

Land Information Memorandum



Caroline SILK
PO Box 1
OAKURA 4345

Land Information Memorandum

LIM25/116737

Local Government Official Information and Meetings Act 1987

APPLICATION DETAILS

APPLICANT

Caroline Ann SILK

APPLICATION RECEIVED

6 October 2025

LIM ISSUED

17 October 2025

LEGAL DESCRIPTION

Lot 2 DP 457540

PROPERTY DETAILS

STREET ADDRESS

274 Weld Road Lower
Tataraimaka
NEW PLYMOUTH 4374

PROPERTY ID

110952

LAND ID

110326

Disclaimer

This Land Information Memorandum (**LIM**) has been prepared for the applicant for the purpose of sections 44A, 44B, 44C, and 44D of the Local Government Official Information and Meetings Act 1987 (**LGOIMA**).

The LIM includes information which must be included pursuant to section 44A to 44D of LGOIMA, or that the Council, at its discretion, considered appropriate to include. The information is also considered by the Council to be relevant and reliable.

This LIM does not include other information:

- Held by the Council that is not required to be included;
- Relating to the land which is unknown to the Council; or
- Held by any other organisation which also hold land information (e.g. Waka Kotahi NZ Transport Agency).

The Council has not carried out an inspection of the land and/or buildings for the purpose of preparing this LIM. The Council records also may not show illegal or unauthorised building or works on the land.

The applicant is solely responsible for ensuring that the land or any building on the land is suitable for a particular purpose and for sourcing other information held by the Council or other organisations. In addition, the applicant should check the Record of Title for the property as it might also contain obligations relating to the land.

The text and attachments of this document should be considered together, and the LIM is valid as at the date of issue only.

The Council does not provide interpretation or advice on how to interpret or utilise this information. If this is required, the applicant should seek appropriate and independent professional advice.

The Council records can be incomplete in some instances. This occurs frequently in the case of building and drainage records for Inglewood and Waitara, and Council officers may be able to offer advice or assistance in such cases.

Section 44A(2)(a) – Information about natural hazards that is required by section 44B

This information should not be regarded as a full analysis of the natural hazards that may affect this land, as there may be natural hazards that the Council is unaware, and has no knowledge, of. The applicant is solely responsible for ensuring that the land is suitable for a particular purpose, including development.

Section 44B Natural hazard information

Natural Hazards that may affect the land:

New Plymouth District Council (NPDC) holds information on potential natural hazards, which can be found on the Council website Natural Hazards page at [Natural Hazards](#).

Taranaki Regional Council (TRC) holds information on potential natural hazards, which can be found on the TRC website at [Natural hazards / Taranaki Regional Council](#). This is Taranaki regional-wide information that is general in nature and is not intended to describe natural hazard vulnerability at an individual property scale.

Taranaki Emergency Management Office (TEMO) holds information on regional natural hazards called Know Your Risks. This can be found on the TEMO website at [Taranaki Emergency Management | Civil Defence](#). The information covers Storms and Cyclones, Volcanic Activity, Drought, Tsunami, Flooding, Earthquakes, Infrastructure Failures and Other Hazards. This is Taranaki regional-wide information that is general in nature and is not intended to describe natural hazard vulnerability at an individual property scale.

Earthquake

Taranaki Regional Council commissioned a report from GNS Science which summarises earthquake occurrence and ground deformation in Taranaki for the period 1 July 2016 to 30 June 2017. The report is called Taranaki Seismic and Ground Deformation Monitoring: July 2016 to June 2017 and is available on the TRC website [Natural hazards / Taranaki Regional Council](#).

Erosion

Council does not hold any specific information regarding erosion hazards for this property.

Flooding

Various reports on natural hazards and possible/probable climate change impacts have been commissioned by NPDC over preceding years. The information in this LIM reflects a point in time and is based on the data available to NPDC when the report was prepared. Flooding hazard information is continually updated as new data becomes available, and maps are revised accordingly.

The absence of flooding on maps does not exclude the possibility of the site flooding, particularly from Overland Flow Paths which may be on other properties.

Further information on stormwater flooding hazards can be viewed on the NPDC website here [Stormwater flood hazard viewer](#).

Landslip, Subsidence

Council does not hold any specific information regarding landslip/subsidence for this property.

Liquefaction

New Plymouth District Council (NPDC) holds indicative information on liquefaction hazard for the New Plymouth District, which can be found on the NPDC website at [Liquefaction](#).

NPDC commissioned Tonkin and Taylor Ltd to undertake a New Plymouth district-wide liquefaction vulnerability assessment. The report provides a district-wide liquefaction vulnerability assessment to identify areas of land possibly susceptible to liquefaction and is general in nature and not intended to describe liquefaction vulnerability at an individual property scale. NPDC may require site-specific investigations before granting future subdivision or building consents for the property.

The report is called New Plymouth District Liquefaction Vulnerability Assessment, dated October 2021 and is available on the NPDC website [Liquefaction Vulnerability Assessment Report](#).

A flow chart showing “Simplified liquefaction vulnerability flow diagram for New Plymouth District can be found on the NPDC website at [Liquefaction](#).

In May 2012 the four local authorities in Taranaki engaged GNS Science to undertake an assessment of the liquefaction hazard in the Taranaki Region. A copy of the report dated April 2013 is available on the Taranaki Regional Council website - Natural Hazards page [Natural hazards / Taranaki Regional Council](#).

Sedimentation (includes dust)

Council does not hold any specific information regarding sedimentation hazards for this property.

Tsunami

This property is not located within a designated tsunami evacuation zone as identified by Taranaki Civil Defence Emergency Management [Tsunami Zones | Taranaki Emergency Management](#).

Volcanic and geothermal activity

The Taranaki region is subject to inherent volcanic hazards due to the presence of Taranaki Maunga/Mt Taranaki, an active but currently dormant volcano. While the likelihood of an eruption in any given year is low, the potential impacts are significant. Property owners and prospective purchasers should be aware of this risk and refer to official sources such as GNS Science and Civil Defence for further information on volcanic hazards and preparedness.

Taranaki Emergency Management commissioned a report from GNS Science which gives an overview of key information needed to effectively manage volcanic hazards in Taranaki. The report is called Volcanic Hazards Management at Taranaki Volcano: Information source book and is dated October 2011 and is available on the TRC website [Natural hazards / Taranaki Regional Council](#).

Taranaki Regional Council (TRC) holds information on potential natural hazards, which can be found on the TRC website at [Natural hazards / Taranaki Regional Council](#). This is Taranaki regional-wide information that is general in nature and is not intended to describe natural hazard vulnerability at an individual property scale.

Wind, Drought, Fire

Council does not hold any specific information regarding wind, drought, or wildfire hazards for this property.

Section 44A(2)(aa) – Information on about other special features or characteristics of the land concerned, including information about the likely presence of hazardous contaminants

This information should not be regarded as a full analysis of the site features of this land, as there may be features that the Council is unaware, and has no knowledge of. The applicant is solely responsible for ensuring that the land is suitable for a particular purpose, including development.

Consent Notice

Consent Notice issued 17 September 2012. A copy is **attached**.

Engineers Report

See B.A.C Services report dated 8 December 2005, prepared for subdivision purposes.

Streams/Watercourses

NPDC records indicate there may be a waterbody (watercourse, streams or rivers) within, adjoining or in the vicinity of the property.

The Council holds no known records regarding previous instances of flooding or erosion affecting the land. However, the possibility of past flooding or erosion cannot be discounted. The land owner, neighbouring landowners or the Taranaki Regional Council may be able to provide information in this regard. Please contact the Taranaki Regional Council on 0800 736 222 or [Home / Taranaki Regional Council](#) if you require further detail.

Section 44A(2)(b) – Information on private and public stormwater and sewerage drains

This includes private and public stormwater and sewerage drains, and sewer and water services.

A copy (or copies) of the Council's records relating to drains within the property are **attached**. The Council recommends that the applicant also obtains and reviews the record of title and deposited plan for the property to verify the existence or absence of easements.

Note: Private drainage is the responsibility of the landowner up to, and including, the point of connection to the public sewer or drain.

Sewerage disposal is by septic tank as the property is outside of the areas served by Council's sewerage reticulation systems.

Onsite Wastewater Disposal System

This property utilises an onsite waste water disposal system or septic tank. These systems require ongoing care and regular maintenance to avoid their premature failure.

In normal circumstances the tank will require cleaning approximately once every three years.

A publication has been produced in conjunction with the Taranaki Regional, Stratford and South Taranaki District Councils. The aim of this publication is to raise awareness of how these systems work, common causes of failure and information on how to extend your systems working life.

The final section of this booklet provides a space for a location plan and a record of desludging and other required work. It is recommended you check with the vendor of the property to obtain this information if available.

Section 44A(2)(bb) – Information that the Council holds regarding drinking water supply to the land

The property is outside of the areas served by Council's water reticulation system.

Private Water Supply

Water is or will need to be from own sources e.g. tank.

Council records show the property is affected by the following reticulation easement:

Water, as shown on Record of Title (ROT) 593391.

Any exemption that has been notified by Taumata Arowai to the territorial authority under section 57 of the Water Services Act 2021

No such exemptions are known to Council.

Section 44A(2)(c) – Information relating to any rates owing in relation to the land

Please refer to the **attached** information sheet for rates details which include, where applicable, any water metering account details and New Plymouth District Council lease details.

Section 44A(2)(d) – Consents, certificates, notices, orders or requisitions affecting the land or any buildings on the land previously issued by New Plymouth District Council; and Section 44(2)(da) – Information required to be provided to a territorial authority under section 362T(2) of the Building Act 2004

Consents, certificates, notices, orders, licenses or requisitions including the compliance of swimming pools, relating to the property that have either been formally notified to, or issued by the New Plymouth District Council, including information notified by any statutory organisation having the power to classify land or buildings and the notified requirements of network utility operators.

Building Consents, Permits, Certificates and Compliance Schedules:

Application Number	Month/Year Received	Description
BC06/88539	December 2006	Dwelling. The code compliance certificate for the work was issued on 21 January 2008.
BC08/101241	March 2008	Smartsteel garage. The code compliance certificate for the work was issued on 24 November 2008.
BC09/107881	August 2009	Pole type storage shed. The code compliance certificate for the work was issued on 12 November 2009.
BC10/109477	April 2010	Firenze Contessa RU free standing fire. The code compliance certificate for the work was issued on 29 July 2010.
BC21/128675	June 2021	Relocated two bedroom dwelling with woodfire. The code compliance certificate for the work was issued on 15 June 2022.

Please note that prior to the Building Act 1991, councils were not required to maintain full records of building permits issued under the earlier building legislation and certificate of compliance did not exist. While the Council has always endeavoured to maintain full records of pre-Building Act 1991 matters, not all records for this period have survived and in other cases where building work is documented, information may be incomplete. The Council does not accept responsibility for any omission.

Swimming/Spa Pool Barriers

The Council has no record of a swimming pool or spa pool being registered on this property. All swimming pools and spa pools must have a barrier that complies with the Building (Pools) Amendment Act 2016.

Resource Management

Planning/Resource Consents

Resource Consent No. LUC08/44435 to construct a shed within the required setback from the side boundary was granted on 12 March 2008.

Resource Consent No. LUC09/45024 for a Pole type storage shed to be 1.5m from the side boundary rule not being met Rur17, was granted on 15 September 2009.

The applicant should satisfy themselves as to whether all conditions of resource consents for this property have been met.

If the land is part of a cross lease title or unit title, consents and permits for the other flats or units may be included in this LIM. If the land has been subdivided there may be consents and permits included that relate to the original property.

It is recommended that the full property file is viewed and compared with the actual building and activities on the land to identify any illegal or unauthorised building works or activities.

Licences

There are no current licences recorded for this property.

Other notices, orders or requisitions

This property is subject to the following orders or requisitions:

Consents, certificates, notices, orders or requisitions issued by other persons or bodies and that are known to New Plymouth District Council:

The Council is not aware of any other consents, certificates, notices, orders or requisitions issued by other persons or bodies.

Financial and / or Development Contributions

Financial and development contributions are relevant for recently subdivided land, vacant lots, new residential unit(s) or where there is further development of a site. If any financial or development contribution has not been paid, the Council can recover outstanding amount(s) from a subsequent owner of the land.

Section 44A(2)(e) – Information concerning any Certificate issued by a Building Certifier pursuant to the Building Act 1991 or the Building Act 2004

No information known to the Council.

Section 44A(2)(ea) – Information notified under Section 124 of the Weathertight Homes Resolution Services Act 2006

The Council has not been notified of any information under section 124 of the Weathertight Homes Resolution Services Act 2006 relating to this property.

Section 44A(2)(f) – Information relating to the use to which the land may be put and any conditions attached to that use

Purchasers or those intending to develop the land should satisfy themselves that the land is suitable for any intended use or future development proposal. In addition to any site specific limitations recorded below, general restrictions that apply across the district may be relevant to the development of this property.

The New Plymouth District Council is currently working with two sets of district plan provisions. The Operative New Plymouth District Plan 2005 and the Part Operative District Plan 2025.

Generally, resource consent applications will be assessed under the Part Operative District Plan 2025. If sections of that plan that are relevant to the application are still under appeal, it may be necessary to also consider the relevant parts of the Operative District Plan 2005.

Parts of the plan that are under appeal are annotated with a red border and a red exclamation mark icon to the right-hand side of the provision.

Please note that the provisions and features identified and annotated as subject to appeal have been derived from the appeals that were filed with the Environment Court and Council's current understanding of the potential scope of relief sought.

To view all rules in the Operative District Plan 2005 please refer to:

[Operative District Plan 2005 \(npdc.govt.nz\)](https://www.npdc.govt.nz/Operative-District-Plan-2005)

To view all rules in the Part Operative District Plan 2025 please refer to:

[Part Operative District Plan 2025 \(npdc.govt.nz\)](https://www.npdc.govt.nz/Part-Operative-District-Plan-2025)

Zoning Details

The property is located within the Rural Production Zone under the Part Operative District Plan 2025.

It is recommended that you also check the zoning of adjacent properties in the area.

The status of any existing or proposed activities may be determined with reference to the District Plan and any planning or resource consents that may apply.

Some rules are affected by uses and features on neighbouring or surrounding land, and it is recommended that you review the Operative District Plan and the Part Operative District Plan 2025 in detail or seek independent professional advice.

Designations or Notations

Designations or notations applying to the property shown on the Part Operative District Plan 2025 are:

Goat Control Area

The property is located within a Goat Control Area. Rules apply that control the keeping of goats within the Goat Control Area. For further details regarding the Goat Control Area, please refer to the Part Operative District Plan 2025.

Waterbodies

All or part of the property adjoins a waterbody. For further details and rules regarding waterbodies please refer to the Part Operative District Plan 2025.

Section 44A(2)(g) – Information regarding the land which has been notified to Council by another statutory organisation having the power to classify land or buildings for any purpose

No information known to the Council.

Section 44A(2)(h) – Information regarding the land which has been notified to Council by any network utility operator pursuant to the Building Act 1991 or Building Act 2004

No information known to the Council.

Property Pre-purchase advice

The structural condition of buildings not recently constructed and the compliance of electrical wiring and other on-site utilities may be checked by appropriately qualified people.

It is recommended that you ask the vendor if they have given their written approval as an affected party, to resource consent for any project that could affect the property in the future.

For buildings on cross-lease titles please check that all of the buildings that you intend to purchase are included in the cross-lease plan.

Correspondence or agreements within Council records regarding encroachments will be included in the LIM. Prospective purchasers will need to take their own steps to confirm that land occupied by the property is within the legal site boundaries. In some cases it may be necessary to engage a registered surveyor. Please note that the property boundaries superimposed on the aerial photograph are indicative only.

The Council, and in the case of state highways, Waka Kotahi NZ Transport Agency control the location, use and standard of vehicle crossings and access onto roads. If you have concerns regarding these matters please contact the Council.

Section 44A(3) – Discretionary information

This information is provided at the discretion of New Plymouth District Council and is in addition to the mandatory information above.

Aerial Photo

See **attached** aerial photo of the property. Indicative boundaries are superimposed on the photograph. While these boundaries are approximate, they indicate that private planting from the property may occupy road reserve. Please carry out your own checks to verify.

Further information regarding encroachments onto road reserve can be found in the NPDC Policy for Encroachments onto road reserve: [Encroachments on Road Reserve Policy](#)

Enquiries regarding this LIM

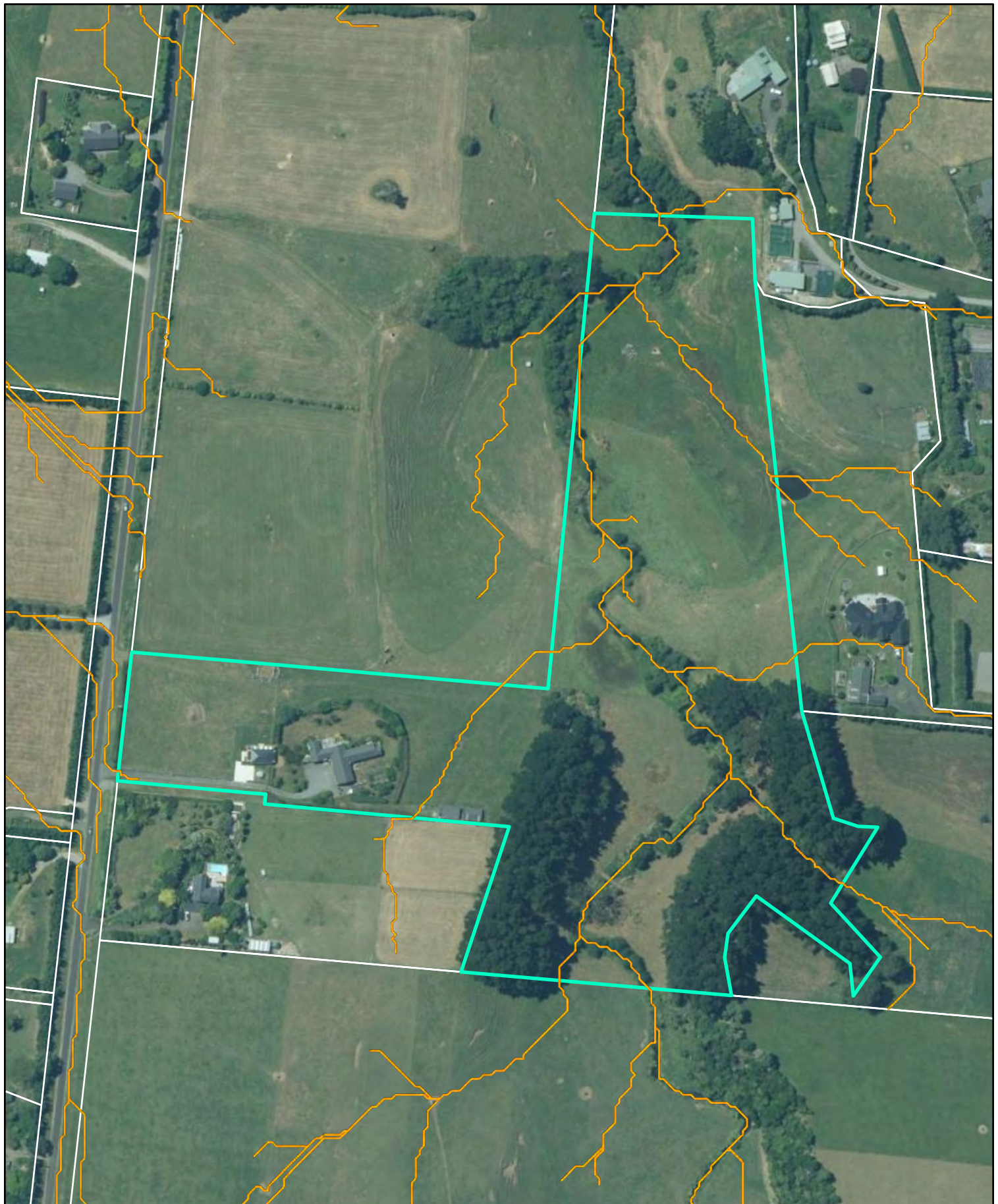
This LIM has been compiled with information provided by several Council teams. If you have any queries regarding the contents of this LIM please contact us on 06-759 6060 or email enquiries@npdc.govt.nz



LIM information divider



NPDC



COPYRIGHT: Cadastral information sourced from Land Information New Zealand data. Crown Copyright Reserved.

DISCLAIMER: NPDC assumes no responsibility or liability for the completeness or accuracy of the data displayed on this plot. To be used for indicative purposes only.

 Stormwater Flooding Area
  Overland Flow Path Moderate Flood Event
  Overland Flow Path Significant Flood Event



Te Kaunihera-ā-Rohe o Ngāmotu
New Plymouth District Council

Stormwater Flooding Area, Overland Flow Path
 Moderate Flood Event, Overland Flow Path Significant Flood Event
 274 Weld Road Lower, TATARAIMAKA, NEW PLYMOUTH

Created: 17/10/2025

For more details, please refer to the New Plymouth District Council's [website](#).



1:2,500 (A4)



LIM information divider



NPDC

**CONSENT NOTICE PURSUANT TO SECTION 221
OF THE RESOURCE MANAGEMENT ACT 1991**

IN THE MATTER of Lot 1 DP 365221
and Lot 2 DP 21063

AND

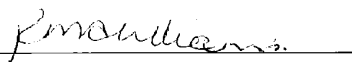
IN THE MATTER of Subdivision
Consent pursuant to Sections 105, 108,
220 and 221 of the Resource
Management Act 1991

Pursuant to Section 221 of the Resource Management Act 1991 the New Plymouth District Council by resolution passed under delegated authority on 1 August 2012 imposed the following condition on the consent for subdivision of Lot 1 DP 365221 and Lot 2 DP 21063 being LT 457540

'That no habitable building shall be located within the area marked 'Z' on Lot 2.'

DATED at New Plymouth this 17th day of September 2012

Signed by the said
ROWAN MARGARET ANNE WILLIAMS)
Authorised Officer)
of the New Plymouth District Council)



Document Number:1350705
Property ID: 96871
Resource Consent: SUB12/45850.01



LIM information divider



NPDC

Job No:581

8 December 2005
Mr R Dyson
300a Mangorei Road
NEW PLYMOUTH

— Dear-Sir —

FOUNDATION INVESTIGATION ON LOT 2 DP 310142, LOWER WELD ROAD, OAKURA.

1.0 Introduction

This report addresses the engineering issues of effluent, stormwater and building platform for the above property.

We have prepared a Site Plan No.581/01 which shows the general topography, soil test locations, possible building platform, and possible absorption field areas.

Our inspection of the site and surrounding terrain on 6th December 2005 indicates the land has been used for dairy farming purposes in recent years.

Lot 2 has an area of 3.6624Ha and is situated on the eastern side of Weld Road. The property is essentially flat to gentle rolling pasture in it's western sector, where the proposed building platform is to be located.

Our sub soil tests taken on the Lot shows subsoil conditions to be consistent. At all four test holes there was 250mm of brown topsoil over friable, undisturbed, firm natural orangey/brown volcanic ash.

The 4 holes were hand augured to 1.3 metres and probed to 1.5 metres. No hard pan surface or groundwater was encountered. Shear vane readings between 4Kgs and 7Kgs were recorded at depths of 0.4m and 0.8m at all test holes. This equates to an allowable bearing pressure of between 160 and 280KPa. A scala penetrometer test was taken at hole#1 and this gave consistent rates of 2 blows per 100mm down to a depth of 1.0m. These results indicate CBR values of above 3.5 percent.

The Lot has sufficient areas within its boundaries suitable for the construction of effluent absorption fields as outlined below. The site also north facing and exposed to all of the prevailing winds which will be beneficial for the evapo-transpiration of any effluent field.

1.0 Effluent Design

1.1 Evaluation

Our evaluation and preliminary design for wastewater from a proposed dwelling is in accordance with AS/NZS 1547:2000 "On-Site Domestic Wastewater Management".

Soil – volcanic ash

DLR = 15mm/day

Water supply – Roof Stormwater (*)

Occupancy Option	ONE	TWO
Bedrooms	1-3	4-5
Number of Persons	5	7
Flow (litres/day) @ 140 pp (*)	700	980
Septic Tank Size (litres)	3000	3500
Absorption Bed Area (m ²)	47	65
Evaporation Trench Options		
A. Conventional Trench		
600W x 400D; W = 0.6m	L = 78m (4 x 20m)	L = 108m (6 x 18m)
B. Conventional Beds		
(i) 2000W x 600D; W = 2.0m	L = 24m (2 x 12m)	L = 33m (2 x 16m)
(ii) 4000W x 600D; W = 4.0m	L = 12m	L = 16m

1.2 General Notes:

- (i) Multiple trenches or beds require a minimum 1.0m between adjacent sidewalls.
- (ii) Bottom area of trench only used in absorption area assessment.
- (iii) Base and sides of trenches and beds shall be intentionally roughened under dry conditions to expose optimum soil structure.
- (iv) Garbage sink grinders are not included in the design.
- (v) The septic tank shall be constructed with a proprietary biofilter on the outlet.
- (vi) Where insufficient fall exists to permit gravity run pipework to the absorption field the effluent shall be pumped out to the field from a chamber located after the septic tank.
- (vii) The tabulated trench proportions (sizes) may only be varied with prior approval.
- (viii) Absorption fields shall be located 3m away from the house and soakholes and 1.5m from adjacent property boundaries.
- (ix) Absorption fields shall be laid out in an area set aside for lawn or pasture and not gardens. Provide a distribution box downstream of the septic tank outlet to allow alternate trenches or beds to be 'rested' where applicable. Provide inspection/flushing points at both ends of pipe/arch runs in the absorption field.

(x) All absorption fields shall be located at least 25m away from any watercourse, wetland areas or cliff top and at least 50 m from any well or bore.

(xi) The above absorption areas should be increased by $(\frac{180}{140})$ or 30% if the on-site water supply is changed to a bore or municipal water supply in the future.

This report relies on proper use and maintenance of the final system chosen for advising filter types and replacement times, frequency for cleaning the septic tanks, pump type and expected servicing requirements and replacement times and distribution requirements for the absorption field.

The site has reserve areas for absorption beds or trenches should the system capacity be expanded in the future or the beds lose their function.

This effluent evaluation is based on the prevailing soil conditions found at the test locations shown on the Site Plan. The actual ground conditions encountered in the disposal field during construction shall be verified as similar to the conditions given in this report. Any variations in conditions that could affect the performance of the effluent system should be re-evaluated by a suitably qualified person.

The final layout and location of septic tank and absorption field should be made by the plumber at time of installation.

2.0 Stormwater

Roof stormwater should be piped to water tanks for domestic water supply with any overflow piped to soakholes located well away from the absorption field.

3.0 Building Platform

The Lot has an excellent flood free building platform as indicated on our Site Plan 581/01 that will be suitable for the construction of conventional residential building having foundations into the original, natural volcanic ash subsoils.

We trust this provides the necessary engineering information and if you have any questions relating to the above please do not hesitate to contact the undersigned.

Yours faithfully
BAC SERVICES
per:

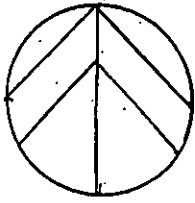


B A Cleaver

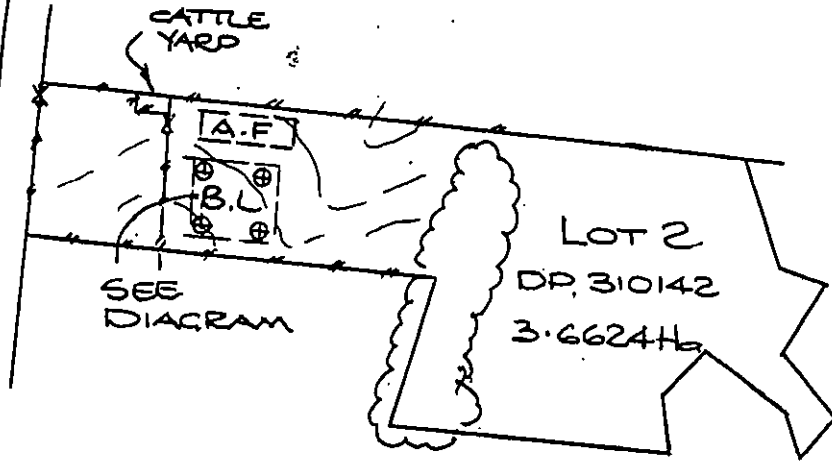
Enclosures:

- Site Plan No. 581/01
- Effluent Trench and Bed Details: 582/02

19 APR 2007



WELD ROAD



PLAN 1:3500

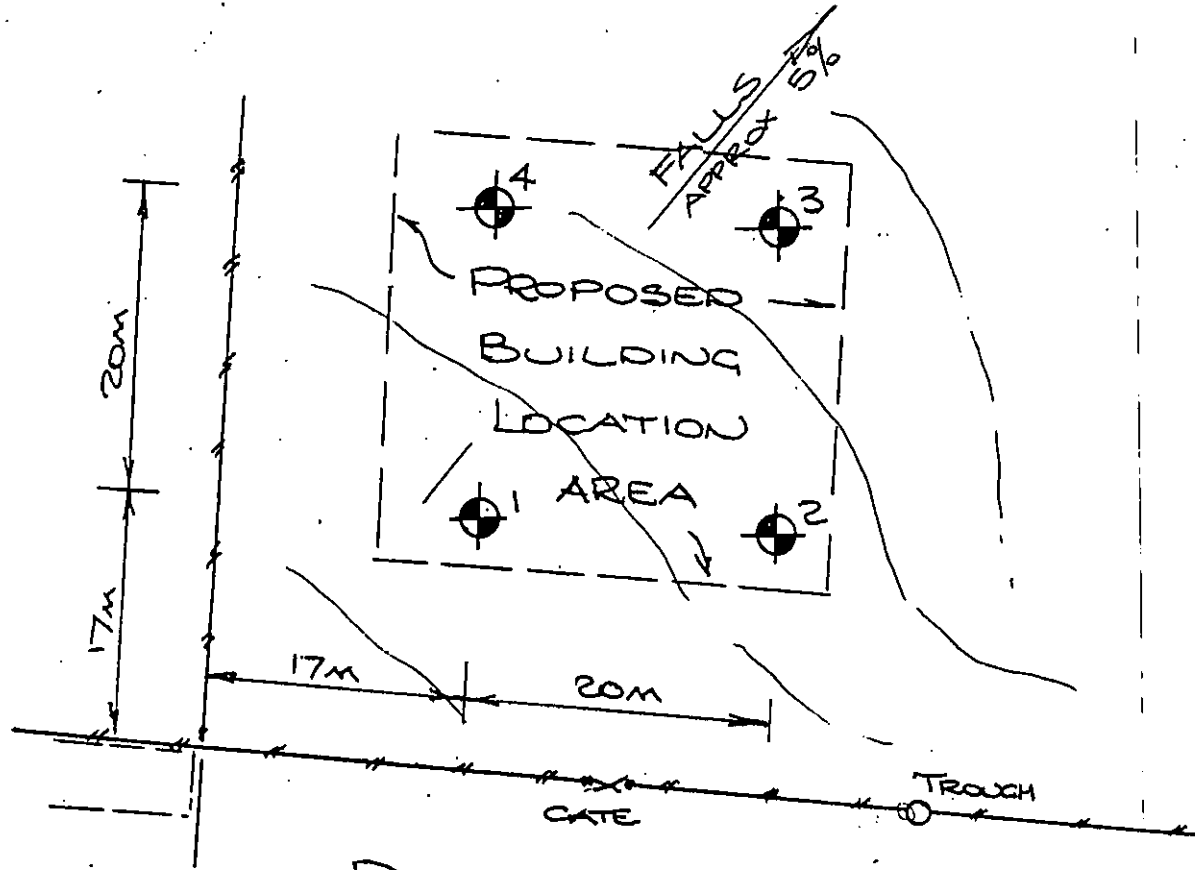


DIAGRAM 1:500

[A.F.]

ABSORPTION FIELD AREA

[B.L.]

BUILDING LOCATION AREA



SUBSOIL TEST LOCATIONS

CONTOURS. (APPROX.)

No	Revisions	Date	Appd

Designed	BAC	Print Date
Drawn	BAC	8/12/05
Checked	BAC	
Approved	BAC	
File	581	
Scale		

ORIGINAL DRAWING SIZE - A3

Client MR R DYSON
300A MANGOREI RD
NEW PLYMOUTH

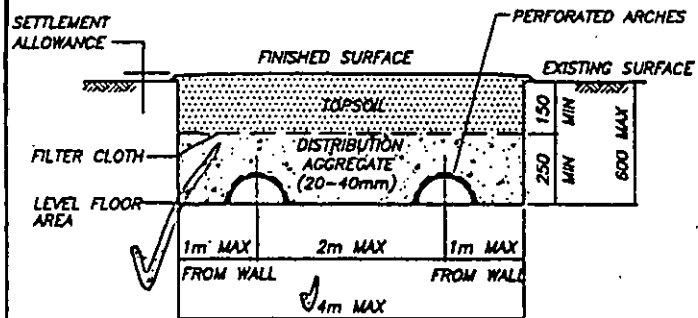
Project FOUNDATION
INVESTIGATION
WELD ROAD
OAKURA

Sheet Title
SITE PLAN

Job Number	Sheet	Rev
581	01	
	of 010	

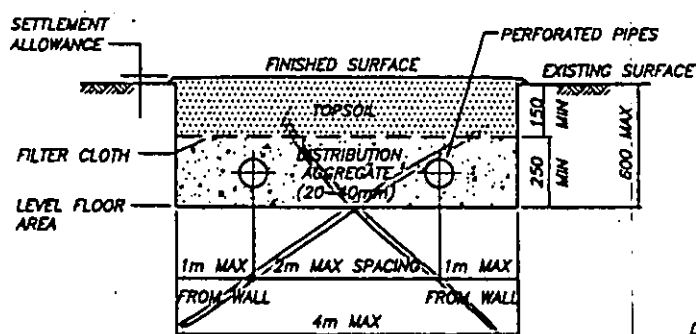
BAC SERVICES
Brian Cleaver
16 Lismore Street
New Plymouth
Phone 06 758 4470
Mobile 025 421 843

19 APR 2007



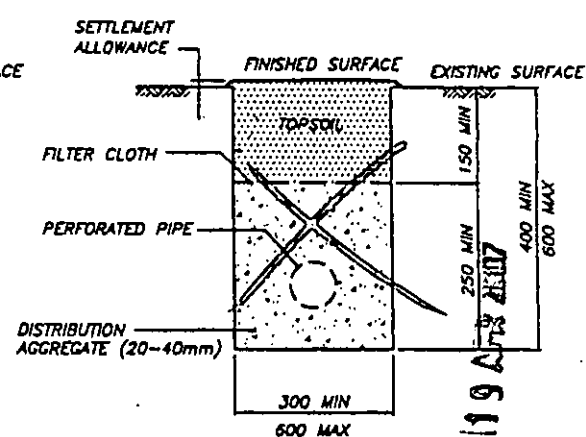
LEVEL SITE-SLOPE LESS THAN 5%

CONVENTIONAL BED ARCH



LEVEL SITE-SLOPE LESS THAN 5%

CONVENTIONAL BED PIPES



CONVENTIONAL PIPED TRENCH

ABSORPTION TRENCH BASE AREA	WIDTH	LENGTH	TYPICAL LAYOUTS
$A=60m^2$ (EXAMPLE)	$W=0.6$	$L=100m$	
ABSORPTION BED BASE AREA	WIDTH	LENGTH	TYPICAL LAYOUTS
$A=60m^2$ (EXAMPLE)	$W=2m$	$L=30m$	
	$W=4m$	$L=15m$	
	$W=4m$	$L=15m$	

TYPICAL LAYOUT FOR TRENCHES AND BEDS

No	Revisions	Date	Appd

Designed		Print Date
Drawn		
Checked		
Approved		
File		
Scale	NOT TO SCALE	

ORIGINAL DRAWING SIZE - A4

Client **MR R. DYSON**
300A MANGOREI RD
NEW PLYMOUTH

Project **FOUNDATION INVESTIGATION WELD ROAD ORKURA**

EFFLUENT FIELD DETAILS

Job Number	Sheet	Rev
581	02 of 010	

BAC SERVICES

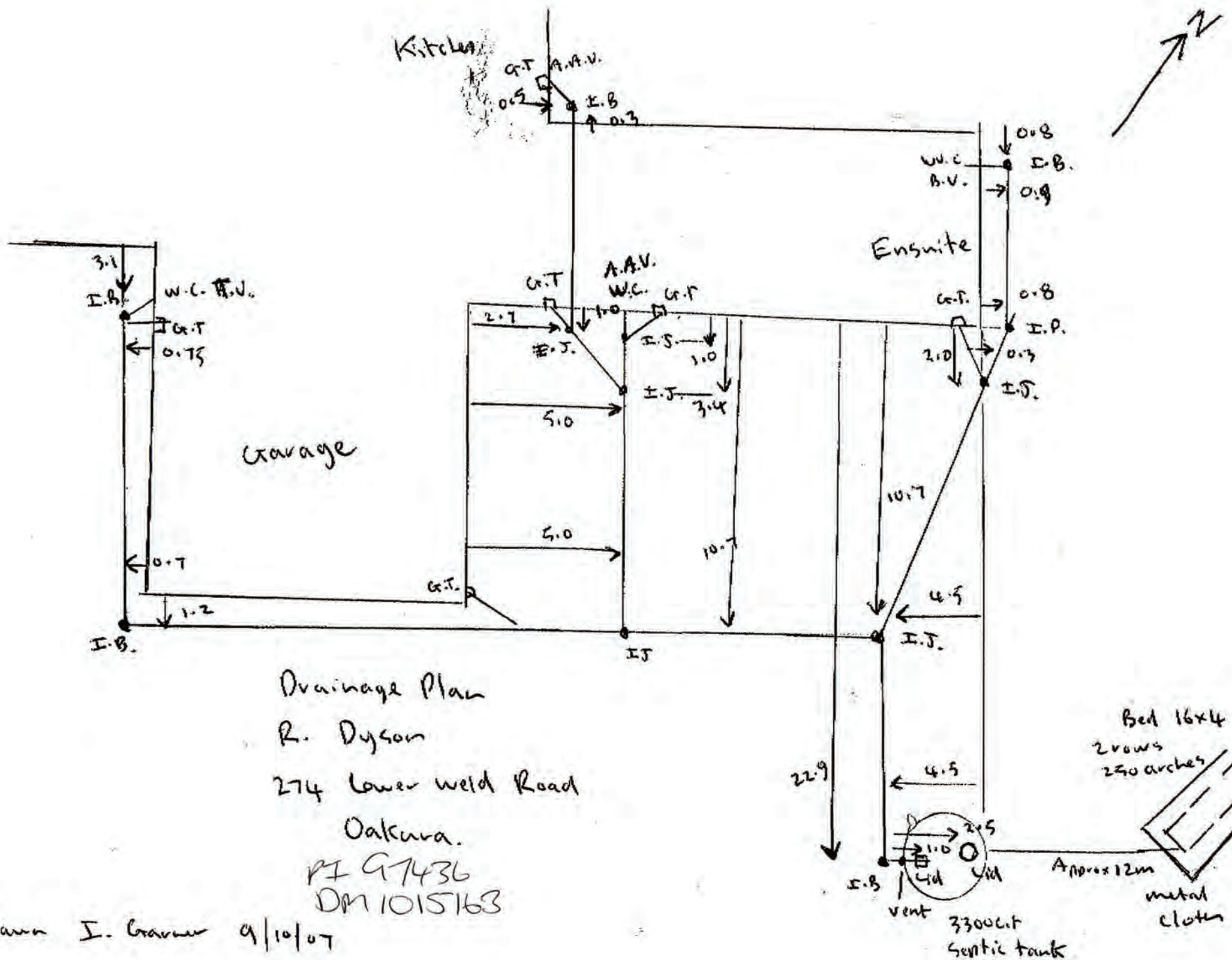
Brian Cleaver
16 Llamore Street
New Plymouth
Phone 06 758 4470
Mobile 025 421 843



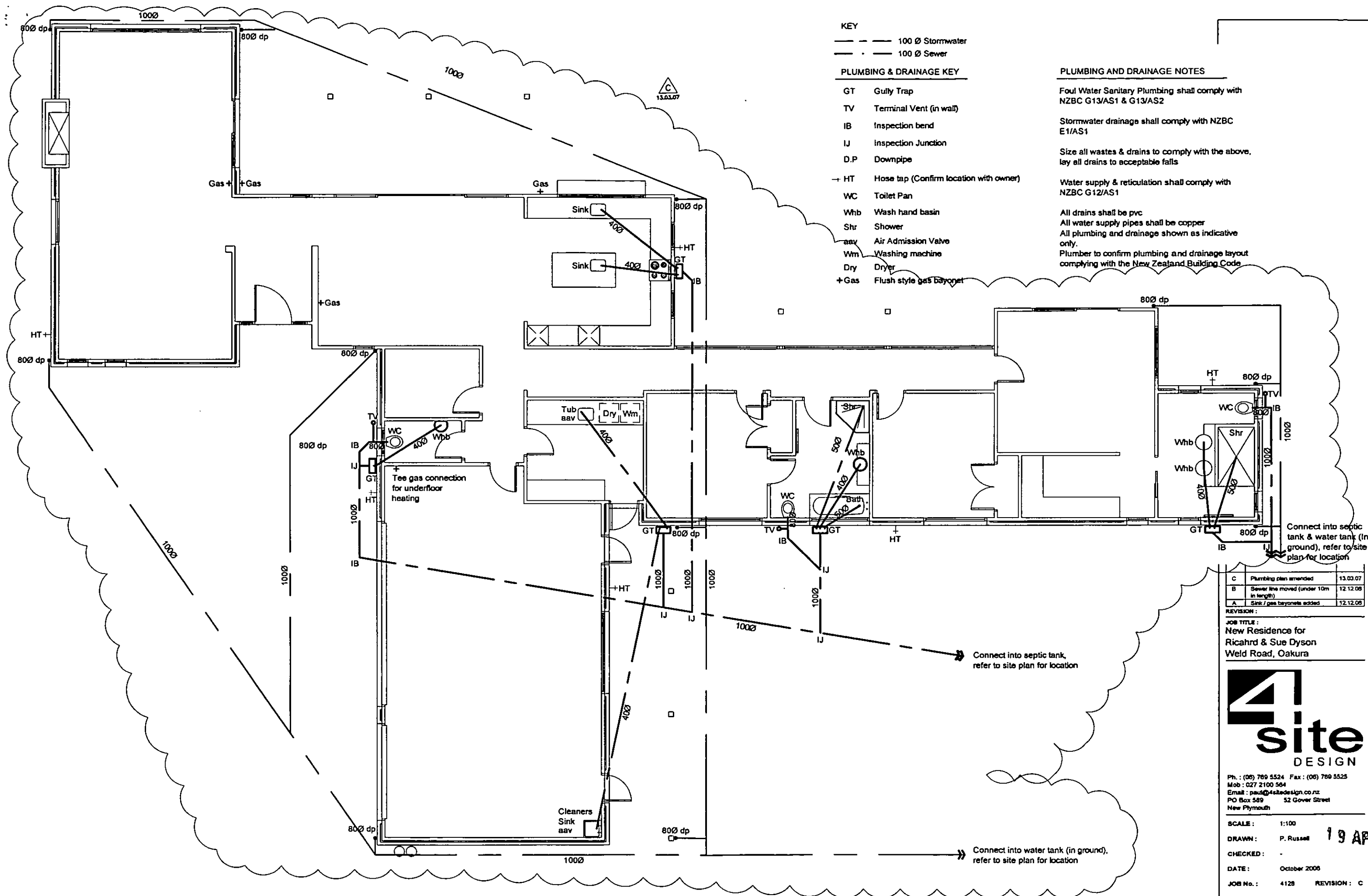
LIM information divider



NPDC



Drawn I. Granger 9/10/07



PLUMBING & DRAINAGE PLAN
 SCALE 1:100

C	Plumbing plan amended	13.03.07
B	Sewer line moved (under 10m in length)	12.12.06
A	Sink / gas bayonets added	12.12.06

REVISION:

JOB TITLE:
 New Residence for
 Ricahrd & Sue Dyson
 Weld Road, Oakura

4 site
 DESIGN

Ph.: (06) 769 5524 Fax: (06) 769 5525
 Mob: 027 2100 504
 Email: paul@4sitedesign.co.nz
 PO Box 569 52 Gover Street
 New Plymouth

SCALE: 1:100
 DRAWN: P. Russell
 CHECKED: -
 DATE: October 2006
 JOB No.: 4128 REVISION: C
 SHEET No.:

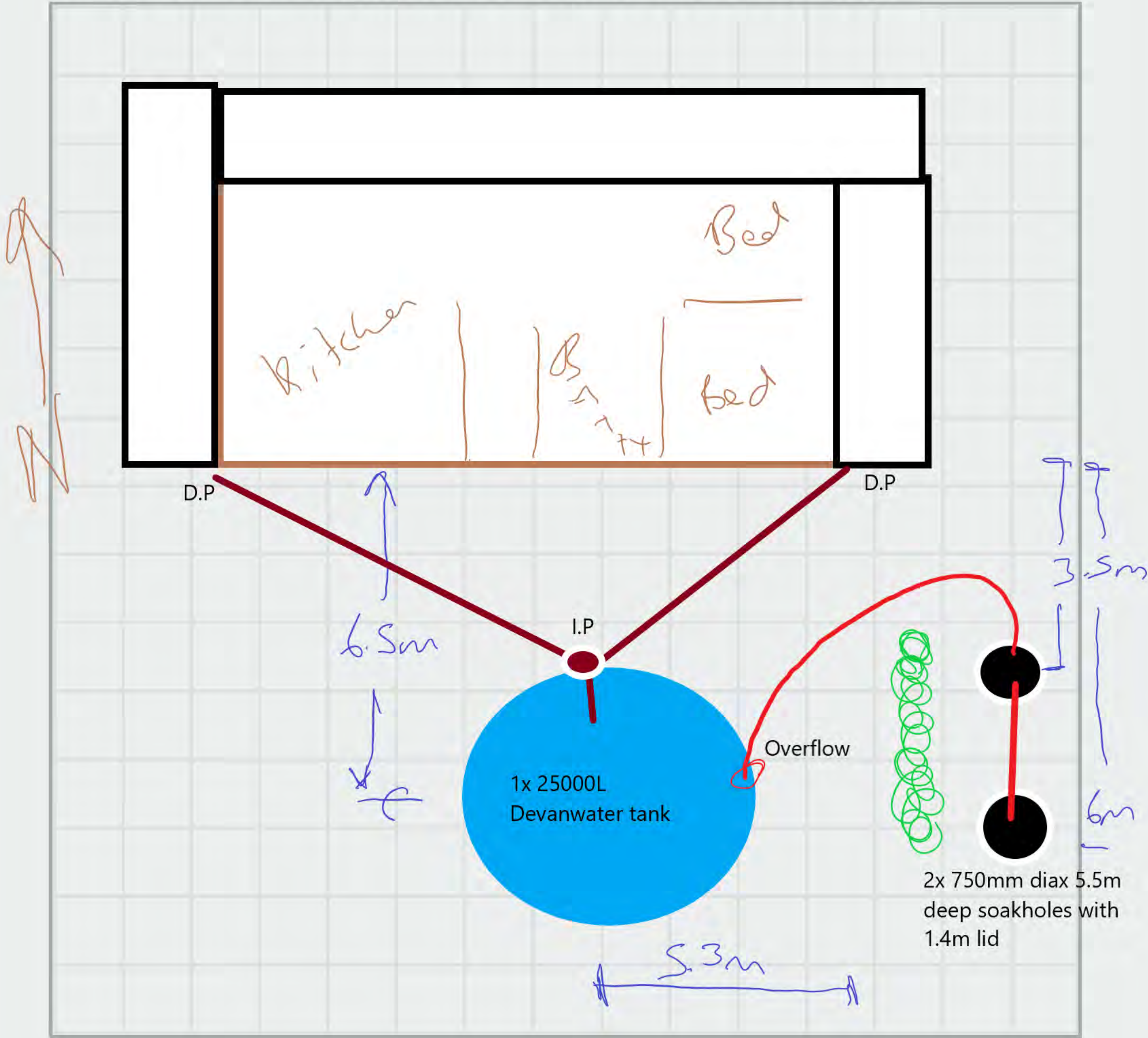
A5-4

19 APR 2007



Building consent number	Bc21 : 128675
Address	274 Weld Road Lower , Kaitake Taranaki
Name of drainlayer	Daniel Brooks
Registration number	24557
Date	2,11,2021

Please show terminal vent size, location, and all relevant dimensions to inspection points.



Specify system used:

☐ G13/AS1 ☐ AS/NZS: 3500



Building consent
number

BC21/128675

Address

274 Weld Road Lower, Kaitake Taranaki

Name of drainlayer

Daniel Brooks

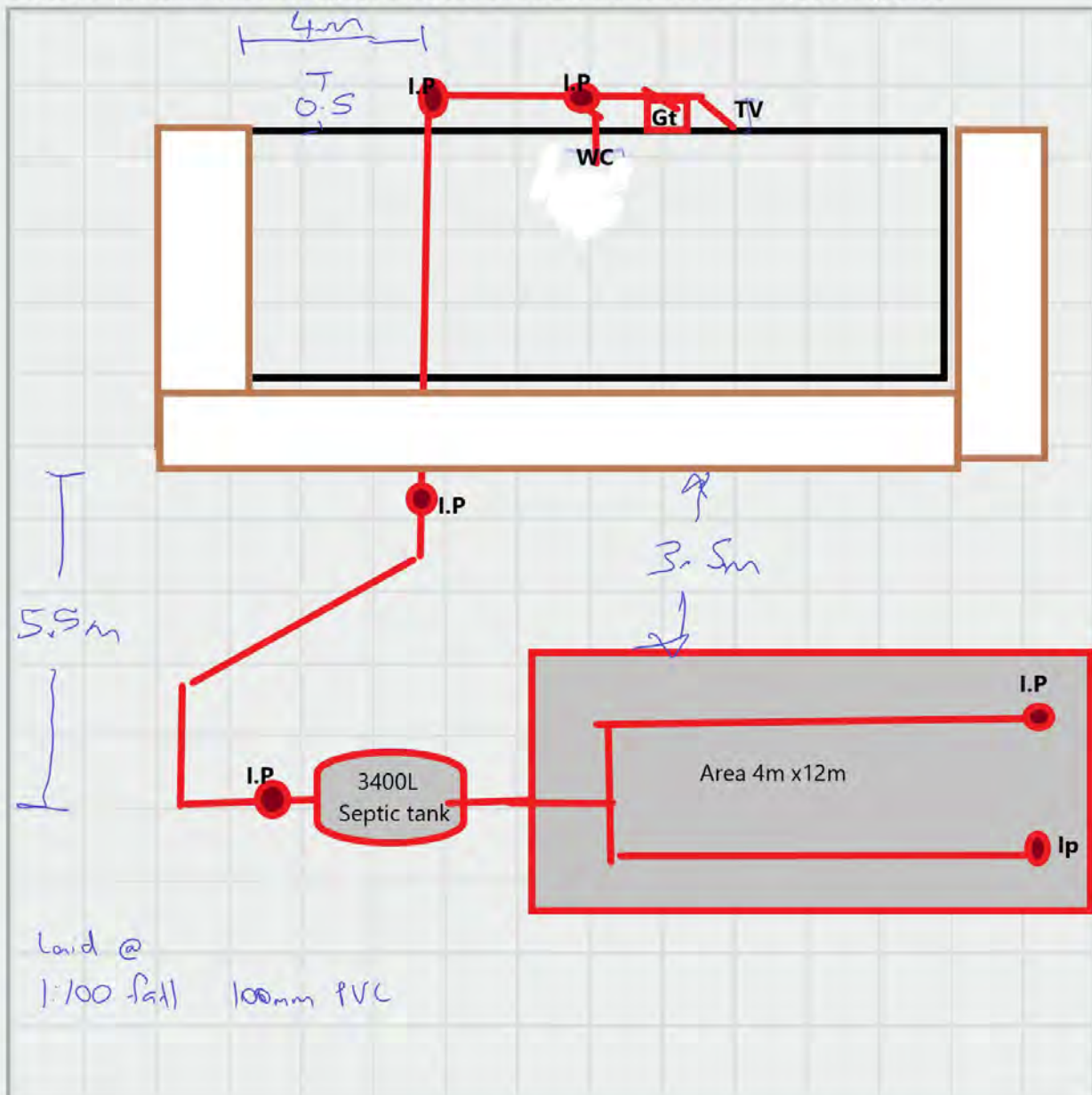
Registration number

24557

Date

2/12/2021

Please show terminal vent size, location, and all relevant dimensions to inspection points.



Specify system used:



G13/AS1



AS/NZS: 3500



LIM information divider



NPDC



Te Kaunihera-ā-Rohe o Ngāmotu

New Plymouth District Council

LAND INFORMATION MEMORANDA (LIM)

RATES

Property No	110952
Valuation Roll Number	11631/115.03
Amount of last year's rates	\$5,051.21
Amount of this year's rates (if struck)	\$5,568.26
Amount of current rates instalment	
First Instalment	\$1,392.00
Second Instalment	\$1,392.00
Third Instalment	\$1,392.00
Fourth Instalment	\$1,392.26
Amount of Rates Owing To 30 Jun 2026	\$4,176.26
Details of Government Valuation	Date 1 Aug 2022
	Land Value \$960,000.00
	Capital Value \$2,130,000.00

WATER

Is property supplied Water by meter?	No
If so, Account No.	na
Amount of water owing to	\$0.00

NB: If property to be sold a final meter reading needs to be arranged

LEASE

If so, Account No	na
Amount of Lease per annum	\$0.00
Date Review	na
Current Balance	na

NB: The amounts quoted for Rates, Water and Lease are correct at today's date only, and if this information is to be used for a property settlement, confirmation in writing must be sought closer to the settlement date.

06/10/2025



LIM information divider



NPDC



1. The building consent

1a. Building consent no.

88539

1b. Issued by



New Plymouth District Council



Other - please specify

2. Property owner details

2a. Owner details



Have not changed since the
building consent was lodged
Proceed to section 3



Have changed since the building
consent was lodged
Complete 2b and 2c

2b. Name

RICHARD & SUAN DYSON

Contact person

(If owner is a corporation,
partnership or trust)

Postal address

274 LOWER WARD RD

RD4 NEW PLYMOUTH

4374

Contact numbers

06 752 7080

Phone

Mobile

Fax

Email

DYSONRS@XTRA.CO.NZ

2c. Evidence of ownership
attached

(Only required if ownership has
changed)



Certificate of Title (copy)



Lease agreement



Sale and purchase agreement



Other document showing full name of legal
owner(s), such as a rate instalment notice

3. Applicant details

3a. I am the



Property owner
Proceed to 3b



Lessee
Provide details below



Agent
Authorised by owner / lessee
Provide details below

Name

Postal address

Contact numbers

Email

()

Phone

()

Mobile

()

Fax

3b. Preferred means for
formal correspondence



Mail



Email



Fax

4. Attachments

The following documents are attached to this application:



Certificates from the personnel who carried out the work



Certificates that relate to the energy work



Evidence that specified systems are capable of performing to the performance standards set out in the building consent

5. Key personnel

Designer Name / Registration no.

Contact details Address

Phone / Email

Paul Rust 4-Site design

52 Lower Street

(06) 7695524

Paul@4site.design.co.nz

Please turn over

5. Key personnel - continued

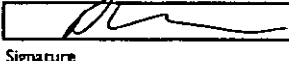
Builder	Name / Registration no.	David Jones - Inspired Homes Ltd.	
	Contact details	Address	42 Lyn Street - New Plymouth.
	Phone / Email	(06) 7698014	
Drainlayer	Name / Registration no.	Ian Garner	
	Contact details	Address	300 Courtenay Street NP
	Phone / Email	(06) 7585893	
Plumber	Name / Registration no.	Ian Garner	
	Contact details	Address	300 Courtenay Street NP
	Phone / Email	(06) 7585893	
Gasfitter	Name / Registration no.	Ian Garner	
	Contact details	Address	300 Courtenay Street N.P.
	Phone / Email	(06) 7585893	
Electrician	Name / Registration no.	Tony Feek Electrical	
	Contact details	Address	68 W Arundel Crescent
	Phone / Email	(06) 75-38881	
Other	Name / Registration no.		
	Contact details	Address	
	Phone / Email	()	

6. Application

6a. Date building work completed 1/11/07

6b. The following specified systems are contained on the compliance schedule for the building and, in the opinion of the personnel who installed them, are capable of performing to the performance standards set out in the building consent:

6c. I request that you issue a code compliance certificate for the work under section 95 of the Building Act 2004. I understand that the code compliance certificate will be sent to the property owner

	13 11 07
Signature	Date
David Jones	
Name (print clearly)	

OFFICE USE ONLY

☐ Re-inspected	☐ Await final payment (invoice sent)	Date forwarded for CCC review	Forwarded by
CCC Review ☐ Plans/documentation lodged for all built work ☐ All critical work inspected		☐ All inspection passed ☐ Supporting documents (ie procedure statements) lodged	☐ All built work consented

Comments
Signed



NEW PLYMOUTH DISTRICT COUNCIL

newplymouthnz.com

Code Compliance Certificate: 25868
Section 95, Building Act 2004

Issued: 21 Jan 08

The Building

Street Address of building: 274 WELD ROAD LOWER, OKATO 4652

Legal Description of land where building is located:

LOT 1 DP 365221

Current, lawfully established use: New Dwelling

Year first constructed: 2006

The Owner

Name of owner: MR Richard Stephen DYSON

Contact Person: 4 SITE DESIGN

Mailing Address: C/- 4 Site Design

PO BOX 589

NEW PLYMOUTH

Street address/registered office: 274 WELD ROAD LOWER

OKATO 4652

Phone number: (Bus.)

(Pvt.)

Facsimile number:

Email address:

Website:

First point of contact for communications with
council/building consent authority:

New Plymouth District Council

Private Bag 2025

NEW PLYMOUTH

Ph: 06 7596060

Fax: 06 7596072

Email: enquiries@npdc.govt.nz

Building Work

Building Consent number: 88539

Issued by: New Plymouth District Council

Building Consent number: 88539

Code Compliance

The building consent authority named below is satisfied, on reasonable grounds, that -

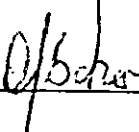
- (a) the building work complies with the building consent.
-

Council Charges

The Council's total charges payable on the uplifting of this code compliance certificate in accordance with the attached details are: \$0.00

This is a final code compliance certificate issued in respect of all of the building work under the above building consent

1: CODE COMPLIANCE CERTIFICATE



Signature

Team Leader Inspectorate

Position

On behalf of: New Plymouth District Council

Date: 21 Jan 2008



NEW PLYMOUTH DISTRICT COUNCIL

newplymouthnz.com

Building Consent No:88539
Section 51, Building Act 2004

Issued:30Apr07

The Building

Street Address of building: 274 WELD ROAD LOWER, OKATO 4652

Legal Description of land where building is located:

LOT 1 DP 365221

Building Name: dwelling

The Owner

Name of owner: MR Richard Stephen DYSON

Mailing Address: C/- 4 Site Design

PO BOX 589

NEW PLYMOUTH

Contact Person: 4 SITE DESIGN

Mailing Address: C/- 4 SITE DESIGN

P O BOX 589

NEW PLYMOUTH 4615

Street address/registered office: 274 WELD ROAD LOWER
OKATO 4652

Phone number: (Bus.)
(Pvt.)

Facsimile number:

Email address:

Website:

First point of contact for communications with council/building consent authority:

New Plymouth District Council

Private Bag 2025

NEW PLYMOUTH

Ph: 06 7596060

Fax: 06 7596072

Email: enquiries@npdc.govt.nz

Building Work

The following building work is authorised by this consent: 88539

Project: New building

Intended Use: residential dwelling

This building consent is issued under section 51 of the Building Act 2004. This building consent does not relieve the owner of the building (or proposed building) of any duty or responsibility under any other Act relating to or affecting the building (or proposed building).

This building consent also does not permit the construction, alteration, demolition, or removal of the building (or proposed building) if that construction, alteration, demolition, or removal would be in breach of any other Act.

This building consent is subject to the following conditions:

1: Nil

There are no further conditions relating to this Building Consent.

2: ADDITIONAL COMMENTS

Inspections shall be carried out in accordance with the attached schedule of inspection types

3: DURABILITY OF BUILDING ELEMENTS

Building elements may have an intended life of less than 50 years. Limited life building elements carry certain limitations and obligations. Based on current legislation these obligations require the building owner to follow the normal and/or scheduled maintenance of the building element to ensure its continued compliance with the New Zealand Building Code (NZBC). Where failure to properly maintain the building elements results in non-compliance with the NZBC, the Territorial Authority may issued a "Notice to Fix" which if not met could result in legal action appropriate in the circumstances.

4: CONSTRUCTION & DEMOLITION NOISE

The proposed New Plymouth District Plan, appendix 12, clause 1.1 - 1.4 sets construction and demolition noise standards. Anyone carrying out building work must ensure they comply with these noise levels at all times. These standards may be obtained from the council's website or by contacting the council.

5: LAPSE & CANCELLATION OF CONSENTS

A Building Consent lapses and is of no effect if the building work to which it relates does not commence within 12 months after the date of issue of the building consent or any further period that the Building Consent Authority may allow. (Time extensions to commence building work after 12 months must be submitted to the Building Consent Authority in writing stating the reason for the request, prior to the lapse date of the consent.

6: ADDITIONAL COSTS AND REFUNDS

Building Consent fees are required to be paid prior to a Building Consent being issued. Once the project commences actual costs are charged against the fees paid. Where costs are greater or less than the base fee paid,

additional costs will be charged or a refund made where the value exceeds \$100 for consents with a base fee greater than \$1000, or \$50 where the base fee is \$1000 or less.

7: COMPLETION OF BUILDING PROJECT

A Code Compliance Certificate must be applied for as soon as practicable after the building work is completed. A building consent is valid for two years after the date on which the building consent was granted.

An extension of time may be considered if required, application for this time extension must be made in writing explaining reasons for the request prior to the consent lapsing.

Compliance Schedule

A compliance schedule is not required for the building.

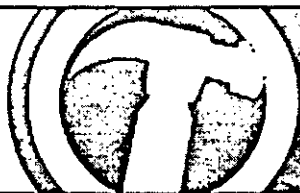
Signature

Building Administration Officer

Position

On behalf of: New Plymouth District Council

Date: 30 Apr 2007



Application details

Project No.

PIM No:

88538

Date application lodged : 13 December 2006

Date PIM issued : 4 January 2007

Applicant's details

Name : 4Site Design

Date new information received :

Address : PO Box 589
NEW PLYMOUTH

Reason for re-issue :

Date PIM re-issued :

Project description

Description : New dwelling

Intended use : Residential accommodation

Intended life : Not less than 50 years

Floor area : 302 sqm

Property details

Legal description : Lot 1 DP365221

Address: Weld Road Lower
OKATO

Property owner details

Name: Richard & Sue Dyson

Address: 300A Mangorei Road
NEW PLYMOUTH

THE IMPACT ON YOUR PROPOSED PROJECT

- ☉ This is a confirmation that, subject to Building Act 2004, this building work may be carried out subject to the requirements of a building consent and subject also to all other necessary authorisations being obtained.

Other than building consents, your project does not require any other authorisations from the council.

Signed for and on behalf of New Plymouth District Council

PIM Co-ordinator

This is not a building consent. Your next step is to obtain a building consent prior to commencement of work. Please contact us with any queries you may have on 759 6060.

Section 1: What is a Project Information Memorandum (PIM)

The PIM provides an applicant with information about land and about the other statutes and requirements that might be relevant to the proposed building work, other than construction design and features required under the Building Act 2004. This information enables the applicant to assess the feasibility of the project before proceeding with the preparation of the building consent application.

Section 2: Property information related to this project

Section 2.1 - Heritage status of the building and / or land

No Information

There is no information held by the council applicable to the project.

Section 2.2 Special features of the land (Natural Hazards)

Wind Zone information

The proposed building is in an area shown to be a high wind zone on the council's wind maps. This designation is indicative only and may alter due to topography, shelter, etc. Designers are advised to check the wind zone using the method provided in New Zealand Standards 3604.

This information is indicative and may be used for design purposes. However this wind zone value should be checked against the NZS 3604 calculation method, which requires that topography, nearby tall buildings be taken into account.

Section 2.3 - Water, Stormwater and Reticulation Sewer Systems

No water reticulation / Potable water supply required.

There is no reticulated water supply available to the site. You will need to make your own provision for the water needs of the project in accordance with the provisions of the Building Code.

The activity will require you to provide for its own potable water supply in accordance with the standards specified by the Building Code. Details showing how this is to be provided for will need to be provided as part of the Building Consent application for the project. Bore or well water supply will require a water quality test and results report.

No sewer reticulation/onsite sewerage disposal required

The property does not currently have access to the council's sewer reticulation.

On site waste water disposal systems are to be designed by a suitably qualified person to meet the requirements of AS/NZS 1547-2000. Suitable areas of land, including a reserve area, are to be set aside for this purpose.

A design for an on site disposal system that meets Building Code provisions will need to be submitted as part of the building consent for the project.

Rural stormwater disposal

The council has no requirements for the disposal of stormwater in the rural area. The applicant shall dispose of the stormwater in a way that does not create a nuisance.

Section 3: Other authorisations needed for this Project

No Information

No comments applicable to the project.

District Plan Rule - Vehicle Access

Vehicle access to the site shall comply with the provisions of Appendix 23 of the New Plymouth District Plan. Matters to consider include:

- a. Construction standards for vehicle access points
- b. Standards for parking
- c. Standards for loading and standing space
- d. Standards for driveways
- e. Standards for manoeuvring space
- f. Standards for on-site queuing

Vehicle Crossing to the applicant's Property

The council's bylaws and Local Government Act 2004 require that vehicle access across a footpath and water channel / kerb and channel be obtained by a lawfully constructed vehicle crossing. The New Plymouth District Plan specifies required sight distances relative to the posted speed limit from that access point and the distance from an intersection.

For an urban road the applicant shall make an application for a vehicle crossing, and upon approval shall have it installed by an approved contractor to the council's Vehicle Crossing Code of Practice standard.

Please refer to the attached Vehicle Crossing guide.

Where only a water table exists, e.g. a rural road, then the applicant may construct their own vehicle crossing. The standard is specified in the Vehicle Crossing Code of Practice. Required sight distances are set out in the New Plymouth District Plan.

Damage to Council Owned Assets

The Local Government Act 2004 does not permit any person to undertake any act by which any damage is caused to a road or any work or thing in, on, or under the road.

All council owned assets are considered to be in new condition unless an inspection by a council officer/agent prior to construction indicates deterioration. If in doubt, ask.

Should damage occur to a council owned asset reinstatement will be carried out by a council approved contractor at the applicants cost.

Section 4: Authorisations for this project that have been refused

No Information

No comments applicable to the project.

Section 5: Building Consent Matters

No Information

No comments applicable to the project.

Section 6: Advice Notes

Re-issue of PIM

A territorial authority may where it becomes aware of errors or omissions or where new information is received, reissue this project information memorandum subject to the applicable time limitations and conditions of Section 34 of the Building Act 2004.



1. Project reference

- 1a. Building consent number BC 88539
- 1b. Site address Weld Road One
Oakura
- 1c. Reason for amendment
☐ Change by owner
☒ Other, please specify
☐ Information request by council

2. Changes covered by this submission

To minimise chargeable processing time, clearly identify all changes to plans and documentation:

- Hatch around the change with a "revision cloud"
- Include a revision reference which relates to the schedule of changes on this form
- Two sets of plans must be supplied

Plan affected by
amendment

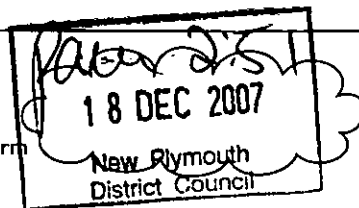
(old plan number)

New plan number

Description of change

<u>A21</u>		<u>As built window change</u>
<u>A3-1</u>		
<u>A3-2</u>		

For additional information, please turn over



3. Building warrant of fitness

Commercial only - Are there any amendments to systems for which a compliance schedule has been/will be issued?

☐ Yes ☒ No

4. Applicant's declaration

This amendment to the
abovementioned building
consent is made by me, as

☐ the owner of the property

☒ the applicant, authorised by the
owner to make this amendment

Francine Gulliver
Signature

18/12/07
Date

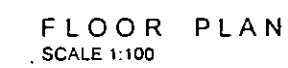
Name (print clearly)

Office use only

Approved	Refused
PIM Co-ordinator	
Building <u>18-12-07</u>	
Engineer	

Comments:

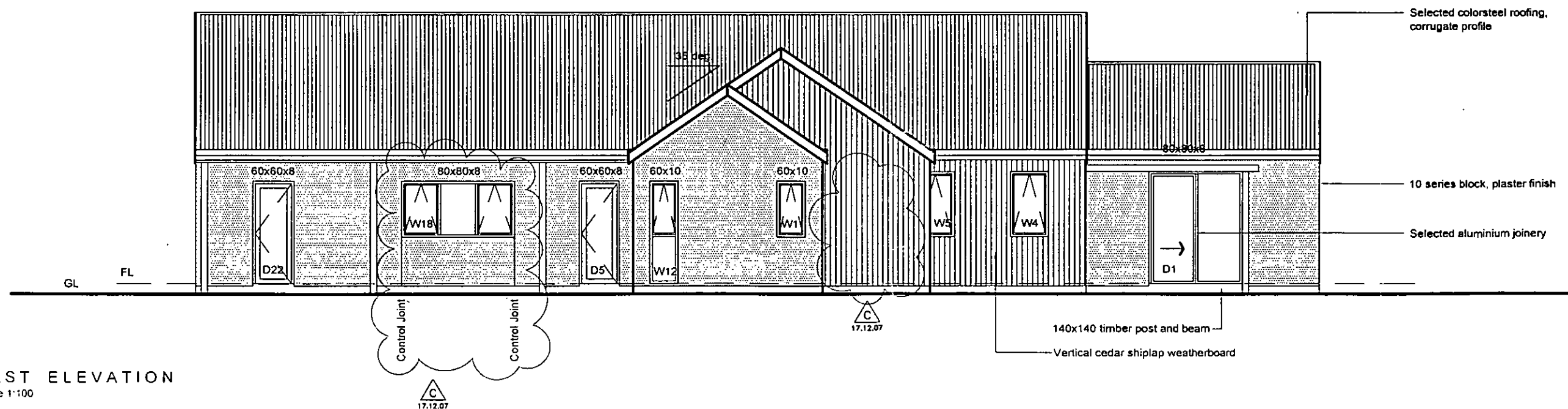
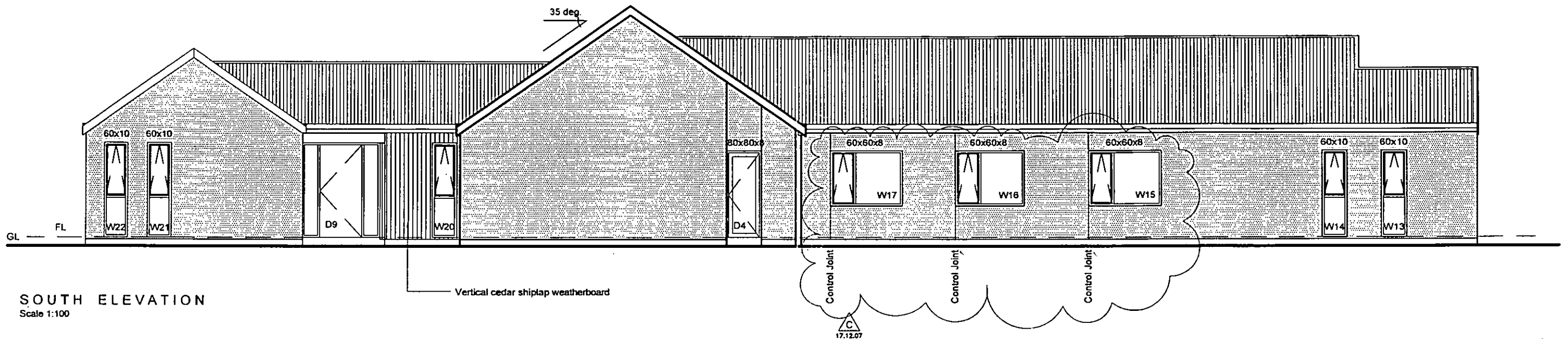
PTO

REVISION :

SHEET No.: A2-1

**Title finish to all bathroom
and ensuite walls and floor
(showers included)**

max	Shr	= Shower
crs	WC	= Toilet
	Whb	= Wash hand basin
be	Wm	= Washing machine
NZ	St.	= Storage cupboard
tr	Htr	= Heated towel rail (with temp controlled switches)
ur		Battery operated Smoke Alarm



C	As Built W9 removed Control joints added	17.12.07
B	D1 moved	29.04.07
A	Elevations amended	13.03.07

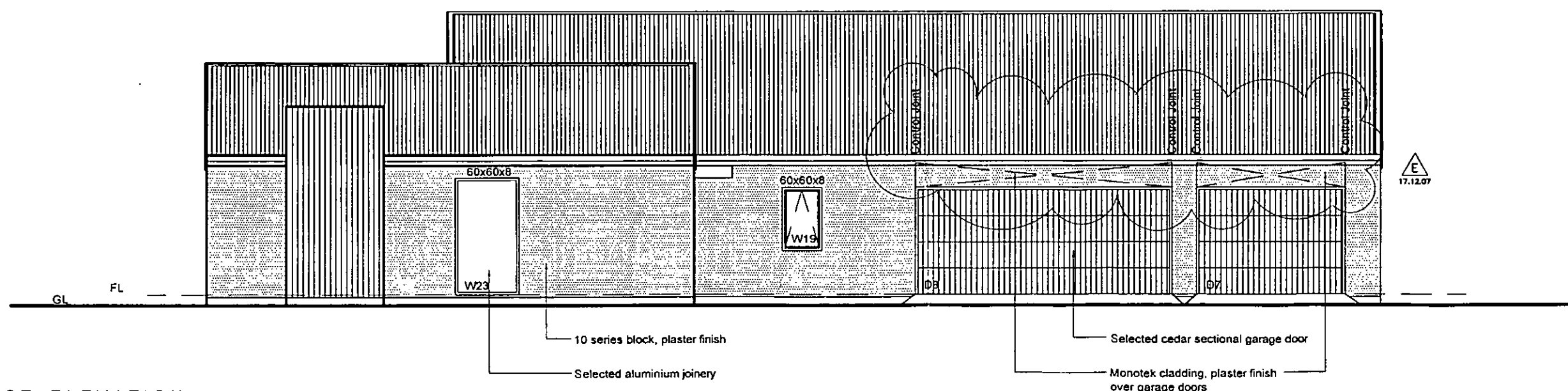
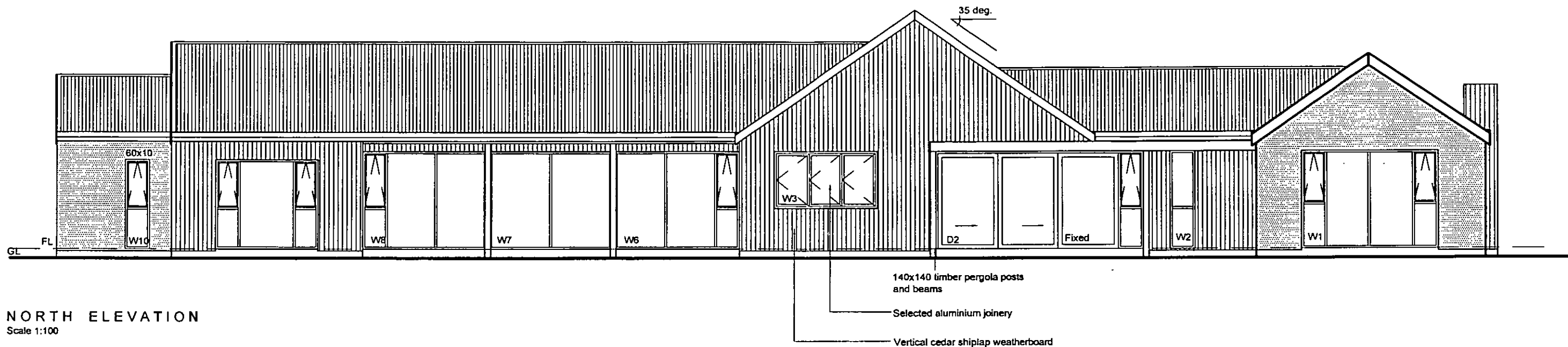
REVISION:

JOB TITLE:
New Residence for
Richard & Sue Dyson
Weld Road,
Oakura

4 site
DESIGN

Ph: (06) 769 5524 Fax: (06) 769 5525
Mob: 027 2100 564
Email: paul@4sitedesign.co.nz
PO Box 589 52 Gover Street
New Plymouth

SCALE: 1:100
DRAWN: P. Russell
CHECKED: -
DATE: October 2006
JOB No.: 4126 REVISION: C
SHEET No.: A3-1



E	AS-BUILT Control Joints added	17.12.07
D	Pergola amended	11.05.07
C	Chimney position altered	28.04.07
B	Elevations amended	13.03.07
A	Window changed	12.12.06

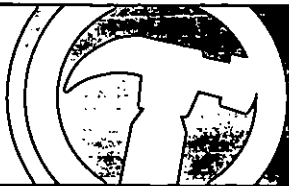
REVISION :

JOB TITLE :
New Residence for
Richard & Sue Dyson
Weld Road,
Oakura

4 site
DESIGN

Ph. : (06) 769 5524 Fax : (06) 769 5525
Mob : 027 2100 564
Email : paul@4sitedesign.co.nz
PO Box 569 52 Gover Street
New Plymouth

SCALE : 1:100
DRAWN : P. Russell
CHECKED : -
DATE : October 2006
JOB No. : 4128 REVISION : E
SHEET No. : **A3-2**



1. Project reference

1a. Building consent number

88539

AMENDMENT

1b. Site address

274

Lower Weld Road
Oakura

02 - 220807

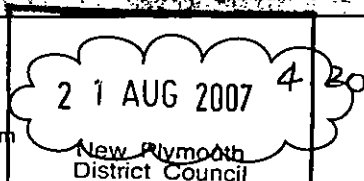
1c. Reason for amendment

- ☒ Change by owner
☐ Other, please specify
☐ Information request by council

2. Changes covered by this submission

To minimise chargeable processing time, clearly identify all changes to plans and documentation:

- Hatch around the change with a "revision cloud"
- Include a revision reference which relates to the schedule of changes on this form
- Two sets of plans must be supplied



Plan affected by
amendment

(old plan number)

New plan number

Description of change

A6-7

Fire details

For additional information, please turn over

3. Building warrant of fitness

Commercial only - Are there any amendments to systems
for which a compliance schedule has been/will be issued?

☐ Yes ☐ No

4. Applicant's declaration

This amendment to the
abovementioned building
consent is made by me, as

☐ the owner of the property

☒ the applicant, authorised by the
owner to make this amendment

Signature

21/8/07

Date

Francine Culliver

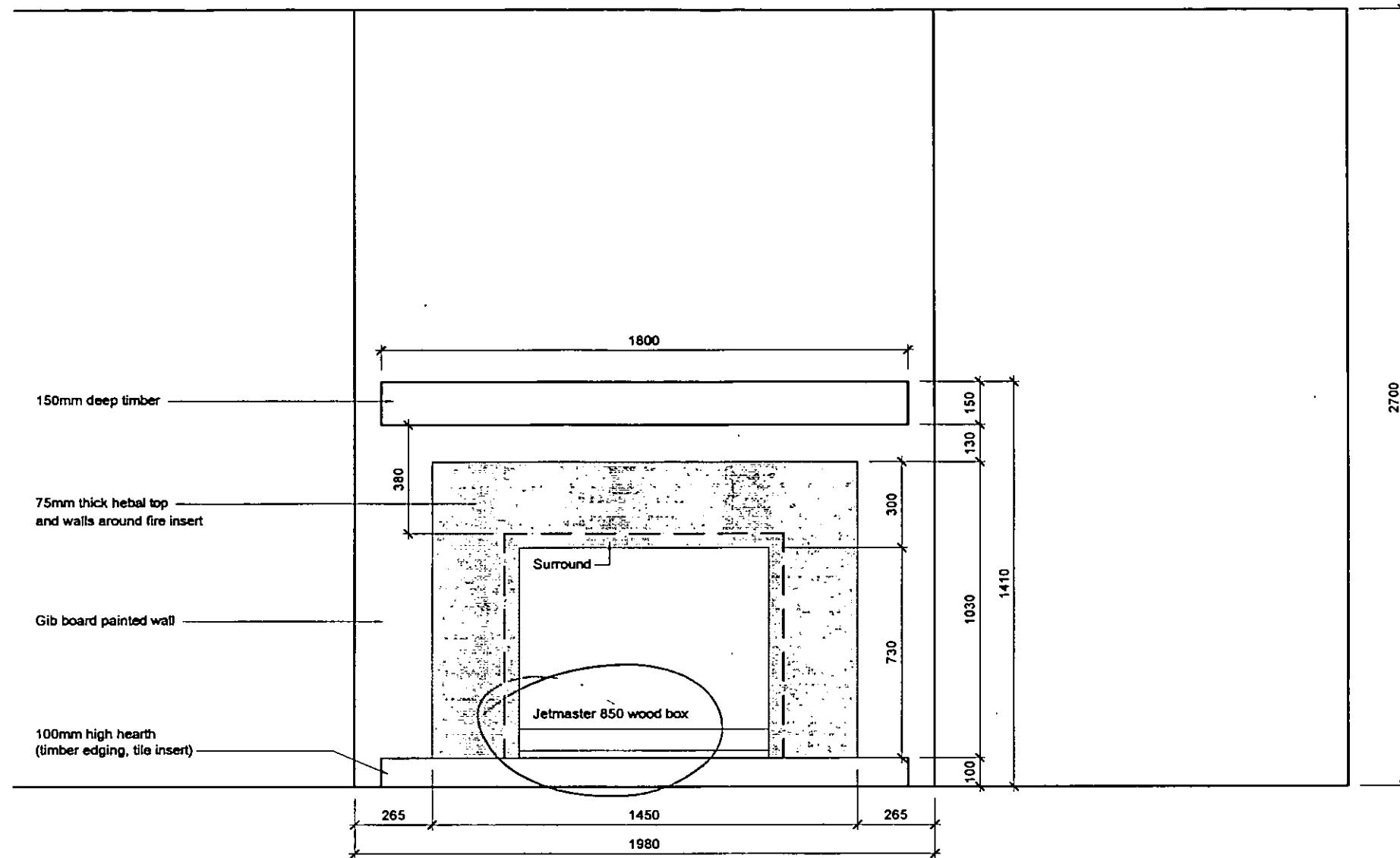
Name (print clearly)

Office use only

Approved	Refused
PIM Co-ordinator	
Building	
22-8-07	
Engineer	

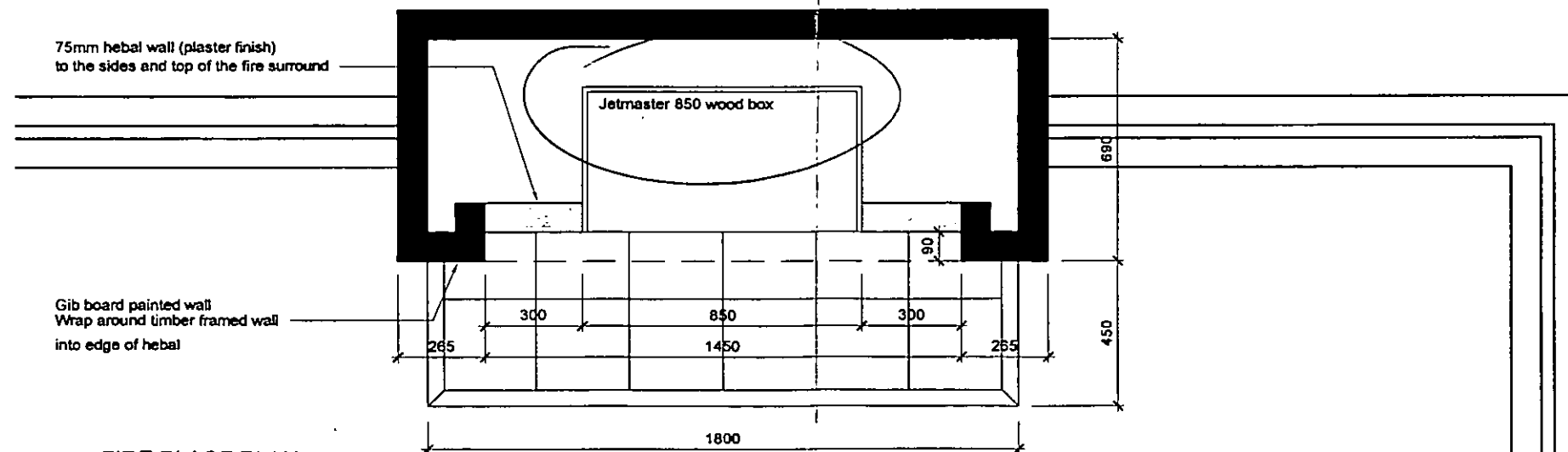
Comments:

PTO



FIRE PLACE ELEVATION

Scale 1:20



FIRE PLACE PLAN

Scale 1:20

B	Fire recess altered	21 08 07
A	Fire type altered	14 08 07

REVISION :

JOB TITLE :
New Residence for
Richard & Sue Dyson
Weld Road,
Oakura



Ph. : (06) 799 5524 Fax : (06) 799 5525
Mob : 027 2100 564
Email : paul@4sitedesign.co.nz
PO Box 589 52 Gover Street
New Plymouth

SCALE : 1:20
DRAWN : P. Rust
CHECKED :
DATE : June 2007
JOB No. : 4128 REVISION : B
SHEET No. : A6-7



1. Project reference

- 1a. Building consent number 48539
- 1b. Site address 274 Weld Rd, lower
Okeato
- 1c. Reason for amendment
☒ Change by owner
☐ Other, please specify
☐ Information request by council

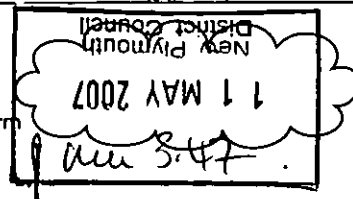
AMENDMENT

01 180507

2. Changes covered by this submission

To minimise chargeable processing time, clearly identify all changes to plans and documentation:

- Hatch around the change with a "revision cloud"
- Include a revision reference which relates to the schedule of changes on this form
- **Two sets of plans must be supplied**



Plan affected by
amendment

(old plan number)

New plan number

Description of change

A2-1		wing walls / pergola amended
A3-2		pergola amended
A4-1-8		Floor amended
A5-2		pergola framing amended
S1-1		pergola amended
S1-2		Floor amended

For additional information, please turn over

3. Building warrant of fitness

Commercial only - Are there any amendments to systems for which a compliance schedule has been/will be issued?

☐ Yes ☐ No

4. Applicant's declaration

This amendment to the abovementioned building consent is made by me, as

☐ the owner of the property

☒ the applicant, authorised by the owner to make this amendment

Signature

11/5/07

Date

Gareth Williams

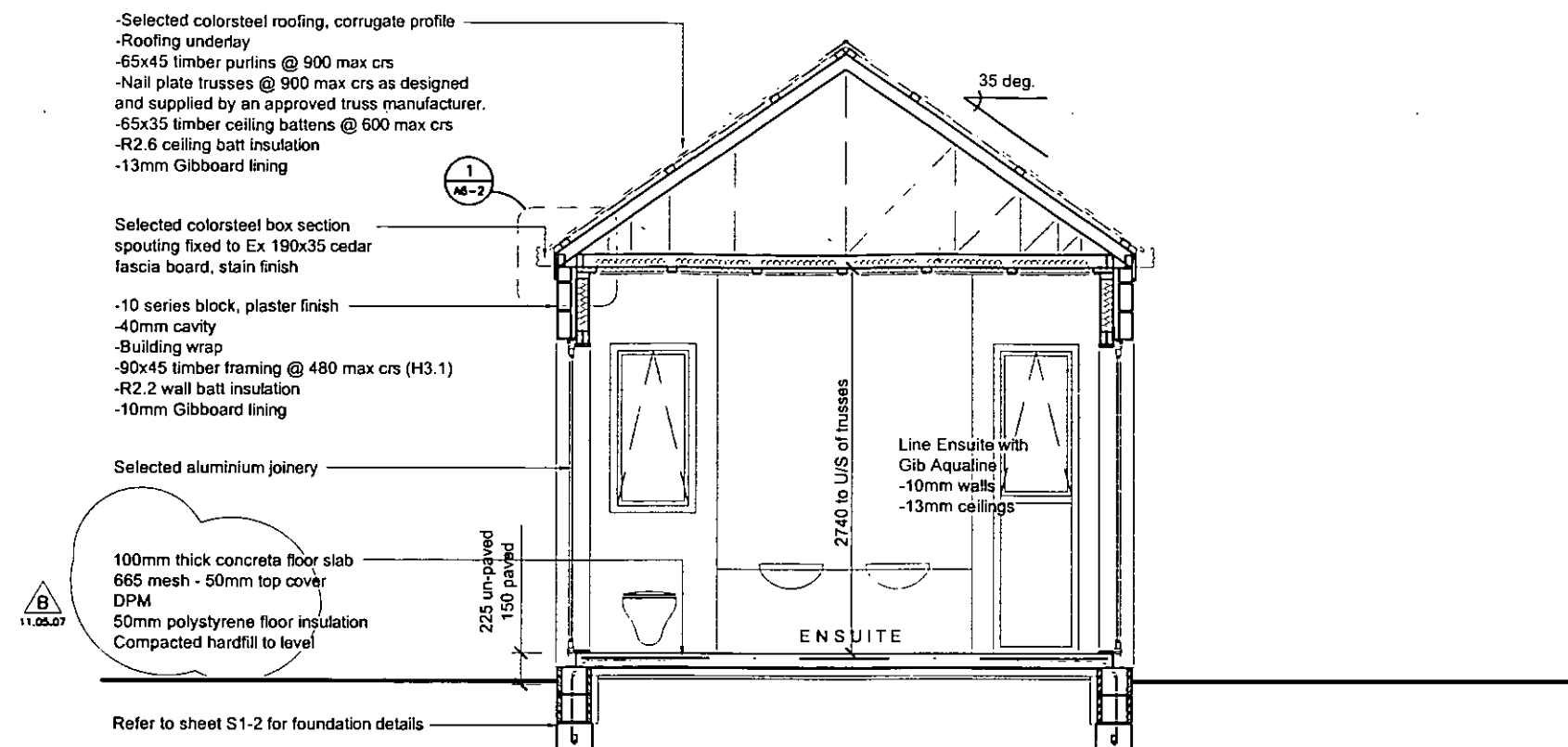
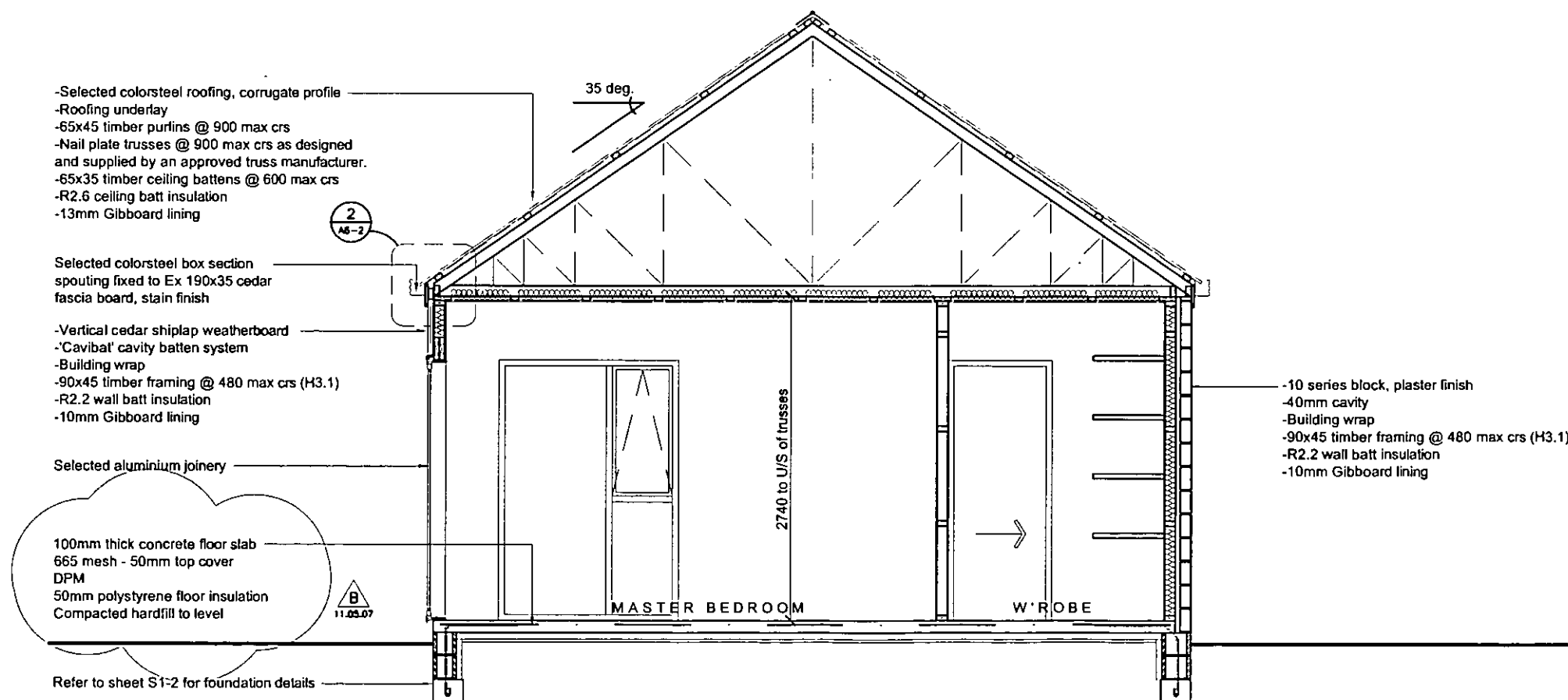
Name (print clearly)

Office use only

Approved	Refused
PIM Co-ordinator	
Building	
Engineer	

Comments:

PTO

CROSS SECTION A-A
SCALE 1:50CROSS SECTION B-B
SCALE 1:50

B	Floor amended	11.05.07
A	Sections amended	13.03.07

REVISION:

JOB TITLE:

New Residence for
Richard & Sue Dyson
Weld Road,
Oakura



Ph.: (06) 769 5524 Fax: (06) 769 5525
Mob: 027 2100 564
Email: paul@4sitedesign.co.nz
PO Box 589 52 Gover Street
New Plymouth

SCALE: 1:100

DRAWN: P. Russell

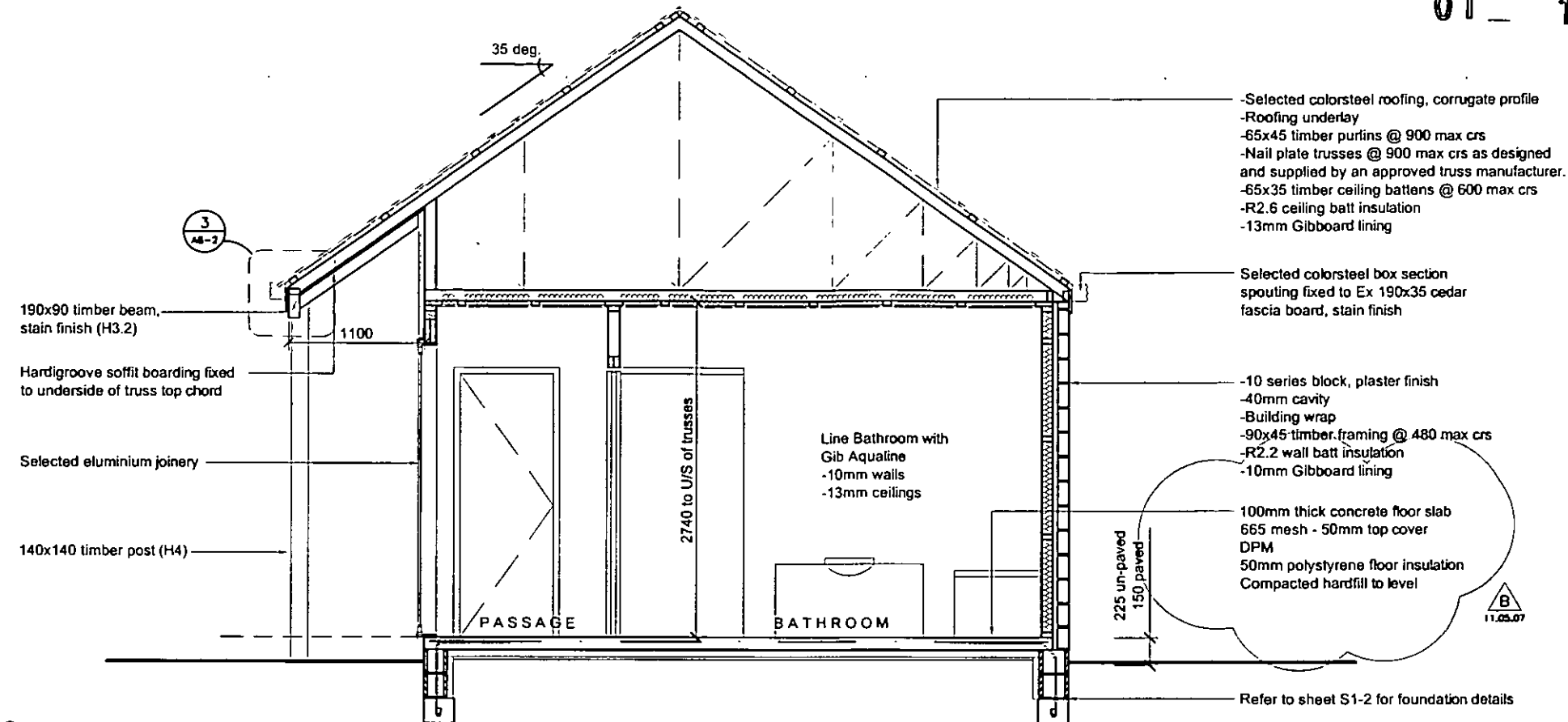
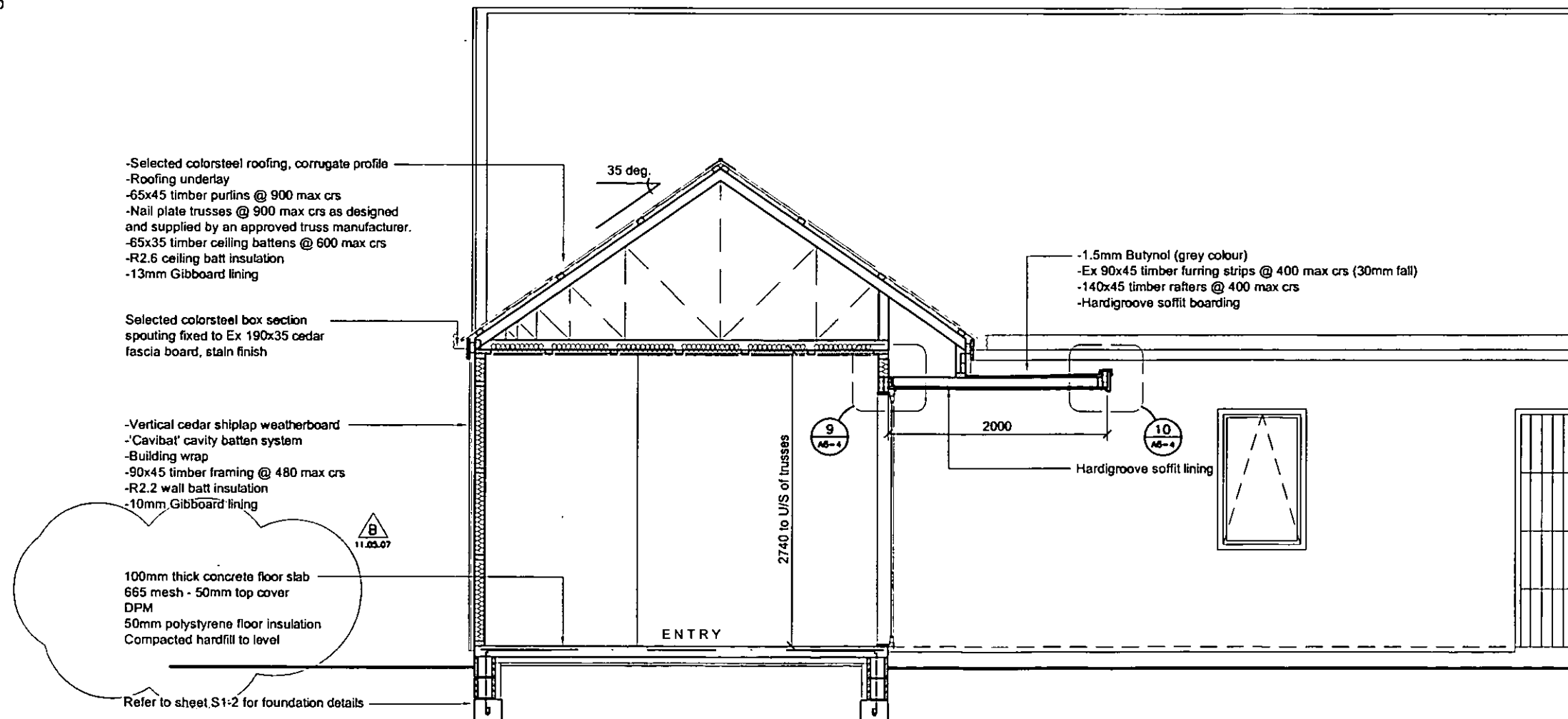
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DATE: October 2006

JOB No.: 4128 REVISION: B

SHEET No.:

A4-1

CROSS SECTION C-C
SCALE 1:50CROSS SECTION F-F
SCALE 1:50

B	Floor amended	11.05.07
A	Sections / notes amended	13.03.07

REVISION:

JOB TITLE:

New Residence for
Richard & Sue Dyson
Weid Road,
Oakura



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New Plymouth

SCALE: 1:100

DRAWN: P. Russell

CHECKED: -

DATE: October 2006

JOB No.: 4128 REVISION: B

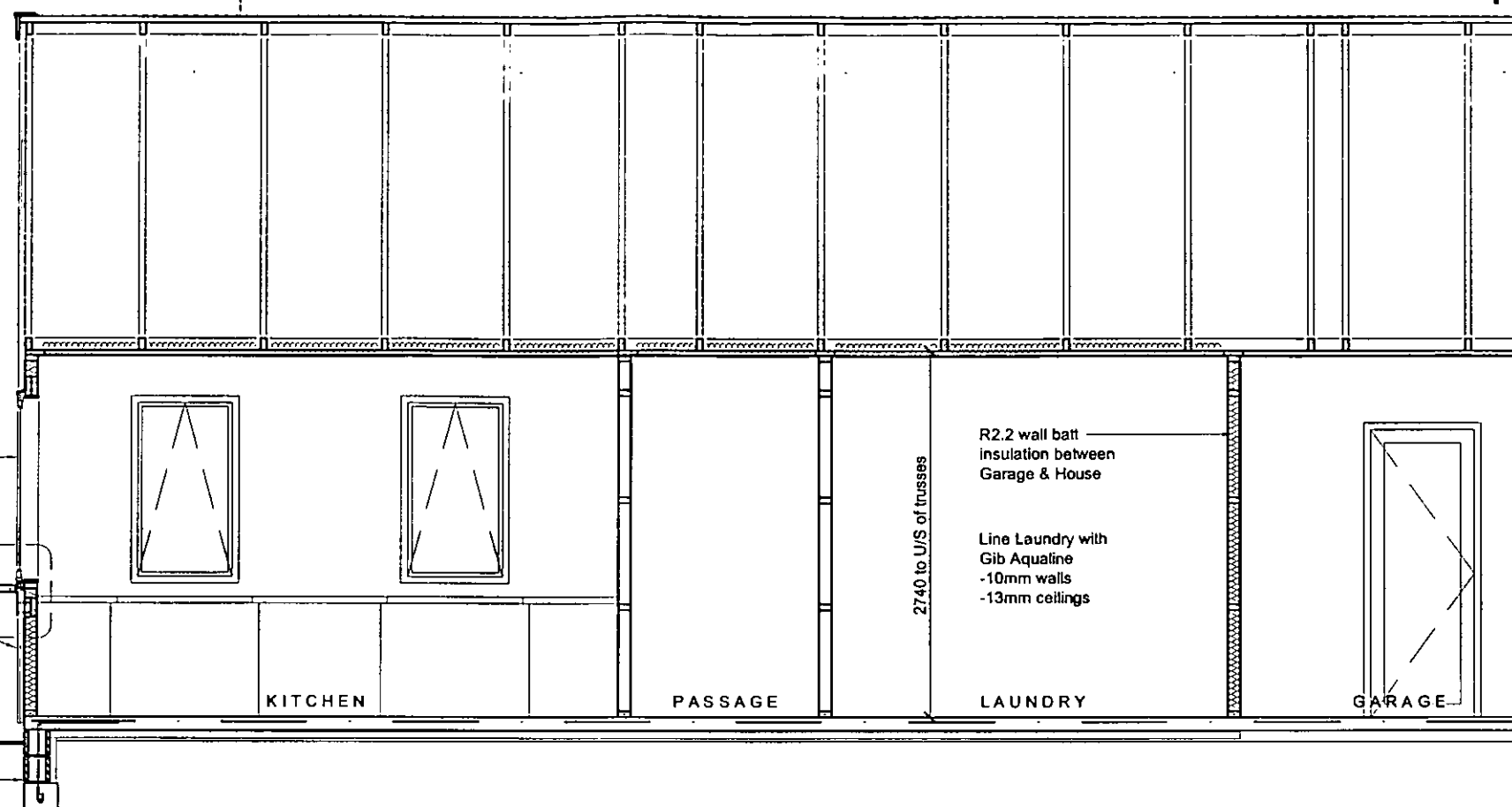
SHEET No.: A4-2

- Selected colorsteel roofing, corrugate profile
- Roofing underlay
- 65x45 timber purlins @ 900 max crs
- Nail plate trusses @ 900 max crs as designed and supplied by an approved truss manufacturer.
- 65x35 timber ceiling battens @ 600 max crs
- R2.6 ceiling batt insulation
- 13mm Gibboard lining

Selected aluminium joinery

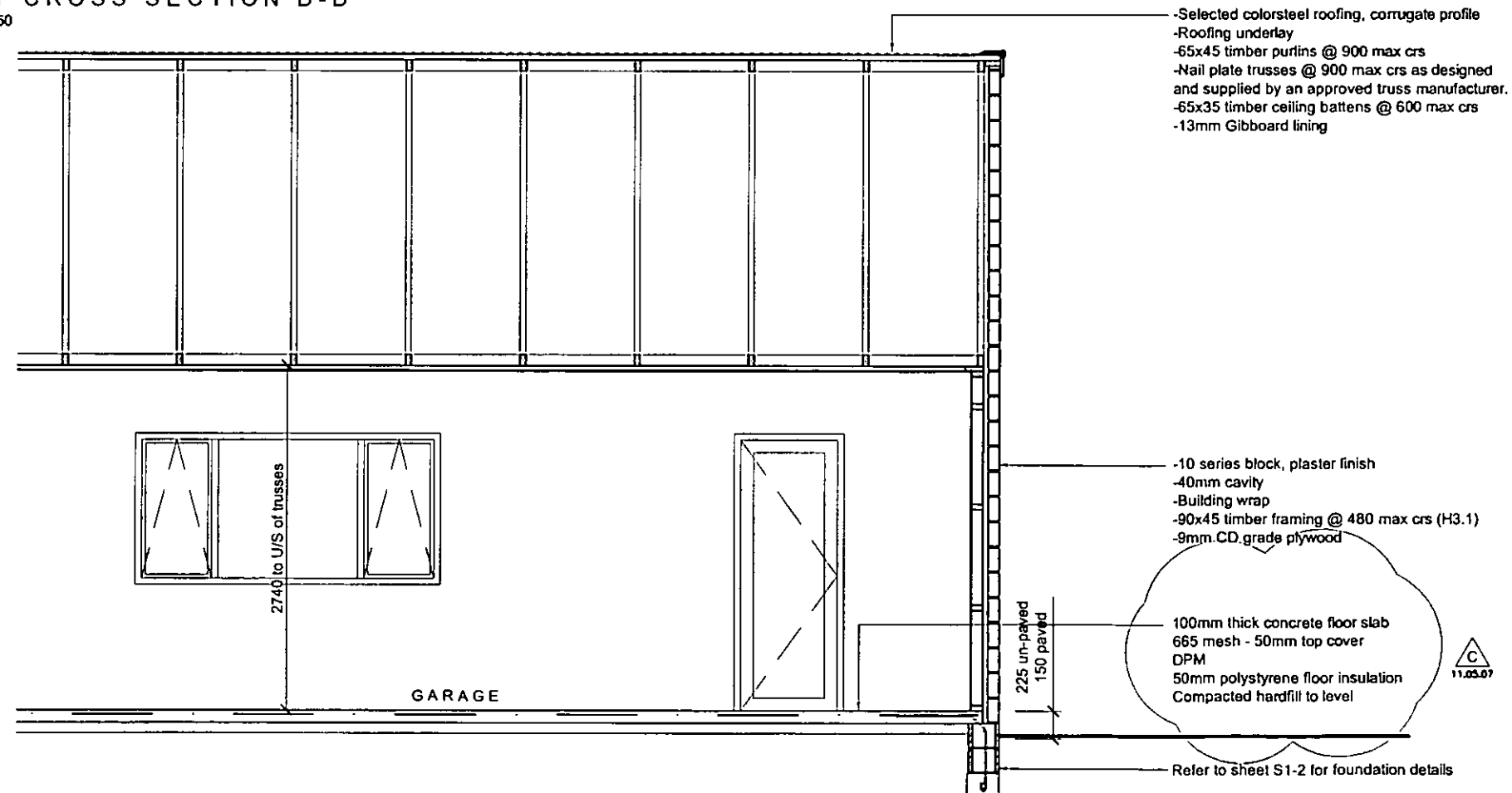
- Vertical cedar shiplap weatherboard
- 'Cavibat' cavity batten system
- Building wrap
- 90x45 timber framing @ 480 max crs (H3.1)
- R2.2 wall batt insulation
- 10mm Gibboard lining

Refer to sheet S1-2 for foundation details



PART CROSS SECTION D-D

SCALE 1:50



PART CROSS SECTION D-D

SCALE 1:50

- Selected colorsteel roofing, corrugate profile
- Roofing underlay
- 65x45 timber purlins @ 900 max crs
- Nail plate trusses @ 900 max crs as designed and supplied by an approved truss manufacturer.
- 65x35 timber ceiling battens @ 600 max crs
- 13mm Gibboard lining

- 10 series block, plaster finish
- 40mm cavity
- Building wrap
- 90x45 timber framing @ 480 max crs (H3.1)
- 9mm CD grade plywood

100mm thick concrete floor slab
665 mesh - 50mm top cover
DPM
50mm polystyrene floor insulation
Compacted hardfill to level

Refer to sheet S1-2 for foundation details

C	Floor amended	11.05.07
B	Sections / notes amended	13.03.07
A	Note amended	12.12.06

REVISION:

JOB TITLE:

New Residence for
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SCALE: 1:100

DRAWN: P. Russell

CHECKED: -

DATE: October 2006

JOB No.: 4128 REVISION: C

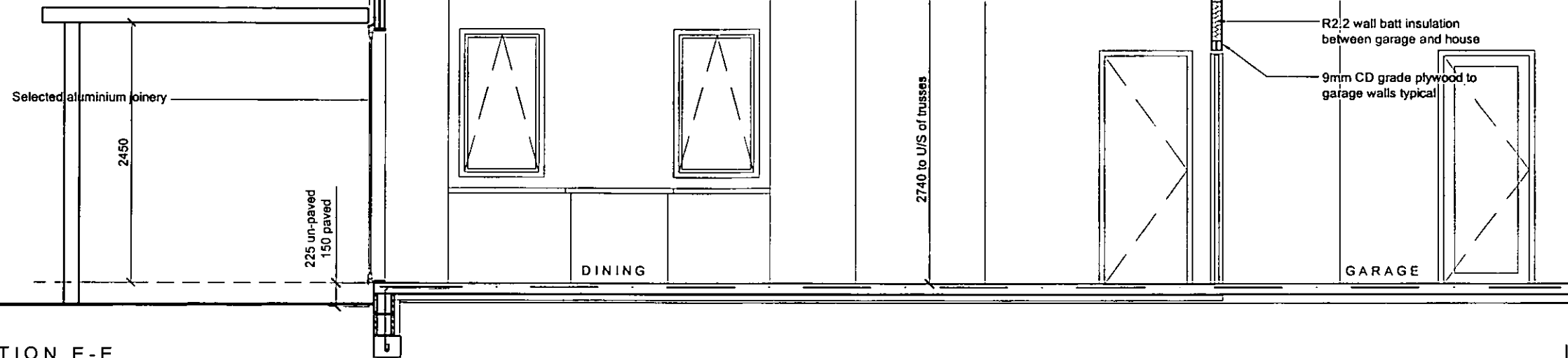
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A4-3

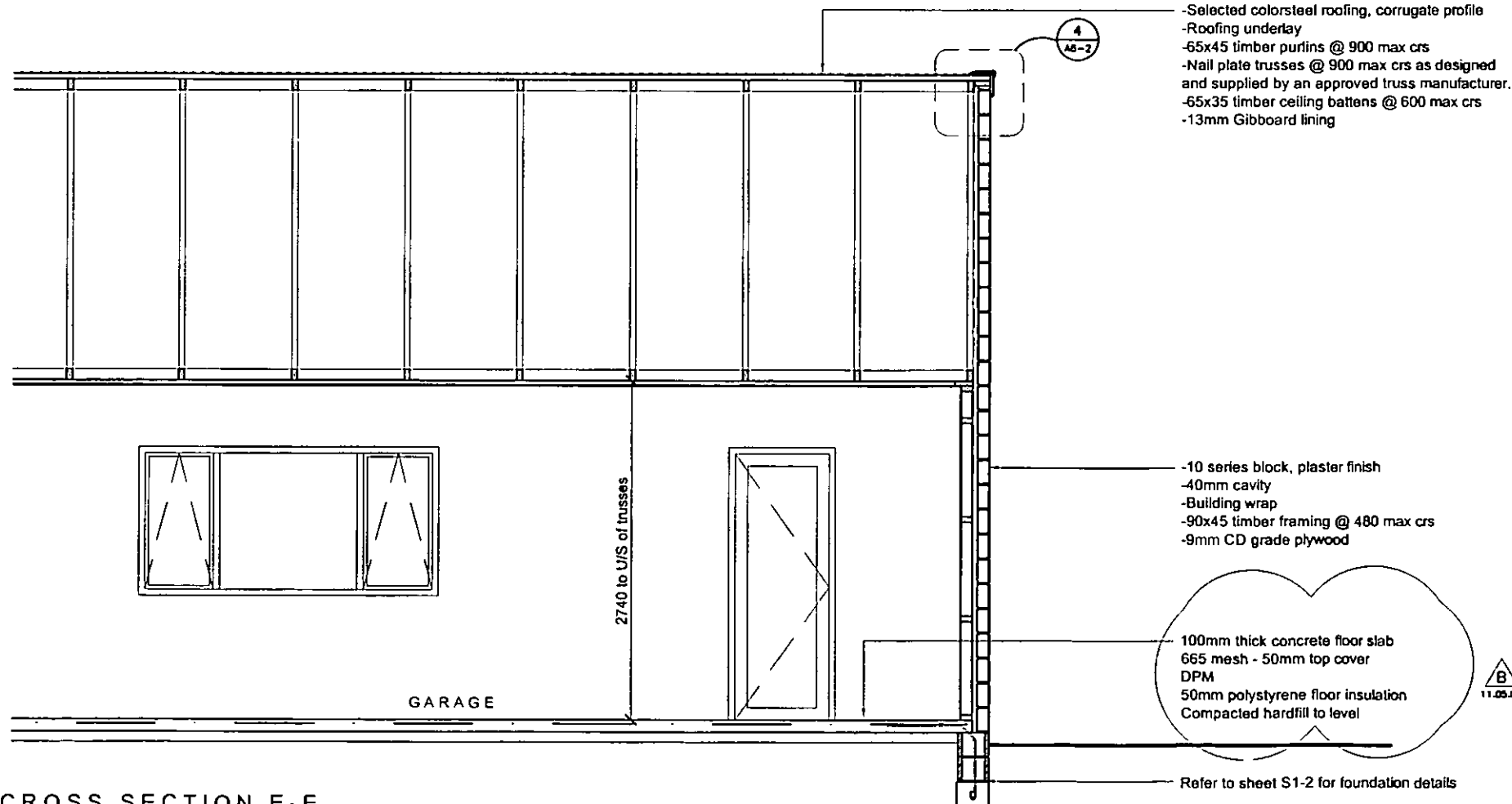
- Selected colorsteel roofing, corrugate profile
- Roofing underlay
- 65x45 timber purlins @ 900 max crs
- Nail plate trusses @ 900 max crs as designed and supplied by an approved truss manufacturer.
- 65x35 timber ceiling battens @ 600 max crs
- R2.6 ceiling batt insulation
- 13mm Gibboard lining

- Vertical cedar shiplap weatherboard
- 'Cavibat' cavity batten system
- Building wrap
- 90x45 timber trusses

Selected aluminium joinery



PART CROSS SECTION E-E
SCALE 1:50



PART CROSS SECTION E-E
SCALE 1:50

B	Floor amended	11.05.07
A	Sections / notes amended	13.03.07

REVISION:

JOB TITLE:
New Residence for
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SCALE: 1:100
DRAWN: P. Russell
CHECKED: -
DATE: October 2006
JOB No.: 4126 REVISION: B
SHEET No.: A4-4

- Selected colorsteel roofing, corrugate profile
- Roofing underlay
- 65x45 timber purlins @ 900 max crs
- Nail plate trusses @ 900 max crs as designed and supplied by an approved truss manufacturer.
- 65x35 timber ceiling battens @ 600 max crs
- R2.6 ceiling batt insulation
- 13mm Gibboard lining

- 10 series block, plaster finish
- 40mm cavity
- Building wrap
- 90x45 timber trusses

Selected aluminium joinery

C
11.05.07

- 100mm thick concrete floor slab
- 665 mesh - 50mm top cover
- DPM
- 50mm polystyrene floor insulation
- Compacted hardfill to level

225 un-paved
150 paved

Refer to sheet S1-2 for foundation details

2740 to U/S of trusses

LOUNGE

STUDY

CROSS SECTION G-G
SCALE 1:50

35 deg.

- Selected colorsteel roofing, corrugate profile
- Roofing underlay
- 65x45 timber purlins @ 900 max crs
- Nail plate trusses @ 900 max crs as designed and supplied by an approved truss manufacturer.
- 65x35 timber ceiling battens @ 600 max crs
- R2.6 ceiling batt insulation
- 13mm Gibboard lining

Selected colorsteel box section
spouting fixed to Ex 190x35 cedar
fascia board, stain finish

Selected aluminium joinery

- 10 series block, plaster finish
- 50mm cavity
- Building wrap
- 90x45 timber framing @ 480 max crs
- R2.2 wall batt insulation
- 10mm Gibboard lining

2740 to U/S of trusses

LOUNGE

- 100mm thick concrete floor slab
- 665 mesh - 50mm top cover
- DPM
- 50mm polystyrene floor insulation
- Compacted hardfill to level

C
11.05.07

Refer to sheet S1-2 for foundation details

CROSS SECTION H-H
SCALE 1:50

C	Floor amended	11.05.07
B	Sections / notes amended	13.03.07
A	Notes amended	12.12.06

REVISION:

JOB TITLE:
New Residence for
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4 site
DESIGN

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SCALE: 1:100
DRAWN: P. Russell
CHECKED: -
DATE: October 2006
JOB No.: 4128 REVISION: C
SHEET No.: A4-5

- Selected colorsteel roofing, corrugate profile
- Roofing underlay
- 65x45 timber purlins @ 900 max crs
- Nail plate trusses @ 900 max crs as designed and supplied by an approved truss manufacturer.
- 65x35 timber ceiling battens @ 600 max crs
- R2.6 ceiling batt insulation
- 13mm Gibboard lining

Selected colorsteel box section
spouting fixed to Ex 190x35 cedar
fascia board, stain finish

- 10 series block, plaster finish
- 40mm cavity
- Building wrap
- 90x45 timber framing @ 480 max crs (H3.1)
- R2.2 wall batt insulation
- 10mm Gibboard lining

100mm thick concrete floor slab
665 mesh - 50mm top cover
DPM
15mm sand blinding
Compacted hardfill to level

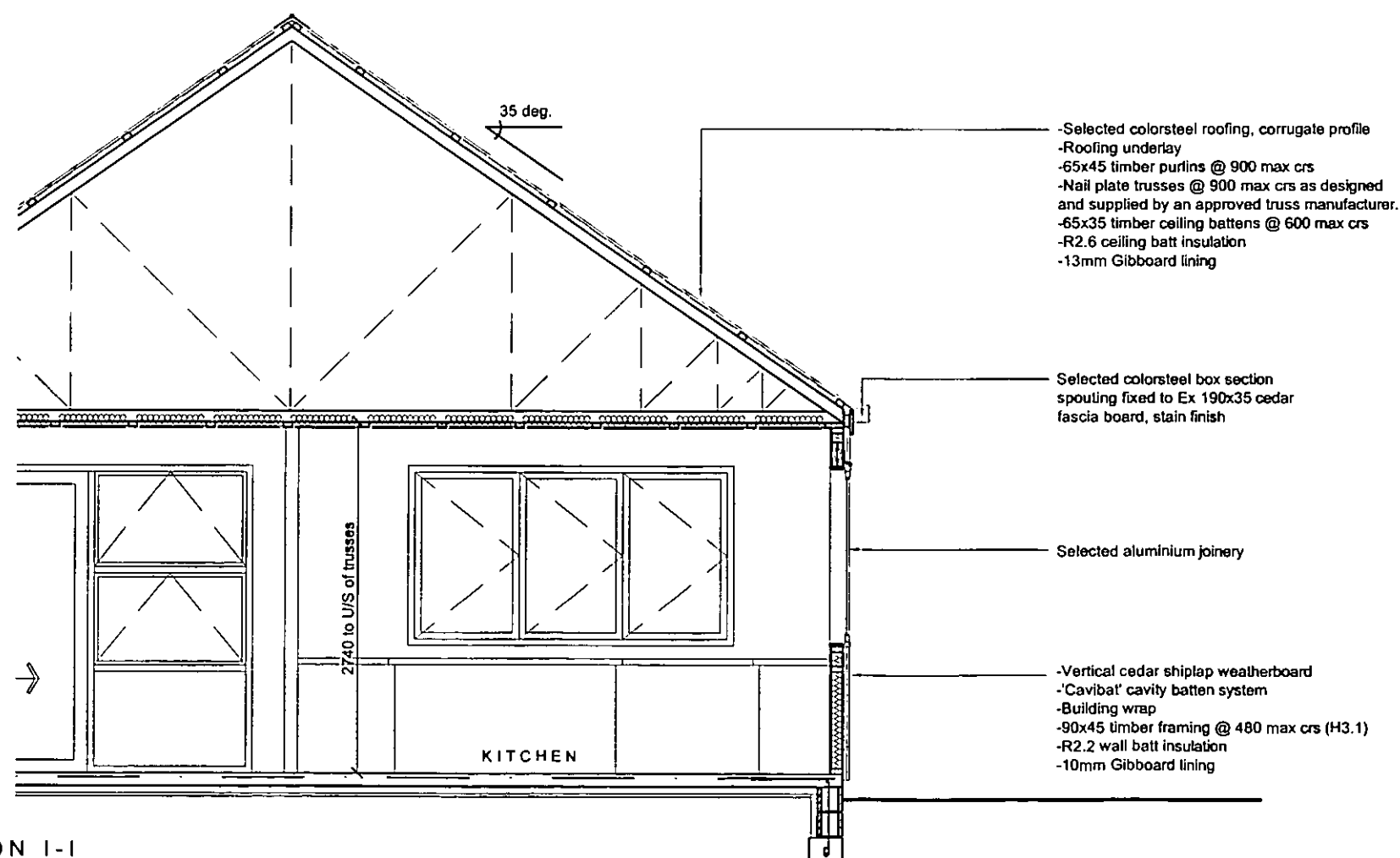
C
11.05.07

225 un-paved
150 paved

Refer to sheet S1-2 for foundation details

PART CROSS SECTION I-I

SCALE 1:50



- Selected colorsteel roofing, corrugate profile
- Roofing underlay
- 65x45 timber purlins @ 900 max crs
- Nail plate trusses @ 900 max crs as designed and supplied by an approved truss manufacturer.
- 65x35 timber ceiling battens @ 600 max crs
- R2.6 ceiling batt insulation
- 13mm Gibboard lining

Selected colorsteel box section
spouting fixed to Ex 190x35 cedar
fascia board, stain finish

Selected aluminium joinery

- Vertical cedar shiplap weatherboard
- Cavibat cavity batten system
- Building wrap
- 90x45 timber framing @ 480 max crs (H3.1)
- R2.2 wall batt insulation
- 10mm Gibboard lining

PART CROSS SECTION I-I

SCALE 1:50

REVISION		
C	Floor amended	11.05.07
B	Sections / notes amended	13.03.07
A	Note amended	12.12.06

REVISION:

JOB TITLE:

New Residence for
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SCALE: 1:100

DRAWN: P. Russell

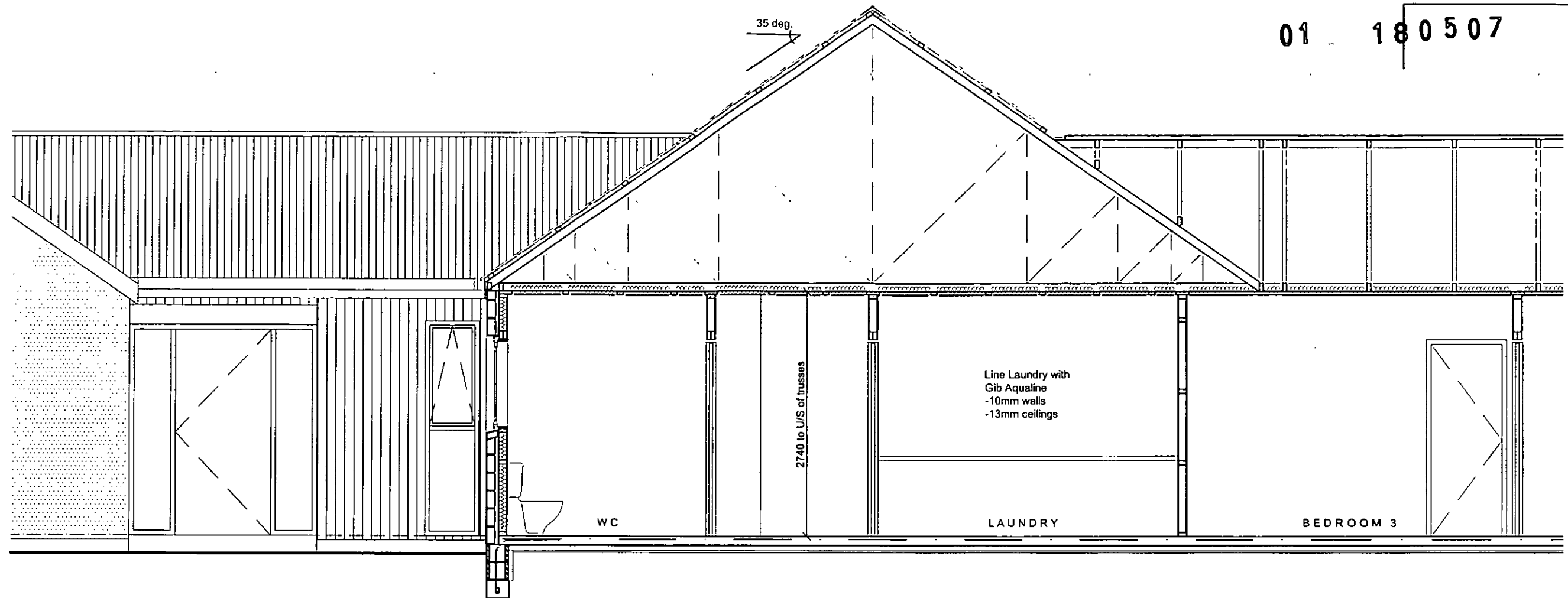
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DATE: October 2006

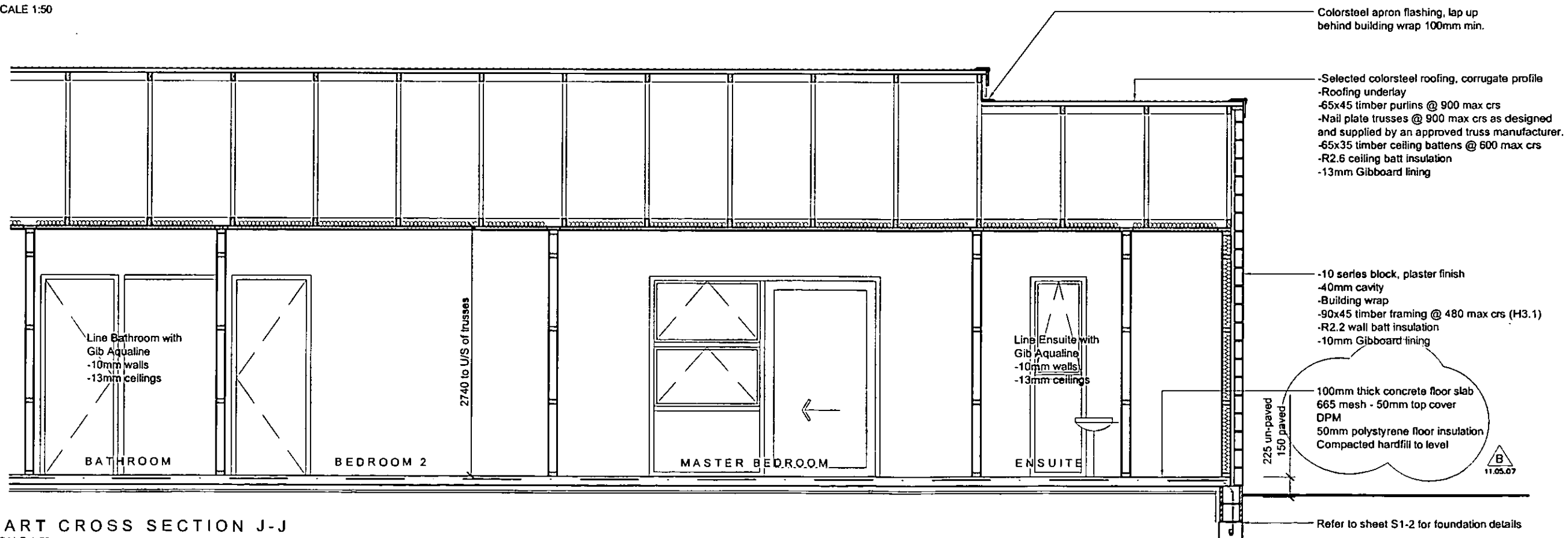
JOB No.: 4128 REVISION: C

SHEET No.:

A4-6



PART CROSS SECTION J-J
SCALE 1:50



PART CROSS SECTION J-J
SCALE 1:50

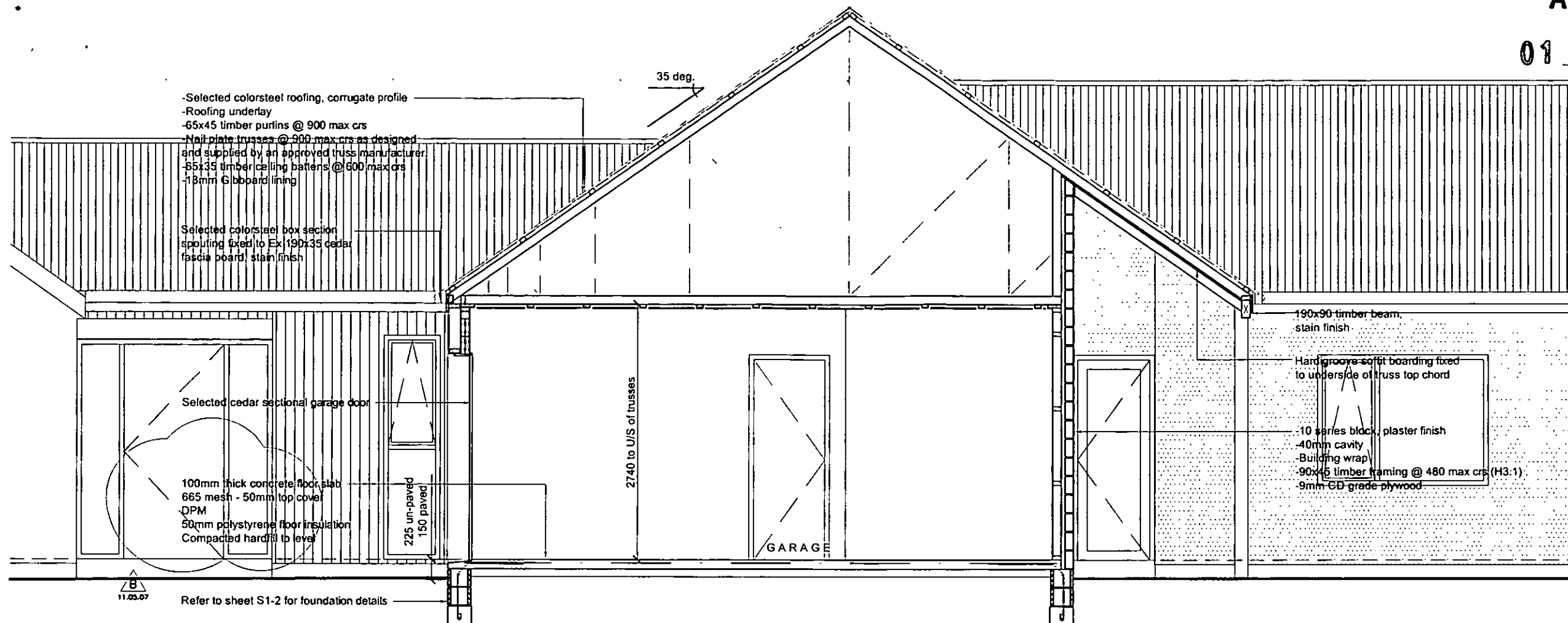
REVISION	SECTION / NOTES AMENDED	DATE
B	Floor amended	11.05.07
A	Sections / notes amended	13.03.07

JOB TITLE:
New Residence for
Richard & Sue Dyson
Weld Road,
Oakura

4 site DESIGN

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New Plymouth

SCALE: 1:100
DRAWN: P. Russell
CHECKED: -
DATE: October 2006
JOB No.: 4128 REVISION: B
SHEET No.: A4-7



CROSS SECTION K-K
SCALE 1:50

B	Floor amended	11.05.07
A	Section / notes amended	13.03.07

REVISION:

JOB TITLE:

New Residence for
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SCALE : 1:100

DRAWN : P. Russell

CHECKED : -

DATE : October 2006

JOB No. : 4128 REVISION : B

SHEET No. :

A4-8

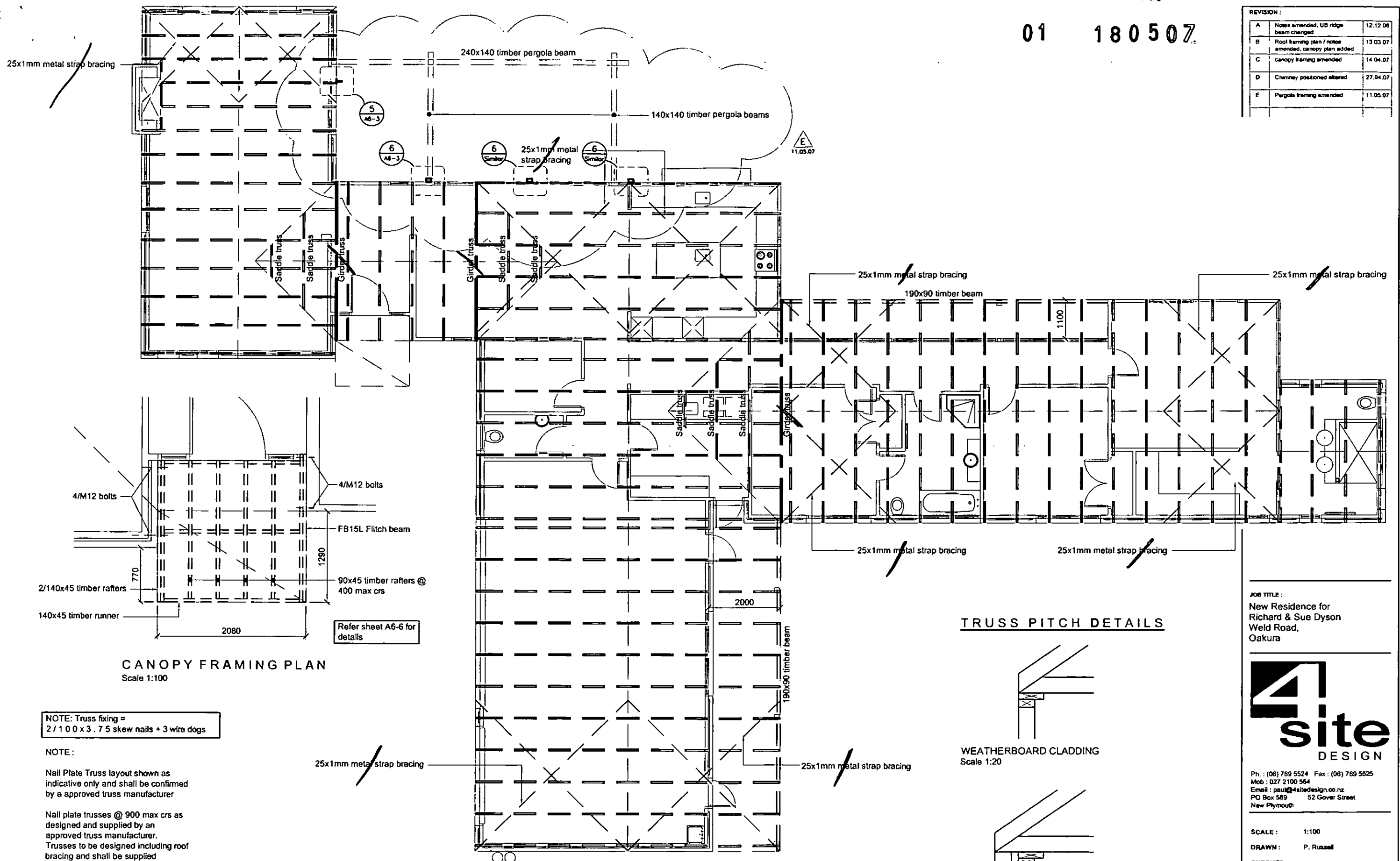
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JOB TITLE :
New Residence for
Richard & Sue Dyson
Weld Road,
Oakura



SCALE : 1:100
DRAWN : P. Russell
CHECKED : -
DATE : October 2006
JOB No. : 4126 REVISION : E
SHEET No. : 150

A5-2



CANOPY FRAMING PLAN
Scale 1:100

NOTE: Truss fixing =
2 / 100 x 3.75 skew nails + 3 wire dogs

NOTE:

Nail Plate Truss layout shown as
indicative only and shall be confirmed
by a approved truss manufacturer

Nail plate trusses @ 900 max crs as designed and supplied by an approved truss manufacturer.
Trusses to be designed including roof bracing and shall be supplied complete with all bracing timber truss ties, hip and valley boards or beams, ridge boards etc as per NZS 3604

ROOF FRAMING PLAN
Scale 1:100

TRUSS PITCH DETAILS

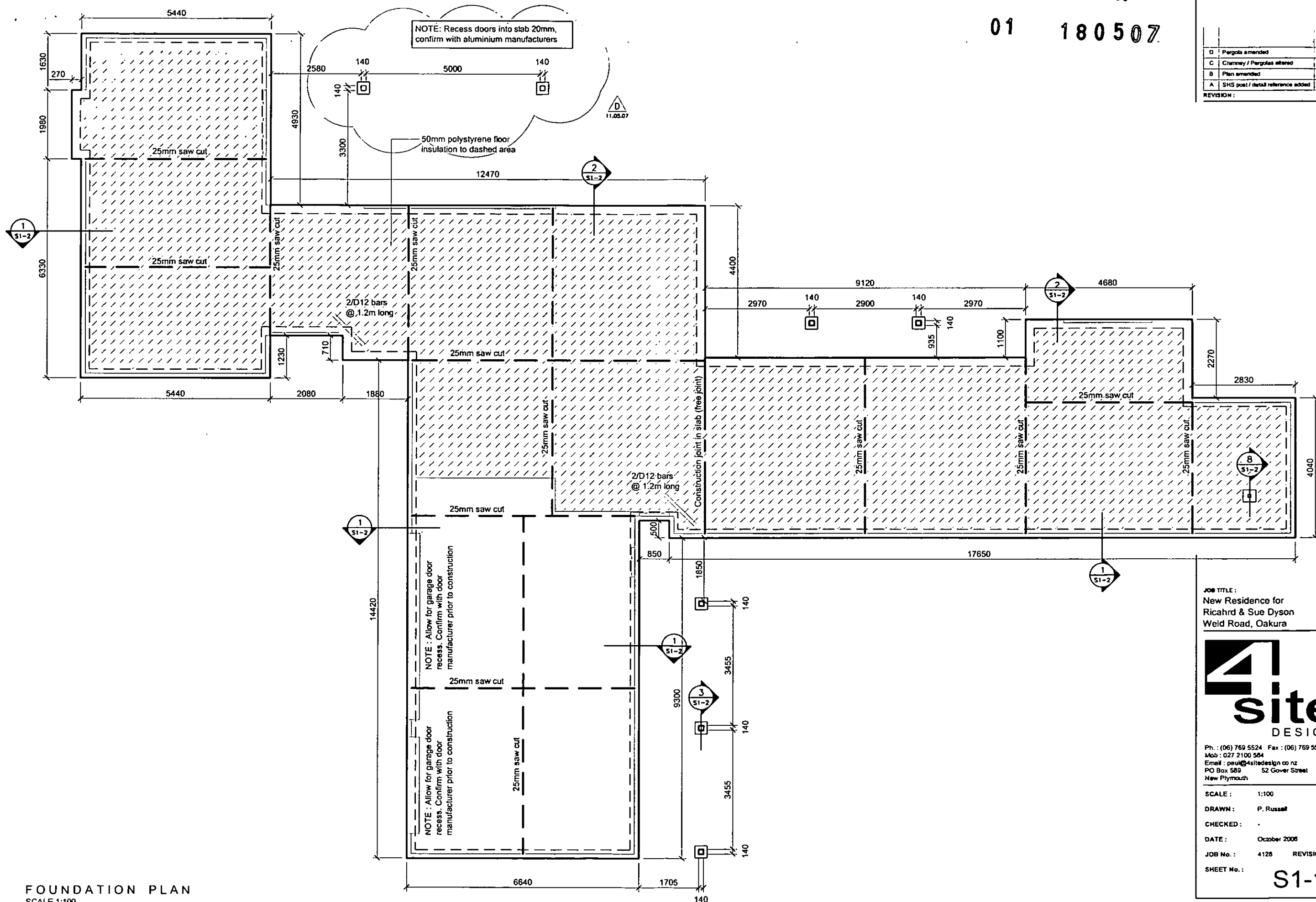
WEATHERBOARD CLADDING
Scale 1:20

BLOCK VENEER CLADDING
Scale 1:20

01 180507

D	Pergola amended	11.05.07
C	Chimney / Pergolas altered	27.04.07
B	Plan amended	13.03.07
A	SHS post / detail reference added	12.12.06

REVISION :



FOUNDATION PLAN
SCALE 1:100

JOB TITLE :
New Residence for
Ricahrd & Sue Dyson
Weld Road, Oakura



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SCALE : 1:100

DRAWN : P. Russell

CHECKED: -

DATE: October 2006

JOB No.: 4128 REVISION: D

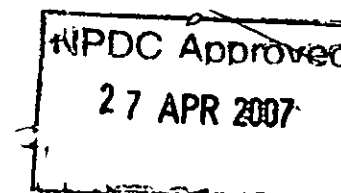
SHEET No.: S1-1



NEW RESIDENCE
FOR
RICHARD & SUE DYSON
WELD ROAD , OAKURA

Job No : 4128
November 2006

Wavin K2



Drawing Index

- A1-1 - SITE PLAN
- A2-1 - FLOOR PLAN
- A3-1 - ELEVATIONS
- A3-2 - ELEVATIONS
- A4-1 - CROSS SECTION A-A / B-B
- A4-2 - CROSS SECTION C-C / F-F
- A4-3 - PART CROSS SECTION D-D
- A4-4 - PART CROSS SECTION E-E
- A4-5 - CROSS SECTION G-G / H-H
- A4-6 - PART CROSS SECTION I-I
- A4-7 - PART CROSS SECTION J-J
- A4-8 - CROSS SECTION K-K
- A5-1 - ROOF PLAN
- A5-2 - ROOF FRAMING PLAN
- A5-3 - BRACING PLAN
- A5-4 - PLUMBING AND DRAINAGE PLAN
- A5-5 - FLOOR FINISHES PLAN
- A5-6 - FLOOR HEATING PLAN
- A5-7 - LIGHTING PLAN
- A5-8 - ELECTRICAL PLAN
- A6-1 - CONSTRUCTION DETAILS
- A6-2 - CONSTRUCTION DETAILS
- A6-3 - CONSTRUCTION DETAILS
- A6-4 - CONSTRUCTION DETAILS
- A6-5 - CONSTRUCTION DETAILS
- A6-6 - CONSTRUCTION DETAILS
- A7-1 - WINDOW SCHEDULE
- A7-2 - DOOR SCHEDULE
- S1-1 - FOUNDATION PLAN
- S1-2 - FOUNDATION DETAILS
- S2-1 - STEEL WORK PLAN & ELEVATIONS
- S2-2 - STEEL CONSTRUCTION DETAILS
- S2-3 - STEEL CONSTRUCTION DETAILS

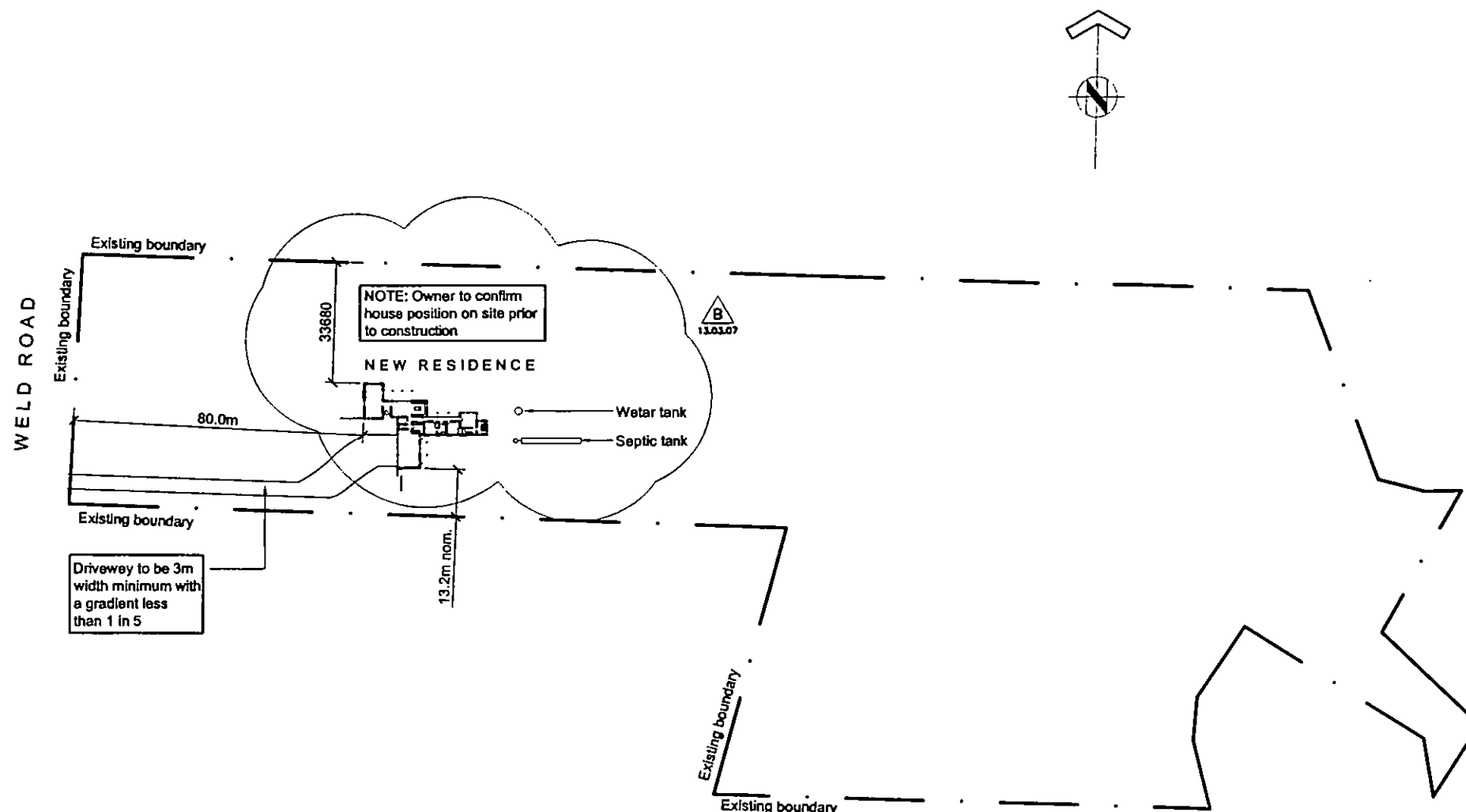
AMENDMENT ISSUE

13.03.07



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19 APR 2007



SITE PLAN

SCALE 1:1500

SITE DETAILS

LOT 2
DP 310142

SITE AREA

SITE AREA = 3.6650ha
FLOOR PLAN AREA = 302m²

TECHNICAL NOTES:

- Contractor shall check all dimensions & levels on site before starting construction.
- Concrete construction shall comply with NZS 3109
- Concrete Strengths @ 28 days
 - Foundations 20 Mpa
 - Block walls 20 Mpa
 - Floor slab 20 Mpa
 - Piles & caps 20 Mpa
 - Blockfill 17.5 Mpa
 - Floor slab 20 Mpa
- Masonry construction shall comply with NZS 4210
- Reinforcing steel shall comply with NZS 4671
- All work & materials to comply with Building Act & regulations.
- Sequencing of the work is by the contractor.
- Reinforcing Grades
 - D = Deformed grade 300
 - H = Deformed grade 500
 - R = Plain grade grade 300
- Reinforcing Covers (mm) minimum
 - Cast against ground 75
 - Formed in-situ 50
 - Block walls 50
 - Floor slabs - Top 40
 - Btm 50
- Advise Engineer of any changes in the existing ground conditions to that shown or implied on the plans & obtain decision before proceeding
- This specification shall take precedence over any other unless advised otherwise by the Engineer
- Concrete finishes to NZS 3114 - floor slab as required by owner
- Foundations to have min. safe bearing capacity > 75 kPa
- Ash backfill to be compacted in 150mm layers and to achieve a min. shear strength > 100 kPa
- Steel fabrication to comply with NZS 3404
- Welding to comply with AS/NZS 1554.1. All welds minimum 6mm fillet unless noted otherwise
- Steel surface finishing to be hot dip galvanised or appropriate paint system
- Bolts to be grade 4.6
- Steel sections and plates to AS 3678-250

GENERAL NOTES:

- All new construction where not specifically designed shall comply with the NZ Building Code Handbook and shall conform to NZS 3604:1999
- Builder to check all dimensions prior to construction, manufacture or fixing in of any part and shall allow to adjust for fitting tolerances.
- Dimensional errors shall not be the responsibility of the designer or the design firm or his agents
- All exposed metal fasteners and plates shall be stainless steel (grade 316) in accordance with NZS 3604 : 1999 Section 4 Durability Table 4.1
- All timber in near contact to concrete, steel or cement based products shall be separated with a malthold strip DPC of sufficient width to prevent contact between the two
- All plumbing to conform to NZBC, G12
- Electrician to confirm all electrical fittings with owner prior to wiring out.
- Bottom plate to be fixed to concrete floor slab with T12 tru-bolts at 900mm c/s starting 150mm from every corner.

TIMBER TREATMENT SCHEDULE

BUILDING ELEMENT	TREATMENT LEVELS
- Roof framing, trusses & ceiling joists (over 10 deg.) - Interior wall framing, including bottom plates	H1 treated, planer gauged radiata pine.
- Exterior wall framing and parapets, single storey masonry veneer buildings - Enclosed framing within skillion roofs	H3.1
Subfloor framing	H3.1
- Enclosed framing within flat roofs - Framing for enclosed decks & balconies - Framing within enclosed balustrades - Some framing supporting decks & balconies	H3.1
Unroofed decking & external stairs, handrails & balustrades	H3.2
Piles & other structural in ground material	H5

B	Dimension / water tanks amended	13.03.07
A	House position moved, notes added	12.12.06

REVISION :

JOB TITLE :
New Residence for
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SCALE : 1:100

DRAWN : P. Russell

CHECKED : -

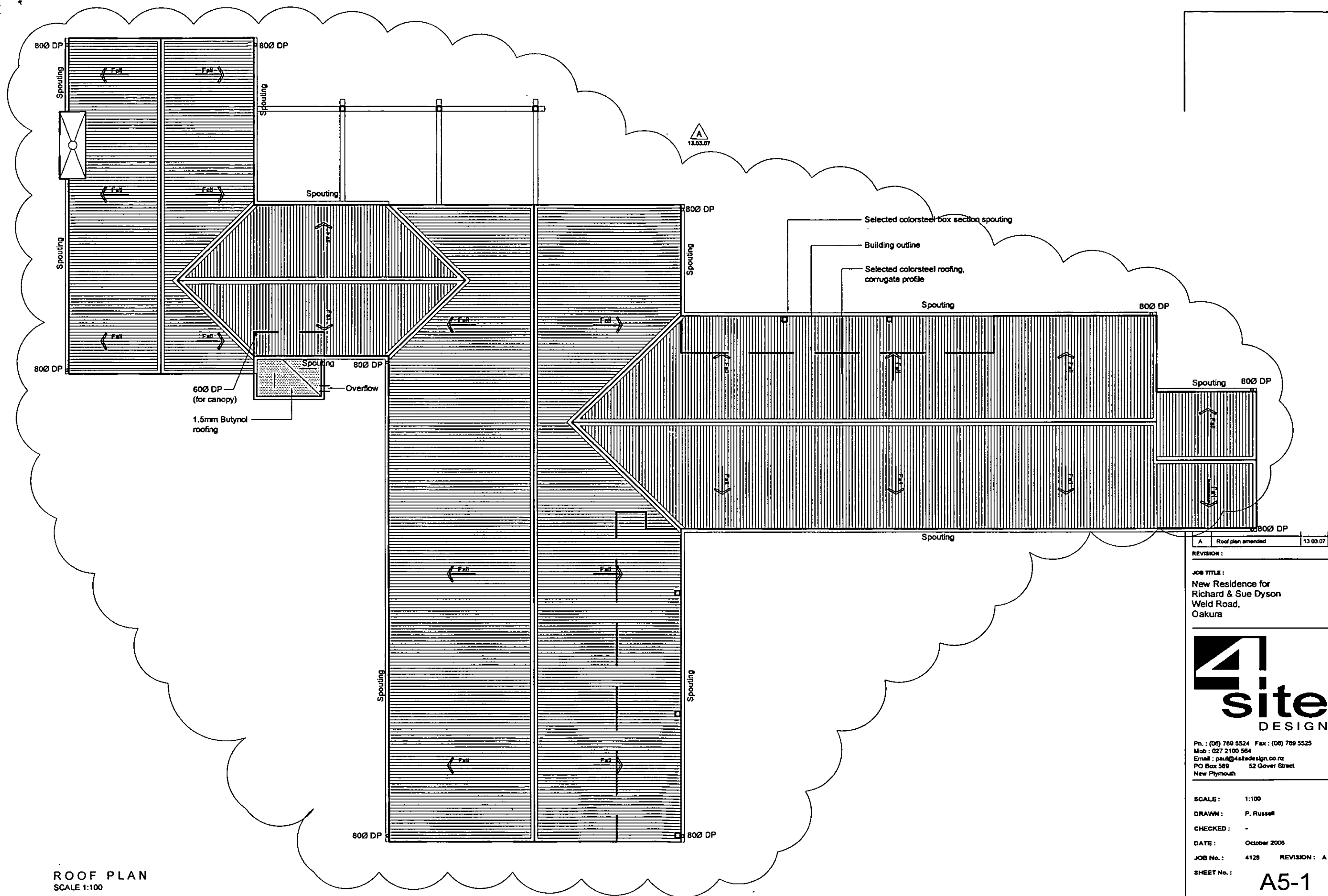
DATE : October 2006

JOB No. : 4128 REVISION 9 APR 2007

SHEET No. :

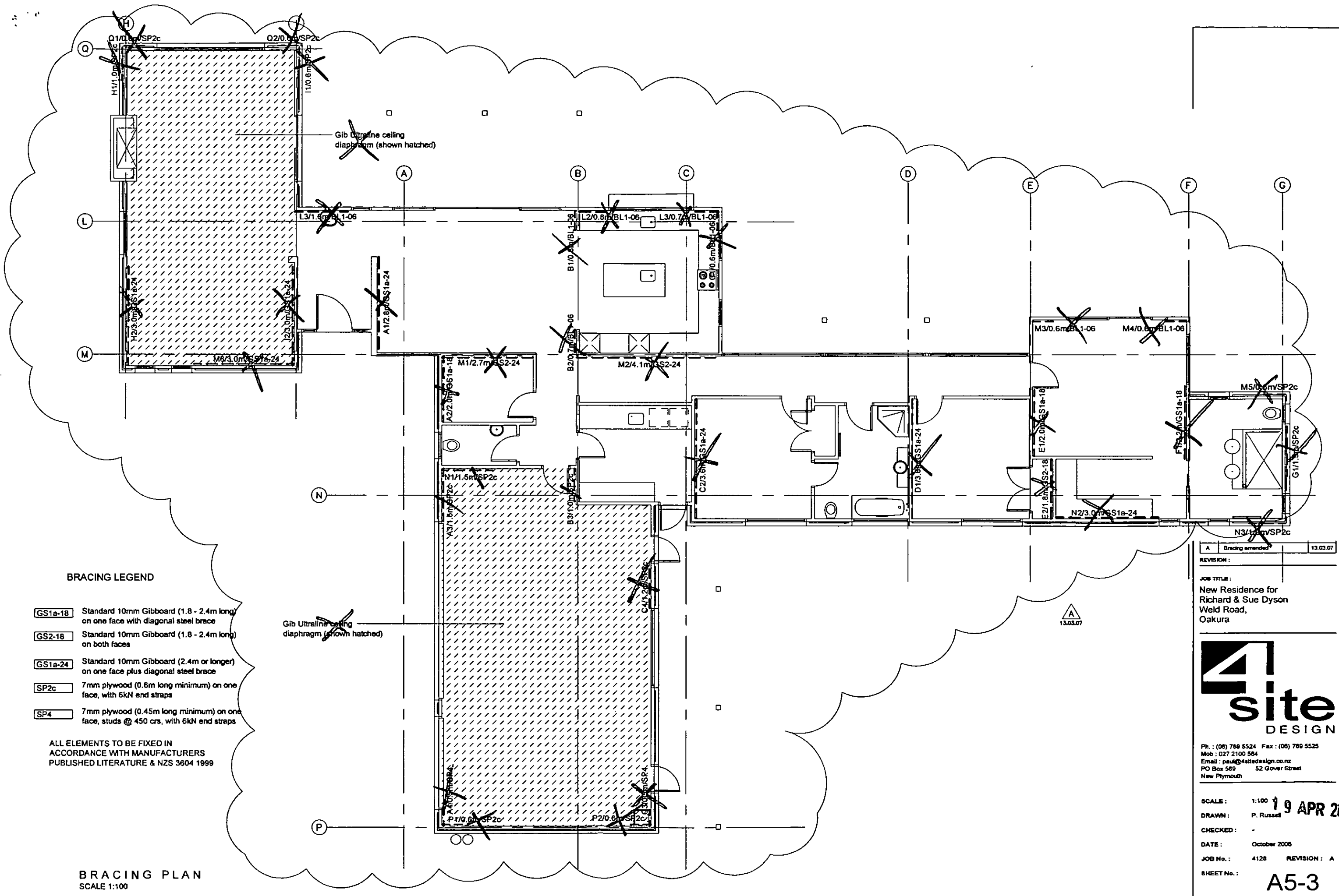
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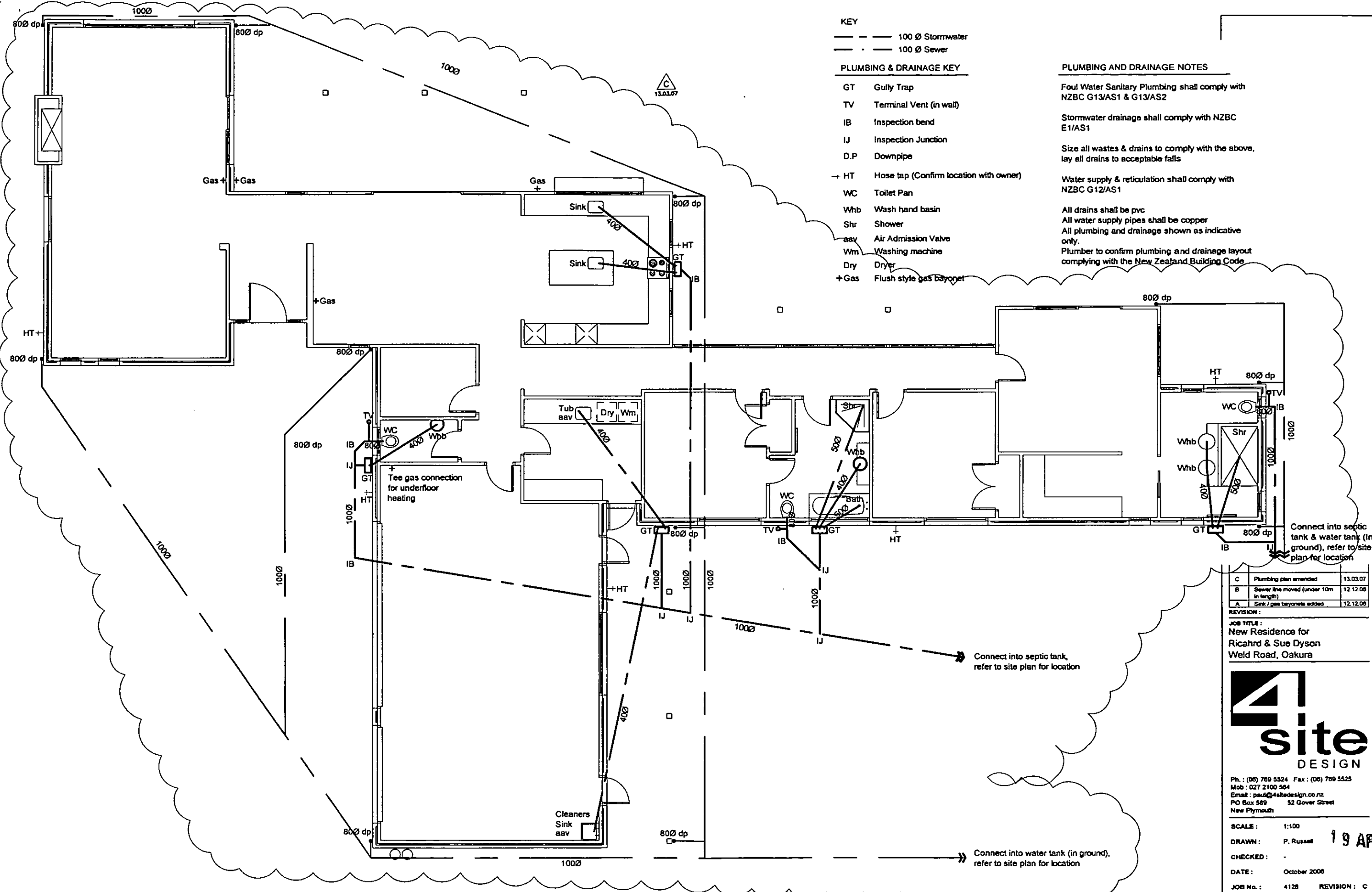
ROOF PLAN
SCALE 1:100



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SCALE : 1:100
DRAWN : P. Russell
CHECKED : -
DATE : October 2005
JOB No. : 4128 REVISION : A
SHEET No. : 1





- KEY**
- 100 Ø Stormwater
 - 100 Ø Sewer
- PLUMBING & DRAINAGE KEY**
- GT Gully Trap
 - TV Terminal Vent (in wall)
 - IB Inspection bend
 - IJ Inspection Junction
 - D.P. Downpipe
 - HT Hose tap (Confirm location with owner)
 - WC Toilet Pan
 - Whb Wash hand basin
 - Shr Shower
 - aav Air Admission Valve
 - Wm Washing machine
 - Dry Dryer
 - +Gas Flush style gas bayonet

PLUMBING AND DRAINAGE NOTES

Foul Water Sanitary Plumbing shall comply with NZBC G13/AS1 & G13/AS2

Stormwater drainage shall comply with NZBC E1/AS1

Size all wastes & drains to comply with the above, lay all drains to acceptable falls

Water supply & reticulation shall comply with NZBC G12/AS1

All drains shall be pvc
All water supply pipes shall be copper
All plumbing and drainage shown as indicative only.
Plumber to confirm plumbing and drainage layout complying with the New Zealand Building Code

C	Plumbing plan amended	13.03.07
B	Sewer line moved (under 10m in length)	12.12.06
A	Sink / gas bayonets added	12.12.06

REVISION :

JOB TITLE :
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Weld Road, Oakura

4 site DESIGN

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SCALE : 1:100

DRAWN : P. Russell

CHECKED : -

DATE : October 2006

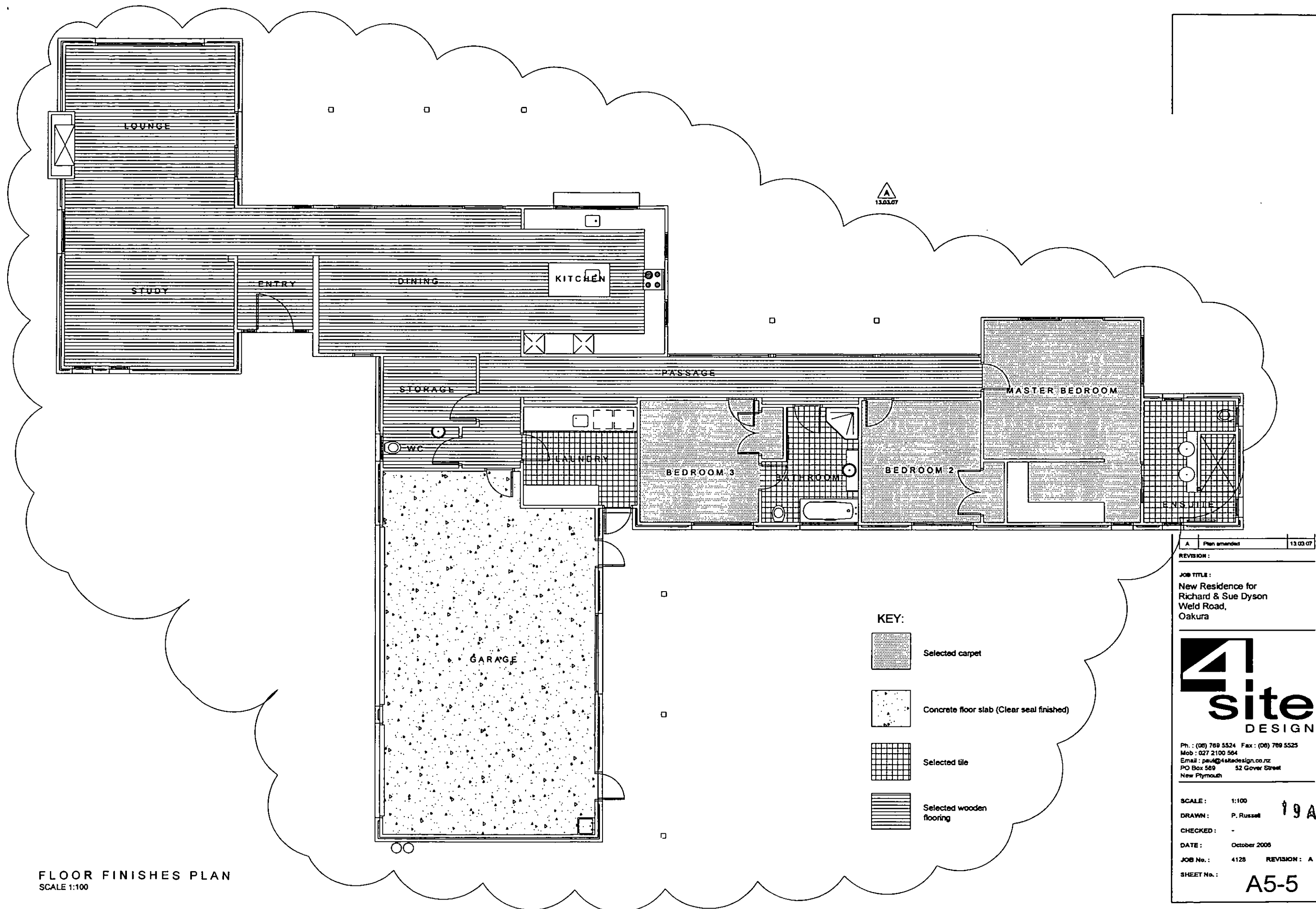
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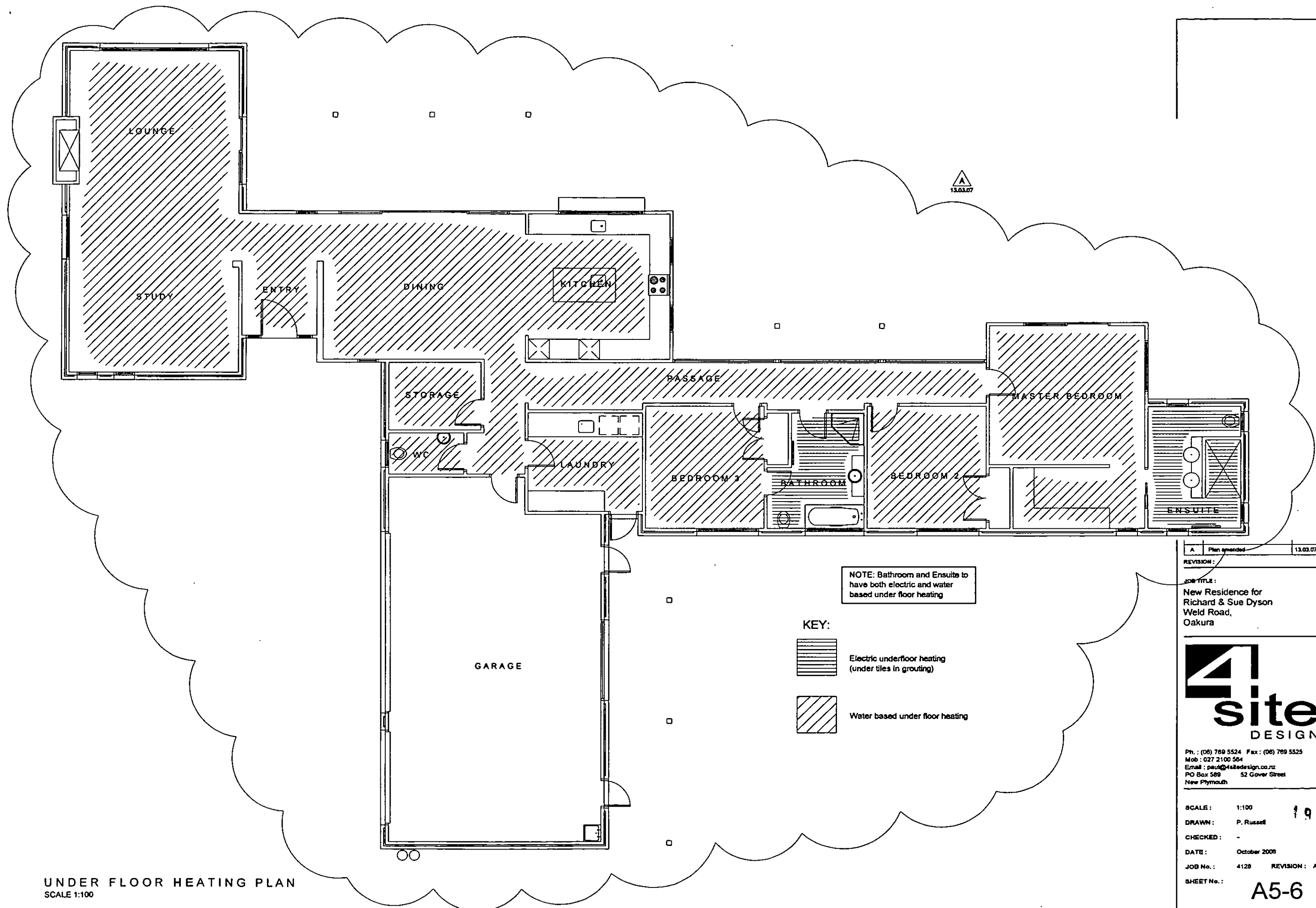
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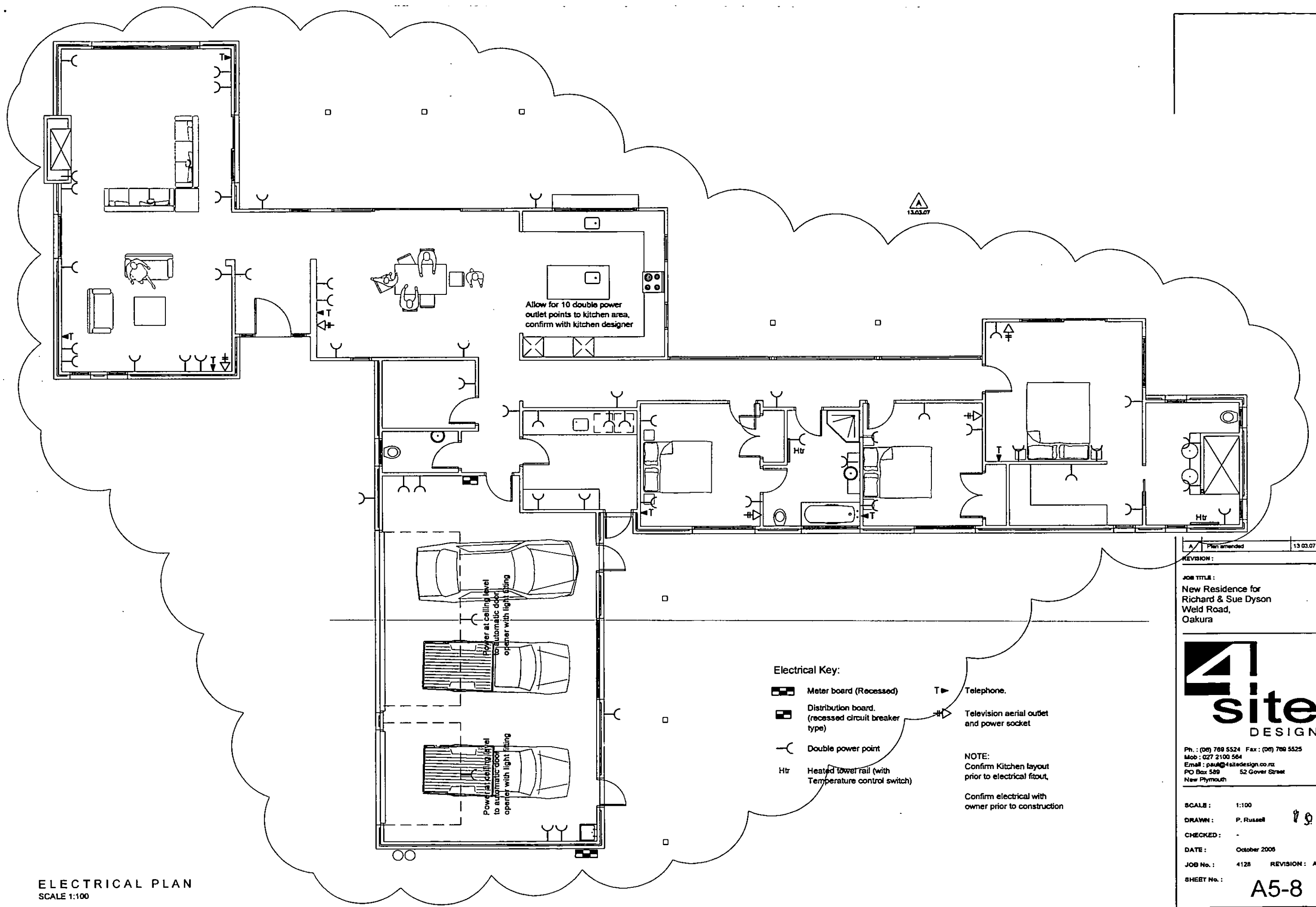
19 APR 2007

PLUMBING & DRAINAGE PLAN
SCALE 1:100

A5-4







ELECTRICAL PLAN
SCALE 1:100

Electrical Key:

-  Meter board (Recessed)
-  Distribution board, (recessed circuit breaker type)
-  Double power point
-  Htr Heated towel rail (with Temperature control switch)

-  Telephone.
-  Television aerial outlet and power socket

NOTE:
Confirm Kitchen layout prior to electrical fitout,
Confirm electrical with owner prior to construction

13.03.07	Plan amended
----------	--------------

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SCALE: 1:100
DRAWN: P. Russell
CHECKED: -
DATE: October 2006
JOB No.: 4128 REVISION: A
SHEET No.: A5-8

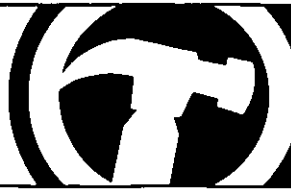
19 APR 2007



LIM information divider



NPDC



1. The building consent

1a. Building consent no.

BC101241-274 Wpbl Rd

1b. Issued by

☒ New Plymouth District Council

☐ Other - please specify

2. Property owner details

2a. Owner details

☒ Have not changed since the
building consent was lodged
Proceed to section 3

☐ Have changed since the building
consent was lodged
Complete 2b and 2c

2b. Name

Contact person

(If owner is a corporation,
partnership or trust)

Postal address

Contact numbers

Phone

Mobile

Fax

Email

2c. Evidence of ownership
attached

(Only required if ownership has
changed)

☐ Certificate of Title (copy)

☐ Lease agreement

☐ Sale and purchase agreement

☐ Other document showing full name of legal
owner(s), such as a rate instalment notice

3. Applicant details

3a. I am the

☒ Property owner
Proceed to 3b

☐ Lessee
Provide details below

☐ Agent
Authorised by owner / lessee
Provide details below

Name

Postal address

Contact numbers

()

Phone

()

Mobile

()

Fax

Email

3b. Preferred means for
formal correspondence

☒ Mail

☐ Email

☐ Fax

4. Attachments

The following documents are attached to this application:

☐ Certificates from the personnel who carried out the work

☐ Certificates that relate to the energy work

☒ Evidence that specified systems are capable of performing to the performance standards set out in the building
consent

5. Key personnel

Designer Name / Registration no.

Contact details Address

Phone / Email ()

Please turn over

5. Key personnel - continued

Builder Name / Registration no.

Contact details Address

Phone / Email

TOTAL SPAN

470 DEVON ST WEST

() 751 4181

Drainlayer Name / Registration no.

Contact details Address

Phone / Email

()

Plumber Name / Registration no.

Contact details Address

Phone / Email

()

Gasfitter Name / Registration no.

Contact details Address

Phone / Email

()

Electrician Name / Registration no.

Contact details Address

Phone / Email

()

Other Name / Registration no.

Contact details Address

Phone / Email

()

6. Application

6a. Date building work completed

23 SEPTEMBER '08

6b. The following specified systems are contained on the compliance schedule for the building and, in the opinion of the personnel who installed them, are capable of performing to the performance standards set out in the building consent:

SMARTSTEEL GARAGE

6c. I request that you issue a code compliance certificate for the work under section 95 of the Building Act 2004. I understand that the code compliance certificate will be sent to the property owner

Signature

6/10/08

Date

RICHARD STEPHEN DYSON

Name (print clearly)

OFFICE USE ONLY

☐ Refund issued ☐ Awaiting final payment (invoice sent)

Date forwarded for CCC review

Forwarded by

CCC Review

☐ Plans/documentation lodged for all built work

☐ All inspection passed

☐ All built work consented

☐ All critical work inspected

☐ Supporting documents (ie procedure statements) lodged

Comments

Signed

/ /



**Code Compliance Certificate
Section 95, Building Act 2004**

The Building

Street Address of building: Weld Road Lower OKATO 4652
Legal Description of land where building is located: LOT 1 DP 365221
Current, lawfully established use: Smart Steel Garage
Year first constructed: 2008

The Owner

Name of owner: Richard Stephen DYSON Phone number: (Bus.) 06 752 7080
Mailing Address: 274 Lower Weld Rd
RD 4
NEW PLYMOUTH

First point of contact for communications with council/building consent authority:
New Plymouth District Council Ph: 06 759 6060
Private Bag 2025 Fax: 06 759 6072
NEW PLYMOUTH Email: enquiries@npdc.govt.nz

Building Work

Building Consent number: BC08/101241
Issued by: New Plymouth District Council

Code Compliance

The building consent authority named below is satisfied, on reasonable grounds, that –
(a) the building work complies with the building consent.

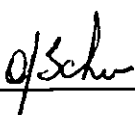
Council Charges

The Council's total charges payable on the uplifting of this code compliance certificate in accordance with the attached details are: \$0.00

Building Consent number: BC08/101241

This is a final code compliance certificate issued in respect of all of the building work under the above building consent

CODE COMPLIANCE CERTIFICATE



Signature

Team Leader Inspections

Position

On behalf of: New Plymouth District Council

Date Issued: 24 November 2008



NEW PLYMOUTH DISTRICT COUNCIL

newplymouthnz.com

Building Consent No:101241
Section 51, Building Act 2004

Issued:18Apr08

The Building

Street Address of building: 274 WELD ROAD LOWER, OKATO 4652
Legal Description of land where building is located:
LOT 1 DP 365221
Building Name: smartsteel garage

The Owner

Name of owner: MR Richard Stephen DYSON
Mailing Address: C/-TOTALSPAN TARANAKI
470 DEVON ST WEST
NEW PLYMOUTH

Contact Person: TOTALSPAN TARANAKI
Mailing Address: C/- TOTALSPAN TARANAKI
470 DEVON STREET WEST
NEW PLYMOUTH 4601

Street address/registered office: 274 WELD ROAD LOWER
OKATO 4652

Phone number: (Bus.)
(Pvt.)

Facsimile number:

Email address:

Website:

First point of contact for communications with council/building consent authority:

New Plymouth District Council
Private Bag 2025
NEW PLYMOUTH
Ph: 06 7596060
Fax: 06 7596072
Email: enquiries@npdc.govt.nz

Building Work

The following building work is authorised by this consent:

Project: New building

Intended Use: implement storage shed

This building consent is issued under section 51 of the Building Act 2004. This building consent does not relieve the owner of the building (or proposed building) of any duty or responsibility under any other Act relating to or affecting the building (or proposed building).

This building consent also does not permit the construction, alteration, demolition, or removal of the building (or proposed building) if that construction, alteration, demolition, or removal would be in breach of any other Act.

This building consent is subject to the following conditions:

1: Nil

There are no further conditions relating to this Building Consent.

2:

Inspections shall be carried out in accordance with the attached schedule of inspection types. It is the owners responsibility to ensure all necessary inspections are carried out as required. Please contact NPDC if you are unsure what requires inspection - do not cover or enclose any building work without inspection.

3: DURABILITY OF BUILDING ELEMENTS

Building elements may have an intended life of less than 50 years. Limited life building elements carry certain limitations and obligations. Based on current legislation these obligations require the building owner to follow the normal and/or scheduled maintenance of the building element to ensure its continued compliance with the New Zealand Building Code (NZBC). Where failure to properly maintain the building elements results in non-compliance with the NZBC, the Territorial Authority may issued a "Notice to Fix" which if not met could result in legal action appropriate in the circumstances.

4: CONSTRUCTION & DEMOLITION NOISE

The proposed New Plymouth District Plan, appendix 12, clause 1.1 - 1.4 sets construction and demolition noise standards. Anyone carrying out building work must ensure they comply with these noise levels at all times. These standards may be obtained from the council's website or by contacting the council.

5: LAPSE & CANCELLATION OF CONSENTS

A Building Consent lapses and is of no effect if the building work to which it relates does not commence within 12 months after the date of issue of the building consent or any further period that the Building Consent Authority may allow. (Time extensions to commence building work after 12 months must be submitted to the Building Consent Authority in writing stating the reason for the request, prior to the lapse date of the consent.

6: ADDITIONAL COSTS AND REFUNDS

Building Consent fees are required to be paid prior to a Building Consent being issued. Once the project commences actual costs are charged against the fees paid. Where costs are greater or less than the base fee paid,

additional costs will be charged or a refund made where the value exceeds \$100 for consents with a base fee greater than \$1000, or \$50 where the base fee is \$1000 or less.

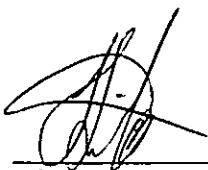
7: COMPLETION OF BUILDING PROJECT

A Code Compliance Certificate must be applied for as soon as practicable after the building work is completed. A building consent is valid for two years after the date on which the building consent was granted.

An extension of time may be considered if required, application for this time extension must be made in writing explaining reasons for the request prior to the consent lapsing.

Compliance Schedule

A compliance schedule is not required for the building.

A handwritten signature in black ink, consisting of a stylized 'A' and 'B' intertwined, with a horizontal line extending from the 'B'.

Signature

Building Administration Officer

Position

On behalf of: New Plymouth District Council

Date: 18 Apr 2008



Application details

Project No.	PIM No:	101240
Date application lodged : 20 March 2008	Date PIM issued :	26 March 2008

Applicant's details

Name : Totalspan Taranaki	Date new information received :
Address : 470 Devon Street West	Reason for re-issue :
NEW PLYMOUTH	Date PIM re-issued :

Project description

Description : Implement Storage	Intended use : Outbuilding
	Intended life : Not less than 50 years
	Floor area : 52 sqm

Property details

Legal description : Lot 1 DP 365221	Address: 274 Weld Road Lower OKATO
--	--

Property owner details

Name: Richard Stephen & Sue F Dyson	Address: 274 Lower Weld Road RD 4 NEW PLYMOUTH
--	---

THE IMPACT ON YOUR PROPOSED PROJECT

- ☒ This is a confirmation that, subject to Building Act 2004, this building work may be carried out subject to the requirements of a building consent and subject also to all other necessary authorisations being obtained.

Other than building consents, your project does not require any other authorisations from the council.

--
--

Signed for and on behalf of New Plymouth District Council

PIM Co-ordinator

This is not a building consent. Your next step is to obtain a building consent prior to commencement of work. Please contact us with any queries you may have on 759 6060

Section 1: What is a Project Information Memorandum (PIM)

The PIM provides an applicant with information about land and about the other statutes and requirements that might be relevant to the proposed building work, other than construction design and features required under the Building Act 2004. This information enables the applicant to assess the feasibility of the project before proceeding with the preparation of the building consent application.

Section 2: Property information related to this project

Section 2.1 - Heritage status of the building and / or land

No Information

There is no information held by the council applicable to the project.

Section 2.2 Special features of the land (Natural Hazards)

Wind Zone information

The proposed building is in an area shown to be a high wind zone on the council's wind maps. This designation is indicative only and may alter due to topography, shelter, etc. Designers are advised to check the wind zone using the method provided in New Zealand Standards 3604.

This information is indicative and may be used for design purposes. However this wind zone value should be checked against the NZS 3604 calculation method, which requires that topography, nearby tall buildings be taken into account.

Designation and Notation

Other Form of Covenant. DP 365221.

Section 2.3 - Water, Stormwater and Reticulation Sewer Systems

No Information - Water

There is no information held by the council applicable to the project.

Rural stormwater disposal

The council has no requirements for the disposal of stormwater in the rural area. The applicant shall dispose of the stormwater in a way that does not create a nuisance.

No information - sewer

There is no information held by the council applicable to the project.

Section 3: Other authorisations needed for this Project

No Information

No comments applicable to the project.

Non-compliance with District Plan rule(s) (RC Granted)

A resource consent has been obtained for the proposed activity.

All work shall comply with the provisions of Resource Consent RC Number 44435 To construct a shed within the required setback from the side boundary.

Vehicle Crossing to the applicant's Property

The council's bylaws and Local Government Act 2004 require that vehicle access across a footpath and water channel / kerb and channel be obtained by a lawfully constructed vehicle crossing. The New Plymouth District Plan specifies required sight distances relative to the posted speed limit from that access point and the distance from an intersection.

For an urban road the applicant shall make an application for a vehicle crossing, and upon approval shall have it installed by an approved contractor to the council's Vehicle Crossing Code of Practice standard.

Please refer to the attached Vehicle Crossing guide.

Where only a water table exists, e.g. a rural road, then the applicant may construct their own vehicle crossing. The standard is specified in the Vehicle Crossing Code of Practice. Required sight distances are set out in the New Plymouth District Plan.

Section 4: Authorisations for this project that have been refused

No Information

No comments applicable to the project.

Section 5: Building Consent Matters

No Information

No comments applicable to the project.

Section 6: Advice Notes

Re-issue of PIM

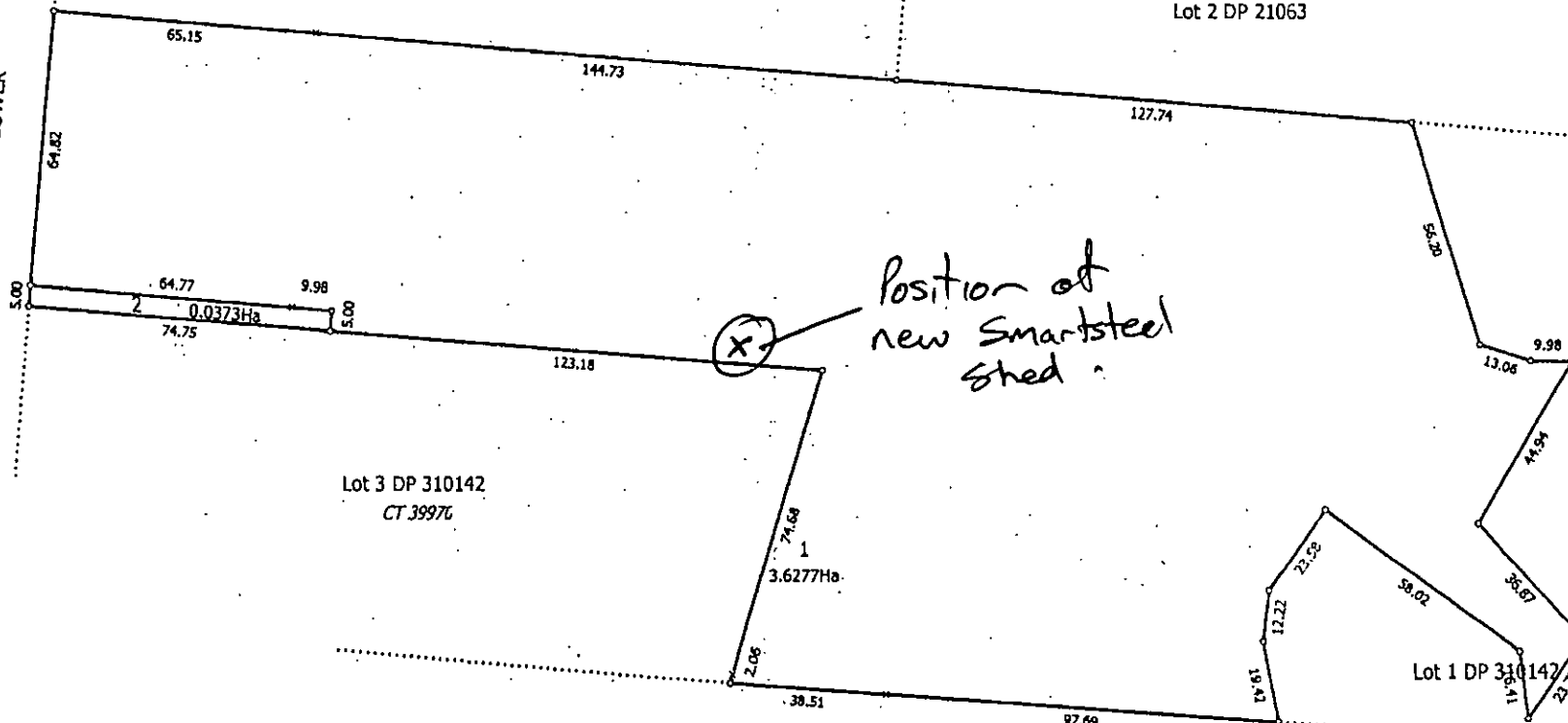
A territorial authority may where it becomes aware of errors or omissions or where new information is received, reissue this project information memorandum subject to the applicable time limitations and conditions of Section 34 of the Building Act 2004.



WELD ROAD LOWER

Lot 3 DP 7217

Lot 2 DP 21063



Position of
new Smartsteel
shed

NPDC Approved
18 APR 2008

T 1/2

Land District: Taranaki

LOTS 1 AND 2 BEING A SUBDIVISION OF LOT 2 DP 310142

Surveyor: Allen Adrien Juffermans
Firm: Juffermans Surveying Ltd (New Plymouth)

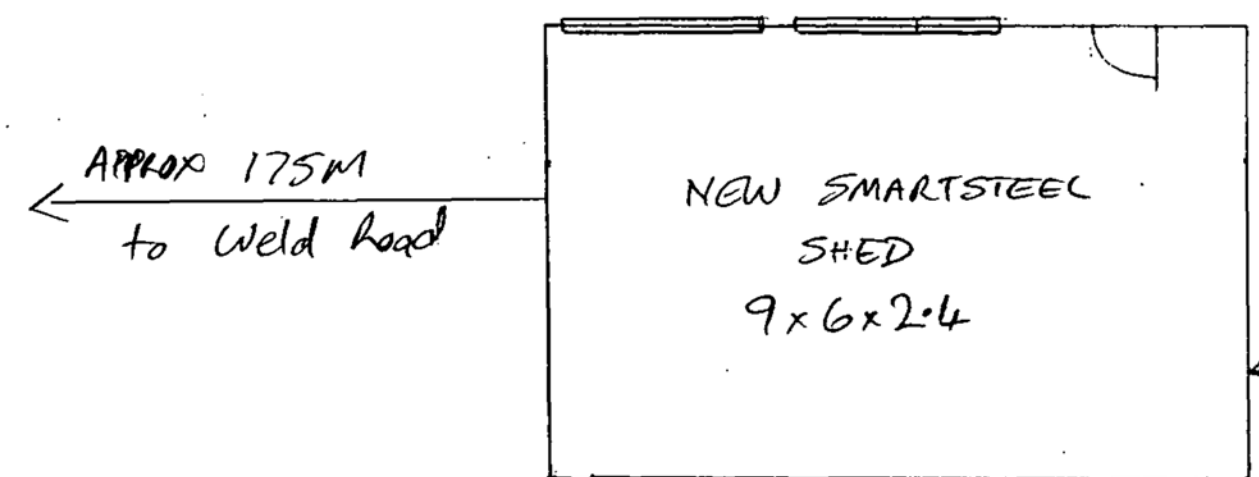
Digital Title Plan
LT 365221

Digitally Generated Plan
Generated on: 20/01/2006 12:35pm Page 3 of 4



NPDC OFFICE COPY
 This Building Consent is approved under the Building Act and is limited to new work only as shown on these plans and related specifications
 Approved: *[Signature]* Date: *17/4/08*

10/24/10/24/1 20/03/08



SOUTHERN BOUNDARY

NPDC Approved
 17 APR 2008

SITE DETAILS
 LOT: 1
 DP: 365221
 CT:
 Site m² =
 Existing Building m² =
 Proposed Building m² =
 % of Building Coverage =

NPDC Approved
 17 APR 2008



NOTES:
 Copyright: These drawings must not be reproduced without express permission of Totalspan Buildings Ltd.

WHO CAN? TOTALSPAN!
 HEAD OFFICE: 6A JACK CONWAY AVE
 PH: (09) 261 2306
 FAX: (09) 262 1535

BUILDING PROPOSED FOR:
 RICHARD & SUE DYSON
 274 LOWER WELD ROAD
 OAKURA

DRAWING TITLE:
 SITE PLAN

SCALE: 1:
DATE:
DRAWN: **FILE:**

SHEET: 1
OF:

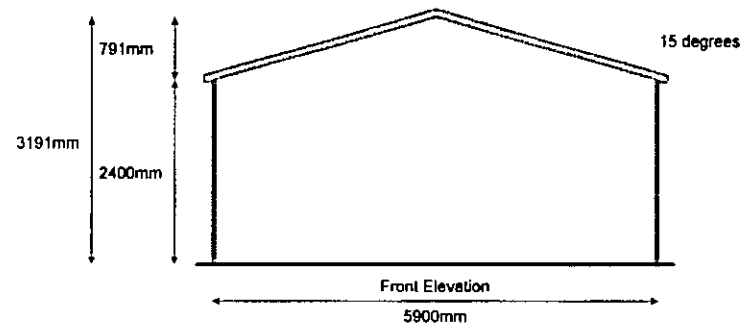
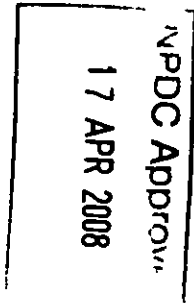
SmartSteel Elevations

Prepared By: Greg or Jim, Taranaki, 06 7514154

Proposed For: Mr. & Mrs. Richard & Sue Dyson

Site Address: 274 Lower Weld Road

Reference: naki-1475



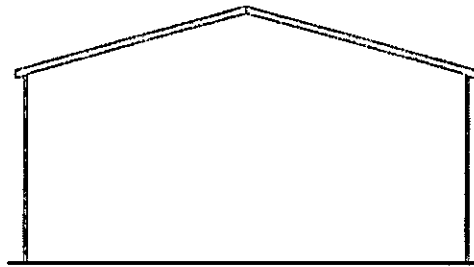
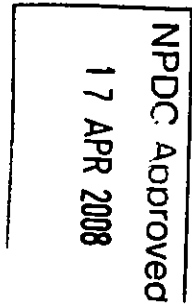
SmartSteel Elevations

Prepared By: Greg or Jim, Taranaki, 06 7514154

Proposed For: Mr. & Mrs. Richard & Sue Dyson

Site Address: 274 Lower Weld Road

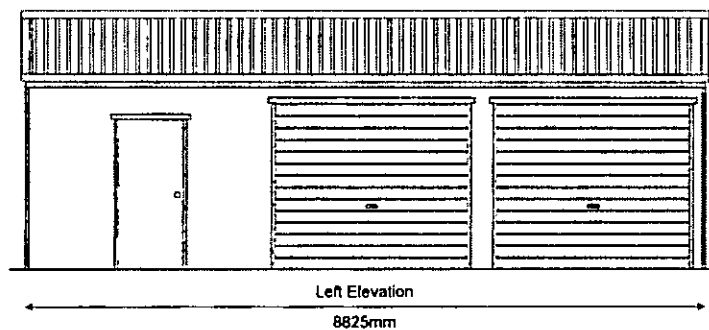
Reference: naki-1475



Rear Elevation

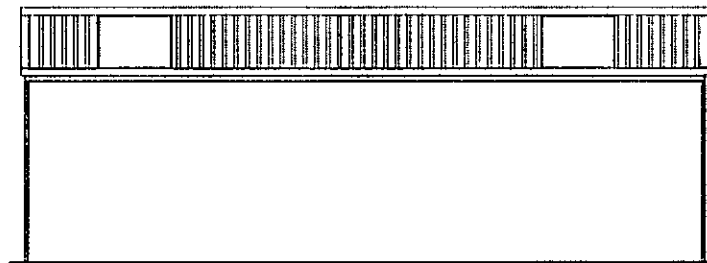
SmartSteel Elevations
Prepared By: Greg or Jim, Taranaki, 06 7514154
Proposed For: Mr. & Mrs. Richard & Sue Dyson
Site Address: 274 Lower Weld Road
Reference: naki-1475

NPDC Approved
17 APR 2004



SmartSteel Elevations
Prepared By: Greg or Jim, Taranaki, 06 7514154
Proposed For: Mr. & Mrs. Richard & Sue Dyson
Site Address: 274 Lower Weld Road
Reference: naki-1475

NPDC Approved
17 APR 2008



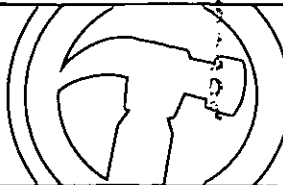
Right Elevation



LIM information divider



NPDC



1. The building consent

1a. Building consent no.

BC09/107881

Site address

Weld Rd Lower
OKATO

1b. Issued by



New Plymouth District Council

Other - please specify

2. Property owner details

2a. Owner details



Have not changed since the
building consent was lodged
Proceed to section 3



Have changed since the building
consent was lodged
Complete 2b and 2c

2b. Name

Contact person
(If owner is a corporation,
partnership or trust)

Postal address

Contact numbers

()

Phone

()

Mobile

()

Fax

Email

2c. Evidence of ownership
attached

(Only required if ownership has
changed)



Certificate of title (copy)

Lease agreement



Sale and purchase agreement

Other document showing full name of legal
owner(s), such as a rate instalment notice

3. Applicant details

3a. I am the



Property owner
Proceed to 3b



Lessee
Provide details below



Agent
Authorised by owner/lessee
Provide details below

Name

STANDARD TIMBER CO.

Postal address

P.O. Box 31, STRATFORD

Contact numbers

(06) 765 7800

Phone

(617) 290 1001

Mobile

(06) 765 7885

Fax

Email

John@standardtimber.co.nz

3b. Preferred means for
formal correspondence



Mail



Email



Fax

Please turn over

OFFICE USE ONLY

Date received

8 NOV 2009

Received by

File Ref

RG-02-10-03

Document #

862857

Property ID

97436

Land ID

Application #

BC09/107881

4. Attachments

The following documents are attached to this application:

- ☒ Certificates from the personnel who carried out the work.
- ☒ Certificates that relate to the energy work.
- ☒ Evidence that specified systems are capable of performing to the performance standards set out in the building consent.

5. Key personnel

Designer	Name/registration no.	CHAPMAN OULSNAM SPIKES LTD	
	Contact details Address	P.O. Box 585 NP	
	Phone/email	(06) 758 7273	
Builder	Name/registration no.	STANDARD TIMBER CO	
	Contact details Address	P.O. Box 31 STRD 4352	
	Phone/email	(06) 765 7860	
Drainlayer	Name/registration no.		
	Contact details Address		
	Phone/email	()	
Plumber	Name/registration no.		
	Contact details Address		
	Phone/email	()	
Gasfitter	Name/registration no.		
	Contact details Address		
	Phone/email	()	
Electrician	Name/registration no.		
	Contact details Address		
	Phone/email	()	
Other	Name/registration no.		
	Contact details Address		
	Phone/email	()	

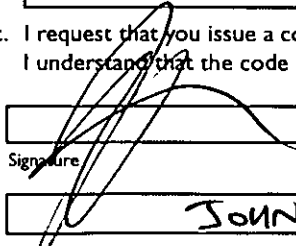
6. Application

6a. Date building work completed: 23/10/09

6b. The following specified systems are contained on the compliance schedule for the building and, in the opinion of the personnel who installed them, are capable of performing to the performance standards set out in the building consent:

N/A

6c. I request that you issue a code compliance certificate for the work under section 95 of the Building Act 2004. I understand that the code compliance certificate will be sent to the property owner.

Signature:  Date: 5/11/09

Name (print clearly): JOHN BRIGGS



Code Compliance Certificate
Form 7, Section 95, Building Act 2004

The Building

Street Address of building: Weld Road Lower OKATO 4652
Legal Description of land where building is located: LOT 1 DP 365221
Current, lawfully established use: Shed
Year first constructed: 2009

The Owner

Name of owner: Richard Stephen DYSON
Suzanne Faith DYSON
Contact Person: STANDARD TIMBER CO LTD
Mailing Address: 274 Lower Weld Road
RD 4
NEW PLYMOUTH

Phone number: (06) 75 27080
Facsimile number: -
Email address: -

Building Work

Building Consent number:
Description of work:
Issued by:

BC09/107881
Residential/Farm - Pole Type Storage Shed
New Plymouth District Council

Code Compliance

The building consent authority named below is satisfied, on reasonable grounds, that –
(a) the building work complies with the building consent.

This is a final code compliance certificate issued in respect of all of the building work under the above building consent.

CODE COMPLIANCE CERTIFICATE



Team Leader Inspectorate

Date Issued: 12 November 2009



NEW PLYMOUTH DISTRICT COUNCIL

newplymouthnz.com

Building Consent No: BC09/107881
Section 51, Building Act 2004

Building

Street address of building: Weld Road Lower OKATO 4652
Legal description of land where building is located: LOT 1 DP 365221
Building name: Shed

Owner

Name of owner: Richard Stephen DYSON, Suzanne Faith DYSON
Applicant: Standard Timber Co Ltd
Applicant contact address: PO Box 31, STRATFORD

Ph (work): 06 765 7800

Ph (private): 027 290 1001

Fax: 06 765 7885

First point of contact for communications with council/building consent authority:

New Plymouth District Council

Private Bag 2025

NEW PLYMOUTH

Ph: 06-759 6060

Fax: 06-759 6072

Email: enquiries@npdc.govt.nz

Website: www.newplymouth.com

Building work

The following building work is authorised by this consent:

Project: Pole Type Storage Shed

Intended use: Storage Shed

This building consent is issued under section 51 of the Building Act 2004. This building consent does not relieve the owner of the building (or proposed building) of any duty or responsibility under any other Act relating to or affecting the building (or proposed building).

This building consent also does not permit the construction, alteration, demolition, or removal of the building (or proposed building) if that construction, alteration, demolition, or removal would be in breach of any other Act.

Additional Comments

No additional Comments Relate to this Building Consent.

This building consent is subject to the following conditions:

Additional Conditions

There are no conditions relating to this Building Consent.

1. Inspections

All inspections are to be carried out by BCA Building Inspectors unless prior arrangements have been made by the BCA to have an approved qualified person inspect specific items. Inspections shall be carried out in accordance with the attached schedule of inspection types. It is the owner's responsibility to ensure all necessary inspections are carried out as required. Please contact NPDC if you are unsure what requires inspection – do not cover or enclose any building work without inspection.

2. Durability of building elements

Building elements may have an intended life of less than 50 years. Limited life building elements carry certain limitations and obligations. Based on current legislation these obligations require the building owner to follow the normal and/or scheduled maintenance of the building element to ensure its continued compliance with the New Zealand Building Code (NZBC). Where failure to properly maintain the building elements results in non-compliance with the NZBC, the Territorial Authority may issued a "Notice to Fix" which if not met could result in legal action appropriate in the circumstances.

3. Construction and demolition noise

The proposed New Plymouth District Plan, appendix 12, clause 1.1 - 1.4 sets construction and demolition noise standards. Anyone carrying out building work must ensure they comply with these noise levels at all times. These standards may be obtained from the Council's website or by contacting the Council.

4. Lapse and cancellation of consents

A Building Consent lapses and is of no effect if the building work to which it relates does not commence within 12 months after the date of issue of the building consent or any further period that the Building Consent Authority may allow. (Time extensions to commence building work after 12 months must be submitted to the Building Consent Authority in writing stating the reason for the request, prior to the lapse date of the consent.

5. Additional costs and refunds

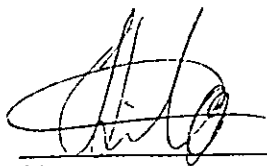
Building Consent fees are required to be paid prior to a Building Consent being issued. Once the project commences actual costs are charged against the fees paid. Where costs are greater or less than the base fee paid, additional costs will be charged or a refund made where the value exceeds \$100 for consents with a base fee greater than \$1000, or \$50 where the base fee is \$1000 or less.

6. Completion of building project

A Code Compliance Certificate must be applied for as soon as practicable after the building work is completed. A building consent is valid for two years after the date on which the building consent was granted. An extension of time may be considered if required, application for this time extension must be made in writing explaining reasons for the request prior to the consent lapsing.

Compliance Schedule

A Compliance Schedule is not required for the building.

A handwritten signature in black ink, consisting of stylized, overlapping loops and strokes, positioned above a horizontal line.

Signature

Building Administration Officer

Position

On behalf of: New Plymouth District Council

Date: 3 September 2009



Application details

Project No.

PIM No:

PIM09/107869

Date application lodged : 17 August 2009

Date PIM issued : 19 August 2009

Applicant's details

Name : STANDARD TIMBER CO LTD

Date new information received :

Address : PO Box 31
STRATFORD

Reason for re-issue :

Date PIM re-issued :

Project description

Description : Pole Type Storage Shed

Intended use : Outbuilding / ancillary

Intended life :

Floor area : 54 m2

Property details

Legal description : LOT 1 DP 365221

Address: Weld Road Lower
OKATO

Property owner details

Name: Richard Stephen DYSON, Suzanne Faith DYSON

Address: 274 Lower Weld Road
RD 4
NEW PLYMOUTH

THE IMPACT ON YOUR PROPOSED PROJECT

This is notification that this building work may not be carried out because any necessary authorisation has been refused, despite the issue of any building consent.

Your building project requires further authorisations or revision for the following reasons:

Non-compliance with District Plan. Refer to the Resource Management Act 1991 certificate attached to this memorandum

If you wish to suspend your building consent application until the revised plans are received by council, please call the council (06 759 6060) and send written confirmation of this instruction. Otherwise, you may be charged for additional processing time as a result of re-evaluation of your proposed building work.

Signed for and on behalf of New Plymouth District Council

PIM Co-ordinator

This is not a building consent. Your next step is to obtain a building consent prior to commencement of work. Please contact us with any queries you may have on 759 6060

Section 1: What is a Project Information Memorandum (PIM)

The PIM provides an applicant with information about land and about the other statutes and requirements that might be relevant to the proposed building work, other than construction design and features required under the Building Act 2004. This information enables the applicant to assess the feasibility of the project before proceeding with the preparation of the building consent application.

Section 2: Property information related to this project

Section 2.1 - Heritage status of the building and / or land

No Information - Heritage

There is no information held by the Council applicable to the project.

Section 2.2 Special features of the land (Natural Hazards)

Wind Zone Information

The proposed building is in an area shown to be a high wind zone on the Council's wind maps. This designation is indicative only and may alter due to topography, shelter, etc. Designers are advised to check the wind zone using the method provided in New Zealand Standards 3604.

This information is indicative and may be used for design purposes. However this wind zone value should be checked against the NZS 3604 calculation method, which requires that topography, nearby tall buildings be taken into account.

Section 2.3 - Water, Stormwater and Reticulation Sewer Systems

No requirements - Sewer

There is no sewer work included in this project and therefore no information has been provided in respect to this service.

If you wish to obtain further information relating to this service please contact the council's customer support team.

No requirements - Water

There is no water work included in this project and therefore no information has been provided in respect to this service.

Rural stormwater disposal

The Council has no requirements for the disposal of stormwater in the rural area. The applicant shall dispose of the stormwater in a way that does not create a nuisance.

Section 3: Other authorisations needed for this Project

Non-compliance with District Plan rule(s)

The proposed shed is not permitted under Rural Rule 17 of the New Plymouth District Plan as of right. For the activity to proceed, it requires either a resource consent or for you to amend your plans to comply with the 5m setback from the side boundary.

If you choose to apply for a resource consent, the following applies.

Attached to this PIM for your resource consent application are

- Resource consent and application cover page form

The resource consent process involves you submitting the above attachment and appropriate fee to the Council. You are also required to include with your resource consent application an assessment of environmental effects. This includes detailing of any effects of your proposal and addressing the assessment criteria of Rule Rur17.

For further information contact a NPDC Planner at 06-759 6060 or email enquiries@npdc.govt.nz.

Resource Management certificate attached.

Note:

Should the Council determine the adverse effects of the activity are more than minor, or if you are unable to obtain the affected party approvals, your application may need to be publicly notified; which would attract an additional cost. The

Council will contact you should this occur.

A Restriction on Commencing Building Work under the Building Act 2004 is attached. Failure to adhere to this certificate may result in enforcement action.

Section 4: Authorisations for this project that have been refused

No comments applicable to the project.

Section 5: Building Consent Matters

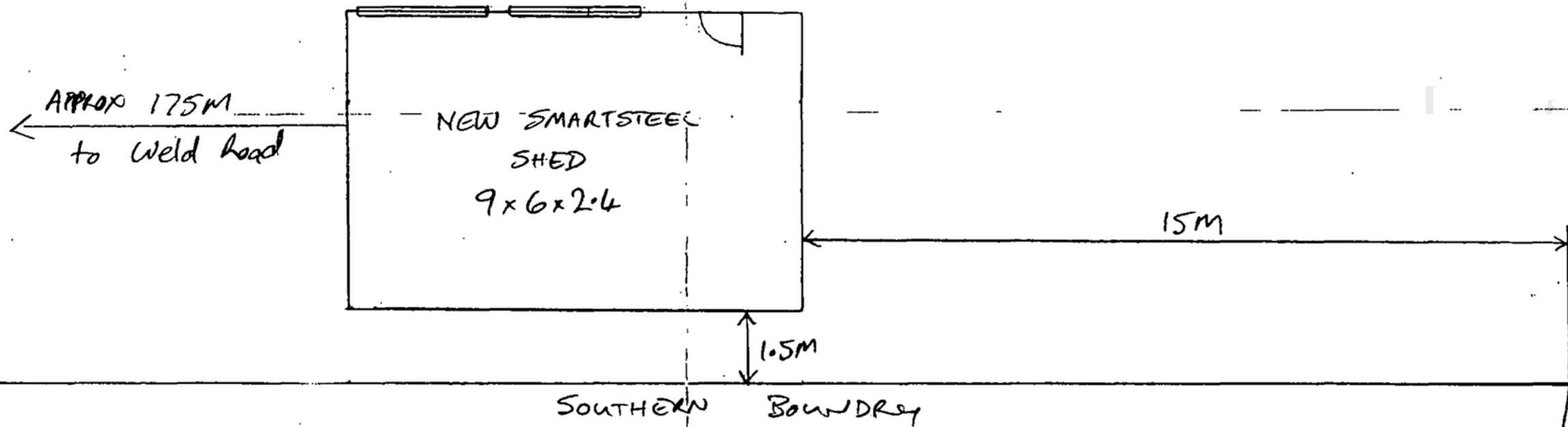
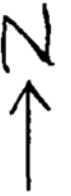
No comments applicable to the project.

Section 6: Advice Notes

Re-issue of PIM

A territorial authority may where it becomes aware of errors or omissions or where new information is received, reissue this project information memorandum subject to the applicable time limitations and conditions of Section 34 of the Building Act 2004.

CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO STARTING • ALL DIMENSIONS IN MM UNLESS STATED



SITE DETAILS

LOT: 1
DP: 365221
CT:

Site m² =
Existing Building m² =
Proposed Building m² =
% of Building Coverage =

TOTALSPAN.

STEEL SHEDS & BUILDINGS
WHO CAN? TOTALSPAN!

HEAD OFFICE:
6A JACK CONWAY AVE
PH: (09) 261 2306
FAX: (09) 262 1535

BUILDING PROPOSED FOR:
RICHARD & SUE DYSON
274 LOWER WELD ROAD
OAKURA

DRAWING TITLE

SITE PLAN

Barry
W.D.P.

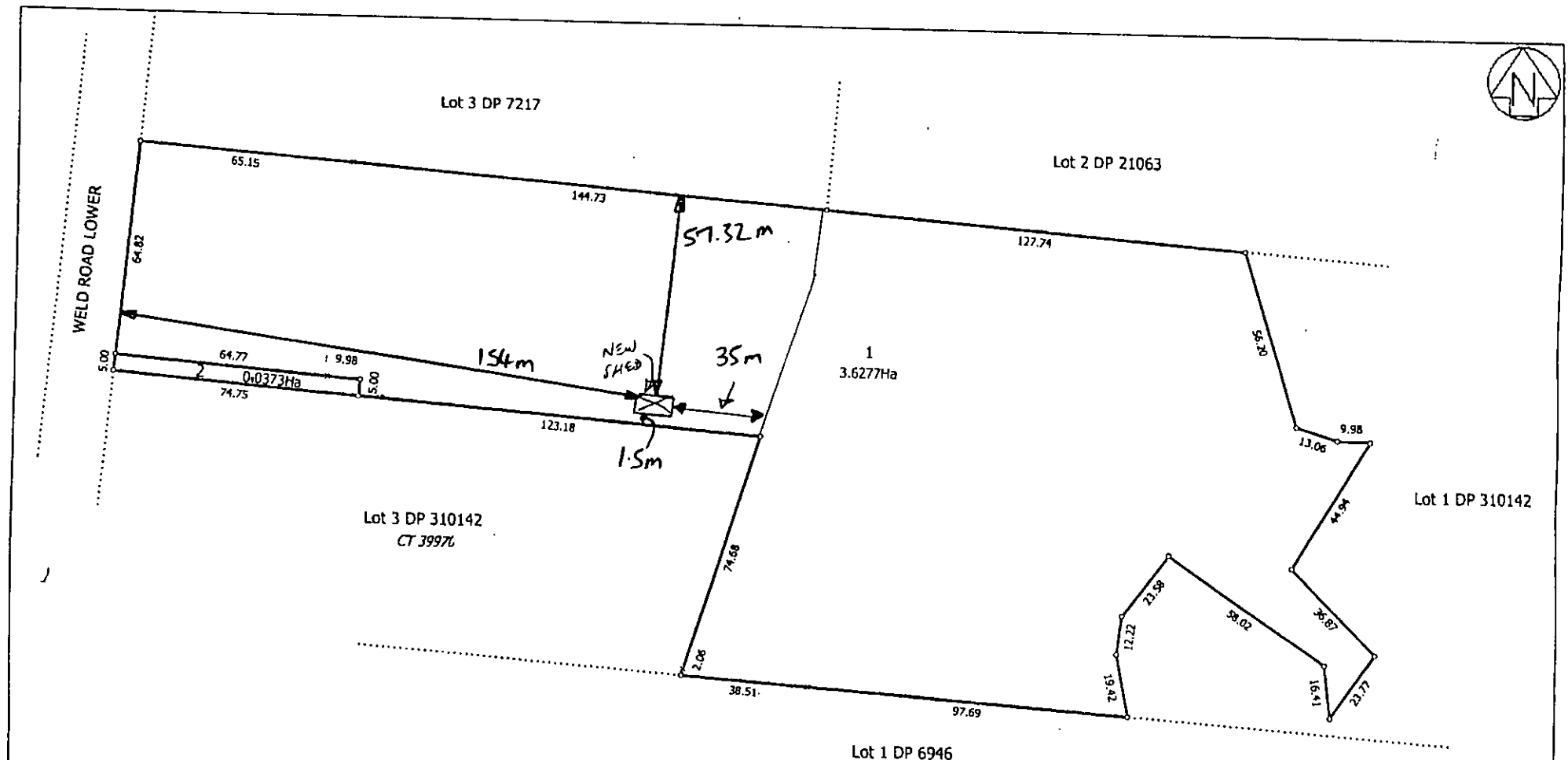
NOTES:

Copyright: These drawings must not be reproduced without express permission of Totalspan Buildings Ltd.

SCALE: 1:
DRAWN:

DATE:
FILE:

SHEET: 1
OF:



Standard Timber Co. Ltd.
103 Broadway North
P.O. Box 31
Ph. (06) 765-7800 Fax (06) 765-7885
STRATFORD 4352

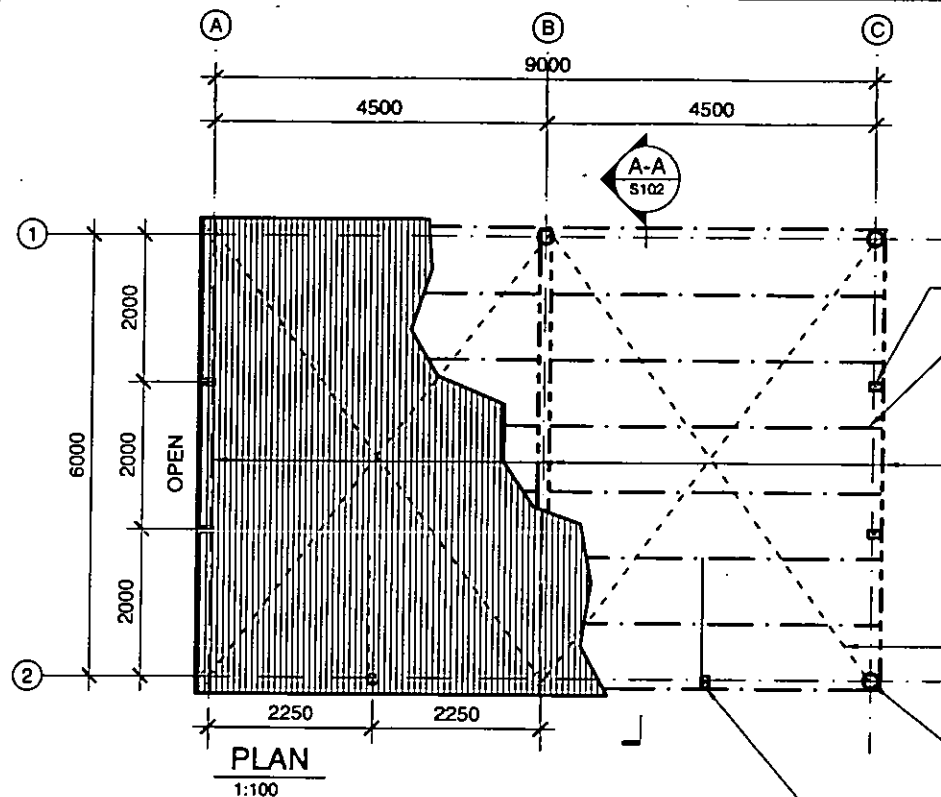
FOR: RICHARD & SUSAN DYSON
274 LWR WELD ROAD
RD 4
NEW PLYMOUTH.

NPDC Approved
03 SEP 2009

Land District, Taranaki	LOTS 1 AND 2 BEING A SUBDIVISION OF LOT 2 DP 310142	Surveyor: Allen Adrian Juffermans Firm: Juffermans Surveying Ltd (New Plym)	Digital Title Plan DP 365221 Deposited on: 02/02/2006
-------------------------	---	--	---

Digitally Generated Plan
Generated on: 28/02/2006 10:59am Page 3 of 4

T 1/2



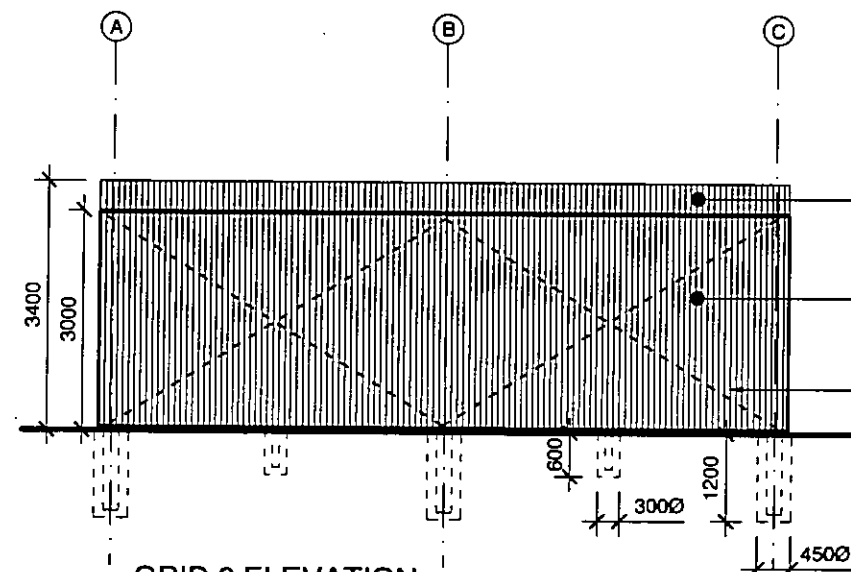
150x100 H5 studs
200x50 RS G8 purlins @ 900 crs max. cut between rafters, fix ends with proprietary joist hangers

Rafters:
GRID A - 250x50 RS G8 barge rafter
GRID B - 2/300x50 RS G8 internal rafters
GRID C - 250x50 RS G8 barge rafter

1/25x1 strap bracing 6 nails / end
2 nails / purlin crossing

2000 SED H5 treated pole

150x50 solid blocking @
studs between purlins

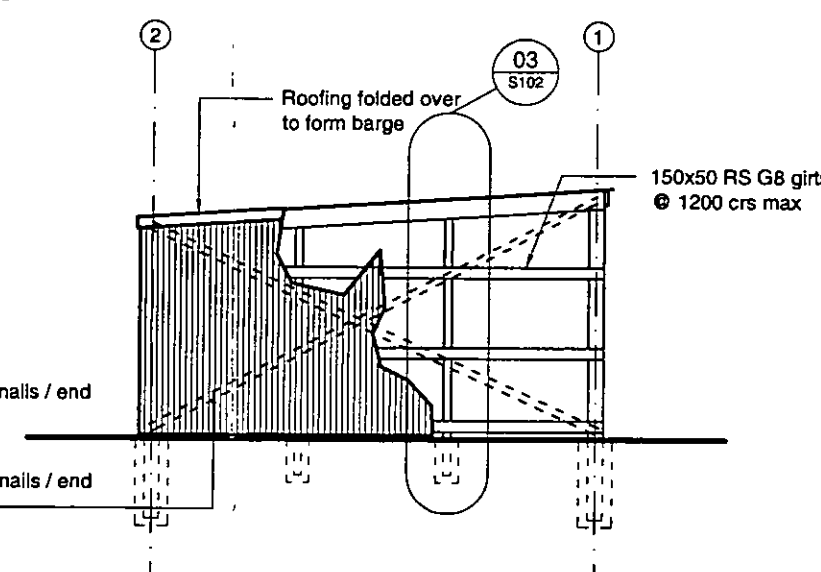
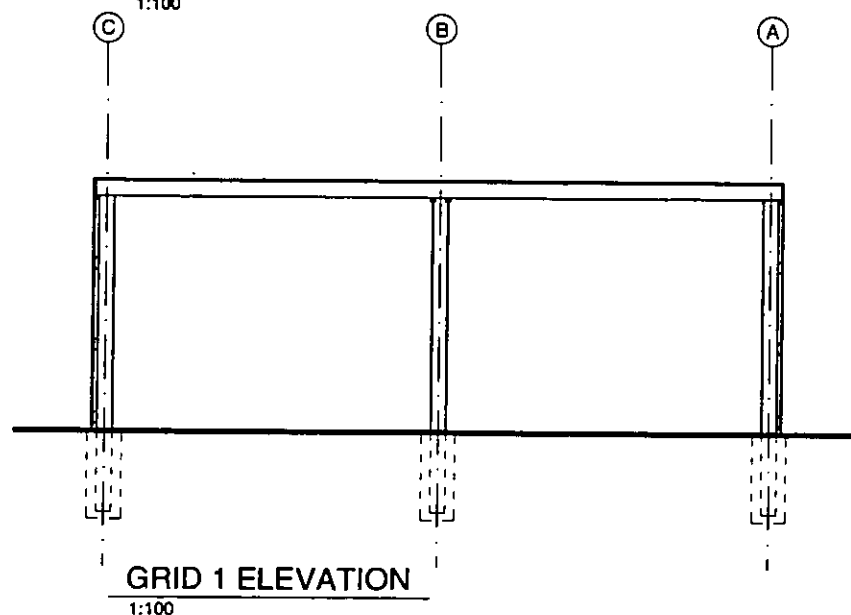


Zinc corrugated
roof cladding

Zinc corrugated
wall cladding

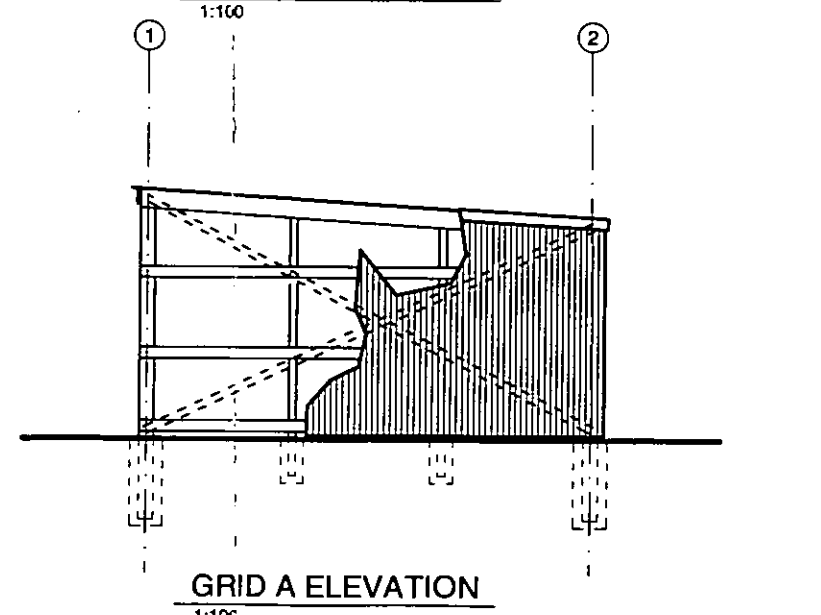
1/25x1 strap bracing 6 nails / end
2 nails / girt crossing

2/25x1 strap bracing 6 nails / end
2 nails / girt crossing



Roofing folded over
to form barge

150x50 RS G8 girts
@ 1200 crs max



RE45024 RW 14-10-09
WARNING
Special Conditions Apply
Refer to Building Consent Documents
Before Commencing Work.

NPDC OFFICE COPY
This Building Consent is approved under the
Building Act and is limited to new work only as
shown on these plans and related specifications
Approved: [Signature] Date 3-9-09

BC09/107881
14-8-09

Design Codes

Loadings

AS / NZS 1170

Timber

NZS 3603 A4

Live

0.25kpa / 1.1 kN pt

Wind

Region A7

Importance level 1

Mzcat = 0.91

Md = Ms = Mt = 1.0

ie unshielded, outside lee zone and not
adjoining ridge or escarpment

Snow

Altitude below 500m NA

Seismic

Not Critical



AS / NZS 1170 WIND REGIONS

Refer designs for Hill / Escarpment or
Lee Zones to design engineer.

Lee Zones extend 30Km to
leeward crest of initiating range
Hill/Escarpment

Materials Specification

Cladding

0.4mm steel (profile and finish by client spec)

Framing Timber

G8, r/sawn H3.1 treated u.n.o

poles 200 SED H5 NZS 3605:2001

Concrete

17.5 Mpa Ordinary grade

Fixings

M12 galv (390g/m²) coach bolts UNO

Nails All Hot dip galv unless s/steel

Framing 100/125x3.5

Strap Brace LL 30x3.15 6/end

Multi brace LL 30x3.15 10/end

(2 per girt crossing)

Ply braces/ splice 40x2.8 FH

Durability

Additional corrosion treatment

Maintenance, 5yrl liberal coat and inspection of

"CRC Soft seal" or

heavy duty grease in following exposure zones

Bolts/nuts/washers

Sea spray both sheltered and exposed

Zones 1&2 exposed only

Nail Plates and Joist Hangers

All galv to 275g/m²

Sea spray both sheltered and exposed

Zones 1&2 both sheltered and exposed

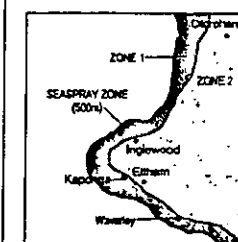
Strap Brace

Treat the lower 500mm of brace all zones

Nails

No additional protection DONOT grease.

FIXINGS DURABILITY (Refer NZBC/B2/AS1)



MAP PER
NZS 3604-1999
FIGURE 4.1

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CHAPMAN OULSNAM SPEIRS LIMITED.

NOTES:

- CONTRACTOR MUST VERIFY ALL DIMENSIONS
ON SITE BEFORE COMMENCING ANY WORK OR
PREPARING ANY SHOP DRAWINGS.
- THE ADEQUACY OF THE DESIGN
INCORPORATED ON THESE PLANS IS SUBJECT
TO THE REQUIREMENTS INCLUDED IN THE
SPECIFICATION FOR THE WORKS AND THE
DESIGN ASSUMPTIONS INCORPORATED INTO
THE CALCULATIONS AND REPORTS FOR THE
PROJECT.

NPDC Approved
03 SEP 2009

A	14.04.09	FOR CONSENT	EP
Iss.	Date	Amendment	By
Sub Consultant			



Project
6m x 9m
OPEN FRONT
SINGLE PITCH SHED

Client
STANDARD TIMBER Co. LTD

Sheet Contents
PLAN & ELEVATIONS

Scale	1:100	Drawn	EP	04.08
Design	JC	Check	JC	04.08

Project No.
7399

Sheet
S101

Chapman Oulsnam Speirs Limited
architects + engineers

cosl.co.nz

DO NOT SCALE

CHECK ALL DIMENSIONS

IF IN DOUBT ASK

ORIGINAL SIZE

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CHAPMAN OULSNAM SPEIRS LIMITED.

NOTES:

1. CONTRACTOR MUST VERIFY ALL DIMENSIONS
ON SITE BEFORE COMMENCING ANY WORK OR
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2. THE ADEQUACY OF THE DESIGN
INCORPORATED ON THESE PLANS IS SUBJECT
TO THE REQUIREMENTS INCLUDED IN THE
SPECIFICATION FOR THE WORKS AND THE
DESIGN ASSUMPTIONS INCORPORATED INTO
THE CALCULATIONS AND REPORTS FOR THE
PROJECT.

DO NOT SCALE

CHECK ALL DIMENSIONS

IF IN DOUBT ASK

ORIGINAL SET=A3

NPDC Approved
03 SEP 2009

Iss.	Date	Amendment	By
A	14.04.09	FOR CONSENT	EP



Project
6m x 9m
OPEN FRONT
SINGLE PITCH SHED

Client
STANDARD TIMBER Co. LTD

Sheet Contents
CROSS SECTION A-A
& DETAILS

Scale	1:20	1:20
Drawn	EP	04.08
Design	JC	04.08
Check		

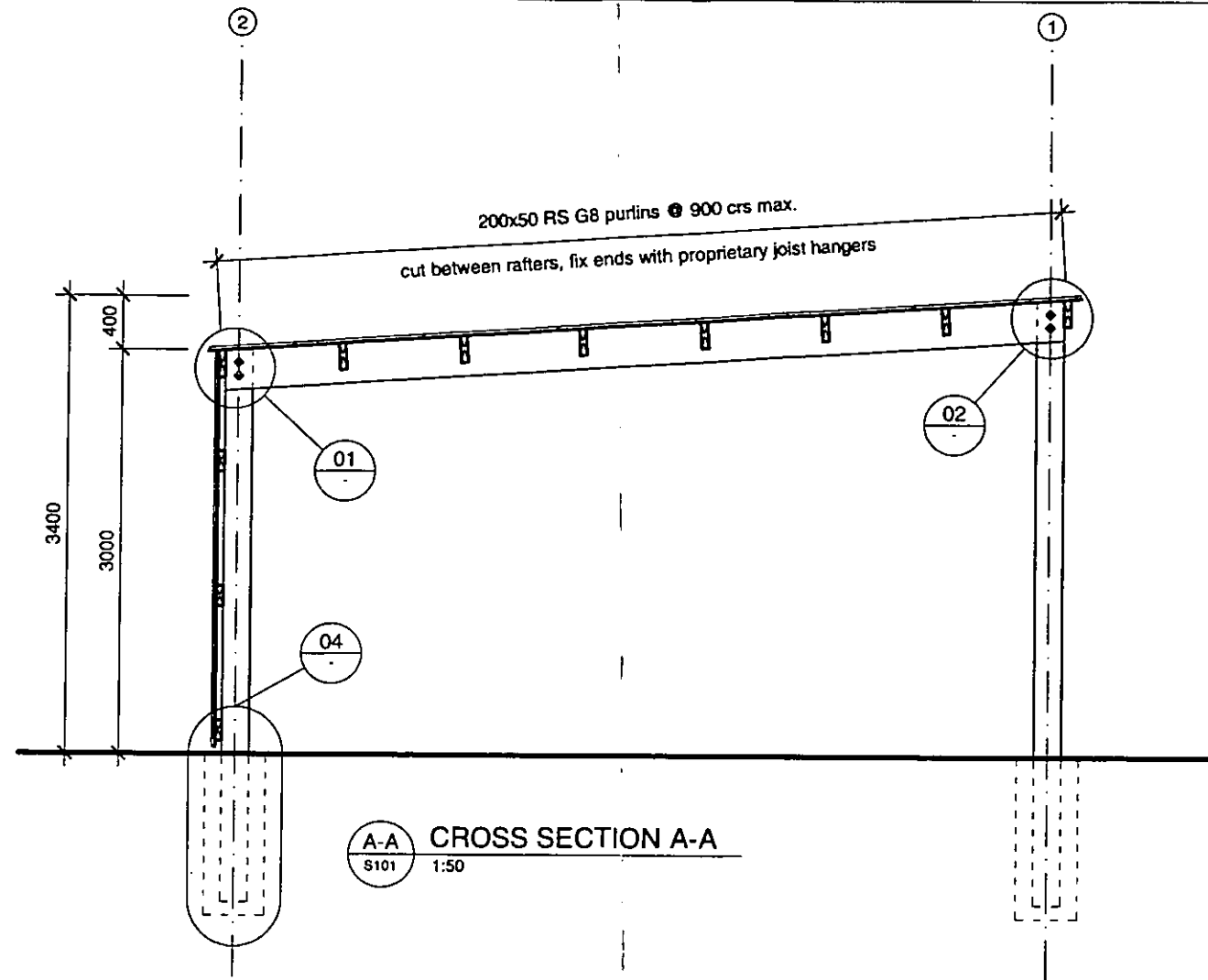
Project No
7399

Sheet
S102

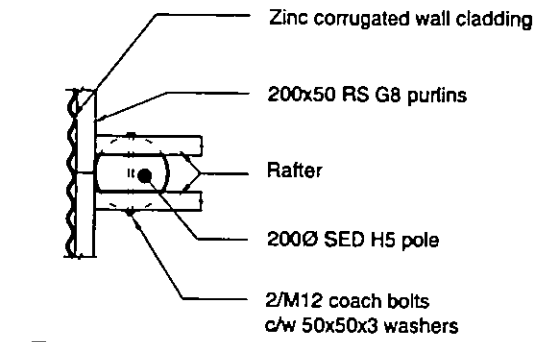
Chapman Oulsnam Speirs Limited
architects + engineers

cosl.co.nz

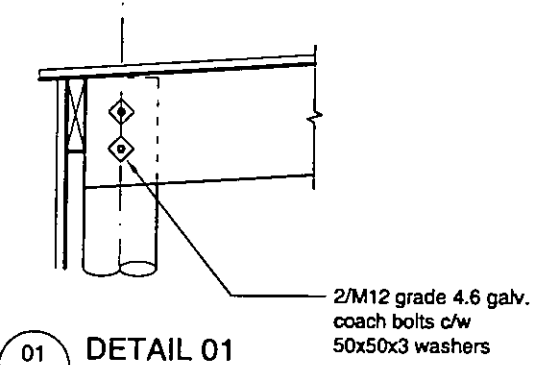
42 Egmont Street, P.O. Box 505, New Plymouth P 6-758 7273 F 6-758 6307



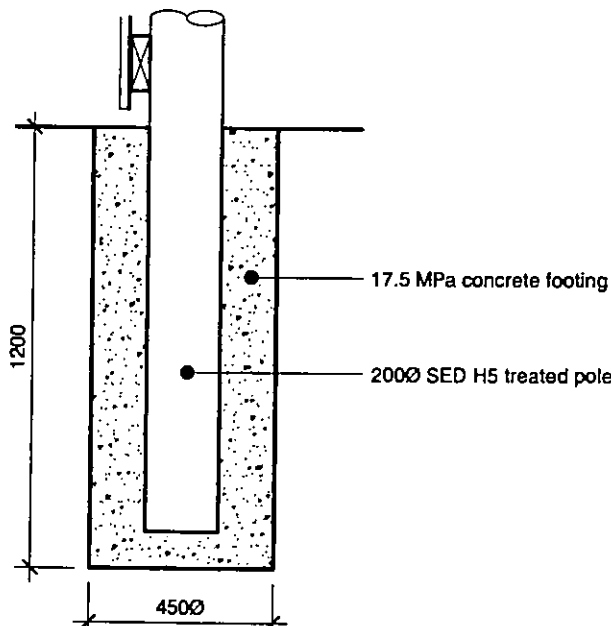
A-A CROSS SECTION A-A
S101 1:50



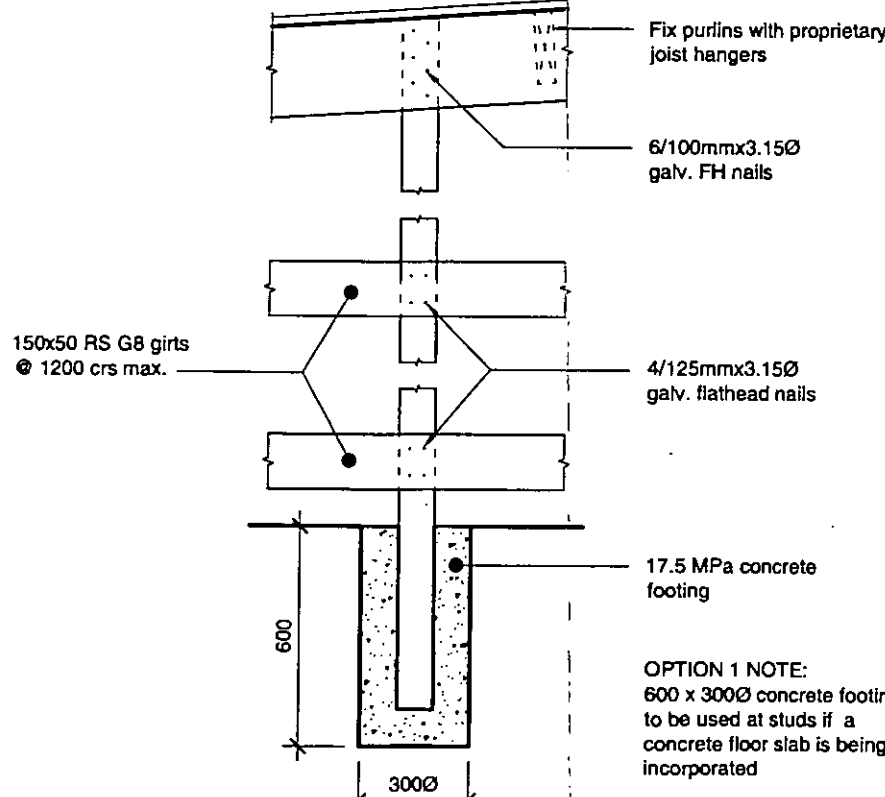
01a DETAIL 01a
1:20



01 DETAIL 01
1:20

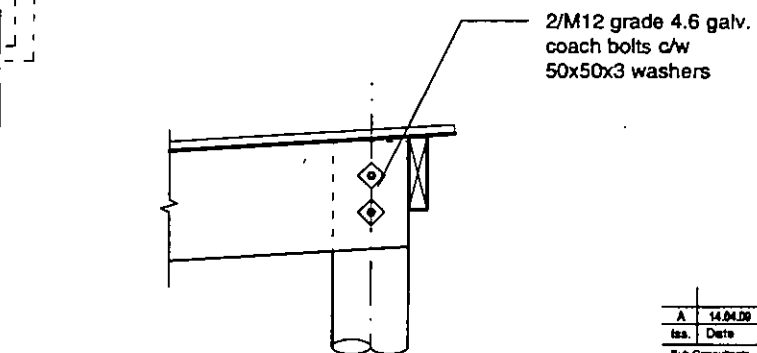


04 DETAIL 04
1:20

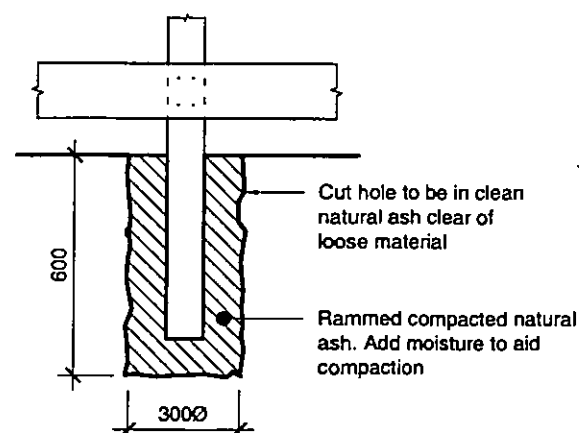


03 DETAIL 03 OPT. 2
S101 1:20

OPTION 1 NOTE:
600 x 300Ø concrete footing
to be used at studs if a
concrete floor slab is being
incorporated



02 DETAIL 02
1:20



03 DETAIL 03 OPT. 1
S101 1:20



103 Broadway North
PO Box 31
Stratford 4352
Phone 06 765 7800
Fax 06 765 7885

Email mike@standardtimberitm.co.nz
www.standardtimberitm.co.nz

PRODUCER STATEMENT FOR DESIGN

for haybarns, implements, and pole-type structures only
designed in accordance with NZS1170, NZS3603(Amendments 1,2,3 & 4)

To: New Plymouth District Council

Description of Work: Erection of pole type storage shed

Clients Name & Site Address: Richard Dyson
274 Lwr. Weld Road
RD 4
New Plymouth 4374

Legal Description: F LOT 2310142 DP

Specifications Prepared By: Chapman Oulsnam Spiers Ltd.

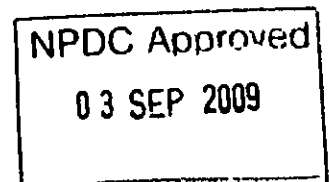
Titled: 9.0m x 6.0m Single Pitch Pole type storage shed.

Standard Timber believes on reasonable grounds that work under the above building consent application will be completed to the extent required by that consent, and in accordance with NZS 1170 and NZS 3603.

Please Note: Producer statement for construction, to follow on completion of work. Plans and details are to be treated as confidential to protect copyright.


M Henry
Managing Director

Date: 11.08.2009





LIM information divider



NPDC



1. The building consent

1a. Building consent no.

10/109477

(Amendment A 210610 21/6/10)

Site address

274 Weld Rd, RD 4

New Plymouth

1b. Issued by



New Plymouth District Council



Other - please specify

2. Property owner details

2a. Owner details



Have not changed since the
building consent was lodged
Proceed to section 3



Have changed since the building
consent was lodged
Complete 2b and 2c

2b. Name

Contact person

(If owner is a corporation,
partnership or trust)

Postal address

Contact numbers

()

Phone

()

Mobile

()

Fax

Email

2c. Evidence of ownership
attached

(Only required if ownership has
changed)



Certificate of title (copy)



Lease agreement



Sale and purchase agreement



Other document showing full name of legal
owner(s), such as a rate instalment notice

3. Applicant details

3a. I am the



Property owner
Proceed to 3b



Lessee
Provide details below



Agent
Authorised by owner/lessee
Provide details below

Name

Penniall Jordan & Co Ltd

Postal address

PO Box 343

Stratford

Contact numbers

(06) 7655336

Phone

()

Mobile

()

Fax

Email

3b. Preferred means for
formal correspondence



Mail



Email



Fax

Please turn over

OFFICE USE ONLY

Date received

26 JUL 2010

Received by

Property ID

97436

File Ref

RG-02-10-03

Document #

1006531

Land ID

Application #

BC 10 / 109477

4. Attachments

The following documents are attached to this application:

- ☐ Certificates from the personnel who carried out the work.
- ☐ Certificates that relate to the energy work.
- ☐ Evidence that specified systems are capable of performing to the performance standards set out in the building consent.

5. Key personnel

Designer	Name/registration no.		
	Contact details	Address	
	Phone/email	()	
Builder	Name/registration no.		
	Contact details	Address	
	Phone/email	()	
Drainlayer	Name/registration no.		
	Contact details	Address	
	Phone/email	()	
Plumber	Name/registration no.		
	Contact details	Address	
	Phone/email	()	
Gasfitter	Name/registration no.		
	Contact details	Address	
	Phone/email	()	
Electrician	Name/registration no.		
	Contact details	Address	
	Phone/email	()	
Other	Name/registration no.	Installer - Colin Hemsley NZHHA 1810 David Mills NZHHA 1561	
	Contact details	Address	Penniall Jordan & Co Ltd , PO Box 343, Stratford
	Phone/email	(06) 7655336	

6. Application

6a. Date building work completed: 23 July 2010

6b. The following specified systems are contained on the compliance schedule for the building and, in the opinion of the personnel who installed them, are capable of performing to the performance standards set out in the building consent:

6c. I request that you issue a code compliance certificate for the work under section 95 of the Building Act 2004. I understand that the code compliance certificate will be sent to the property owner.

Signature	<u>K M Fergusson - Monk</u>	Date	<u>26/7/10</u>
Name (print clearly)	<u>K M Fergusson - Monk</u>		



NEW PLYMOUTH DISTRICT COUNCIL

newplymouthnz.com

Code Compliance Certificate

Form 7, Section 95, Building Act 2004

The Building

Street Address of building: Weld Road Lower OKATO 4652
Legal Description of land where building is located: LOT 1 DP 365221
Current, lawfully established use: Dwelling
Year first constructed: Unknown

The Owner

Name of owner: Richard Stephen DYSON
Suzanne Faith DYSON
Contact Person: PENNIAL & JORDAN CO LTD
Mailing Address: 274 Lower Weld Road
RD 4
NEW PLYMOUTH

Phone number: (06) 7527080
Facsimile number: -
Email address: -

Building Work

Building Consent number:
Description of work:
Issued by:

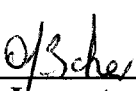
BC10/109477
Firenzo Contessa RU Freestanding fireplace
New Plymouth District Council

Code Compliance

The building consent authority named below is satisfied, on reasonable grounds, that –
(a) the building work complies with the building consent.

This is a final code compliance certificate issued in respect of all of the building work under the above building consent.

CODE COMPLIANCE CERTIFICATE


Team Leader Inspectorate

Date Issued: 29 July 2010



Building Consent No: BC10/109477
Section 51, Building Act 2004

Building

Street address of building: Weld Road Lower OKATO 4652
Legal description of land where building is located: LOT 1 DP 365221
Building name: Dwelling

Owner

Name of owner: Richard Stephen Dyson, Suzanne Faith Dyson
Applicant: Penniall & Jordan Co Ltd
Applicant contact address: PO Box 343, Stratford

Ph (work): 06 765 5336
Fax: 06 765 5337

Phone (private): -
Email address: -

Building work

The following building work is authorised by this consent:

Project: Install Jotul F500 Freestanding Fireplace

Intended use: Residential Heating

This building consent is issued under section 51 of the Building Act 2004. This building consent does not relieve the owner of the building (or proposed building) of any duty or responsibility under any other Act relating to or affecting the building (or proposed building).

This building consent also does not permit the construction, alteration, demolition, or removal of the building (or proposed building) if that construction, alteration, demolition, or removal would be in breach of any other Act.

This building consent is subject to the following conditions:

Additional Conditions

There are no conditions relating to this Building Consent.

1. Inspections

All inspections are to be carried out by BCA Building Inspectors unless prior arrangements have been made by the BCA to have an approved qualified person inspect specific items. Inspections shall be carried out in accordance with the attached schedule of inspection types. It is the owner's responsibility to ensure all necessary inspections are carried out as required. Please contact NPDC if you are unsure what requires inspection – do not cover or enclose any building work without inspection.

2. Durability of Building Elements

Building elements may have an intended life of less than 50 years. Limited life building elements carry certain limitations and obligations. Based on current legislation these obligations require the building owner to follow the normal and/or scheduled maintenance of the building element to ensure its continued compliance with the New Zealand Building Code (NZBC). Where failure to properly maintain the building elements results in non-compliance with the NZBC, the Territorial Authority may issued a "Notice to Fix" which if not met could result in legal action appropriate in the circumstances.

3. Construction and Demolition Noise

The proposed New Plymouth District Plan, appendix 12, clause 1.1 - 1.4 sets construction and demolition noise standards. Anyone carrying out building work must ensure they comply with these noise levels at all times. These standards may be obtained from the council's website or by contacting the Council.

4. Lapse and Cancellation of Consents

A Building Consent lapses and is of no effect if the building work to which it relates does not commence within 12 months after the date of issue of the building consent or any further period that the Building Consent Authority may allow. (Time extensions to commence building work after 12 months must be submitted to the Building Consent Authority in writing stating the reason for the request, prior to the lapse date of the consent.

5. Additional Costs and Refunds

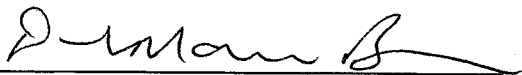
Building Consent fees are required to be paid prior to a Building Consent being issued. Once the project commences actual costs are charged against the fees paid. In some instances the base fee may be exceeded due to amendments, extra inspections or other time spent because of project complexity. These additional costs will be charged.

6. Completion of Building Project

A Code Compliance Certificate must be applied for as soon as practicable after the building work is completed. A building consent is valid for two years after the date on which the building consent was granted. An extension of time may be considered if required, application for this time extension must be made in writing explaining reasons for the request prior to the consent lapsing.

Compliance Schedule

A Compliance Schedule is not required for the building.



Building Administration Officer

Date: 21 April 2010



Development Check Report for Building Consent

Application details

Dev Check No: PIM10/109460

Building Consent No: BC10/109477

Date report issued: 21 April 2010

Date application lodged: 21 April 2010

Applicant's details

Name: PENNIAL & JORDAN CO LTD

Date new information received:

Address: PO Box 343
STRATFORD

Reason for re-issue:

The Council has received a building consent application for the following project. This report identifies matters that are relevant to the proposed building work. Please note that this is not a building consent or a project information memorandum (PIM).

You are encouraged to read this document as it contains information that may require revision of the design of the project, provision of additional information or approval under the Resource Management or other statutory approvals.

When sending correspondence regarding this application, please quote: PIM10/109460

Project description

Description: Residential/Farm - Jotul F500 Freestanding fireplace

Intended use: Heating

Intended life:

Floor area: 1 m2

Property details

Legal description: LOT 1 DP 365221

Address: Weld Road Lower
OKATO

Property owner details

Name: Richard Stephen DYSON, Suzanne Faith DYSON

Address: 274 Lower Weld Road
RD 4
NEW PLYMOUTH

The impact on the proposed project

This is confirmation that, subject to the Building Act 2004, this building work may be carried out subject to the requirements of a building consent and subject also to all other necessary authorisations being obtained.

Other applications relevant to the project. Refer to attached guide(s).

If after reading this document, you wish to suspend your building consent application, please send a written confirmation to the Council. Otherwise, you may be charged for additional processing time due to re-evaluation of your proposed building work.

Signed for and on behalf of New Plymouth District Council

Development Check Co-ordinator



Development Check Report for Building Consent

Section 1: Property information related to this project

Section 1.1 - Heritage status of the building and / or land

No Information - Heritage

There is no information held by the Council applicable to the project.

Section 1.2 Special features of the land (Natural Hazards)

Wind Zone Information

The proposed building is in an area shown to be a high wind zone on the Council's wind maps. This designation is indicative only and may alter due to topography, shelter, etc. Designers are advised to check the wind zone using the method provided in New Zealand Standards 3604.

This information is indicative and may be used for design purposes. However this wind zone value should be checked against the NZS 3604 calculation method, which requires that topography, nearby tall buildings be taken into account.

Section 1.3 - Water, Stormwater and Reticulation Sewer Systems

No Information - Sewer

There is no information held by the Council applicable to the project.

No Information - Water

There is no information held by the Council applicable to this project.

No information - Stormwater

There is no information held by the Council applicable to the project.

Section 2: Other authorisations needed for this Project

No comments applicable to the project.

Section 3: Authorisations for this project that have been refused

No comments applicable to the project.

Section 4: Building Consent Matters

No comments applicable to the project.



1. Project reference

1a. Building consent number

10/109477

1b. Site address

274 WELD RD, RD 4

NEW PLYMOUTH

1c. Reason for amendment

- ☐ Change by owner
☒ Other, please specify
☐ Information request by Council

AMENDMENT

01 - 210610

2. Changes covered by this submission

To minimise chargeable processing time, clearly identify all changes to plans and documentation:

- Hatch around the change with a "revision cloud"
- Include a revision reference which relates to the schedule of changes on this form
- Two sets of plans must be supplied

Plan affected by
amendment

(old plan number)

New plan number

Description of change

CHANGE OF FIRE FROM JOTUL TO FIRENZO CONTESSA RU

For additional information, please turn over

3. Building warrant of fitness

Commercial only - Are there any amendments to systems for which a compliance schedule has been/will be issued?

☐ Yes ☐ No

4. Applicant's declaration

This amendment to the abovementioned building consent is made by me, as

☐ the owner of the property

☒ the applicant, authorised by the owner to make this amendment

Signature

KM FERGUSSON-MONK

Name (print clearly)

15/6/10

Date

Office use only

Approved	Refused
PIM Co-ordinator	
Building	
21-6-10 Engineer	

Comments:

PTO

01-210610

EC 10/109477

HOME OWNER: Richard S Dyson & Suzanne F Dyson

ADDRESS OF INSTALLATION: 274 Lower Weld Rd RD 4 New Plymouth

MAKE: ~~Joliet~~ ^{Charger le} Firenzo MODEL: ~~F500~~ ^{Contessa 12V} F/S ☒ I/B ☐

HEARTH: NEW ☒ EXISTING ☐

WETBACK: YES ☐ NO ☒ EXISTING ☐ NEW ☐

CHIMNEY: BRICK ☐ PRECAST ☐ POURED ☐ S/S ☒

AGE OF HOME APPROXIMATELY (ie 1930's): _____

OTHER ADDITIONAL INFORMATION REQUIRED:

- Approved Smoke Alarms will be installed on escape routes and within 3 metres of every sleeping space door as required by the New Zealand Building Code.**



NPBC Approved
21 APR 2010



LIM information divider



NPDC

Application for Code compliance certificate (CCC) - Form 6 - NPDC005255

Submission Details

Submission Ref	NPDC005255
Status	Accepted
Building Complexity	R1
Is Complete	Yes
Date Submitted	Wed 23 Mar 2022, 3:05 PM
Council	New Plymouth District Council
Site Address	274 Weld Road Lower TATARAIMAKA, NEW PLYMOUTH 4374
Parent Consent Number	BC21/128675
Submitter	James Silk
Legal Description	Lot 2 DP 457540

Application for Code compliance certificate (CCC) - Form 6

Building consent information

Building consent number *

BC21/128675

Issued by *

☒ New Plymouth District Council

☐ Other

Code compliance certificate - Form 6

[Section 92](#), Building Act 2004

How to complete the application form:

1. Each section within the form will turn green when the minimum required information has been completed, a red asterisk (*) marks items that are mandatory.
2. All sections must be completed before you can submit the application, the submit button at the bottom of the form will not be available until all sections of the form have been completed and green.
3. The application can be saved and closed at any stage at the bottom of the form, this allows you to come back to the application at a later date without losing any of the information you have already completed.
4. If you have already supplied the documentation you do not need to resubmit.

IMPORTANT – PLEASE READ

APPLICATION FOR CODE COMPLIANCE CERTIFICATE - FORM 6

Is required once all work undertaken as part of a Building Consent has been completed, as part of completing the building work if restricted building work has been completed by a licensed building practitioner that a MEMORANDUM FROM LICENSED BUILDING PRACTITIONER: RECORD OF BUILDING WORK - FORM 6A is provided.

MEMORANDUM FROM LICENSED BUILDING PRACTITIONER: RECORD OF BUILDING WORK - FORM 6A

Restricted building work is required to be completed by a licensed building practitioner (LBP). If your project included restricted building work, any licensed building practitioners who carried out or supervised the work must submit a Record of Work (ROW) form with this application (and provide a copy to the owner of the property). Without this a Code Compliance Certificate cannot be issued.

To complete the MEMORANDUM FROM LICENSED BUILDING PRACTITIONER: RECORD OF BUILDING WORK - FORM 6A you can either:

1. Attach the record of work to the application as a document, that has been provided by the LBP; or
2. If the original building consent application was submitted through the portal:
 - Add a Record of Work (MEMORANDUM FROM LICENSED BUILDING PRACTITIONER: RECORD OF BUILDING WORK - FORM 6A) from the original Building Consent application in the Forms TAB; and
 - Add a collaboration invite from the summary page of the (MEMORANDUM FROM LICENSED BUILDING PRACTITIONER: RECORD OF BUILDING WORK - FORM 6A) application for the LBP to complete the form, the LBP will need to register for the portal if they are not currently a user.

Where is the building work?

What is the street address? *

274 Weld Road Lower TATARAMAKA, NEW PLYMOUTH 4374

Building Name

Location of building within site/block including near street access

As per attached site plan

Who owns the building or land?

Owner type *

☐ Individual/s

☒ Company/Trust

Company/Trust Name *

Silk Family Trust

Company/Trust contact person name *

James Douglas Silk

Title

Mr

Contact person email address *

jamiesilknz@gmail.com

Contact phone number *

276416540

Contact person mobile number

276416540

If different from preferred contact number

Contact person mailing address *

274 Weld Road Lower

Proof of ownership

The [Building \(Forms\) Regulations 2004](#) requires evidence of ownership to be provided.

A Record of Title (RT) less than 3 months old is the preferred proof of ownership, alternatively you may be able to provide other forms of proof of ownership less than 3 months old such as a sale or a lease agreement.

A RT can be ordered online from Land Information New Zealand ([click here](#)), you can also request a RT from the Council you are applying to.

Proof of ownership *

☐ Record of title

☒ Request NPDC to verify ownership

☐ Other

If NPDC cannot match proof of ownership with the property rating system; please select the appropriate statement: *

☒ I agree to NPDC obtaining a RT from Land Information NZ and a \$25 charge being added to my consent fees

☐ Please contact me (the applicant) and I will arrange for proof of ownership to be provided

Please note: If you have purchased the property within the last three months or the property has been subdivided within the current financial year (1 July - 30 June), the correct ownership may not match the property rating system yet.

Who is the applicant?

Is the application being made by an agent on behalf of the owner? *

☐ Yes

☒ No

Who completed the building work?

All building work to be carried out under this building consent specified on this form was completed on: *

18/03/2022

Select date work was completed

Did the project include Restricted Building Work? *

☒ Yes

☐ No

Have you carried out building work under the owner-builder exemption *

☐ Yes

☒ No

The licensed building practitioner(s) who carried out/supervised the restricted building work is/are:

Name *

Tim Suckling (Manor Build)

Licensed Building Practitioner
licence class *

Carpentry
Roofing
External Plastering
Brick and blocklaying
Foundations

Select the appropriate category from the dropdown list

Licensed Building Practitioner
number (or registration number) *

118762

Did the Licensed Building Practitioner carry out or supervise the restricted building work? *

☒ Carried out

☐ Supervised

Search the [Licensed Building Practitioner public register](#) to find a practitioner's number

The tradespeople who carried out building work that is not restricted building work is/are:

Trade *

Certifying Drainlayer

Name *

Daniel Brooks (Ariki Plumbing - Water Supply & Waste Water)

Registration number

24557

E.g. Plumber, Drainlayer, Gasfitter or Electrician's registration number

Email address *

dan@arikiplumbing.co.nz

Contact number *

06 753 0023

Mobile number *

027 697 0945

If different from preferred contact number

Mailing address

81A Huatoki Street, Vogeltown, New
Plymouth 4310, New Zealand

Use the [Plumbers, Gasfitters and Drainlayers Board Public Register Search](#) to look up registration numbers

The tradespeople who carried out building work that is not restricted building work is/are:

Trade *

Registered Electrician

Name *

Hamish Scott (Scott Electrical)

Registration number

E258943

E.g. Plumber, Drainlayer, Gasfitter or Electrician's registration number

Email address *

hamish@seselectrical.co.nz

Contact number *

027 323 2020

Mobile number *

027 323 2020

If different from preferred contact number

Mailing address

PO Box 286 New Plymouth 4310

Use the [Plumbers, Gasfitters and Drainlayers Board Public Register Search](#) to look up registration numbers

The tradespeople who carried out building work that is not restricted building work is/are:

Trade *

Certifying Plumber

Name *

Mark Anderson (Aquacare in door plumbing)

Registration number

21562

E.g. Plumber, Drainlayer, Gasfitter or Electrician's registration number

Email address *

mark@aquacareplumbing.co.nz

Contact number *

021 220 7759

Mobile number *

021 220 7759

If different from preferred contact number

Mailing address

30 Gaine Street, New Plymouth, New
Plymouth, 4310

Use the [Plumbers, Gasfitters and Drainlayers Board Public Register Search](#) to look up registration numbers

The tradespeople who carried out building work that is not restricted building work is/are:

Trade *

Other

Name *

Gareth Williams (Paradigm - Design)

Registration number

115022

E.g. Plumber, Drainlayer, Gasfitter or Electrician's registration number

Email address *

paradigmstudio@xtra.co.nz

Contact number *

027 340 3554

Mobile number *

027 340 3554

If different from preferred contact number

Mailing address

Use the [Plumbers, Gasfitters and Drainlayers Board Public Register Search](#) to look up registration numbers

The tradespeople who carried out building work that is not restricted building work is/are:

Trade *

Other

Name *

Ted Stolle Registration (Climate Plumbing, Fit Fire/ Wet Back)

Registration number

14073

E.g. Plumber, Drainlayer, Gasfitter or Electrician's registration number

Email address *

cathy@climate.nz

Contact number *

06-7696410

Mobile number *

027-2310433

If different from preferred contact number

Mailing address

PO Box 539 New Plymouth 4340

Use the [Plumbers, Gasfitters and Drainlayers Board Public Register Search](#) to look up registration numbers

What specified systems are in the building?

Are there specified systems installed in the building? *

☐ Yes

☒ No

Have you attached all required documentation?

Document upload process

The portal allocates document categories for different types of applications (e.g. residential, multi-residential and commercial applications will have different document categories).

Only 1 document can be uploaded against each document category. This means that you must merge all relevant information into a single document per category (e.g. all architectural plans must be merged together into a single upload).

Document FAQ

A FAQ section is also available on how documents are managed within the portal.

You will only be able to upload 5 documents for this application, please ensure you have combined the documents for the application into the correct categories.

PLEASE NOTE: Your application may be rejected if you haven't merged the documents into the appropriate categories.

Select the following option you choose to attach an LBP memorandum: Record of building work *

☒ Attach a PDF format record of work to this application that has been provided by the LBP

☐ Create a collaboration invite for the LBP to complete the form online via the submission tool

Licensed Building Practitioner's memorandum: Record of building work - MEMO1-1_274_Weld_Manor_Build.pdf

Energy work certificates - 274_ManorBuild_COC_electrical_site_connection-combined.pdf

As-built plans - As-built_drainage-waste_plan_NPDC_274_Weld_Manor_Build-combined.pdf

Declaration

☒ * I request that you issue a code compliance certificate for this work under section 95 of the Building Act 2004.

The code compliance certificate should be sent to the: *

☒ Owner - as per the "Who Owns The Building?" section

☐ Agent - as per the "Who is the Applicant" section

☐ Both owner and applicant as provided in the relevant sections of this form

Full Name *

Date *

James Douglas Silk

21/03/2022

Submitter Declaration

Submitter Name

James Silk

Date

23/03/2022

I understand that by ticking the following boxes, I am agreeing to the following statements:

☒ * As the agent I confirm that I am submitting this application on behalf of and with the authority of the owner and confirm that all the information within the application is, to the best of my knowledge, true and correct.



Te Kaunihera-ā-Rohe o Ngāmotu

New Plymouth District Council

Code Compliance Certificate

Form 7, Section 95, Building Act 2004

The Building

Street address of building:	274 Weld Road Lower TATARAMAKA, NEW PLYMOUTH 4374
Legal description of land where building is located:	Lot 2 DP 457540
Current, lawfully established use:	Residential
Year first constructed:	2021

The Owner

Name of owner:	Silk Family Trust	Phone No (Bus): 027 641 6540
Owner Mailing address:	11 Mace Terrace OAKURA 4314	Phone No (Pvt): 027 641 6540 Email Address: jamiesilknz@gmail.com

Applicant : Central House Movers Limited

Building Work

Building consent number:	BC21/128675
Description of work:	Relocated two bedroom dwelling with woodfire
Issued by:	New Plymouth District Council

Code Compliance

The building consent authority named below is satisfied, on reasonable grounds, that—
(a) the building work complies with the building consent.

This is a final code compliance certificate issued in respect of all of the building work under the above building consent.

Talimai Filo
Building Administration Officer

On behalf of: New Plymouth District Council
Date issued: 15 June 2022



Te Kaunihera-ā-Rohe o Ngāmotu

New Plymouth District Council

Building Consent No: BC21/128675

Form 5, Section 51, Building Act 2004

Building

Street address of building:

274 Weld Road Lower TATARAIMAKA, NEW
PLYMOUTH 4374

Legal description of land where building is
located:

Lot 2 DP 457540

Building name:

Dwelling

Owner

Name of owner: James Douglas Silk
Caroline Ann Silk

Phone No (Bus): 06-322 1860

Applicant: Central House Movers Limited Phone No (Pvt): 027 4985 444 Aaron
Applicant contact 86 Bridge Street
address: BULLS 4818

Email Address: kiri@centralhousemovers.co.nz

Building Work

Building consent number:

BC21/128675

Description of work:

Relocated two bedroom dwelling with
woodfire

Issued by:

New Plymouth District Council

Building Work

The following building work is authorised by this building consent:

Project description:

Relocated two bedroom dwelling with woodfire

Intended use:

Residential

This building consent is issued under section 51 of the Building Act 2004. This building consent does not relieve the owner of the building (or proposed building) of any duty or responsibility under any other Act relating to or affecting the building (or proposed building).

This building consent also does not permit the construction, alteration, demolition, or removal of the building (or proposed building) if that construction, alteration, demolition, or removal would be in breach of any other Act.

Section 90 – Inspections by building consent authorities: agents, authorised by the building consent authority (BCA), are entitled under section 90 of the Building Act 2004 to inspect land on which building work is being or is proposed to be carried out, building work that has been or is being carried out on or off the building site, and any building itself, at all times during normal working hours or while building work is being done.

Compliance Schedule

A compliance schedule is not required for the building.

Attachments

Copies of the following documents if relevant have previously been sent through the portal for this building consent:

- Project information memorandum
- Development contribution notice
- Sec37 certificate - Resource Management Act (RMA) certificate.



Hannah Cameron

Building Support Services Officer

On behalf of: New Plymouth District Council

Date issued: 19 July 2021



Te Kaunihera-ā-Rohe o Ngāmotu

New Plymouth District Council

Project Information Memorandum

Section 34, Building Act 2004

Application Details

PIM number: PIM21/128426
Date application lodged: 16 June 2021
Applicant name: CENTRAL HOUSE MOVERS LIMITED
Applicant address: 86 Bridge Street, BULLS 4818

Project description

Description: Relocated two bedroom dwelling with woodfire
Intended use: Residential

Property details

Legal description: Lot 2 DP 457540
Site Address: 274 Weld Road Lower TATARAIMAKA, NEW PLYMOUTH 4374

Property owner details

Name: Caroline Ann SILK, James Douglas SILK, J & C SILK TRUSTEES LIMITED
Address: 11 Mace Terrace, OAKURA 4314

The impact on the proposed project

This is confirmation that, subject to the Building Act 2004, this building work may be carried out subject to the requirements of a building consent and subject also to all other necessary authorisations being obtained.

Your building project requires further authorisations or revision for the following reasons:

N/A

If you wish to suspend your building consent application until the revised plans are received by council, please contact the council on (06-759 6060) and send written confirmation of this instruction. Otherwise, you may be charged for additional processing time due to re-evaluation of your proposed building work.

Signed for and on behalf of New Plymouth District Council

Sarah Marshall
Building Support Services Officer

This is not a building consent.

Your next step is to obtain a building consent prior to commencement of work.

Please contact us with any queries you may have on 06-759 6060.

What is a Project Information Memorandum (PIM)

The PIM provides an applicant with information about land and about the other statutes and requirements that might be relevant to the proposed building work, other than construction design and features required under the Building Act 2004. This information enables the applicant to assess the feasibility of the project before proceeding with the preparation of the building consent application.

Planning

No comments applicable to this project

Three Waters reticulation systems

For any questions related to the below comments, please email dbcdeveng@npdc.govt.nz

There is no reticulated water supply available to the site. You will need to make your own provision for the water needs of the project in accordance with the provisions of the Building Code.

The activity will require you to provide for its own potable water supply in accordance with the standards specified by the Building Code. Details showing how this is to be provided for will need to be provided as part of the Building Consent application for the project. Bore or well water supply will require a water quality test and results report.

No firefighting water is available to this development. It is recommended that a 75mm instantaneous female coupling and valve be fitted to any water storage tanks that may be constructed as part of this work.

The requirements of the New Zealand Fire Services Firefighting Water Supplies Code of Practice may have to be met.

The property does not currently have access to the Council's sewer reticulation.

On site waste water disposal systems are to be designed by a suitably qualified person to meet the requirements of AS/NZS 1547:2012. Suitable areas of land, including a reserve area, are to be set aside for this purpose.

A design for an on site disposal system that meets Building Code provisions will need to be submitted as part of the building consent for the project.

The Council has no requirements for the disposal of stormwater in the rural area. The applicant shall dispose of the stormwater in a way that does not create a nuisance.

Transportation

No comments applicable to this project

Building consent matters

No comments applicable to this project

Other Authorisations

No comments applicable to this project

Re-issue of PIM

A territorial authority may, where it becomes aware of errors or omissions or where new information is received, re-issue this project information memorandum subject to the applicable time limitations and conditions of Section 34 of the Building Act 2004.



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Notes:

Note: Land Covenant contained in document 6737819.4

Height Datum: NZVD2016
Height Origin: IT II DP 20439
RL: 60.61m

Contour Interval: 0.25m

This Plan to be used for Resource Consent Purposes Only.
Areas and Dimensions are subject to Land Transfer Survey

TAYLOR PATRICK
SURVEYING PLANNING DESIGN

Huatoki Business Centre
17a Brougham Street
PO Box 8258
New Plymouth 4310
p 06 758 1021
m 021 543 693
stefan@taylorpatrick.co.nz

REV	AMENDMENT	BY	DATE
04	Site datum/site topo/BDY marking	TB	10/06/21
03	House moved 2.2m north along cov bdy	TB	19/05/21
02	House position moved	TB	13/05/21

Silk
274 Weld Road
Taranaki

Proposed New Dwelling
on
Lot 2 DP 457540

DESIGNED:	DATE:	SIGNATURE:	PLOT DATE:
TB	19/05/21		10/06/21

DRAWN:	DATE:	SIGNATURE:	CAD REF:
TB	19/05/21		

CHECKED:	DATE:	SIGNATURE:	CAD XREF:

APPROVED:	DATE:	SIGNATURE:	SURVEY BY:
			TB

APPROVED:	DATE:	SIGNATURE:	SURVEY DATE:
			05/06/21

12D REF:	300 Working

Final

PROJECT NUMBER:	SCALES:
21049	1:200 @ A3

DRAWING No:	REV:

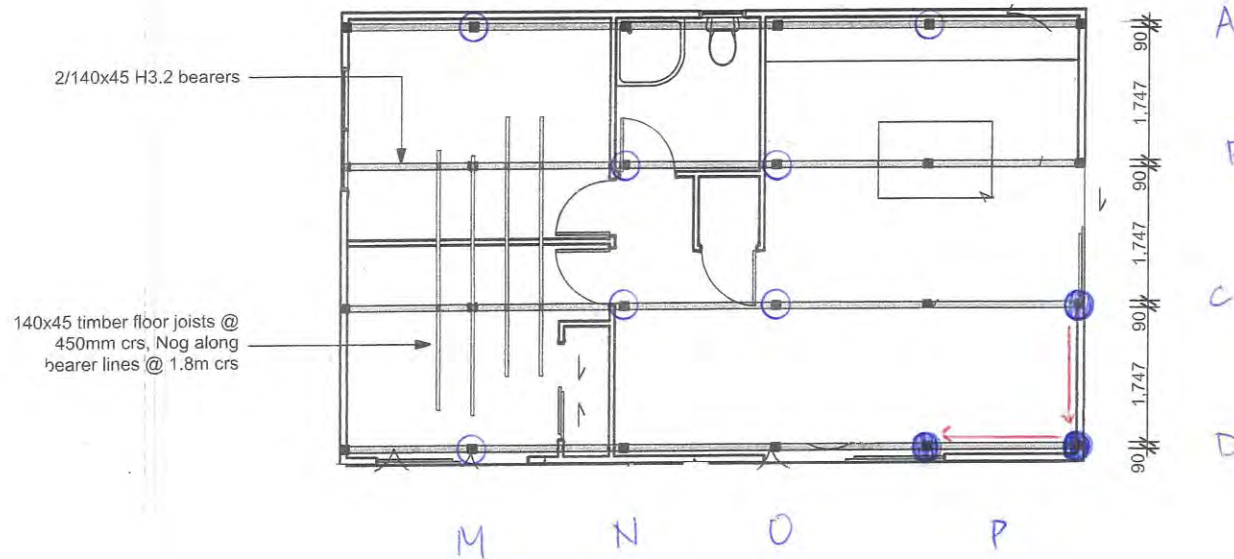
Site Plan

04

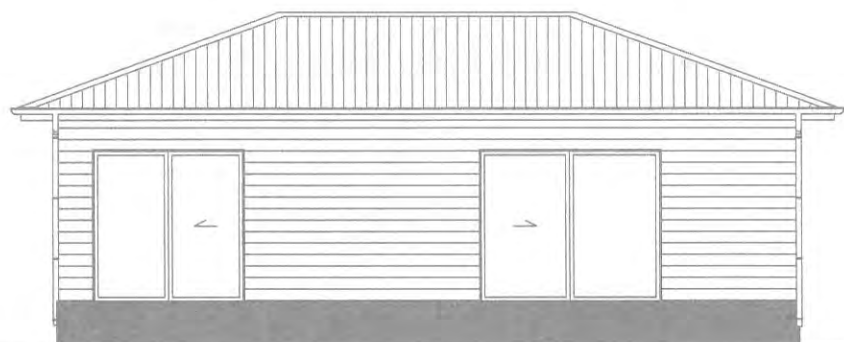
Pile plan prepared for C & J Silk
274 Weld Road Lower, Kaitake
Scale 1:100

NOTE:
 Bearer or double joist within 200mm of internal load bearing wall See Fig 6.1 NZS3604:2011

Non loading bearing wall containing bracing shall have solid blocking within 150mm of wall Fig 7.5 NZS3604:2011



- = = = Denotes Bearer
- ⊠ Denotes Anchor piles
- Denotes Ordinary piles
- → ● Denotes Brace Piles



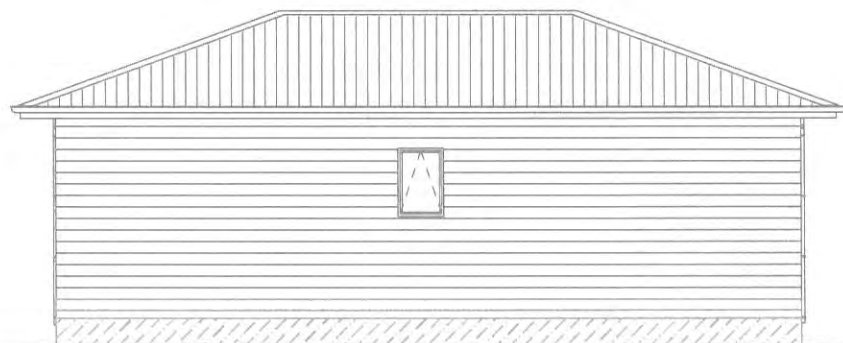
ELEVATION E1
Scale 1:100



ELEVATION E2
Scale 1:100



ELEVATION E3
Scale 1:100



ELEVATION E4
Scale 1:100



NEW PLYMOUTH
40 Ocean View Parade | New Plymouth
t: + 64 6 757 5842
FREECALL: 0800 MANORGROUP
www.manorbuild.co.nz | e: sales@manorbuild.co.nz

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#Notes

client:

-

project:
SILK Res

design by: Manor Build

scale: As Noted

date: 21/05/2021

Elevations

job no:

MG269

sheet no:

A3-1

Plumbing and drainage prepared for C & J Silk 274 Weld Road Lower, Kaitake

Plumbing and Drainage

TV = 80mm terminal vent
GT = Gulley Trap
ORG = Overflow relief gulley
IP = Inspection Point
IB = Inspection Bend
IJ = Inspection Junction
DP = Downpipes 80mm

Foul water to comply
With G13/AS1 & G13/AS2

All waste sizes and drains
To comply with G13/AS1

Stormwater pipe to be
100mm PVC Fall 1:100

Wastewater pipe from
100mm PVC Fall 1:60

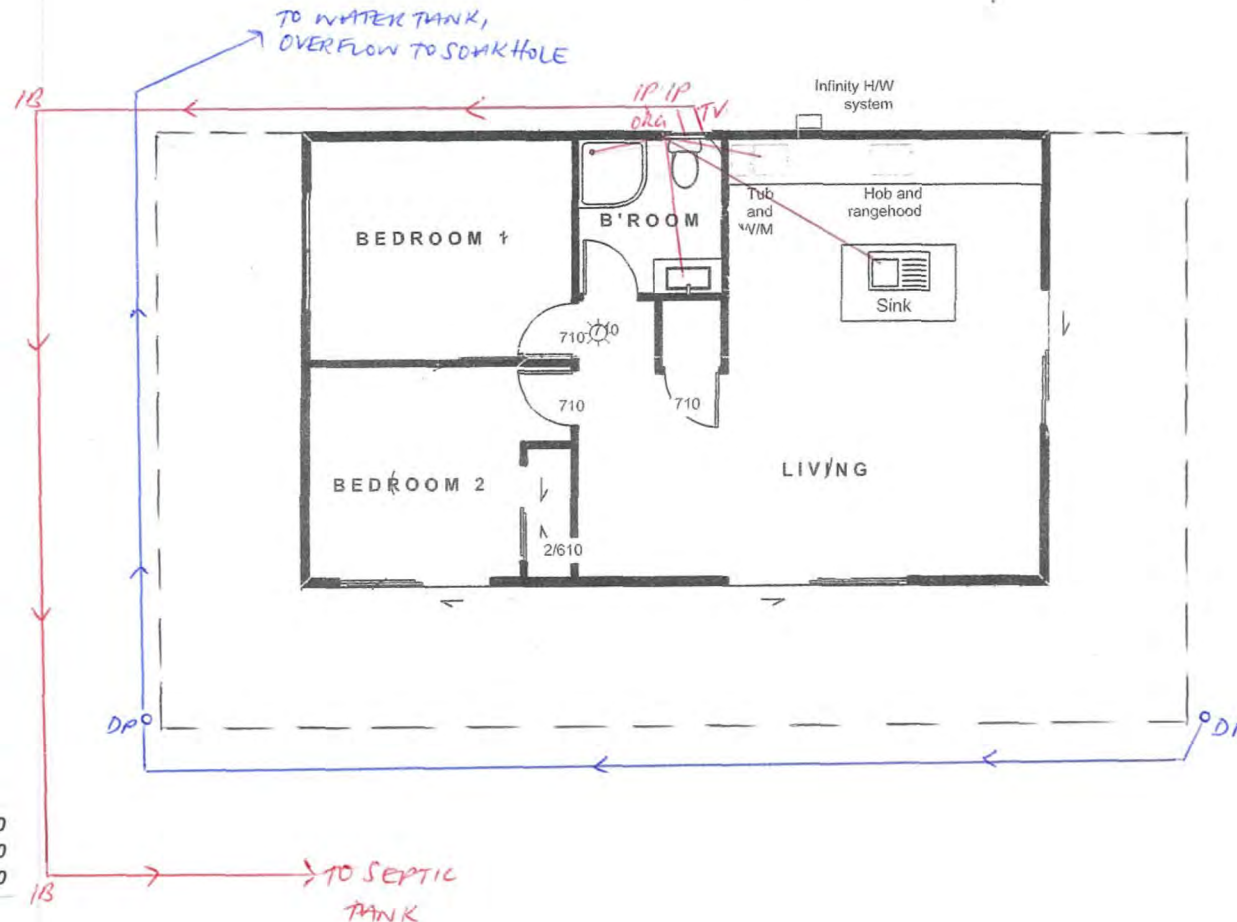
Water Line 25mm PE
Blueline to comply with G12/AS1

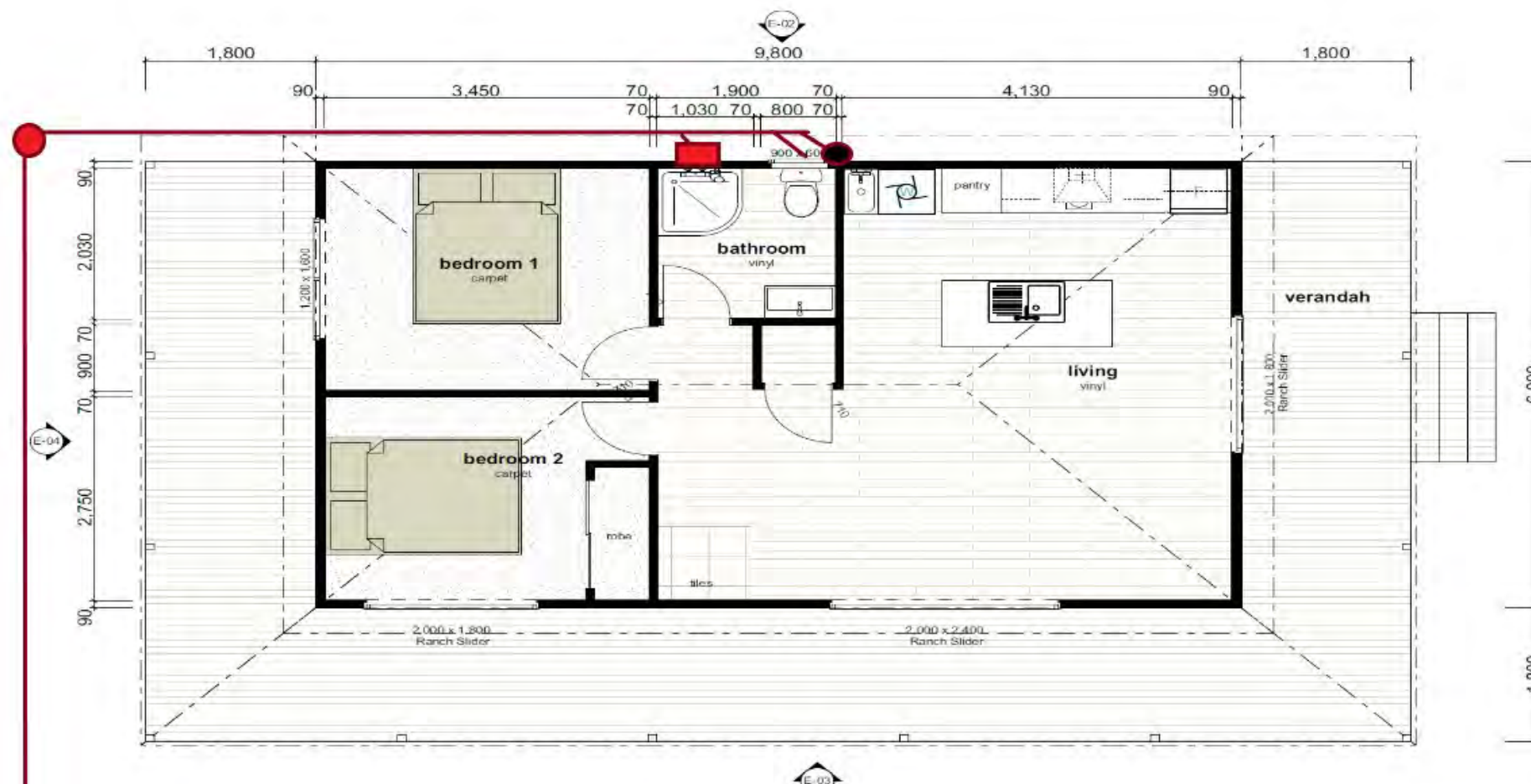
All fittings with branch drains
Exceeding 3.5m shall be fitted
With air admittance valves

Waste sizes and gradients

WC	100mm	1:60
Shower/tub/sink	50mm	1:40
Basin	40mm	1:20

Soak hole to be 5m x 750mm dia.
Supply and install 1200mm dia. x 75mm
Thick concrete lid set 150mm below
Ground level





Drain laid NZSG13 standard
Minimum fall 1:100
Conventional bed + 3000L septic tank

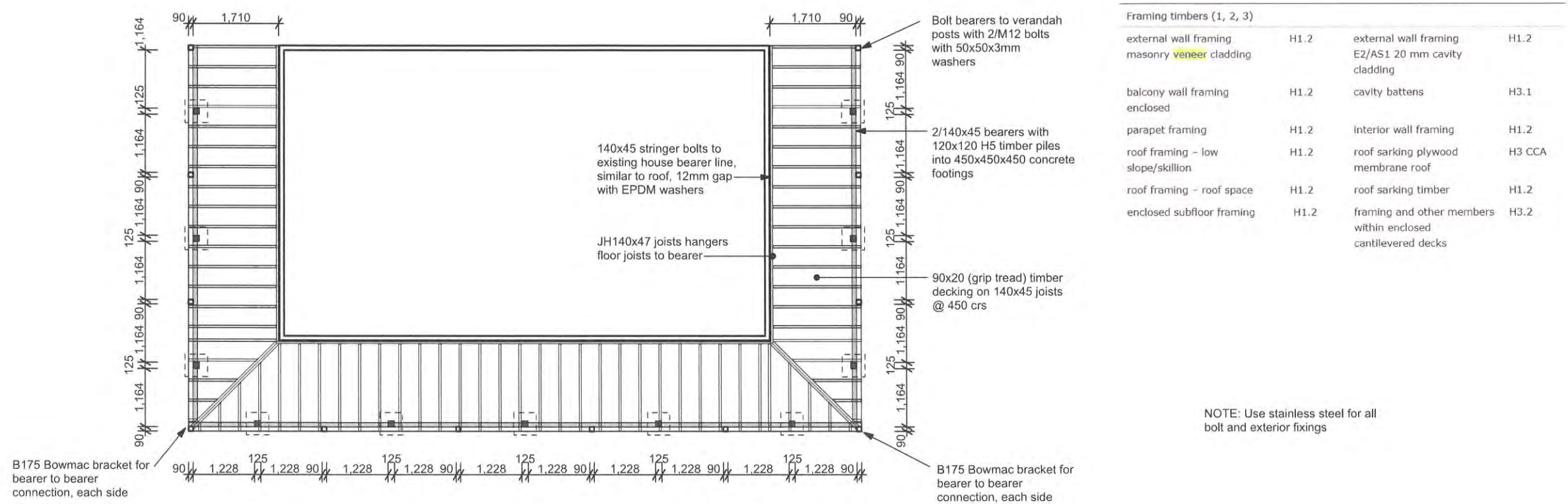
Reserve bed and conventional laid;
more than 3m from building
more than 1.5m from boundary

4mtr from deck to effluent bed.



reserve bed

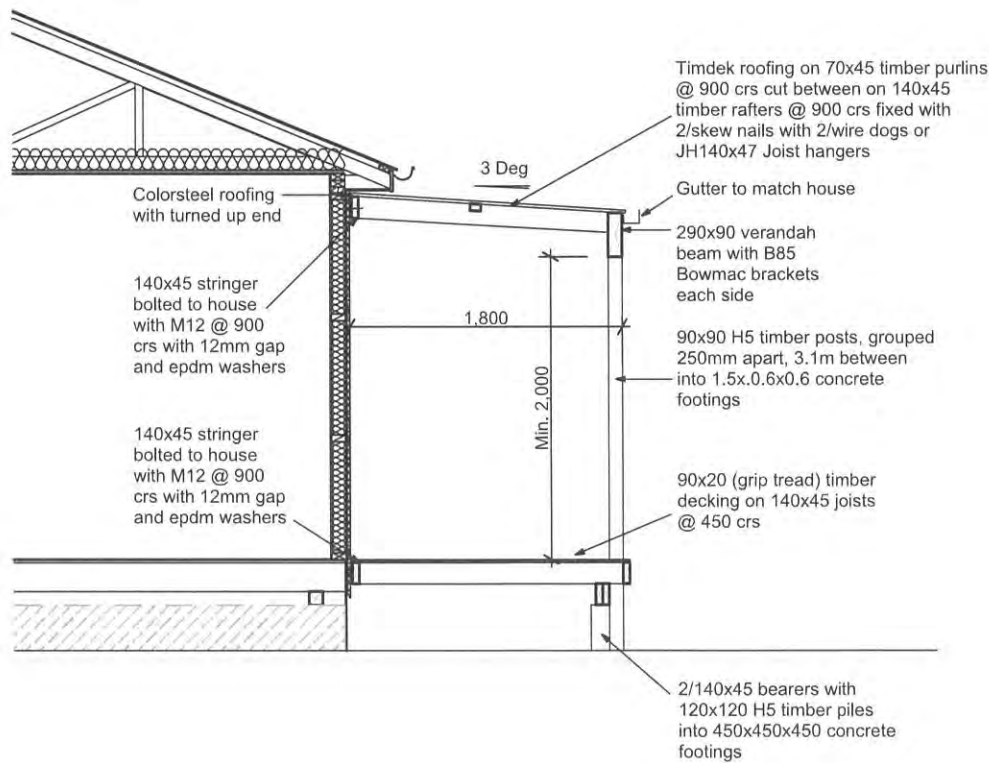
- Terminal vent
- Inspection
- Gully trap
- ★ Auger soil test depth 1.7m



FLOOR FRAMING PLAN
Scale 1:150

Table 2: Guide to treated radiata pine applications.

Timber to be used for	Required treatment	Timber to be used for	Required treatment
External timber use			
house piles	H5	poles and crib walling	H5
enclosed subfloor framing	H1.2	exposed subfloor framing	H3.2
veranda posts supported clear of ground	H3.2	veranda posts in ground	H5
deck jack studs supported clear of ground	H3.2	deck piles in ground	H5
deck joists/bearers	H3.2	wall framing weather exposed	H3.2
decking	H3.2	roof framing weather exposed	H3.2
cladding or exterior trims unpainted, clear finished or stained	H3.2	shingles/shakes	H3.2
cladding or exterior trims painted	H3.1	exterior plywood unpainted or used as bracing	H3 CCA
fence rails and palings	H3.2	exterior plywood painted	H3 LOSP
fence posts/landscape timbers exposed to weather and in ground contact	H4	balcony barrier exposed	H3.2



SECTION "A"
Scale 1:50



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#Notes

client:

project:
SILK Res

design by: Manor Build

scale: As Noted

date: 13/05/2021

Floor Framing

job no:

MG269

sheet no:

A2-1



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#Notes

client:
-

project:
SILK Res

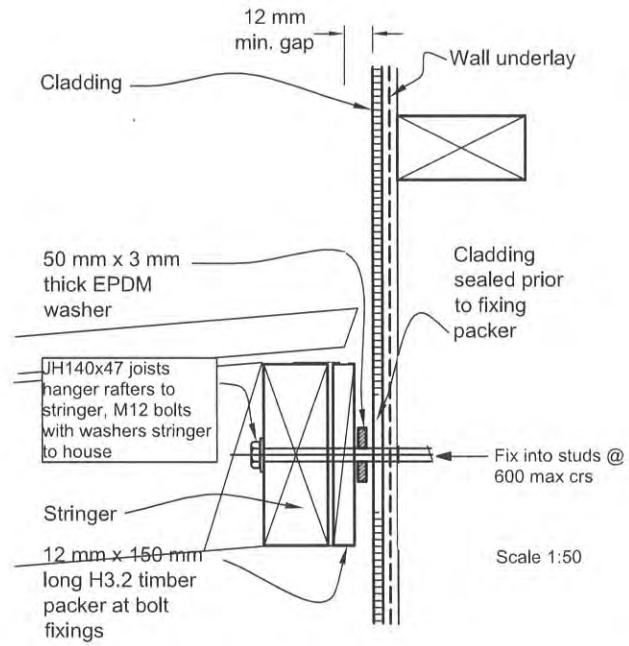
design by: Manor Build

scale: As Noted

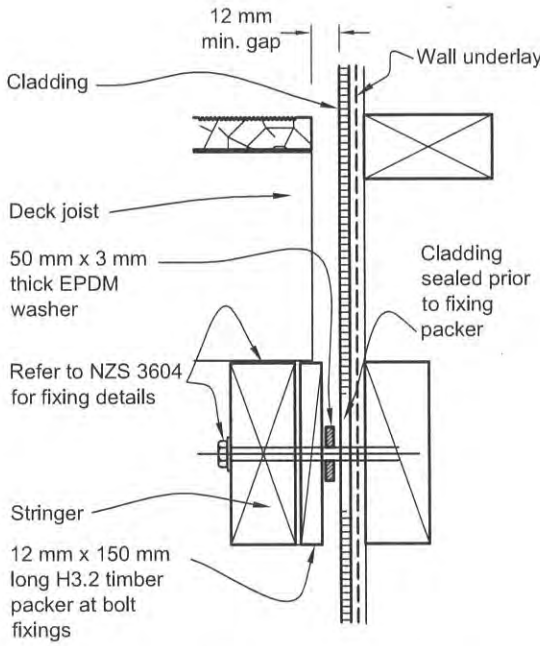
date: 13/05/2021

Roof plan

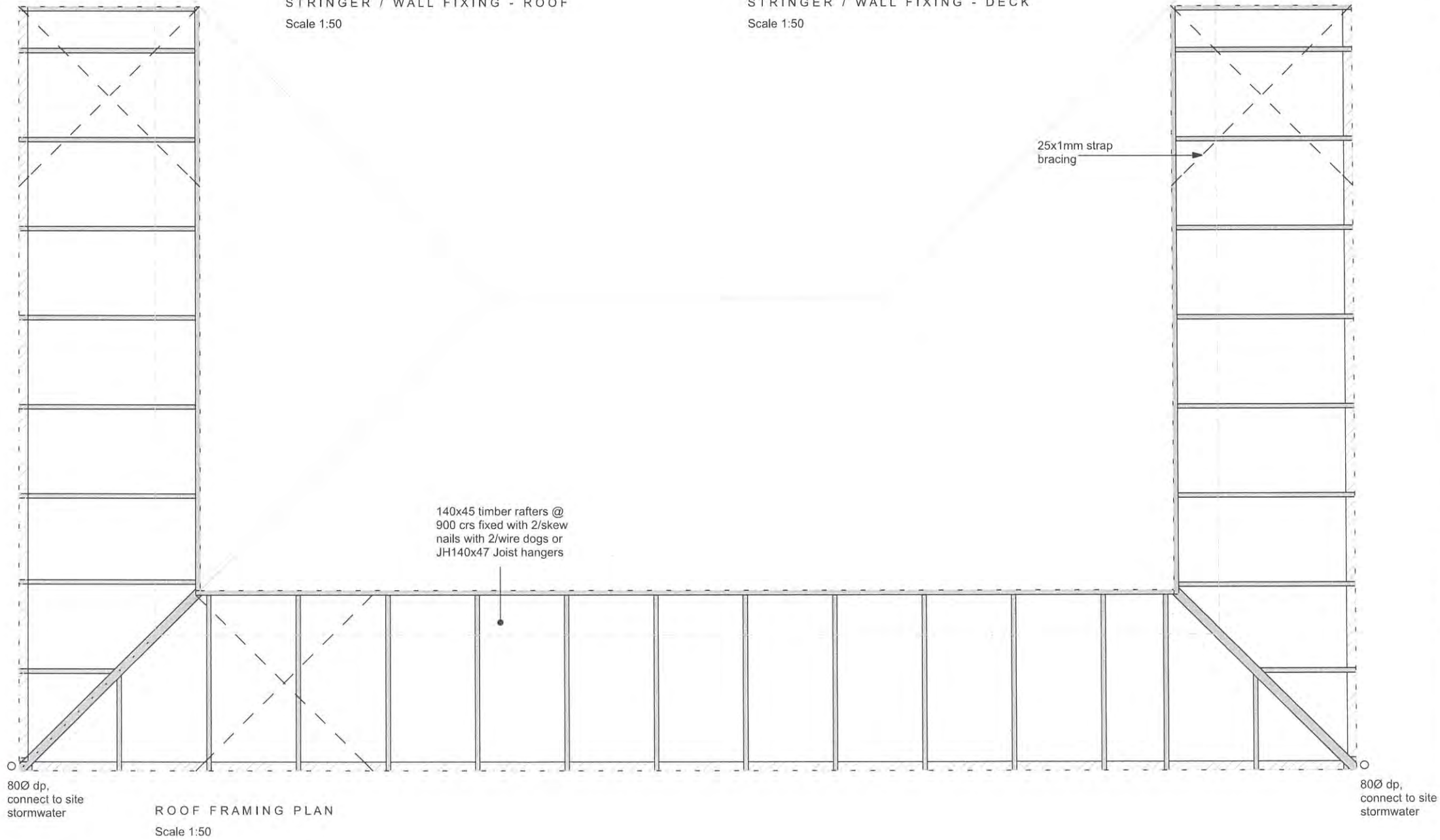
job no: MG269	sheet no: A2-2
-------------------------	--------------------------



STRINGER / WALL FIXING - ROOF
Scale 1:50



STRINGER / WALL FIXING - DECK
Scale 1:50





LIM information divider



NPDC



ASSM: 097436
LEGL: 101770

Planner: N Cooper

RESOURCE CONSENT No. 44435

Granted under sections 93, 94 and 104 of the Resource Management Act 1991.

APPLICANT: Totalspan Taranaki

LOCATION: 274 Weld Road Lower, Okato

LEGAL DESCRIPTION: Lot 1 DP 365221

STATUS: The proposal is a Restricted Discretionary Activity under Rule Rur17 of the New Plymouth District Plan

PROPOSAL: To construct a shed within the required setback from the side boundary

DECISION:

The proposal (Resource Consent No 44435) as described above and in the application is granted under section 104B of the Resource Management Act 1991. The following conditions are imposed under section 108 of the Resource Management Act 1991 as they are considered necessary to promote the sustainable management of natural and physical resources subject to Part II of the Resource Management Act 1991.

These conditions must be complied with when exercising this Resource Consent:

1. The use and development of the land shall be as described within the application and shall be substantially in accordance with the plans endorsed RC 44435, Sheets 1-7.
2. The consent holders shall pay the council's costs of any monitoring that may be necessary to ensure compliance of the use with the condition specified.

Advice Note:

The Certificate of Title for the property includes restrictive covenants that may affect the construction of buildings. The covenant is not enforced by the council however the consent holder may want to look in to this matter further.

NOTES:

This application for Resource Consent has been considered in accordance with section 104 of the Resource Management Act 1991 and has been approved, as the council is satisfied that the proposal is consistent with Part II of the Resource Management Act 1991 in that the adverse effects on the environment of the activity will be minor and that no persons will be adversely affected by the granting of the Resource Consent.

This Resource Consent lapses on 12 March 2013 unless the Consent is given effect to before that date; or unless an application is made before the expiry of that date for the Council to grant an extension of time for establishment of the use. An application for an extension of time will be subject to the provisions of section 125 of the Act.

This Consent is subject to the Right of Objection as set out in section 357 of the Resource Management Act 1991.

DATED: 12/03/2008

A handwritten signature in black ink, appearing to be 'Ralph Broad', written in a cursive style.

Ralph Broad
MANAGER CONSENTS

DM321419



1. Property details

1a. Site Address
(Specify unit / level number,
location of building within site
/ block number, building name
and street name)

274 Lower Weld Road

1b. Current lawfully
established use

Rural

1c. Legal Description

lot 1 DP365 221

1d. Rapid Number

2. Property owner details

2a. Name

Richard + Sue Dyson

2b. Contact person
(If owner is a corporation,
partnership or trust)

2c. Postal address

274 Lower Weld Road
Oakura

2d. Contact details

()

Phone

()

Mobile

()

Fax

2e. Email

3. Description of project

3a. Detailed description
of the development/
project

SMARTSTEEL SHEET

3b. Will business activities
take place when
building is completed?

☐ Yes

☒ No

4. Council applications for this project

OFFICE USE

	Application attached	Have applied already (Write application no. if known)	Information provided
a. Common applications			
 Project Information Memorandum (PIM).....	☐		☐
 Building consent.....	☐		☐
 Vehicle crossing.....	☐		☐
 Encroachment licence.....	☐		☐
 Land use resource consent	☐		☐
 Subdivision resource consent	☐		☐
 Sewer connection/disconnection	☐		☐
 Stormwater connection/disconnection	☐		☐
 Water connection/disconnection	☐		☐
b. Non-residential applications			
 Discharge of trade waste consent	☐		☐
 Liquor licence.....	☐		☐
 Food premise licence.....	☐		☐
 Health act licence	☐		☐
<i>(Hairdressing, Camping ground, Funeral parlour, Offensive trade)</i>			
c. Other project authorisations			
 Fencing of swimming pools registration	☐		☐
 Building over council reticulation	☐		☐
 Craneage permit.....	☐		☐
d. Other project requirements			
 Rapid number.....	☐		☐
 Parking hood rental	☐		☐
 Refuse Collection.....	☐		☐
 Existing street damage declaration	☐		☐



This form must be submitted with a completed Application Cover Page Form.

Fill this form out with the assistance of the Land Use Resource Consent Guide - numbers on this form relate to explanatory notes in the guide.

1. Applicant details

1a. I am the



Property owner
Proceed to 1b



Lessee
Provide details below



Agent
Authorised by owner / lessee
Provide details below

Name

TOTALSPAN TARANAKI

Postal address

470 Devon Street West
New Plymouth

Contact numbers

() 7514154

Phone

()

Mobile

() 7514156

Fax

Email

1b. Preferred means
for formal
correspondence



Mail



Email



Fax

2. Occupier details - if occupier is not the applicant

2a. Name

Postal address

3. Detailed description of activity

~~Set back from Boundary~~
~~New large~~
SMARTSTEEL SHED

Continue on separate sheet if necessary

Proposed start date

March/April 08

4. Identify District Plan rules not being met

Rur 17

21 FEB 2008
New Plymouth
District Council

320pm

R- 3593503

Please turn over

OFFICE USE ONLY:

Date received 21/2/08 Application # Document # Project #
Property ID 097436 Legal ID 101770 Receipt # 359350 Amount Paid \$344.00

5. Additional resource consents related to this application

	Resource consent yet to be applied for	Resource consent already applied for
Subdivision consent (NPDC)	☐	☐
Coastal permit (TRC)	☐	☐
Water permit (TRC)	☐	☐
Discharge permit (TRC)	☐	☐

6. Documents required to be attached to this application

- ☒ Assessment of Environmental Effects (AEE) as prescribed under the Fourth Schedule of the Act
- ☒ Written Approvals from Affected Parties
- ☒ One copy of plans and drawings, drawn to an approved scale (no larger than A3)
 - ☒ Site plan - showing all property boundaries, north arrow, existing and proposed buildings, vegetation, ground contours (show fill and excavation), landscaping, car parking and manoeuvring spaces, access points and signage, where relevant
 - ☒ Floor plan - showing the interior of buildings (area and use)
 - ☒ Elevation plan - showing dimensions of all structures, elevations of buildings, external appearance of buildings, height in relation to the boundary
- ☒ Application fee
- ☒ Other information, if any, required by the District Plan or the Act or Regulations (please specify other attachments).

7. Applicant declaration

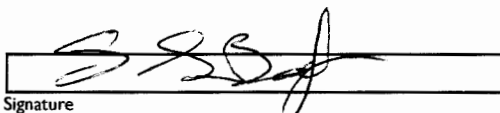
PRIVACY STATEMENT:

Information on this form is required to be provided under the Resource Management Act 1991 and is required to process your application. This information has to be made available to members of the public, including business organisations. In appropriate circumstances, it may also be made available to other units of the council, council's approved contractors and other government agencies. Under the Privacy Act 1993, you have the right to access the personal information held about you by the council and you can also request that the council correct any personal information it holds about you.

I understand that as the applicant, the council will send all invoices and refunds for fees to me, and all correspondence related to the application will be made to me.

I confirm that I have read and understood the Privacy Statement above and that the information provided on the application form is true and correct.

Signature



Date

21.2.08

Name (print clearly)

GREG BARCLAY



Barley Enterprises Ltd trading as:
Totalspan Taranaki
470 Devon Street West, New Plymouth.
Phone 0800 TOTALSPAN or (06) 751 4154. Fax (06) 751 4156.
Mobile 0274 484 306.

4.2.2008

NPDC
Private Bag
New Plymouth

Re : Resource Consent Application for Mr & Mrs Richard & Sue Dyson,

Lot 1 DP 365221. 274 Lower Weld Road, OAKURA

With reference to Rule Rur 17

To build a TOTALSPAN SHED (9M x 6M x 2.4M), **1.5 Metres** from the Southern boundry.

Assessment Criteria

- 1) The shed is to be constructed in Ironsand colour and will therefore blend into the surrounds. Also the shed will not protrude into any vei w paths.
- 2) The reduction is nessassary because it is the preferred location for the site.
- 3) The height, and size will not duly affect the adjacent site as the shed is sited well away from the existing residence on the affected adjacent lot.
- 4) The shed is in front of existing trees and therefore is not in the skyline of the affected property.
- 5) As above.
- 6) N/A

Please do not hesitate to contact me should you have any further queries.

Regards

A large, stylized handwritten signature in black ink, appearing to read "G Barley".

Greg Barley
Director
Totalspan Taranaki

A handwritten signature in blue ink, appearing to read "MDM".



SmartSteel Specifications

Prepared By: Greg or Jim, Taranaki, 06 7514154

Proposed For: Mr. & Mrs. Richard & Sue Dyson

Site Address: 274 Lower Weld Road

Reference: naki-1475

Date Drawn:	30/01/2008
Length:	8825
Width:	5900
Area:	52.068m ²
Stud Height:	2400
Wind Rating:	High
Bay Size:	3000
Cladding:	7 Rib Cladding Colour: TBC
Foundation:	Concrete Slab

Notes:

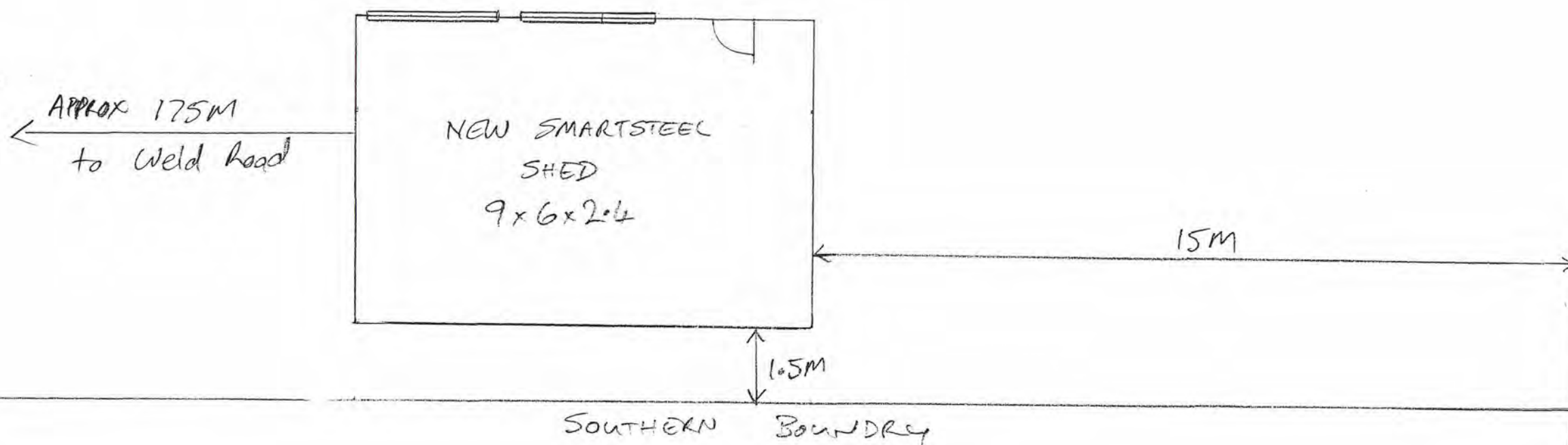
The design has been checked in accordance with B1/VM1, B1/VM4, NZS 4203, NZS 3101 and AS/NZS 4600 of the approved documents issued by the Building Industry Authority and the work is described on drawings prepared by Vermont Consultants, Civil & Structural Consulting Engineers.

Durability requirements for wall cladding detailed in Producer Statement-Durability.

This specification is to be read in conjunction with the attached SmartSteel Specification drawings and Producer Statement by Vermont Consultants, Civil & Structural Consulting Engineers.

Construction to comply with NZS 4203, NZS 3101 and AS/NZS 4600 and the New Zealand Building Code.

Handwritten signature and initials in blue ink, likely representing the author or reviewer of the document.



SITE DETAILS

LOT: 1
DP: 365221
CT:

Site m² =
Existing Building m² =
Proposed Building m² =
% of Building Coverage =



WHO CAN? TOTALSPAN!

HEAD OFFICE:
5A JACK CONWAY AVE
PH: (09) 261 2306
FAX: (09) 262 1535

BUILDING PROPOSED FOR:
RICHARD & SUE DYSON
274 LOWER WELD ROAD
OAKURA

RC 44435 Sheet 1

NOTES:

Copyright: These drawings must not be reproduced without express permission of Totalspan Buildings Ltd.

SITE PLAN

SCALE: 1:
DRAWN: FILE:

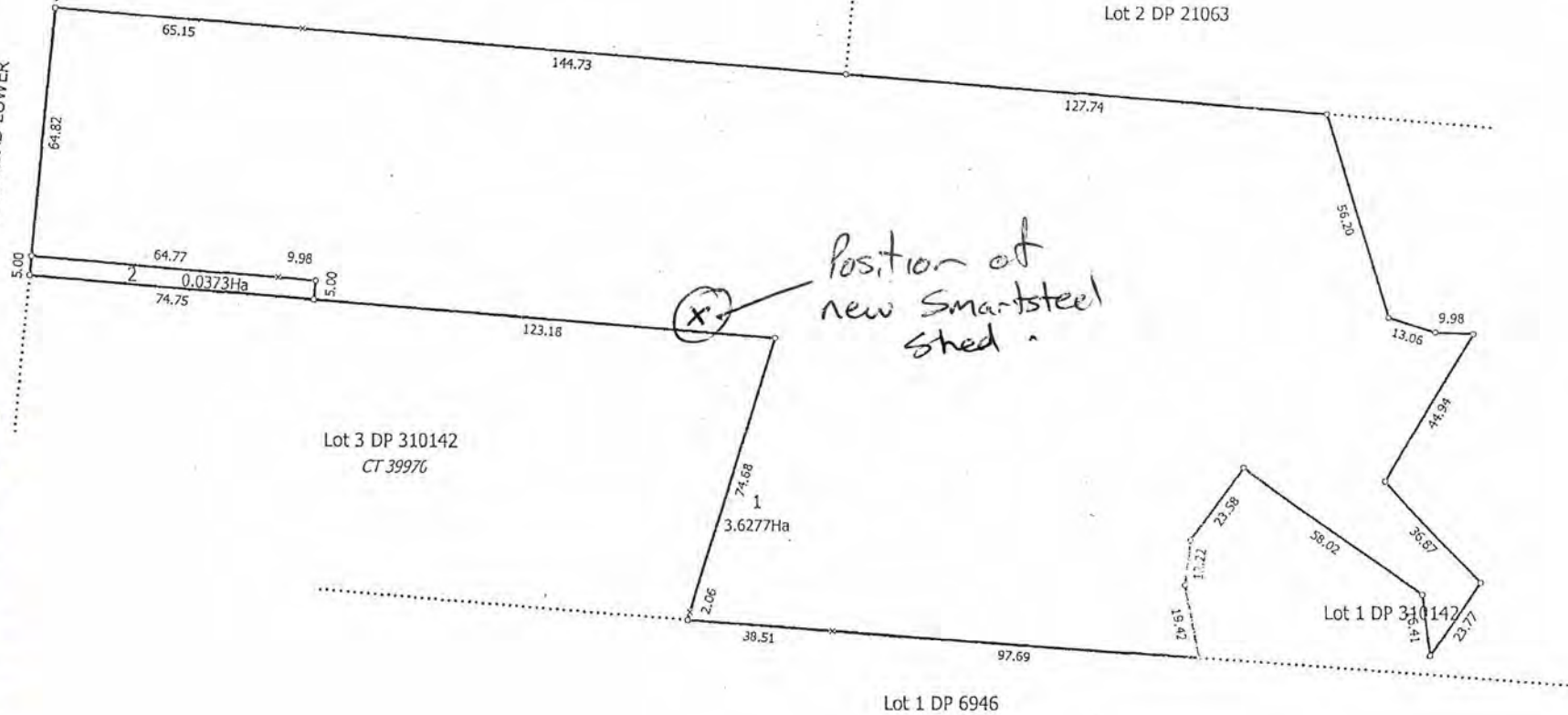
SHEET:
OF:



WELD ROAD LOWER

Lot 3 DP 7217

Lot 2 DP 21063



Position of
new Smartsteel
shed.

PC 44435 Sheet 2

T 1/2

Land District Taranaki

LOTS 1 AND 2 BEING A SUBDIVISION OF LOT 2 DP 310142

Surveyor: Allen Adrian Juffermans
Firm: Juffermans Surveying Ltd (New Plymouth)

Digital Title Plan
LT 365221

Digitally Generated Plan
Generated on: 20/01/2006 12:33am Page 3 of 4

Handwritten signature and date: 20.1.06

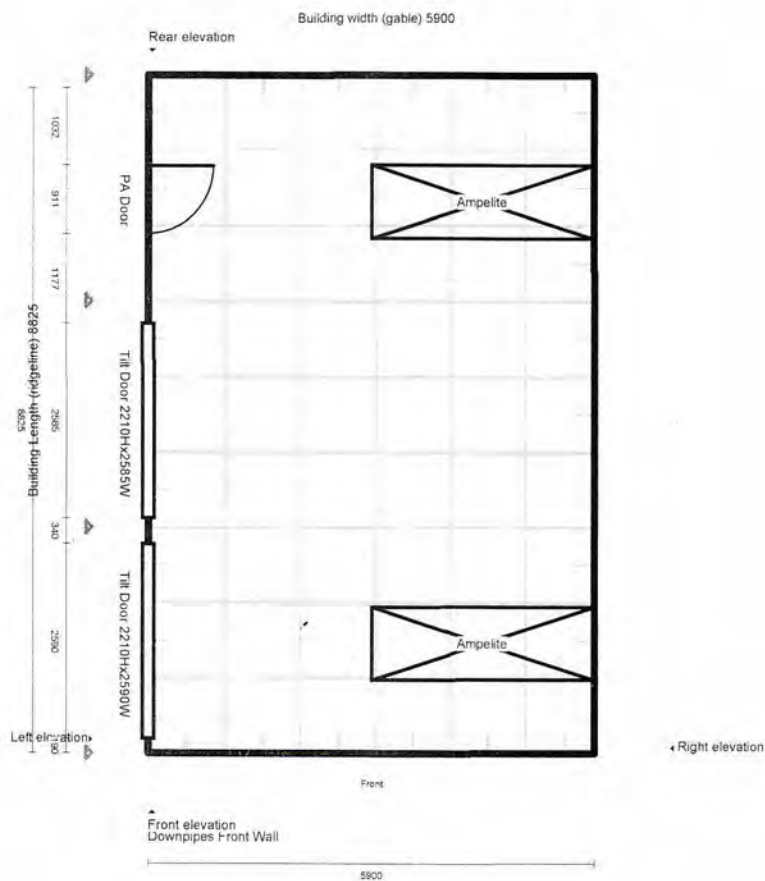
SmartSteel Floor Plan

Prepared By: Greg or Jim, Taranaki, 06 7514154

Proposed For: Mr. & Mrs. Richard & Sue Dyson

Site Address: 274 Lower Weld Road

Reference: naki-1475



RC 44435
Sheet 3

SmartSteel Elevations

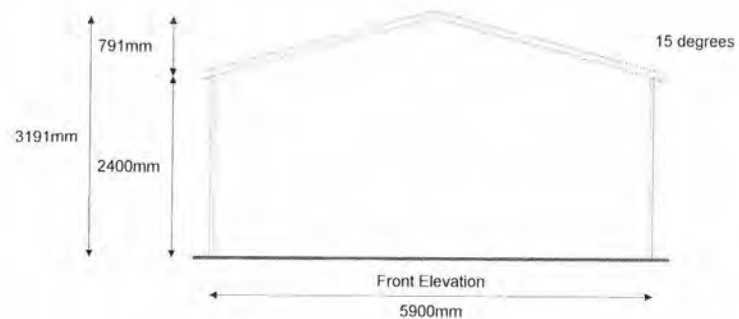
Prepared By: Greg or Jim, Taranaki, 06 7514154

Proposed For: Mr. & Mrs. Richard & Sue Dyson

Site Address: 274 Lower Weld Road

Reference: naki-1475

RC 44435
Sheet 4



SmartSteel Elevations

Prepared By: Greg or Jim, Taranaki, 06 7514154

Proposed For: Mr. & Mrs. Richard & Sue Dyson

Site Address: 274 Lower Weld Road

Reference: naki-1475



Rear Elevation

RC 44435
Sheet 5

SmartSteel Elevations

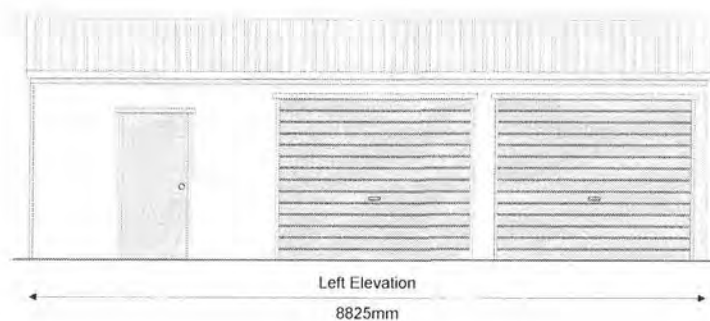
Prepared By: Greg or Jim, Taranaki, 06 7514154

Proposed For: Mr. & Mrs. Richard & Sue Dyson

Site Address: 274 Lower Weld Road

Reference: naki-1475

RC 44435
Sheet 6
1/1/24



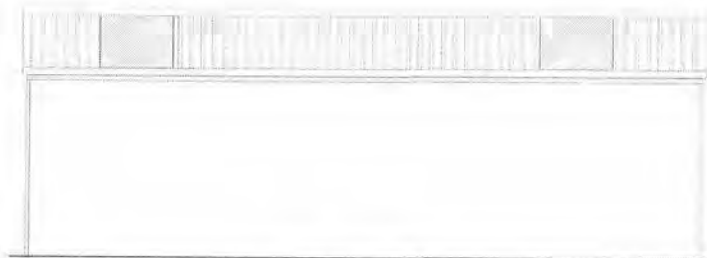
SmartSteel Elevations

Prepared By: Greg or Jim, Taranaki, 06 7514154

Proposed For: Mr. & Mrs. Richard & Sue Dyson

Site Address: 274 Lower Weld Road

Reference: naki-1475



Right Elevation

RC 44435
Sheet 7
MDH



LIM information divider



NPDC



When replying please quote: 839388 - LUC09/45024

LAND USE CONSENT LUC09/45024

Granted under sections 104 and 104C of the Resource Management Act 1991.

APPLICANT: Standard Timber Company

LOCATION: Weld Road Lower Okato 4652

LEGAL DESCRIPTION: LOT 1 DP 365221

CONSENTED ACTIVITY: General - Pole type storage shed to be 1.5m from side boundary rule not being met Rur17.

STATUS: Restricted discretionary/discretionary/non-complying activity

DISTRICT PLAN RULES:

DECISION:

The activity described above and in the application is granted under sections 104 and 104C of the Resource Management Act 1991. The following conditions are imposed under section 108 as they are considered necessary to promote the sustainable management of natural and physical resources subject to Part II of the Resource Management Act 1991.

These conditions must be complied with when exercising this Resource Consent:

1. The use and development of the land shall be as described within the application and shall be substantially in accordance with the plans endorsed RC 45024, Sheets S101 and S102.
2. The shed will be clad in natural dark coloured Coloursteel finish as described in RC 45024. This colour will be consistent with the existing shed located adjacent to the proposed shed.
3. The consent holders shall pay the council's costs of any monitoring that may be necessary to ensure compliance of the use with the condition specified.

The consent holders shall pay the council's costs of any monitoring that may be necessary to ensure compliance of the use with the conditions specified.

Type your comments in here.

NOTES:

The application for land use consent was considered in accordance with section 104 of the Resource Management Act 1991 and has been approved, as the Council is satisfied that the proposal is consistent with Part II of the Resource Management Act 1991 in that the adverse effects on the environment of the activity will be minor and that no persons will be adversely affected by the granting of the land use consent.

This land use consent lapses on 15th of September 2013 unless the consent is given effect to before that date; or unless an application is made before the expiry of that date for the Council to grant an extension of time for establishment of the use. An application for an extension of time will be subject to the provisions of section 125 of the Resource Management Act 1991.

This consent is subject to the right of objection as set out in section 357 of the Resource Management Act 1991.

Delegated Officer:

A handwritten signature in black ink, appearing to read 'Ralph Broad', written over a horizontal line.

Ralph Broad
MANAGER CONSENTS

DATED: 15 September 2009



1. Property details

- 1a. Site Address
(Specify unit / level number,
location of building within site
/ block number, building name
and street name)

274 LOWER WELD ROAD
RD 4 NEW PLYMOUTH 4374

- 1b. Current lawfully
established use

LIFESTYLE BLOCK

- 1c. Legal Description

DP 365221

- 1d. Rapid Number

274

2. Property owner details

- 2a. Name

RICHARD & SUSAN DYSON

- 2b. Contact person
(If owner is a corporation,
partnership or trust)

- 2c. Postal address

274 LOWER WELD ROAD
RD 4 NEW PLYMOUTH 4374

- 2d. Contact details

(06) 752 7080 ()

Phone

Mobile

Fax

- 2e. Email

DYSONRS@XTRA.CO.NZ

3. Description of project

- 3a. Detailed description
of the development/
project

POLE TYPE STORAGE SHED

- 3b. Will business activities
take place when
building is completed?

☐ Yes

☒ No



This form must be submitted with a completed Application Cover Page Form.

Fill this form out with the assistance of the Land Use Resource Consent Guide - numbers on this form relate to explanatory notes in the guide.

1. Applicant details

1a. I am the

☐

Property owner
Proceed to 1b

☐

Lessee
Provide details below

☒

Agent
Authorised by owner / lessee
Provide details below

Name

STANDARD TIMBER CO.

Postal address

P.O. Box 31, STRATFORD 4352

Contact numbers

(06) 765 7860

Phone

(027) 290 1001

Mobile

(06) 765 7885

Fax

Email

John@standardtimber.co.nz

1b. Preferred means
for formal
correspondence

☒

Mail

☒

Email

☒

Fax

2. Occupier details - if occupier is not the applicant

2a. Name

RICHARD DYSON

Postal address

274 WIL WELD ROAD RD 4
NEW PLYMOUTH 4374

3. Detailed description of activity

CONSTRUCTION OF SHED CLOSER THAN THE
ALLOWABLE 5.0m SIDE BOUNDARY
- POLY TYRE STORAGE SHED, OPEN FRONT, SINGLE PITCH
54m²

Continue on separate sheet if necessary

Proposed start date

AS SOON AS CONSENT ISSUED

4. Identify District Plan rules not being met

RULE 17 - Minimum setback from Boundary for any building
located on a site of 4,000m² or greater - 5m.

reducing to 1.5m setback

Please turn over

SEP 2009

OFFICE USE ONLY

SEP 2009

Received by TOM KROUCH

Property ID 97436

File reference RG-02-12-03

Document # 833020

Land ID 101770

Application # LUC09145024

Receipt # 76733

Amount paid \$847.00

5. Additional resource consents related to this application

	Resource consent yet to be applied for	Resource consent already applied for
Subdivision consent (NPDC)	☐	☐
Coastal permit (TRC)	☐	☐
Water permit (TRC)	☐	☐
Discharge permit (TRC)	☐	☐

6. Documents required to be attached to this application

- ☒ Assessment of Environmental Effects (AEE) as prescribed under the Fourth Schedule of the Act
- ☒ Written Approvals from Affected Parties
- ☒ One copy of plans and drawings, drawn to an approved scale (no larger than A3)
 - ☒ Site plan - showing all property boundaries, north arrow, existing and proposed buildings, vegetation, ground contours (show fill and excavation), landscaping, car parking and manoeuvring spaces, access points and signage, where relevant
 - ☒ Floor plan - showing the interior of buildings (area and use)
 - ☒ Elevation plan - showing dimensions of all structures, elevations of buildings, external appearance of buildings, height in relation to the boundary
- ☐ Application fee - When the cost of processing the application exceeds the amount that you have paid, the Council may charge you for additional fees before or at the time the decision on your application is issued.
- ☐ Other information, if any, required by the District Plan or the Act or Regulations (please specify other attachments).

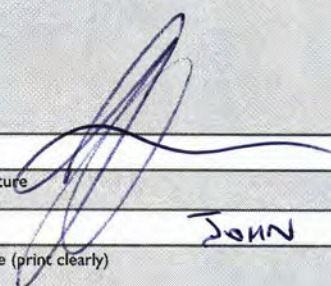
7. Applicant declaration

PRIVACY STATEMENT:

Information on this form is required to be provided under the Resource Management Act 1991 and is required to process your application. This information including your personal information, has to be made available to the members of the public and media including business organisations upon request. In appropriate circumstances, it may also be made available to other units of the council, Council's approved contractors and other government agencies. Under the Privacy Act 1993, you have the right to access the personal information held about you by the council and you can also request that the council correct any personal information it holds about you.

I understand that as the applicant, the council will send all invoices and refunds for fees to me, and all correspondence related to the application will be made to me.

I confirm that I have read and understood the Privacy Statement above and that the information provided on the application form is true and correct.

Signature  Date 11/08/09

Name (print clearly) JOHN BRIGGS

STANDARD TIMBER CO. LTD



103 Broadway North
PO Box 31
Stratford 4352
Phone 06 765 7800
Fax 06 765 7885

Email mike@standardtimberitm.co.nz
www.standardtimberitm.co.nz

11.08.2009

New Plymouth District Council
Private Bag 2025
New Plymouth

Attn: Resource Consents Dept.

**Ref: Application for Resource Consent for Richard Dyson
274 Lwr. Weld Road, New Plymouth.**

Dear Sir /Madam,

Assessment Criteria as required for the above property to proceed with the building of a pole type building set back 15metres from the side boundary.

Placement of this building affects Rule 17 of the Rural Environment Area.

All aspects of the Assessment Criteria are met as follows:

There are no adverse effects to adjoining sites for this building work. Firstly, the building is to be clad in a natural looking dark, coloured Coloursteel finish and is not excessively high (3.6m at the highest point, 3.2m at the boundary). It does not in any way effect the existing ridge line, so does not affect the overall visual aspect of the landscape. The building is placed along side an existing building so as to effectively use available land and to keep a tidy apperance (Hence the need to be closer to the boundary than usual).

All affected adjoining sites have signed plans, site plans and affected party forms to confirm their acceptance of the proposed building.

There are no windows on the Boundary, so does not affect the neighbours privacy.

At this stage the neighbouring property is paddock only, and the nearest building is some 90m away, to the west of the affected area.

I hope this addresses all of your questions and meets the required criteria to proceed with the proposed building.

If you have any further concerns, please do not hesitate to get in touch.

Thanks for your time

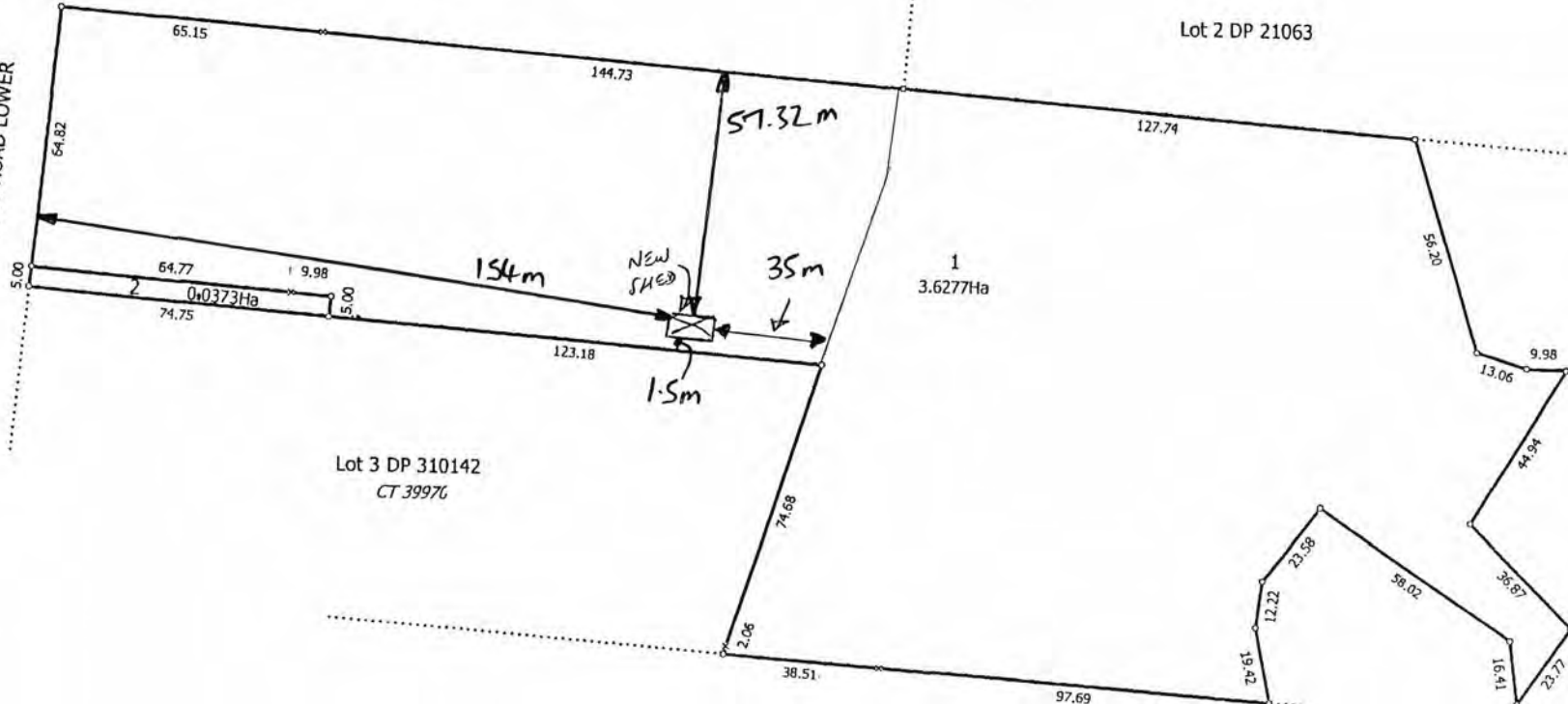

John Briggs
Assistant Manager
Standard Timber



WELD ROAD LOWER

Lot 3 DP 7217

Lot 2 DP 21063



Lot 3 DP 310142
CT 39976

Lot 1 DP 310142

Lot 1 DP 6946

Standard Timber Co. Ltd.
103 Broadway North
P.O. Box 31
Ph. (06) 765-7800 Fax (06) 765-7885
STRATFORD 4352

FOR: RICHARD & SUSAN DYSON
274 LWA WELD ROAD
RD 4
NEW PLYMOUTH.

Handwritten signature: M. J. J. J.

Land District: Taranaki

LOTS 1 AND 2 BEING A SUBDIVISION OF LOT 2 DP 310142

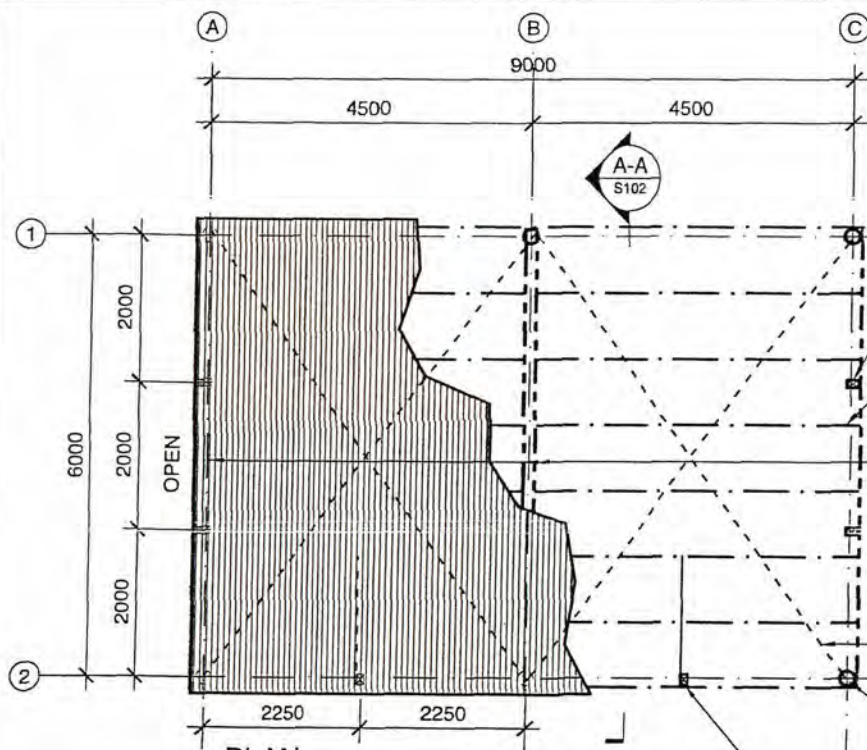
T 1/2

Digitally Generated Plan
Generated on: 28/02/2006 10:59am Page 3 of 4

Surveyor: Allen Adrien Juffermans
Firm: Juffermans Surveying Ltd (New Plym)

Digital Title Plan
DP 365221

Deposited on: 02/02/2006



PLAN
1:100

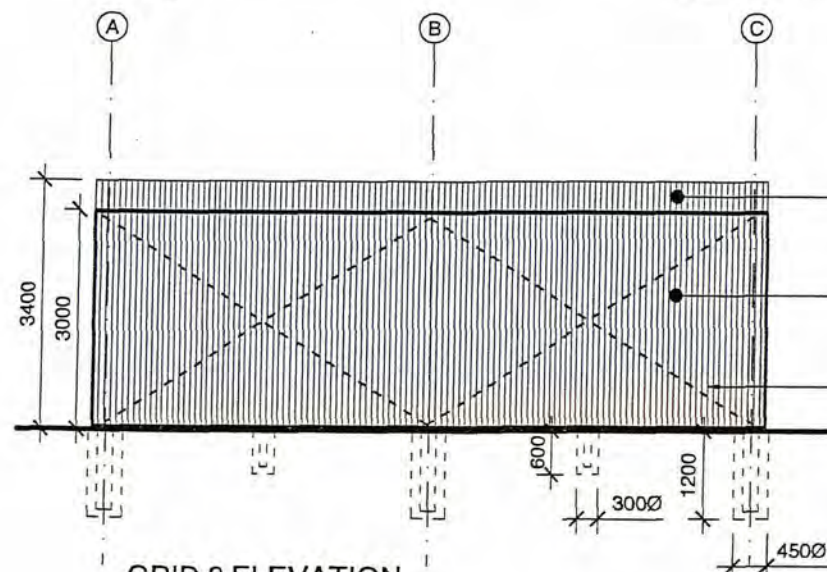
150x100 H5 studs
200x50 RS G8 purlins @ 900 crs max. cut between rafters, fix ends with proprietary joist hangers

Rafters:
GRID A - 250x50 RS G8 barge rafter
GRID B - 2/300x50 RS G8 internal rafters
GRID C - 250x50 RS G8 barge rafter

1/25x1 strap bracing 6 nails / end
2 nails / purlin crossing

200Ø SED H5 treated pole

150x50 solid blocking @
studs between purlins



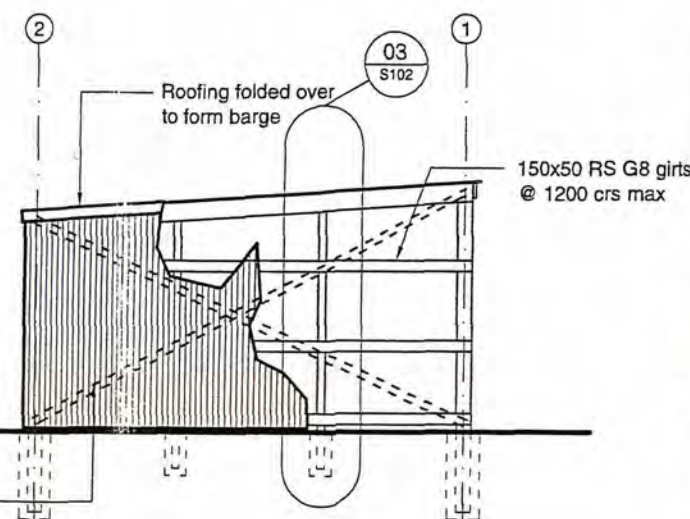
GRID 2 ELEVATION
1:100

Zinc corrugated
roof cladding

Zinc corrugated
wall cladding

1/25x1 strap bracing 6 nails / end
2 nails / girt crossing

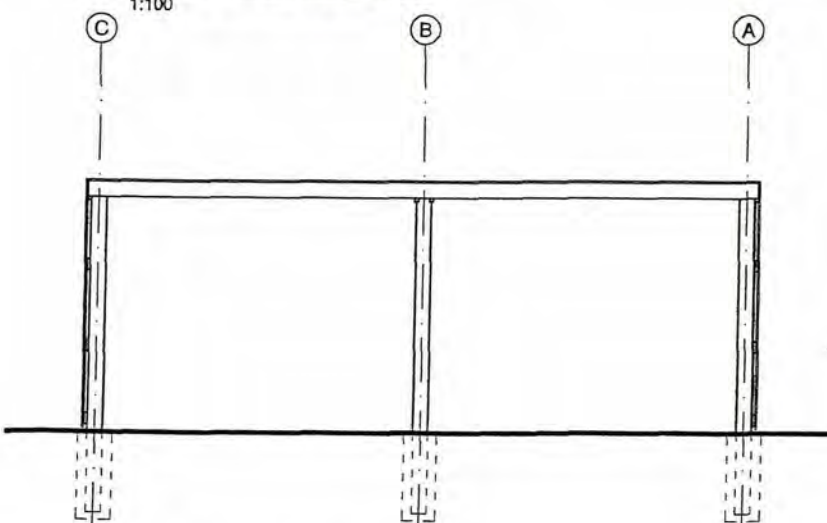
2/25x1 strap bracing 6 nails / end
2 nails / girt crossing



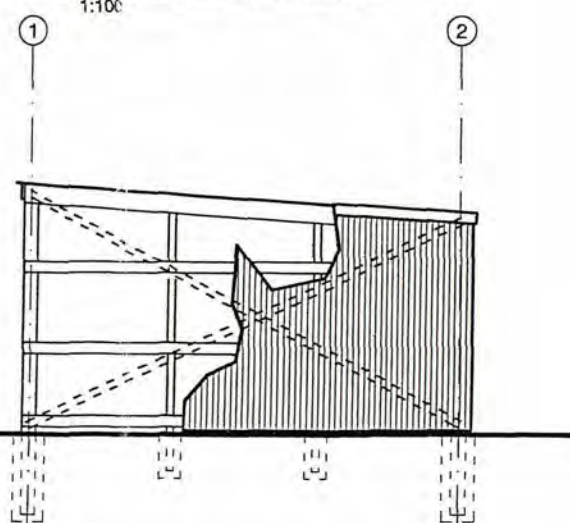
GRID C ELEVATION
1:100

150x50 RS G8 girts
@ 1200 crs max

Roofing folded over
to form barge



GRID 1 ELEVATION
1:100



GRID A ELEVATION
1:100

Design Codes

Loadings

AS / NZS 1170

Timber

NZS 3603 A4

Live

0.25kpa / 1.1 kN pt

Wind

Region A7

Importance level 1

Mzcat = 0.91

Md = Ms = Mt = 1.0

le unshielded, outside lee zone and not
adjoining ridge or escarpment

Snow

Altitude below 500m NA

Seismic

Not Critical

Refer designs for Hill / Escarpment or
Lee Zones to design engineer.
Lee Zones extend 30Km to
leeward crest of initiating range
Hill/Escarpment

AS / NZS 1170 WIND REGIONS

Refer designs for Hill / Escarpment or
Lee Zones to design engineer.
Lee Zones extend 30Km to
leeward crest of initiating range
Hill/Escarpment

AS / NZS 1170 WIND REGIONS

Refer designs for Hill / Escarpment or
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leeward crest of initiating range
Hill/Escarpment

AS / NZS 1170 WIND REGIONS

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Hill/Escarpment

AS / NZS 1170 WIND REGIONS

Refer designs for Hill / Escarpment or
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leeward crest of initiating range
Hill/Escarpment

AS / NZS 1170 WIND REGIONS

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AS / NZS 1170 WIND REGIONS

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AS / NZS 1170 WIND REGIONS

Refer designs for Hill / Escarpment or
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Lee Zones extend 30Km to
leeward crest of initiating range
Hill/Escarpment

AS / NZS 1170 WIND REGIONS

Refer designs for Hill / Escarpment or
Lee Zones to design engineer.
Lee Zones extend 30Km to
leeward crest of initiating range
Hill/Escarpment

AS / NZS 1170 WIND REGIONS

Refer designs for Hill / Escarpment or
Lee Zones to design engineer.
Lee Zones extend 30Km to
leeward crest of initiating range
Hill/Escarpment

AS / NZS 1170 WIND REGIONS

Refer designs for Hill / Escarpment or
Lee Zones to design engineer.
Lee Zones extend 30Km to
leeward crest of initiating range
Hill/Escarpment

AS / NZS 1170 WIND REGIONS

Refer designs for Hill / Escarpment or
Lee Zones to design engineer.
Lee Zones extend 30Km to
leeward crest of initiating range
Hill/Escarpment

AS / NZS 1170 WIND REGIONS

Refer designs for Hill / Escarpment or
Lee Zones to design engineer.
Lee Zones extend 30Km to
leeward crest of initiating range
Hill/Escarpment

AS / NZS 1170 WIND REGIONS

Refer designs for Hill / Escarpment or
Lee Zones to design engineer.
Lee Zones extend 30Km to
leeward crest of initiating range
Hill/Escarpment

AS / NZS 1170 WIND REGIONS

Refer designs for Hill / Escarpment or
Lee Zones to design engineer.
Lee Zones extend 30Km to
leeward crest of initiating range
Hill/Escarpment

AS / NZS 1170 WIND REGIONS

Refer designs for Hill / Escarpment or
Lee Zones to design engineer.
Lee Zones extend 30Km to
leeward crest of initiating range
Hill/Escarpment

AS / NZS 1170 WIND REGIONS

Refer designs for Hill / Escarpment or
Lee Zones to design engineer.
Lee Zones extend 30Km to
leeward crest of initiating range
Hill/Escarpment

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AS / NZS 1170 WIND REGIONS

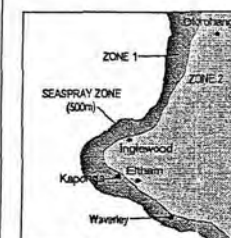
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Hill/Escarpment

AS / NZS 1170 WIND REGIONS

FIXINGS DURABILITY (Refer NZBC/B2/AS1)



MAP PER
NZS 3604-1999
FIGURE 4.1

Materials Specification

Cladding

0.4mm steel (profile and finish by client spec)

Framing Timber

G8, r/sawn H3.1 treated u.n.o
poles 200 SED H5 NZS 3605:2001

Concrete

17.5 Mpa Ordinary grade

Fixings

M12 galv (390g/m²) coach bolts UNO

Nails All Hot dip galv unless s/steel

Framing 100/125x3.5

Strap Brace LL 30x3.15 6/end

Multi brace LL 30x3.15 10/end

(2 per girt crossing)

Ply braces/ splice 40x2.8 FH

Durability

Additional corrosion treatment

Maintenance, 5yrly liberal coat and inspection of

"CRC Soft seal" or

heavy duty grease in following exposure zones

Bolts/nuts/washers

Sea spray both sheltered and exposed

Zones 1&2 exposed only

Nail Plates and Joist Hangers

All galv to 275g/m²

Sea spray both sheltered and exposed

Zones 1&2 both sheltered and exposed

Strap Brace

Treat the lower 500mm of brace all zones

Nails

No additional protection DONOT grease.

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NOTES:

1. CONTRACTOR MUST VERIFY ALL DIMENSIONS
ON SITE BEFORE COMMENCING ANY WORK OR
PREPARING ANY SHOP DRAWINGS.

2. THE ADEQUACY OF THE DESIGN
INCORPORATED ON THESE PLANS IS SUBJECT
TO THE REQUIREMENTS INCLUDED IN THE
SPECIFICATION FOR THE WORKS AND THE
DESIGN ASSUMPTIONS INCORPORATED INTO
THE CALCULATIONS AND REPORTS FOR THE
PROJECT.

AS / NZS 1170 WIND REGIONS

Rev	Date	For	By
A	14.04.09	FOR CONSENT	EP
1		Amendment	



Project
6m x 9m
OPEN FRONT
SINGLE PITCH SHED

Client
STANDARD TIMBER Co. LTD

Sheet Contents
PLAN & ELEVATIONS

Scale
Drawn EP 04.09
Design JC 04.09
Check

Project No.
7399

Sheet
S101
Revision
A

Chapman Oulsnam Speirs Limited
architects + engineers

42 Egmont Street, P.O. Box 565, New Plymouth P 6-758 7273 F 6-758 6307

cosl.co.nz

ORIGINAL SIZE = A3

IF IN DOUBT ASK

CHECK ALL DIMENSIONS

DO NOT SCALE

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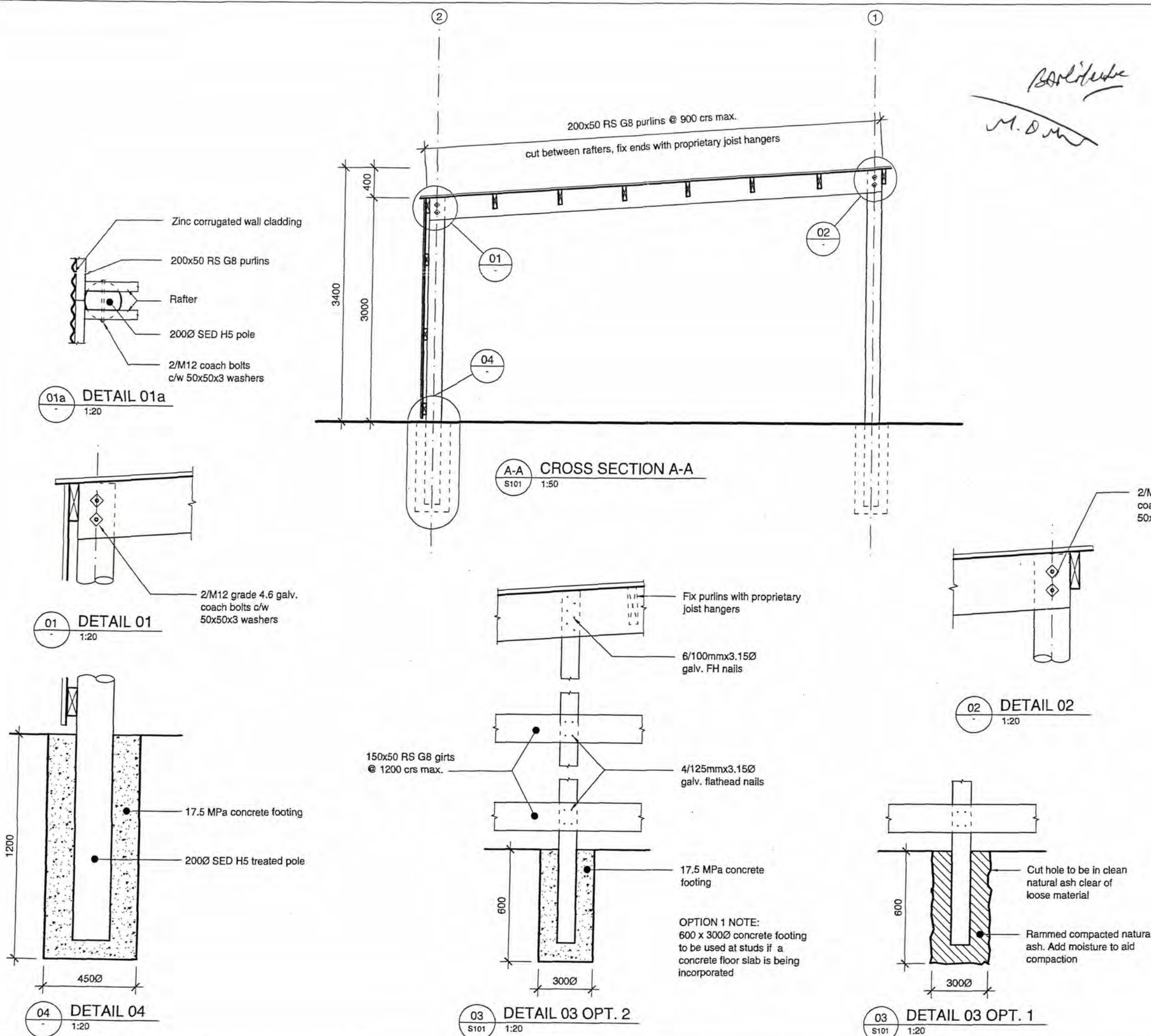
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ORIGINAL SIZE = A3

IF IN DOUBT ASK

CHECK ALL DIMENSIONS

DO NOT SCALE



Iss.	Date	Amendment	By
A	14.04.09	FOR CONSENT	EP



Project
6m x 9m
OPEN FRONT
SINGLE PITCH SHED

Client
STANDARD TIMBER Co. LTD

Sheet Contents
CROSS SECTION A-A
& DETAILS

Scale	1:50	1:20
Drawn	EP	04.09
Design	JC	04.09
Check		

Project No.
7399

Sheet
S102

Revision
A

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architects + engineers

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LIM information divider



NPDC

LEGEND

Zones

- Low Density Residential Zone
- General Residential Zone
- Medium Density Residential Zone
- Rural Production Zone
- Rural Lifestyle Zone
- Local Centre Zone
- Large Format Retail Zone
- Mixed Use Zone
- Commercial Zone
- Town Centre Zone
- City Centre Zone
- General Industrial Zone
- Natural Open Space Zone
- Open Space Zone
- Sport And Active Recreation Zone
- Special Purpose - Airport Zone
- Special Purpose - Future Urban Zone
- Special Purpose - Hospital Zone
- Special Purpose - Māori Purpose Zone
- Special Purpose - Port Zone
- Special Purpose - Major Facility Zone

Precincts

- Precinct

Development Areas

- Development Area

Designations

- Designation

Viewshaft Overlays

- Viewshaft

Non-District Plan Layers

- Stormwater Flooding Area (Non-District Plan Layer)
- Parcel
- Highway

Public Access Corridor - Legal Public Access - Rural Production Zone

- Actual Legal Access
- Indicative Public Access (no current legal access)

Natural Hazards and Risks Overlays

- Coastal Flooding Hazard Area
- Coastal Erosion Hazard Area
- Flood Detention Area/Spillway
- Flood Plain
- Fault Hazard Area
- Volcanic Hazard Area
- Risk Management Contour

Historic and Cultural Values Overlays

- Heritage Building or Item
- Heritage Building Or Item Extent
- Heritage Character Area
- Archaeological Site
- Archaeological Site Extent
- Notable Tree
- Notable Tree Group
- Entrance Corridor

Site of Significance to Māori

- Site of Significance to Māori
- Site of Significance to Māori (Silent File)
- Site of Significance to Māori Extent
- 50m/200m SASM/AS

Natural Environments Overlays

- Significant Natural Area
- Outstanding Natural Feature and Landscape
- Outstanding Natural Character
- Public Access Corridor

General District-Wide Matters Overlays

- Noise Control Boundary
- Coastal Environment
- Waterbody - River
- Waterbody - Lake
- Waterbody Catchment Control
- Rail Corridor Vibration Alert Area
- Rail Corridor Noise Alert Area

Energy Infrastructure and Transport

- Airport Flight Path Surface
- Gas Transmission Pipeline
- Gas Transmission Pipeline Corridor
- Gas Transmission Station Corridor
- National Grid
- National Grid Subdivision Corridor
- National Grid Substation Corridor
- Railway Corridor

Roading Hierarchy

- State Highway
- State Highway - Limited Access
- Arterial Road
- Collector Road
- Local Road
- Pathway Connection

Indicative Road Transport Network

- Arterial Road
- Collector Road
- Local Road
- Pathway Connection

Specific Controls

- Coastal Frontage Site
- Contributory Building
- Goat Control Area
- Defined Pedestrian Frontage
- Specific Control Area

Height Management Area

- Area A
- Area B
- Area C
- Area D
- Area E
- Area F

Appeals

- Appeal

Note:

This symbol will display on the planning map where there is both a Site of Significance to Māori and an Archaeological Site symbol that occur simultaneously in the same location.

Planning Snapshot - New Plymouth Part Operative District Plan - Part Operative

16/10/2025



Te Kaunihera-ā-Rohe o Ngāmotu

New Plymouth District Council

274 Weld Road Lower, TATARAIMAKA, NEW PLYMOUTH



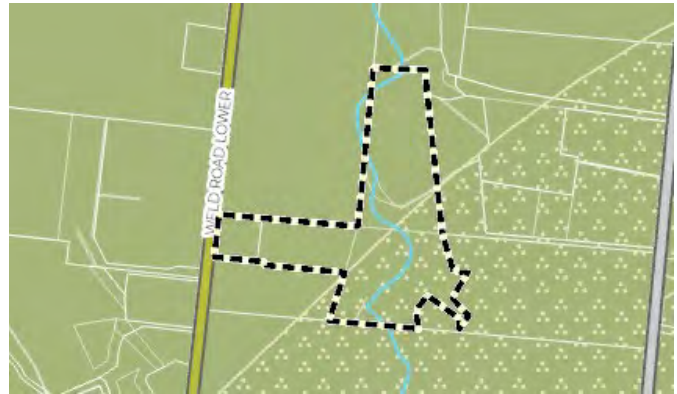
Property ID 110952

Legal Desc Lot 2 DP 457540

Aerial View Map



District Plan Zoning



For more information, visit <https://www.npdc.govt.nz/>

Part Operative District Plan

Rural Production Zone



Waterbody - River



Name: Whenuariki Stream

Schedule 9: No

Roading Hierarchy

Name: Weld Road Lower

Type: Local Road



Goat Control Area



Disclaimer:

Welcome to the New Plymouth District ePlan Disclaimer

New Plymouth District Council (Council) has made every reasonable effort to provide complete, accurate and up-to-date information in the ePlan. However, there may be errors and omissions. The Council does not warrant or guarantee:

- that the information is complete and accurate;
- that the information extracted when conducting a property search comprises all relevant information for the property;
- that the planning map information gives the exact location or size of features when viewed on the ground. Please note that the visibility of spatial layers on the map is scale dependent and that not all layers are visible by default.

Property

Rates 2025/26

Property ID: 110952

Area (ha): 6.1126

Capital Value: 2130000

Land Value: 960000

Annual Rates: 5568.26

The Council does not accept any responsibility or liability for any loss or damage (either direct or indirect) arising from the use or misuse of any of the information in the ePlan, or from any action or decision taken as a result of using the ePlan.

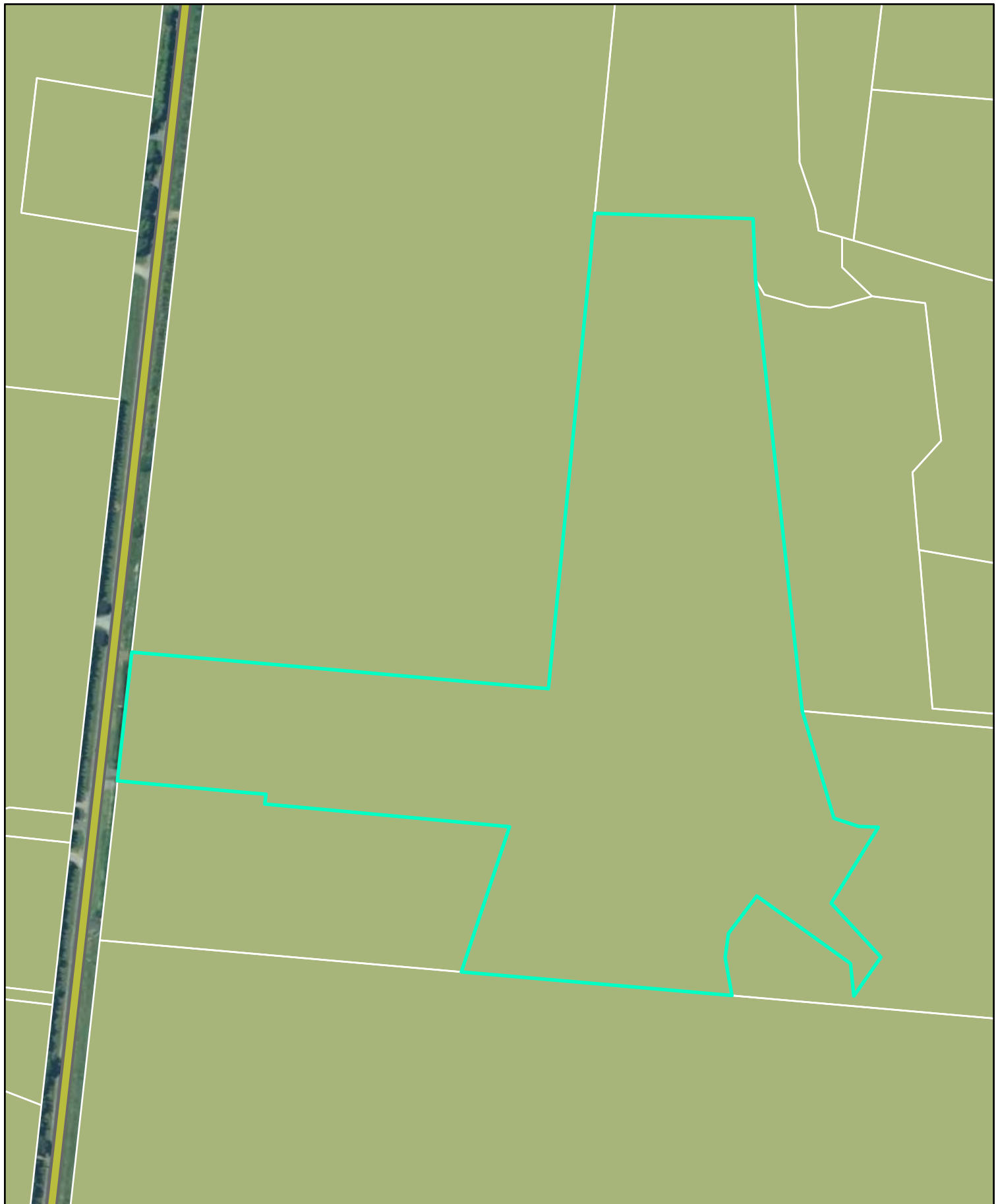
In addition to the information in the ePlan, the Council recommends users read the ePlan in full; seek professional planning or legal advice; request a LIM and/or talk to a Council planner.

Content within the ePlan is subject to change through the District Plan review process, plan changes and/or implementing national direction.

Plan Status - Part Operative

The Proposed District Plan became the Part Operative District Plan (**PODP**) on 29 August 2025. This means that almost all provisions (objectives, policies and rules) are beyond challenge and considered operative. Only a small number of appeals affecting a small number of properties are left to resolve. Provisions that are subject to appeal are identified and annotated with a red border and a red exclamation icon on the right-hand side. Mapped features subject to appeal are identified on the planning map with a red polygon. Rules that are not subject to an appeal are treated as operative (and any previous rule as inoperative) in accordance with section 86F of the Resource Management Act 1991.

Please note that the provisions identified and annotated as subject to appeal have been derived from the appeals that were filed and Council's current understanding of the scope of relief sought. The annotations reflect the position as at 29 August 2025. The provisions that are subject to appeal and consequential amendments are continually changing as the appeals progress and as each appeal is withdrawn, resolved or determined. The PODP is therefore a 'living' document, which is intended to assist plan users. Council is not and will not be held responsible or liable for any misrepresentation, incompleteness, or inaccuracies associated with the annotated PODP. Updates to the PODP will be published to this ePlan, as and when is appropriate. Information on how the progress of appeals can be found on the appeals page of our website.



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Roading Hierarchy

- State Highway
- State Highway - Limited Access
- Arterial Road
- Collector Road
- Local Road
- Pathway Connection

Zone

- Low Density Residential Zone
- General Residential Zone
- Medium Density Residential Zone
- Rural Production Zone
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Te Kaunihera-ā-Rohe o Ngāmotu

New Plymouth District Council

Part Operative District Plan Zone and Roding Hierarchy 29 August 2025

274 Weld Road Lower, TATARAIMAKA, NEW PLYMOUTH

Created: 17/10/2025

For more details, please refer to the New Plymouth District Council's [District Plan website](#).



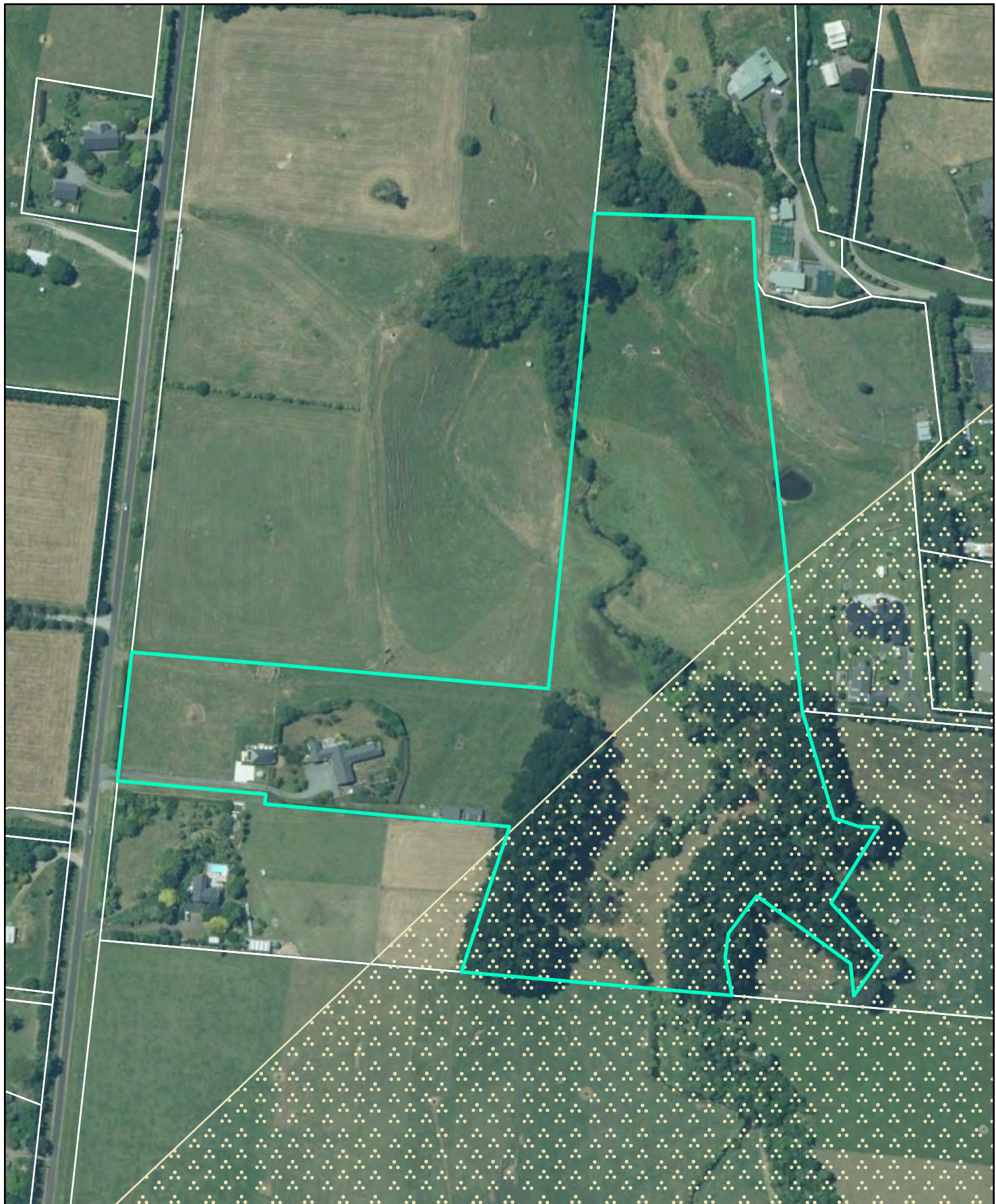
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-  Coastal Frontage Site
-  Contributory Building
-  Goat Control Area

-  Defined Pedestrian Frontage
-  Specific Control Area

Height Management Area

-  Area A
-  Area B
-  Area C
-  Area D
-  Area E
-  Area F



Te Kaunihera-ā-Rohe o Ngāmotu
New Plymouth District Council

Part Operative District Plan Specific Controls
29 August 2025
 274 Weld Road Lower, TATARAIMAKA, NEW PLYMOUTH

Created: 17/10/2025
 For more details, please refer to the
 New Plymouth District Council's
[District Plan website.](#)



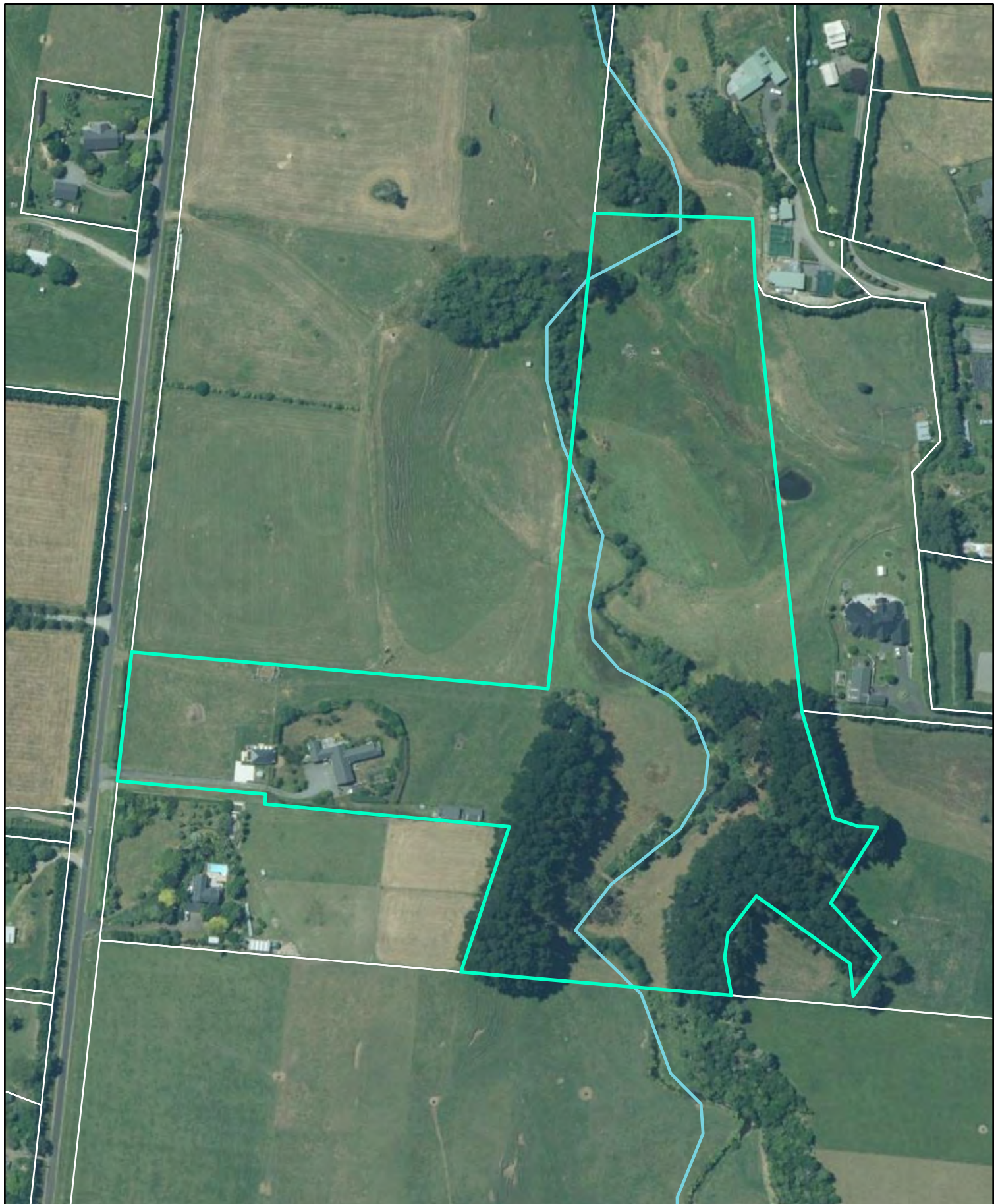
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Coastal Environment



Waterbody - River



Rail Corridor Vibration Alert Area



Waterbody - Lake



Noise Control Boundary



Rail Corridor Noise Alert Area



Waterbody Catchment Control



Te Kaunihera-ā-Rohe o Ngāmotu
New Plymouth District Council

Part Operative DP General District Wide Matters Overlays
29 August 2025

274 Weld Road Lower, TATARAIMAKA, NEW PLYMOUTH

Created: 17/10/2025

For more details, please refer to the New Plymouth District Council's [District Plan website](#).



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NPDC



**RECORD OF TITLE
UNDER LAND TRANSFER ACT 2017
FREEHOLD
Search Copy**




R.W. Muir
Registrar-General
of Land

Identifier **593391**
Land Registration District **Taranaki**
Date Issued 18 January 2013

Prior References

264515 TNL3/228

Estate Fee Simple
Area 6.1126 hectares more or less
Legal Description Lot 2 Deposited Plan 457540

Registered Owners

Caroline Ann Silk, James Douglas Silk and J & C Silk Trustees Limited

Interests

Subject to a right to convey water over part marked C on DP 457540 specified in Easement Certificate 482312.3 - 17.9.2001 at 11.45 am

Subject to a right to convey water over part marked D on DP 457540 created by Transfer 6737819.3 - 2.2.2006 at 9:00 am

Land Covenant in Easement Instrument 6737819.4 - 2.2.2006 at 9:00 am (affects part formerly Lot 1 DP 365221)

9238281.3 Consent Notice pursuant to Section 221 Resource Management Act 1991 - 18.1.2013 at 11:38 am

