

Sharalyn Fraser *Agency*

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Code Compliance Certificate

Section 43(3), Building Act 1991

Application

MR P WHEELER	No.	980164
3 STELLA COURT	Issue date	23/03/99
PARAPARAUMU BEACH	Overseer	Don Blaikie

Project

Description	ALTERATIONS, REPAIRS or EXTENSIONS BEING STAGE 1 OF AN INTENDED 1 STAGES NEW GARDEN SHED
Intended Life	INDEFINITE, BUT NOT LESS THAN 50 YEARS
Intended Use	STORAGE
Estimated Value	\$3,500
Location	3 STELLA COURT, PARAPARAUMU
Legal Description	LOT 2 DP 81173
Valuation No.	1526052702

This is a final Code Compliance Certificate issued in respect of all the building work under the above building consent.

Signed for and on behalf of the Kapiti Coast District Council:

Name:

Date: 23.3.99



Code Compliance Certificate

Section 43(3), Building Act 1991

Application

K J & P G MORGAN
167 MAZENGARB ROAD

No. 970043
Issue date 27/08/97

PARAPARAUMU BEACH

Overseer Don Blaikie

Project

Description	NEW CONSTRUCTION BEING STAGE 1 OF AN INTENDED 1 STAGES NEW DWELLING
Intended Life	INDEFINITE, BUT NOT LESS THAN 50 YEARS
Intended Use	RESIDENTIAL
Estimated Value	\$120,000
Location	3 STELLA COURT PARAPARAUMU BEACH
Legal Description	LOT 2 DP 81173
Valuation No.	1526052600

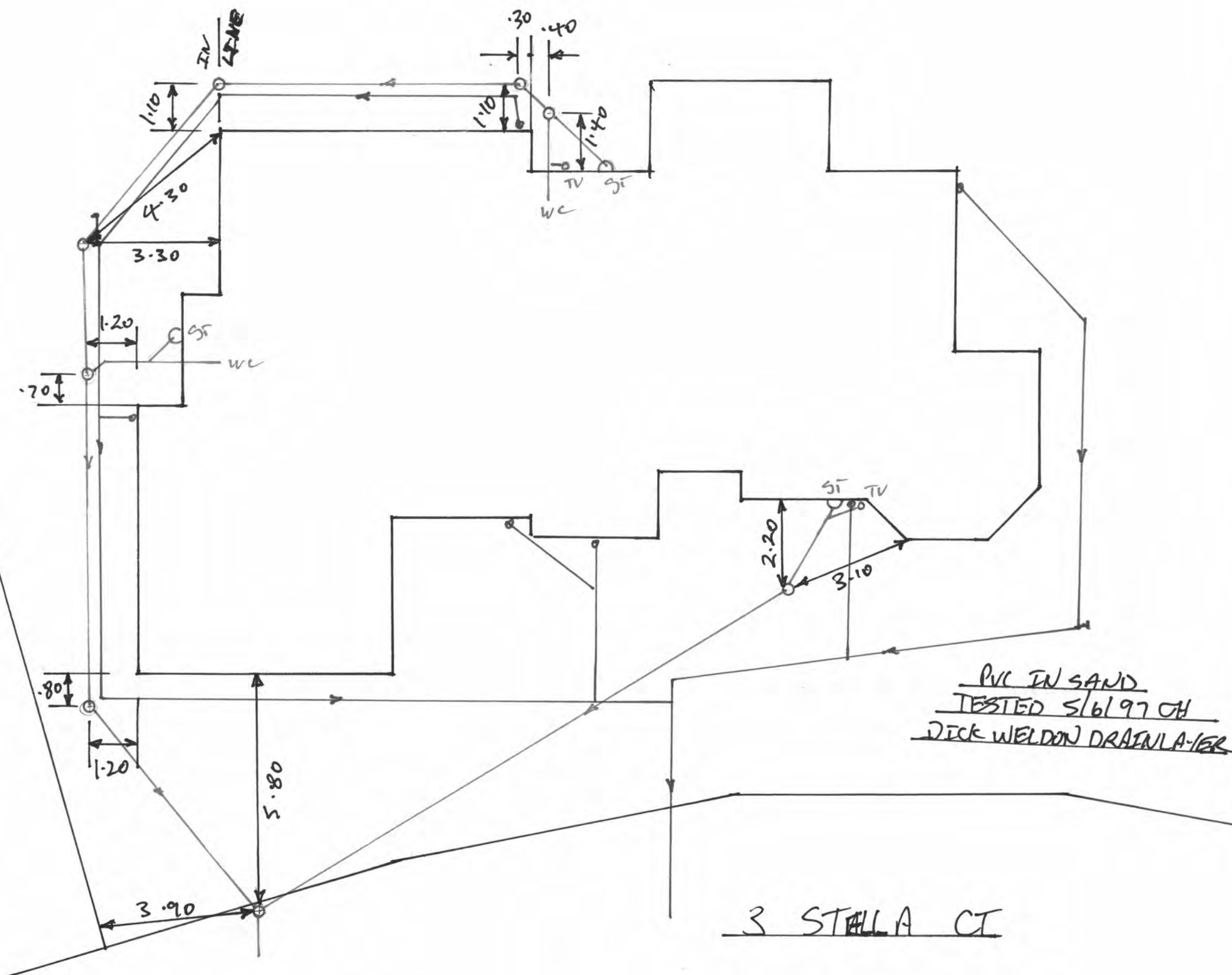
The Council's total charges paid on the uplifting of this Code Compliance Certificate in accordance with the following details are \$ 0.00.

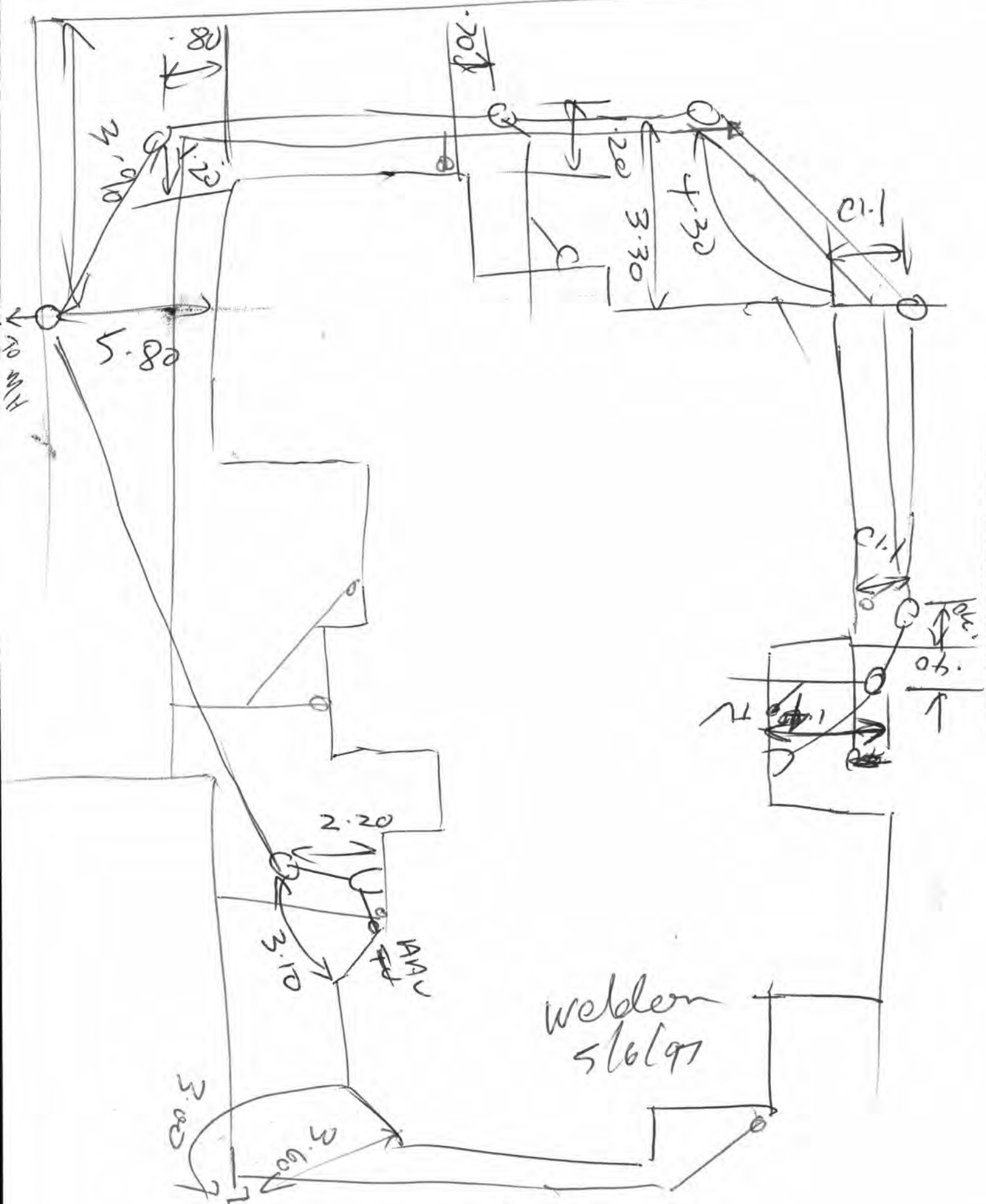
This is a final code compliance certificate issued in respect of all the building work under the above building consent.

Signed for and on behalf of the Council:

Name: *Don Blaikie*

Date: 27.8.97



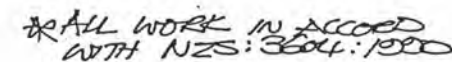


PLUMBING & DRAINAGE FEES

LABOUR CONTENT	FEE	COMPARISON ONLY		
		KBC	OBC	HCC
\$	\$	\$	\$	\$
Up to \$100	36.00	36.00		27.00
101 to 200	49.00	45.00	25.00	40.00
201 to 300	62.00	54.00	37.00	53.00
301 to 400	75.00	63.00	50.00	66.00
401 to 500	88.00	72.00	62.00	79.00
501 to 600	101.00	76.50	74.00	92.00
601 to 700	114.00	81.00	87.00	105.00
701 to 800	127.00	90.00		118.00
801 to 900	140.00	99.00	99.50	131.00
901 to 1,000	153.00	108.00		144.00
1,001 to 1,100	166.00	117.00	112.00	157.00
1,101 to 1,200	179.00	126.00		170.00
1,201 to 1,300	192.00	135.00	124.50	183.00
1,301 to 1,400	205.00	144.00		196.00
1,401 to 1,500	218.00	153.00	137.00	209.00
1,501 to 1,600	231.00	162.00		222.00
1,601 to 1,700	244.00	180.00	149.50	235.00
1,701 to 1,800	257.00	189.00		248.00
1,801 to 1,900	270.00	198.00	162.00	261.00
1,901 to 2,000	283.00	207.00		274.00
2,001 to 2,100	296.00	225.00	174.50	287.00
2,101 to 2,200	309.00	234.00		300.00
2,201 to 2,300	322.00	243.00	187.00	313.00
2,301 to 2,400	335.00	252.00		326.00
2,401 to 2,500	348.00	270.00	199.50	339.00
2,501 to 2,600	361.00	279.00		352.00
2,601 to 2,700	374.00	288.00	212.00	365.00
2,701 to 2,800	387.00	297.00		378.00
2,801 to 2,900	400.00	+13.50	+12.50	+13.00
2,901 to 3,000	413.00	per 100	per 200	per 100

For each additional \$100 cost
 an additional fee of \$13.00 up
 to \$4,000 then \$9.00 per \$100
 to \$10,000 thereafter \$5.00 per
 \$100.

21.80M OVERALL.



SPECIFICATION
BRICK VENEER-CONTROL JOINTS

If the brick veneer on this building is of concrete bricks, control joints must be constructed as required by both NZS4210 and by the manufacturers.

If N.Z. made MONIER CLAY BRICKS are used, control joints are not required. For recommendations on control joints for imported clay bricks refer to the manufacturer.

SCALE 1:100.

AREA: 204.5 m^2 (2200 sqft)

MORGAN RESIDENCE III
Lot 2. DP 81173. Stella Cr.
PARAPARAU.

KAPITI COAST DISTRICT COUNCIL
PLANS APPROVED PLUMBING
AND DRAINAGE
CONSENT MAY BE ISSUED.

DATE: 2011/97 OFFICER

KAPITI COAST DISTRICT COUNCIL

APPLICATION FOR SEWER CONNECTION AND PERMIT

14

The Borough Engineer
Private Bag
PARAPARAUMU

I, K. Morgan (Full name)
167 Mazengarb Rd (Postal Address)
PLEASE PRINT

hereby apply for an ordinary connection to the Kapiti Borough Sewer from the premises owned by me at

(PROPERTY Address in full if different from above) 3 Stallin Ct
Lot 2 DP 81173

Fees Payable (on application)

Inspection \$
Connection \$
Total \$ Subdivider

Note: All dwelling units to pay full inspection fees.
The connection fee to be divided equally between dwelling units situated on the same lot sharing a common lateral.

Petic Owners Signature Date

THIS PART TO BE COMPLETED BY DRAINLAYER

I, FBA Dick Weldon (full name)

(address)

being a licensed Drainlayer apply for permission to connect the premises mentioned above to the Kapiti Borough Sewer.

N.B. Connection NOT permitted until permit obtained.

New House
(Signature) (License No.) (Date)

OFFICE USE ONLY

Permit No. <u>970043</u>	Job Inspected <u>5/6/97</u>	Building Register Entry
Date Issued <u>24/2/97</u>	Connection Recorded	

KAPITI BOROUGH DISTRICT COUNCIL

APPLICATION FOR WATER SUPPLY AND CONNECTION PERMIT

The Borough Engineer
Private Bag
PARAPARAUMU

I, K. Morgan (full name)

PLEASE PRINT

167 Manganui Rd

(Postal add

hereby apply for an "ORDINARY" service to be laid from the Kapiti Borough Water Supply to the premises owned by me at:

(PROPERTY Address in full
if different from above)

3 Stalker Ct

Lot

2

DP

81173

Fees Payable (on application)

Inspection \$

Connection \$

Total

Subdivider
fee

Note: All dwelling units to pay full inspection fees.

The connection fee to be divided equally between dwelling units situate on the same lot sharing a common later

Owners Signature

Date

THIS PART TO BE COMPLETED BY PLUMBER

I, ISA. Graeme Hawkins (full name)

of (address)

being a Licensed Craftsman Plumber apply for permission to connect the above premises to the Kapiti Borough Water Supply. I agree to comply in every respect with the Kapiti Borough Water Supply By-laws. Connection NOT permitted until permit obtained.

(Signature)

(Craftsman Licence No.)

(Date)

- Existing Water Supply To be retained/dismantled
- Pressure: high/low "Header Tank"/Pressure Reducing Valve
- B/W Cylinder Type Exhaust Pipe/Pressure Relief Valve
- Approximate Age of Water Piping Copper/PVC/Alkathene
- If premises have swimming pool what capacity Filter plant Yes/No
- State precisely how it is proposed to make the new connection:

OFFICE USE ONLY

Permit No. <u>970043</u>	Job Inspected <u>7/5/97</u>	Building Register Entry
Date Issued <u>27/2/97</u>	Connection Recorded	

there's a future here

KAPITICOAST
DISTRICT COUNCIL
FINAL CHECKLIST

Applicant: NS & RG Morgan Application No. 970043
 Job Address: 3, STALLA COURT Date of Inspection: 25.8.97
 Builder: R Morgan Officer: B. McLENNAN
 [print name]

Footpath crossing installed	Yes/ No	Berm damaged	Yes/ No
Refund crossing deposit \$ <u>700</u>	Yes/ No	Engineering site reports required	Yes/ No
Stormwater & site drainage appear satisfactory	Yes/ No	Engineering site reports received	Yes/ No

Building Exterior

CHECK PLANS

Subfloor - ventilation	☐	Flashings - roof penet	☒	Windows - glass	☒
Decks - structure	☐	hips	☒	labels	☒
Balustrades - design	☐	valleys	☒	Gulley dishes	☒
height	☐	gables	☐	Wastes to gullys	☒
Steps/Stairs - design	☐	flues	☒	Terminals vents	☒
handrail	☐	Cladding	☒	Downpipes sealed	☒
Flashings - windows	☒	Roofing	☒	Landscaping <u>COMPLETE</u>	☒

Building Interior

CHECK FITTINGS

Service area floors	☒	Food storage	☒	Water temperature <u>53°C</u>	☒
Stair design	☐	Nat. ventilation	☒	Solid fuel heater	☒
Handrails	☐	Mech. ventilation	☒	Supply tank	☒
Barriers	☐	Insulation	☒	Trap seals	☒
Lightings	☒	Hot water cylinder flues	☐	Cistern flushing	☒
Laundering	☒	Hot water cylinder valves	☒	WC pan connection	☒
Cooking facilities	☒	Tempering valve	☒		

Has a Site Instruction been issued? ~~Yes~~/No NTR Instruction No. _____

OK to issue final ☒ code compliance certificate.

If an interim certificate is issued please list proposed conditions on the reverse of this form.

Tick (✓) approved inspections

Cross (x) inspections not approved

Strike out inspections not applicable

175 Rimu Road, Private Bag 601, Paraparaumu. Phone (04) 298 5139, Fax (04) 297 2563.

there's a future here

KAPITICOAST
DISTRICT COUNCIL
SITE CHECK SHEET

NAME: K & P Morgan
 ADDRESS: 3 Stella Court LOT: 2 DP: 81173
 PROJECT: Dwelling CONSENT NO: 970043

WORK CANNOT PROCEED PAST EACH STEP UNTIL THAT STEP HAS BEEN INSPECTED, APPROVED AND THIS FORM SIGNED BY THE RELEVANT INSPECTOR. WORK APPROVED BY A CERTIFIER REQUIRES A BUILDING CERTIFICATE SUPPLIED BY THE CERTIFIER.

COMPONENT TO BE INSPECTED	INSPECTION REQUIRED (TICK)	INSPECTION		COMMENTS AND/OR RECTIFICATION NOTICE NO	OK TO PROCEED YES/NO	ADDITION INSPECT YES/NO	DATE, SIGNATURE
		CHECK	RECHECK				
FOUNDATIONS				Ground firm	No	no	RB 20.2.97
Siting	✓	✓		Siting ok 3/12/12			
Footings - Piles	✓			2 starters. Steel			
Steel	✓			not completed yet			
Min Floor Level Cert				further inspection for steel			
CONCRETE FLOOR				3/12/12 Rods & starters in	No	no	RB 21.2.97
Building	✓			slab Not ready	No	no	RB 24.2.97
P & D Wastes, etc	✓			see over page	yes	no	RB 25.2.97
SUB FLOOR				Prop over under slab			
Connections							
Braces							
Blocking							
Insulation							
BLOCKFILL 1							
BLOCKFILL 2							
PRE-LINE					No	no	RB 7.5.97
Wall Framing	✓	✓		100x50			
Moisture	✓	✓		%			
Bracing	✓	✓		✓ Bolts, Washers 50x50			
Fixings	✓	✓		✓ d pins to be fitted			
Lintels	✓	✓		✓ See Plan.			
Roof Framing	✓	✓					
Trusses	✓	✓		PAR			
Bracing	✓	✓		Bolts & Washers completed			RB 12.3.97
Fixings	✓	✓		Plan signed by building sticker on site			
P & D 1500 KPA test	✓	✓		Tested 1500 KPA	yes	no	RB 7/5/97
POSTLINE	✓			Nois stopped already in place			RB 14.3.97
DRAIN TEST - SEWER	✓			soapy test ok	yes	no	JA 5/6/97
DRAIN TEST - STORMWATER	✓			S/W ok	yes	no	

DRESS :

LOT :

DP :

e Inspected

25-2-97 GG8 Mark & slab thickening 2/12/12 Add Vapor Barrier
Saw cut to be made in slab. VRB

7/5/97 Plumb PL Low pressure system supply tank
to be strapped for seismic restraint.
AAV for 2nd wc in roof space. Showers
on separate cold supply from tank. off

FINAL INSPECTIONS

COMPONENT TO BE INSPECTED	INSPECTION REQUIRED (TICK)	INSPECTION		COMMENTS AND/OR RECTIFICATION NOTICE NO	OK TO PROCEED YES/NO	ADDITION INSPECT YES/NO	DATE, SIGNATURE
		CHECK	RECHECK				
Insulation	✓	✓					
Joinery & Flashings	✓	✓		Dwp. 15508a			
Glazing (Safety etc)	✓	✓					
Range/Bathroom Fans							
Comb. Heater/Chimney	✓	✓					
Floor Levels	✓	✓		ALL OK AT THIS STAGE	YES		25-8-97
Post Connections	✓	✓					
Subfloor Ventilation							
Subfloor Access							
Room Ventilation --	✓	✓					
EXTERIOR CLADDINGS							
Walls	✓	✓		Brick			
Roof	✓	✓		Metrol Tiles			
Hot Water Temp	✓	✓					
I/W Cyl, Valves & Restraint	✓	✓					
Waste & Drain Vents	✓	✓		ALL OK AT THIS FINAL STAGE	YES		25-8-97
Gully Traps	✓	✓					
Spouting & Downpipes	✓	✓					
Stormwater Drains	✓	✓					
ENG SUPERVISION CERT							
FIRE FACILITIES							
EGRESS							
DISABLED							
EHO							

BUILDING COMPONENTS DEEMED COMPLETED

CERTIFIER	SIGNATURE	DATE	CERTIFIER	SIGNATURE	DATE
Building	25-8-97	25-8-97	Services		
Plumbing			Resource Management		
Drainage			Air Conditioning		
EHO					
Lifts					
Compliance Schedule					

WORK IS NOW DEEMED TO BE COMPLETED. A CODE COMPLIANCE CERTIFICATE WILL BE ISSUED WHERE REQUIRED BY THE BUILDING ACT.

CODE COMPLIANCE CERTIFICATE NUMBER ...

Signature

Designation

Date

WHEN THE PROJECT IS COMPLETED THIS INSPECTION SHEET WILL BE ATTACHED TO THE RELEVANT

Application No: 970043
Date: _____
Site Address: 3 Stella Court.

Date: Feb 11 2011

Site Address: 3 Stella Court.

PLAN VETTING = \$60 per hour

TECHNICAL CONSULTANTS = Cost + 10%

NETWORK UTILITY OPERATORS = Cost + 10%

Classification		\$	Plan Vetting				Total \$	Consultants			Total \$	Inspections							Total \$	Admin \$	PIM \$	Total
			PI	D	Bld	EH		T/p				Site	PI	D	Bld	EH						
1	Fire Places, Signs	0-1500																	36	Nil		
2	Sheds, Carports	1501-4000																	36	Nil		
3	Garages, Conservatories, Swim Pool, Etc	4001-10000																	36	50		
4	House Additions	4001-10000																	36	50		
5	House Additions	10001-50000																	36	50		
6	Dwellings	50001-100000																	36	100		
7	Dwellings	100001-150000	4	4	16		360	2		30	1	3	25				550		36	100	1076	
8	Dwellings	150001-200000																	54	100		
9	Dwellings	200001-250000																	54	140		
10	Dwellings	250001-300000																	72	140		
11	Dwellings	300000 +																	72	160		
12	Commercial/Industrial	0-10000																	36	50		
13	Commercial/Industrial	10001-50000																	36	60		
14	Commercial/Industrial	50001-100000																	36	100		
15	Commercial/Industrial	100001-150000																	36	100		
16	Commercial/Industrial	150001-200000																	54	100		
17	Commercial/Industrial	200001-250000																	54	140		
18	Commercial/Industrial	250001-300000																	54	140		
19	Commercial/Industrial	350001-350000																	54	140		
20	Commercial/Industrial	350001-400000																	72	160		
21	Commercial/Industrial	400001-450000																	72	180		
22	Commercial/Industrial	450001-500000																	72	200		
23	Commercial/Industrial	500000 +																	72	250		

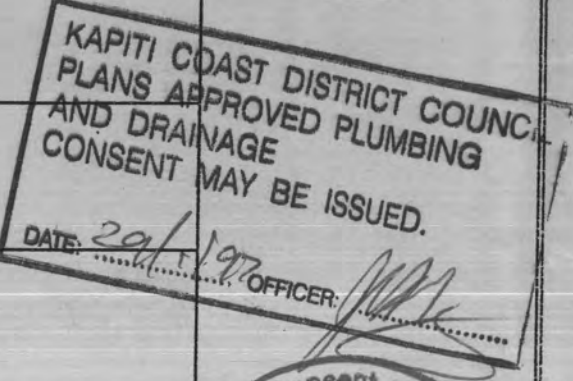
CONSENT DATA INPUT REQUIREMENTS

REQUIRED INSPECTIONS		STANDARD CONDITIONS			
14	✓	2		17	
1	✓	3	✓	18	
7	✓	4	✓	19	
16		5		20	
2	✓	6		21	✓
3		7	✓	22	
4	✓	8		23	✓
8	✓	9	✓	30	
5	✓	10	✓		
10	✓	11			
12		12			
6	✓	13			
9	✓	14			
11	✓	15			
13	✓	16			
15					

NON STANDARD CONDITION

This image shows a single sheet of white paper with horizontal blue or grey ruling lines. The lines are evenly spaced and run across the width of the page. There is no handwriting or other markings on the paper.

TYPE OF BUILDING	Dwelling		Retail		Additions		Accessory	
	New		Industrial		Alterations		Other	

DEPARTMENT	REQUIREMENTS		COMMENTS	CHECKED/DATE STAMP
Town Planning		Yes No		
	Zoning Conforms			
	Dispensation			
	Planning Consent			
	Special Floor Level			
Plumbing				
Drainage				
Stormwater	To Channel	✓		
	To Drain			
	Confined to Lot			
Building				
Structural	Specific Design			
	Foundation			
	Structure			
	Roof			
Subdivisional Engineer				
	Earthworks Bylaw Conditions			
Environmental Health				
Site	1. No Damage to footpath 2. No Vicrosby		Ground Apprais firm check Soil Report subdivisions	27.1.97 [Signature]



KAPITI COAST DISTRICT COUNCIL

Form 3

APPLICATION FOR BUILDING CONSENT

Section 33, Building Act 1991

To : Kapiti Coast District Council

[Cross each applicable box and attach relevant documents in triplicate]

PART A : GENERAL (Complete Part A in all cases)

970043

APPLICANT*	PROJECT
Name: <u>K. J & P. G. MORGAN</u>	New or relocated building ☒
Mailing address: <u>167 MAZINGARU RD</u>	Alteration ☐
<u>Paraparaumu</u>	Intended use(s) [In detail]: _____
Contact [Print name and position]: <u>Keith Morgan Manager</u>	Intended life: _____
Phone: <u>2971586</u> Fax: <u>2983767</u>	Indefinite but not less than 50 years ☒
*Under section 33 of the Building Act 1991, the applicant must be the owner of the land on which building work is contemplated or a person who or which has agreed in writing, whether conditionally or unconditionally, to purchase the land or any leasehold estate or interest in the land, or to take a lease of the land, while the agreement remains in force.	Specified as _____ years ☐
FOR COUNCIL USE	Demolition ☐
Received: <u>22/1/97</u>	Being stage _____ of an intended _____ stages.
Application fee: <u>\$620.00</u>	Estimated value (inclusive of GST) : <u>\$120,000.00</u>
Receipt No.: <u>619650</u>	PROJECT LOCATION
<u>BN2 CD</u>	Street address [If any]: <u>N03 Stella CRT.</u>
<u>K J & P G Morgan Ltd</u>	<u>PRM</u>
	Legal description [as shown on certificate of title or rates notice, if any]: Lot <u>2</u>
	DP <u>81173</u>

This application is for :

1526052600

- ☐ Building consent only, in accordance with project information memorandum number _____.
- ☐ Both building consent and a project information memorandum.

Floor (tick boxes)	Roof (tick boxes)	External Cladding (tick boxes)
Timber	Steel Sheeting	Brick ☒
Concrete ☒	Steel Tiles ☒	Concrete
Wood Products	Concrete Tiles	Concrete Block
Other	Shingles	Cement Board
Framing (tick boxes)	Aluminium	Plaster
Timber ☒	Other	Timber ☒
Concrete	Internal linings (tick boxes)	Steel
Steel	Plaster Board ☒	Aluminium
Aluminium	Fibrous Plaster	Other
Other	Wood Products	Size of Building <u>204</u> m ²
	Other	Floor area m ² <u>204</u> No. of storeys <u>1</u>
		No. of dwelling units <u>1</u>

PART B : PROJECT DETAILS

(Complete Part B only if you have not applied separately for a project information memorandum)

- ☐ Location, in relation to legal boundaries, and external dimensions of new, relocated, or altered buildings.
- ☐ New provisions to be made for vehicular access, including parking.
- ☐ Provisions to be made in building over or adjacent to any road or public place.
- ☐ New provisions to be made for disposing of stormwater and wastewater.
- ☐ Precautions to be taken where building work is to take place over existing drains or sewers or in close proximity to wells or water mains.
- ☐ New connections to public utilities.
- ☐ Provisions to be made in any demolition work for the protection of the public, suppression of dust, disposal of debris, disconnection from public utilities, and suppression of noise.
- ☐ Any cultural heritage significance of the building or building site, including whether it is on a marae.

PART C : BUILDING DETAILS

(Complete Part C in all cases)

This application is accompanied by [Cross each applicable box, attach relevant documents in duplicate] :

- ☒ The drawings, specifications and other documents according to which the building is proposed to be constructed to comply with the provisions of the building code, with supporting documents, if any, including:
 - ☐ Building certificates
 - ☐ Producer statements
 - ☐ References to accreditation certificates issued by the Building Industry Authority
 - ☐ References to determinations issued by the Building Industry Authority
- ☐ Proposed procedures, if any, for inspection during construction.

PART D : KEY PERSONNEL

(Complete Part D as far as possible in all cases. Give names, addresses, and telephone numbers. Give relevant registration numbers if known.)

Designer(s): Self. K. J. & P. G. Morgan

Building Certifier(s): K C D C

Builder(s): K J & P G Morgan (2971596 Kapiti Timber Traders)
167 MAZENGAR ROAD, PARAPARAUMU.

Registered Drainlayer: Dick Welton REG NO.: _____

Craftsman Plumber: S Ashton & J Hawkins REG NO.: _____

Craftsman Gasfitter: _____ REG NO.: _____

Registered Electrician: _____ REG NO.: _____

Other: _____

PART E : COMPLIANCE SCHEDULE DETAILS

E1 : Systems Necessitating a Compliance Schedule

(Complete Part E1 for all new buildings and alterations, except single residential dwellings.)

The building will contain the following [Cross each applicable box and attach proposed inspection, maintenance, and reporting procedures]:

- ☐ Automatic sprinkler systems or other systems of automatic fire protection.
- ☐ Automatic doors which form part of any fire wall and which are designed to close shut and remain shut on an alarm of fire.
- ☐ Emergency warning systems for fire or other dangers.
- ☐ Emergency lighting systems.
- ☐ Escape route pressurisation systems.
- ☐ Riser mains for fire service use.

- ☐ Any automatic back-flow preventer
- ☐ Lifts, escalators, or travelators or other
- ☐ Mechanical ventilation or air conditioning
- ☐ Any other mechanical, electrical, hydraulic
- ☐ Building maintenance units for providing
- ☐ Such signs as are required by the building
- ☐ Non of the above.

E2 : Other Systems and F

(Complete Part E2 only if building)

The building will contain the following [Cross each applicable box and attach proposed inspection, maintenance, and reporting procedures]:

- ☐ Means of escape from fire.
- ☐ Safety barriers.
- ☐ Means of access and facilities for use of the Disabled Persons Community Welfare
- ☐ Handheld hoses for firefighting.
- ☐ Such signs as are required by the building Act 1975.

Signed for and on behalf of the Applicant:

Name:

Position:

K. J. Morgan
Manager

Date: 21/1/97

FOR OFFICE USE ONLY

FEES		APPLICATION FEE	
Building	\$ <u>1076</u>		\$ <u>620.00</u>
Sewer Connection	\$	RECEIPT NO	DATE <u>22.1.97</u>
Water Connection	\$	<u>619650</u>	
Vehicle Crossing	\$ <u>200.00</u>	INVOICE NO	DATE <u>5/1/97</u>
Damage Deposit	\$	<u>12093</u>	
Structural Checking	\$	RECEIPT NO	DATE <u>10.2.97</u>
Building Research Levy	\$ <u>120</u>	<u>621842</u>	
Development Levy	\$	BUILDING CONSENT NO	DATE ISSUED
BIA Levy	\$ <u>78</u>	<u>9170043</u>	<u>24.2.97</u>
Compliance Schedule	\$	AUTHORISATION FOR REFUND OF DEPOSITS	
SUBTOTAL	\$ <u>1974</u>	Deposit held =	\$
Less Deposit Paid	\$ <u>620.00</u>	Cost to Repair Damage Caused	
TOTAL	\$ <u>1354</u>	During Construction =	\$
GST INCLUDED	\$	Total Balance to be Refunded =	\$
		Authority Number :	
		Authorised	DATE

CONTINUED NEXT PAGE

Received with thanks by 48/01
KAPITI COAST DISTRICT COUNCIL

22-01-97 14:15 Receipt no.619650

DR BC970043
MORGAN K J & P G 620.00-
K J & P G MORGAN::167 MAZENGAR ROAD::P
CO B
K J & P G MORGAN 620.00

there's a future here

KAPITICOAST
DISTRICT COUNCIL
BUILDING CONSENT
Section 35, Building Act 1991

Applicant

K J & P G MORGAN
167 MAZENGARB ROAD

PARAPARAUMU BEACH

Consent Details

Consent/PIM No.: 970043
Date issued: 24/02/97
Date of applicn: 22/01/97
Valn No: 1526052600
Overseer: D Blaikie

Project Descrn: NEW CONSTRUCTION
BEING STAGE 1 OF AN INTENDED 1 STAGES
NEW DWELLING

Intended Life: INDEFINITE, BUT NOT LESS THAN 50 YEARS

Intended Uses: RESIDENTIAL

Project Location: 3 STELLA COURT PARAPARAUMU BEACH

Legal Description: LOT 2 DP 81173

Estimated Value: \$ 120,000

CHARGES: The Council's charges paid on uplifting this
Building Consent, in accordance with the attached
details, are:

	\$	1,776.00
Building Research Levy	\$	120.00
Building Industry Authority Levy	\$	78.00
TOTAL:	\$	1,974.00

This building consent is a consent under the Building Act 1991 to undertake building work in accordance with the attached plans and specifications so as to comply with the provisions of the building code. It is not a consent under the Resource Management Act and does not affect any duty or responsibility under any other Act nor permit any breach of any other Act.

This building consent is issued subject to the conditions specified in the attached page(s) headed CONDITIONS OF BUILDING CONSENT 970043.

SIGNED FOR AND ON BEHALF OF THE COUNCIL:

NAME: [Signature] BUILDING CONTROL OFFICER DATE: 24.2.97

KAPITICOAST

DISTRICT COUNCIL

CONDITIONS OF BUILDING CONSENT 970043

- 1 All foundations are to be to solid bearing minimum of 300mm
- 2 Work to comply with NZS3604-1990.
- 3 Metal head flashings required over all exterior joinery.
- 4 Note and comply with endorsements on approved plans.
- 5 Names and registration numbers of plumber and drainlayer are required before work commences.
- 6 Minimum heights of finished concrete slab-on-ground floors above adjoining finished ground level to comply with Fig E 1 NZS 3604 1990.
- 7 Installation of solid fuel appliances must comply with manufactures specifications and be secured against seismic movement ie EARTHQUAKES.



BUILDING CONSENT ADDENDA 970043

APPLICANT: K J & P G MORGAN : 167 MAZENGARB ROAD : : PARAPARAUMU
LOCATION: 3 STELLA COURT PARAPARAUMU BEACH
Builder: K & P MORGAN

General requirements

- a) The District Inspector is to be given 24 hours notice before carrying out the following inspections.

INITIAL INSPECTION

FOUNDATION INSPECTION

PRE-CONCRETE SLAB INSPECTION OF PLUMBING

PRE-SLAB INSPECTION, CONCRETE FLOOR

PRELINING INSPECTION, MOISTURE TEST, CHECK BRACING

PRELINING INSPECTION OF PLUMBING

POST-LINING INSPECTION, LININGS, FIXED AS PER BRACE DESIGN

WATER TEST ON SEWER DRAINS

FINAL INSPECTION BUILDING

FINAL INSPECTION OF PLUMBING

FINAL INSPECTION GULLIES, ETC

FINAL INSPECTION STORMWATER

- b) To arrange for any of the above required inspections by the District Inspector, please contact D Blaikie on (04) 298-5139 between the hours of 8.00 am and 4.30 pm.

there's a future here

KAPITICOAST
DISTRICT COUNCIL

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- 7 Installation of solid fuel appliances must comply with manufactures specifications and be secured against seismic movement ie EARTHQUAKES.

I have read the foregoing requirements and conditions of consent, and the Owner/Builder/Authorised Person hereby agrees to comply with them.

OWNER/BUILDER/AUTHORISED PERSON

P. G. L. O'Connell

DATE



BUILDING CONSENT ADDENDA 970043

APPLICANT: K J & P G MORGAN : 167 MAZENGARB ROAD : : PARAPARAUMU
LOCATION: 3 STELLA COURT PARAPARAUMU BEACH
Builder: K & P MORGAN

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OWNER/BUILDER/AUTHORISED PERSON _____ DATE _____



RM970146

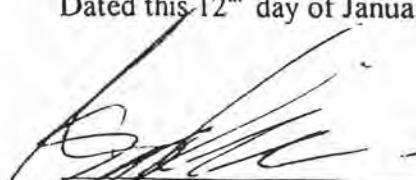
KAPITI COAST DISTRICT COUNCIL
CONSENT NOTICE PURSUANT TO SECTION 221
OF THE RESOURCE MANAGEMENT ACT 1991
FOR THE DEPOSIT OF LAND TRANSFER PLAN 84886
THE SUBDIVISION OF LOT 10 DP 84885,
STELLA COURT, PARAPARAUMU
FOR K MORGAN

The District Land Registrar at Wellington

PURSUANT to Section 221 of the Resource Management Act 1991 the Kapiti Coast District Council hereby gives notice that it has consented to the subdivision and the following condition is to be complied with on a continuing basis:

1. That specific foundation design by a registered engineer will be required for any new dwelling on Lots 2, 3 and 4 in accordance with the recommendations contained within the geotechnical assessment prepared by Cuttriss, McKenzie, Martin Ltd dated November 1997 and available in Council's Resource Consents Office.
2. Further subdivision of Lots 2 & 4 except for boundary adjustments as defined within Council's Proposed District Plan dated 22 December 1997 shall be prohibited.

Dated this 12th day of January 1998.


AUTHORISED OFFICER


AUTHORISED OFFICER



RM 970146

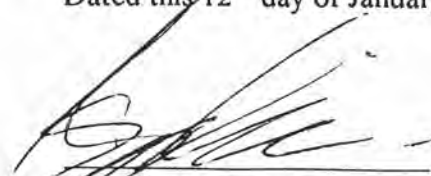
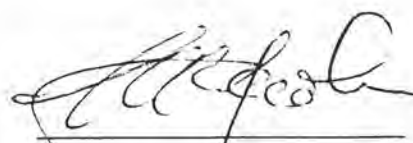
KAPITI COAST DISTRICT COUNCIL
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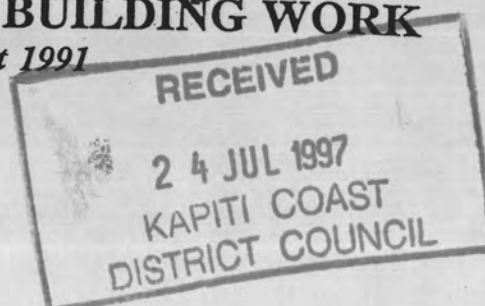
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Dated this 12th day of January 1998.


AUTHORISED OFFICER
AUTHORISED OFFICER

ADVICE OF COMPLETION OF BUILDING WORK*Section 43(1), Building Act 1991*

To Kapiti Coast District Council

[Cross each applicable box and attach relevant documents]

Under Building Consent No.: 96043

From [Owner]:

Name:

K. J. Morgan.

Mailing address:

167 MAZENGARB RdParaparaumu.PHONE 11-8-97

You are hereby advised that

- ☒ All
☐ Part only as specified in the attached particulars

of the building work under the above building consent is believed to have been completed to the extent required by that building consent.

You are requested to issue

- ☒ A final
☐ An interim

code compliance certificate accordingly (except where a code compliance certificate has been issued by a building certifier as stated below).

The attached particulars include:

- ☐ Building certificates
☐ A code compliance certificate issued by a building certifier
☐ Producer statements

Signed by or for and on behalf of the owner:

Name:

K. J. Morgan

Position:

ManagerDate: 23/7/97

Business Hours Contact No:

2971586

ADDENDUM OF MATERIALS

TO COMPLY WITH NATIONAL BUILDING CODE

Floor Type	Concrete
Ext. Cladding	Brick + Cedar.
Roofing	Decrabond
Windows	Aluminium
Int Lining walls	Gypsum Board (Elephant Brand)
Kitchen Joinery	Melteca
Ceilings	Gypsum Board (Elephant Brand)
Hot Water Pipe	Acorn - SDP
Hot Water Cylinder	Rheem 180 litre mains pressure
Bath	Clearlite bath
Vanity	Clearlite bowl on formica top
WC and cistern	Caroma dual flush uniset
Shower	Showerpac
Shower Mixer	Greenstyle with slide
Wash hand basin	Clearlite
Waste Pipes	PVC
Sink Faucet	Greenstyle - 500 Starmix
Bathroom Taps	Greenstyle single lever - Milford
Laundry Tub	Stainless steel
Tub Taps	Greenstyle
Hose Taps	Brass
Cold Water Pipe	Acorn SDP
Drain Pipe Sewer	Marley
Drain Fittings Sewer	Marley
Spouting	Marley - white in Klass fascia or similar
Down Pipes	Marley - white
Soil Pipe & Fittings	Marley
Insulation	R1.8 wall Batts R2.4 ceiling batts (Blower)



DRESSED METAL
ROOFING AT 30°

GLASS FASCIA
ALL ROUND

P.C. AL. WINDOWS
AND FLASHINGS

Safety Glass

NORTH ELEVATION.

EAST.

100x100 MM
TIMBER POST

GLAZING CONFORM NZS 4223		
PARTS 1, 2 & 3		
FIT SUITABLE FLASHINGS, ETC.		
JOINERY		
HIGH WIND	1100pa DWP	☒
VERY HIGH	1550pa DWP	☐

SELECTED BRICK
VENUEER AS SHOWN

Cedar
TO ENTRY & BEDRM 3



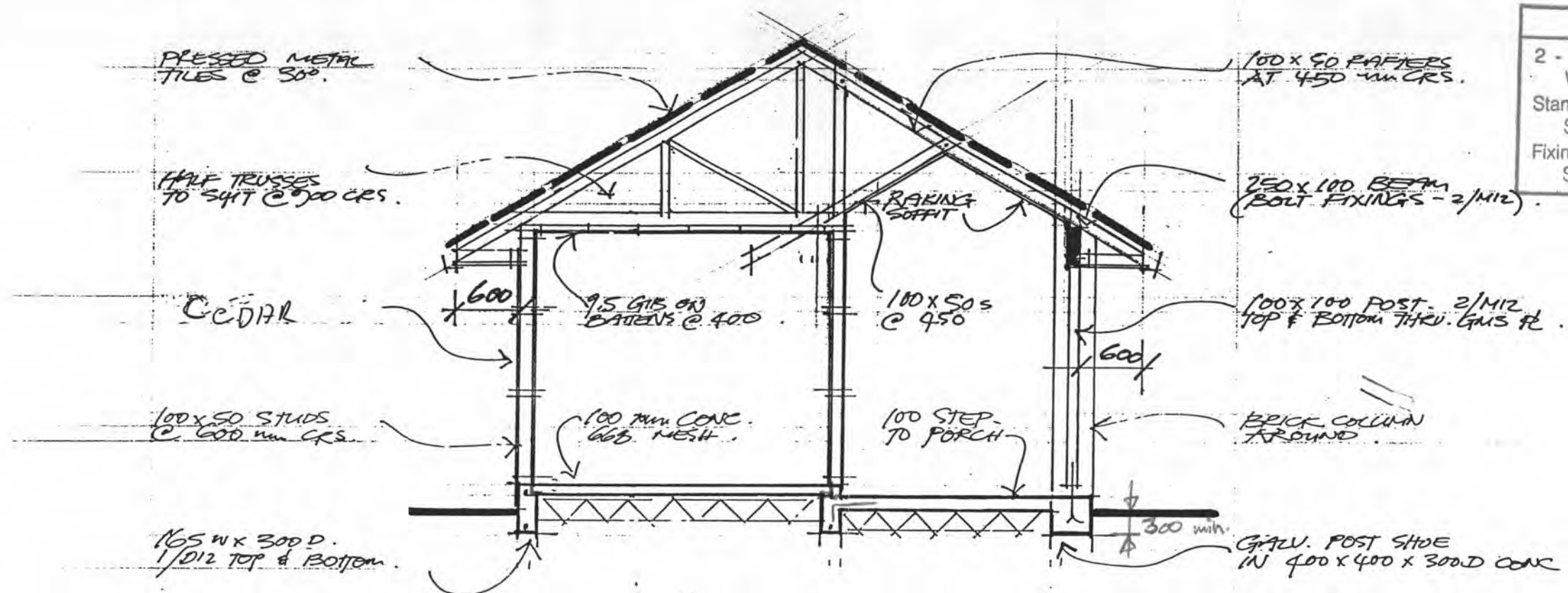
BRICK COLUMNS

WEST.

2.8M WIDE
SECTIONAL DOOR

SOUTH ELEVATION.





HIGH WIND ZONE

2 - 'Z' Nails to Truss/Rafter and External Wall Top Plates (Light Roof)

Standard Framing to NZS 3604

Stud Tables

Fixings in accordance with Nailing Schedule



MINIMUM FINISHED FLOOR LEVEL ABOVE —	
PROTECTED GROUND	
100mm	BRICK VENEER
150mm	OTHER CLADDINGS
UNPROTECTED GROUND	
150mm	BRICK VENEER
225mm	OTHER CLADDINGS

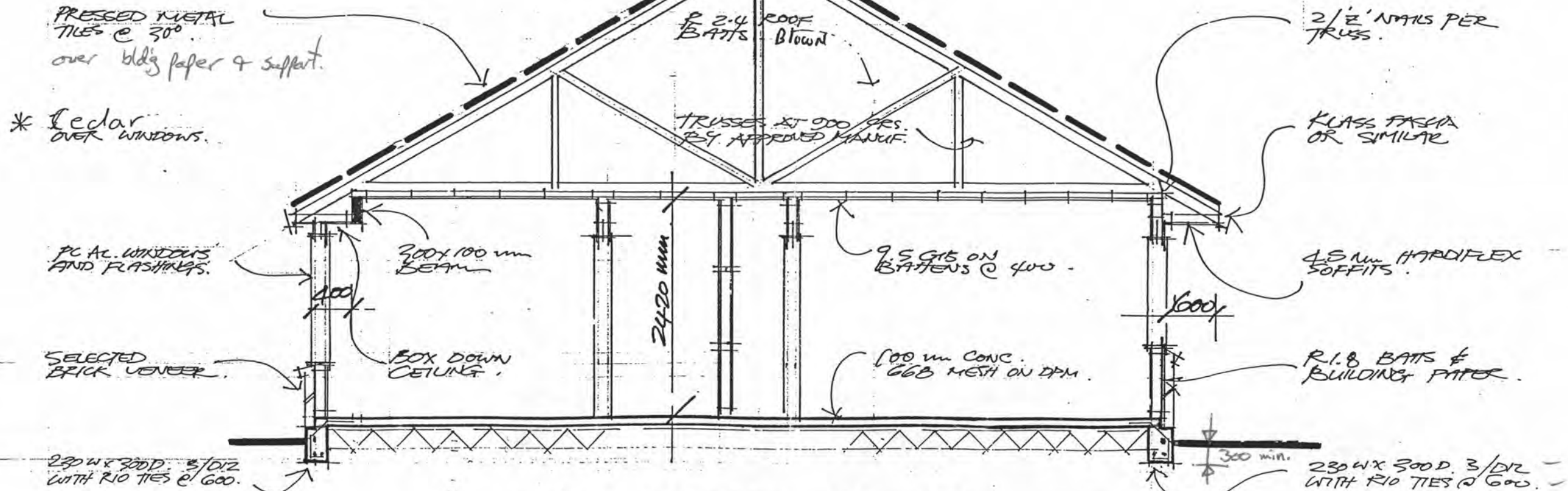
SECTION A-A.

BOTTOM PLATE FIXINGS

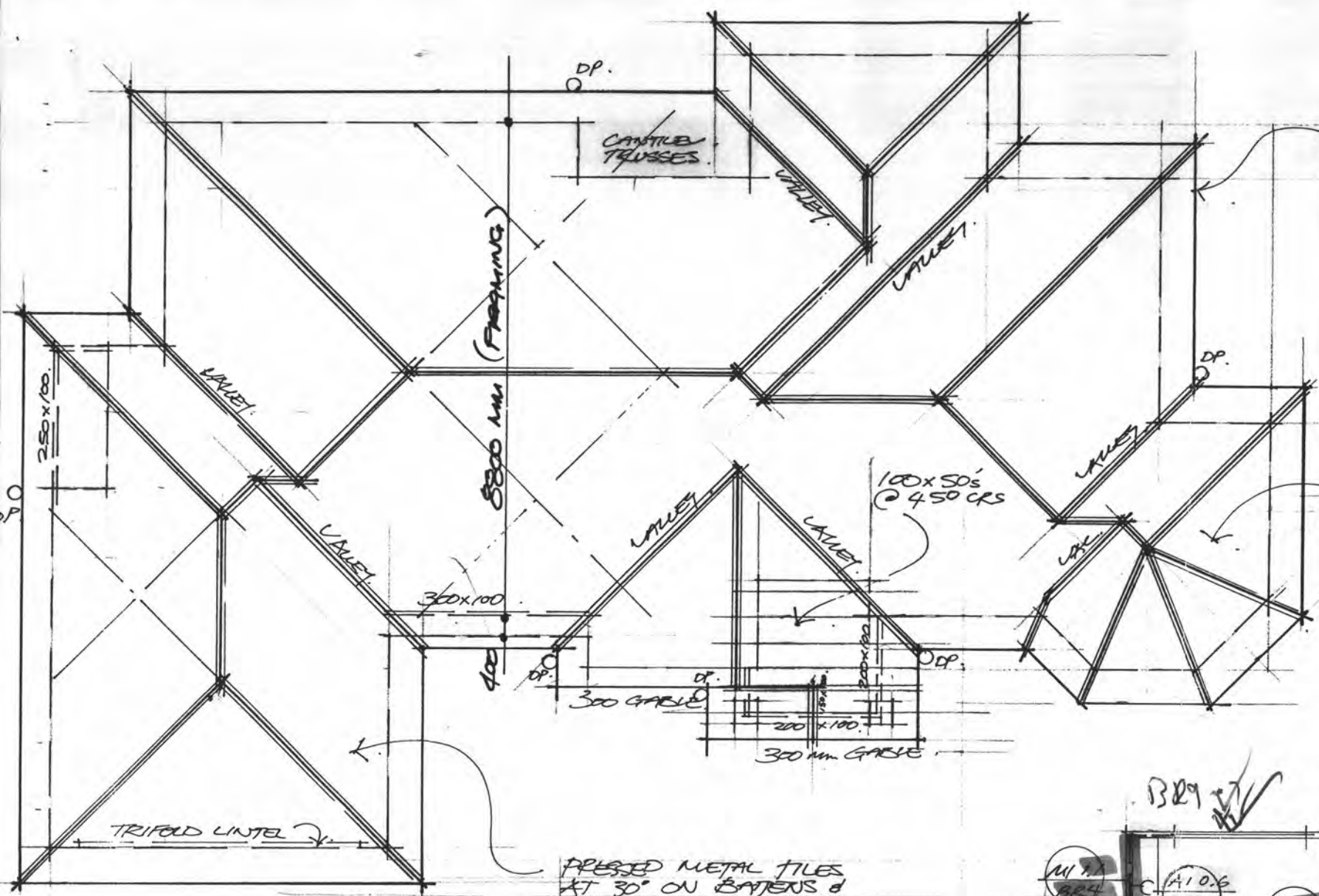
10 Ø Max 900 mm crs.

12 Ø Max 1.400m crs.

Approved Anchors (fixed to manufacturers instructions) 'Ramset' Dynabolt 'PLUS' only.



SECTION B-B. SCALE 1:50.



The Truss manufacturer must confirm the minimum size requirement of all Lintels or Beams supporting Girder Truss point loads. Provide in writing to Council and Contractor.

NOTE - No internal load ~~ing~~ bearing ~~capable~~ walls Capable

HALF-OCTAGON ROOF SUPPORTED BY GIRDER TRUSS TO SUIT

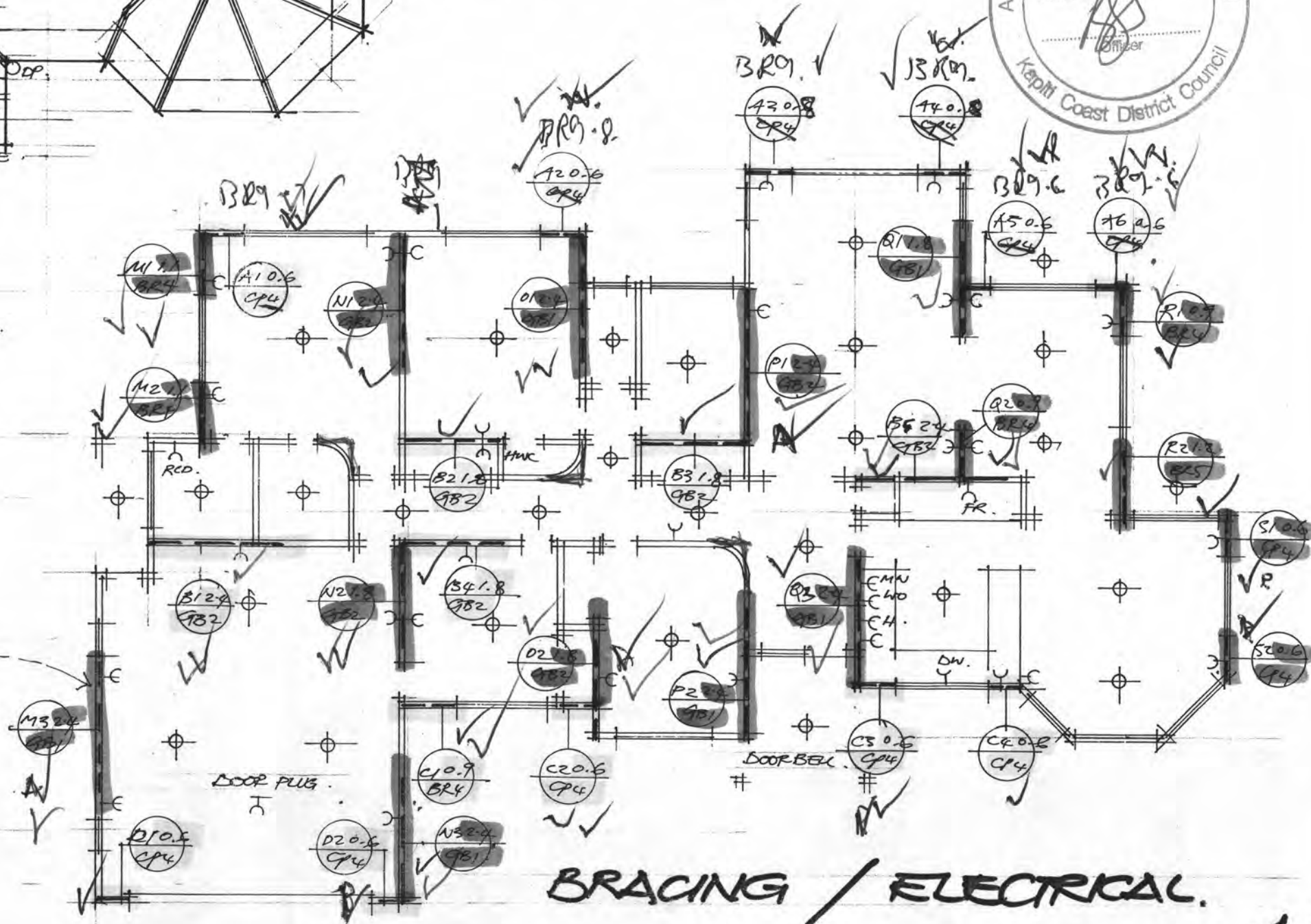


ROOF PLAN.

SCALE 1:100.

PRESSED METAL TILES AT 30° ON BATTENS & UNDERLAY ON TRUSSES AT 900 CRS BY APPROVED MANUFACTURER.

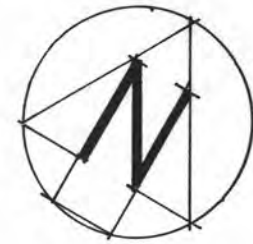
FIX BRACING IN STRICT ACCORDANCE WITH MANUFACTURERS SPECS.
NOTE - Elephant Brd have dif. specs to Winstones



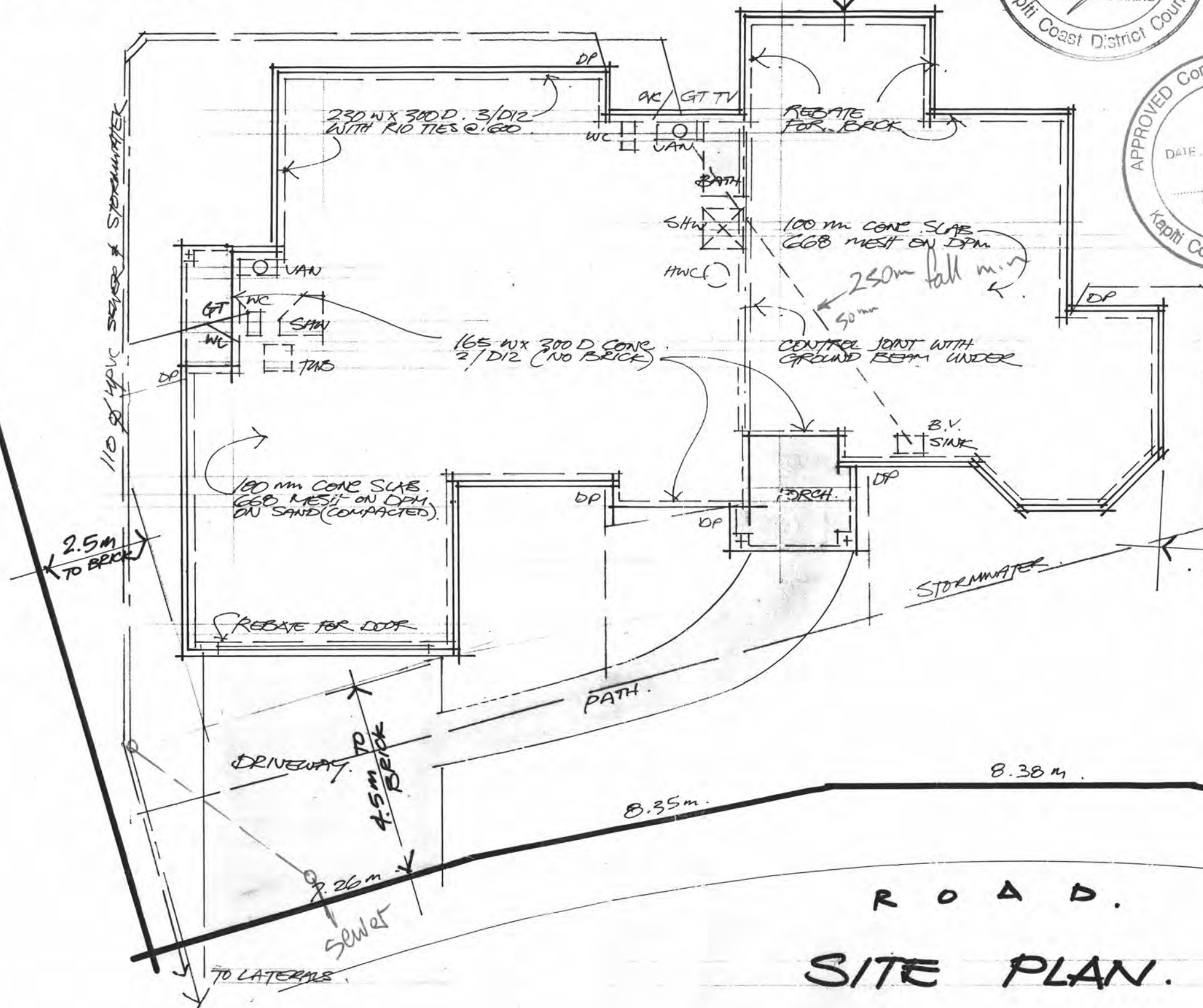
BRACING / ELECTRICAL.

LOT 2.
776 M².
26% COVERAGE.

BOUNDARY 37.00 m.



BOUNDARY 23.44 m.



BUILDER TO ENSURE THAT PROPOSED FOUNDATION HEIGHT WILL ALLOW A SATISFACTORY DRAINAGE CONNECTION TO THE SEWER MAIN.

KAPITI COAST DISTRICT COUNCIL
PLANS APPROVED PLUMBING
AND DRAINAGE
CONSENT MAY BE ISSUED.
DATE: 29/1/97 OFFICER: [Signature]

SITE PLAN. SCALE 1:100.

WALLBRACING CALCULATION SHEET A

(For use with NZS 3604 : 1990)

Name: KAPITI TIMBER READERS.

Location of STOREY: single
upper of two
lower of two

SITE WIND ZONE: (Table 2.4) high / very high

EARTHQUAKE ZONE: (Fig. 2.2, Table 2.3) A

SITE ADDRESS

City/Town or District: Parāparaumu

Street and Number: _____
or
LOT AND D.P. Number: Lot 2.

FOR EARTHQUAKE

Roof weight: light / heavy
Average Roof Pitch: 30°
Type of Cladding: light / heavy
Earthquake Zone: A
Storey in Roof space: yes / no

$$E = 4.6 \text{ BU's/m}^2$$

FOR WIND

Building Height 5.5 : m
Roof Height 3 : m
Stud Height 2.4 : m
Wind Speed 14 :

$$W = 78 \text{ BU's/m Along}$$

$$W = 78 \text{ BU's/m Across}$$

ROOF or BUILDING LENGTH

$$BL = 21.8 \text{ m}$$

ROOF or BUILDING WIDTH

$$BW = 14.2 \text{ m}$$

GROSS ROOF or BUILDING PLAN AREA

$$GPA = 204.5 \text{ m}^2$$

5. EARTHQUAKE LOAD (ACROSS and ALONG) $E \times GPA = 4.6 \times 204.5 = 941$ BU's
WIND LOAD: ACROSS $W \text{ ACROSS} \times BL = 78 \times 21.8 = 1700$ BU's
WIND LOAD: ALONG $W \text{ ALONG} \times BW = 78 \times 14.2 = 1108$ BU's

1201

ALONG

WALL OR BRACING LINE		BRACING ELEMENTS PROVIDED			WIND	
1	2	3	4	5	6 W	7 W
Line Label	Minimum BU's Required	Bracing Element No.	Bracing Type	Length Element (m) L	Rating BU/m W	BU's Achieved (BU/m x L) W
A	EB2	A1	CP4	0.6	97	58
		A2	"	"	"	"
		A3	"	"	"	"
		A4	"	"	"	"
		A5	"	"	"	"
B		A6	"	"	"	"
		B1	GB2	2.4	80 ⁸⁵	192
C		B2	"	1.8	75 ⁸⁰	135
		B3	"	"	"	"
D		B4	"	"	"	"
		B5	"	2.4	80	192
E	C1	BR4	0.9	100	90	
	C2	CP4	0.6	97	58	
	C3	"	"	"	"	
	C4	"	"	"	"	
	D1	"	"	"	"	

TOTALS ACHIEVED W 1517

TOTALS REQUIRED W 1108

(From Sheet A)

ACROSS

WALL OR BRACING LINE		BRACING ELEMENTS PROVIDED			WIND	
1	2	3	4	5	6 W	7 W
Line Label	Minimum BU's Required	Bracing Element No.	Bracing Type	Length Element (m) L	Rating BU/m W	EU's Achieve (BU/m x W
M	EB1	M1	BR4	1.1	100	110
		M2	"	"	"	"
N	EB2	M3	GB1	2.4	75	180
		N1	GB2	"	80	192
O	EB1	N2	"	1.8	75	135
		N3	GB1	2.4	"	180
P	EB2	O1	"	"	"	"
		O2	"	1.8	55	79
Q	EB1	P1	GB2	2.4	80	192
		P2	GB1	"	75	180
		Q1	"	1.8	55	79
		Q2	BR4	0.9	100	90
		Q3	GB1	2.4	75	180
		R1	BR4	0.9	100	90
		R2	BR4	1.2	115	138
		S1	CP4	0.6	97	58

TOTALS ACHIEVED W 2271

TOTALS REQUIRED W 1700

(From Sheet A)

EARTHQUAKE	
6 EQ	7 EQ
Rating BU/m	BU's Achieved (BU/m x L)
EO	EQ
95	57
"	"
"	"
"	"
"	"
70	168
60	108
"	"
"	"
70	168
85	77
95	57
"	"
"	"
"	"

EQ 1364

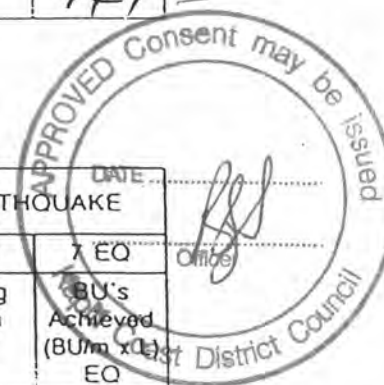
EQ 941

EARTHQUAKE	
6 EQ	7 EQ
Rating BU/m	BU's Achieved (BU/m x L)
EO	EQ
85	94
"	"
"	"
"	"
"	"
50	120
70	168
60	108
50	120
"	"
"	"
70	168
50	120
"	90
85	77
50	120
85	77
"	102
95	57

EQ 1782

EQ 941

1794





Cuttriss, McKenzie, Martin Ltd.

RESOURCE MANAGEMENT CONSULTANTS
REGISTERED SURVEYORS — CONSULTING ENGINEERS

Directors
BARRIE N SHUTE FNZIS
ALAN L MILNE MNZIS
ROBERT T SOWRY MNZIS
W MARK EDGAR B SURV MNZIS

980164
3 stella crt.

COPY

PO BOX 1445
State Ins Building
173 Rimu Road
PARAPARAUMU
Tel: 0-4-298 5319
Fax 0-4-298 3429

16104 :Titchener

2 August 1994

RECEIVED

26 AUG 1994

The District Inspector
Kapiti Coast District Council
Private Bag
PARAPARAUMU

JOB No.

Dear Sir:

RE: SOIL TEST: LOT 2 DP78602 : MILNE DRIVE / KAPITI ROAD.
PARAPARAUMU

DOCUMENTS:

Our plan and test record sheet 16104.

TOPOGRAPHY:

The site consists of compacted sand fill approximately two metres deep and generally brought up to a level platform.

TESTING:

Several scala penetrometer tests have been taken about the lot 1 as shown on our attached plan. No test holes were augered. In conditions scala penetrometer test results of twelve blows per 300mm are considered indicative of adequate bearing strength for light timber framed buildings not requiring specific design foundations. NZS3604:1990 indicates that eight blows per 300mm below the "depth plus width" of the footing is acceptable for a concrete slab construction.

RESULTS:

The test results at the positions shown record eight blows (1) and twelve blows (2) respectively per 300mm beyond the following depths:

<u>TEST No</u>	<u>LOCATION</u>	<u>DEPTHS TO FIRM MATERIAL</u>	
		(1)	(2)
A	As shown on attached plan	300mm	300mm
B		150mm	150mm
C		600mm	600mm
D		300mm	300mm
E		300mm	300mm
F		300mm	300mm
G		150mm	150mm
H		300mm	300mm
I		300mm	300mm
J		300mm	300mm
K		300mm	300mm
L		300mm	300mm
M		300mm	300mm
A1		300mm	300mm
B1		300mm	300mm
C1		150mm	150mm
D1		300mm	300mm
E1		300mm	300mm
F1		300mm	300mm
G1		300mm	300mm
H1		300mm	300mm
I1		300mm	300mm
J1		300mm	300mm
K1		300mm	300mm
L1		300mm	300mm
M1		300mm	300mm
A2		150mm	150mm
B2		300mm	300mm
C2		300mm	300mm
D2		300mm	300mm
E2		300mm	300mm
F2		300mm	300mm
G2		300mm	300mm

CONCLUSION:

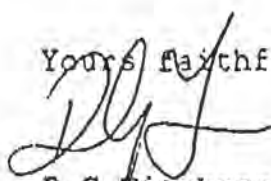
As firm material is indicated at all scale tests down to the depths shown in column (1) above, the site shown as "nominated building area" is suitable for the erection of light timber framed buildings in accordance with NZS3604:1990, not requiring specific design subject to the following recommendations.

Cam

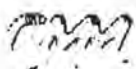
RECOMMENDATIONS:

1. That scala penetrometer tests be taken about the perimeter of any proposed building to be built beyond the area tested, to determine depth to firm material.
2. That for a concrete slab floor constructed in accordance with NZS3604:1990, all soft material be excavated down to the depths shown in column (1) above, and that the exposed base be backfilled, spread, and compacted in layers of 150mm with clean sand in accordance with NZS4431:1978 under an Engineer's observation.
3. That all piles, poles, rails and foundations be taken down into firm material as shown in column (2) above with the exception of anchor piles which must be taken down 900mm below firm material.
4. All topsoil and surface vegetation shall be removed from the proposed building site prior to a concrete slab construction and / or after piling.
5. That all foundations be subject to the normal inspections.

Yours faithfully


R G Fitchener

CUTTRISS MCKENZIE MARTIN LTD



[illegible]



JOB No 16104 DATE 2.8. 1994 SHEET No 2 of 3

HQ BOX 30 1:30
 Feb 104) 651-919

LOWER HUTT
 ELMWOOD RD 156) 654-197

PROJECT

PROJECT SOIL TESTS

OFFICE PARAPARAUMLU

COMPUTED RGT

CLIENT GARTON HOLDINGS

LOT: 2 D.P. 78602

UTDNO: MILNE DRIVE

PENETROMETER/
AUGG

[illegible]

Cuttriss McKenzle Martin Ltd

PO BOX 30 429
Fax (04) 651-919LUNGA HUTT
Telephone (04) 504-197

JOB NO 16104

DATE 2.8.1994

SHEET No 3 of 3

PROJECT SOIL TESTS

OFFICE PARAPARAUMU

COMPUTED R.G.T.

LOT: 2 D.P. 78602

PENETROMETER/
ADDER

CLIENT GARRON HOLDINGS LTD NO: MILNE DRIVE

TEST NUMBER (SEE DIAGRAM)

DEPTH
IN
MM

A2

B2

C2

D2

E2

F2

G2

H2

I2

J2

K2

L2

M2

0

150

300

450

600

750

900

1050

1200

1350

1500

1650

1800

1950

2100

2250

2400

2550

2700

2850

3000

3150

3300

3450

10

5

7

3

2

2

5

26

13

17

9

8

12

16

43

20

26

17

19

24

31

63

32

55

23

31

41

48

43

19

28

45

55

62

34

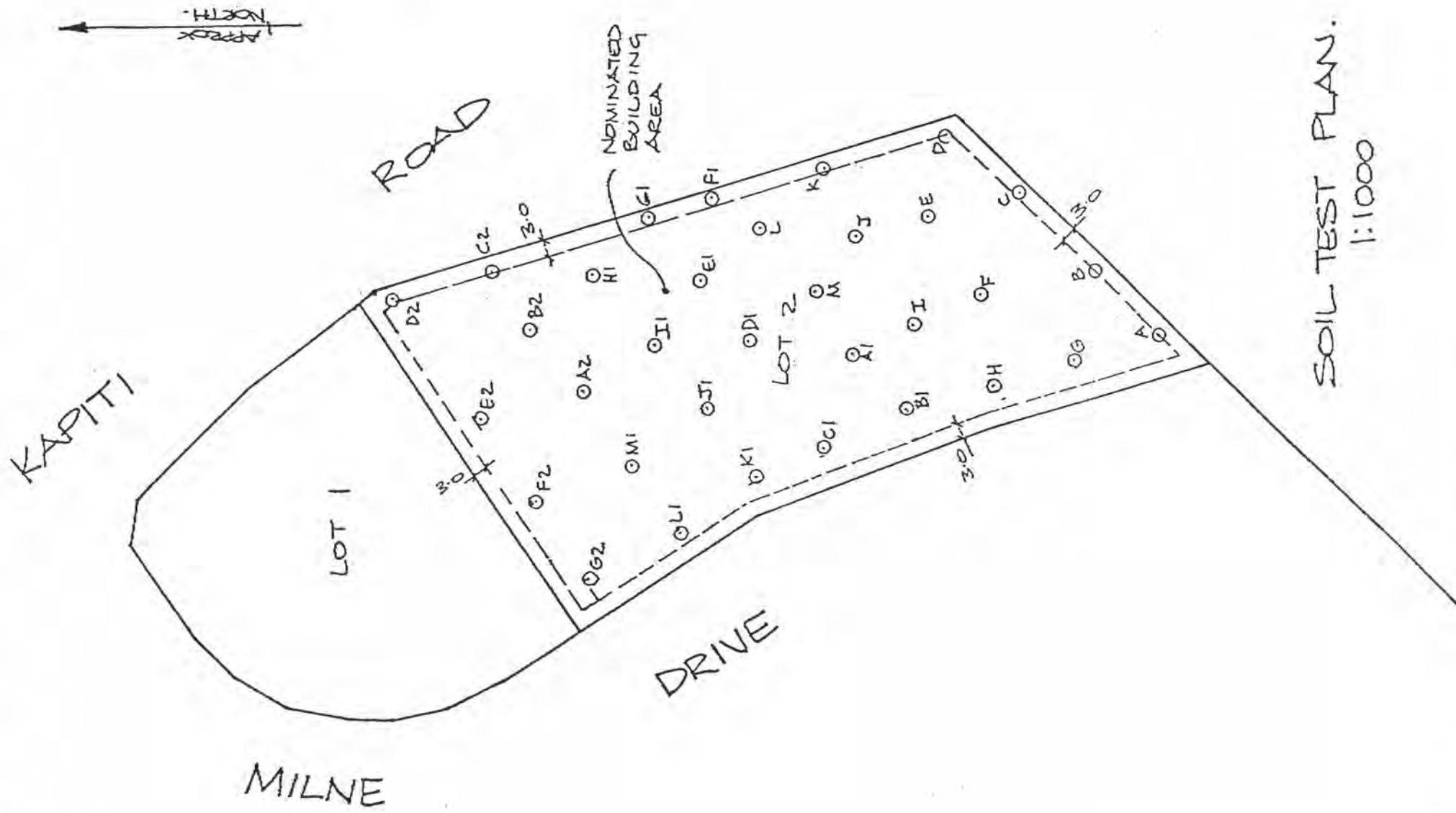
42

50

60

68

76



SOIL TEST PLAN.
1:1000

CM



Cuttriss, McKenzie, Martin Ltd.

RESOURCE MANAGEMENT CONSULTANTS
REGISTERED SURVEYORS — CONSULTING ENGINEERS

Directors

BARRIE N SHUTE FNZIS
ALAN L MILNE MNZIS
ROBERT T SOWRY MNZIS
W MARK EDGAR B SURV MNZIS

PO BOX 1445
State Ins Building
173 Rimu Road
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15104:Titchener

2 August 1994

The Subdivisional Engineer
Kapiti Coast District Council
Private Bag
PARAPARAUMU

STATEMENT OF PROFESSIONAL OPINION AS TO
SUITABILITY OF LAND FOR BUILDING DEVELOPMENT

Site: Lot 2 DP 78602

Owner: Garton Holdings Ltd

Location: Milne Drive / Kapiti Road, Paraparaumu

I, Ross Gray Titchener of Cuttriss McKenzie Martin Ltd, P O Box 1445, Paraparaumu:

Hereby confirm that:

1. I am a Registered Engineering Associate experienced in the field of soils engineering and was retained by the subdividing owner as Soil Engineer of the above property.
2. The extent of my inspections during construction, and the results of all tests carried out are described in my report dated 2.8.94.
3. In my professional opinion, not to be construed as a guarantee, I consider that:
 - (a) The earth fills shown on the attached plan No 16104 have been placed in compliance with the Code of Practice of the Kapiti Coast District Council.
 - (b) The completed works give due regard to land slope and foundation stability considerations.

(c) The filled ground is suitable for the erection thereon of buildings not requiring specific design in terms of NZS 3604 and related documents providing that:

(i) All buildings are built within the nominated building area (three metres inside road boundaries).

4. A safe bearing pressure of soil supporting foundations is not more than 600mm below the surface level of the ground.

5. This professional opinion is furnished to the Council and the owner for their purposes alone on the express condition that it will not be relied upon by any other person and does not remove the necessity for the normal inspection of the foundation conditions at the time of erection of any dwelling.

Signed.....



.....Date.....

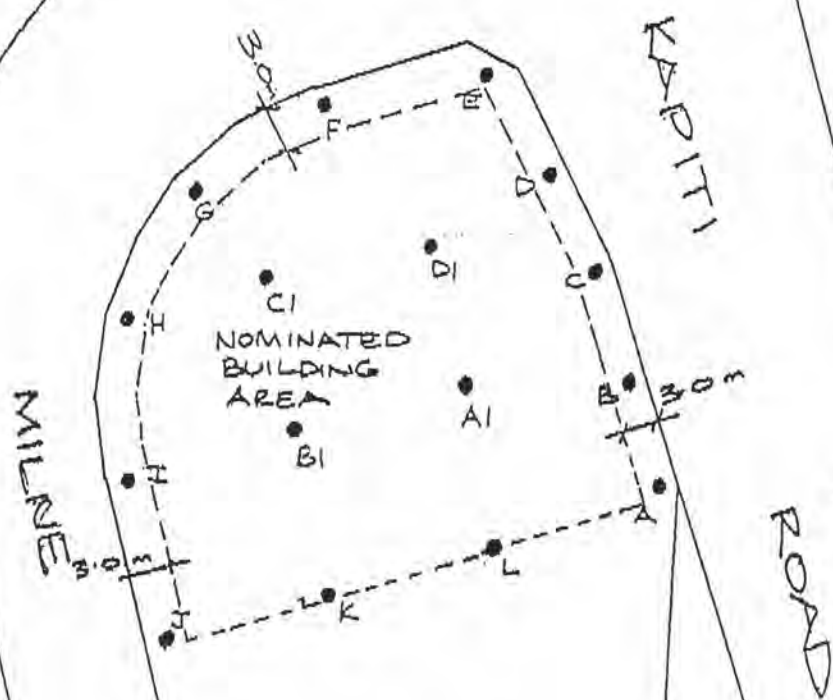
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GOLFTECH

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KAPITI COAST
DISTRICT COUNCIL

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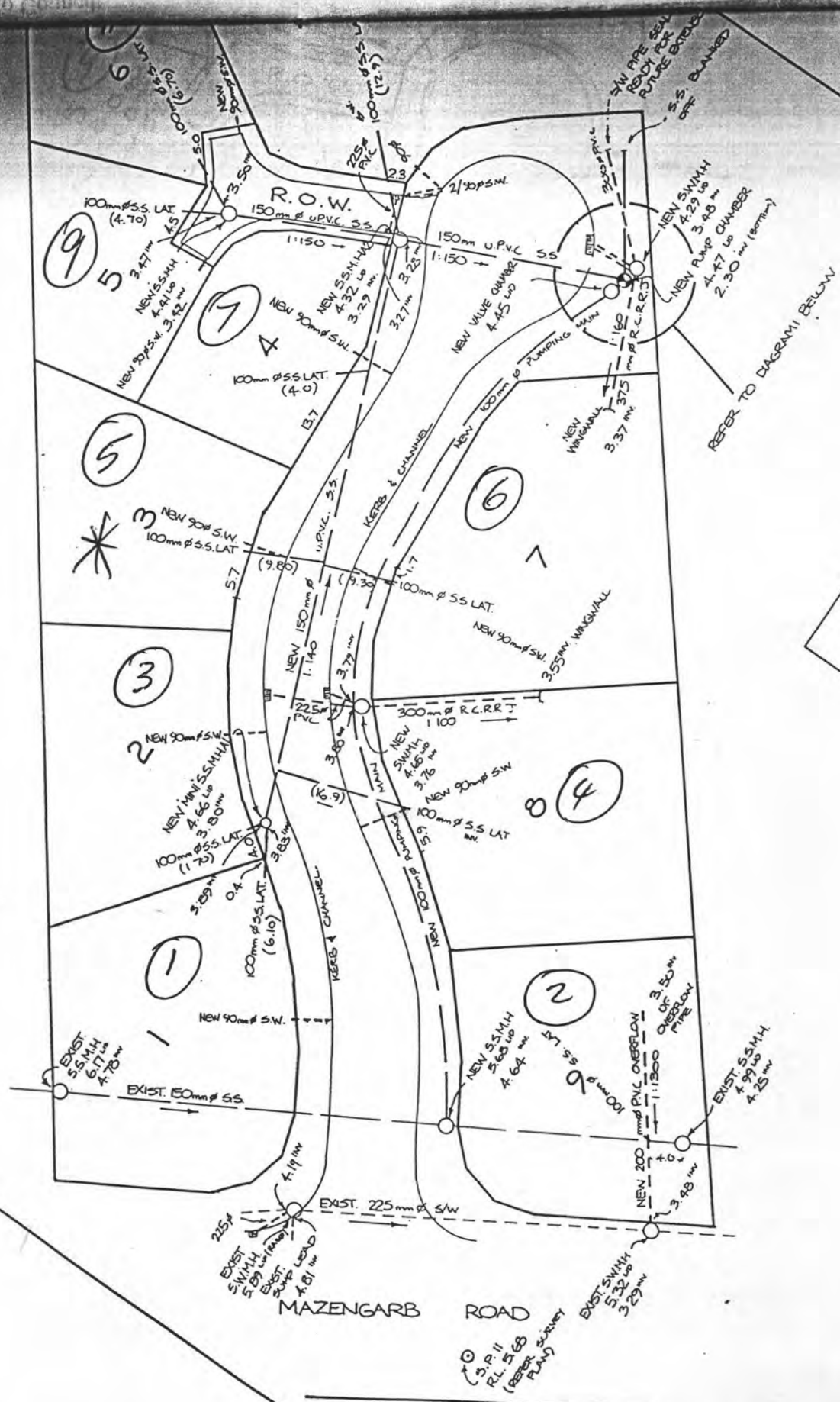


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25 AUG 1994

JOB No.

SOIL TEST PLAN 1:1000
16104



GENERAL SPECIFICATION

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MORGAN RESIDENCE, III
Lot 2, PP81173
Stella CRT
PRM.



PRELIMINARY & GENERAL

1.01 SCOPE OF WORK

This contract comprises the supply of all plant, materials and labour necessary for the construction, completion and maintenance of the whole of the work specified herein and / or shown on the drawn.

1.02 CONTRACT DOCUMENTS

The following documents form this contract:-

- (1) Builders tender and Building agreements
- (2) This specification and addendum sheet
- (3) Working drawings

1.03 SITE

The contract is based upon the site conforming with:

- (a) Levels and / or contours as shown on the drawings together with specific foundation details drawn or specified.

or

- (b) Level site.

The sub soil is of sufficient strength as to necessitate only the minimum foundations requirement of the Local authority or Lending institution, unless otherwise drawn or specified.

Where the sub soil is not of sufficient strength to meet the requirements of minimum foundations, all additional work, labour and materials to provide adequate foundations or bearing capacity shall become a variation to the contract (this includes previously cultivated ground and filled sites.)

1.04 DRAWINGS AND SPECIFICATIONS

This specification is to be read in conjunction with the plans, working drawing s and any other detail drawing which may be issued. All figured dimensions shall be taken in preference to those scaled. All detailed drawings shall supercede those to smaller scale.

If any error or inconsistency should appear in or between the drawings and specifications, the drawings shall take precedence and such differences are to be referred to the designer for interpretation.

1.05 BYLAWS AND PERMITS

The whole of the work shall be carried out in accordance with and shall conform to the Bylaws and Regulations of the Local Authority and the requirements of the owners mortgagor.

The contractor shall obtain all permits and pay all inspection and other fees necessary for the carrying out of the contract.

Note: Crossing Fees - Upgrading Right of Way

The contractor shall pay necessary deposits or fees for sealing, vehicle crossings, etc, as required by the Local Authority only to allow permits to be uplifted. All such amounts are the liability of the owner, and such amounts as required charged as extra.

1.06 INSURANCES

Prior to commencing construction of the contract, the contractor shall purchase the following insurance for the period of the contract (excluding maintenance).

- (a) Workers Compensation Insurance as stipulated by the Act.
- (b) Contractors "All Risk Insurance" or "Fire Insurance" insuring against loss or damage by fire in the joint names of the contractor and the owner to the full insurable value.

1.07 MAINTENANCE

Where required by the Agreement between the owner and the contractor the contractor shall undertake to remedy any defects in the dwelling within 31 days after completion.

The owner will notify the contractor in writing of any items which require rectifying within 31 days.

1.08 VARIATIONS

No variations shall be considered unless the contractor prepares a separate estimate for such work.

The contractor shall not be obliged to undertake any variation until the owner has given approval by signing and returning the variation to the contractor.

1.09 MONETARY ALLOWANCES

A prime cost (P.C.) sum shall be varied by the substitution for the prime cost sum of the actual price paid by the contractor for the particular work or materials supplied and the contract price shall be increased or decreased (as the case may be) by the amount by which such sum is varied. These shall be added to or deducted as the case may be, a sum representing such percentage as is normally charged by the contractor, but in no case shall such percentage exceed ten percent of such variation.

1.10 TEMPORARY SERVICES

The contractors shall provide and maintain all temporary services necessary for the work, and give notices and pay all dues in connection therewith.

1.11 SETTING OUT

The contractor/or his employees shall be responsible for setting out the works as shown on the drawings and to maintain set out level pegs and control pegs during the currency of the contract. Site boundary pegs are the owners responsibility.

1.12 COMPLETION

The contractor or his employees shall remove all rubbish and equipment accumulated during construction, remove all temporary work and leave all services in good order, rake out all rubbish, leave floors broom clean and windows whole and clear.

1.13 MATERIALS SUBSTITUTION

Where the use of Brand names are used in this specification, substitution may be made, provided the substitute materials used are of equal or better quality than the item being replaced.

1.14 SCAFFOLDING

The owner is required to provide the necessary scaffolding, lifting equipment and protective measures required by the contractors, to the satisfaction of the Scaffolding Inspector and in accordance with the Construction Act 1959 and its amendments.

1.15 SPECIALIST PRODUCTS

The insertion of the name of any firm or proprietary article in this specification is to be read merely as an indication of the class or quality required, such goods may be obtained from any other firm subject to the approval of the Architect.

EXCAVATIONS

2.01 PRELIMINARY

The whole of the works shall be carried out in accordance with and shall conform to the Bylaws and Regulations of the Local Authority.

2.02 SETOUT

Set out the whole of the excavations to the layout and overall dimensions as required.

2.03 CLEARING SITE

Clear off all vegetation over the area of the proposed building.

2.04 UNSTABLE GROUND

Where loose, soft or otherwise unstable ground is encountered, the excavation depth is to be increased until solid bearing is reached. An extra to the contract will be made for such work.

2.05 EXCAVATION CONCRETE FLOOR

(i) Excavations:

Remove vegetation and top soil over the whole of the building area as shown on the drawings, to a minimum depth as required by the Local Body for the lending authority. Excavate for all foundations shown on plan to a solid bearing at a minimum depth of 300mm below adjacent ground level.

(ii) Backfilling:

Backfill against exterior of foundations as required with clean excavated material well compacted.

(iii) Filling under Slab:

Filling under all concrete floor to the underside of the floor slab with hard material lacking fines. This layer shall be well consolidated and its surface shall be blinded with clean fines well rolled and consolidated.

2.06 INSPECTION

All excavations are to be inspected by the Local Authority prior to placing any concrete or filling.

CONCRETE WORK

3.01 PRELIMINARY AND GENERAL

Note all clauses under preliminary and general of this specification which shall apply to this section of the work.

3.02 EXTENT OF WORK

Comprises the setting out, boxing and placing of concrete in the foundations, floor slabs, walls, beams and bands and any other concrete work shown on the drawings.

3.03 MATERIALS

Water for concrete shall be fresh, potable quality added only in sufficient quantity to make a stiff but workable mix.

Cement shall be fresh portland cement and shall be carefully handled and stored away from moisture until used.

Concrete shall be ordinary grade concrete with a minimum specified crushing strength of 17.5mPa after 28 days curing except where a higher grade of concrete is required.

Site mixed concrete shall consist of 4 parts coarse aggregate, 2 parts fine aggregate and 1 part of fresh portland cement. Maximum aggregate size shall be 20mm. Alternatively, properly graded and mixed clean, sharp "all in" aggregate may be used mixed in a ratio of 4.5 parts aggregate to 1 part fresh Portland cement. Care must be taken to ensure that measures of the aggregate and cement are the same volume. Each cubic metre of concrete shall contain not less than 8 bags of cement. Ingredients shall be mixed in a power driven mixer for not less than 1.5 minutes after all the ingredients have been added.

3.04 REINFORCING

Reinforce foundations walls, footings and beams as required. All main reinforcing bars shall be deformed bars continuous around corners and through steps in footing and walls. Tie bars between main bars may be plain round bars. Reinforcing shall be neatly and accurately bent and placed as required. Tie all laps and crossing with 16 gauge black iron wire. Generally, reinforcing in foundations and walls shall be placed in the centre unless otherwise required.

Provide 75mm bottom and side cover to all steel below ground level and 50mm minimum elsewhere except otherwise required. Place concrete or plastic spacers to hold steel in position and to maintain correct cover.

Laps in deformed bars shall be a minimum of 40 x diameter and shall be staggered at random.

Openings in foundation walls shall be trimmed with a minimum of 1/D12 bar extending not less than 600mm beyond the edges of the opening.

3.05 FORMWORK

Formwork generally shall be of 12mm minimum thickness plywood shutters or 25mm nonstaining boarding so constructed that it can be easily removed without damaging the concrete. It shall be constructed true to line and level and shall be effectively propped, tied and strutted to prevent deformation or movement under the load of wet concrete. Form all openings in formwork for vents conduits or ducts.

3.06 FOUNDATIONS

Foundation footings, walls and reinforcing shall be as shown on the drawings. All footings shall be laid on a clear, level bed, (see also -Excavations).

While concrete is still green, place all bolts for holdings down wall plates, bearers, braces etc. Bolts for holding down wall plates shall be not less than 10mm dia, set not less than 75mm into the concrete, cranked for anchorage. They shall be set not more than 300mm for a corner or end of a wall shall be spaced at not more than 1.4m centres. Each length of plate shall be held down with not less than 3 bolts. 900

Bearers shall be fixed to foundation walls or nib piers with 12mm dia., bolts set not less than 150mm into concrete.

3.07 CONCRETE SLABS

Where shown on the drawings, cast concrete slabs the porches and floors. Slabs shall be a minimum of 100mm thick and shall be reinforced with H.R.C. 668 mesh placed 35mm max. from the top of the slab. Lap mesh 230mm at edges.

Before casting slabs (except porch slabs), blind hardfill with sand to a depth of 25mm. Lay vapour barrier of 0.10mm polythene or approved damp course underlay. Joints shall be lapped 150mm and sealed with polythene tape. Vapour barrier shall be continuous across beams and footings as shown. Where pipes penetrate the vapour barrier they shall be wrapped with tape to provide a seal.

Care shall be taken whilst pouring concrete to ensure that the vapour barrier is not damaged. Tears shall be repaired before concrete is poured.

Slabs shall be screeded level with falls where shown on the drawings.

After the initial set has occurred, finish surface of slab with a steel float, taking care not to pull the aggregate or form ridges.

Care should be taken not to excessively work the surface, drawing excess laitance. Should this occur, the surface shall be treated with a hardening substance to prevent dusting.

Slabs shall be finished level with a tolerance of +4mm in the length of a 3.0m straight edge.

Concrete shall be kept from premature drying out by keeping damp for a period of 5 days after pouring.

3.08 PLACING OF CONCRETE

Concrete shall be mixed as close to the work as possible and shall be placed from the mixer directly into the formwork. Concrete in formwork shall be compacted by means of immersion vibrators, handled by competent operators or by other suitable tools. Care shall be taken not to excessively work the concrete.

3.09 PORCH AND TERRACE FLOORS

Concrete slabs to be minimum 100mm thick supported on consolidated hardcore filling and laid with an even fall to exterior edges.

Supporting walls to be minimum 100mm thick concrete.

Steps to have treads and risers of size shown on drawings and to have a minimum 100mm throat.

All reinforced as detailed on drawings. All concrete surfaces which are to be plastered are to be cross combed to form key for plaster.

3.10 CONCRETE BLOCKWORK

3.10.1 REFERENCE

This portion of the specification relates to materials, methods and finishes required for all the concrete blockwork to be carried out by the contractor.

3.10.2 GENERAL

Use workmanship complying with NZS4210P (1981)

Use only expert blocklayers specialising in the laying of concrete blocks.

3.10.3 BLOCKS

Use Class A quality concrete blocks free from staining and defects. Use Onoda NN blocks for exterior surfaces.

3.10.4 BLOCKLAYING

Lay all blockwork in accordance with NZS 410P (1981)

Lay blocks true and level as detailed throughout in stretcher bond.

Check that starter rods are firmly fixed and correctly located in boxing prior to concrete being poured.

Form clean outs at positions least objectionable to wall finish. Clean outs shall be saw cut in blocks and not less than 90mm high x 100mm wide.

Obtain owner's approval for method sealing clean outs before grouting.

Hose down cavity at least twice daily or whenever work is interrupted for 30 minutes or longer. Ensure cavity is completely free of all debris prior to filling.

Strike off mortar squeezed from joints as work proceeds. Add mortar where required to ensure completely filled joints. Tool joints so that the intersection of horizontal and vertical joints are even without projecting lips. Compress mortar in all joints and finish with a concave joint surface.

Fully brace and support blockwork walls during the pouring and setting of concrete.

Lay all blockwork to give a fairface finish to all exterior and exposed interior surfaces unless otherwise detailed.

3.10.5 TOLERANCES

Erect blockwork to the following tolerances:

Plumbness of lines, surface joints of faces:

In 3m maximum: +/- 5mm maximum

In any one storey or 6m maximum: +/- 10mm maximum

In 13m or more: +/- 20mm maximum

Levels of blockwork courses, lintels and bond beams:

In 6mm maximum: +/- 5mm maximum

Overall variation: +/- 10mm maximum

3.10.6 REINFORCING STEEL

Use grade 275 plain or deformed reinforcing steel to sizes detailed.

Ensure correct steel placing during grout pouring.

3.10.7 MORTAR

Use mortar complying with NZS 421OP (1981) Section 3.

Add Onoda NN waterproofing administered in proportion of 6% by weight of cement to mortar in lieu of lime. Pre-mix Onoda in half the quantity of mixing water. Mix mortar for eight minutes. Use mortar with 5.52 MPa strength after 7 days, 12.41 MPa after 28 days and a slump of 75mm +/- 6mm.

3.10.8 GROUT

Use grout complying with NZS 421OP (1981) Section 4.

Use site mixed grout with a spread of 450 to 530mm range. Test grout for spread every sixth batch.

3.10.9 GROUT PLACING

Place grout in accordance with NZS 421OP (1981) Section 13.

Place grout by the high lift continuous consolidation method in accordance with NZS 421OP (1981) Section 14.

Consolidate all grout with a pencil vibrator of 6000 to 12000 full cycle per minute frequency. Insert and withdraw vibrator slowly. Provide two vibrators on site at all times during grout placing in case of vibrator failure.

3.10.10 CEMENT PLASTER

Allow for hardwall plaster surfaces as shown on the plan to the following areas:

- a) Horizontal verandah surfaces between the quarry tiles.
- b) Vertical verandah edge
- c) Chimney

CARPENTRY

4.01 PRELIMINARY

The whole of the works shall be carried out in accordance with and shall conform to the Bylaws and Regulations of the Local Authority and Mortgage Institution.

The contractor shall obtain all permits and pay all inspection and prepay other fees necessary for the carrying out of this contract.

4.02 EXTENT OF WORK

Comprises the supply and fixing of all timberwork, lining, sheathing, fittings, finishings and hardware specified or otherwise required as shown to the best trade practice.

Cut away for, attend on and make good after all other trades.

Provide and fix all necessary beads, stops, fillets, etc as may be required. Leave all working parts in good working order.

4.03 MATERIALS

All materials shall be new unless otherwise specified and the best of their respective kinds.

All timbers shall be as specified and graded according to NZS 169 and shall be straight and in as long lengths as procurable. All treated timbers shall be in accordance with the timber preservation Authorities regulations. Framing timbers to which linings are to be fixed should be gauged to eliminate variations in sizing. Exposed exterior and interior finishing are to be machine dressed to a constant thickness and width.

4.04 WORKMANSHIP

Workmanship of the best shall be employed in thoroughly securing and framing together spiking or bolting down as may be required.

All nails in exposed work are to be punched below the surface.

4.05 PAINT PRIMING

All exposed exterior woodwork including laps, rebates mitred joints, etc. where paint finished shall be primed and where stain finished shall have one coat of stain prior to fixing.

4.06 DAMP ROOF COURSE

Lay an approved 3-ply bitumen-fabric DPC or other approved material under all timber which is in direct contact with concrete or masonry construction.

4.07 BUILDING PAPER

Provide breather-type building paper complying with NZS 2295 and secure to the exterior face of stud framing or sheet bracing material. Run building paper horizontally with upper sheets lapping over lower not less than 75mm. Adequately secure to plates, bearers and studs, extending from upper side of top plate to the underside of the bearers of wall plates supporting the ground floor joists. Replace or adequately repair immediately before fixing exterior sheathing if punched or torn.

4.08 TIMBER GRADES

The builder shall allow for all timbers as specified below:

Sub floor framing	- B A Ht Rimu or H3 treated pinus radiata
General framing	- Boric treated No 1 framing graded Pinus Radiata or BA Rimu
Exposed beams, rafters, joists and trusses or as detailed on plans	- Clean Douglas Fir or Oregon
Interior finish	<i>MDF. OR Plaster.</i>

4.09 FLOOR JOISTS

Floor joists shall be of the sizes, and at the centres indicated on the drawings.

Gauge joists level and in straight lines. Provide minimum landing of 32mm on their supports except for cantilever joists. Joists may be butted over supports except joists to which diagonal bracing is attached. These joists and every third joist, shall be lapped 300mm over the centre of a support or shall be 300mm timber flitch plate centre on the joint and connected to each joists with 4/100mm nails to each joists. Alternatively 2 connectors each having a capacity of 3 kN may be used.

Provide double joists under all load-bearing walls. Double joists may be separated by 50mm packings at not more than 600mm centres. Non load-bearing walls shall be over joists or may be supported by 100x50mm blocking between parallel joists at each end of the wall, at each side of door openings and at not more than 1.2mm centres.

Fix 25mm thick boundary joists as trimmers to the ends of all joists required. Fix other support as detailed on the drawings or required by NZS 3604.

Provide full depth blocking or herring bone strutting at the mid span of all joists exceeding 2.4mm span as indicated on the drawings. All joists shall be fixed to supporting bearers, beams or plates as required by the nailing schedule, with additional fixings as required.

Provide dwanging between joists at the line of all joists in flooring and for ceiling linings where the joists are for an upper floor.

4.10 WALL FRAMING

Frame up for walls and partitions as required. Studs shall be cut square at ends or true to angles of gable or sloped frames. All studs shall be continuous for their full length from top to bottom plates including plates at roof level on gable frames. Fix ribbon plate to studs for fixing ceiling joists at gable and frames.

Framing shall generally be out of 100x50mm or 75x50mm No 1 framing grade H1 treated pinus radiata.

Top and bottom plates shall be sizes complying with tables 18 and 19 of NZS 3604 and as required. Studs shall be of sizes and at the centres shown on the drawings and as required by tables 12, 14 and 15 of NZS 3604. Provide two rows of dwangs in the height of each wall to provide stiffness to framing and support for linings.

4.11 LINTELS

Lintels shall be of sizes shown on the drawings and complying with table 16 of NZS 3604 (see appendix A).

Lintels shall be supported at ends by checking trimmer studs not less than 15mm not more than 20mm for 100mm deep lintels. Lintels not exceeding 200mm deep shall be supported by 50mm thick doubling studs. Lintels not exceeding 300mm deep shall be supported by 75mm thick doubling studs. Lintels shall be fixed to trimmer studs and trimmer studs to floor joists at the bottom with 25mm galv. straps or other similar fixings as required by NZS 3604. Refer also to drawings and / or fig. 41 NZS 3604.

All nailing of treated framing shall be as shown in the nailing schedule NZS 3604 table 30.

4.12 BRACING

All bracing elements shall be located strictly in the positions required.

Metal bracing shall be 22x22x1.2mm galv. steel angle or pairs of 22x22x1.2mm galv. strap braces fixed to top and bottom plates and studs as shown in the nailing schedule. Each length of strap bracing shall be fitted with purpose made tensioners and properly adjusted.

Where angle braces are used, they shall be set in straight lines and saw cuts in framing shall be only of sufficient width and depth to neatly accommodate the bracing. Excess depths of cuts will not be permitted and studs cut to excess depths will be removed and replaced.

Bracing shown on the drawings is required to satisfy the requirements of NZS 3604. The contractor may provide additional bracing to hold frames square and true during erection.

The plan lengths of bracing elements shall not be less than that shown on the drawings or in the bracing schedule.

Cladding or linings forming part of the bracing element shall be fixed to the framing ALL ROUND with fixings at centres set out in the nailing schedule.

Generally types 1 and 3 bracing elements require the lining to be fully fixed on one face of the framing only while types 2 and 4 require complete fixing of the lining on both faces of the framing over the area of the wall containing the brace.

Sheet bracing shall be of the materials and shall be fixed in the locations shown on the drawings. In additions to the nail fixing required in the nailing schedule sheet bracing elements shall be connected to bottom plates and joists or boundary joists as shown in fig. 47 of NZS 3604.

Bottom plates shall be held down to slabfloors with 12mm dia. bolts or proprietary fixing not more than 150mm from the bottom corners of sheet bracing elements with galv. straps or similar fixings of 6kN capacity between bottom plates and end studs of sheet bracing elements all as shown in fig. 47 NZS 3604.

Internal walls containing bracing elements shall be connected to exterior walls at right angles at top plate level either directly or by a framing member in the line of the wall. Connections shall be made using nail plates or 25x1mm steel straps with 6/30x2.5f.h nails into each member. Top plates in walls containing bracing elements shall be butted together and jointed with metal connections as above. See addendum and drawing for nail plate sizes and number of steel plates required at each connection. See also clause 6.73, and fig. of NZS 3604.

4.13 POSTS AND BEAMS

Where required erect posts and beams of timber treated to TPA C7 specification. Except where otherwise required posts shall be anchored to concrete base pads with 50x6mm galvanized Steel fish-tailed straps 450mm long set 225mm min into concrete each side of posts. Fix posts to plates with 2/12mm dia. galv. bolts. Connect posts to beams with 50x6x400mm long galv. steel plates each side and 2/12mm dia. galv. bolts through plates into each member. All concrete pads, anchorages, joints and fixings shall comply with the requirements expressed or implied by clause 7 of NZS 3604.

4.14 ROOF AND CEILING FRAMING

Frames up for roof as required. Where roof trusses are used, they shall be constructed in a properly equipped factory using nail plates at all joints.

4.15 TRUSSES

Unless otherwise approved by the local authority engineer roof trusses shall be constructed in a properly equipped factory using nail plates at all joints and shall be constructed to standard designs of the nail plate manufacturer or to designs prepared by a registered engineer. All trusses shall be certified by the fabricator as being constructed to the standards required by the designer and each truss shall be labelled in accordance with the requirements of NZS 3604, cl. 10.2.3.

Where alterations to standard designs are required to fit the construction the design amendment is to be carried out by the original designer and the fee for the work is to be allowed for in the tender.

Trusses shall be carefully handled and stacked on site to prevent damage. Damaged trusses shall be removed from the site or repaired to the satisfaction of the designer or fabricator.

Trusses shall be fixed to top plates with 2/skewed 100x3.75 nails plus additional fixing to top plate and wall studs consisting of 4mm dia. wire dogs, 4mm dia. galv. wire ties wrapped over top chord and stapled to studs with min. 3/30x2.5mm galv. staples, or by other connectors to comply with NZS 3604, cl. 10.2.5.

Connect jack trusses to common trusses with connectors and blocking as detailed by the truss designer.

Provide 75x50 blocking between bottom chord, or ceiling battens as shown on the drawings.

4.16 PURLINS AND TILING BATTENS

Securely fix purlins and/or tiling battens as required. Purlins shall be set out equally along the length of the rafter at centres not greater than shown on the drawings. Fix purlins to rafters with nailing as required in the nailing schedule plus any additional fixings as required.

Tiling battens shall be of the sizes required and at centres to suit tiles. Tiling battens shall be supplied and fixed by the roofing sub-contractor. The main contractor shall provide temporary members required to hold roof framing in position until tiling battens are fixed.

4.17 ROOF BRACING

Provide and fix roof bracing as shown on the drawings and required by NZS 3604. Roof plane bracing shall consist of pairs of 25x1.2mm galv. steel strap bracing with 1 tensioner for each 3.6m of brace (or part thereof) fixed to each truss or rafter at crossing point and to the top plate of external walls as required in the nailing schedule. Bracing may be fixed to either the top or under-side of the rafters.

Where required fit roof space bracing complying with clause 10.5.3 of NZS 3604.

Braces shall consist of a single member or otherwise be pairs of 100x50 members spaced 50mm apart and nailed together through blocking pieces not more than 1m apart for effective lengths up to 5.2m max. Braces shall be fixed to blocking between rafters or ridge at the top and a 100x50 brace runner at the bottom connected to ceiling framing. Bracing and blocking shall be fixed as set out in the nailing schedule.

Hip end jack rafters or rafters in heavy hip roofs shall be braced from the top plate to an internal wall bracing element above the level of the ceiling joists. Brace with 100x50mm timber on the flat fixed to end wall framing, each truss chord or ceiling joist it crosses and to the wall bracing element as shown in figures 55 and 56 of NZS 3604.

4.18 DWANGS AND BATTENS

Provide dwangs around the perimeter of all ceilings areas and between ceiling joists or truss bottom chords at 900mm centres. Dwangs shall be 75x50mm fixed on edge. Where battens for ceiling linings are required they shall be of the sizes and at the centres shown on the drawings or as required by table 29 of NZS 3604.

Trim for ceiling access manhole where required. The access hole shall be not less than 500x600mm and shall be trimmed with framing of the same size as the ceiling members.

4.19 EXTERIOR CLADDING

Exterior cladding shall be as shown on the drawings and/or set out in the addendum. All materials shall be fixed according to the manufacturers instructions and details according to the best accepted trade practices. All linings shall be fixed over breather-type building paper. All fixing nails shall be galvanized or other non-corrodible metal as noted in the addenda.

4.20 SOFFITS

Where required line soffits with 4.75mm Hardiflex. Lining shall fit close to wall framing. Joints in sheets shall be set into extruded PVC mouldings. Fix with galvanised shear-point nails.

4.21 FLOORING

Lay high density, temporary water proofed, flooring grade particle board or t & g flooring as required. Joints in sheet flooring shall be made over supports. Where necessary provide 75x50mm dwangs between joists to provide this. Fix flooring to joists not less than 10mm from edges around all edges of the sheets and at each intermediate joist at centres shown in the nailing schedule.

4.22 INTERIOR LININGS

All interior linings shall be fixed strictly according to the manufacturers recommendations. See schedule of linings for materials to be used. All lining material shall be carefully stacked and handled on site to prevent damage.

4.23 ^{Gypsum} GIBBALTAR BOARD

Where required line walls with standard 9.5mm ^{Gypsum} ~~gibbaltar~~ board or 9.5mm ~~gibbaltar~~ ^{Gypsum} ~~gibbaltar~~.

Sheets may be fixed horizontally or vertically according to details provided by the manufacturer except that where the lining forms part of a wall bracing element or ceiling diaphragm nailing shall comply with the nailing schedule and each sheet shall be fixed on ALL EDGES. Linings to

exterior walls and ceiling, shall preferably be

Where Gibralter Board forms part of a wall bracing element or a ceiling diaphragms, they shall be fixed to framing all round and at intermediate framing as set out in the nailing schedule.

Except at bracing elements or ceiling diaphragms, linings may be fixed to framing using adhesive with supplementary nailing.

Leave 5mm gaps between sheets at joints. Where wallpaper is to be applied stop joints and nails with 4F stopping plaster or gibstopping compound feathered out approximately 100mm on each side of the joint and trowelled to a smooth, even surface. Where walls are to be painted joints and corners shall be finished using gib-bedding compound with stopping feathered out at edges. After stopping has set sand lightly to a smooth surface using 120 grit abrasive paper. Fix timber or expand metal strips at external corners of linings before stopping.

4.24 PRE-FINISHED WALLBOARD

Where required line walls and ceiling, with pre-finished wallboard. Linings shall be fixed to framings with wall board adhesive systems appropriate to the type of lining. All joints shall be set in extruded PVC mouldings.

Where a wall bracing element occurs, prefinished wallboard lining shall be fixed over the Gib Board or Hard board lining forming part of the bracing element.

4.25 INTERIOR FINISHING TIMBERS

Provide and fix all skirtings, architraves, scotias, sill boards and others mouldings and beadings required to complete the works.

Skirtings shall be of M.D.F

4.26 SWITCHBOARD

Trim opening for switchboard in required location and form box to carry switch-board with provision for the board to be hinged for access to wiring at the rear. Line the inner faces of the switch-board box with firestop gib. board or 2 layers of 9.5mm gib. board. Fit door catch to face of switch-board.

4.27 HARDWARE

The contractor shall allow in his tender the PC sum shown in the addendum for hardware. Allow for taking delivery of and fixing of all items supplied from the PC sums (see P & G). Items to be charged against PC sums shall include door latches, locks and furniture; cupboard catches and pulls; sliding door tracks and fittings; towel rail, and other similar items; but shall not include nails, bolts, screws, hinges or similar miscellaneous connecting devices or fixings.

4.28 FLASHINGS

Ensure the delivery of machine folded flashings for exterior doors and windows (0.6mm aluminum.) and install above and around as detailed or otherwise required. *where required*

JOINER AND GLAZIER INCLUDING ALUMINIUM WINDOWS

5.01 Refer to Preliminary and General which covers all parts of the work.

5.02 SCOPE

Cupboards shelves and benches as shown. Interior and exterior doors and windows as shown and required.

5.03 FINISH

All Joinery work shall be machine sanded and finished by hand. Smooth all surfaces and paper off all arises. Leave ready to receive paint, or varnish as shown.

5.04 GLAZING

All glazing to NZS 4223:1985. All glazing clear except where specified on window schedule. To NZS 4223:1985

5.05 MIRRORS

N/A

High quality silver backing, exposed edges rounded and polished, glue pad fix to suitable substrate, vinyl backed for safety.

5.06 MATERIALS

All timber shall be of the grade specified, thoroughly seasoned, cut square and of the full dimensions necessary to the New Zealand National Grading Rules NZS 169. Where required, all timbers shall be treated in accordance with the requirements of the Timber Preservation Authority.

Moisture content of timber shall be 12% to 18% based on oven dry weight. These percentages shall apply at the time of machining and at the time of installation. All timber must be straight, sound, free from checks, splits and other defects.

5.07 WORKMANSHIP

All joinery shall be made in accordance with the best trade practice of sound repute in suitable workshops by competent tradespeople using tools, machines and equipment appropriate for the job following the details, drawings and instructions to the approval of the Architect, to whom access to the site, all workshops and facilities shall be granted during normal working hours.

The assembling of doors, sashes, frames, fittings and the like shall be by means of those joints appropriate to the nature of the job.

5.08 TIMBER GRADES

Units

- two pot epoxy painted medium density fibreboard *or other*~~Stairs~~- ~~20mm H.D flooring grade particle board,~~
hardwood nosing

5.09 DETAILS AND DIMENSIONS

Check all scheduled dimensions on site prior to fabrication. Construct all joinery and fitted work true to detail.

Additional details, if required, will be supplied by the Designer upon request.

5.10 ALUMINIMUM WINDOWS

Details of window sizes and installation shall be supplied by the selected manufacturer before work is commenced to enable openings to be made to suit. These are to conform to NZS 4211 1985 (high wind classification 1400Pa D W P)

Sashes to be awning type on interlock stalls sashes and frame to have mitred corners and securely fixed with mechanical jointers. Seal joints with small joint sealant. Sashes to close against flexible Neoprene weather stripping all round supply with glass ready for installation. Fit sashes with one pair of wedge fasteners, Frames to be supplied complete with factory fitted 20mm thick customwood or treated pine reveal linings grooved to receive wall linings.

5.11 INTERIOR DOORS

1980 high x40mm thick hollow core flush doors.

JAMES M.D.F.

PLUMBER AND DRAINLAYER

6.01 Refer to preliminary and general which covers all parts of the work.

6.02 GENERAL

All plumbing work shall be carried out by a licensed Plumber to the requirements of the Local Authority and the New Zealand Building Act 1991.

Method of compliance will be to New Zealand Building Code.

All work shall be set out as shown on drawings services plan, except with prior permission from the Designer.

All materials shall be the best of their kind and to the Designers approval.

All work here described shall include all jointing materials, nails, lead wedges, wall hooks, collars, straps etc, necessary to the perfect completion of the job.

All fittings and work shall be in perfect working order on completion.

Liaise with carpenter for supply of all flashings to window joinery. *where required.*

6.03 MATERIALS

All cold water reticulation in polybutylene pipes.

All hot water reticulation in copper pipe. *or other.*

All wastes in UPVC to NZS 7641 as approved by the Local Authority.

Terminal and back vents in UPVC as above.

Spouting and downpipes as shown. (generally upvc)

6.04 WORKMANSHIP

All pipes shall be set in straight lines with even gradients avoiding places where airlocks are likely to occur. Use easy bend wherever possible.

Take pipes in the shortest most practicable route, however under the floor and parallel to joists if possible.

Conceal all pipes, wastes, vents etc within the framing at all places. Lag hot water supply pipe to outlets with spirally wound plumbers felt.

Fix all PVC to manufacturers instructions and make allowance for any expansion especially when cutting through framing.

Test all pipework for 60 minutes with full water and mend any leaks.

Ensure that galvanised iron, copper and aluminum are nowhere in contact by placing strips of 2ply bituminous fabric between them where this would otherwise occur.

Ensure that carpenter provides all necessary supports, grounds etc.

6.05 FLASHINGS

Supply, fold and fix flashings as required or requested in galvanized mild steel or powder coated aluminium.

6.06 SCOPE

- New services as shown.
- Connection to existing services, extend to connect.
- Supply and installation of all traps, wastes, vents etc.
- Installation of all fittings as shown.
- Extension of existing vents etc. through new structure.

6.07 DRAINLAYER

All drainage work shall be carried out by a licensed drainlayer to the requirements of the Local Authority and of the New Zealand Building Act 1991.

Drains shall not be covered until inspected, tested and approved by the Sanitary Inspector and to the satisfaction of the Designer. Apply for the necessary permits and pay fees.

6.08 MATERIALS

Sewer drains shall be 110diameter UPVC, conforming to NZSS 365, jointed with Neonprene sleeves tied 1.54mm FMB stainless steel. Inspection junctions, gulley traps, bends etc shall be first quality PVC.

Stormwater drain to be 100mm as above.

6.09 WORKMANSHIP

Drains are to be laid with even gradients not less than 1 in 50.

Refer to excavator for excavation and backfilling.

Take pipes in the shortest most practicable route.

6.10 COMPLETION

All drains must be checked before completion, and their location indicated accurately (including inverts) on an "as laid" plan submitted to the Designer.



PAINTER AND DECORATOR

7.01 PRELIMINARY

Note all clauses under preliminary and general of this specification which apply to this section of the work.

7.02 MATERIALS

In this section of the specification where the word "paint" is used the reference shall also apply to varnish unless obviously inapplicable.

Generally all materials shall be of NZ manufacture of approved brands. All paints and varnishes shall be delivered to the site in unopened cans. Paints shall be applied straight from the can, strictly in accordance to the manufacturers recommendations. Any thinning of the paint required shall be carried out strictly to the makers recommendations succeeding coats of paint shall be of the same brand, unless approved otherwise.

7.03 WORKMANSHIP

All work shall be carried out in accordance with good trade practice. Surfaces shall be clean and properly prepared before coating and work shall be in accordance with Code of Practice NZS 2239 "Painting of Buildings". Rub previously painted surfaces lightly with fine glasspaper between coats and wipe over with a tack rag to remove dust. All coats shall be laid off when finishing off to remove brush marks. DO NOT PAINT OVER UN-PUNCHED NAILS or other protruding fixings.

7.04 COLOUR SCHEMES

The owner will select from standard colour charts, colours he will require and the contractor is to allow for picking out sashes, doors, porches or any other reasonable colour change required.

7.05 STOPPING

After priming, all nail holes or joints are to be stopped with linseed oil putty and cleaned off before undercoating. Varnished work is to be stopped with matching putty after the first coat of sealer. Stop all nail holes and gaps in finishing timbers.

7.06 EXTERIOR PAINTING

Prime all exterior woodwork unless an oil finish is specified. After priming, all external woodwork and adjacent metalwork such as flashings, spouting and downpipes, is to be given one good undercoat followed by a finishing coat of high gloss paint (acrylic or enamel).

Wipe down all metalwork with solvent before priming.

Priming coats shall be well brushed in and all faces shall be covered, ends of laps and tops and sides of sashes, doors and such like. Sashes and doors shall be painted with enamel paint, not acrylic.

Hardiflex lining to eaves soffits shall be painted with 2 coats of PVA latex paint. Fibre-cement sheets (e.g. Hardiflex) shall be painted with 2 coats of acrylic gloss paint or shall be finished with other surface treatment as required. Exterior concrete block walls (except foundation walls) shall receive 2 coats of Resene, or other approved, concrete block sealer or masonry filler, well brushed into the surface, and applied strictly according to the manufacturer's specifications.

7.07 INTERIOR PAINTING

All interior finishes are to be as required. Wall linings and ceilings shall be given one coat of undercoat and finished with two coats of approved flat or semigloss paint as required. Where full gloss is required in toilets and cleaners cupboard the finishing coat shall be full gloss enamel. Doors shall be painted on both faces and all edges.

Allow to paint counter, carcass and shelves unless pre-finished surfaces are specified.

7.08 PAPERHANGING

Where required hang wallpaper or lining paper to walls, cupboards and ceilings. All walls shall be sized before papering. Lightly sand walls where necessary to remove excess stopping or protuberances. Wallpapers shall be hung plumb and true with edges carefully butt jointed. Carefully match all patterns and check rolls before hanging for variations in shading across the rolls or their defects.

Any mismatched or faulty papers will be rejected and replaced, including hanging, at no cost to the owners.

7.09 COMPLETION

At completion clean all paint marks off glass and other surfaces, re-touch all damaged paintwork and leave the premises ready for occupation.

ROOF COVERINGS

8.01 PRELIMINARY

The whole of the works shall be carried out in accordance with and shall conform to the bylaws and regulations of the Local Authority.

8.02 EXTENT OF WORK

This trade consists of the supply and fixing by approved fixers, of roofing and accessories as required.

8.03 METAL ROOF TILE

Materials: The tiles shall be from an approved metal roof tile manufacturer (colour selected by owner).

Underlay: Over the whole of the roof area fix underlay of an approved roofing felt. Lap over all hips, ridges and over fascia board to give drip into gutter.

Battens: Supply to manufacturers recommendations. Battens to be fixed at maximum 363mm centres with first batten 330mm from face of fascia.

Tiling: Lay tiles as recommended by manufacturer fixing to each tiling batten as work proceeds.

Ridges, Barges, Hips: Finish all ridges, hips and barges where shown on drawings, with coated cappings.

Valleys: Construct and finish valleys where shown on drawings as recommended by roofing manufacturer.

Flashings: Flash and over flash all projections through roofing. All flashings to be coated.

8.04 CONCRETE ROOF TILES

Materials: The tiles shall be from an approved concrete tile manufacturer (colour as selected by owner.)

Underlay: Over the whole of roof area fix underlay of 6.8kg saturated roofing felt. Lap over all hips, ridges and over fascia board far enough to give drip into gutter. Where the rise of the fascia above rafter top could cause ponding, an anti-ponding board or a device giving similar results should be provided.

Tiling: Lay tiles to a minimum head of 75mm. Secure every eaves course tile, every top course tile, all perimeter tiles with 57mm x 37mm and 50mm x 50mm battens. Secure every alternative tile within the body of the roof. The first course of tiling shall be fixed so as to provide an adequate projection over the fascia into the gutter.

Valleys: Cut tiling neatly and cleanly to the rake of the valley leaving a gap of 75mm to 100mm between the cut edges.

Hips: Fix starter hip tiles at the foot of all hips. Cut tiling closely to the rake of the hip. Cover all hips with ridge tiles to colour as specified, bedded and struck pointed in cement mortar coloured to blend in with tiles. Hips and ridge tiles must be bedded solid only at the ends or at the junction of hip and ridge. Starter hip ridge and every alternative ridge to be mechanically secured.

Cover all ridges with ridge tiles of selected colour bedded and pointed to match the tiles. The end ridge and every alternative edge must have weep holes fitted when mortar is still wet.

Mortar: All bedding mortar shall be specially mixed mortar and for the purpose shall consist of 4 parts clean sharp sand and 1 part cement and C.P. 30 or similar at the rate of 1.52 litres to 1 bag of cement. The mortar to be coloured to match tiling.

8.05 LONG RUN ROOFING

Materials: Zinalume steel roofing shall be 0.55mm thick Trimline profile. Roofing shall be pre-coated with "colourcoat" silicone modified polyester G2 in accordance with the manufacturers instructions.

Underlay: Building paper underlay shall be Duroid roofing underlay (D R U) or equal and approved.

Flashings: Flashings shall be fabricated from 0.55 G2Z sheet or 0.9mm aluminium sheet colour to match adjacent roofing as recommended by the manufacturer.

Spoutings: Spoutings shall be P V C fascia gutter on concealed brackets with down pipes and standoff brackets to match.

Fixings: Rivets, bolts, screws etc shall be compatible with adjacent materials so that no electrolytic action will occur.

Sealant: Sealant if required shall be 'Silaflex N' (Neutral Cured) by Fosroc and BR 606 preformed strip.

Birdproofing: Bitumenised foam strips to Trimline profile shall be 'Tetral' as manufactured by Aluminium supplies Ltd.

Form ridges, barges, hips and valleys where shown on the drawings as recommended by the roofing manufacturer.

8.06 ON COMPLETION

On completion of the roofing work clean down and remove all stains, nails, metal filings and other debris from all roof surfaces and gutters. Leave all roofing and flashings in a workmanlike, undamaged and weather proof condition on completion.

ELECTRICAL

9.01 Refer to the Preliminary and General section which covers all parts of the work.

9.02 GENERAL

All electrical work shall be carried out in accordance with the Electric Wiring Regulations 1961, and to Local Authority requirements and to the complete satisfaction of the Local Inspector and the Designer. All cutting and drilling of timber is part of the work, but care must be taken of the work of other trades.

The Electrical contractor is required to co-operate with the carpenter at all times in the fixing of his work.

All wiring is to be concealed, with a minimum of horizontal runs through walls.

9.03 MATERIALS AND WORKMANSHIP

All materials are to be of the best quality of their kind and free from defects.

Cable shall be TPS, securely clipped to framing where exposed.

Flush boxes may be nailed to framing provided flush plates are correctly aligned with finished wall surface.

Full width backing shall be provided for batten and ceiling roses, and any other fixtures attached to framings.

Arrangement of circuits shall be approved by the Designer prior to installation.

9.04 SCOPE OF WORK

Install all electrical work as shown and to selection.

Supply and install as necessary - cables, switches, lamps, fuses, MCB's and other fixtures necessary to complete lighting and power circuits.

9.05 COMPLETION

The whole of the electrical system must be tested and passed by the Power Boards Inspector before being taken over by the owners.

BRICKLAYER

11.01 PRELIMINARY AND GENERAL

Read and note all clauses under Preliminary and General of this specification where they apply to this trade, (these clauses shall also apply to veneer work of concrete block, split stone or similar materials).

11.02 RELEVANT SPECIFICATIONS

All work shall be in accordance with the requirements of NZSS 1900 CH 6.2 and NZSS 1900 CH 6.1.

11.03 MATERIALS

- (a) **BRICKS:** Bricks for external veneers and foundation walls shall be of the colours and type selected and shall comply with NZSS 366 Caly Building bricks Grade A or B. All fair face brickwork shall be laid with their best face outwards.
- (b) **CEMENT:** Cement shall be ordinary Portland cement and at the time of use shall comply with NZSS 1844 Portland cement.
- (c) **PLASTICIZER:** Plasticizer shall be used in accordance with the manufacturer's instructions and no other additives are to be used in conjunction with these materials. On no account will further additions be made at the time of retempering mortars.
- (d) **WATER:** Water shall be drinking quality and shall at the time of use be free from acids, alkalis and organic impurities.
- (e) **SAND FOR MORTARS:**
Sand used shall be clean, sharp and shall comply with the relevant clauses of NZSS 2129, 1967, Sands for mortar, Plasters and External Renderings.

11.04 PREPARATION OF MORTAR

Mortar shall be prepared by mixing in an approved batch mixer. Measurement of materials shall be by volume in a suitably calibrated device. Mortar shall be mixed until a homogenous mass is obtained but for not less than 5 minutes. All mortar, whether on the boards or left in the mixer, shall be used within 90 minutes. Mortar not used in this time shall be discarded.

11.05 BRICKLAYING

Brick shall be laid in stretcher bond, true to line, level and plumb, and in accordance with best trade practice. All work shall be laid from the lowest corner and no corner shall be raised more than more than 1.00mm above wall line. Corners shall be raked back. On no account will toothing be permitted. All joints will be completely filled with mortar and the bricks shall be shoved into place at least 10mm and shall be disturbed as little as possible after initial positioning.

Head joints shall be buttered on three edges, deeply furrowed joints will not be permitted and mortar shall be spread on the bed joint not more than 10mm thick and shall be tooled as directed as work proceeds. Where tapestry bricks are used, care should be taken to use a tool slightly smaller than joint width to prevent pushing mortar into the brick striations.

11.06 BRICK VENEER

Construct brick veneer as shown on the drawings and in accordance with NZS 3604. Mortar and workmanship shall be as previously specified. Veneer ties, and their anchorages, shall be designed and fixed so as to resist a lateral load in tension or compression of twice the weight of veneer which each tie supports, without elongation or shortening of the assembly by more than 1.2mm.

Ties shall be non-corrodible metal or shall be galvanised after forming, with a zinc coating. If of round bar they shall be of a minimum of 4.75mm; if of sheet metal they shall be of a minimum thickness of 1.3mm and a minimum width of 25mm. Sheet metal ties are preferred.

Approved ties shall be spaced at not more than 600mm horizontally and not more than 350mm vertically or 450 horizontally and 400 vertically. An air space of at least 40mm shall be maintained between timber frame and exterior veneer and weep holes shall be left every third joint for the discharge of ventilation to cavities. Care shall be taken to maintain the air-space and upstand free of any mortar droppings, protruding joints, or pipes or electrical wire, junction boxes, etc. Incorporate galvanised 4 mesh 1.0mm vermin proofing. Where shown build in bricksize concrete vents as required. All facing work shall be kept clean as the work proceeds. On completion, all brick work shall be left in a clean state. Clean down with a weak acid solution to remove mortar stains.

11.07 SILLS

Sills to be brick on edge, quarry tiles, or concrete slabs brought to the underside of sills. Junction between to be filled with 'Hydroseal' and over-pointed with cement mortar.

11.08 BUILDING PAPER

Cover the whole of the external face of framing with breather type building paper, lapped 150mm at joints and fastened to framing with large headed galvished clouts-(to be carried out by Carpenter). Veneer ties shall be fixed over the building paper. Fixing nails only shall penetrate through the paper.

there's a future here

KAPITICOAST
DISTRICT COUNCIL

PROJECT INFORMATION MEMORANDUM
Section 31, Building Act 1991

Applicant

K J & P G MORGAN
167 MAZENGARB ROAD

PARAPARAUMU BEACH

PIM Details

Consent/PIM No.: 970043
Date issued: 5/02/97
Date of applicn: 22/01/97
Valn No: 1526052600
Overseer: D Blaikie

Project Descrn: NEW CONSTRUCTION
BEING STAGE 1 OF AN INTENDED 1 STAGES
NEW DWELLING

Intended Life: INDEFINITE, BUT NOT LESS THAN 50 YEARS

Intended Uses: RESIDENTIAL

Project Location: 3 STELLA COURT PARAPARAUMU BEACH

Legal Description: LOT 2 DP 81173

Estimated Value: \$ 120,000

This project information memorandum is confirmation that the proposed building work may be undertaken, subject to the provisions of the Building Act 1991, and any requirements of the building consent.

This project information memorandum includes:

- ___ Information identifying relevant special features of the land concerned
- ___ Details of relevant utility systems
- ___ Details of authorisations which have been granted

SIGNED FOR AND ON BEHALF OF THE COUNCIL:

NAME: G. Reisch BUILDING CONTROL OFFICER DATE: 5.2.79



PROJECT INFORMATION MEMORANDUM

Planning Requirements

APPLICANT: K P Morgan

MAILING ADDRESS: 167 Mayengah Rd Paraparaumu

SITE ADDRESS: 3 Stella Court

LOT NO: 2 DP: 51173

PROJECT: New Building ☒ Alteration ☐
Removal/Demolition ☐ Relocated Building ☐
(approx age _____ years)

INTENDED USE: Dwelling

ZONING: TRANSITIONAL DISTRICT PLAN: Residential A

PROPOSED DISTRICT PLAN: Residential

USE PERMITTED: Permitted

RESOURCE CONSENT GRANTED: NA

DESIGNATIONS ON PROPERTY: None

EASEMENTS: None

SITE SUBJECT TO INUNDATION: NO

COASTAL BUILDING LINE RESTRICTION: NO

RELOCATABLE ZONE: NO

MINIMUM FLOOR LEVEL (50 year event) NA Metres above mean sea level

RECOMMENDED MINIMUM FLOOR LEVEL (100 year event) NA Metres above mean sea level

YARD AND HEIGHT REQUIREMENTS: OK

TREE/BUILDING PRESERVATION: None

OTHER COMMENTS: _____

NOTE: Minimum floor levels must use Mean Sea Level Wellington Datum 1953. Certification that the floor level complies with the **minimum** floor level will be required from a Registered Surveyor prior to foundation inspection.

SPECIAL FEATURES OF THE ABOVE LAND

Information is attached identifying the following special features of the land concerned that are known to Council:

- Potential Erosion ☐
- Potential Avulsion..... ☐
- Potential Subsidence..... ☐
- Potential Slippage..... ☐
- Potential Alluvion..... ☐
- Potential Inundation..... ☐
- Presence of Hazardous Contaminants..... ☐

Other feature(s) or characteristic(s) likely to be relevant to the design or construction of the proposed buildings and not apparent from the District Scheme or District Plan:

(Plumbing & Drainage)

SEWER AVAILABLE/CONNECTED

WATER AVAILABLE/CONNECTED

SITE PLAN OF EXISTING SERVICES (IF ANY) none

LOCATION OF SEWER LATERAL plan supplied

LOCATION AND SIZE OF WATER TOWER plan supplied 20"

LOCATION OF EASEMENTS (IF ANY) none known

LOCATION OF PUBLIC DRAINS (IF ANY) none known

STORMWATER DISPOSAL TO	CHANNEL	☒
	DRAIN	☐
	ON SITE	☐

ADDITIONAL COMMENTS



KAPITI COAST DISTRICT COUNCIL

TELEPHONE (04) 298-5139 FAX (04) 297-2563

File

PROJECT INFORMATION MEMORANDUM

(Electrical Supply)

APPLICANT: K. P. Morgan

MAILING ADDRESS: 167 Mazengarb Rd Porirua

SITE ADDRESS: 3 Stella Court

LOT NO: 2 DP: 81173

PROJECT: New Building ☒ Alteration ☐
Removal/Demolition ☐ Relocated Building ☐
(approx. age _____ years)

INTENDED USE: Dwelling

INFORMATION TO BE PROVIDED BY HOROWHENUA ENERGY

Site Plan of Existing Services (if any): As attached plan

Availability of Power:

Location: From XFMR W409 Mazengarb Rd, P'ram Beach.

Reserve Capacity: _____

Location of Electricity Easement (if any): /

Location of Overhead Lines Crossing Site (if any): /

Requirements of Disabling Service (where applicable): /

Horowhenua Energy Charges: \$ 20 incl G.S.T



KAPITI COAST DISTRICT COUNCIL

TELEPHONE (04) 298-5139 FAX (04) 297-2563

File

PROJECT INFORMATION MEMORANDUM

(Gas Supply)

APPLICANT: K. + P. Morgan

MAILING ADDRESS: 167 Mayengarb Rd Paraparaumu

SITE ADDRESS: 3 Stella Court

LOT NO: 2 DP: 81173

PROJECT: New Building ☒ Alteration ☐
Removal/Demolition ☐ Relocated Building ☐
(approx. age _____ years)

INTENDED USE: Dwelling

INFORMATION TO BE PROVIDED BY NATURAL GAS CORPORATION

Site Plan of Existing Services (if any): Yes Street Plan only

Availability of Gas:

Location: Service crosses site frontage.

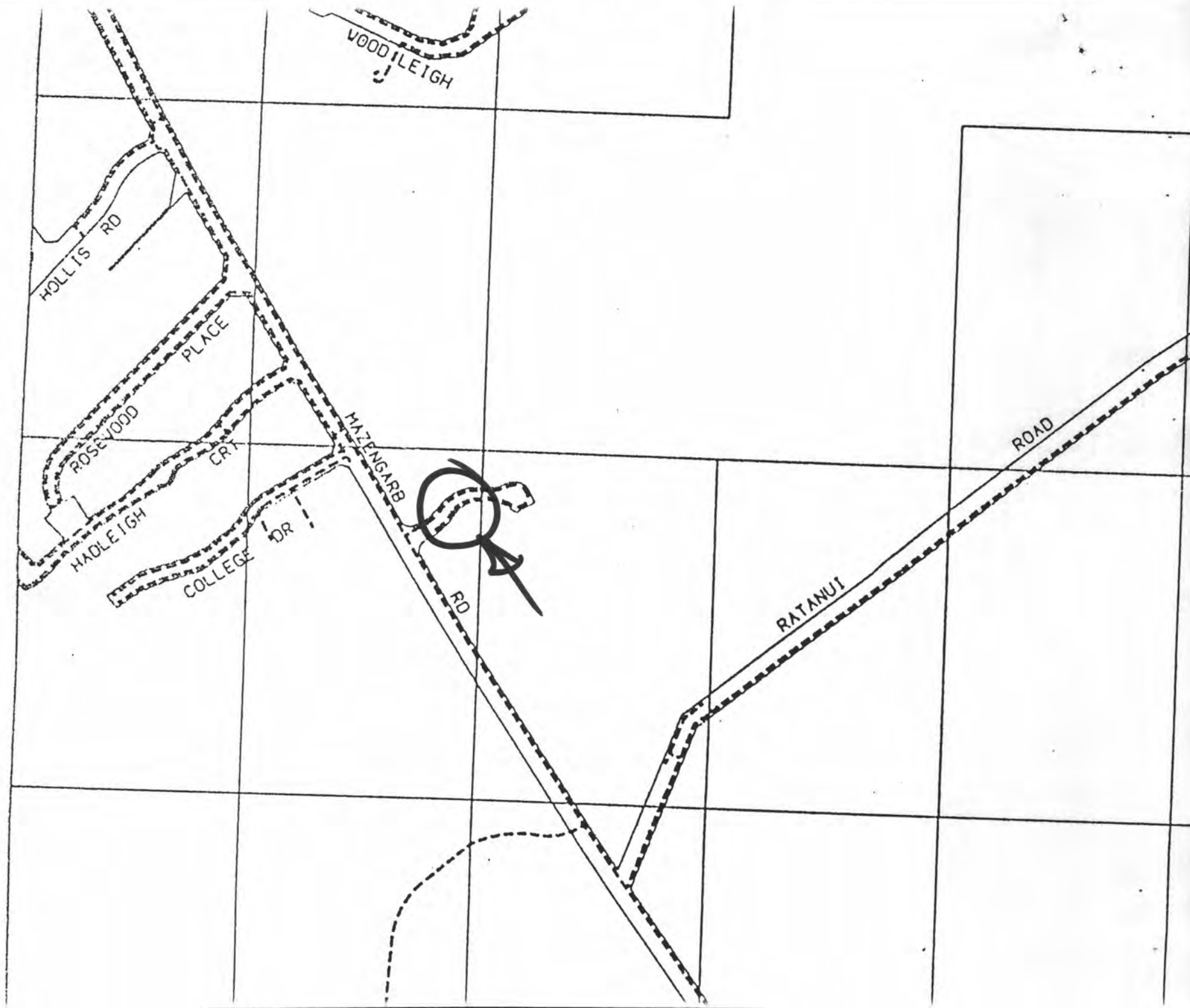
Reserve Capacity: _____

Location of Gas Easement (if any): _____

Location of Gas Mains: _____

Requirements of Disabling Service (where applicable): _____

Gas Corporation Charges: \$ _____



15mm Ø P.V.C.
RWATER SUMP
LEADS
1# P.V.C.

EXCIT. 250mm Ø A.C. WATERMAIN

100mm Ø S.V.

(2)
T-B 0.05
T-K 4.30
T-M 3.50

(1)
T-B 0.60
T-K 4.20
T-M 3.60

(4)
T-B 1.80
T-K 4.30
T-M 3.40

(3)
T-B 0.40
T-K 4.70
T-M 3.70

(6)
T-B 0.40
T-K 4.40
T-M 2.80

(5)
T-B 0.10
T-K 4.70
T-M 3.70

(7)
T-B 0.00
T-K 4.90
T-M 2.20

(9)
T-B 0.40
T-K 0.70
T-M 5.20

AS

CU

there's a future here

KAPITICOAST
DISTRICT COUNCIL
SITE CHECK SHEET

NAME: Wheeler

ADDRESS: 3 Stella Ct LOT: 2 DP: 81173

PROJECT: Garden Shed CONSENT NO: 980164

WORK CANNOT PROCEED PAST EACH STEP UNTIL THAT STEP HAS BEEN INSPECTED, APPROVED AND THIS FORM SIGNED BY THE RELEVANT INSPECTOR. WORK APPROVED BY A CERTIFIER REQUIRES A BUILDING CERTIFICATE SUPPLIED BY THE CERTIFIER.

COMPONENT TO BE INSPECTED	INSPECTION REQUIRED (TICK)	INSPECTION		COMMENTS AND/OR RECTIFICATION NOTICE NO	OK TO PROCEED YES/NO	ADDITION INSPECT YES/NO	DATE, SIGNATURE
		CHECK	RECHECK				
FOUNDATIONS				Generally fine Ground but			WBS
Siting	/			Sett on west side provide Piles to			31-3-98
Footling - Piles	/			fine ground No steel in place			
Steel	/			1/2" Rods starters			
Min Floor Level Cert				with 668 M/L and Pylon Barrier			WBS 1-2-98
CONCRETE FLOOR							
Building	/						
P & D Wastes, etc							
SUB FLOOR							
Connections							
Braces							
Blocking							
Insulation							
BLOCKFILL 1							
BLOCKFILL 2							
PRE-LINE				No Preline called for			WBS 2-3-99
Wall Framing	/						
Moisture	/			All appears to be in order			
Bracing	/						
Fixings	/						
Lintels	/						
Roof Framing	/						
Trusses							
Bracing	/						
Fixings	/						
P & D 1500 KPA test							
POSTLINE				No Postline called for			WBS 2-3-99
DRAIN TEST - SEWER							
DRAIN TEST - STORMWATER							

FINAL INSPECTIONS

COMPONENT TO BE INSPECTED	INSPECTION REQUIRED (TICK)	INSPECTION		COMMENTS AND/OR RECTIFICATION NOTICE NO	OK TO PROCEED YES/NO	ADDITION INSPECT YES/NO	DATE, SIGNATURE
		CHECK	RECHECK				
Insulation							
Joinery & Flashings							
Glazing (Safety etc)							
Range/Bathroom Fans							
Comb, Heater/Chimney							
Floor Levels	/	✓					
Post Connections							
Subfloor Ventilation							
Subfloor Access							
Room Ventilation							
EXTERIOR CLADDINGS							
Walls	/	✓		Wear on Bench			
Roof	/	✓		metal Tiles			
Hot Water Temp							
HW Cyl, Valves & Restraint							
Waste & Drain Vents							
Gully Traps							
Spouting & Downpipes	/	✓					
Stormwater Drains							
ENG SUPERVISION CERT							
FIRE FACILITIES							
EGRESS							
DISABLED							
EHO							
BARRIERS							
LANDSCAPING							

BUILDING COMPONENTS DEEMED COMPLETED

CERTIFIER	SIGNATURE	DATE	CERTIFIER	SIGNATURE	DATE
Building	WAB	23.9.0	Services		
Plumbing			Resource Management		
Drainage			Air Conditioning		
EHO					
Lifts					
Compliance Schedule					

WORK IS NOW DEEMED TO BE COMPLETED. A CODE COMPLIANCE CERTIFICATE WILL BE ISSUED WHERE REQUIRED BY THE BUILDING ACT.

CODE COMPLIANCE CERTIFICATE NUMBER

.....
Signature

.....
Designation Date

WHEN THE PROJECT IS COMPLETED THIS INSPECTION SHEET WILL BE ATTACHED TO THE RELEVANT PROPERTY FILE HELD AT THE COUNCIL OFFICE

FEE CALCULATION SHEET

Application No: 9 8016 4
 Date: 20.2.98
 Site Address: 3 Stella Crt.

ADMIN = \$40 per hour
 PLAN VETTING = \$72 per hour
 INSPECTIONS = \$60

TECHNICAL CONSULTANTS = Cost + 10%
 NETWORK UTILITY OPERATORS = Cost + 10%

NO YELLOWS

CLASSIFICATION		\$	PLAN VETTING				TOTAL \$	CONSULTANT \$			TOTAL \$	INSPECTIONS						TOTAL \$	ADMIN \$	PIM	TOTAL
			PI	D	Bld	EH		T/P				Site	PI	D	Bld	EH					
1	Fire Places, Signs	0-1500																	40	Nil	
2	Sheds, Carports	1501-4000			11		\$36	2			\$36	1		1	2			240	40	Nil	362
3	Garages, Conservatories, Swim Pool, etc	4001-10000																	40	50	
4	House Additions	4001-10000																	40	50	
5	House Additions	10001-50000																	40	50	
6	Dwellings	50001-100000																	40	100	
7	Dwellings	100001-150000																	40	100	
8	Dwellings	150001-200000																	60	100	
9	Dwellings	200001-250000																	60	140	
10	Dwellings	250001-300000																	80	140	
11	Dwellings	300000 +																	80	160	
12	Commercial/Industrial	0-10000																	40	50	
13	Commercial/Industrial	10001-50000																	40	60	
14	Commercial/Industrial	50001-10000																	40	100	
15	Commercial/Industrial	100001-150000																	40	100	
16	Commercial/Industrial	150001-200000																	60	100	
17	Commercial/Industrial	200001-250000																	60	140	
18	Commercial/Industrial	250001-300000																	60	140	
19	Commercial/Industrial	350001-350000																	60	140	
20	Commercial/Industrial	350001-400000																	80	160	
21	Commercial/Industrial	400001-450000																	80	180	
22	Commercial/Industrial	450001-500000																	80	200	
23	Commercial/Industrial	5000000 +																	80	250	

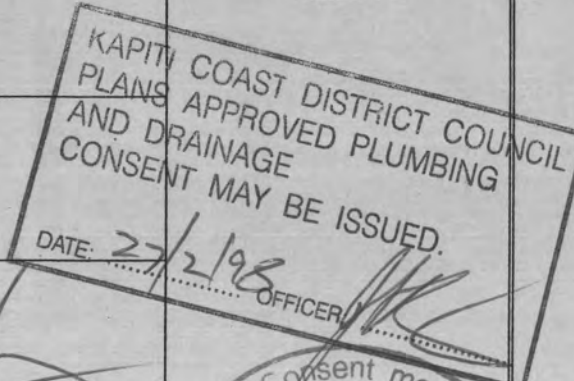
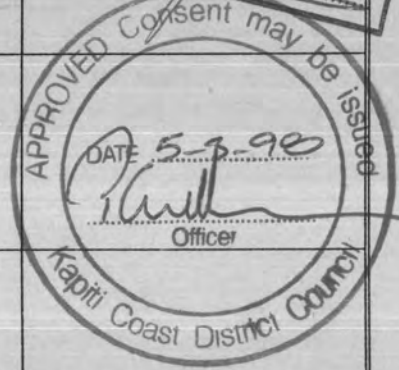
CONSENT DATA INPUT REQUIREMENTS

REQUIRED INSPECTIONS		STANDARD CONDITIONS		
14	✓	32	✓	17
1	✓	2		18
7		3		19
16		4		20
2		5		21
3		6		22
4		7		23
8		8		30
5		9		31
10		10		
12		11		
6	✓	12		
9		13	✓	
11		14		
13	✓	15		
15		16		

NON STANDARD CONDITION

This image shows a single sheet of white paper with horizontal blue or grey ruling lines. The lines are evenly spaced and run across the width of the page. There are no margins, text, or other markings on the paper.

FOR COUNCIL USE:

DEPARTMENT	REQUIREMENTS		COMMENTS	CHECKED/DATE STAMP
	Yes	No		
Town Planning	Zoning Confirms			
	Dispensation			
	Planning Consent			
	Special Floor Level			
Plumbing			N/A	
Drainage			N/A	
Stormwater	To Channel		To	
	To Drain		Existed	
	Confined to Lot			
Building				
Structural	Specific Design			
	Foundation			
	Structure			
	Roof			
Subdivisional Engineer	Earthworks Bylaw Conditions			
Environmental Health				
Site- Footpath & Entrance Conditions			Ground	
No Driveway			check on site when excavating sandstone	26.2.98/MB
NOTES:				



KAPITICOAST
DISTRICT COUNCIL

APPLICATION FOR BUILDING CONSENT
Section 33, Building Act 1991

Form 3

To: Kapiti Coast District Council
[Cross each applicable box and attach relevant documents in triplicate]

CONSENT NO
980164

PART A : GENERAL

(Complete Part A in all cases - Refer over for Parts B-E, sign and date)

APPLICANT (OWNER*)	PROJECT
Name: <u>P. F. Wheeler</u>	Cross One ☒ New or relocated Building ☐ Alterations or additions ☐ Accessory Building or Fire ☐ Building Demolition or Removal Being stage _____ of an intended _____ stages. Estimated value (inclusive of GST): \$ <u>3500.00</u> Intended use, eg Dwelling, Carport, Garage, etc <u>Garden Shed</u> Intended life: ☐ Indefinite but not less than 50 years ☐ Specified as _____ years
Mailing address: <u>3 Stella court</u> <u>Paraparaumu</u>	
Contact [Print Name and position]: _____	
Phone: <u>2989490</u> Fax _____	
*Under section 33 of the Building Act 1991, the applicant must be the owner of the land on which building work is contemplated or a person who or which has agreed in writing, whether conditionally or unconditionally, to purchase the land or any leasehold estate or interest in the land, or to take a lease of the land, while the agreement remains in force.	
FOR COUNCIL USE	
Received: <u>19/2/98</u>	PROJECT LOCATION
Application Deposit: \$ <u>140.00</u>	Street address (if any) <u>3 Stella court</u> <u>Paraparaumu</u>
Receipt No: <u>687801</u>	Legal description (as shown on certificate of title or rates notice, if any): Lot <u>2</u>
Paid By: <u>P.F. + E.F.T. Wheeler</u> <u>Nat Co</u>	DP <u>81173</u>
	Valuation No. <u>152.6052702</u>
NOTE: BALANCE OF FEES ARE PAYABLE ON CONSENT APPROVAL	
This Application is for:	
☐ Building Consent only, in accordance with project information ☐ Both building consent and a project information memorandum	
PLEASE NOTE The information provided in support of this application is public and as such is freely available on request. However under Section 27(3) of the Building Act 1991 you may for security and/or copyright reasons request the plans and specifications pertaining to this application be marked as confidential by completing the following section	CONFIDENTIALITY Plans and Specifications 1. ☐ I/We require that my/our: 2. ☐ plans 3. ☐ specifications be treated as confidential in order to protect: 4. ☐ the security of the building 5. ☐ copyright Signed: _____
SIZE OF BUILDING Floor area m ² <u>14 m²</u> No of stories <u>1</u> No of Units <u>1</u>	

PART B : PROJECT DETAILS

(Complete Part B only if you have not applied separately for a project information memorandum)

- ☐ Location, in relation to legal boundaries, and external dimensions of new, relocated, or altered buildings
- ☐ New provisions to be made for vehicular access, including parking
- ☐ Provisions to be made in building over or adjacent to any road or public place
- ☐ New provisions to be made for disposing of stormwater and wastewater
- ☐ Precautions to be taken where building work is to take place over existing drains or sewers or in close proximity to wells or water mains
- ☐ New connections to public utilities
- ☐ Provisions to be made in any demolition work for the protection of the public, suppression of dust, disposal of debris, disconnection from public utilities and suppression of noise
- ☐ Any cultural heritage significance of the building or building site, including whether it is on a marae

PART C : BUILDING DETAILS

(Complete Part C in all cases)

This application is accompanied by (cross each applicable box, attach relevant documents in duplicate):

- ☐ The drawings, specifications and other documents according to which the building is proposed to be constructed to comply with the provisions of the building code, with supporting documents, if any, including:
 - ☐ Building certificates
 - ☐ Producer statements
 - ☐ References to accreditation certificates issued by the Building Industry Authority
 - ☐ References to determinations issued by the Building Industry Authority
- ☐ Proposed procedures, if any, for inspection during construction

PART D : KEY PERSONNEL

(Complete Part D as far as possible in all cases. Give names, addresses and telephone numbers. Give relevant registration numbers if known)

Designer(s): _____

Building Certifier(s): _____

Builder/s P. Z. Wheeler

Registered Drainlayer: _____ REG NO: _____

Craftsman Plumber: _____ REG NO: _____

Other: _____

PART E : COMPLIANCE SCHEDULE DETAILS

E1: Systems Necessitating a Compliance Schedule

(Complete Part e1 for all new buildings and alterations, except single residential dwellings)

The building will contain the following (Cross each applicable box and attach proposed inspection, maintenance, and reporting procedures):

- ☐ Automatic sprinkler systems or other systems of automatic fire protection
- ☐ Automatic doors which form part of any fire wall and which are designed to close shut and remain shut on an alarm of fire
- ☐ Emergency warning systems for fire or other dangers
- ☐ Emergency lighting systems
- ☐ Escape route pressurisation systems
- ☐ Riser mains for fire service use.

- ☐ Any automatic back-flow preventer
- ☐ Lifts, escalators or travelators or other
- ☐ Mechanical ventilation or air conditioning
- ☐ Any other mechanical, electrical, hydraulic or gas system, including compliance with the building code
- ☐ Building maintenance units for provision of ventilation
- ☐ Such signs as are required by the building code
- ☐ None of the above

E2: Other Systems a

(Complete Part E2 only if building contains any of the following)

The building will contain the following maintenance and reporting procedures:

- ☐ Means of escape from fire
- ☐ Safety barriers
- ☐ Means of access and facilities for use of the Disabled Persons Community
- ☐ Handheld hoses for firefighting
- ☐ Such signs as are required by the Building Act 1975

Signed for and on behalf of the Applicant:

Name: P. Z. Wheeler Date: 19/2/98

Position: _____

FOR OFFICE USE ONLY

FEES		APPLICATION DEPOSIT	
Building	\$ <u>352</u>	RECEIPT NO	DATE <u>19.2.98</u>
Sewer Connection	\$	<u>687801</u>	
Water Connection	\$	INVOICE NO	DATE <u>10/3/98</u>
Vehicle Crossing	\$	<u>21766</u>	
Damage Deposit	\$ <u>400</u>	RECEIPT NO	DATE <u>13.3.98</u>
Structural Checking	\$	<u>696567</u>	
Building Research Levy	\$	FEES PAID BY:	
Development Levy	\$	<u>P. F. & E. F. T. Wheeler</u>	
BIA Levy	\$	<u>(Nat. Chg.)</u>	
Compliance Schedule	\$	BUILDING CONSENT	DATE ISSUED
Town Planning Bond	\$	NUMBER	
Photocopying	\$	<u>980164</u>	<u>19.3.98</u>
SUBTOTAL	\$ <u>752.00</u>	AUTHORISATION FOR REFUND OF DEPOSITS	
Less Deposit Paid	\$ <u>140.00</u>	Deposit held =	\$ <u>400</u>
TOTAL	\$ <u>612.00</u>	Cost to Repair Damage Caused During Construction =	\$ <u>NIL</u>
GST INCLUDED	\$	Total Balance to be Refunded	<u>400</u>
		Authority Number: <u>4191</u>	DATE: <u>23.3.98</u>
		Authorised: <u>for</u>	

Received with thanks by 48/01
KAPITI COAST DISTRICT COUNCIL

13-03-98 13:36 Receipt no. 696567

COPY *COPY* *COPY*
DR BC980164 WHEELER P 612.00-
MR P WHEELER::3 STELLA COURT:PARAPARAUM
CO N
P F & E F T WHEELER 612.00

WHEELER P 140.00-
MR P WHEELER::3 STELLA COURT:PARAPARAUM
CO N
P F & E F T WHEELER 140.00



Building Consent

Section 35, Building Act 1991

Application

MR P WHEELER
3 STELLA COURT
PARAPARAUMU BEACH

No. 980164
Issue date 19/03/98
Application date 20/02/98
Overseer Don Blaikie

Project

Description	ALTERATIONS, REPAIRS or EXTENSIONS BEING STAGE 1 OF AN INTENDED 1 STAGES NEW GARDEN SHED
Intended Life	INDEFINITE, BUT NOT LESS THAN 50 YEARS
Intended Use	STORAGE
Estimated Value	\$3,500
Location	3 STELLA COURT, PARAPARAUMU
Legal Description	LOT 2 DP 81173
Valuation No.	1526052702

Charges

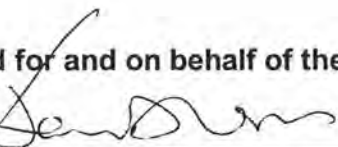
The Council's charges paid on uplifting this Building Consent, in accordance with the attached details are:

	\$	752.00
Building Research Levy	\$	0.00
Building Industry Authority Levy	\$	0.00
Total	\$	752.00

This building consent is a consent under the Building Act 1991 to undertake building work in accordance with the attached plans and specifications so as to comply with the provisions of the building code. It is not a consent under the Resource Management Act and does not affect any duty or responsibility under any other Act nor permit any breach of any other Act.

This building consent is issued subject to the conditions specified in the attached page(s) headed Conditions of Building Consent 980164.

Signed for and on behalf of the Council:

Name: 

Date: 19-3-98

1. LAPSE AND CANCELLATION OF BUILDING CONSENT. A building consent shall lapse and be of no effect if the building work concerned has not been commenced within 6 calendar months after the date of issue. Or within such further period as the territorial authority allows.
2. All foundations are to be to solid bearing minimum of 300mm
3. Work to comply with NZS3604-1990.
4. Not approved as a habitable building.
5. Metal head flashings required over all exterior joinery.
6. As this building is located within the Very High Wind Zone all Exterior load bearing walls require 100 x 50 studs at 480mm centres maximum, and Light roofs require 16kn cyclone ties to rafters and trusses. Purlins to Light roofs require 1 - 'Z' nail additional securement, top and bottom edge
7. Note and comply with endorsements on approved plans.
8. A tempering valve is to be installed on the hot water cylinder.
9. Minimum heights of finished concrete slab-on-ground floors above adjoining finished ground level to comply with Fig E 1 NZS 3604 1990.

Building Consent Addenda

Application

MR P WHEELER	No.	980164
3 STELLA COURT	Issue date	10/03/98
PARAPARAUMU BEACH	Overseer	Don Blaikie

Project

Description	ALTERATIONS, REPAIRS or EXTENSIONS BEING STAGE 1 OF AN INTENDED 1 STAGES NEW GARDEN SHED
Intended Life	INDEFINITE, BUT NOT LESS THAN 50 YEARS
Intended Use	STORAGE
Estimated Value	\$3,500
Location	3 STELLA COURT, PARAPARAUMU
Legal Description	LOT 2 DP 81173
Valuation No.	1526052702

General Requirements

The District Inspector is to be given 24 hours' notice before carrying out the following inspections:

1. INITIAL INSPECTION - PREVIOUSLY COMPLETED
2. FOUNDATION INSPECTION
3. FINAL INSPECTION BUILDING
4. FINAL INSPECTION STORMWATER

To arrange for any of the above required inspections by the District Inspector, please contact the building inspectorate on (04) 298 5139 between the hours of 8.00am and 4.30pm.

1. LAPSE AND CANCELLATION OF BUILDING CONSENT. A building consent shall lapse and be of no effect if the building work concerned has not been commenced within 6 calendar months after the date of issue. Or within such further period as the territorial authority allows.
2. Roof stormwater to be connected to existing water disposal system.

I have read the foregoing requirements and conditions of consent, and the Owner/Builder/Authorised Person hereby agrees to comply with them.

OWNER/BUILDER/
AUTHORISED PERSON

P. J. W. Deehan

Date: 13 / 3 / 98



MR P WHEELER
3 STELLA COURT
PARAPARAUMU BEACH

GST REG No. 51-860-608
CUST No. BC980164
10/03/98

TAX INVOICE 21766

=====

980164 : 3 STELLA COURT, PARAPARAUMU
NEW GARDEN SHED

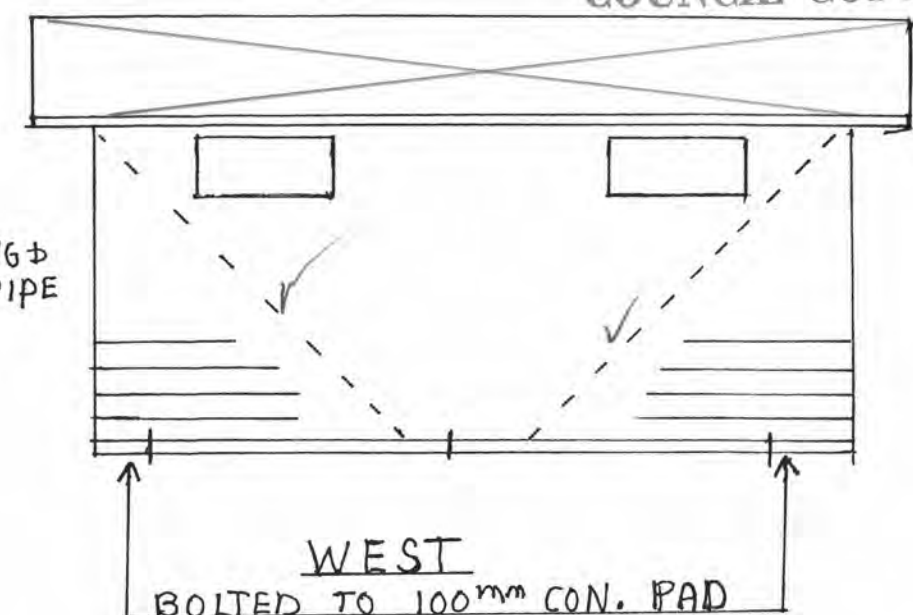
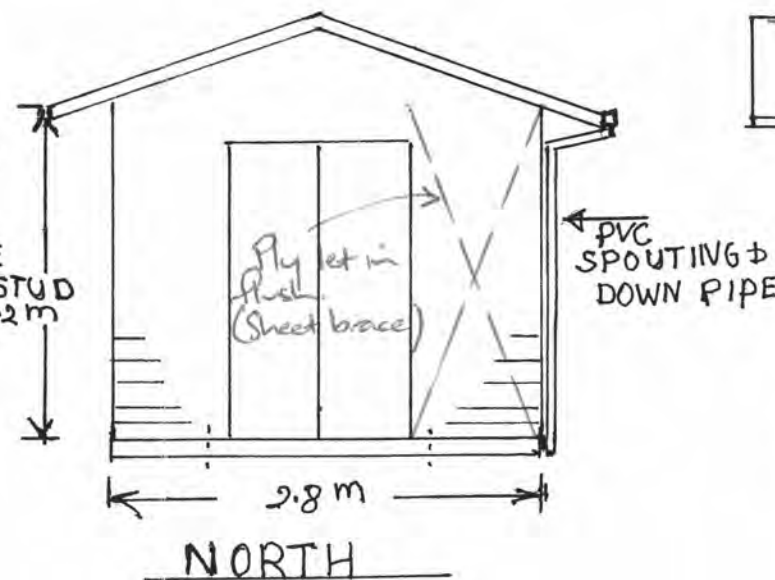
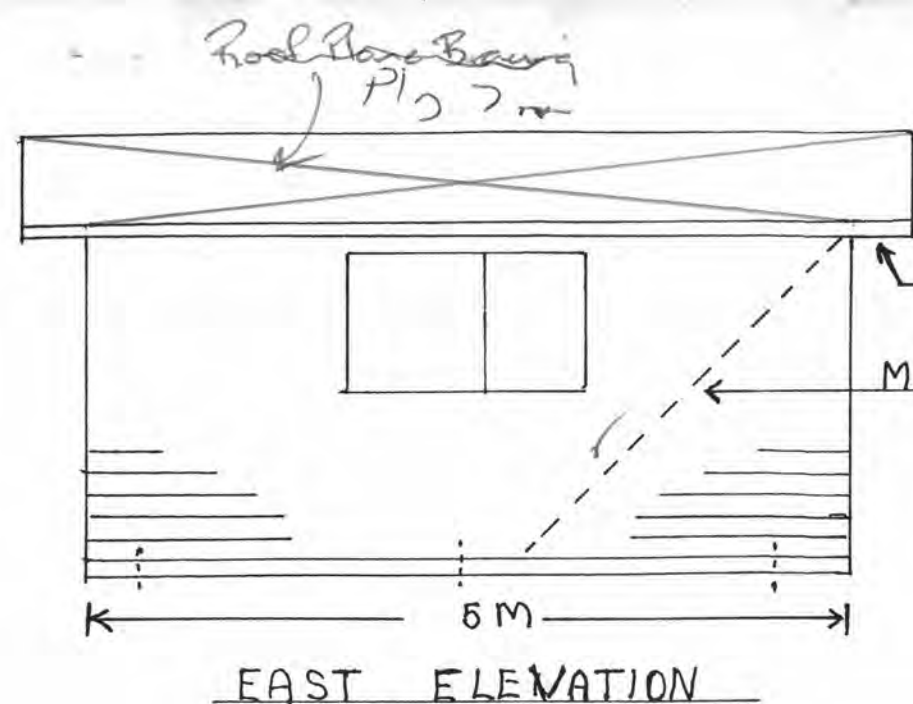
QTY	DESCRIPTION	RATE	AMOUNT

	Building Consent/PIM		352.00 *
	Damage Deposit		400.00 06
		BEFORE GST	712.89

	(* INCLUDES GST)	GST	39.11
		TOTAL	\$752.00
		CASH RECEIVED	140.00CR
		NET DUE	612.00
			=====

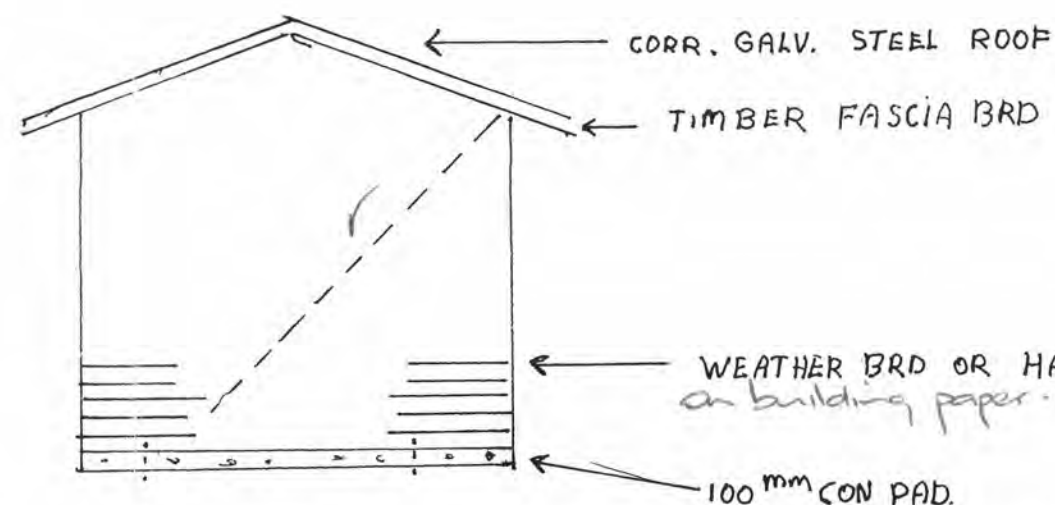
THIS IS NOTIFICATION THAT YOUR APPROVED PLANS
ARE READY TO UPLIFT.

MR P WHEELER 10/03/98 BC980164 /21766 752.00



Claddings to be installed to manufacturers requirements in particular, fixing and ground clearance.

Roofing material to be installed to manufacturers requirements, in particular, fixing and min pitch reference also Table 1 of E2 (NZ Building Code).



NOT APPROVED
AS A
HABITABLE BUILDING

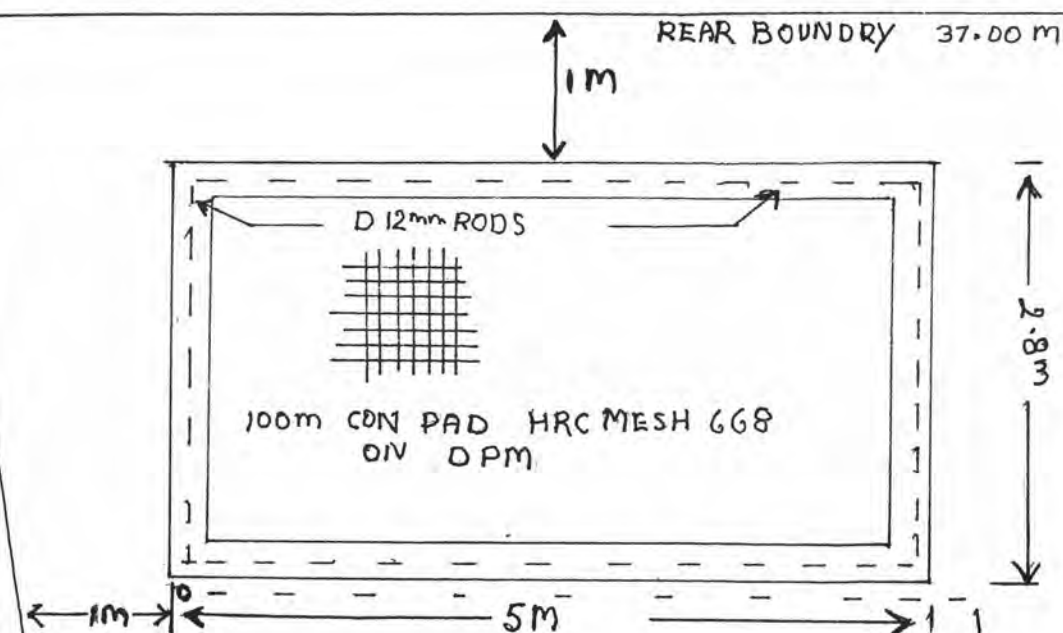
BC980164
COUNCIL COPY

GARDEN SHED 3 STELLA COURT

LOT 2 DP81173

Note: Metal Angle Bracing (ie. Type 1) require approved sheet material nailed to 1 side at 150 c/s max around perimeter. Alternatively, Turn Ply let in flush as sheet braces as necessary to North Wall are acceptable.

COUNCIL COPY



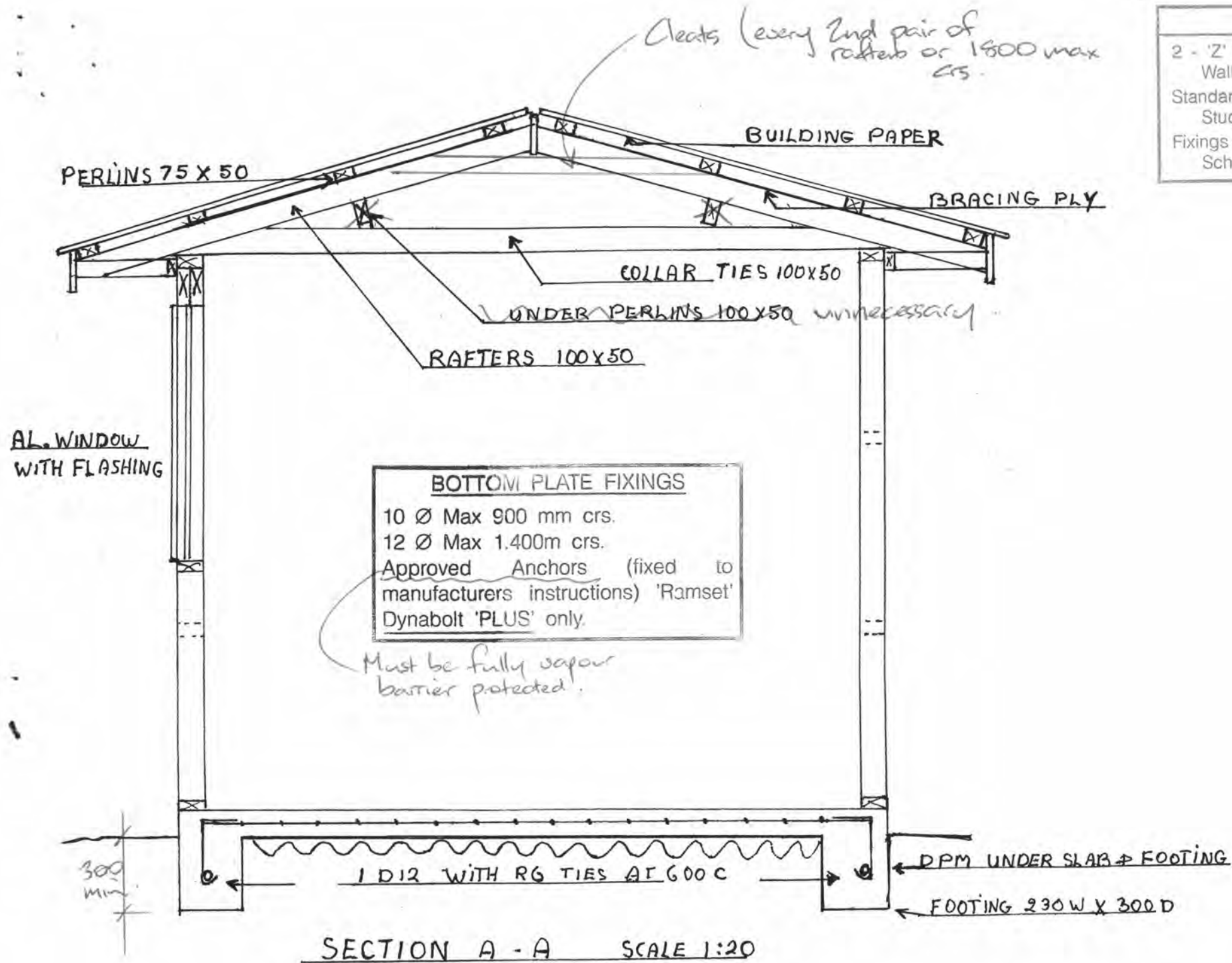
SITE PLAN

AREA 14 m²

SCALE 1:50

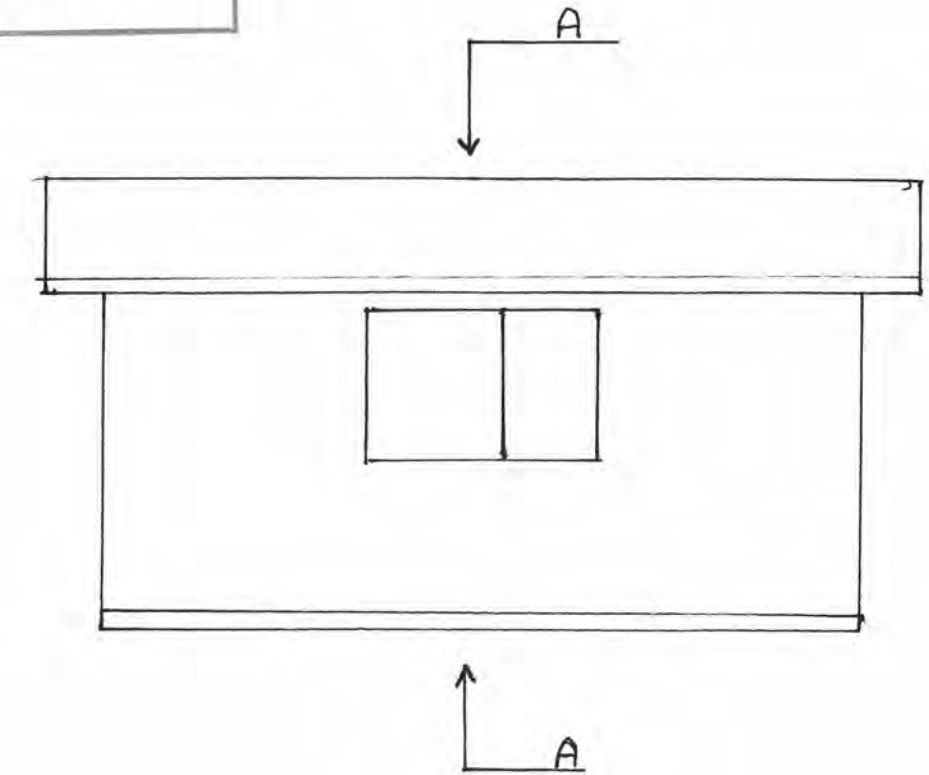


DRAIN TO STORM WATER CONN.



HIGH WIND ZONE

2 - 'Z' Nails to Truss/Rafter and External Wall Top Plates (Light Roof)
Standard Framing to NZS 3604
Stud Tables
Fixings in accordance with Nailing Schedule

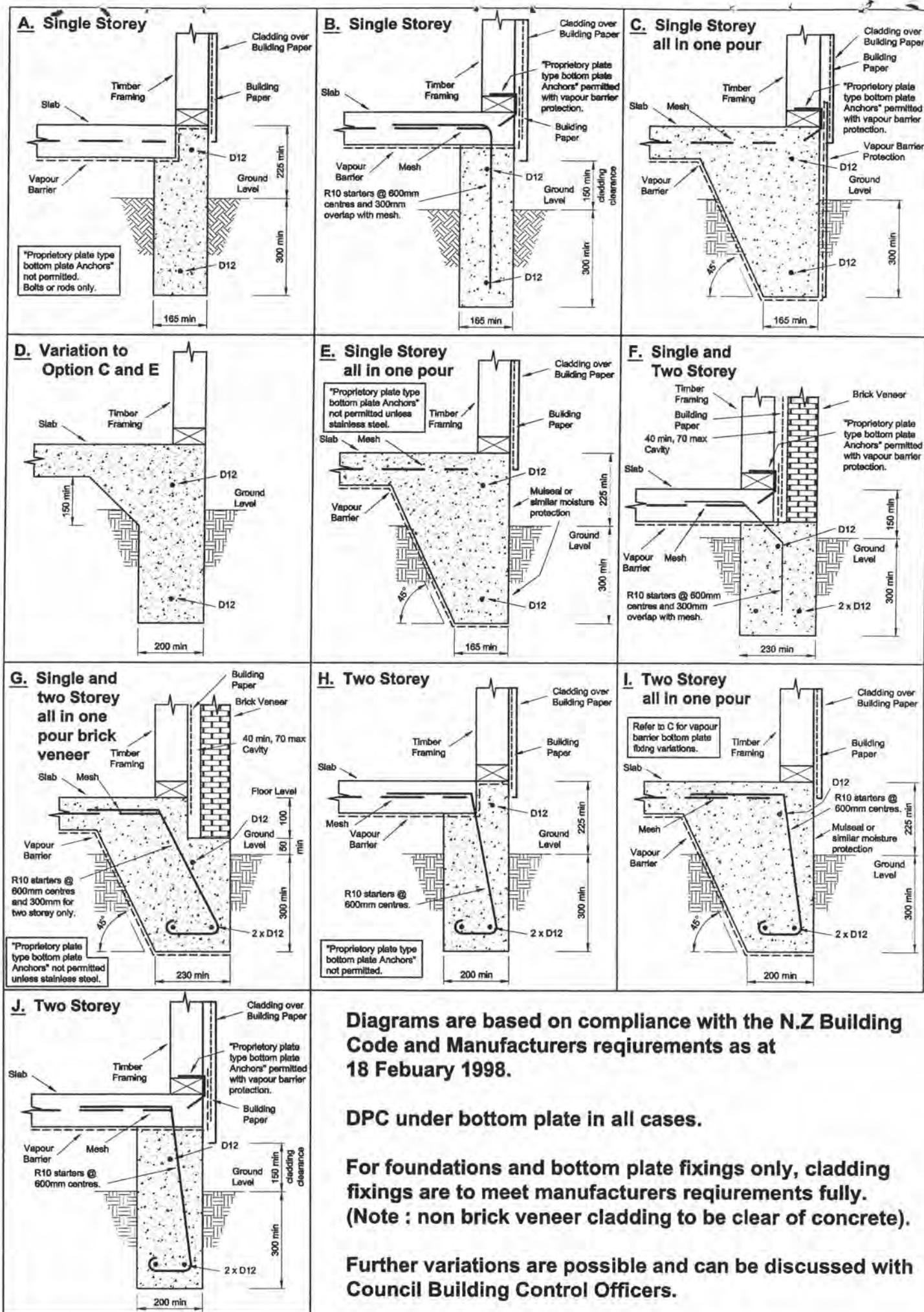


RAFTERS 100 X 56 @ 750 C
PERLINS 75 X 50 @ 600 C
UNDER PERLINS 100 X 50
COLLAR TIES 100 X 50 @ 1.4m C
7mm BRACING PLY FIXED ON TOP OF RAFTERS or tensioned straps
STUDS 100 X 50 @ 600 C
Z NAILS FIXED FROM RAFTERS TO STUDS
WINDOW LINTEL 150 X 100

GARDEN SHED 3 STELLA COURT

LOT 2 DP 81173





Diagrams are based on compliance with the N.Z Building Code and Manufacturers requirements as at 18 February 1998.

DPC under bottom plate in all cases.

For foundations and bottom plate fixings only, cladding fixings are to meet manufacturers requirements fully. (Note : non brick veneer cladding to be clear of concrete).

Further variations are possible and can be discussed with Council Building Control Officers.

These diagrams are indicative only.

MINIMUM STANDARD OF CONSTRUCTION FOR ACCESSORY BUILDINGS EXCEEDING 10 SQM

FOUNDATION

Footings to solid bearing minimum depth 300 mm, reinforced with 1 x D12, concrete slab optional. Concreted imbedded piles plus bearers may be acceptable for light construction.

BOTTOM PLATE FIXING

Cast in place R10 pins 10mm galvanised bolts or other approved proprietary fixings.

WALL FRAMING

100 x 50 Boric treated studs at 600 centres.

TRUSS ROOF

Trusses specifically designed in accordance with NZS 3603.

Fixing of trusses - now dependant on wind zone :

Very High	2 - 100 mm skewed nails plus 16 kn cyclone tie
High/Medium/ Low	2 - 100 mm skewed nails plus 2 wire dogs

Fixing of Purlins - now dependant on wind zone :

Very High	2 - 100 mm skewed nails plus 1 wire dog
High/Medium/Low	2 - 100 mm skewed nails

ROOF BRACING

Light Gable Roof

Up to 20 sqm	None required
20 sqm to 50 sqm	1 roof plane brace each side of roof or minimum of two roof space braces
50 sqm and over	To comply with NZS 3604 1990

Light Hip Roof

Non required - self bracing.

Heavy Roof Hip & Gable

To comply with NZS 3604 1990.

WALL BRACING

External Walls - sheathed in profiled metal sheet

1 - diagonal brace per 7.5 m of wall length or part thereof.

External Walls - sheathed in approved sheet material

No additional bracing required provided sheet material is nailed at 150 mm centres around perimeter of sheet and 300 mm centres to intermediate studs.

External Walls - sheathed with weatherboard type products, also brick veneer

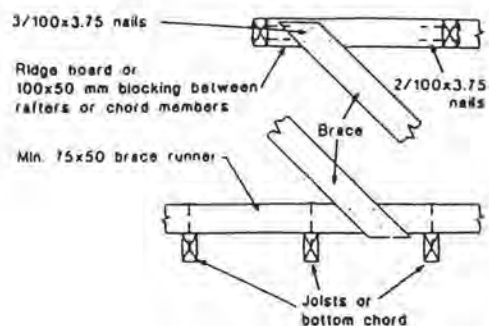
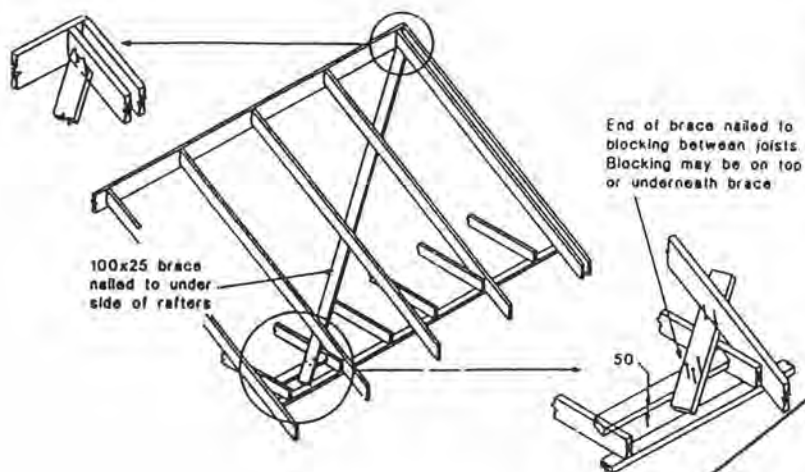
1 - diagonal brace per 7.5 m of wall length or part thereof.

Wall to be clad internally with sheet material to cover entire bracing elements.

DRAGON TIES

Building up to 7.5 m in length require dragon ties to front wall.

Buildings over 7.5 m in length require dragon ties to both front and rear wall.

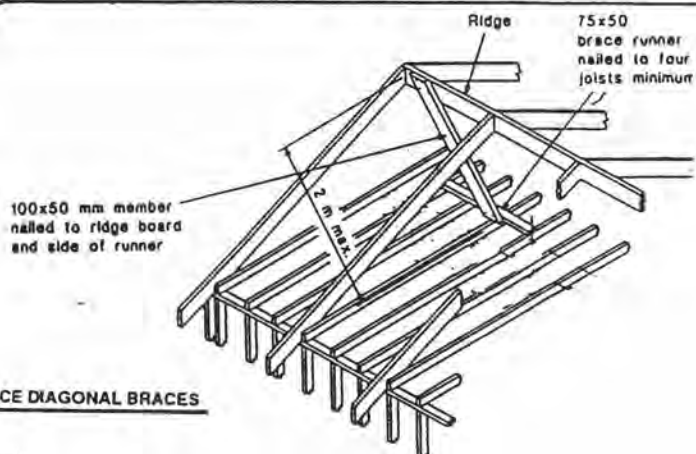


CONNECTIONS OF BRACES

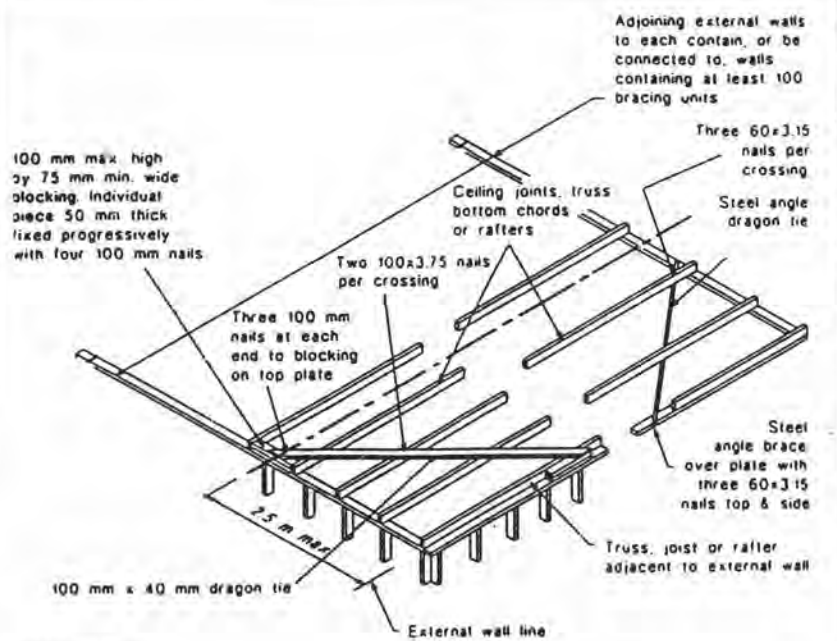
ROOF PLANE DIAGONAL BRACES

Consist of either:

- A continuous length of 100 mm x 25 mm timber or
- A diagonally opposing pair of continuous steel strips each having a capacity of 8 kN in tension, fixed to each top chord or rafter that is intersected, and to the top plate.

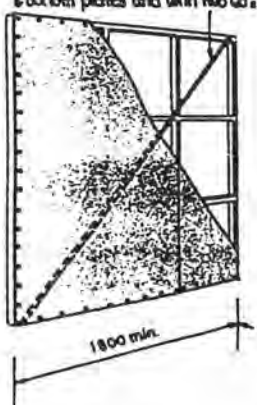


ROOF SPACE DIAGONAL BRACES



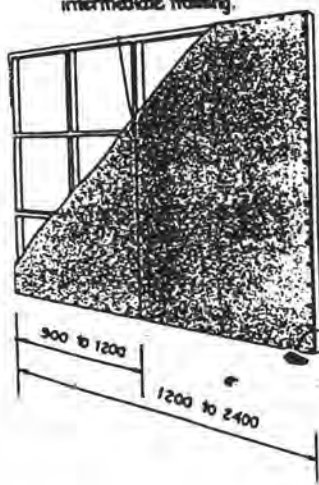
DRAGON TIES

galv. steel angle brace, fixed with three 60x3.15 nails to top & bottom plates and with two 60x3.15 nails to wall studs.



Wall bracing

at 150 mm c/cs around the perimeter of the bracing element and at 300 mm c/cs to intermediate framing.





Project Information Memorandum

Section 31, Building Act 1991

Application

MR P WHEELER
3 STELLA COURT
PARAPARAUMU BEACH

No.	980164
Issue date	10/03/98
Application date	20/02/98
Overseer	Don Blaikie

Project

Description	ALTERATIONS, REPAIRS or EXTENSIONS BEING STAGE 1 OF AN INTENDED 1 STAGES NEW GARDEN SHED
Intended Life	INDEFINITE, BUT NOT LESS THAN 50 YEARS
Intended Use	STORAGE
Estimated Value	\$3,500
Location	3 STELLA COURT, PARAPARAUMU
Legal Description	LOT 2 DP 81173
Valuation No.	1526052702

This project information memorandum is confirmation that the proposed building work may be undertaken, subject to the provisions of the Building Act 1991, and any requirements of the building consent.

This project information memorandum includes:

___ Details of authorisations which have been granted

Signed for and on behalf of the Council:

Name:

Date:



20 February, 1998

MR P WHEELER
3 STELLA COURT
PARAPARAUMU BEACH

Dear Sir/Madam

**Re: Your building consent application no. 980164
NEW GARDEN SHED
3 STELLA COURT, PARAPARAUMU**

Your application for a building consent has been checked.

The proposal does not comply with the requirements of the New Zealand Building Code in the following respects:

- PROVIDE A DRAWN CROSS SECTION INDICATING THE ROOF STRUCTURE, WALLS AND FOUNDATION. (EG RAFTERS (SIZE AND SPACING), ROOF PURLINS (SIZE AND SPACING), WALLS (STUDS SIZE AND SPACING), AND FOUNDATION WHICH SHOULD BE A MINIMUM OF 300mm DEEP AROUND THE EDGE OF THE SLAB WITH ONE D12 ROD.

When your plan and/or specifications have been amended to conform with the above comments, approval of your application will again be considered.

Yours faithfully

Arnold Hawkins
Building Control Officer