

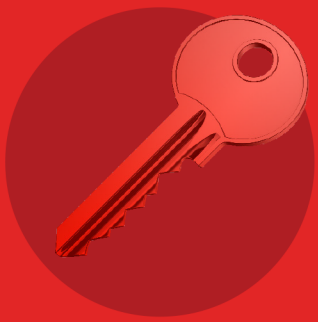
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SOLD ON KĀPITI



RED LBP PRE-PURCHASE REPORT

- ✓ Completed by a trade professional
- ✓ Complies with NZS 4306:2005 Residential Property Inspection
- ✓ Full comprehensive written report
- ✓ Non-invasive moisture testing
- ✓ Floor level spot checked
- ✓ Summary identifying any significant faults or defects



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PRE-PURCHASE



YOUR INSPECTOR



Trevor Garrett MSc

Red LBP Inspector for Kāpiti and Porirua

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- ✉ trevor.garrett@redinspect.co.nz
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- ✔ **Licensed Building Practitioner (LBP)**
- ✔ **35 years of experience in the construction industry**
- ✔ **Extensive expertise in residential and light commercial construction**
- ✔ **Specialist in pre-purchase property inspections**
- ✔ **19 years of senior management experience with major contractors, including Naylorlove, Mainzeal, and KEO International Consultants**

Hi, I'm Trevor, franchise owner and inspector for Red LBP Kāpiti and Porirua.

I have 35 years of experience in the construction industry over a range of unique and specialised building projects including both residential and commercial construction.

I have held a senior management position for over 19 years with major contractors Naylorlove, Mainzeal and KEO International Consultants.

I am a trade trained Carpenter with the following qualifications; Trade Cert, Advanced Trade Cert, National Dip in construction Management and a MSc with merit in construction management at Salford UK, as well as being a licenced building practitioner.

I am motivated by seeing a need to help people when buying homes and particularly young people wanting a first home and needing a house inspection. My construction knowledge allows me to fill this gap in our area.

Pre purchase house inspection reports is a perfect way of creating piece of mind and allows big life decisions to be made with confidence.

ABOUT RED LBP

Red LBP is New Zealand's trusted network of experienced, Licensed Building Practitioners. We provide thorough, independent property inspections, ensuring buyers and homeowners have the knowledge they need to make informed decisions. With a commitment to quality, compliance, and customer confidence, Red LBP inspectors uphold the highest standards in the industry.

For more information, visit redlbp.co.nz.

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PRE-PURCHASE BUILDING REPORT

Property Address	53 Tiromoana road Raumati south
Client	Charlotte Ross
Date of Inspection	7th October 2025
Time	9:30 am
Inspector	Trevor Garrett MSc, LBP, Advanced Trade Cert Carpentry, Nat Diploma Construction Management. Member of NZIOB.
LBP Number	131790
People Present	Owner
House Occupied	Yes



CERTIFICATE OF INSPECTION IN ACCORDANCE WITH NZS 4306:2005

Company: Property Support Ltd trading as RedLBP Kapiti Porirua
Client: Charlotte Ross
Date of Inspection: 7th October 2025
Site Address: 53 Tiromoana road Raumati south
Inspector: Trevor Garrett
Qualifications: MSc, LBP, Advanced Trade Cert Carpentry, Nat Diploma Construction Management. Member of NZIOB.

The following areas of the property have been inspected:	Yes	No	Limited	N/A
Site	☒	☐	☐	☐
Subfloor	☐	☐	☒	☐
Exterior	☒	☐	☐	☐
Roof Exterior	☐	☐	☒	☐
Roof Space	☐	☐	☒	☐
Interior	☒	☐	☐	☐
Services	☒	☐	☐	☐
Accessory Units, Ancillary Spaces and Buildings	☐	☐	☐	☒

Any limitations to the coverage of the inspection are detailed in the written report.

Certification:

I hereby certify that I have carried out the inspection of the property site at the above address in accordance with NZS 4306:2005 Residential property inspections - and I am competent to undertake this inspection.

Name: Trevor Garrett **Date:** 7th October 2025

Signature:



(for and on behalf of RED LBP)

An inspection that is carried out in accordance with NZS 4306:2005 is not a statement that a property complies with the requirement of any Act, regulation or bylaw, nor is the report a warranty against any problems developing after the date of the property report. Refer to NZS 4306:2005 for full details.

Note * please refer to TERMS of ENGAGEMENT

SCOPE OF REPORT, LIMITATIONS & CONDITIONS

PRE-PURCHASE BUILDING REPORT

The report should be seen as a reasonable attempt to identify any Significant Fault or Defect visible at the time of the visual Inspection rather than an all-encompassing report dealing with the home from every aspect. The reporting of any Significant Fault or Defect is on an exceptional basis, rather than reporting on items, which are in acceptable condition for their age.

"Significant Fault or Defect" is defined in the Standards as – "A matter which requires substantial repairs or urgent attention and rectification."

A Significant Fault or Defect will be addressed in the Executive Summary section of the report as maintenance or remedial work.

This report type is to identify the structural aspects of the dwelling, and report on the type, location, and defects/damages of each aspect. It is not designed to replace the input from an engineer, however, will highlight any items that require further investigation from other professionals.

This report is designed to satisfy the requirements of lenders and homeowners that the property will fulfil the requirements of the Standards.

This report is not a defects list and should not be construed as such. The property report does not contain any assessment in relation to any item which is subject to a special purpose report (items will be mentioned as they are part of the property).

1) The scope of the report will be limited to:

- a. Significant defects
- b. Particular attributes
- c. Gradual deterioration; and
- d. Significant maintenance required

2) It will exclude:

- a. Legal title
- b. Building warrant of fitness and services prescribed on a compliance schedule
- c. Planning, resource consent issues
- d. Building consent issues
- e. Long term maintenance planning
- f. Rental property tenancy inspections
- g. Heritage obligations
- h. Compliance the Body Corporate rules, the terms of memorandum of cross lease or a company title occupation agreement.
- i. LIM – Land Information Memorandum

GENERAL

The Report is to be used by the Client only as guidance for evaluation of the condition of the premises and is not intended as an all-encompassing Report dealing with the Premises from every aspect. This report should be seen as a general guide from a trade professional providing a snapshot of the property and its elements. It is not designed to advise a potential buyer on the advisability of purchase, rather to provide enough information to satisfy the client and the lender on the elements of the property from a general perspective.

The inspection should not be misused as a form of compliance inspection as per the local authorities, nor should it be used as any guarantee or warranty of the present or future adequacy or integrity of any of the systems reported on in the property.

Weathertightness – This will be considered regardless of age, however it will not be measured against appendix A of the Standards or to E2/AS1 of the Building Code, Matrix and Evaluation, as this would be subject to a specialist report.

Please note that although moisture readings will be taken and will be reported on if they are deemed to be outside of a general tolerance, this does not replace the recommendations of a trade qualified weathertightness expert, and any readings taken are of a non-invasive type only. Any descriptions presented within this report, are based on trade knowledge and experience. These should be taken as general estimates only, based on the opinion of the (LBP) Licenced Building Practitioner completing the report and there may be cause for variation.

Should any disputes arise due to the content of this report, this will be actioned as per the terms and conditions accepted at the time of booking the inspection.

In all inspections, the inspector will not touch or move vendor's, tenant's or occupant's possessions or other items within the house and RedLBP inspectors will not be responsible for linings, flooring and other areas not able to be seen because of such possessions or items obscuring line of sight observations. This applies equally where carpeting, mats and so on might be obscuring/covering a view of any issues or defect in concrete or wooden flooring. The Inspector shall not disassemble equipment, or undertake any intrusive or destructive inspection, moving of furniture, appliances or stored items, or excavation.

The report is valid only for the day of the inspection, after which time the premises will require re-inspection to determine the currency of the report together with any changed circumstances which may affect the premises.

This report contains information obtained by inspection, sampling, testing or other means of investigation. Unless specifically stated otherwise in this report, RedLBP has relied on the accuracy, completeness, currency, and sufficiency of all information provided to it by, or on behalf of, the Client or any third party, and has not independently verified the information provided. RedLBP accepts no responsibility for errors or omissions in, or in the currency or sufficiency of, the information provided.

This report must be read in its entirety, it may not be reproduced in part by any individual.

Only the named owner of the report may use the information contained within the report.

The purchaser of this report has purchased the right to review the information contained within the report. All information remains the sole property of RedLBP Ltd.

This report has been produced as a result of a visual-only inspection of what was seen at the time and day of the inspection. The report is general in nature and is not intended as a substitute for professional advice. Nor does it purport to a survey plan of the site of the building. If further clarification is needed on any comments or any explanation at all, is required on any part of the report or photos then please contact the writer as soon as possible.

All reports are prepared and completed by an independent franchisee of RedLBP Limited. RedLBP Limited operates solely as the franchisor and is not responsible for the quality or accuracies of the output of its franchisees.

[RedLBP T&C's](#)

EXECUTIVE SUMMARY

The overall condition of the house is average. This is in context of the average condition of similar buildings of approximately the same age, type of construction and material type.

NZS4306:2005

3.2 The Property Report

A property report supplied by the inspector shall include the following

(I) A summary which includes an opinion as to the overall condition of the dwelling in the context of its age, type and general expectations of similar properties.

Indications of elevated moisture were detected to the side of the garage door. Recommend an LBP in carpentry reviews and advises remediation solutions.

We recommend checking the records of the BCA: Building Consent Authority to ensure that all necessary permits, consents, and Code Compliance Certificates are obtained and that the materials and finishes match the approved plans. It is also important to confirm that the floor layout matches the plans.

Faults have been identified in the report however, these are omitted from the executive summary due to not being a significant fault or a deferred maintenance issue. We kindly request that you review the report in its entirety.

PROPERTY IDENTIFIERS

Address	53 Tiromoana road Raumati south
Legal Description	LOT 2 DP 469140
Certificate of Title	630867
Land classification	Residential Suburban. Wind Zone - High (BRANZ - GIS).
Weather	Fine
Soil	Wet
Site Exposure	Exposed

BUILDING DESCRIPTION

The property was originally built in the 1950s and is located in Raumati South. It is a freehold title situated on a front section that is flat. The dwelling is one storey with three bedrooms and one bathroom.

Internally, the property has heating that consists of a heat pump which is located in the living room. The water system is heated by an electric hot water cylinder. The internal linings are plasterboard and softboard and are decorated with paint. The floors are T&G timber and chipboard or similar with floor coverings being carpet and composite flooring.

The foundation system is a combination of, a concrete slab on grade, and of timber construction, with the dwelling being of timber construction. The exterior joinery is timber and aluminium and is single-glazed. The property is clad with timber weatherboard with a paint coating. The roof is profiled metal. There is a garage, that is attached to the house, with single capacity, and internal access. The driveway is concrete.

Generally, the property has a living aspect of north and includes hard landscaping that consists of concrete pavers and stone paths. Soft landscaping of lawn, gardens and trees.

BUILDING ELEMENTS

Type	Inspected
Roof system	
Profiled metal	Limited access
Flashings & penetrations	Limited access
Guttering, downpipes, fascia & soffits	Limited access
Exterior cladding	
Timber weatherboard	Viewed
Exterior joinery	
Single-glazed aluminium and timber joinery with timber reveals.	Viewed
Foundation	
NZS3604 - Type A	Limited access
Roof space	
Timber framed - roof	Not viewed
Wall framing & non-invasive moisture testing	
Timber framed - wall	Not viewed
Interior linings	
Plasterboard and softboard ceiling and wall linings, timber trims and doors.	Viewed
Water closet	Viewed
Bathroom	Viewed
Bedroom 1	Viewed
Bedroom 2	Viewed
Bedroom 3	Viewed
Garage	Viewed
Living room	Viewed
Kitchen	Viewed

ROOF SYSTEM

Roofing material - Profiled metal - Long run.

Coating - Factory finish.

Condition of roofing material coating - No visible issues at the time of the inspection.

Fixings - Screw.

Laps - Correctly lapped.

Corrosion or damage to the roofing material - None visible at the time of the inspection.

Moss, mould or lichen - None visible at the time of the inspection.

Type of roof construction - Gable roof.

Pitch of roofs - 7 degrees.

Pitch appropriate for materials - Yes.

Deflections of roof planes - No visible deflections in the roof lines at the time of the inspection.

The roof was viewed from an extendable 3.6-metre ladder to all accessible elevations.

Maintenance recommendations:

To maintain the weathertightness of the building, it is important to follow the manufacturer's guidelines for regular maintenance of the roofing system. This may include periodic inspections to identify any signs of damage, such as dents or missing fixings, surface deterioration or leaks. Promptly addressing these issues can prevent further damage and protect the building from the elements.

Regular cleaning helps remove dirt, debris, and other contaminants that can accumulate on the roof's surface. By keeping the roof clean, you can prevent the buildup of substances that may lead to deterioration or damage over time. Recoating the roof, as recommended by the manufacturer, helps restore the protective layers and extends the lifespan of the roofing materials.



Photo 3

Roof is in serviceable condition.

Flashings - Flashings as per their design are never completely visible, the inspector will view all areas accessible safely from a 3.6-metre ladder or safe vantage point.

Ridges/barge/apron - Viewable areas only.

Material type - Metal.

Finish - Factory finish.

Condition - No visible issues at the time of the inspection.

Laps - No visible issues at the time of the inspection.

Penetrations

Type - venting.

Flashing material - Rubber.

Condition - No visible issues at the time of the inspection.

Flashings - Watershed back flashing in place.

Sealants - No visible issues at the time of the inspection.

Signs of leaking - None visible at the time of the inspection.



Photo 4

Ridge/barge and apron junctions.



Photo 5

East side penetration.

Guttering

Type - External.

Material - uPVC.

Gutter guard - None.

Falls - Functional.

Fixings/brackets - Functional.

Obstructions - Clear at time of inspection.

Damage/Corrosion/Leaks - None visible at the time of inspection.

Adequate outlets - Yes.

Droppers - No visible issues at the time of the inspection.

Moss and or lichen visible on or in the guttering system - None visible at the time of the inspection.

Downpipes

Material - uPVC.

Fixings - No visible issues at the time of the inspection.

Brackets - No visible issues at the time of the inspection.

Damage - No visible issues at the time of the inspection.

Leakage, blockages - No visible issues at the time of the inspection.

Discharge - Risers or onto the ground.

Fascia & bargeboards

Material - Timber.

Finish - Paint - No visible issues at the time of the inspection.

Soffits & eaves

Material - Fibrous cement sheeting. Suspected Asbestos containing material.

Finish - Painted.

Damage, rot or corrosion - No visible issues at the time of the inspection.

Soffit width from cladding to fascia - 300 - 400mm

Eaves & soffit widths measured from the external face of wall cladding to the outer edge of the overhang, including the fascia.

Maintenance recommendations:

At the time of the inspection, the gutters were found to be clear. To maintain proper drainage, it is crucial to ensure gutters remain free of debris. Blocked gutters can result in water overflowing and accumulating on the roof or other parts of the building, potentially causing water damage, leaks, and structural issues. Regular maintenance, such as removing leaves, twigs, and other debris, prevents blockages and ensures efficient water flow away from the roof, protecting the building's integrity.



Photo 6

No issues with the downpipes.

EXTERIOR CLADDING

Type - Timber - Bevel back weatherboard and plywood.

Vented cavity - No.

Finish - Painted.

Condition of finish - some flaking to the plywood.

Areas of rot - Areas noted (refer to photos).

Cupping or curling - None visible.

Cracks/splits - Areas noted.

Facings and trims - Securely fixed with no gaps.

Soakers - Not applicable.

Ground clearance - Areas requiring attention.

Seals around doors and windows - No visible issues.

Recommendations:

In some areas, minimum ground clearances are compromised due to hard landscaping or gardens. This reduced clearance can lead to accelerated weathering of the cladding and increase the risk of moisture-related damage. To mitigate this, it is recommended to lower the ground levels where feasible.

Maintenance recommendations:

Regular maintenance is necessary to keep the exterior surfaces clean and free from grime and contaminants, especially in areas that are not typically washed by rain, such as below guttering and eaves. Failure to clean these surfaces can lead to accelerated deterioration of construction materials. It's important to schedule normal maintenance over the next few years.



Photo 7

West side rot to weatherboard.



Photo 8

West side wall has a plywood infill.



Photo 9

South side has reduced ground clearance with a board missing exposing the the sub floor bearer to the atmosphere although, it has been painted.

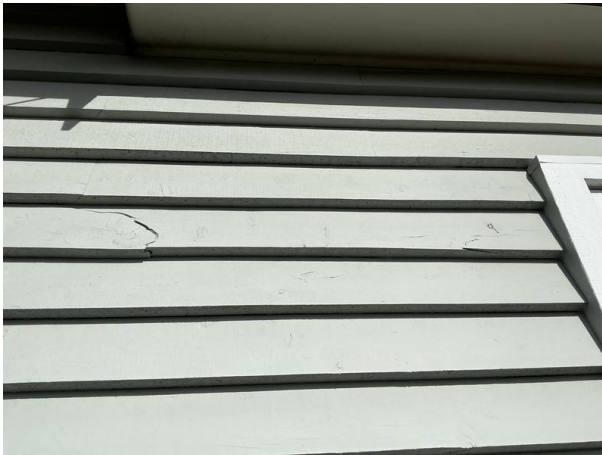


Photo 10

East side cracked weatherboards.



Photo 11
East side gaps to the weatherboard.



Photo 12
Northside rot to weatherboard.



Photo 13
Northside stone in contact with the weatherboard.



Photo 14
North side split boards.



Photo 15
West side plywood has flaking paint.



Photo 16
Plywood is in contact with the ground.



Photo 17

Refer to the wall framing section for moisture testing to this area.

EXTERIOR JOINERY

Single-glazed timber and aluminium joinery.

Coating - Exterior - Painted. Condition - No visible issues at the time of the inspection.

Exterior flashings - Head flashings installed.

Scribers - Sealed.

Putty/Beadings - No visible issues at the time of inspection.

Exterior timbers - No visible issues at the time of the inspection.

Reveals - Timber.

Finish - Painted.

Coating - Interior - Painted. Condition - No visible issues at the time of the inspection.

Hardware - Functional at the time of the inspection.

Opening sashes - All functional at the time of the inspection.

Damage - None visible at the time of the inspection.

Recommendations:

Recommend repairs to the garage north door.

Maintenance recommendations:

To maintain proper water flow and prevent blockages, it is essential to keep tracks, drainage channels, and weep holes clear of debris. Regular cleaning ensures these critical drainage systems function effectively, protecting the building from potential moisture-related damage.

Make sure paint is maintained and moisture is kept at a minimum.



Photo 18

Entrance door is timber framed.



Photo 19
West side timber framed window with a
aluminum insert.



Photo 20
East side hole to the side of the window.



Photo 21
West side garage door.



Photo 22

West side garage door sill is bent and not supported.

FOUNDATION

The subfloor space was viewed via the access hatch located on the south side, partly viewed via a under floor robot.

Please note this is a restricted access area for inspection due to current NZ legislation (Health & Safety at Work Act 2015). Every effort will be made to safely conduct a thorough inspection; however, if certain areas are inaccessible, they will be observed from the best available vantage point within the inspector's line of sight. Photographs will be taken to document all viewable areas for reference.

Foundation type - Type A - Timber-framed suspended timber floor structures supported only on piles.

Foundation wall - Timber framed with baseboards with gaps for ventilation.

Piles - Timber and concrete.

Condition of piles - No visible issues.

Sub-floor timbers, type and condition - Signs of borer.

Timber subfloor bracing - Visible.

Flooring - type - Particle board and timber flooring

Insulation - Polyester.

R value of insulation - R1.5.

Coverage - Acceptable.

Ground cover - None.

Ground condition - Damp.

Underfloor Space - Tidy.

Electrical - Modern TPS (Tough Plastic Sheath) wiring visible - Unsupported.

Non-Electrical wiring - Aerial/Data - None visible.

Plumbing - Waste and water pipes visible - Unsupported.

Plumbing type - Polybutylene - Grey.

Structural alterations - Yes. Historic alterations to the east and north side.

Sub-floor Clearance - Where visible - Zero and 450 mm below the bearer.

Recommendations:

Borer activity has been identified in the subfloor area. It is recommended that a pest control specialist conduct a thorough investigation to assess the extent of the infestation and provide appropriate treatment. Due to the limitations of this non-invasive inspection, the full extent of internal timber damage cannot be determined.

Refer to the drainage section for downpipe recommendations.



Photo 23

South side bearer is in contact with the ground.



Photo 24

Insulation installation record, R value 1.5.



Photo 25

Downpipe discharging under the house.
Ground is damp in this area.
Unsupported wires visible.



Photo 26

Borer visible to subfloor framing.
Unsupported wires visible.

ROOF SPACE

The ceiling space was not viewed due to no access hatch.

WALL FRAMING & NON-INVASIVE MOISTURE TESTING

Readings using a Protimeter Reachmaster Pro non-invasive moisture tester were taken from a minimum of three points from inside of all wet areas and areas of risk, where accessible.

Indications of elevated moisture readings were detected to the side of the garage door.

The condition of the internal framing is unknown.

The device is held up against the wall, timber or concrete and the unit scans up to 120mm from the surface. Where moisture is located, the readings from the metre will increase significantly. (Note: Metal also increases the readings of capacitance metres)

Measurement Method: Capacitance - Dielectric

Measurement Range: 0-1000 digits

The measurement is affected according to the dielectric measuring principle.

* The measurement results are only to be used as a reference for a rough orientation.

* An important variable influencing the measured value is the bulk density of the element to be measured. The higher the bulk density, the higher the measure value.

*If the material to be measured contains metals (e.g nails, screws, lines, pipes, foil backed plasterboard, fixings etc.) and is situated within the sensor's measuring field, the measured value skyrockets. In that event the measurement is not conclusive.

*With material thicknesses of less than 20mm there is a danger of humidity values adjacent material layers affecting the measured value.

MEASURED VALUE ASSESSMENT FOR WOOD

Since the measurement value displays of the dielectric measurement method - depending on marginal conditions - are subject to great fluctuations, a resistance measurement is always preferable, in particular for the determination of wood moisture.

MEASURED VALUE ASSESSMENT FOR BUILDING MATERIAL

For building materials, the measurement results of the dielectric measuring method can only be used as a reference for a rough orientation. Conclusions with respect to absolute humidity in mass % (M%) can only be drawn for measurements, performed with the exact same marginal conditions and compositions of the building materials as indicated for the test set-up in the chart below.

The measured values are only to be interpreted as indicators (dry, risk, wet).

60 to 170 = Dry (Green)

170 to 200 Risk (Yellow)

200 to 999 = Wet (red)



Photo 27

Corner of the shower has indications of normal moisture readings.



Photo 28

Corner of the shower has indications of normal moisture readings.



Photo 29

Side of the garage door has indications of elevated moisture.



Photo 30

Side of the garage door has indications of elevated moisture.

INTERIOR LININGS

Plasterboard and softboard ceiling and wall linings with a paint finish, timber trims and doors with a paint finish, carpet and composite floor coverings.

The inspection and resulting report are not intended to comprehensively identify or describe minor faults or minor defects. A minor fault or minor defect is a matter which, in view of the age, type or condition of the residential building, does not require substantial repairs or urgent attention and rectification and which could be attended to during normal maintenance. Minor faults and defects are common to most properties and may include minor blemishes, corrosion, cracking, weathering, general deterioration, unevenness, and physical damage to materials and finishes.

Toilet

Ceiling linings - Plasterboard - Paint finished.

Ceiling wall junction - Scotia.

Wall linings - Plasterboard - Paint finished.

Exterior joinery - Timber - Single-glazed - Standard glass - Painted timber reveals.

Internal doors - Hollow core.

Floor coverings - Composite flooring.

Condition of floor coverings - No visible issues.

Cistern & pan - Floor mounted. Tested - Functional - Yes. No visible issues.

Single or dual flush - Dual.

Vanity - Floor mounted.

Leakage - None visible at the time of the inspection.

Type of plumbing - uPVC waste

Ventilation - Opening window sash.



Photo 31
Toilet.



Photo 32
Vanity.

Bathroom

Ceiling linings - Plasterboard - Paint finished.

Ceiling wall junction - Scotia.

Wall linings - Plasterboard - Paint finished.

Exterior joinery - Timber - Single-glazed - Standard glass - Painted timber reveals.

Internal doors - Hollow core.

Floor covering - Composite flooring.

Vanity - Floor mounted.

Taps and waste - Functional - Yes.

Leakage - None visible at the time of the inspection.

Type of plumbing - uPVC waste

Bath - Free standing. Taps and waste functional - Yes.

Shower - Enclosure. No visible moisture issues.

Glass type - Safety.

Shower pressure - Adequate.

Water hammer - No noise or vibration noted.

Leaks from shower fittings - No.

Mechanical ventilation - Functional - Yes. Externally vented - Yes.

Heating - Yes.

Heated towel rail - Yes.

All showers, due to being exposed to water have the risk of water damage to surrounding elements that cannot be seen.

The common fail areas of the shower and plumbed areas were checked for indications of elevated moisture. Moisture levels were within the normal range.



Photo 33
Vanity.



Photo 34
Bath tub.



Photo 35
Laundry in the bathroom.



Photo 36
Shower.

Bedroom 1

Ceiling linings - Plasterboard - Paint finished.

Ceiling wall junction - Scotia.

Wall linings - Plasterboard - Paint finished.

Exterior joinery - Timber - Single-glazed - Standard glass - Painted timber reveals.

Internal doors - Hollow core.

Floor coverings - Carpet.

Cupboards - Double - Doors - Louvre.



Photo 37
Bedroom 1.

Bedroom 2

Ceiling linings - Softboard - Paint finished.

Ceiling wall junction - Scotia.

Wall linings - Plasterboard - Paint finished.

Exterior joinery - Aluminium and timber - Single-glazed - Standard glass - Painted timber reveals.

Internal doors - Hollow core.

Floor coverings - Carpet.

Cupboards - Double size, no door.



Photo 38
Bedroom 2.

Bedroom 3

Ceiling linings - Softboard - Paint finished.

Ceiling wall junction - Scotia.

Wall linings - Plasterboard - Paint finished.

Exterior joinery - Aluminium and timber - Single-glazed - Standard glass - Painted timber reveals.

Internal doors - Hollow core.

Floor coverings - Carpet.

Cupboards - Not applicable.



Photo 39
Bedroom 3.

Garage

Ceiling linings - Plywood - No finish.

Ceiling wall junction - Scotia.

Wall linings - Plywood - No finish.

Wall defects - None visible at the time of the inspection.

Exterior joinery - Aluminium - Single-glazed - Standard glass - Painted timber reveals.

Garage door - Sectional - Single - Steel - Not insulated - Automatic opener functional - Yes.

Internal doors - Hollow core.

Floor coverings - None.



Photo 40
Garage interior.



Photo 41
Visible moisture to the side of the garage door, refer to the wall framing section for moisture testing.



Photo 42
Wall is out of alignment.

Living room

Ceiling linings - Plasterboard - Paint finished.

Ceiling wall junction - Scotia.

Wall linings - Plasterboard - Paint finished.

Exterior joinery - Timber - Single-glazed - Standard glass - Painted timber reveals.

Internal doors - Hollow core.

Floor coverings - Carpet.

Cupboards - Not applicable.



Photo 43
Living room.

Kitchen

Ceiling linings - Plasterboard - Paint finished.

Ceiling wall junction - Scotia.

Wall linings - Plasterboard - Paint finished.

Exterior joinery - Timber - Single-glazed - Standard glass - Painted timber reveals.

Internal doors - Hollow core.

Benchtop - Sealed to cabinet/wall junction - Yes.

Benchtop material - Laminate.

Benchtops level - Yes.

Damage - None visible at the time of the inspection.

Splashback - Tiled - Sealed edge.

Cabinetry - Functional - Yes. Material type - Laminate.

Cabinetry requires maintenance - No.

Water hammer - No noise or vibration noted.

Sink - Leaks or visible issues - No.

Faucet functional - Yes.

Type of plumbing - uPVC waste.

Heat shield - Not applicable.

Cooktop - Electric - Not checked.

Oven - Powered on only - Functioning - Yes.

Mechanical ventilation - Functional - Yes. Externally vented - No.

Garbage disposal - Functional - Yes.

Floor coverings - Composite flooring.

Dishwasher - Functional - Yes. Powered on only, not run through a cycle.

It is outside the scope of this report to check the operation and performance of the appliances, these are checked only for power connection. It is recommended that appliances are serviced regularly to ensure proper safe operation.



Photo 44
Kitchen.



Photo 45
Kitchen.

NON-STRUCTURAL SYSTEMS

The following is a summary of the non-structural systems in the dwelling:

Driveway	Concrete
Boundary Fences	Timber
Paths	Stone and pavers
Retaining Walls	Retaining wall
Gates	Timber framed and covering
Drainage	Gully-traps, stormwater risers, sumps
Heating	Heat pump
Ventilation	Ventilation system
Services	Services

DRIVEWAY

Concrete.

Recommendations:

General upkeep and maintenance of driveway by cleaning and keeping free of debris.



Photo 46
Driveway, functional.

BOUNDARY FENCES

Unpainted timber palings fixed to timber rails with timber posts.

Condition of cladding - No visible issues.

Alignment - No visible issues.

Post and rail condition - No visible issues.

Average height - 0.9 - 1.8 metres.

Recommendations:

Ensure regular upkeep and maintenance by keeping vegetation and soil away from exterior timbers. These timbers are treated for external exposure but are not designed for prolonged contact with vegetation or soil, which can trap moisture and accelerate rot. Periodically inspect the area and clear any overgrowth or soil buildup.



Photo 47
East side, functional.



Photo 48
North side, functional.



Photo 49
West side, functional.

PATHS

Stone and pavers.

Recommendations:

General upkeep and maintenance.



Photo 50
South side, functional.

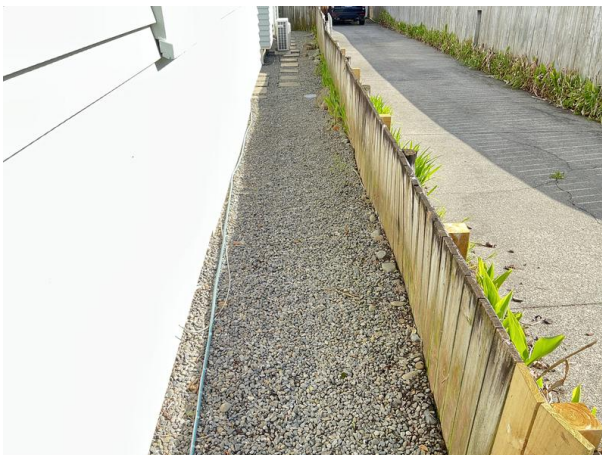


Photo 51
East side, functional.



Photo 52
North side, functional.

RETAINING WALLS

Retaining walls

Type - Timber.

Height of retaining wall - Up to 1m.

Rotation - Areas with a large degree of rotation.

Moisture - None visible at time of inspection.

Damage - No.

Recommendations:

Earth bound, visual inspection to exposed sections only.

Future maintenance/repairs should be expected.



Photo 53

South side wall is rotated.



Photo 54

South side wall posts have rot at the ground level.



Photo 55
Rotated wall on the north side, limited
visibility.

GATES

Timber framed and covering.

Recommendations:

Recommend regular lubrication of the hinges and latch to maintain full function.



Photo 56
West side, functional.



Photo 57
North side, functional.

DRAINAGE

Drainage

Gully traps, stormwater risers and channel drain. These were checked at the time of inspection where they were accessible.

The general adequacy of site drainage is not included in the report. Comments on surface water drainage are limited as where there has been either little or no rainfall for a period of time, surface water drainage may appear to be adequate but then during periods of heavy rain, may be found to be inadequate. Any comments made in this section are relevant only in light of the conditions present at the time of inspection.

Recommendations:

Maintain a clear area around drainage systems by ensuring vegetation and soil are kept away. This helps to prevent blockages, maintain proper water flow, and reduce the risk of water pooling or drainage failure. Regularly inspect and remove any overgrowth or debris that may obstruct the drainage.

It is recommended to ensure that all downpipes are properly connected to an approved stormwater drainage system. This helps to direct rainwater away from the building's foundation, reducing the risk of water pooling, erosion, or potential moisture-related damage to the structure. Proper stormwater management also helps to comply with local regulations and maintain the overall integrity of the drainage system.



Photo 58

West side downpipe connection visible.



Photo 59

East side downpipe connection visible.



Photo 60
East side downpipe connection visible
with gully trap to the right.



Photo 61
East side inspection manhole.

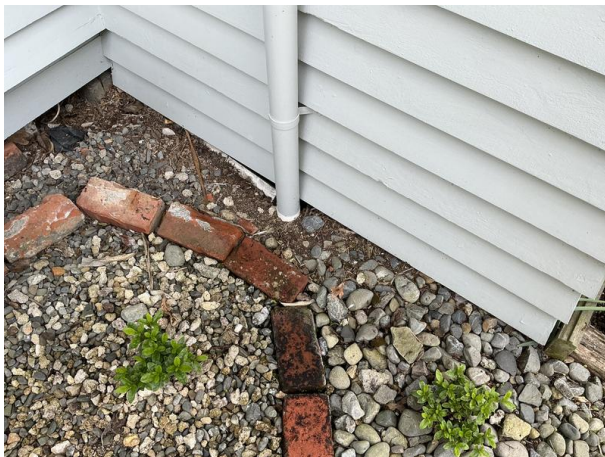


Photo 62
South side downpipe connection not
visible.



Photo 63
Driveway channel drain.



Photo 64
West side downpipe connection visible.



Photo 65
South side downpipe discharges under the house.

HEATING

Heat pump - Power connected at the time of inspection, full operation not tested.

Manufacturer - Panasonic.

Location - Living room.

Recommendations:

Follow the manufacturer's recommended servicing schedule to ensure the equipment operates efficiently and maintains optimal performance. Adhering to these guidelines helps identify and address potential issues early, reducing the risk of costly repairs and ensuring compliance with warranty requirements.



Photo 66

Outdoor unit located on the east side.



Photo 67

Indoor unit is located in the living room.

VENTILATION

Ventilation system
Manufacturer - SmartVent.

Recommendations:

Ventilation system filters should be inspected annually and replaced periodically or as required by the manufacturer.



Photo 68

Ventilation system controller is located in the hallway.



Photo 69

Outlets located in the bedrooms.

SERVICES

Services/systems tested.

Fire warning & control systems - Tested - Yes.
Heating systems - Tested - No.
Central vacuum systems - Not applicable.
Ventilation systems - Not applicable.
Heat transfer system - Not applicable.
Security systems - Not applicable.
Security cameras - Not applicable.
Electricity services - Tested - Yes.
Gas services - Not applicable.
Gas bottle storage - Not applicable.
Water services - Tested - Yes.
Hot water services - Tested - Yes.
Foul water services - Not applicable.
Grey water recycling system - Not applicable.
Rainwater recycling system - Not applicable.
Solar heating - Not applicable.
Solar power/panels/inverter - Not applicable.
Aerials & antennae - Not applicable.
Shading systems - Not applicable.
Telecommunications - Tested - No.
Lifts - Disabled access - Not applicable.
Water pump - Not applicable.
Water filters - Not applicable.
Stormwater soak pits - Tested - No.
Distribution board - Tested - No.
Header tank - Not applicable.
Communications hub - Tested - No.
Automatic garage door opener - Not applicable.
Ceiling fan - Not applicable.

Gas Metre - None.

Electrical

Electrical sockets - All accessible sockets and light switches throughout the house were tested at the time of the inspection - All sockets and light switches tested were operational.
Distribution board location - Hallway.
Earth stake - Location - On the East side of the dwelling.
Metre box - Location - On the East side of the dwelling.
Electrical connection - Underground supply.

Water source - Town supply.

Sewerage Disposal - Council sewer.

Water heating

Type - Mains pressure electric cylinder.
Capacity - 180L.
Approximate age - 2024.
Seismic bracing - Strapping.
Area serviced - Entire house.
Any visible defects - None visible.

Recommendations:

All building services should be regularly tested, serviced, and maintained by appropriately certified professionals in accordance with the manufacturer's specifications and guidelines. This ensures optimal performance, safety, and longevity of the systems while reducing the risk of malfunctions or failures.

Regular checks to ensure smoke detectors are functional.



Photo 70

Sky dish located on the north side.



Photo 71

Earth stake located on the east side.



Photo 72
Data and cable TV located on the southeast corner.



Photo 73
Smoke detector located in the dining room.

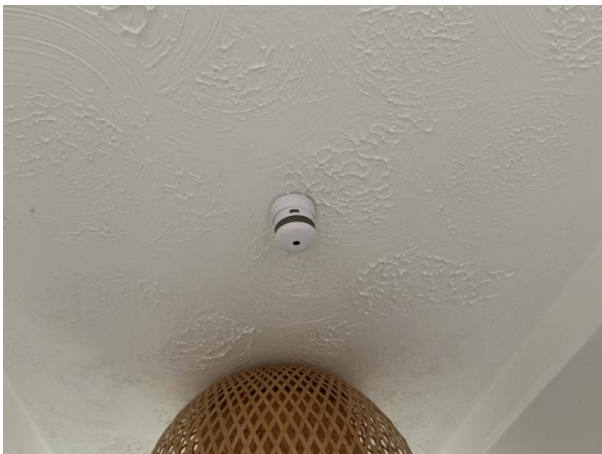


Photo 74
Smoke detector located in the hallway.



Photo 75
Distribution board is located in the hallway.



Photo 76
Meter board located on the east side.



Photo 77
Hot water cylinder located in the laundry cupboard.

CONCLUSION

Please note: This building inspection report has been carried out in accordance with NZS 4306:2005 – Residential Property Inspection. It is not a Healthy Homes Assessment and does not assess the property against all the specific requirements of the Healthy Homes Standards. Additionally, the inspection does not confirm full compliance with current building codes or standards, as it is limited to a visual, non-invasive assessment of the condition of the building at the time of inspection.

Overall Condition Rating Explanation

In this report, the overall condition of the property is classified as Below Average, Average, or Above Average. These terms are used to provide a general summary of the home's condition at the time of inspection.

- Below Average: The property has notable issues such as deferred maintenance, structural problems, or other significant concerns that may require attention.
- Average: This rating applies to the majority of homes. It refers to a property that is generally sound, with no major issues, though it may show signs of wear, dated finishes, or minor deferred maintenance consistent with age and use.
- Above Average: Reserved for a small number of homes (approximately 1%), this rating is given to properties that are in exceptional condition. These homes typically present as near-new or exceptionally well-maintained, with no visible issues or defects.

These classifications are intended to provide context and comparison, rather than to reflect personal value judgments.

The data and statistical information presented in this report were gathered from reliable, commonly utilized industry sources for survey purposes. While we have made every effort to ensure the accuracy of the information, in many cases, we cannot directly verify the information at its source and therefore cannot guarantee its accuracy.

We recommend checking the records of the BCA: Building Consent Authority to ensure that all necessary permits, consents, and Code Compliance Certificates are obtained and that the materials and finishes match the approved plans. It is also important to confirm that the floor layout matches the plans.

The age of the buildings was taken into consideration when the inspection and reporting was carried out. The survey of the condition of the building elements and components was carried out on the basis of 'the expected condition of the materials' considering their use, location and age.

It is important to carry out regular maintenance on a dwelling to identify and rectify minor problems before they become major, and to maintain weathertightness.

Should any issues arise, ensure they are remediated quickly to safeguard against further consequential issues.

There are areas as noted within the report where maintenance is recommended.

ASBESTOS IDENTIFICATION

The following is a summary of possible building materials that may contain asbestos:

Exterior, possible ACM (Asbestos Containing Material).

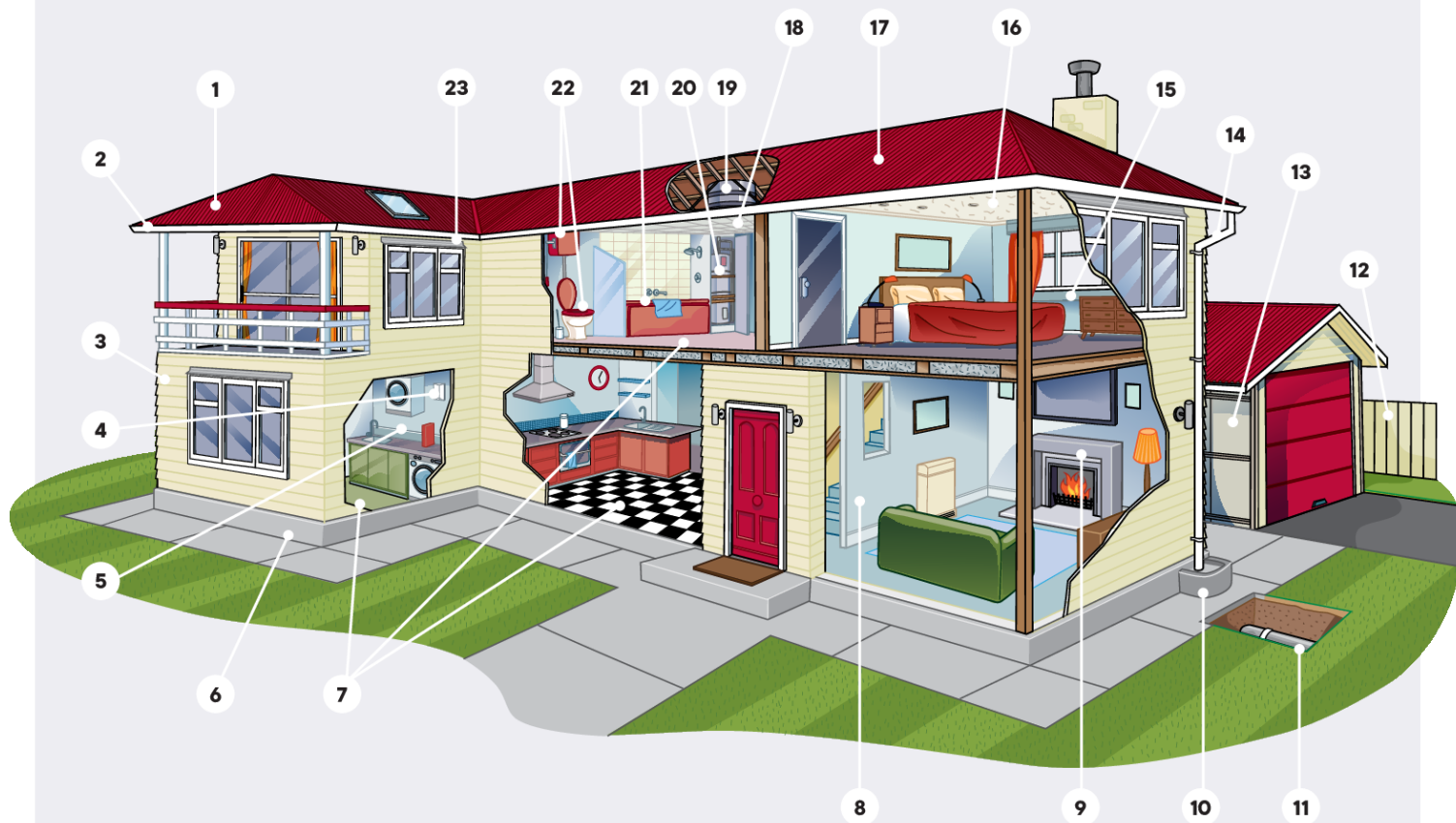
Fibrous cement sheeting to soffits.

Recommendations:

This product is non-friable, meaning when dry may not be crumbled, pulverised or reduced to powder by hand pressure (for example materials containing asbestos that have been mixed with cement or other hard bonding materials).

Have this tested for asbestos before undertaking any invasive works, such as drilling, cutting or sanding.

POTENTIAL ASBESTOS LOCATIONS IN A PRE-2000 HOUSE



- | | |
|--|---------------------------------|
| 1 ACM roofing panels, eg Super Six | 13 ACM clad garage |
| 2 Soffits | 14 Gutters and downpipes |
| 3 Compressed sheeting (asbestos containing material) | 15 ACM interior window panel |
| 4 Electrical meter board | 16 Textured ceiling |
| 5 Wet area lining substrate | 17 Loose fill insulation |
| 6 Cladding, including baseboards | 18 ACM ceiling tiles |
| 7 Vinyl flooring | 19 ACM water tank |
| 8 ACM partition wall | 20 ACM hotwater cupboard lining |
| 9 ACM surrounding fireplace | 21 ACM bath panel |
| 10 ACM stormwater trap | 22 ACM toilet seat and cistern |
| 11 ACM stormwater and sewage piping | 23 Exterior window flashing |
| 12 ACM fence panels | |