpreted in accordance with the provisions of the law of the country of the contract. The contract shall be interpreted in accordance with the provisions of the law of the country of the contract.

7. Assignment of the contract.  
The contract shall be assigned to the assignee in accordance with the provisions of the law of the country of the contract. The contract shall be assigned to the assignee in accordance with the provisions of the law of the country of the contract. The contract shall be assigned to the assignee in accordance with the provisions of the law of the country of the contract.

8. Termination of the contract.  
The contract shall be terminated in accordance with the provisions of the law of the country of the contract. The contract shall be terminated in accordance with the provisions of the law of the country of the contract. The contract shall be terminated in accordance with the provisions of the law of the country of the contract.

9. Dispute resolution.  
The contract shall be resolved in accordance with the provisions of the law of the country of the contract. The contract shall be resolved in accordance with the provisions of the law of the country of the contract. The contract shall be resolved in accordance with the provisions of the law of the country of the contract.

10. Force majeure.  
The contract shall be terminated in accordance with the provisions of the law of the country of the contract. The contract shall be terminated in accordance with the provisions of the law of the country of the contract. The contract shall be terminated in accordance with the provisions of the law of the country of the contract.

11. Entire agreement.  
The contract shall be terminated in accordance with the provisions of the law of the country of the contract. The contract shall be terminated in accordance with the provisions of the law of the country of the contract. The contract shall be terminated in accordance with the provisions of the law of the country of the contract.

12. Notices.  
The contract shall be terminated in accordance with the provisions of the law of the country of the contract. The contract shall be terminated in accordance with the provisions of the law of the country of the contract. The contract shall be terminated in accordance with the provisions of the law of the country of the contract.

13. Amendment.  
The contract shall be terminated in accordance with the provisions of the law of the country of the contract. The contract shall be terminated in accordance with the provisions of the law of the country of the contract. The contract shall be terminated in accordance with the provisions of the law of the country of the contract.

14. Severability.  
The contract shall be terminated in accordance with the provisions of the law of the country of the contract. The contract shall be terminated in accordance with the provisions of the law of the country of the contract. The contract shall be terminated in accordance with the provisions of the law of the country of the contract.

2.

**10. MAINTENANCE:**

The Contractor shall make good all defects shrinkages or other faults whatsoever which may arise or appear within a period of 90 days after the certified completion of the works.

**11. WORKERS' COMPENSATION:**

All workers of all trades shall be covered by insurance required under the various Workers' Compensation Acts, amendments and any other Acts of Parliament appertaining thereto.

**12. FORMWORK:**

Provide all formwork and bracing necessary for the execution of the works shown on the drawings. Brace, support and fix in such manner to prevent warp, twist, deformation or leakage of grout during the pouring and curing.

**13. AT COMPLETION:**

The Contractor shall satisfactorily remove all refuse and debris from and around the buildings and off the site.

14. Contractor to start on Feb. 1st. 1971. A Penalty of \$20.00 per week will be incurred if not completed by July 31st 1971; to owner's satisfaction.

15. Owner to supply but allow to install  
Range.  
Electric panel Heating.  
Squarer A.C. Windows.

See  
Appendix

**EXCAVATION****1. CLEAR SITE:**

On that portion of the site to be built upon, clear all vegetation, trees, stumps, rocks etc.

**2. GENERAL EXCAVATION:**

Excavate as required for all site levelling, foundations, blocks, walls, water pipes etc., to the various depths, levels and grades as required for the erection of the buildings and appurtenances. All subsoil from the foundations and other excavations is to be deposited on the site where directed.

**3. FILLING IN:**

Fill in and thoroughly consolidate around all piles, footings and foundation walls immediately after stripping the boxing.

**4. HARD CORE FILL:**

Hard core fillings shall be composed of bricks, old Portland cement, concrete, stone or other hard substance, all broken to a maximum size of 3". Before the concrete is poured the hard core shall be thoroughly consolidated and the surface binded with shingle.

**CEMENT****1. CEMENT:**

The cement shall be medium setting Portland cement of approved manufacture and shall comply with the latest B.S. S. The cement shall be delivered in unbroken packages showing clearly the maker's name and shall be stored in such manner that it will be efficiently protected from moisture.

2. SAND:

All sand shall be graded, clean, sharp, free from loam and obtained from an approved source.

3. AGGREGATE:

For reinforced or mass concrete aggregate shall consist of crushed and/or washed gravel of a size to pass through a 3" screen and be retained by a 1/2" screen.

4. PROPORTIONS OF CONCRETE:

One part cement, two parts sand and four parts coarse aggregate, machine mixed for not less than two minutes. Remove the entire contents of each batch after each mixing.

5. POURING AND CURING AND GARAGE FLOORS:

Over a hard fill box, pour, screed and float entry steps and front porch and steps.

6. CONCRETE FLOORS FOR RESIDENTIAL BUILDINGS TO BE LAID ON THE GRAVEL IN SUBGRADE:

(1) General

Concrete floors for residential buildings will be permitted only when constructed under supervision and on sites approved by the county Engineer.

(2) Subgrade

The subgrade must be well and uniformly compacted to prevent any unequal settlement of the floor slab. All organic matter, such as roots, grass, etc., must be removed. Any holes and irregularities (including trenches for services etc.) must be filled in layers not exceeding 6" deep and thoroughly tamped. Fill material should be uniform in character and not contain large lumps, stones or organic matter etc. Compaction should be carried out at the optimum moisture content for the material.

(3) Granular Fill

Over the finished subgrade should be placed a granular fill which will have a minimum depth of 6" after being well compacted. This fill should be made of coarse metal or approved clinkers or slag, preferably ranging from 3/4" to 1" in size. It must contain no fine material and, if necessary, must be screened to remove such material.

Note: ("Free shingle" or "pit run gravel" are not acceptable - the fill is intended to provide both protection from the damp from the ground water and insulation.)

The upper surface of the granular fill must be not less than 2" above the adjacent ground.

(4) Damp Proofing

After the granular fill has been compacted and graded a stiff grout coat consisting of 1 part of Portland cement to 3 parts sand must be placed over it to provide a smooth surface for installing the membrane damp-proofing. The grout coat must be at least 3/4" thick and must be floated in place.

When dried and hardened the grout surface should be topped with hot tar or bitumen and a membrane applied as follows:

- Either (a) Not less than  $\frac{3}{8}$ " of approved asphalt,
- Or (b) Not less than 2 layers of 3-ply Malthoid, bituminous roofing felt or similar approved material. This material must be placed while the tar or bitumen is hot and all joints must be lapped not less than 2" and well mopped with tar.
- (c) 1" thickness of grout consisting of 1 part of Portland cement to 2 parts of coarse washed sand with the addition of an approved water-proofing compound.

Alternatively, the membrane may be omitted and a course as (c) above laid over the concrete.

Where the floor is built inside the outside walls the membrane damp-proofing must be carried up between the floor slab and the wall.

(5) Bearing Partitions

Under bearing partitions the granular fill must be excavated at least 4" deep and 12" wide at the base and replaced by 1:2:4 concrete reinforced with not less than 2 continuous  $\frac{3}{8}$ " rods.

A continuous strip of bituminous felt, Malthoid or other approved material shall be placed between the concrete and the lower plate of all bearing partitions.

(6) Floor Finishes (See Owner)

*Handwritten mark resembling a stylized 'J' or 'F'.*

In all living rooms and bedrooms the concrete floor shall be overlaid with timber flooring, cork tiles, parquet, soft fibre board and heavy grade linoleum, or other approved material, or high density polypropylene tiles.

JOINER

1. TIMBER:

The timber for the Joiner's work to be sound and well conditioned, clean, free from wanes, open shakes, large loose or dead knots and cut square and straight and all to be thoroughly seasoned. Timber for the various items shall be in accordance with the following

*schedule:*

| <u>Item</u>            | <u>Timber</u>  | <u>Grade</u> |
|------------------------|----------------|--------------|
| Window and door frames | Rain or Matai  | D.A.H.       |
| External doors         | as shown       |              |
| Doors internal         | Rain flush ply | 1st quality  |
| Fixtures and fittings  | Rain           | D.A.         |

2. WORKMANSHIP:

Construct all joinery in the soundest possible manner. Parts shall be back grooved, rebated, housed (to prevent opening by shrinkage), glued and fixed without visible nails where possible. Mortise and tenon joints shall be used in all joints of sashes and doors. No hammer marks or other imperfections shall show on the finished work. Prime all joints and laps during construction and all faces of exterior timbers before erection.

3. FINISH:

All Dressing grades shall be machine dressed and in interior work they shall be scraped and well glass papered to approval.

5.

4. WINDOWS:

Refer to elevations and details for the types, location and window sizes. Allow P.C. sum \_\_\_\_\_ for Seymour windows.

5. DOORS:

EXTERNAL DOOR FRAMES - shall be constructed with styles and heads out of timber 2" thick and with sills to finish not less than 2" thick.

EXTERNAL DOORS - shall be of the type shown on the drawings, properly framed and rebated for glazing and shall finish 1 1/2" thick.

INTERIOR DOOR FRAMES - shall be solid rebated out of 1 1/2" thick material. Similarly provide frames to cupboards.

INTERIOR DOORS GENERALLY - shall be D.A. Rim of dressing grade (pins radiata hollow core, faced both sides with No. 1 grade Rimu plywood and have a clashing strip on the lock stile. Doors to linen and wardrobe shall be flush ply 6'6" x 2'0". Doors to W.C. and bathroom 2'2", and all other interior doors shall be 6'6" x 2'6". Joinery generally as shown on Sheet 4.

CARPENTER

1. TIMBER:

All timbers shall conform to grades defined by B.S.S. No. 109, 1938 and Amendments and which shall form part of this Specification. All timbers shall be well seasoned before being brought to the site. Unless otherwise shown on the drawings, all external timber shall be D.A.H. Rimu. All framing up to the floor level and bottom plates to external walls shall be D.A.H. Rimu or Metal. All other framing shall be S.A. Rimu. Timbers shall be to the sizes on the drawings or as specified.

2. SEASONING OF ALL TIMBERS:

Before being machined, all joinery and dressing timbers shall be thoroughly air seasoned, or kiln dried, and before being built in, all framing timbers are to be reasonably well seasoned. All joinery kiln dried, dressed and finished timbers, all pre-built components shall be stacked under cover from the weather at all times prior to erection on the site.

3. PRIMING:

All external timbers to be primed before fixing.

4. SCHEDULE OF TIMBER SIZES AND GRADES:

| <u>Designation and Use</u>                             | <u>Size</u> | <u>Timber and Grade</u> | <u>Remarks</u>         |
|--------------------------------------------------------|-------------|-------------------------|------------------------|
| Trimmer Joists                                         | 4" x 3"     | D.A.H. Rimu or Metal    |                        |
| Ext. Bottom wall plates                                | 4" x 2"     | " "                     |                        |
| Timber in contact with concrete or within 2'0" of S.A. | As shown    | " "                     |                        |
| Studs                                                  | 4" x 2"     | D.A. RIMU               | 18" crs max.           |
| Top plates, noggings                                   | 4" x 2"     | " "                     | 18" " "                |
| Ceiling joists                                         | 4" x 2"     | " "                     | 18" " "                |
| Rafters                                                | 6" x 2"     | " "                     | 36" " "                |
| Roof Struts                                            | 4" x 2"     | " "                     | Altat. rafters         |
| Collar ties                                            | 6" x 1"     | " "                     | " "                    |
| Ridges and hips                                        | 8" x 1"     |                         |                        |
| Eaves and bearers                                      | 3" x 2"     | " "                     | At every rafter or 20" |
| Purlins                                                | 3" x 2"     | " "                     | 30" crs                |
| Runners                                                | 8" x 1"     |                         | Up to 6' joint span    |

6.

5. TRIMMER AND BEAM SCHEDULE:

4" x 2" up to 3'1" span  
 4" x 3" up to 4'6" span  
 5" x 4" up to 6'8" span  
 6" x 4" up to 9'0" span  
 8" x 4" up to 11'0" span  
 10" x 4" up to 12'6" span  
 12" x 4" up to 14'0" span

Check all beams 1" into studs and support beams exceeding 8'6" with a fulllength 4'8" stud under each end of the beam and spiked to the studs of the general framing.

6. DAMP COURSE:

Between timber and concrete lay an approved three-ply damp proof material.

7. FRAMING WALLS:

Brace walls with 3" x 2" cut in bracing. Provide 4" x 3" opening studs to all openings 3'6" and over. To all walls fix three rows of noggings 3" x 2" to external walls and 4" x 2" to internal walls. Check studs 1" into plates.

8. FRAMING ROOF:

Pitch for 150 degree. Harvy Tile Roofing. Well strut and brace roof. Strut from 4" x 3" under purlins to partition walls only. In the event of not being able to strut to a partition, provide a beam over the ceiling to strut from. Secure ceiling joists spanning more than 7'0" with stiffeners at 6'0" max. centres. Provide 3" x 2" noggings to ceiling margins and between ceiling joists at not more than 3'0" centres.

9. EAVES:

Construct eaves and soffits as shown on scale detail. Neatly finish with small 'D' mould over all joins in soffit linings and with quadrant mould against both wall and fascia. Soffit lining shall be 3/16" asbestos cement.

10. INTERIOR LININGS:

Shall be securely fixed with joints pointed flush with plaster-of-paris. All angles shall be square and straight and sharp and all surfaces left smooth and even for high quality decoration.

Building will be lined as detailed on drawing A170, S3.

PLASTERING

1. GENERAL:

All plastering shall be carried out by skilled and experienced tradesmen in accordance with the best trade practice for the various operations.

2. MATERIALS:

(a) Cement - shall be medium setting Portland cement of approved manufacture.

(b) Sand - shall be approved pit or river sand essentially of silica, hard, sharp and gritty, free from clay, earth and other impurities. All sand shall pass through a sieve having a square mesh of 3/16" in the clear for undercoats and 1/16" for finishing coats.

7.

3. PROTECTION:

Properly protect from droppings all floors, equipment and other works. Prepare all surfaces to be plastered to ensure a proper key.

4. FLOORS:

All concrete steps and porch floors are to be plaster finished not less than  $\frac{1}{4}$ " thick and finished with a steel float to a straight even surface.

5. EXTERIOR PLASTER:

Plaster all exposed external concrete work.

VENEER CONSTRUCTION

1. PRELIMINARY:

The whole of the works shall be carried out by skilled and experienced tradesmen in accordance with the best trade regs.

2. VENEER:

All veneer shall be approved manufacture of standard and uniform size, hard, sound and free from cracks, flaws or other imperfections. All veneer shall conform to the N.S.S.S. No. 366.

3. MORTAR:

Mortar shall be composed of not less than one part cement or cement-lime mixture to three parts sand, in no case shall the cement-lime mixture contain more than one-third lime. No mortar which has set or is dead shall be used.

4. WORKMANSHIP:

Accurately set out all work and build to respective dimensions thicknesses and heights shown on the drawings. Make joints for pointing and keep all perpendic strictly true and square and straight the whole properly bonded together. Secure veneer walls to the timber framing with No. 8 gauge galvanised iron wire ties bent to a figure 8 pattern.

Veneer to be carried out by skilled first class tradesmen. Accurately set out all work and build to the respective dimensions thicknesses and heights shown on the drawings. Carry up walls in a uniform manner keeping strictly true and square, and the whole properly bonded together.

5. EXTENT OF WORK:

Exterior  
Workings Red brick  
Owner to Choose pointing.

HARDWARE

1. GENERAL:

The Contractor shall furnish the whole of the rough hardware of whatever kind that may be necessary to execute in good and substantial manner the whole of the work specified for the Carpenter and Joiner.

8.

2. BUTTS AND HINGES:

Hang external doors on one and a half pairs of  $\frac{3}{8}$ " steel butts with loose pins. Fix with  $\frac{1}{2}$ " x No. 6 gauge screws. Hang internal doors on three  $\frac{3}{8}$ " steel butts with loose pins.

3. LOCKS, FASTENERS AND FURNITURE FOR DOORS AND WINDOWS:

Allow the P.C. Sum of 100 for cost only of all:

- (a) Door locks, furniture, bells, fasteners, sliding door tracks, socket bolts and cabin hooks.
- (b) Sash fasteners, drawer pulls, cupboard latches.

This sum shall cover only the cost of the items listed and shall not include hinges, or any item of rough hardware necessary to complete the works as drawn and specified. These must be allowed for by the Tenderer.

PLUMBER

1. GENERAL:

Provide all materials, labour and plant necessary to complete the work in accordance with the drawings and Specifications, Health Department and any other local body regulations appertaining thereto.

2. NOTICES:

Give all notices, pay all fees and arrange for the inspection of the work and materials.

3. MATERIALS:

All materials to be the best of their respective kinds and to approval before being used.

4. FLASHINGS:

Generally provide all flashings required by all other trades to make the building weathertight. Flash and counter flash all pipes, vents and exhausts with 4 lb. lead.

5. SPOUTING AND DOWNPIPES:

Provide and fix spouting and downpipes of Marley White Pre. squared. Arrange spouting in even grades giving correct fall to outlets and support spouting on brackets at 3'0" intervals. Allow for 6 3" diam. downpipes.

6. DRAINAGE:

Obtain from the Health Officer attached to the Local Drainage Authority all instructions and directions necessary to prepare a drainage scheme for the removal of all sanitary wastes from all fittings and fixtures shown on the drawings and as specified and for the removal and disposal of all storm waters.

7. COLD WATER SUPPLY:

Water shall be obtained from the local authority's M.P. water supply. The Contractor shall allow in his tender for all work and galv. iron piping from the source of supply to the building. Within the limits of the building all cold water shall be conveyed in 2" diam. galvanised iron. Take branches to the sink, basin, tub and bath, and two outside hose taps.

9.

8. HOT WATER SYSTEM:

(a) All piping conveying hot water shall be copper pipe.

See appendix { (b) Hot Water Cylinder - Provide and instal 40 gallon cased and lagged hot water cylinder constructed to comply with the local authority specifications. The cylinder shall be readily removable from the closet shown on the drawings.

9. HOT AND COLD WATER COCKS AND CONTROL VALVES:

All cocks and control valves shall be of approved manufacture and of weight and quality to suit the local By-Laws. All taps and stop cocks to all fittings in the kitchen, bathroom and laundry shall be streamlined chrome plated brass. Provide  $\frac{1}{2}$ " diam. cocks with 3" extension over the bath, all other cocks shall be  $\frac{1}{2}$ " diam.

10. TRAPS:

Provide all traps making neat joints with fittings and wastes as required. Provide anti-syphonage traps as approved where demanded by Regulations.

11. WASTES:

Provide wastes to all sanitary fittings. Sink and bath wastes shall be of  $1\frac{1}{2}$ " diam. All other wastes shall be of  $1\frac{1}{2}$ " diam. P.V.C.

12. SANITARY WASTES:

All sanitary fittings shall be free from blemishes.

JB (a) Bath - Provide a 5'0" bath. Arrange for setting in a timber frame, co-operate with the Carpenter in this work.

(b) S.C. - Dolphin plastic seat and cover. 2 off.

(c) Fix paper holder and 1 chrome towel rail.

(d) Shower base.

ELECTRICIAN

1. SUPPLY:

Make arrangements with the local electric power authority for a single phase connection to the 230 volt alternating current 3 phase public supply system.

2. WORKMANSHIP:

The whole of the work shall be carried out by a registered wiring Contractor by wiring systems approved and recognised by the relevant Acts of Parliament and Amendments applicable thereto, and the various By-Laws and Regulations of the local supply authority.

3. SWITCHBOARD:

Switchboard/s shall be flush type adequately hinged to wood frame and recessed into the thickness of the wall in the location directed.

10.

4. SWITCHES:

Switches controlling light points shall be flush type. Fix 4'6" above floor level. Allow for \_\_\_\_\_ light points including waterproof fitting/s.

5. FLUG SOCKETS AND SWITCHES:

Flug sockets shall comply with the B.S. 5.3. 193 and shall be of flush type with thermosetting plastic body. They shall be fitted 12" above floor level.

6. WATER HEATING:

Provide the plumber with an approved element and thermostat for fitting into the hot water cylinder.

7. ELECTRIC COOKER:

Allow P.C. sum of £ \_\_\_\_\_ for electric cooker.

PAINTER AND PAINTERMASSER1. MATERIALS:

All materials shall be of approved brand, delivered in unbroken packages bearing the maker's name complete. Materials shall be applied strictly in accordance with the manufacturer's instructions.

2. WORKMANSHIP:

All work shall be of the highest standard performed by skilled tradesmen and finished to satisfaction. No paint containing oil shall be applied to damp surfaces and no external painting is to be done during frosty or unsuitable weather. Paint shall impinge upon the glass for weather protection. The Contractor shall be supplied with a colour scheme by the Owner, such colour scheme to be strictly adhered to.

3. EXTERNAL WORK:

The whole of the external woodwork including joinery, doors, sashes, soffit lining and metal work is to be primed, undercoated and final coated. Allow for picking out all sashes, external doors and other features.

4. INTERNAL WORK:

Glossy Enamel Finish - Prime and stop all woodwork with the best linseed oil putty. Undercoat and finish with enamel; all materials to be used in accordance with manufacturer's directions as applying to the surfaces to be treated. Enamel as specified above all walls, ceilings, windows, cupboard fittings in the kitchen, dining, bathroom, laundry and W.C.

Varnish - Apply a coat of \_\_\_\_\_ sanding sealer, rub down lightly and apply two coats of \_\_\_\_\_ clear varnish. Varnish all doors, windows, skirtings, architraves etc., throughout the building not specified to be finished in enamel.

Paperhanger - Hang selected colour matched wallpapers. Allow the P.C. sum of £2.50 per standard roll for the purchase only of wallpapers. Papers to be trimmed, cut straight and true, batt jointed and hung true and plumb. Patterns are to match. Paper walls and ceilings of lounge.

5. GLAZING:

Rebates for glass shall be primed, the glass to be bedded in putty, bradded and face puttied, tint bedding and all puttices on interior work to match in colour the finished woodwork. All sashes to be glazed as follows:

|                       |                                 |
|-----------------------|---------------------------------|
| Up to 7 sq.ft. area - | 6 oz. ordinary glazing quality. |
| Upto 20 sq.ft. area - | 24 oz. selected glazing quality |
| Bathroom sashes -     | Obscure glass                   |

6. EXTENT OF WORK:

Contractor to arrange with Owner.

APPENDIX TO SPECIFICATIONS FOR PROPOSED NEW  
RESIDENCE FOR MR & MRS N.GIBSON 5c GILMORE PLACE

1. Supply and fit Zip 3 gallon undersink cylinder in position shown in plan.
2. Supply and fit Westemaster Imperial Hush Model 41.
3. Allow to install but owner will supply:
  - A. Atlas Milford Electric Range.
  - B. Temperzone Electric Panel Heating.
  - C. Seymour Aluminium Windows, with reveals and glazed.
4. Allow for supply and fit sarking under roof instead of paper and netting.
5. Brick pointing to be Black.
6. Building is to be commenced by approximately, 1st February 1971 and completed to the owners satisfaction by 30th July 1971. Time is the essence of the contract, therefore the owner agrees to pay the builders a bonus of \$20.00 for each full week the building is completed prior to that date, and the builder will pay to the owner liquidated damages of \$20.00 for each full week the building is not completed after that date.

11-22

87  
WCC 1512

Mr Lybrow  
5-c Lybrow Pl.  
Lot 6 DP 26914  
Dwelling

Joint Sewer.

27m in of fixed ventilation  
to be fitted in hall  
The sewer may have  
to be covered in  
concrete as it is not  
very deep in ground  
All Plumbing & Drainage  
to comply with Bath Act  
& C & B Bylaws.

Site Plans

|                |
|----------------|
| CHRISTCHURCH   |
| F146           |
| BLOCK PLAN     |
| SECT. LEV.     |
| GENERAL        |
| 2/2/71         |
| DRAINAGE BOARD |

## DRAINAGE

Unless otherwise approved pipe drains must be provided to convey stormwater to the street channel system, and only stormwater may be discharged into this system.

Drainpipes entering the channel shall be placed to ensure a minimum of  $1\frac{1}{2}$ " of concrete above the top of the pipe, and there must be a minimum of 18" of kerb between any two such drains.

Drains must be kept clear of any possible vehicular crossing site.

Poorly laid pipes will be relaid by the Council and the cost charged to the builder.

New flat channels will often be laid with under drains and connections to these must be in accordance with the Council's standard detail which can be seen at the Engineer's Department and Drainage Board offices.

The Drainage and Plumbing Regulations, 1959, do not permit building over any drainage or sewerage system or constructing drains under buildings without special permission.

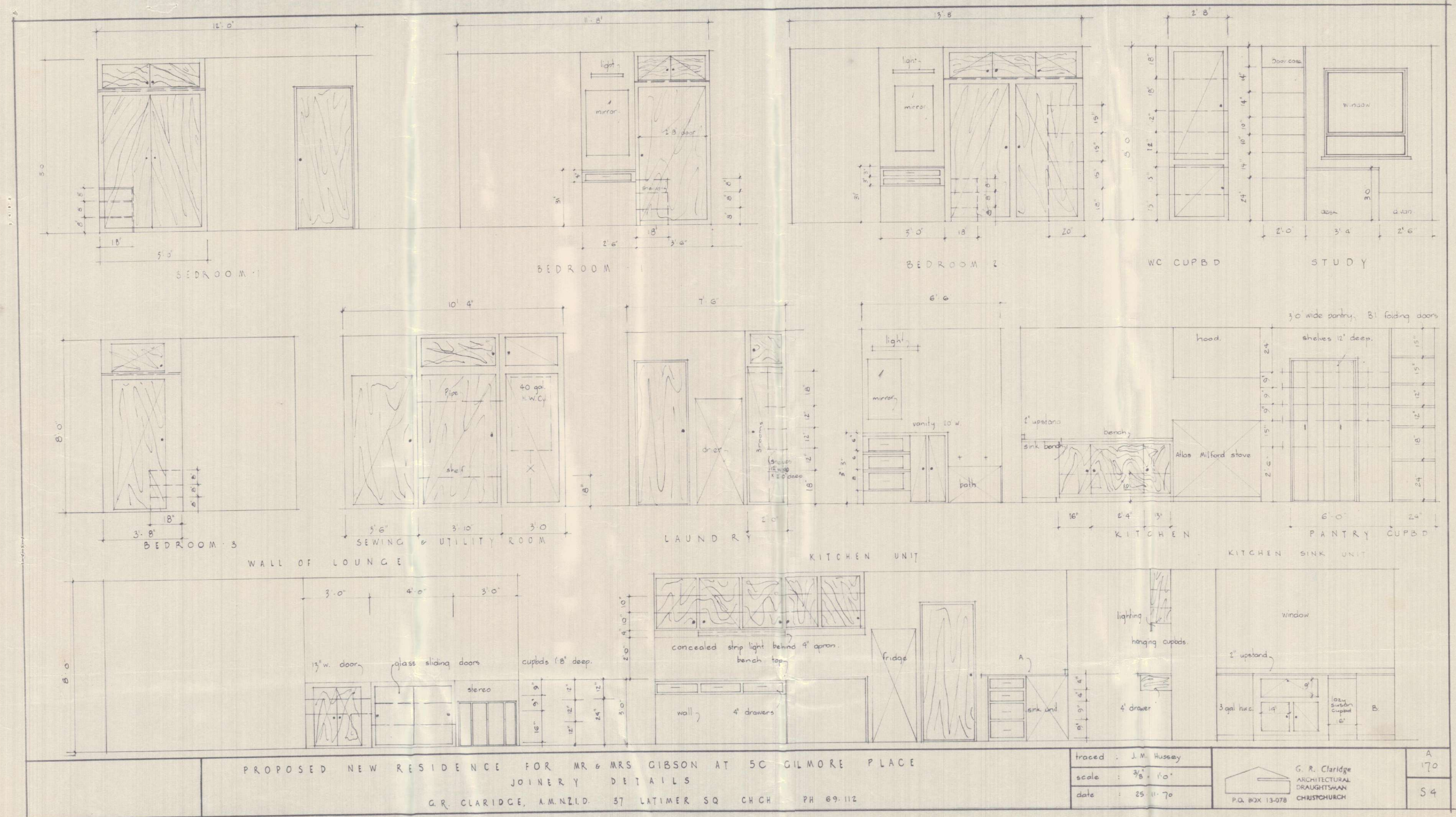
As the consequences of contravening these regulations are usually most expensive all persons contemplating building any structures or any additions should, before commencing, discuss their proposals with the Christchurch Drainage Board to ensure that this trouble does not occur.

As difficulties in the disposal of Cooling and Uncontaminated Process Water (apart from Trade Wastes) could influence the type of equipment to be installed, the Owner or his Agent must ensure that, where installation is contemplated of any process which involves the disposal of such water, suitable arrangements are made with the Christchurch Drainage Board for this disposal prior to the commencement of any work.

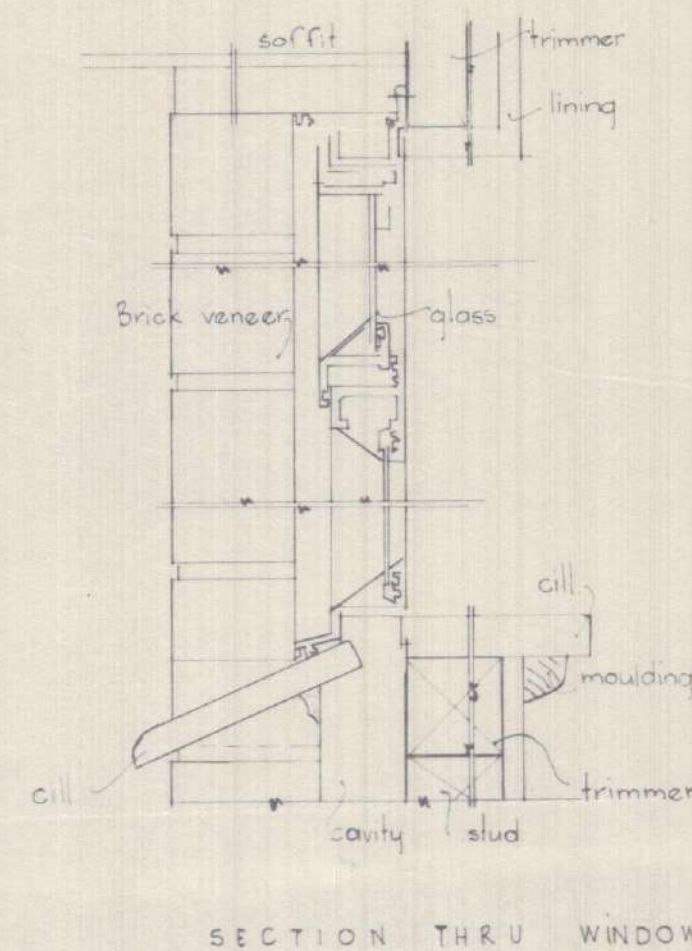
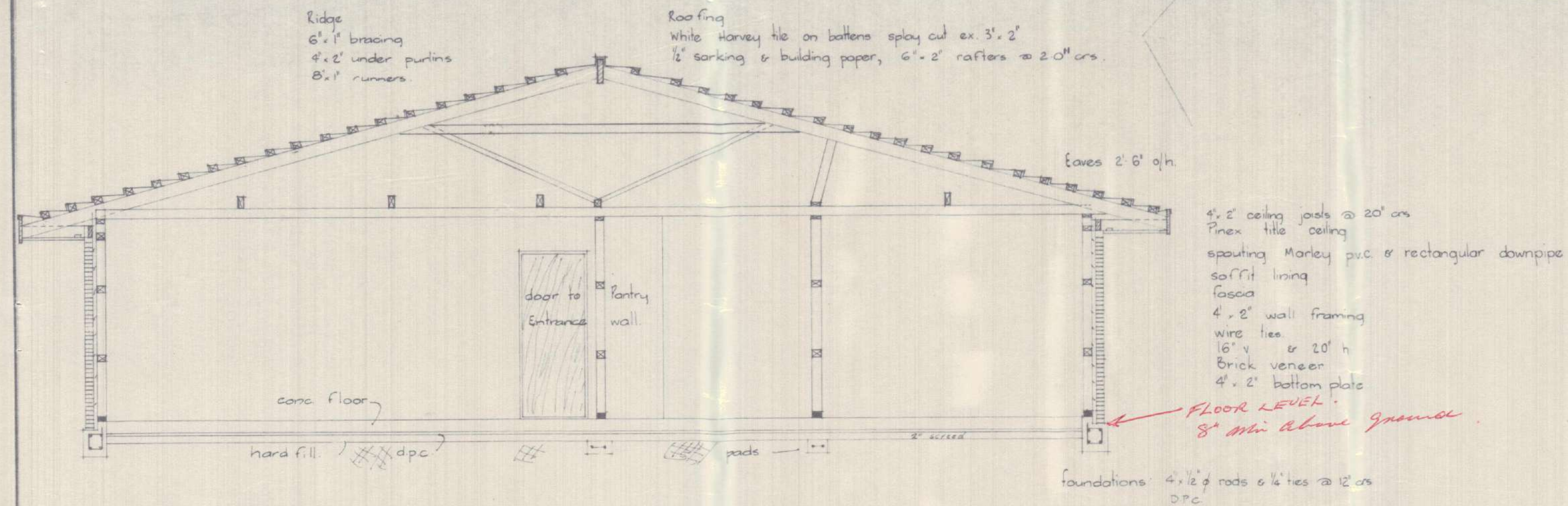
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## VENTILATION

Subfloor ventilation shall be provided at the rate of  $\frac{1}{4}$  square inch of unobstructed air space per square foot of floor area.



Contractor: To ensure adequate bracing is used.



# INTERIOR LINING FOR MR & MRS GIBSON RESIDENCE AT 50 GILMORE PLACE

Ceiling: Bedroom 1, 2 & 3 } 6x4 Pinex sheets  
Sewing / Utility }  
Kitchen & Laundry }  
Dining Room } Pinex planks & panels  
Lounge }  
Hall & Study }

Walls: All linings to outside walls - Gibfoil.  
Other internal walls - Gibboard, except as below

Bathroom, Shower & Toilet off Hall - walls & ceiling in Seratone.  
The wall between W.C. & Bedroom 3 to be in noise-stop board.

Dining Room (not to scale) Walls: A & B lined in Rewanewa select  
Fitch run Plyco Plywood Panelling.

Lounge (not to scale) Walls: C & D lined in Rewanewa select  
Fitch run Plyco Plywood Panelling.

Study - lined in Pinex Leatherboard. The wall between Study & Dining room  
to be noise-stop board.

Bedroom 1, 2 & 3; Sewing & Utility: Un panelled walls of Dining Room or Lounge  
and back Hall to be papered.

Study to be painted.

Kitchen walls etc to be enamelled (excluding area between snack bar and upper  
cupboards - to be papered with Vymura).

Laundry, Back WC to be enamelled.

Front Hall - to be hung in Muraweave.

All window frames, doors, skirtings etc to be painted. All built in cupboards etc to  
be painted.

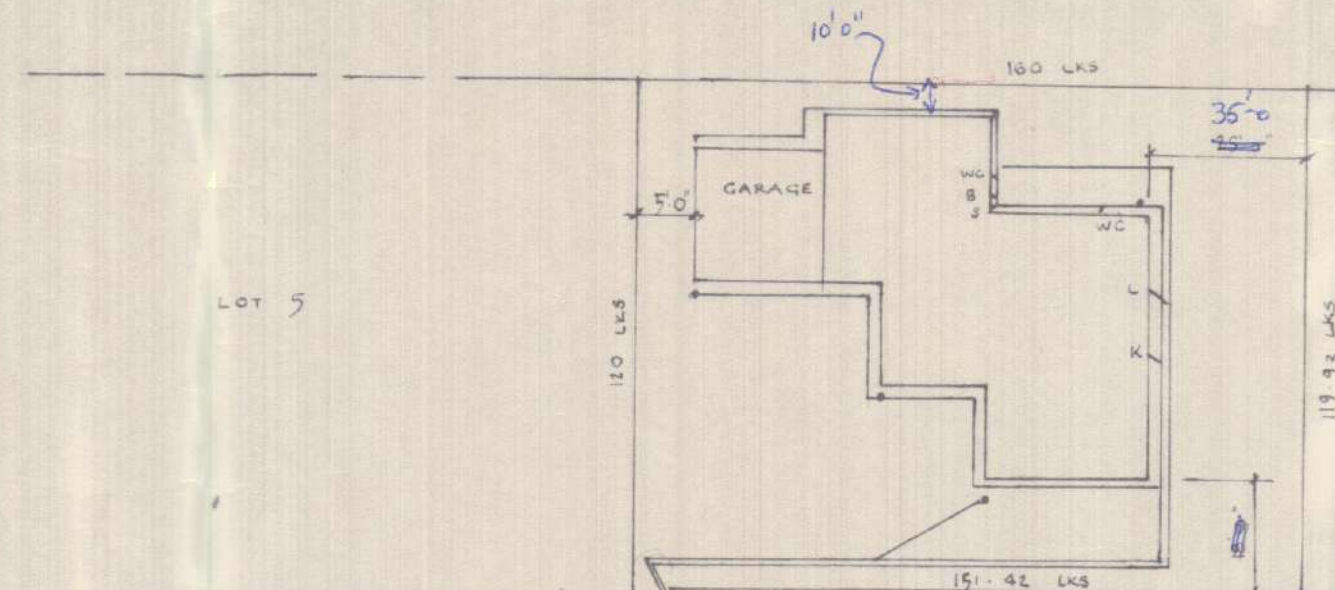
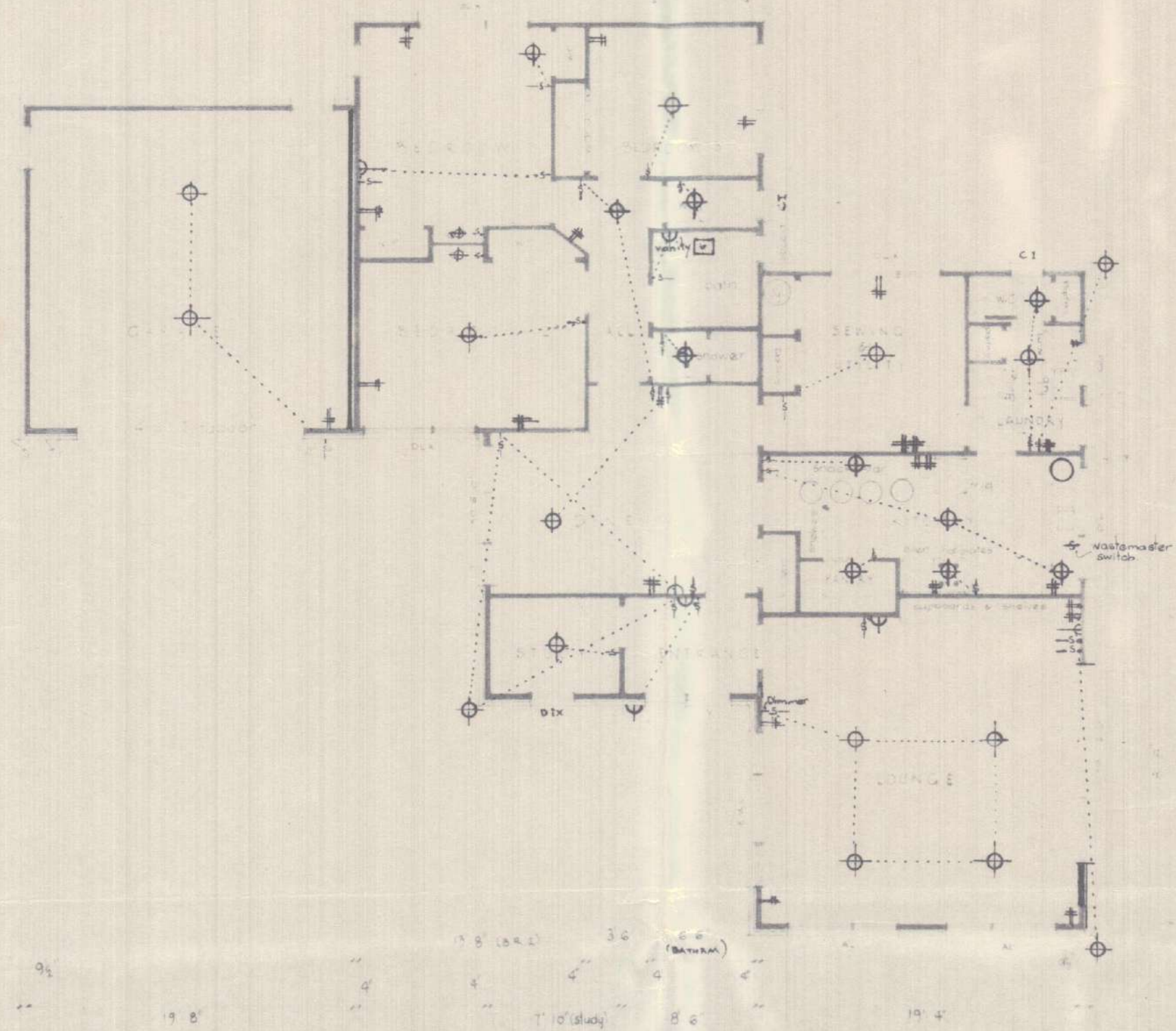
Laundry Toilet - Bottom half painted, top half - vymura.

PROPOSED NEW RESIDENCE FOR MR & MRS GIBSON AT 50 GILMORE PLACE  
SECTION DETAILS & LININGS DETAILS  
G.R. CLARIDGE, A.M.N.Z.I.D. 37 LATIMER SQ. CH. CH. PH 69.112

traced: J.M. Hussey  
scale: 1/4" = 1' 0"  
date: 25. 11. 70

G. R. Claridge  
ARCHITECTURAL  
DRAUGHTSMAN  
CHRISTCHURCH  
P.O. BOX 13-078

A  
170  
S3



SITE LAYOUT  
LOT 6 - DP 26914  
CT BK 1698

sewer  
6" W  
water  
1" Electricity  
} already existing  
Tenders to price from this  
point to residence

# ELECTRICAL LEGEND

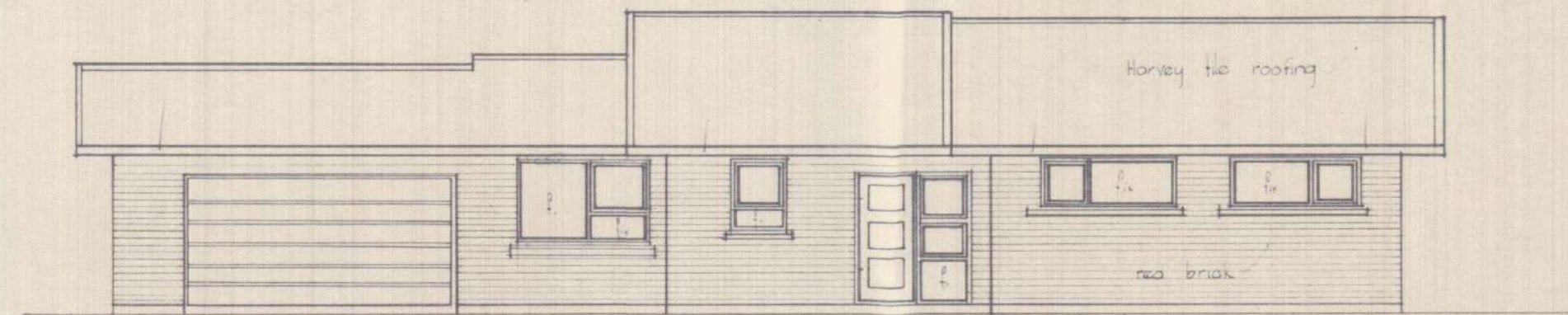
- ceiling light
- switch
- power point
- wall light

PROPOSED NEW RESIDENCE FOR MR & MRS GIBSON AT 50 GILMORE PLACE CHRISTCHURCH  
ELECTRICAL LAYOUT & SITE PLAN  
G.R. CLARIDGE ARCHT. 21 LATIMER SQUARE GRR. STONORCH. PHONE 64.112

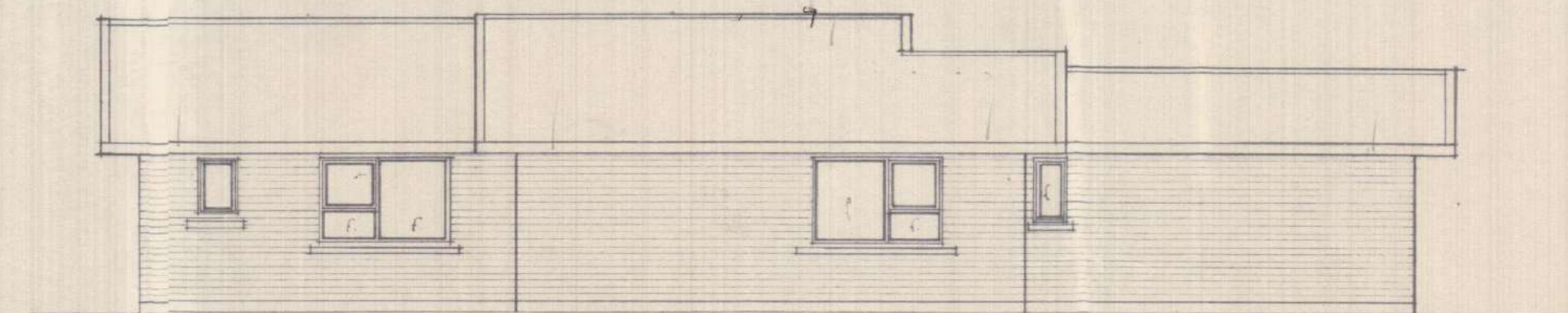
Drawn: G.M. Huxley / G.R. Claridge  
Scale: 1" = 30' - 1"  
Date: 25.11.77

G. R. Claridge  
ARCHITECTURAL  
DRAUGHTSMAN  
P.O. BOX 13-078  
CHRISTCHURCH

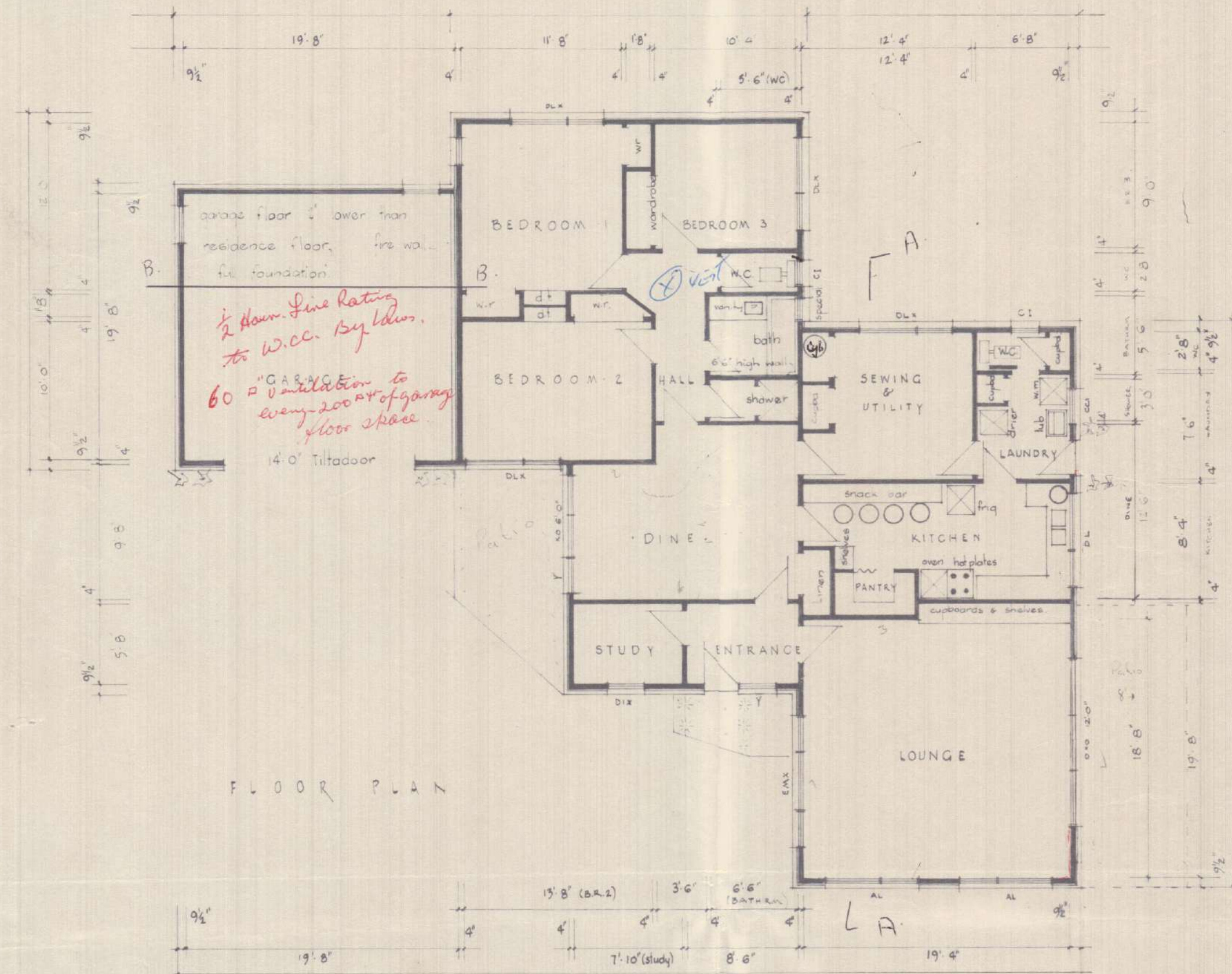
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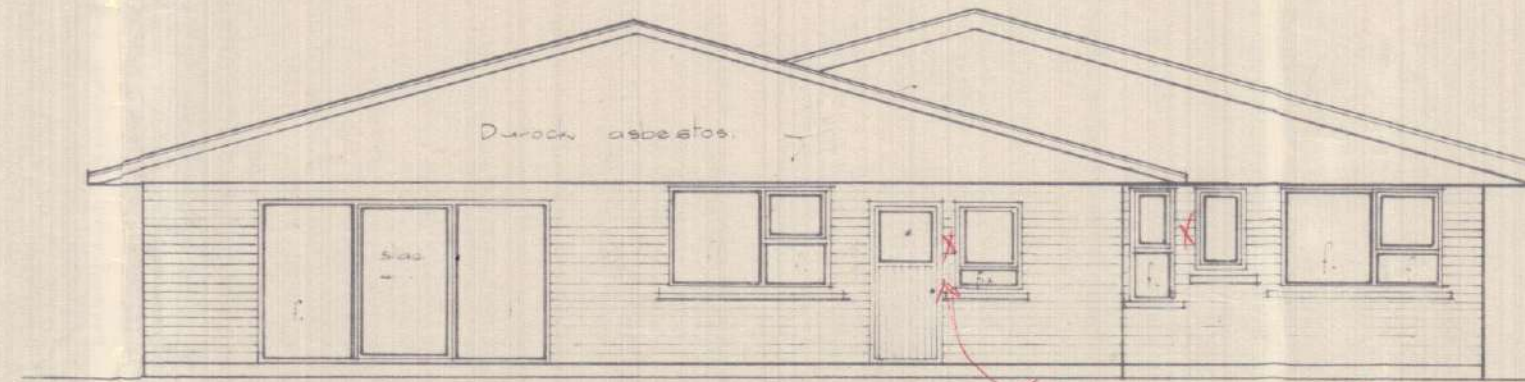
FRONT ELEVATION



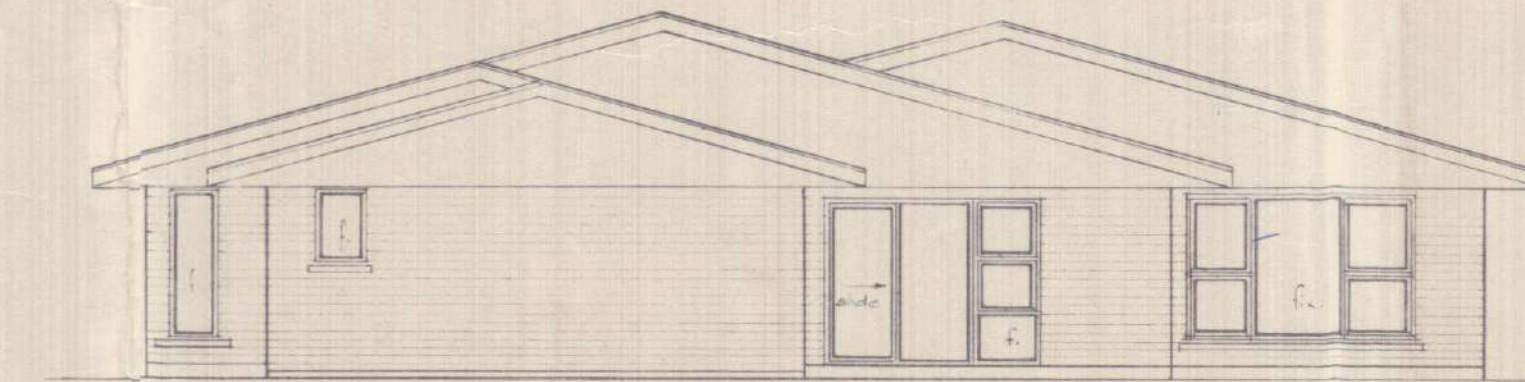
REAR ELEVATION



FLOOR PLAN



SIDE ELEVATION



(GARAGE) SIDE ELEVATION

TO ALL ARCHITECTS, BUILDERS AND APPLICANTS FOR BUILDING PERMITS

The Drainage and Plumbing Regulations, 1959, do not permit building over any drainage or sewerage system or constructing drains under buildings without special permission. As the consequences of contravening these Regulations are usually most expensive all persons contemplating building any structures or any additions should, before commencing, discuss their proposals with the Christchurch Drainage Board to ensure that the trouble does not occur. Such action taken prior to building could save unnecessary expense.

UNDERGROUND ELECTRICITY SUPPLY

Provision to be made by installing a 2" pipe from bottom of meter box to 2" below bottom of foundation.

CHIMNEYS

All chimneys to have 4-1/2" vertical 1810+ forcing rods and flue liners.

Builder will be held responsible for any damage done to footpath.

WAIMAIRI COUNTY COUNCIL

APPROVED, subject to:-  
1. All work to comply with the County Building By-Laws

2. 24 hours' notice to be given to the County Building Inspector prior to pouring any concrete

L. J. Duncan Building Inspector.  
3-2-71

PROPOSED NEW RESIDENCE FOR MR & MRS GIBSON AT 50 GILMORE PLACE  
FLOOR PLAN & ELEVATION DETAILS

G. R. CLARIDGE, AMNZID. 37 LATIMER SQUARE, CHRISTCHURCH. PHONE 69.112

CHRISTCHURCH

drawn: J. M. Hussey / G. R. Claridge  
scale: 1/8" = 1' 0"  
date: 24. 11. 70

G. R. Claridge  
ARCHITECTURAL  
DRAUGHTSMAN  
P.O. BOX 13-078  
CHRISTCHURCH

A  
170  
SI

**CHRISTCHURCH**  
**DRAINAGE**  
**BOARD**  
**BOX 13006**

| DISTRICT<br>No. | BOOK<br>No. |
|-----------------|-------------|
| 11              | 99          |

No 91

|                     |              |             |       |
|---------------------|--------------|-------------|-------|
| Foul Water Drainage | N/A          | Block Plan  | F146. |
| Stormwater Drainage | ✓            | J.H.S.      | N/A   |
| Sanitary Plumbing   | N/A          | Letter Ref. | N/A   |
| INSPECTOR           | H. Hinchin   |             |       |
|                     | DATE 22-6-83 |             |       |

W. D. C. 7/6.

108.6 DP. 26914

Columbus.  
5<sup>e</sup> Gilmore Place.

Fixed Spa House.

Stormwater to existing  
swelling system by  
Registered Drain Layer.  
Under direction of the  
Boards District Insp.



**CHRISTCHURCH CITY COUNCIL**  
**CODE COMPLIANCE CERTIFICATE**  
**SECTION 95, BUILDING ACT 2004**

**BA7**  
PROJECT NO:  
**10111321**

**THE BUILDING**

Street Address: 5C GILMORE PLACE, BURNSIDE, CHRISTCHURCH 8005

Legal Description: LOT 6 DEPOSITED PLAN 26914

Other: \_\_\_\_\_

Use of building: Solid Fuel Heaters

**THE OWNER**

Full Name(s): ASCROFT, JOHN HUGH ASCROFT,  
CHRISTINE LYNETTE

Mailing Address: 5C GILMORE PLACE  
CHRISTCHURCH 8053

**AGENT – FIRST POINT OF CONTACT**

Name: ASCROFT, JOHN HUGH

Mailing Address: C/O HEATSTORE

PO BOX 11-245 SOCKBURN  
CHRISTCHURCH 8443

- **BUILDING WORK.** The following work was authorised by this building consent:  
ENVIRO EF5 EVOLUTION FS CB FREE STANDING WOOD PELLETS FIRE CAC 081219

**The Christchurch City Council is satisfied, on reasonable grounds, that the building work complies with the building consent: and (ticked where applicable)**

- ☐ The specified systems in the building are capable of performing to the performance standards set out in the building consent.

**Attachments:**

- ☐ Yes ☐ N/A Compliance Schedule  
☐ Yes ☐ N/A Compliance Schedule Statement  
☐ Yes ☐ N/A Supplementary sheet with specific information on the use of the building.

Signed for & on behalf of the Christchurch City Council:

Name: Aillson Ferguson  
Position: Code Compliance Auditor

Date of issue: 14/09/2011

# Building Consent

**SECTION 51, BUILDING ACT 2004**  
**FORM 5 – BUILDING (FORMS) REGULATIONS 2004**

**PROJECT NO:** 10111321

## The Building

Street Address: 5C GILMORE PLACE, BURNSIDE, CHRISTCHURCH 8005

Legal Description: LOT 6 DEPOSITED PLAN 26914

Other:

Conditions and / or advice notes are attached as part of the documents for this building consent. You should read them as they contain information to assist with achieving code compliance and / or compliance with other legislation that may apply.

## The Owner

Full Name(s): ASCROFT, JOHN HUGH ASCROFT, CHRISTINE LYNETTE

Mailing Address: 5C GILMORE PLACE CHRISTCHURCH 8053

## Agent – First Point of Contact

Name: ASCROFT, JOHN HUGH

Mailing Address: C/O HEATSTORE PO BOX 11-245 SOCKBURN CHRISTCHURCH 8443

## Building Work

The following work is authorised by this building consent:

ENVIRO EF5 EVOLUTION FS CB FREE STANDING WOOD PELLETS FIRE CAC 081219

This building consent is issued under section 51 of the Building Act 2004. This building consent does not relieve the owner of the building (or proposed building) of any duty or any responsibility under any other Act relating to or affecting the building (or proposed building). This building consent also does not permit the construction, alteration, demolition, or removal of the building (or proposed building) if that construction, alteration, demolition, or removal would be in breach of any other Act.

This building consent is subject to the following conditions:

Under section 90 of the Building Act 2004, agents authorised by the Council (acting as a Building Consent Authority) are entitled, at all times during normal working hours or while building work is being done, to inspect:

- ii) land on which building work is being or is proposed to be carried out; and
- iii) building work that has been or is being carried out on or off that building site; and
- iiii) any building.

This building consent may also be subject to conditions if indicated below in "Attachments".

### Compliance Schedule:

#### Either:

- ☒ A compliance schedule is not required for the building, **or;**
- ☐ The compliance schedule must contain specified systems as shown in the attachments, and those systems must comply with the performance standards required by the Building Code, **or;**
- ☐ The building has an existing compliance schedule that is not altered by this work.

### Attachments:

#### Schedule of required inspections:

- ☐ Yes ☒ N/A Schedule of required inspections
- ☒ Yes ☐ N/A Project Information Memorandum (PIM)
- ☐ Yes ☒ N/A Conditions / Advice Notes / Other Approvals Required
- ☐ Yes ☒ N/A Section 36 Certificate (Development Contribution Notice)
- ☐ Yes ☒ N/A Certificate 37 Certificate (restrictions on implementing the building consent)
- ☐ Yes ☒ N/A Draft Compliance Schedule

**Signed for and on behalf of the Christchurch City Council:**

Date of issue: 04/08/2011



**JAMES MARSH**  
Building Consent Officer

**Environmental Policy and Approvals Unit**

# Application for Building Consent for Specified Small Works

(For Residential Solid /Liquid Fuel Burners, Backflow Prevention Devices, Marquees & Temporary Buildings, Solar Heaters, Shade Sails, Residential Demolitions, Above-ground Swimming or Spa Pools and Pool Fences)

Section 33 or 45, Building Act 2004 - Building (Forms) Regulations 2004 - Form 2

## 1. Application

To apply electronically send an email request to [buildingconsentapplication@ccc.govt.nz](mailto:buildingconsentapplication@ccc.govt.nz) and we will reply with instructions. Please note that all processing is now electronic, and there are advantages in submitting your application through our File Transfer Portal as this avoids the delay and costs of scanning.

### For Office Use

Application No:

1011321

Date Received:

I request that you issue a:

☒ **Building Consent** (Note: A PIM will only be issued if specifically requested below).

☐ and a PIM (Project Information Memorandum)

I wish to receive my building consent and approved documentation in the following format:

☐ Electronically via File Transfer Portal ☐ on CD ☒ Hard copy (additional costs apply)

The CD or Hard copy documents are to be collected from [ select ].

Please note: Shade sails, swimming/spa pools, pool fences, solar heaters and non pre-approved solid/liquid fuel burner applications are not processed for a fixed fee, these applications shall be issued when any outstanding balance paid. The other types of projects (unless printed to hard copy where requested) will issued directly to the applicant once processing is complete.

Signed: \_\_\_\_\_ Dated: 21/07/2011

Signature of: *Garry Hope* **Owner** (on behalf of and with the consent of the owner)  
(select one)

My preferred method of written communication is via ☒ email ☐ post

[ A copy for any request for further information will also be sent to the owner. ]

## 2. The Building

Street address of property / building: 5c Gilmore place, Burnside.

Legal description of land where building is located: Lot No: 6 DP: 26914

Year first constructed: [insert year, approximate date is acceptable, e.g. c1920s or 1960-1970] 1970's.

Current, lawfully established, use: [include number of occupants per level and per use if more than 1 level]: Dwelling

## 3. The Project

Please select project type below:

☐ Backflow Prevention Device

☒ Residential Solid / Liquid Fuel Burner

☐ Residential Solar Hot Water Heaters

☐ Marquee or Temp Buildings

☐ Swimming Pool Fence

☐ Shade Sails

☐ Residential Demolition

☐ Above-ground Swimming Pool or Spa

Description of work: [provide sufficient description of building work to enable scope of work to be fully understood]: Installation of Solid Fuel Burner

Estimated value of the building work on which the building levy will be calculated (incl.GST): \$ 6,500.00

[ state estimated value as defined in section 7 of the Building Act ]

Specify the Intended life of the building work if less than 50 years: Indefinite

#### 4. The Owner / Agent

**The Owner:** (as defined by the Building Act)

Full name(s): *J. H & C. L Ashcroft.*  
Contact person: *Chris Ashcroft.*  
Address: Street No/Name: *5c Gilmore place,*  
Suburb: *Burnside.*  
City: *ChCh* Post Code: *8053*

Postal: ☒ same as above

Street No/Name:

Suburb

City:

Post Code:

Email:

Phone: Day: *3583317* Mobile: *0210431593*

A/H: Fax:

**Agent – First Point of Contact:** (must be authorised by the owner to make this application)

Full name(s): *Heatstore*

Contact person: *Hamish Kershaw*

Address: Street No/Name: *472 Blenheim Road*

Suburb: *Sockburn*

City: *ChCh* Post Code: *8042*

Postal: ☐ same as above

Street No/Name: *P O Box 11-245*

Suburb: *Sockburn*

City: *ChCh* Post Code: *8443*

Email: *info@heatstore.co.nz*

Phone: Day: *03 343 1651* Mobile:

A/H: Fax: *03 348 1472*

#### 5. Contacts

[Provide all details where known or relevant]

##### Designer/Architect:

Business/Name:

PO Box/Street Name:

Suburb/Lobby:

City: Post Code:

Email:

Phone: Day: Mobile:

A/H: Fax:

Registration/Qualification:

##### Fire Engineer:

Business/Name:

PO Box/Street Name:

Suburb/Lobby:

City: Post Code:

Email:

Phone: Day: Mobile:

A/H: Fax:

Registration/Qualification:

##### Builder:

Business/Name:

PO Box/Street Name:

Suburb/Lobby:

City: Post Code:

Email:

Phone: Day: Mobile:

A/H: Fax:

Registration/Qualification:

##### Head Contractor/Site Manager:

Business/Name:

PO Box/Street Name:

Suburb/Lobby:

City: Post Code:

Email:

Phone: Day: Mobile:

A/H: Fax:

Registration/Qualification:

##### Structural Engineer:

Business/Name:

PO Box/Street Name:

Suburb/Lobby:

City: Post Code:

Email:

Phone: Day: Mobile:

A/H: Fax:

Registration/Qualification:

##### Plumber:

Business/Name: *Laser Plumbing ChCh West*

PO Box/Street Name: *P O Box 16589*

Suburb/Lobby: *Hornby*

City: *ChCh* Post Code: *8441*

Email: *chchwest@laserplumbing.co.nz*

Phone: Day: *03 348 6920* Mobile:

A/H: Fax: *03 341 5360*

Registration/Qualification:

Phone: Day:                      Mobile:

A/H:                      Fax:

Registration/Qualification:

Other, e.g. Engineer [identify practice college]:

Business/Name: *Heatstore*

PO Box/Street Name: *P O Box 11-245*

Suburb/Lobby: *Sockburn*

City: *ChCh* Post Code: *8443*

Email: *info@heatstore.co.nz*

Phone: Day: *03 343 1651* Mobile:

A/H:                      Fax: *03 348 1472*

Registration/Qualification:

Drainlayer:

Business/Name:

PO Box/Street Name:

Suburb/Lobby:

City:                      Post Code:

Email:

## 6. Building Code Compliance

[ To be completed for all applications. ]

The building work will comply with the building code as follows:

The checklist associated with this application details the relevant Building Code Clauses pertaining to the building work, the applicant must identify the 'means of compliance' (e.g. compliance document(s) or alternative solution) for each Building Code Clause.

☒ I have completed the appropriate checklist.

Is a Waiver / modification to NZ Building Code required?:    ☐ Yes                      ☒ No

If yes, 1) Specify parts of Code:

2) Supporting documentation attached?    ☒ Yes

## 7. Compliance Schedule

[ Backflow Prevention Devices only. ]

Specified systems are defined in the Building (Specified Systems, Change the Use, and Earthquake-prone Buildings) Regulations 2005.

Backflow Prevention Devices are specified systems.

As with any other application for building consent that includes specified system, an application for a backflow prevention device requires the proposed performance procedures for the inspection and routine maintenance to be detailed on form B-068 section 1 (or if specific design on form B-069) and submitted with the application. For more information, refer to our website at <http://www.ccc.govt.nz/homeliving/buildingplanning/buildinginspections/specifiedsystems.aspx>.

For further information on specified systems prescribed by the Building Act 2004 please refer to the Compliance Schedule Handbook (25 May 2007 edition).

## 8. Privacy Act

All the relevant information on this form is required to be provided under the Building Act 2004 and the Resource Management Act for the Environmental Policy & Approvals Unit to process your application. Under these Acts this information has to be made available to members of the public including business organisations. The information contained in this application may be made available to other units of the Council. You have the right to access the personal information held about you by the Council which can be readily retrieved. You can also request that the Council correct any personal information it holds about you.

## 9. Information

### GENERAL INFORMATION:

1. No work is to commence until the Building Consent is uplifted.
2. **Building Consent Fees:** All applications require a non refundable deposit to be paid on lodgement. The balance of any charges payable will be invoiced on building consent approval. The latest schedule of fees (*form B-301*) is available on our website (<http://www.ccc.govt.nz/>) or from one of our Service Centres. The charges incurred by the Council in processing this application are payable whether the project proceeds or not. The Council may use discretion in refunding part of the deposit if the total costs are significantly less than the deposit.
3. General information can be found on our website at <http://www.ccc.govt.nz/homeliving/buildingplanning/index.aspx>

4. Council Guidance Sheets and limited selection of Department of Building & Housing Information Booklets are available Civic Offices and the Lyttelton Service Centre.

Please check that the forms that you are using are current at the time of application as they are subject to change without notice.

## 10. Lodging an Application

Application can be lodged via the following methods:

- Electronically, send an email request to [buildingconsentapplication@ccc.govt.nz](mailto:buildingconsentapplication@ccc.govt.nz) and we will reply with instructions.
- Post, send your application to: Christchurch City Council  
Building Approvals Office  
PO Box 73013  
Christchurch 8154  
For enquiries phone (03) 941 8999.
- Hand delivered to either Civic Offices or Lyttelton Service Centre where technical assistance is available.

Please note that all processing is now electronic, and there are advantages in submitting your application through our File Transfer Portal as this avoids the delay and costs of scanning.

| Location                 | Street Address                          | Postal Address                                                 | Phone                    | Email                                                  |
|--------------------------|-----------------------------------------|----------------------------------------------------------------|--------------------------|--------------------------------------------------------|
| Civic Offices            | 53 Hereford Street<br>Christchurch 8011 | Building Approvals Office<br>PO Box 73013<br>Christchurch 8154 | 941-8999                 | <a href="mailto:info@ccc.govt.nz">info@ccc.govt.nz</a> |
| Lyttelton Service Centre | 35 London Street<br>Lyttelton 8082      | Building Approvals Office<br>PO Box 73013<br>Christchurch 8154 | 941-8999<br>0800 800 169 | <a href="mailto:info@ccc.govt.nz">info@ccc.govt.nz</a> |

Applications can also be dropped off and uplifted at the Service Centres below, however no technical assistance is available. Applications dropped off at these Service Centres will be forwarded to the Civic Offices for review for acceptance.

| Location                    | Street Address                                | Location                | Street Address                 |
|-----------------------------|-----------------------------------------------|-------------------------|--------------------------------|
| Akaroa Service Centre       | 78 Rue Lavaud<br>Akaroa                       | Linwood Service Centre  | 180 Smith Street               |
| Beckenham Service Centre    | 66 Colombo Street                             | Papanui Service Centre  | Cnr Langdons Rd and Restell St |
| Fendalton Service Centre    | Cnr Jeffreys & Clyde Roads                    | Shirley Service Centre  | 36 Marshlands Road             |
| Little River Service Centre | 4236 Christchurch Akaroa Road<br>Little River | Sockburn Service Centre | 149 Main South Road            |

All applications will be reviewed for completeness before acceptance and starting of the statutory processing timeframe. The vetting of the application for acceptance will be completed within one day of the application being received by Vetting Officers at Civic Offices.

Conditions and / or advice notes are attached as part of the documents for this building consent. You must read these and ensure you understand the information in them before you start work. You must also ensure you comply with the conditions and / or compliance advice.

### The Project: Installation of a Solid / Liquid Fuel Heater

Make: Natures Flame

Model: Enviro EPS Evolution CB.

☒ New Model ☐ Second Hand Model

Fuel Type: ☐ Wood ☒ Wood Pellets ☐ Diesel / Diesel blend

Clean Air Certification No.: 081219

In-built ☐ Free Standing ☒

Is this replacing an existing operational fire? Yes ☒ No ☐

If no, please provide the resource consent number from Canterbury Regional Council (ECan) (applies to wood or wood pellet burners only) \_\_\_\_\_

Installer: Heatstore

Address: P.O. Box 11-245  
CH CH 8443

Does the existing or proposed installation involve a wetback?

Yes ☐ No ☒

If Yes – state the name and address of the certifying Plumber who will disconnect and/or install the wetback:

Name: \_\_\_\_\_

Address: \_\_\_\_\_

License Number: \_\_\_\_\_

When a hot water booster or wetback is being installed, an anti scalding device must be fitted in the supply from the cylinder to the sanitary fixtures. This requirement does not apply if an existing hot water booster or wetback is being replaced, or is existing elsewhere in the hot water system. The hot water cylinder **must be open vented**.

Please confirm that an anti scalding device will be fitted if this a new wet back connection Yes ☐

### FLOOR PLAN – ALL FLOORS TO BE DRAWN TO SCALE

Plan of proposed Solid / Liquid Fuel Heater at:

Address: 5c Currenmore place, Burnside.

Date: 21/07/2011

Project Number: 100 AL132011

Approving Officer: File Copy

CHRISTCHURCH CITY COUNCIL

CONSENT DOCUMENT

All building work shall comply with the consented documents.

Key: ✓ or ☐ = provided

☒ or ☐ = not required

☐ or ☐ = required before acceptance

## CHECKSHEET

### Solid / Liquid Fuel Heating Appliance (Residential Only)

 Project Number: 10111321

 Address: 5 c Gilmore place, Burnside.

| Office Check by: | Date          | Accepted? Yes / No | Time Spent  |
|------------------|---------------|--------------------|-------------|
| <u>H</u>         | <u>4/8/11</u> | <u>Y</u>           | <u>0.25</u> |
|                  |               |                    |             |
|                  |               |                    |             |

This checksheet shows you the information that has to be supplied for a Solid / Liquid Fuel Heating Appliance (residential only) with your building consent application.

Please complete each box in the Customer Use column as you attach the information. Complete all sections using either a ✓ or Y where the information is provided, or a X or N where the information is not required as shown the key at the bottom of each page.

Once you have attached all the required information, please check for completeness as an incomplete application or lack of any supporting information will mean that your application cannot be accepted for processing.

| Customer use                        | 1. GENERAL<br>COMPLETE FOR ALL APPLICATIONS                                                                                                                                                                                                                           | For office use only                 |
|-------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------|
| <input checked="" type="checkbox"/> | <b>a Application Form B-001 (1 copy)</b><br>Completed and signed by the owner or by an agent on behalf of the owner.                                                                                                                                                  | <input checked="" type="checkbox"/> |
| <input checked="" type="checkbox"/> | <b>b Application Fee</b><br>Applications will not be accepted without payment of the appropriate fees. Fees payable are set out in the published <u>Fee Schedule B-301</u> .                                                                                          | <input checked="" type="checkbox"/> |
| <input checked="" type="checkbox"/> | <b>c Manufacturer's installation specifications / instructions (2 copies)</b><br>For the correct installation and use of the heating appliance. The specification / instructions must relate to the specific make and model of the heating appliance to be installed. | <input checked="" type="checkbox"/> |

| Customer use                        | 2. DRAW A FULL SCALED FLOOR PLAN (ALL FLOORS) SHOWING: (1:100)                                                                                                                                                                                                                                                                                                                                                                   | For office use only                 |
|-------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------|
| <input checked="" type="checkbox"/> | <ul style="list-style-type: none"> <li>Location of the heater.</li> </ul>                                                                                                                                                                                                                                                                                                                                                        | <input checked="" type="checkbox"/> |
| <input checked="" type="checkbox"/> | <ul style="list-style-type: none"> <li>Location of existing / proposed smoke detectors (that comply with the relevant standards including having a "hush" facility); they must be marked with ⊙ on Floor Plan (see page 2). New detectors will be marked on the plans by the Council if you do not provide the location. These will be inspected and tested prior to the issue of the Code of Compliance Certificate.</li> </ul> | <input checked="" type="checkbox"/> |
| <input checked="" type="checkbox"/> | <ul style="list-style-type: none"> <li>Show the location of the existing water cylinder if a wetback / hot water booster is to be fitted.</li> </ul>                                                                                                                                                                                                                                                                             | <input type="checkbox"/>            |
| <input type="checkbox"/>            | <ul style="list-style-type: none"> <li>LIQUID FUEL STORAGE: Show type of fuel (eg: diesel, home blend, kerosene), size and location of the fuel storage tank related to the building and site boundaries. Wall openings (windows or doors) and wall cladding material within one metre of the storage tank vicinity should be shown (including neighbouring properties).</li> </ul>                                              | <input type="checkbox"/>            |

#### NOTES: Second Hand Solid / Liquid Fuel Burners cannot be installed unless:

- A current Clean Air approval label is attached to the appliance (not applicable to some minor rural areas of Christchurch).
- Written evidence is provided to show that the appliance meets Building Code requirements. (An acceptable method is a satisfactory report from the manufacturer or manufacturers agent.)
- A new inner flue is required in all cases.
- The issue of a building consent does not relieve the owner of any duty or responsibility under any other act.

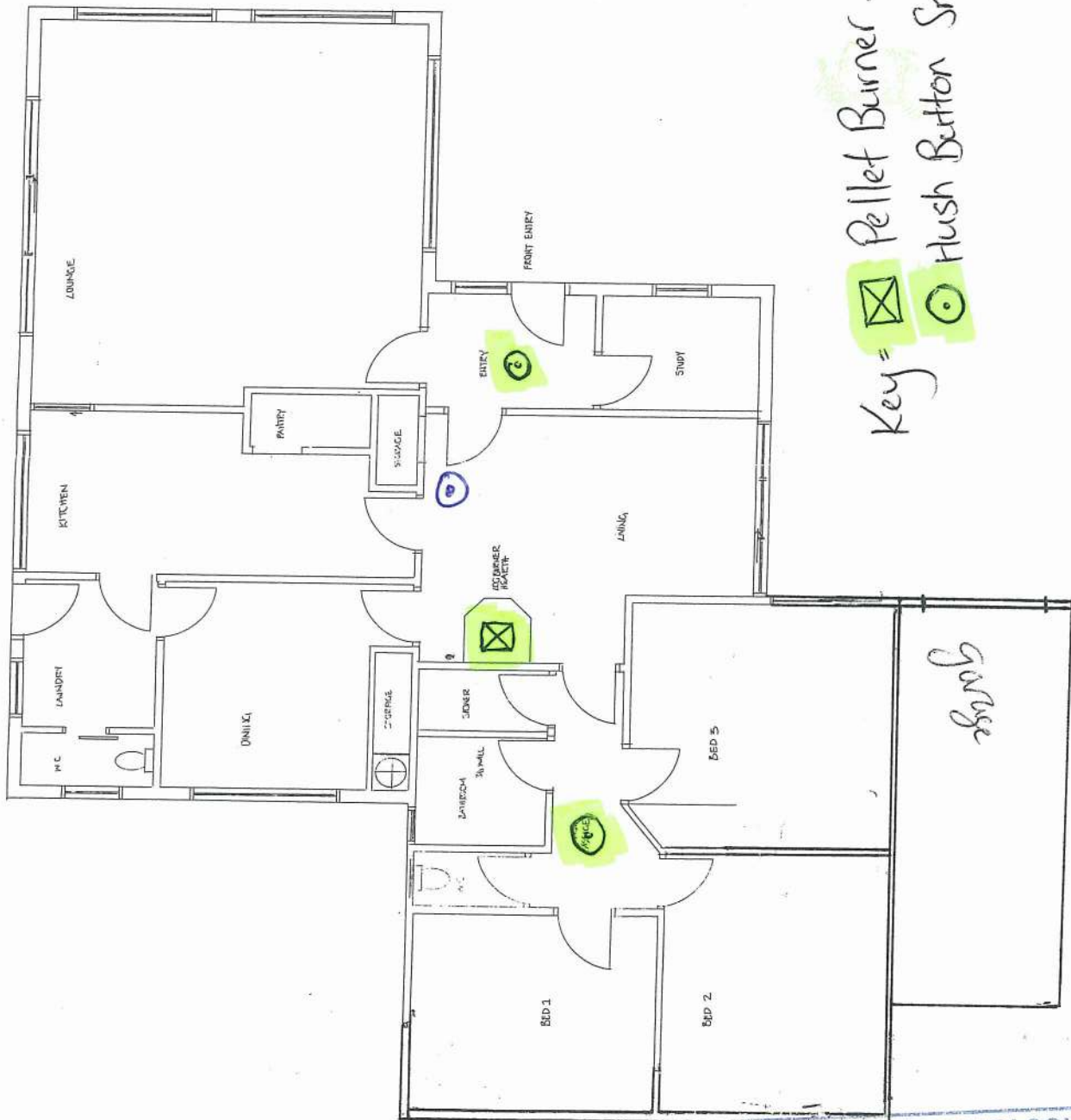
 Key: ✓ or ☒ = provided

☐ or ☐ = not required

☐ or ☐ = required before acceptance

Conditions and / or advice notes are attached as part of the documents for this building consent. You should read these as they contain information to assist with achieving code compliance and / or compliance with other legislation that may apply.

**Domestic Smoke Alarms**  
complying with  
Approved Document F7  
are required as part of  
this consent



Key =  Pellet Burner.  
 Hush Button Smoke Alarms

CHRISTCHURCH CITY COUNCIL

CONSENT DOCUMENT

04 AUG 2011

File Copy

All building work shall comply with  
the consented documents.

## INSTALLATION

### CLEARANCES TO COMBUSTIBLES:

This unit can be installed on a combustible floor due to the built in pedestal hearth pad (for example linoleum, hardwood flooring). If this unit is to be installed onto a carpeted surface, a hearth pad must be used for stability.

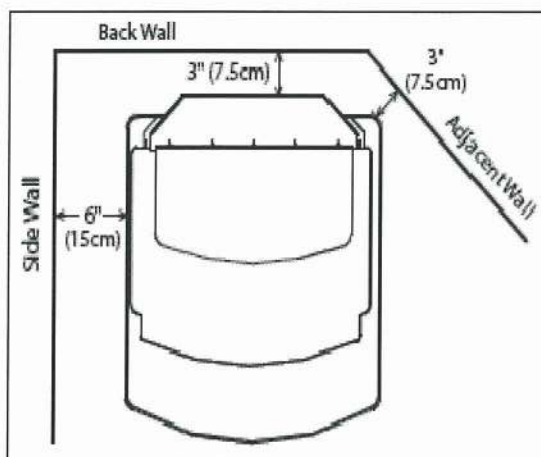


Figure 6: EF5 Clearance to Combustibles.

These dimensions are minimum clearances but it is recommended that you ensure sufficient room for serving, routine cleaning and maintenance.

|                   |                   |
|-------------------|-------------------|
| Side wall to unit | 6 inches (15 cm)  |
| Back wall to unit | 3 inches (7.5 cm) |
| Corner to unit    | 3 inches (7.5 cm) |

### ALCOVE CLEARANCES:

This unit may be installed in an alcove. Maintain these clearances to combustibles.

|                       |                    |
|-----------------------|--------------------|
| Minimum Alcove width  | 48 inches (122 cm) |
| Minimum Alcove height | 48 inches (122 cm) |
| Minimum Alcove depth  | 48 inches (122 cm) |

Install vent at clearances specified by the vent manufacturer.

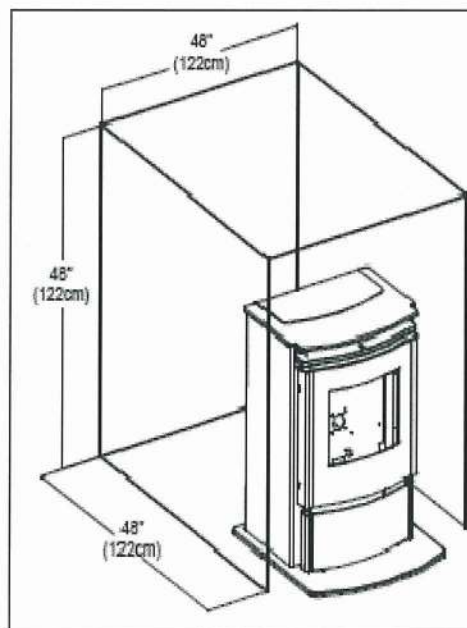
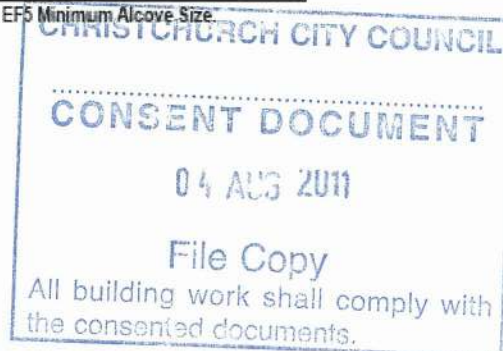


Figure 7: EF5 Minimum Alcove Size.

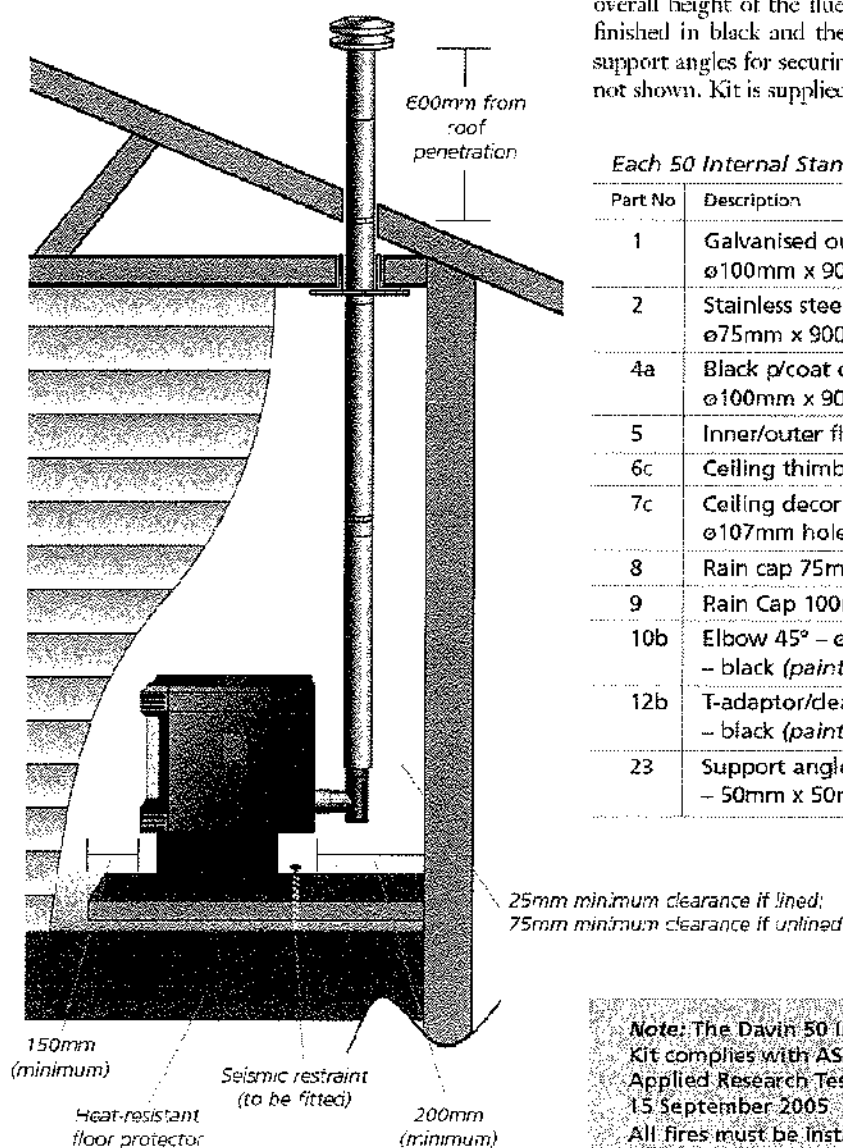


## 50 Internal Standard Flue Kit

This flue kit may be used in new and replacement applications in rooms with stud height of 2.4m. The overall height of the flue is 3.6m. The visible flue is finished in black and the ceiling plate is white. The support angles for securing the liner to the ceiling are not shown. Kit is supplied in a carton.

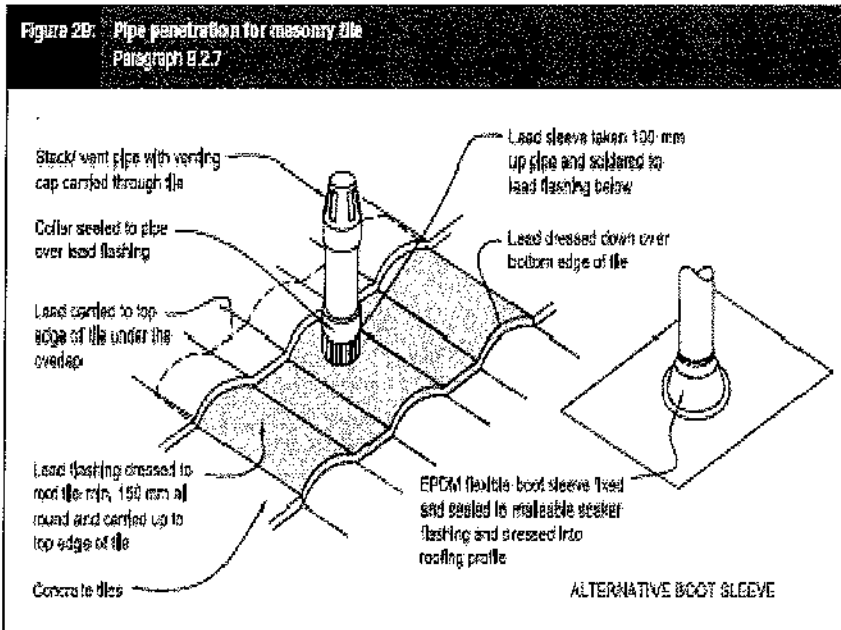
*Each 50 Internal Standard Flue Kit contains:-*

| Part No | Description                                       | Quantity |
|---------|---------------------------------------------------|----------|
| 1       | Galvanised outer liner<br>ø100mm x 900mm long     | 1        |
| 2       | Stainless steel inner liner<br>ø75mm x 900mm long | 4        |
| 4a      | Black p/coat outer liner<br>ø100mm x 900mm long   | 3        |
| 5       | Inner/outer flue liner spacer                     | 2        |
| 6c      | Ceiling thimble ø107mm hole                       | 1        |
| 7c      | Ceiling decor plate<br>ø107mm hole - white        | 1        |
| 8       | Rain cap 75mm                                     | 1        |
| 9       | Rain Cap 100mm                                    | 1        |
| 10b     | Elbow 45° - ø75mm stainless<br>- black (painted)  | 1        |
| 12b     | T-adaptor/deanout - ø75mm<br>- black (painted)    | 1        |
| 23      | Support angle 950mm long<br>- 50mm x 50mm sides   | 2        |



**Note:** The Davin 50 Internal Standard Flue Kit complies with AS/NZS 2918:2001 as per Applied Research Test Report 05/1185, dated 15 September 2005.  
All fires must be installed by a qualified installer as per the manufacturer's instructions and AS/NZS2918:2001.

## LEAD Flashing Specifications



# Smoke Alarm Installation in Homes

Alterations to buildings require an upgrade (to the latest cited standards) to the fire egress of the building. All new houses and all existing houses undergoing alterations are required to have smoke alarms installed.

The applicable Compliance Document (Acceptable Solution) to the Building Code is F7/AS1 – Warning Systems (refer to section 3.2, 'Type 1 Domestic Smoke Alarm System').

## Summary of Requirements:

- Smoke alarms shall be listed or approved by a recognised national authority as complying with at least one of:
  - UL 217;
  - ULC S531;
  - AS 3786; and
  - BS 5446 Part 1

Refer to F7/AS1, 3.2.2.

- Smoke alarms shall have a test facility located on the smoke alarm (readily accessible to building occupants).
- Smoke alarms may be battery powered and are not required to be interconnected. Whether battery powered or not, they shall be provided with a hush facility having a minimum duration of 60 seconds. Refer to F7/AS1, 3.2.3.

## Smoke Alarm Location:

On levels containing the sleeping spaces, the smoke alarms shall be located either:

- (a) In every sleeping space, **or**
- (b) Within 3.0m of every sleeping space door.

### Plus

- (a) Additional smoke alarms must be located in each space that must be passed through to get to a safe place, (outside) from which people may safely disperse (i.e. to the street).
- (b) There must be at least one smoke alarm on each level within the household unit.
- (c) Smoke alarms must be audible to sleeping occupants through closed doors.
- (d) Sleep outs are a part of the household unit so must included in any provision of smoke alarms.
- (e) Smoke alarms shall be installed on or near the ceiling in accordance with AS 1670.6 and the manufacturer's instructions.

## Recommended maintenance procedures are:

- (a) In-situ annual cleaning with a vacuum cleaner (no disassembly of smoke alarm).
- (b) Monthly testing by use of the smoke alarm's test facility.



# Solid and Liquid Fuel Heating Appliance Approvals

Project Number: \_\_\_\_\_

Address of Project: \_\_\_\_\_

## Other Authorisations

The Canterbury Regional Council (ECan) is the approving authority for the Emission Standards for Solid and Liquid Fuel Heaters. This heater is a CRC approved Solid or Liquid Fuel Heating Appliance.

## Advice / Notes and Guidance

**Appliance installation:** The approval is subject to appliance being installed in accordance with heating appliance Manufacturer's installation instructions.

**Seismic restraint:** Seismic restraint provided to the hearth and the appliance forms part of the manufacturers installation instructions.

**Hot water booster or wetback:** When a hot water booster or wetback is being installed, an anti scalding device must be fitted in the supply from the cylinder to the sanitary fixtures. This requirement does not apply if an existing hot water booster or wetback is being replaced, or is existing elsewhere in the hot water system. The hot water cylinder **must be open vented**. **Note:** Only a Certifying Plumber is permitted to connect a heating appliance to the pipe work from the cylinder, this includes re-connection to existing pipe work. The name and registration number of the Certifying Plumber who undertook the connection will be required to be specified on the application for a Code Compliance Certificate for a Solid / Liquid Fuel Heater (Form B-012).

**Flue Height:** The minimum flue heights specified in AS/NZS 2918:2001 (for solid fuel heaters) or the manufacturers installation instructions may be insufficient if combustion problems and smoke or odour nuisance are to be avoided. The presence of adjacent tall trees or buildings may mean that an even greater flue height is needed.

**Liquid Fuel Storage:** The fuel storage tank installation should include a degree of fire resistance between the storage tank and the building (dwelling house) where the storage tank is installed adjacent to the building. The storage tank must also be isolated from any openings in a building such as doors or windows which may allow impingement of fire on the storage tank. This distance should be not less than 1.0 metre.

The storage tank should also be suitably affixed in an approved manner to the building to prevent dislodgement or damage to the attached supply pipework to the heating appliance. The **quantity limits**, and **spill containment provisions** for storage of liquid fuels, as specified in the

Council's City Plan as well as the Hazardous Substances and New Organisms Act 1996, Dangerous Goods Regulations (Dangerous Goods transitional provisions) will apply (see attached guidance notes). It is the installer/owners responsibility to ensure that compliance is achieved. Audit monitoring will be undertaken to assess compliance.

As a consequence of the September 2010 and/or February 2011 earthquakes, the Council strongly recommends that the owner(s) consult with their insurance company to determine if they require any further testing prior to the commencement of this building work.

## Inspections

An application for a Code Compliance Certificate for a Solid / Liquid Fuel Heater (Form B-012) must be completed by the installer prior to inspection. (Form attached to this approval.)

The appliance must not be used until an inspection by the Council's staff has confirmed that the installation meets the requirements of the NZ Building Code and is recorded on the site inspection report.

Smoke alarms form part of this approval and must be installed at the time of inspection, otherwise a re-inspection will be required. Please refer to the attached Information Sheet B-311 and location of alarms shown on the approved consent plans.

A minimum of 48 hours notice is required if inspection is booked at the time of application.

**Note:** During times of increased work load delays may be experienced in booking a inspection time.

### To arrange an inspection please:

- **Book by phone:** 03) 941 8888, or
- **Book online:**  
<http://www.ccc.govt.nz/homeliving/buildingplanning/buildinginspections/buildinginspectionbookingform.aspx>

Following the inspection you will receive a Code Compliance Certificate provided that the building work is correctly completed in accordance with the building consent and the approved documentation.

The cost of one inspection is covered by the consent fee which you paid at the time of applying for the Building Consent. Additional fees are payable if more than one inspection is necessary.

# WAIMAIRI DISTRICT COUNCIL

Permit No. 47582Application No. 716 B1

(FOR OFFICE USE ONLY)

Riding WairarapaAssessment No. 1990/688File No. W 62 5c/

## APPLICATION FOR A BUILDING PERMIT

3450

TO THE DISTRICT ENGINEER,

Date 21. 6. 1983

Sir,

I hereby apply for permission to erect/alter/install a Spa House  
(Dwelling, Garage, Shed, etc.)at No. 5 Gilmore Place Street, in accordance with the SITE PLANS and detailed PLANS, ELEVATIONS AND SPECIFICATIONS submitted herewith in duplicate. (see over)

### PARTICULARS OF LAND

Lot No. 6 D.P. 26914 Area 860 m<sup>2</sup>

### PARTICULARS OF BUILDING

Foundations Concrete Walls Block Roof Single Floor ConcreteDistance from Nearest Building: On Site 3.500 m On Adjoining Site \_\_\_\_\_ m

MAIN BUILDING - AREAS (see over)

Ground Floor \_\_\_\_\_ m<sup>2</sup> 1st Floor \_\_\_\_\_ m<sup>2</sup> Over Foundations 209 m<sup>2</sup>  
(or Basement)OUTBUILDINGS AREA - Proposed 18 m<sup>2</sup> Existing 209 m<sup>2</sup>TOTAL AREA OF ALL BUILDINGS (Existing and Proposed) 227 m<sup>2</sup>

### ESTIMATED VALUE OF PROPOSED WORK

Main Buildings \$ 3000.00

Outbuildings \$ \_\_\_\_\_

Plumbing &amp; Drainage \$ \_\_\_\_\_

TOTAL \$ 3000.00Estimated Completion Date Nov 83Owner Peter Colombo Address As Above

Builder " Address " "

Plumber \_\_\_\_\_ Address \_\_\_\_\_

Proposed purpose for which every part of the building is to be used or occupied (see over)

Spa PoolTelephone No. 583-347Yours faithfully,  
Owner/Builder [Signature]

### FEES PAYABLE

Ph. 13/6/83

(FOR OFFICE USE ONLY)

REMARKS

Building Permit ..... \$ 25.00

Inspection Fees ..... \$ \_\_\_\_\_

Plumbing &amp; Drainage Permit ... \$ \_\_\_\_\_

F/P Opening/Crossing Deposit ... \$ \_\_\_\_\_

F/P Opening/Crossing Permit ... \$ \_\_\_\_\_

Vehicular Entrance ..... \$ \_\_\_\_\_

Water Connection ..... \$ \_\_\_\_\_

Builders Water Supply ..... \$ \_\_\_\_\_

Building Research Levy ..... \$ \_\_\_\_\_

TOTAL FEES PAYABLE .... \$ 25.00APPROVED [Signature] (District Engineer)13<sup>th</sup> July 1983

## APPLYING FOR A BUILDING PERMIT

### COMPLETION OF THIS FORM

All details on the form must be completed, in cases where the answer is nil enter 'nil'.

### FLOOR AREAS

The area of each floor in buildings of more than single storey must be entered. For site coverage only the area of the ground floor is computed. In accessory buildings the floor areas are for computing permissible floor area.

### PROPOSED USE

The proposed use of every building or part of a building must be clearly indicated, e.g. private car garage, private storage shed, ownership flats, leasehold shops etc.

### STORMWATER DISPOSAL

An approved method of stormwater disposal must be provided to all buildings and must be fixed before occupation of the building.

NOTE: All stormwater must go to side channel except where otherwise specifically approved.

## DETAILS TO BE SUBMITTED WITH EVERY APPLICATION

The following extract from the Building By-Laws sets out briefly the details required with every application. Full details can be gained in N.Z.S. 1900, Chapter 2, Clauses 2.4 and 2.5.

### 2.5 PLANS AND SPECIFICATIONS

- 2.5.1. Together with every application there shall be submitted to the Engineer, in duplicate, detailed plans, elevations, cross sections, and specifications, which shall together furnish complete details of design and qualities and descriptions of all materials of construction and workmanship, and which shall be of sufficient clarity to show to the satisfaction of the Engineer the exact nature and character of the proposed undertaking and the provision made for full compliance with the requirements of this by-law and any other relevant by-law for the time being in force:—
  - (v) Detailed drawings shall be in such form and on such scale as the Engineer may consider necessary to ensure certainty of interpretation.
  - (vi) All drawings other than detailed drawings shall be accurately, clearly, and indelibly executed to scale, and shall be drawn in ink upon drawing paper or tracing cloth or printed upon cloth or approved paper. Except in the case of detailed drawings all drawings shall be to a scale of 1:100 or 1:50.
- 2.5.2. The drawings shall be accompanied by a locality plan. This locality plan shall be drawn to scale and shall show the site of the building, together with the land, streets, private streets, public places, private ways, public reserves, and buildings immediately surrounding the site and shall be sufficient to enable the Engineer to locate the precise situation of the site not only relative to the boundaries of its own land, but also relative to any buildings erected upon immediately adjoining lands.
- 2.5.3. On all drawings deposited under this chapter of this by-law the following methods shall be used to assist in making clear the various parts of the work:—
  - (i) The site of the proposed building shall be coloured or edged red.
  - (ii) Existing buildings immediately adjoining shall be coloured grey.
  - (iii) Sewers and sewer connections shall be shown by red lines.
  - (iv) Stormwater drains and drain connections shall be shown by green or black lines.
  - (v) The construction drawings shall be so prepared as to distinguish the various materials employed in the construction of the building, also existing work from new work.
- 2.5.5. In addition to the structural details etc., required, the plans and sections shall show as regards every floor of the proposed building the dimensions of the rooms the situation of the flues, fireplaces, stoves, and chimneys, and the position of all the several parts of the building, and every water closet, fuel store, wash-house, and all other appurtenances. The plan and section shall further show the proposed means of water supply, and the level of the lowest floor of the intended building and of the yard and ground belonging thereto, and also the means whereby it is proposed to deal with all stormwater and drainage.
- 2.5.6. When lodged, the application and drawings and other documents accompanying the application shall become the absolute property of the Council.

## WAIMAIRI DISTRICT COUNCIL

B.3

## BUILDING CHECK SHEET

Application No. 716Application Received:- Date 21/6/83 Initials of Receiving Officer Rly

Details Required: (tick as appropriate)

- 2 SITE PLANS - Distance from all boundaries and buildings - street front indicated  
Stormwater Disposal System shown.
- 2 SETS OF WORKING DRAWINGS - Fully detailed and dimensioned.
- 2 SETS OF ELEVATIONS - Showing height and windows (size and openings).
- 2 CROSS-SECTIONS - Fully detailed and dimensioned, showing all beam fixings etc.
- 2 SETS OF SPECIFICATIONS - Spacing - Type of Materials etc.
- 2 PLUMBING AND DRAINAGE FORMS - (NON sewered areas only) - Drainage layout.

WATER APPLICATION FORM SIGNED BY OWNER.

BUILDING PERMIT APPLICATION FORM FULLY COMPLETED.

Where required:

Written consent of adjoining owner.

Design Certificate or calcs. (Required for all reinforced blockwork and concrete).

Certificate of Registration from Building Projects Registration Authority.

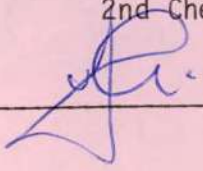
Swimming Pool - Application form to discharge water.

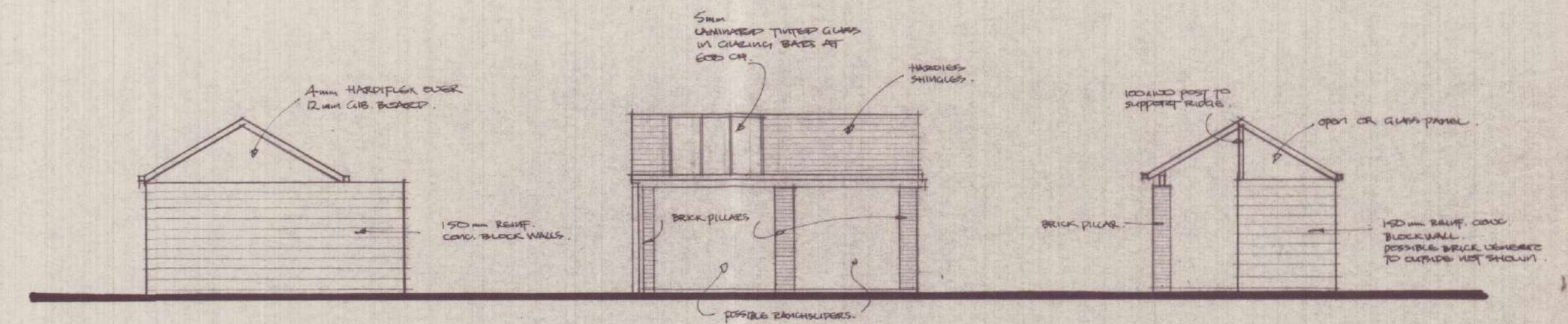
| Department                        | Check List              | Remarks       | Initials      | Date        |
|-----------------------------------|-------------------------|---------------|---------------|-------------|
| TOWN<br>PLANNING                  | Legal Description       |               |               |             |
|                                   | Zoning                  | RES A.        |               |             |
|                                   | Street Bo. Issued       | MA.           |               |             |
|                                   | Building Line Restrict. | MA            |               |             |
|                                   | Notified Application    |               | Jouire Pinet. | 21/6/83.    |
|                                   | Parking Requirements    |               |               |             |
|                                   | Landscape Requirements  |               |               |             |
| HEALTH<br>INSPECTORS              | General Requirements    |               |               |             |
|                                   | Food Premises           |               |               | 11/7/83     |
|                                   | Apartment House         |               |               |             |
| RATES                             | Owner                   |               |               |             |
|                                   | Assessment No. entered  |               | gcs           | 12.7.83     |
| CHRISTCHURCH<br>DRAINAGE<br>BOARD | Sewage Disposal         |               |               |             |
|                                   | Stormwater Disposal     | F146 11-99-91 |               | 22-6-83     |
| WATERWORKS<br>INSPECTOR           | Water Connection        | 3/p           |               | 17 JUL 1983 |

See Reverse Side for Remainder of Checks

| Department                                                            | Check List                                          | Remarks                                 | Initials       | Date |  |
|-----------------------------------------------------------------------|-----------------------------------------------------|-----------------------------------------|----------------|------|--|
| DANGEROUS<br>GOODS AND<br>BY-LAWS                                     | Dangerous Goods                                     |                                         |                |      |  |
|                                                                       | Signs                                               |                                         |                |      |  |
|                                                                       | Projections over St. etc                            |                                         |                |      |  |
|                                                                       | Hoardings                                           |                                         |                |      |  |
| STRUCTURAL<br>CHECK                                                   | Design Certificate                                  |                                         |                |      |  |
|                                                                       | Calculations                                        |                                         |                |      |  |
| SPECIAL<br>APPROVALS                                                  | County Engineer                                     |                                         |                |      |  |
|                                                                       | T.P. Sub-Committee                                  |                                         |                |      |  |
|                                                                       | Council                                             |                                         |                |      |  |
|                                                                       | Resiting                                            |                                         |                |      |  |
| FIRE AND<br>EGRESS<br>INDUSTRIAL<br>COMMERCIAL<br>PUBLIC<br>BUILDINGS | Occupancy Class.                                    |                                         |                |      |  |
|                                                                       | Fire Zone                                           |                                         |                |      |  |
|                                                                       | Type of Construct.                                  |                                         |                |      |  |
|                                                                       | Fire Resist. Rating                                 |                                         |                |      |  |
|                                                                       | Egress & Exit Signs                                 |                                         |                |      |  |
|                                                                       | Fire Stops                                          |                                         |                |      |  |
|                                                                       | Alarm/Emer. Lights                                  |                                         |                |      |  |
|                                                                       | Fire Fighting Equip. (checked by Met. Fire Brigade) |                                         |                |      |  |
| BUILDING<br>INSPECTORS                                                | Siting and Height                                   | /                                       | Heating        |      |  |
|                                                                       | Coverage                                            | //                                      | Stud Height    |      |  |
|                                                                       | Construction:-                                      | //                                      | Room Sizes     |      |  |
|                                                                       | Foundations:                                        | //                                      | Light & Ventn. |      |  |
|                                                                       | Floor                                               | //                                      | FRR (Resid)    |      |  |
|                                                                       | Framing                                             | /                                       | Veh. Access    |      |  |
|                                                                       | Roof                                                | /                                       | Veh.Acc.Cm.    |      |  |
|                                                                       | Veneer                                              | /                                       | Section Lev.   |      |  |
|                                                                       | Insulation - Floor                                  |                                         | Fill - check   |      |  |
|                                                                       | Walls                                               |                                         | File card      |      |  |
|                                                                       | Ceiling                                             |                                         | & book         |      |  |
|                                                                       |                                                     | Building Projects Authority Certificate |                |      |  |
|                                                                       |                                                     | Basement Garage - Levels check          |                |      |  |

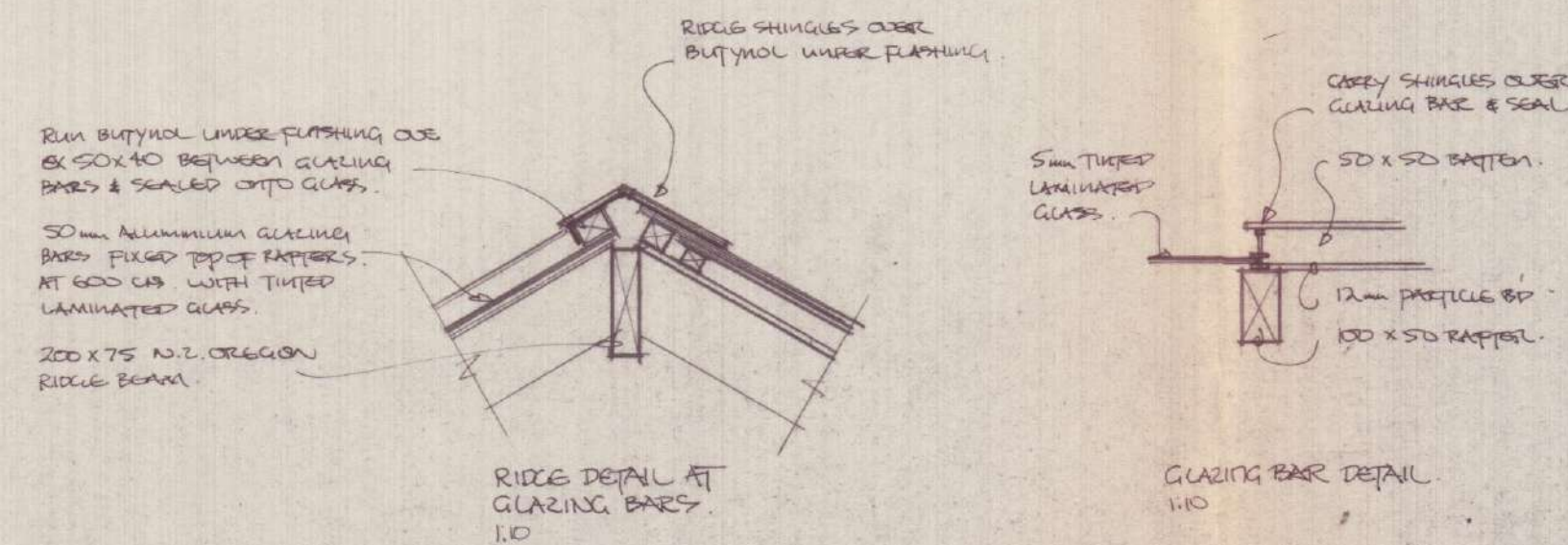
2nd Check Siting - All checks completed

Signed  (Checking Officer) Date: 13/7/83



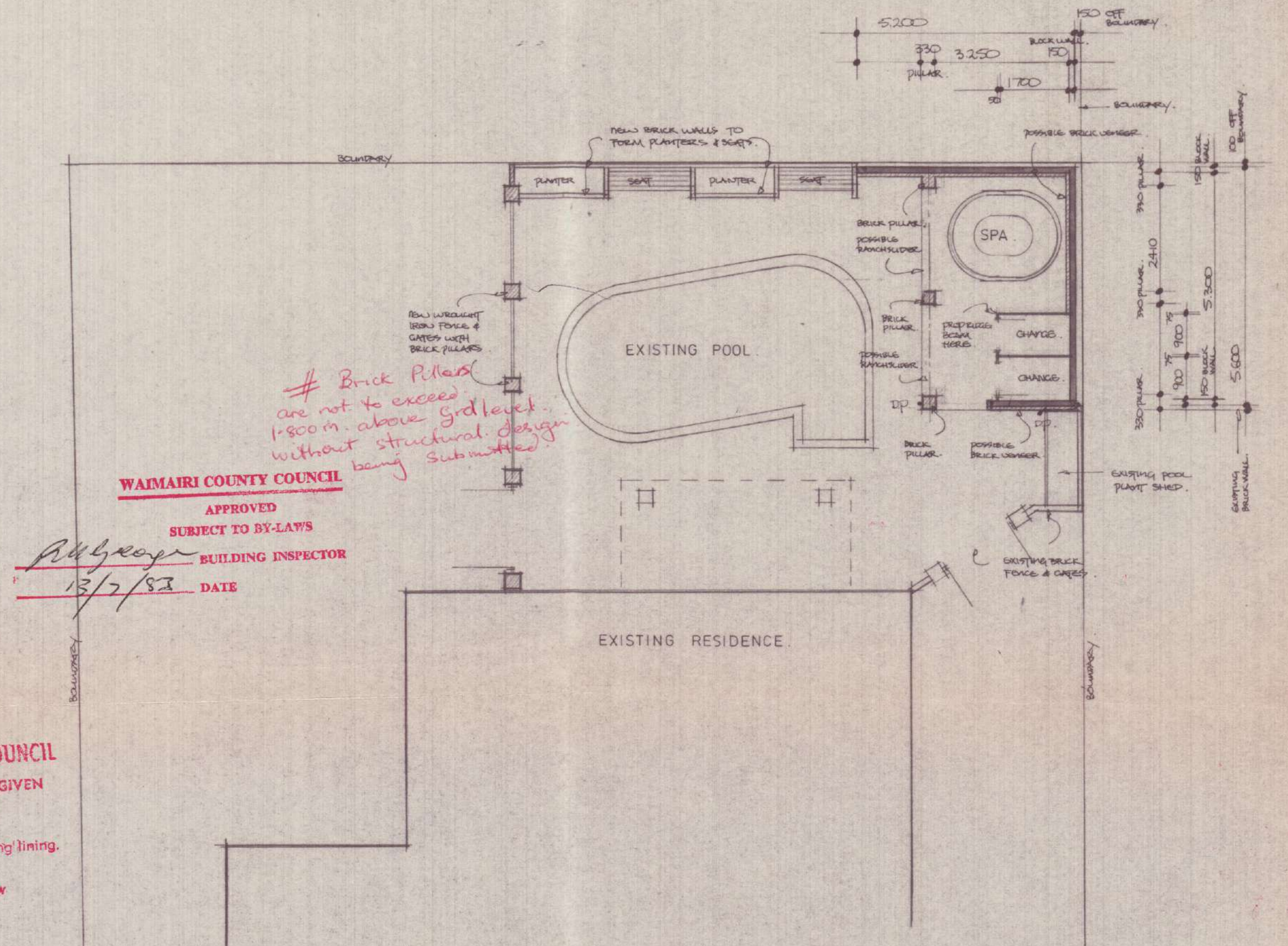
# ELEVATIONS

SECTION A - A C



# NOTES

- ALL WORK SHALL COMPLY WITH THE RELEVANT CHAPTERS OF B.S. 8000, B.S. 5400, LOCAL AUTHORITY BYLAWS AND ALL OTHER RELEVANT REGULATIONS, STATUTES & ORDINANCES.
- THE CONTRACTOR SHALL CONFIRM ALL DIMENSIONS & EXISTING SITE CONDITIONS BEFORE COMMENCING ANY WORK.
- FOUNDATIONS & FLOOR SLAB CONC SHALL BE 175 mpa at 28 DAYS.
- MORTAR MIXES SHALL BE AS 12 mpa at 28 DAYS.
- FIX ALL REINFORCED CONCRETE WITH 175 mpa CONC.
- WHERE NOT SHOWN CAPS SHALL BE 40 DIAMETERS.
- ALL REINFORCING SHALL BE BENT TO REQUIRE AT ALL WALL JOINTS.
- PROVIDE CLEAN CUT JOINTS AT THE BASE OF REINFORCED CONCRETE.
- FOUNDATIONS SHALL BE TAKEN TO SOLID GROUND, SHOULD SOFT OR FILLED GROUND BE ENCOUNTERED THE DESIGNER SHALL BE CONSULTED FOR ADDITIONAL FOUNDATION DETAILS.
- CONNECT STRUCTURES TO EXISTING.



# STEP PLAN

PROPOSED SPA-HOUSE & LANDSCAPING 5c GILMORE PLACE FOR MR & MRS PETER COLOMBUS.

JOHN W. CHAPMAN N.Z.C.P. (AECOM). M.A.Z.F.A.D.  
689 FERRY ROAD PO. BOX 19515.  
CHRISTCHURCH. PHONE 849602.

DATE: JUNE 1983  
SCALES: 1:100, 1:50, 1:10.

SHOOT

PLEASE NOTE

Should an auxiliary heat boost be installed to heat the Spa pool the plumbing involved could require a plumbing permit, improperly installed would be dangerous.

N.MANDER

WATER INSPECTOR

Permit No. 27398 **WAIMAIRI COUNTY COUNCIL** Application No. 1682 **B1**  
 Riding WAIRARAPA  
 Assessment No. 2199/14/183  
 (FOR OFFICE USE ONLY) File No. N 1635c

**APPLICATION FOR A BUILDING PERMIT**

TO THE COUNTY ENGINEER,

Date 2 JAN 1974

Sir,

I hereby apply for permission to erect/alter/install a SWIMMING POOL

(Dwelling, Garage, Shed, etc.)

at No. 5c GILMORE PL. Street, in accordance with the SITE PLANS, and detailed PLANS, ELEVATIONS AND SPECIFICATIONS submitted herewith in duplicate. (see over)**PARTICULARS OF LAND**

Lot No. 6 D.P. 26914 R.S. \_\_\_\_\_  
 Frontage \_\_\_\_\_ Area \_\_\_\_\_

**PARTICULARS OF BUILDING**

Foundations \_\_\_\_\_ Stud Height \_\_\_\_\_ Floor \_\_\_\_\_  
 External Walls \_\_\_\_\_ Roof \_\_\_\_\_  
 Distance from Nearest Building: On Site \_\_\_\_\_ On Adjoining Site \_\_\_\_\_  
 MAIN BUILDING - AREAS (see over)  
 Ground Floor \_\_\_\_\_ sq. ft. 1st Floor \_\_\_\_\_ sq. ft. Over Foundations \_\_\_\_\_ sq. ft.  
 (or Basement)  
 OUTBUILDINGS - AREA  
 Area Proposed \_\_\_\_\_ sq. ft. Area of Existing \_\_\_\_\_ sq. ft.  
 TOTAL AREA OF ALL BUILDINGS (Existing and Proposed) \_\_\_\_\_ sq. ft.

**ESTIMATED VALUE OF PROPOSED WORK**

Main Buildings \$ \_\_\_\_\_  
 Outbuildings \$ 1828 - 00  
 Plumbing & Drainage \$ \_\_\_\_\_  
 TOTAL \$ 1828 - 00

Estimated Completion Date 16 JAN 74

Owner N. GIBSON Address 5c GILMORE PL CHCHS  
 Builder MASONRY SERVICES Address 39 BUCHANAN'S RD SCKBURN (496-085)  
 Plumber JOHN BURNS ENGINEERING LTD Address \_\_\_\_\_

Proposed purpose for which every part of the building is to be used or occupied (see over)

Yours faithfully,

Telephone No. 585-522 Owner/Builder N Gibsonmk. 10.1.74

(FOR OFFICE USE ONLY)

**FEES PAYABLE****REMARKS**

Building Permit ..... \$ 10 . 00  
 Inspection Fees ..... \$ \_\_\_\_\_  
 Plumbing & Drainage Permit ... \$ \_\_\_\_\_  
 F/P Opening/Crossing Deposit . \$ \_\_\_\_\_  
 F/P Opening/Crossing Permit . \$ \_\_\_\_\_  
 Vehicular Entrance ..... \$ \_\_\_\_\_  
 Water Connection ..... \$ \_\_\_\_\_  
 Builders Water Supply ..... \$ \_\_\_\_\_  
 Building Research Levy ..... \$ \_\_\_\_\_  
 TOTAL FEES PAYABLE ..... \$ 10 . 00

Sck 9.1.74  
John K RD 16/1/74

APPROVED R.J. Duncan (County Engineer)10 - 1 1974

## APPLYING FOR A BUILDING PERMIT

### COMPLETION OF THIS FORM

All details on the form must be completed, in cases where the answer is nil enter 'nil'.

### FLOOR AREAS

The area of each floor in buildings of more than single storey must be entered. For site coverage only the area of the ground floor is computed. In accessory buildings the floor areas are for computing permissible floor area.

### PROPOSED USE

The proposed use of every building or part of a building must be clearly indicated, e.g. private car garage, private storage shed, ownership flats, leasehold shops etc.

### STORMWATER DISPOSAL

An approved method of stormwater disposal must be provided to all buildings and must be fixed before occupation of the building.

NOTE: All stormwater must go to side channel except where otherwise specifically approved.

## DETAILS TO BE SUBMITTED WITH EVERY APPLICATION

The following extract from the Building By-Laws sets out briefly the details required with every application. Full details can be gained in N.Z.S. 1900, Chapter 2, Clauses 2.4 and 2.5.

### 2.5 PLANS AND SPECIFICATIONS

2.5.1. Together with every application there shall be submitted to the Engineer, in duplicate, detailed plans, elevations, cross sections, and specifications, which shall together furnish complete details of design and qualities and descriptions of all materials of construction and workmanship, and which shall be of sufficient clarity to show to the satisfaction of the Engineer the exact nature and character of the proposed undertaking and the provision made for full compliance with the requirements of this by-law and any other relevant by-law for the time being in force:—

(v) Detailed drawings shall be in such form and on such scale as the Engineer may consider necessary to ensure certainty of interpretation.

(vi) All drawings other than detailed drawings shall be accurately, clearly, and indelibly executed to scale, and shall be drawn in ink upon drawing paper or tracing cloth or printed upon cloth or approved paper. Except in the case of detailed drawings all drawings shall be to a scale of  $\frac{1}{8}$ " or  $\frac{1}{4}$ " to the foot.

2.5.2. The drawings shall be accompanied by a locality plan. This locality plan shall be drawn to scale and shall show the site of the building, together with the land, streets, private streets, public places, private ways, public reserves, and buildings immediately surrounding the site and shall be sufficient to enable the Engineer to locate the precise situation of the site not only relative to the boundaries of its own land, but also relative to any buildings erected upon immediately adjoining lands.

2.5.3. On all drawings deposited under this chapter of this by-law the following methods shall be used to assist in making clear the various parts of the work:—

(i) The site of the proposed building shall be coloured or edged red.

(ii) Existing buildings immediately adjoining shall be coloured grey.

(iii) Sewers and sewer connections shall be shown by red lines.

(iv) Stormwater drains and drain connections shall be shown by green or black lines.

(v) The construction drawings shall be so prepared as to distinguish the various materials employed in the construction of the building, also existing work from new work.

2.5.5. In addition to the structural details etc., required, the plans and sections shall show as regards every floor of the proposed building the dimensions of the rooms the situation of the flues, fireplaces, stoves, and chimneys, and the position of all the several parts of the building, and every water closet, fuel store, wash-house, and all other appurtenances. The plan and section shall further show the proposed means of water supply, and the level of the lowest floor of the intended building and of the yard and ground belonging thereto, and also the means whereby it is proposed to deal with all stormwater and drainage.

2.5.6. When lodged, the application and drawings and other documents accompanying the application shall become the absolute property of the Council.

WAIMAIRI COUNTY COUNCIL

BUILDING CHECK SHEET

Application No.

1682 B.3.

Application Received:- Date 4-1-74 Initials of Receiving Officer

Details Required

2 SITE PLANS - Distance from all boundaries and buildings - street front indicated  
Stormwater Disposal System shown.

2 SETS OF WORKING DRAWINGS - Fully detailed and dimensioned.

2 SETS OF ELEVATIONS - showing height and windows (size and openings).

2 CROSS SECTIONS - Fully detailed and dimensioned, showing all beam fixings etc.

2 SETS OF SPECIFICATIONS - Spacing - Type of Materials etc.

2 PLUMBING AND DRAINAGE FORMS - (Non sewerred areas only) - Drainage layout

WATER APPLICATION FORM SIGNED BY OWNER.

BUILDING PERMIT APPLICATION FORM FULLY COMPLETED.

Where required:

Written consent of adjoining owner.

Design Certificate or calculations.

Certificate of Registration from Building Projects Registration Authority.

Swimming Pool - Application form to discharge water

| Department                             | Check List                                             | Remarks        | Initials | Date    |
|----------------------------------------|--------------------------------------------------------|----------------|----------|---------|
| TOWN<br>PLANNING                       | Legal Description                                      | ✓              |          |         |
|                                        | Zoning                                                 | Res A-         |          |         |
|                                        | Street No. Issued                                      |                | Jow      | 9/1/74  |
|                                        | Building Line Restrict.                                | N.A. Rear Site |          |         |
|                                        | Conditional Use etc.                                   |                |          |         |
|                                        | Parking Requirements                                   |                |          |         |
| HEALTH<br>INSPECTORS                   | General Requirements                                   |                |          |         |
|                                        | Stormwater etc.                                        |                |          |         |
|                                        | Food Premises                                          |                |          |         |
|                                        | Apartment House                                        |                |          |         |
|                                        | Pool drainage to side channel                          |                | GSM      | 10/1/74 |
| RATES                                  | Owner                                                  |                |          |         |
|                                        | Assessment No. entered                                 | ✓              | MB       | 10.1.74 |
| CHRIST-<br>CHURCH<br>DRAINAGE<br>BOARD | Sewage Disposal                                        | FNAB           | JB       | 4/1/74  |
|                                        |                                                        |                |          |         |
|                                        |                                                        |                |          |         |
| FIRE AND<br>EGRESS                     | Occupancy classificat.                                 |                |          |         |
|                                        | Fire Zone                                              |                |          |         |
| INDUSTRIAL                             | Type of Construction                                   |                |          |         |
| COMMERCIAL                             | Fire Resistance Rating                                 |                |          |         |
| PUBLIC                                 | Egress & Exit Signs                                    |                |          |         |
| BUILDINGS                              | Fire Stops                                             |                |          |         |
|                                        | Alarm/Emergency Lights                                 |                |          |         |
|                                        | Fire Fighting Equipment (Checked by Met. Fire Brigade) |                |          |         |

See Reverse side for remainder of checks.

| Department                                             | Check list               | Remarks                | Initials | Date    |
|--------------------------------------------------------|--------------------------|------------------------|----------|---------|
| <u>DANGEROUS</u><br><u>GOODS AND</u><br><u>BY-LAWS</u> | Dangerous Goods          |                        |          |         |
|                                                        | Signs                    |                        |          |         |
|                                                        | Projections over St.etc. |                        |          |         |
|                                                        | Hoardings                |                        |          |         |
|                                                        |                          |                        |          |         |
|                                                        |                          |                        |          |         |
| <u>STRUCTURAL</u><br><u>CHECK</u>                      | Design Certificate       |                        |          |         |
|                                                        | Calculations             |                        | JDL      | 9/1/74  |
|                                                        |                          |                        |          |         |
| <u>WATERWORKS</u><br><u>INSPECTOR</u>                  | Water connection         | mandatory requirements | Chf      | 9.1.74  |
|                                                        |                          |                        |          |         |
| <u>SPECIAL</u><br><u>APPROVALS</u>                     | County Engineer          |                        |          |         |
|                                                        | T.P. Sub-Committee       |                        |          |         |
|                                                        | Council                  |                        |          |         |
|                                                        | Resiting                 |                        |          |         |
|                                                        |                          |                        |          |         |
| <u>BUILDING</u><br><u>INSPECTORS</u>                   | Siting and Height        |                        |          |         |
|                                                        | Coverage                 |                        |          |         |
|                                                        | Construction:-           | ✓                      | RJD.     | 10/1/74 |
|                                                        | Foundations              | ✓                      |          |         |
|                                                        | Floor                    | ✓                      |          |         |
|                                                        | Framing                  | ✓                      |          |         |
|                                                        | Roof                     | ✓                      |          |         |
|                                                        | Veneer                   |                        |          |         |
|                                                        | Heating                  |                        |          |         |
|                                                        | Stud Height              |                        |          |         |
|                                                        | Room Sizes               |                        |          |         |
|                                                        | Light and Ventilation    |                        |          |         |
|                                                        | F.R.R. (Residential)     |                        |          |         |
|                                                        | Vehicular Access         |                        |          |         |
|                                                        | Veh.Acc.Cnr.Site         |                        |          |         |
|                                                        | Section Levels           |                        |          |         |
|                                                        | Fill                     |                        |          |         |
|                                                        | Building Regulations     | Certificate (Date:- )  |          |         |
|                                                        | Insulation - Floor       |                        |          |         |
|                                                        | Walls                    |                        |          |         |
|                                                        | Ceiling                  |                        |          |         |
|                                                        |                          |                        |          |         |
|                                                        |                          |                        |          |         |
|                                                        |                          |                        |          |         |
|                                                        |                          |                        |          |         |
|                                                        |                          |                        |          |         |
|                                                        |                          |                        |          |         |

2nd Check Siting - all checks completed.

Signed

*[Signature]*  
(Checking Officer)

Date:-

10.1.74

WPR/1

WAIMAIRI COUNTY COUNCIL

Additional information required.

Water Supply:

~~Own Well~~

County H.P.

Back wash filter installed.

Yes.

~~No.~~

Drainage from Pool:

To side channel.

Open drain.

Other water course.

WAIMAIRI COUNTY COUNCIL

APPLICATION FOR PERMIT TO INSTALL A BACKFLOW PREVENTOR

To:  
The County Engineer,  
Waimairi County Council,

I, the undersigned, hereby apply for permission to have the  
work described herein carried out in the premises situated in

5<sup>C</sup> GILMORE PL. CHCHS

Full name and address of person for whom work is to be carried  
out:-

N. GIBSON

5<sup>C</sup> GILMORE PL. CHCHS

Name of Plumber carrying out the work:

JOHN BURNS ENGINEERING LTD

Type of backflow preventor to be installed: CLARKE OR MCLEAN

Location on supply line of proposed backflow preventor:

INCLUDED IN CONTROL VALVE ATTACHED TO FILTER

Permit fee: \$1.00

Reason for installation:

1. Sewage treatment plant or sewage pumping station.
2. Toxic substance or material dangerous to health.
3. Auxiliary water supply.
4. Objectionable substance or process water.
- X 5. Swimming or paddling pool.
6. Ships water supply.

Signature

N. Gibson

Dated this

2ND

day of

JANUARY

19 74

Copy to Waimairi County Council.

310/474

JHS. 5690 D

7th January, 1974.

Mr N. Gibson,  
5c Gilmore Place,  
CHRISTCHURCH, 5.

Dear Sir,

Swimming Pool Discharge to Side Channel

Your application to discharge water from a swimming pool has been received and is approved subject to the following conditions:

1. The rate of discharge shall not exceed 50 gallons per minute.
2. Since the pool water will discharge into a side channel before reaching a drain controlled by this Board, the permission of the Council controlling this side channel must also be obtained.
3. Discharge shall not be made during or immediately following heavy rain.
4. The concentration of residual chlorines (or chloramines) present in the pool drainage shall not exceed one half part per million.
5. Where chlorine is used in a strong solution when cleaning the pool, the Board must insist that the pool outlet be closed before cleaning operations commence, and that after cleaning is completed the pool be filled and held for no less than three days before being allowed to discharge into the side channel which would carry this water to a drain, stream, watercourse or river controlled by the Board.
6. Copper sulphate (Bluestone) must not be present in the pool drainage.
7. Where a filtration plant is to be installed, the back-wash water from such plant must be discharged into a sanitary sewer via a gully trap served by another sanitary fitting (bath, sink, etc.) as these continually have the water seal replenished.

In cases where the gully trap is higher than the back-wash water source, the design must be such as to avoid possible siphoning back to the pool from the gully trap.

All pipe work between pool filter and sanitary sewer must be laid by a registered drainlayer and/or a registered plumber, and must comply with the Drainage and Plumbing Regulations, 1959. A permit must be obtained from the Board before work commences.

8. Should the work not be commenced within one year from the date of this letter then permission to carry out the work will be deemed to have lapsed and a new application must be made to the Board if it is desired to proceed with the work.
9. The Board retains the right to require such remedial or other measures as may be necessary to overcome any nuisance which may be caused by the discharge from the pool.

Yours faithfully,

P.J. McWilliam,  
CHIEF ENGINEER.

Per:

SAJS:LKR.

(S.A.J. Scott)

Row to  
GILMORE PL

WAIMAIRI COUNTY COUNCIL

Lot 6  
D.P. 26912

APPROVED, Subject to:-

All work to comply with the County Building By-Laws

24 hours' notice to be given to the County  
Building Inspector prior to pouring any con-  
crete

R. J. Duncan.  
10/11/74.

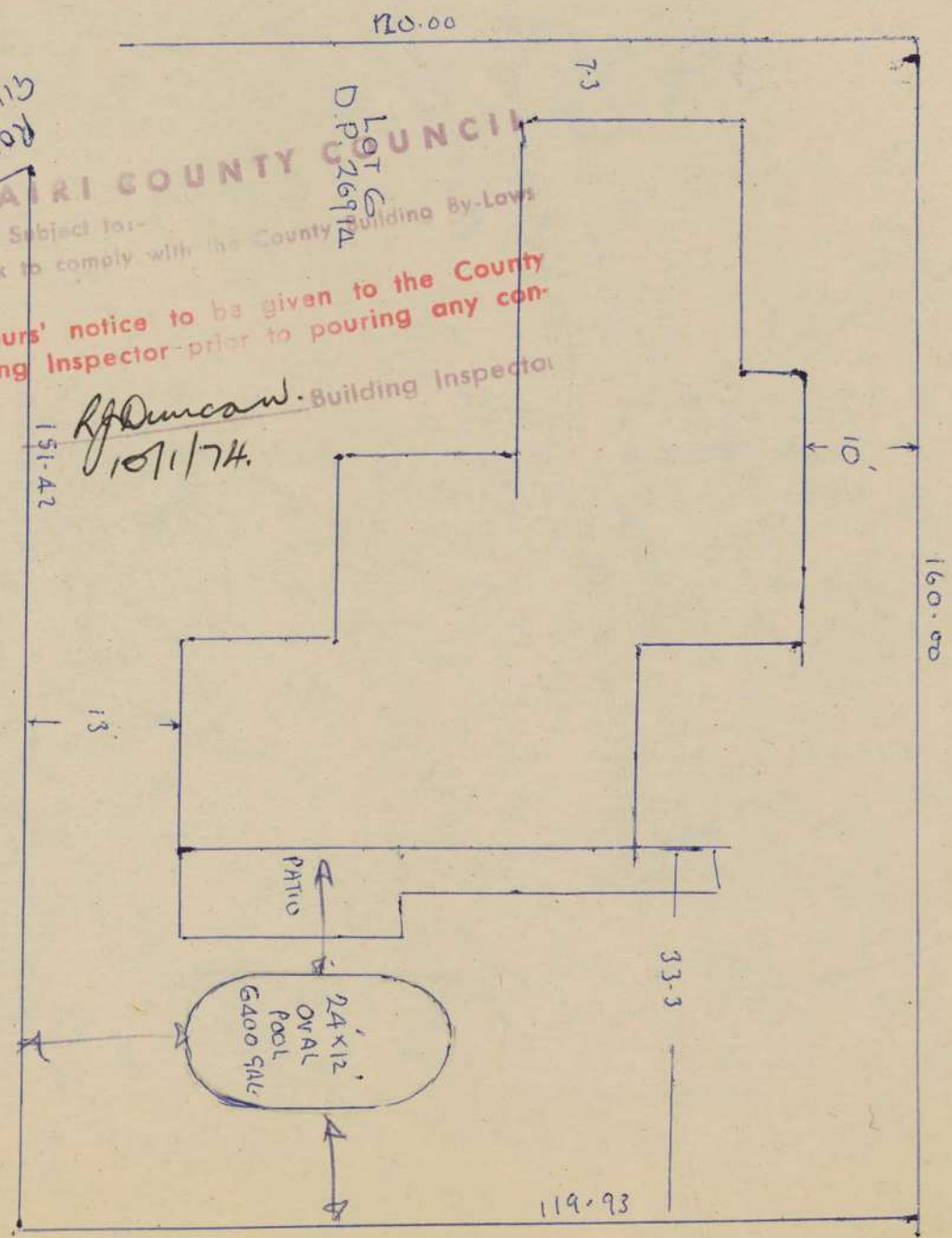
Building Inspector

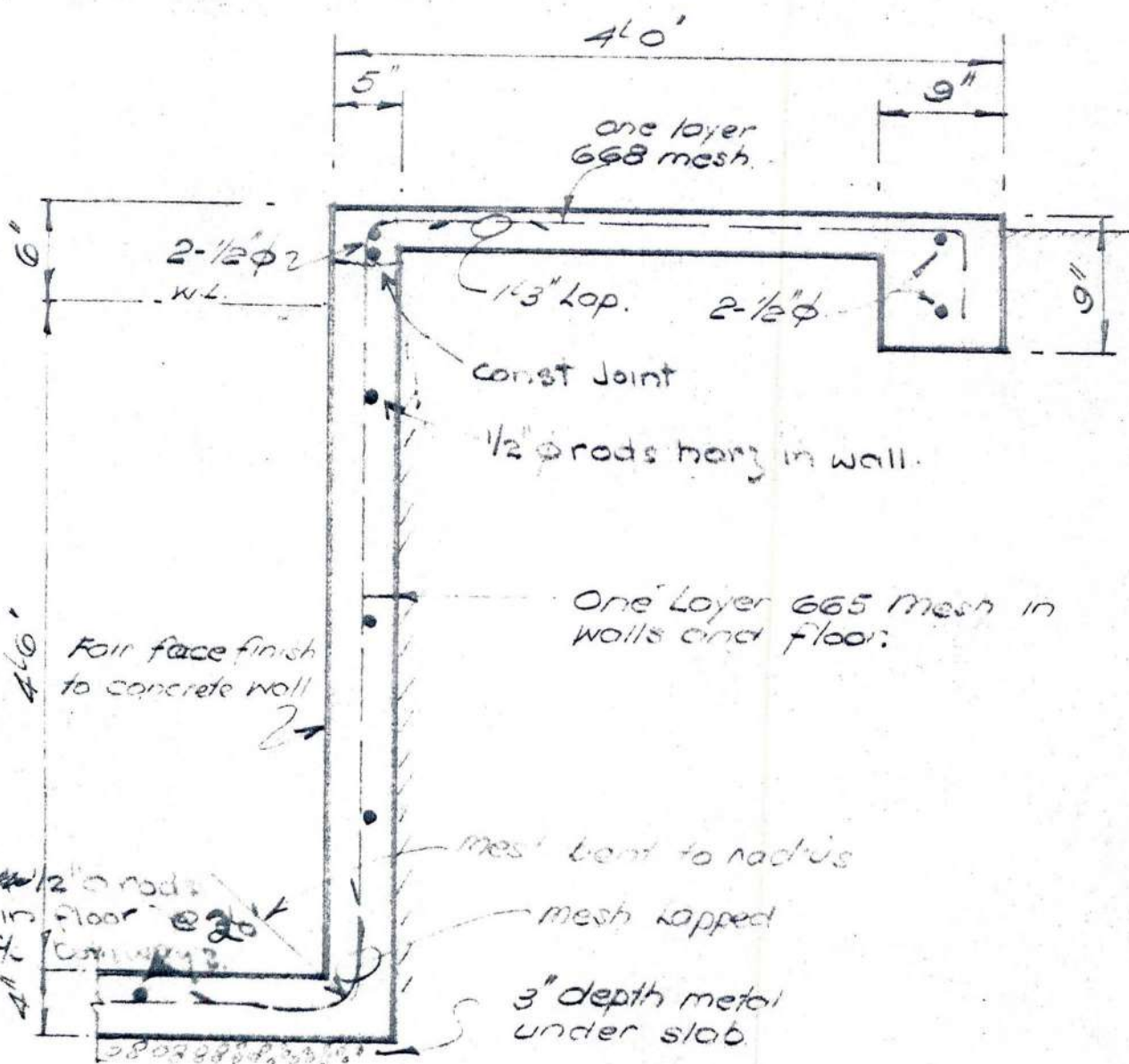
SITE PLAN

PROPOSED SWIMMING POOL - N. GIBSON

5 C. GILMORE PL

SCALE 1/8" = 1 FT.





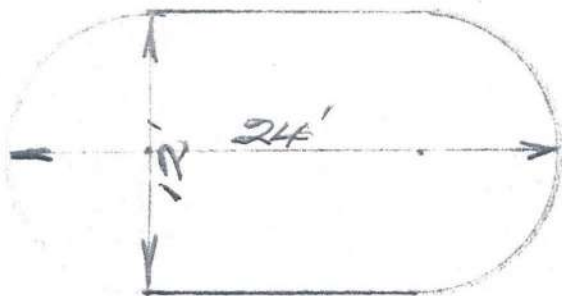
Typical section Thro' Pool wall.

Specification:-

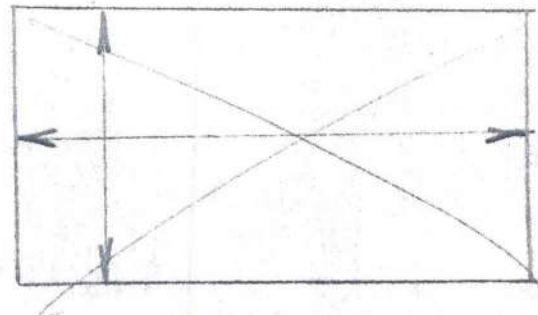
- 1) Concrete 3000 p.s.i to N.Z.S.S. 1900 ch. 9.5.
- 2) Reinforcement 665 mesh, supplemented with 1/2" rods around perimeter of pool as shown (Min lap mesh 1'3").
- 3) Hydrostatic Relief valve incorporated with main Drain assembly.
- 4) Floor & Walls to be placed in one continuous pour.
- 5) All reinforcement carries thru construction joints.

|                                                         |                                                                        |
|---------------------------------------------------------|------------------------------------------------------------------------|
| Typical Section thro wall<br>for Poured Concrete pools. | Masonry Concrete & Supplies<br>39 Buchanan Road<br>Ch Ch 4. ph 496.085 |
|---------------------------------------------------------|------------------------------------------------------------------------|

Will discharge sheet attached to  
original - also blue slip  
of mention.  
10/1/74



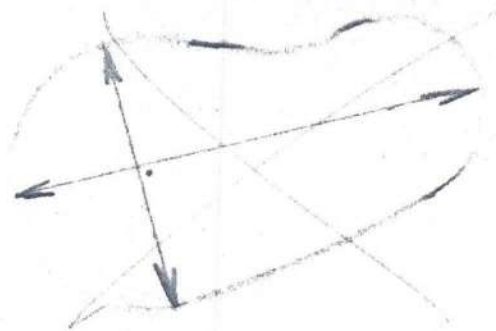
oval.



Rectangle.



Section Thro' all  
pools



Kidney.

SITE PLAN.

FILE COPY

**CHRISTCHURCH**  
CITY COUNCIL · ENVIRONMENT

11 November 2002

Mr and Mrs J H Ascroft  
5c Gilmore Place  
**CHRISTCHURCH**

Dear Sir and Madam

**THE FENCING OF SWIMMING POOLS ACT 1987/THE BUILDING ACT 1991  
POOL AT 5C GILMORE PLACE**

On 26 February 2002 you were advised by letter that the pool at the above address did not comply with the Fencing of Swimming Pools Act and reasons why the pool does not comply are as stipulated in the letter, a copy of which is enclosed for your attention.

An inspection of the property on 8 November 2002 revealed that no attempt has been made to have the pool fence made to comply and that you have not heeded the advice that it is the owner's responsibility to ensure compliance.

Section 80 (1) (b) of the Building Act 1991 provides that it is an offence to use a building for a use for which the building is not safe. In terms of the Building Act the word "building" includes a swimming pool. The Fencing of Swimming Pools Act 1987 is an acceptable means of compliance with the requirements of the Building Act.

Section 80 (2) (b) of the Building Act provides that every person who commits an offence against Section 80 (1) (b) of that Act is liable upon conviction to a fine of up to \$200,000.00 together with a further fine of up to \$20,000.00 for every day upon which the offence continues.

The Council considers that your pool, which is filled with water and not fenced in accordance with the requirements of the Fencing of Swimming Pools Act 1987 is unsafe in terms of Section 80 (1) (b) of the Building Act 1991.

You are therefore required within 28 days of this letter to complete the requested remedial works. No further warnings will be issued to you in this regard.

If you fail to comply with the requirements of this letter within the specified time the matter will be forwarded to the Office Solicitor for prosecution.

Yours faithfully

Russell Mulligan  
**ENFORCEMENT OFFICER**  
**ENVIRONMENTAL MONITORING SECTION****INFORMATION NOTES:**

- In some areas, where the water table is high or may be of concern, it may be necessary to take precautionary measures before emptying water from an in-ground pool.
- You should also be aware that the Building Act requires that a barrier must be provided where persons could fall 1 metre or more.

Environmental Services Unit • Civic Offices • 163-173 Tuam Street • P O Box 237 • Christchurch  
New Zealand • Telephone 941-8999 • Fax 941 8792 • [www.ccc.govt.nz/unit/Es](http://www.ccc.govt.nz/unit/Es)Telephone Russell Mulligan 941 8406 • email: [russell.mulligan@ccc.govt.nz](mailto:russell.mulligan@ccc.govt.nz)**FILE: PROPERTY**



**CHRISTCHURCH**  
CITY COUNCIL · ENVIRONMENT

26 February 2002

Mr & Mrs J H Ascroft  
5c Gilmore Place  
CHRISTCHURCH

FILE COPY

Dear Mr & Mrs Ascroft

**FENCING OF SWIMMING POOLS ACT 1987**  
**5c GILMORE PLACE**

An inspection was made at the above property on the 26 February 2002 for the purpose of determining compliance with the Fencing of Swimming Pools Act 1987. Your swimming pool is fenced in compliance with the Act except for one small item.

- Closed paling fences can be made unclimbable by installing a fillet on the middle rail. The fillet is required to extend 1.2m past the point where the pool fences meet the west boundary fence.

The 'Pool Fencing' booklet may assist you in obtaining compliance.

Please contact the writer when the above work has been completed.

Yours faithfully

A E Homer  
**ENFORCEMENT OFFICER**  
**ENVIRONMENTAL MONITORING**

AEH:AEH

**Service Centre:**

10548

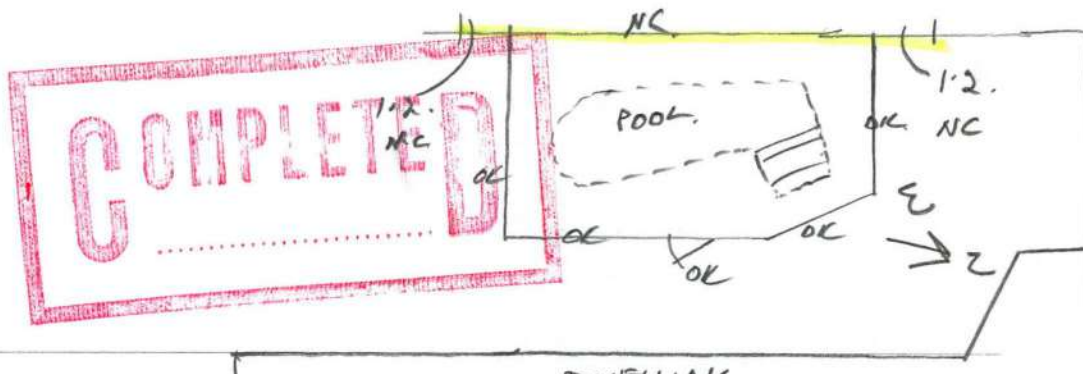
**Owner Address:**

COMPLIES  
10/12/02

**Telephone Number****Complainant Address:****Receiving Officer:**

**Notes:**

POOL SURVEY - 26/2/02 - just needs fillet on middle rail of boundary fence. Letter sent today.



**Action Taken:**

8-11-02 2ND LETTER

DWELLING

## Building Consent

Date of first inspection

Letter sent

### Follow up

**Date Investigation Completed:**

### Referred Officer

### Referred Officers Unit

Date Referred

## Passed On

~~homer~~  
MULLIGAN

env mon

26-Feb-2002

☐



# CHRISTCHURCH CITY COUNCIL

D6 wai

Waim

Dear Pool Owner

17 NOV 1999

## FENCING OF SWIMMING POOL ACT 1987

There is a need within our City to constantly review safety around swimming pools and spa pools. You might be aware of this through recent news media coverage of this subject.

According to the Council's records, you are the owner of a pool or you occupy a property with a pool. These records have **not** been updated for some time and the Council is unsure if your pool complies with the Act. Owners of pools and Council have obligations to ensure that compliance is maintained. Part of the Council's obligation is to make you aware that you have a part to play.

For this purpose the Council would like to undertake an inspection (cost-free) to determine the status of your pool. The questionnaire provided is for you to return to assist the Council in updating its records and with your assistance to provide safer pools in its area.

Yours faithfully

W Heney

TEAM LEADER ENVIRONMENTAL MONITORING

10548

① Filled  
west-bdy fence  
+ 1.2m post where  
bdy fences meet.  
② Trees.

**Please complete this portion – fold inward on dotted line, staple and return to Christchurch City Council by mail, using the prepaid circular on the reverse side.**

Address of Property: 5C GILMORE PLACE

The pool: still exists/~~is removed~~ (Cross out one)

I would like to be present during inspection: YES ~~NO~~

The best time for this is after 4pm weekdays

Contact Name: Chris Ascroft Telephone 3583347

*I understand that non-complying issues will need to be addressed and that the inspecting officer will discuss such matters with me on site, including any ongoing inspection fees.*

Mr and Mrs. J.H. Ascroft.  
5C Gilmore Place.

Delivered to you by New Zealand Post

Christchurch 8011

No postage stamp required  
if posted in New Zealand

5 pm 15 NOV 99

Postage and fee will be paid on delivery to:

[illegible]

- \*\*\*\*\* If you have folded correctly, this will be hidden \*\*\*\*\*



**CHRISTCHURCH**  
CITY COUNCIL · ENVIRONMENT

26 February 2002

**COPY FOR YOUR  
INFORMATION**

Mr & Mrs J H Ascroft  
5c Gilmore Place  
**CHRISTCHURCH**

Dear Mr & Mrs Ascroft

**FENCING OF SWIMMING POOLS ACT 1987**  
**5c GILMORE PLACE**

An inspection was made at the above property on the 26 February 2002 for the purpose of determining compliance with the Fencing of Swimming Pools Act 1987. Your swimming pool is fenced in compliance with the Act except for one small item.

- Closed paling fences can be made unclimbable by installing a fillet on the middle rail. The fillet is required to extend 1.2m past the point where the pool fences meet the west boundary fence.

The 'Pool Fencing' booklet may assist you in obtaining compliance.

Please contact the writer when the above work has been completed.

Yours faithfully

A E Homer  
**ENFORCEMENT OFFICER**  
**ENVIRONMENTAL MONITORING**

AEH:AEH

COPY

**CHRISTCHURCH**  
CITY COUNCIL · ENVIRONMENT

11 November 2002

Mr and Mrs J H Ascroft  
5c Gilmore Place  
CHRISTCHURCH

Dear Sir and Madam

**THE FENCING OF SWIMMING POOLS ACT 1987/THE BUILDING ACT 1991  
POOL AT 5C GILMORE PLACE**

On 26 February 2002 you were advised by letter that the pool at the above address did not comply with the Fencing of Swimming Pools Act and reasons why the pool does not comply are as stipulated in the letter, a copy of which is enclosed for your attention.

An inspection of the property on 8 November 2002 revealed that no attempt has been made to have the pool fence made to comply and that you have not heeded the advice that it is the owner's responsibility to ensure compliance.

Section 80 (1) (b) of the Building Act 1991 provides that it is an offence to use a building for a use for which the building is not safe. In terms of the Building Act the word "building" includes a swimming pool. The Fencing of Swimming Pools Act 1987 is an acceptable means of compliance with the requirements of the Building Act.

Section 80 (2) (b) of the Building Act provides that every person who commits an offence against Section 80 (1) (b) of that Act is liable upon conviction to a fine of up to \$200,000.00 together with a further fine of up to \$20,000.00 for every day upon which the offence continues.

The Council considers that your pool, which is filled with water and not fenced in accordance with the requirements of the Fencing of Swimming Pools Act 1987 is unsafe in terms of Section 80 (1) (b) of the Building Act 1991.

You are therefore required within 28 days of this letter to complete the requested remedial works. No further warnings will be issued to you in this regard.

If you fail to comply with the requirements of this letter within the specified time the matter will be forwarded to the Office Solicitor for prosecution.

Yours faithfully

Russell Mulligan  
**ENFORCEMENT OFFICER**  
**ENVIRONMENTAL MONITORING SECTION****INFORMATION NOTES:**

- In some areas, where the water table is high or may be of concern, it may be necessary to take precautionary measures before emptying water from an in-ground pool.
- You should also be aware that the Building Act requires that a barrier must be provided where persons could fall 1 metre or more.

|                                                                                                                                        |                                                                                                                                                                  |            |
|----------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------|
| <br><b>CHRISTCHURCH</b><br>CITY COUNCIL - ENVIRONMENT | <b>CHRISTCHURCH CITY COUNCIL</b><br><b>Environmental Services Unit</b><br><br><b>INSPECTION REPORT</b><br>Fencing Of Swimming Pools Act 1987 & Building Act 1991 | <b>SP9</b> |
|----------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------|

**TO: Name:** MR. MRS JH. ASSCROFT  
**Address:** SC GILMORE PLACE  
**Location of Pool if different from above:** .....  
 .....

Your property at the above address was inspected by an Officer of the Christchurch City Council pursuant to Section 11 of the Fencing of Swimming Pools Act 1987 at the following time and date: Time: 11.10  
 Date: 8-11-02

This inspection was for the purpose of checking for compliance with the Building Act 1991 and/or the Fencing of Swimming Pools Act 1987.

| Pools                                                                                                                                                                                                                                                                                                                                                                                   | Yes                   | No                               | Fence                                                                                                                                                                                                                                                                                                                                                                                                                      | Yes                   | No                               |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------|----------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------|----------------------------------|
| Are there other pools/spa pools on the property – if yes, complete a separate sheet for each pool                                                                                                                                                                                                                                                                                       | <input type="radio"/> | <input type="radio"/>            | <ul style="list-style-type: none"> <li>1.2m high from outside ground level and permanent fixtures</li> <li>900mm minimum between horizontal rails</li> <li>Gaps under fence less than 100mm</li> <li>Mesh size no more than 10mm – 1.2m high</li> <li>Mesh size no more than 50mm – 1.8m high</li> <li>Mesh firmly attached top and bottom</li> <li>Picket fence gaps no wider than 100mm (50mm in some cases).</li> </ul> | <input type="radio"/> | <input checked="" type="radio"/> |
| <b>Pool Location</b><br>Is the Pool wholly enclosed within a building not specifically used for the pool purpose? (if yes, the pool needn't comply with the Fencing of Swimming Pools Act).                                                                                                                                                                                             | <input type="radio"/> | <input type="radio"/>            |                                                                                                                                                                                                                                                                                                                                                                                                                            | <input type="radio"/> | <input checked="" type="radio"/> |
| <b>Immediate Pool Area</b><br>Should only contain items used for pool activities, ie, patio furniture, pool equipment etc                                                                                                                                                                                                                                                               | <input type="radio"/> | <input checked="" type="radio"/> |                                                                                                                                                                                                                                                                                                                                                                                                                            | <input type="radio"/> | <input checked="" type="radio"/> |
| <b>Hinged doors giving access to pool area</b> <ul style="list-style-type: none"> <li>Closes and latches automatically when stationary and released 150mm from closed position</li> <li>Latch/handle minimum of 1.5m from the floor</li> <li>Stickers displayed (available from Christchurch City Council)</li> <li>Hold-open devices fitted</li> <li>To open away from pool</li> </ul> | <input type="radio"/> | <input checked="" type="radio"/> | <b>Gates</b> <ul style="list-style-type: none"> <li>Latch on outside of gate, to be 1.5m high</li> <li>Latch on pool side, access from over the top of the fence to be 1.2m high</li> <li>To open away from pool</li> <li>Remains latched when pulled both up and down</li> <li>Closes and latches automatically when stationary and released 150mm from closed position</li> </ul>                                        | <input type="radio"/> | <input checked="" type="radio"/> |
| <b>Sliding doors/bifolds giving access to pool area</b> <ul style="list-style-type: none"> <li>Latch, tower bolt, or security lock at a minimum of 1.5m from the ground</li> <li>Stickers displayed (available from Christchurch City Council)</li> </ul>                                                                                                                               | <input type="radio"/> | <input checked="" type="radio"/> | <b>Para type pools</b> <ul style="list-style-type: none"> <li>Sides to be 1.2m minimum from ground level</li> <li>Smooth vertical sides</li> <li>No climb points, or external fixtures</li> <li>Ladder to be removable</li> </ul>                                                                                                                                                                                          | <input type="radio"/> | <input checked="" type="radio"/> |
| <b>Windows below 1.2m giving access to pool area</b> <ul style="list-style-type: none"> <li>Restrictor to prevent it opening more than 100mm</li> </ul>                                                                                                                                                                                                                                 | <input type="radio"/> | <input checked="" type="radio"/> | <b>Pool status</b><br>If any of the shaded circles <input checked="" type="radio"/> have been ticked – the pool is non-compliant and <b>MUST BE DRAINED IMMEDIATELY</b><br><br><b>Important: See information notes overleaf.</b>                                                                                                                                                                                           |                       |                                  |

**General Comments:** .....  
 .....  
 .....

Please refer to the "Means of Compliance" overleaf for more details.

|                                                              |                              |
|--------------------------------------------------------------|------------------------------|
| <b>Council Officer:</b><br>(Print name) <u>DMSC MULLIGAN</u> | <b>Contact Phone Number:</b> |
| <b>Received by Property Occupant:</b>                        |                              |

**Schedule**  
**[Sections 13B, 13C Fencing of Swimming Pools Act 1987]**  
**Means Of Compliance For Fences Under This Act**

**HEIGHT**

1. (1) The fence shall extend—
  - (a) At least 1.2 metres above the ground on the outside of the fence; and
  - (b) At least 1.2 metres above any permanent projection from or object permanently placed on the ground outside and within 1.2 metres of the fence.
- (2) Notwithstanding subclause (1) of this clause, where the fence is constructed of perforated material, netting, or mesh and any opening in the material, netting, or mesh has a dimension (other than the circumference or perimeter) greater than 10 mm, the fence shall extend at least 1.8 metres above the ground or the projection or object.

**GROUND CLEARANCE**

2. Any clearance between the bottom of the fence and ground level shall not exceed 100 mm.

**MATERIALS**

3. All materials and components shall be of a durable nature and shall be erected so as to inhibit [any child under the age of 6 years] from climbing over or crawling under the fence from the outside.
4. Except where the fence is horizontally close-boarded [or is made of perforated material, netting, or mesh], the spacing between adjacent vertical pales, panels, or other posts shall not exceed 100 mm at any point.
5. [All fencing supports, rails, rods, and wires, that are not vertical, and all bracing that is not vertical, shall be inaccessible for use for climbing from the outside.]
- 5A. [Notwithstanding clause 5 of this Schedule, a fence may have horizontal supports, rails, rods, or wires, that are accessible for use for climbing from the outside, and horizontal bracing that is accessible for such use, if—
  - (a) The distance between any 2 of them at any point is at least 900 mm; and
  - (b) There is no other support, rail, rod, wire, or bracing (other than a vertical rail) between the same 2 at any point.]
6. Where any perforated material, netting, or mesh is used, no opening in that material, netting, or mesh shall have any dimension (other than the circumference or perimeter) greater than 50 mm.
7. All perforated material, netting, or mesh material shall be firmly attached at both top and bottom to a rail, pipe, or similar firm structure, or otherwise be of such a nature that the fence cannot readily be crossed by children under the age of 6 years.

**GATES AND DOORS**

8. Every gate or door shall be so constructed as to comply with the relevant requirements of clauses 1 to 7 of this Schedule, and shall be so mounted that—
  - (a) It cannot open inwards towards the immediate pool area;
  - (b) It is clear of any obstruction that could hold the gate or door open and no other means of holding the gate or door open is provided;
  - (c) When lifted up or pulled down the gate or door does not release the latching device, come off its hinges, or provide a ground clearance greater than 100 mm.

**OPERATION OF GATES AND DOORS**

9. (1) Every gate or door shall be fitted with a latching device.
  - (2) Where the latching device is accessible from the outside of the fence only by reaching over the fence, gate, or door or through a hole in the fence, gate, or door, the latching device and the lowest point of any hole giving access to it shall be at least 1.2 metres above the ground on the outside of the fence.
  - (3) Where the latching device is otherwise accessible from the outside of the fence, gate, or door, the latching device shall be at least 1.5 metres above the ground on the outside of the fence.
10. Every gate or door shall be fitted with a device that will automatically return the gate or door to the closed position and operate the latching device when the gate or door is stationary and 150 mm from the closed and secured position.

**DOORS IN WALLS OF BUILDINGS**

11. Where any building forms part of a fence and the pool is not contained within the building, any door that gives access to the immediate pool area need not comply with the requirements for gates or doors set out in clauses 8 to 10 of this Schedule to the extent (if any) that the territorial authority is satisfied that such compliance is impossible, unreasonable, or in breach of any other Act, regulation, or bylaw, and the door is fitted with a locking device that, when properly operated, prevents the door from being readily opened by children under the age of 6 years.

**INFORMATION NOTES:      EMPTY POOLS**

In some areas, where the water table is high or may be of concern, it may be necessary to take precautionary measures before emptying water from an in-ground pool.

If the empty pool is 1 metre or more you should also be aware that the Building Act requires that a barrier must be provided where persons could fall 1 metre or more.

5C Gilmore Place  
Christchurch

3 December 02

Russell Mulligan  
Enforcement Officer  
Environmental Monitoring Section  
Christchurch City Council

Dear Sir

Fencing of Pool at 5C Gilmore Place

A fillet has been fitted as per your letter of 26/2/02 making the fence around the pool compliant with the Fencing of Swimming Pools Act 1987.

Yours faithfully

C Ascroft

C. L. ASCROFT (MS)



# CHRISTCHURCH CITY COUNCIL Environmental Services Unit

# SP9

## INSPECTION REPORT

Fencing Of Swimming Pools Act 1987 & Building Act 1991

TO: Name: MR AND MRS J H ASCROFT

Address: 5 C GILMORE PLACE

Location of Pool if different from above: .....

Your property at the above address was inspected by an Officer of the Christchurch City Council pursuant to Section 11 of the Fencing of Swimming Pools Act 1987 at the following time and date: Time: 3:00  
Date: 9-12-02

This inspection was for the purpose of checking for compliance with the Building Act 1991 and/or the Fencing of Swimming Pools Act 1987.

| Pools                                                                                                                                                                                                                                                                                                                                                                                   | Yes                   | No                               | Fence                                                                                                                                                                                                                                                                                                                                                                               | Yes                   | No                               |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------|----------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------|----------------------------------|
| Are there other pools/spa pools on the property – if yes, complete a separate sheet for each pool                                                                                                                                                                                                                                                                                       | <input type="radio"/> | <input type="radio"/>            | <ul style="list-style-type: none"> <li>1.2m high from outside ground level and permanent fixtures</li> </ul>                                                                                                                                                                                                                                                                        | <input type="radio"/> | <input checked="" type="radio"/> |
| <b>Pool Location</b><br>Is the Pool wholly enclosed within a building not specifically used for the pool purpose? (if yes, the pool needn't comply with the Fencing of Swimming Pools Act).                                                                                                                                                                                             | <input type="radio"/> | <input type="radio"/>            | <ul style="list-style-type: none"> <li>900mm minimum between horizontal rails</li> </ul>                                                                                                                                                                                                                                                                                            | <input type="radio"/> | <input checked="" type="radio"/> |
| <b>Immediate Pool Area</b><br>Should only contain items used for pool activities, ie, patio furniture, pool equipment etc                                                                                                                                                                                                                                                               | <input type="radio"/> | <input checked="" type="radio"/> | <ul style="list-style-type: none"> <li>Gaps under fence less than 100mm</li> <li>Mesh size no more than 10mm – 1.2m high</li> <li>Mesh size no more than 50mm – 1.8m high</li> <li>Mesh firmly attached top and bottom</li> <li>Picket fence gaps no wider than 100mm (50mm in some cases)</li> </ul>                                                                               | <input type="radio"/> | <input checked="" type="radio"/> |
| <b>Hinged doors giving access to pool area</b> <ul style="list-style-type: none"> <li>Closes and latches automatically when stationary and released 150mm from closed position</li> <li>Latch/handle minimum of 1.5m from the floor</li> <li>Stickers displayed (available from Christchurch City Council)</li> <li>Hold-open devices fitted</li> <li>To open away from pool</li> </ul> | <input type="radio"/> | <input checked="" type="radio"/> | <b>Gates</b> <ul style="list-style-type: none"> <li>Latch on outside of gate, to be 1.5m high</li> <li>Latch on pool side, access from over the top of the fence to be 1.2m high</li> <li>To open away from pool</li> <li>Remains latched when pulled both up and down</li> <li>Closes and latches automatically when stationary and released 150mm from closed position</li> </ul> | <input type="radio"/> | <input checked="" type="radio"/> |
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General Comments: COMPLIES

THANKS

Please refer to the "Means of Compliance" overleaf for more details.

Council Officer:

(Print name) RUSS MULLIGAN

Contact Phone Number:

Received by Property Occupant:

**Schedule**  
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  - (b) It is clear of any obstruction that could hold the gate or door open and no other means of holding the gate or door open is provided;
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  - (3) Where the latching device is otherwise accessible from the outside of the fence, gate, or door, the latching device shall be at least 1.5 metres above the ground on the outside of the fence.
10. Every gate or door shall be fitted with a device that will automatically return the gate or door to the closed position and operate the latching device when the gate or door is stationary and 150 mm from the closed and secured position.

**DOORS IN WALLS OF BUILDINGS**

11. Where any building forms part of a fence and the pool is not contained within the building, any door that gives access to the immediate pool area need not comply with the requirements for gates or doors set out in clauses 8 to 10 of this Schedule to the extent (if any) that the territorial authority is satisfied that such compliance is impossible, unreasonable, or in breach of any other Act, regulation, or bylaw, and the door is fitted with a locking device that, when properly operated, prevents the door from being readily opened by children under the age of 6 years.

**INFORMATION NOTES:      EMPTY POOLS**

In some areas, where the water table is high or may be of concern, it may be necessary to take precautionary measures before emptying water from an in-ground pool.

If the empty pool is 1 metre or more you should also be aware that the Building Act requires that a barrier must be provided where persons could fall 1 metre or more.