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CODE COMPLIANCE CERTIFICATE

SECTION 95, BUILDING ACT 2004

APPLICATION

K GOODMAN
2A OTAIHANGA ROAD
OTAIHANGA
PARAPARAUMU

No.	010272
Issue date	22/02/08
Application date	12/03/01
Overseer	Barrie McLennan

PROJECT

Description	New (& prebuilt) House, Unit, Bach, Crib, Town House etc. Being Stage 1 of an intended 1 Stages NEW DWELLING & GARAGE
Intended Life	Indefinite, but not less than 50 years
Intended Use	RESIDENTIAL
Estimated Value	\$190,000
Location	2A OTAIHANGA ROAD, OTAIHANGA, PARAPARAUMU
Legal Description	LOT 2 DP 56172
Valuation No.	1527098800

This is a final Code Compliance Certificate issued in respect of all the building work under the above building consent.

The property owner must follow and carry out the manufacturers prescribed maintenance procedures.

Signed for and on behalf of the Kapiti Coast District Council:

Name: MBrook

Date: 22/2/08



Code Compliance Certificate

Section 95, Building Act 2004

The Owner

Brynn McCauley & Joanne Welch	No.	060285
PO Box 757	Issue date	22/02/08
PARAPARAUMU	Application date	27/03/06

The Building

Street Address	2A Otaihanga Rd, Paraparaumu
Valuation No.	1527098800
Legal Description	LOT 2 DP 56172 & 1/2 SH IN LOT 3 DP 5617 2 BEING 6824 SQ METRES - SUBJ TO EASES O
Intended Use	Residential dwelling
Intended Life	Indefinite, but not less than 50 years
Current Use	Residential dwelling
Proposal	Closing off existing work(BC010272). Recladding & repitching roof,moving kitchen, lining downstairs living room.
Estimated Value	\$50,000

Code Compliance

The building consent authority named below is satisfied, on reasonable grounds, that –

- The building work complies with the building consent; and
- The property owner must follow and carry out the manufacturers prescribed maintenance procedures.

Signed for and on behalf of the Kapiti Coast District Council:

Signature:

Date:

29/2/08

KCDC CODE COMPLIANCE REVIEW CHECK SHEET

Criteria: All building work except for major projects.

Address: 2A OTAHANGA ROAD	Date: 22/2/08
	BC No: 060285

application for code compliance certificate (Form 278) completed	Y	N
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Confirm all required inspections have been completed and passed:	Answer: Yes or No
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If inspections have been missed, what supporting info and method of verification has been provided to compensate for missed inspection. (Describe):

Work in accordance with approved consent and approved amendments	Yes	No
If no, has NTF been issued:	N/A	No
Have items of non compliance been resolved and NTF uplifted.	N/A	No

Note: If work is not in accordance with consent, (and approved amendments) or NTF matters have not been resolved, suspend application for Code Compliance Certificate

Supporting documentation required in building consent addenda (Accept in accordance with AP-WI-020 – Acceptance of expert opinion)

Tick (✓) indicates yes, N/A indicates considered - but not applicable	Req'd	Supplied	Accept
copy of electrical certificate	✓	✓	
copy of gas certificate	N/A		
an "as-built" drainage plan	N/A		
plumbing (Form 125) for pressure test and installation piped services	✓	✓	
drainage (Form 126) for stormwater installation	N/A		
drainage (Form 127) for private sewer installation	N/A		
a Construction Review (PS4) statement for Structural engineering	✓	✓	
a Construction Review (PS4) statement for Fire engineering	N/A		
a Construction Review (PS4) statement for Geo-technical engineering	N/A		
Roof cladding warranty	✓	✓	
Solar water heating technical specifications	N/A		
wall cladding/texture coating installation applicator warranty			
a copy of the lift certificate			
a certificate from the fire alarm installer			
a certificate from the sprinkler installer			
a copy of wet-area membrane installers warranty			
A copy of deck membrane manufacturer's installers warranty/guarantee			

KCDC CODE COMPLIANCE REVIEW CHECK SHEET

If specified supporting documentation has not been provided, what alternative information or verification method has been provided to compensate. (describe):

Compliance Schedule

Is a new or amended compliance schedule required?	Y	N
If "Y" Has it been issued? (Refer note below)	Y	N
If the new/ revised compliance schedule has not been issued, what action has been taken to ensure it will be issued? Outline:		

Note: If the draft/ revised compliance schedule has not been issued, the Code Compliance Certificate cannot be issued. Suspend issuing CCC until this matter is addressed.

Building consent requirements.

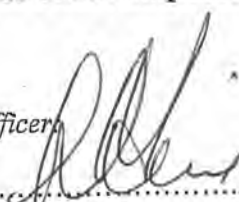
Are there any item specified in the building consent or PIM that have not been completed.

Outline: -----

Are there any development impact fees to be paid outstanding? Yes / No (if yes, CCC cannot be issued)

Approve to issue Code Compliance Certificate if all other outstanding fees are paid. YES / NO

Building officer:

Signature: 

Date: 22/2/08

Name: Anna

Co-reviewer:

Signature: 

Date: 29/2/08

Name: Russell Brook

Producer Statement
Piped Services
&
Sanitary Plumbing Stacks

Construction Review

Issued by Timmy Goudie..... Registration Number 10690.....

To Kapiti Coast District Council

In respect to the following

Piped Services installed in accordance with G12/AS1 as shown on the approved plans or as per the attached amended plan and Sanitary Plumbing Stacks installed in accordance with G13/AS1 or AS/NZS 3500.2.2

Installed at 2^A Otaihangā Rd.....

Building Consent No. 060285.....

As a Craftsman plumber, currently holding an annual practicing license, certify that I, or personnel under my control, have carried out the installation of the above system and I believe on reasonable grounds that the installation complies with the New Zealand Building Code. Both hot and cold systems have been pressure tested for a period of 15 minutes at a pressure of 1500 kPa.

Signed [Signature]..... Date 14-1-08.....

Warranty Plus

ROOFING warranty for 2A Otaihanga Road

COLORSTEEL® Maxx™

Steel & Tube Roofing Products warrants that COLORSTEEL® Maxx™ coated steel materials as detailed below, will perform as follows;

Durability	Roofing will not perforate through corrosion within 30 years.		
Coatings	Roofing will not flake, peel or excessively fade within 15 years.		
Drinking Water	Products will be a suitable surface for the collection of rainwater for drinking.		
Performance	Products will perform in accordance with our published design literature current at the time of supply.		
Standards	NZS/AS 1397-93 Steel sheet and strip -Hot dipped zinc coated or aluminium/zinc coated. NZS/AS 2728-97 Prefinished/prepainted sheet metal products for interior/exterior building applications.		

Issued to	Brynn McCauley	Profile	.40 Trimline
Address	2A Otaihanga Road Kapiti	Colour	Thunder Grey
City	Paraparaumu	Invoice No(s)	372068
Environment	Moderate Marine	Lift No(s)	304914, 308415
Installed by	AAA Roofing	Install Date	September, 2006

AAA Roofing warrants the product for 5 years against faulty workmanship or defects caused by poor installation. The installer does not warrant the product against mechanical damage occurring after installation.

Signed for AAA Roofing

Minor white corrosion, which may appear at unwashed tension bends or cut edges, is a natural weathering phenomenon of COLORSTEEL® Maxx™ and does not constitute a failure of the coating system. The life of the product may be extended beyond the warranty period by regular maintenance.

Important :This warranty is offered subject to maintenance by the occupier consisting of manual washing of unwashed areas and high risk areas every 3 months

Please see overleaf for Terms and Conditions of warranty

Signed for Steel & Tube Roofing Products, 30 October 2007

Ref: RWN-TDEY-78F883

Terms & Conditions of Warranty

1. *This warranty is issued according to information supplied to Steel & Tube Roofing Products.*
Environmental Classifications are as described in the table below. The warranty shall not apply if the environment described herein is not an accurate assessment of the actual site details.
2. *Maintenance must be carried out in accordance with the maintenance schedule printed on the front of this document.*
3. Prepainted material is subject to normal wear and tear which may include uniform fading, chalking and dirt collection.
4. The product must be processed, installed and maintained in accordance with manufacturer's published literature, Steel & Tube Roofing Products' literature and accepted good trade practice.
5. The products must be sold as prime material.
6. Garage doors are not included in this warranty.
7. Damage or corrosion resulting from the following circumstances is not covered:
 - Mechanical, chemical, heat or wet storage damages.
 - Contact with, or run off from dissimilar metals such as stainless steel, lead or copper.
 - Contact with, or run off from corrosive materials such as fertiliser or wet concrete.
 - Exposed soffits or aggressive internal environments.
 - Special Conditions as defined in New Zealand Steel or Pacific Coilcoaters literature.
 - Storm, volcanic activity or other causes beyond the control of the roofing manufacturer.

If the product has failed to perform as warranted, Steel & Tube Roofing Products will at its own option repair or replace the affected material. A new warranty shall be issued to cover the balance of the original offer for perforation protection.

Steel & Tube Roofing Products shall not be liable for any consequential loss or damages except as may be required by law.

Environmental Classifications

Category	Characterised by	Typical Zones
Extreme Marine	• Heavy salt deposits. • Almost constant smell of salt spray in air.	Within 50 metres from breaking surf on East Coast, and 100 metres from breaking surf on West Coast.
Very Severe Marine	• Heavy salt deposits. • Almost constant smell of salt spray in air.	Within 50 – 100 metres from breaking surf on East Coast, 100-200 metres from breaking surf on West Coast.
Severe Marine	• Light salt deposits. • Frequent smell of salt in the air.	Commencing from Very Severe zone up to 500 metres or more inland from breaking surf; or in the immediate vicinity of calm salt water such as harbour foreshores.
Moderate Marine	• Little or no salt deposits. • Occasional smell of salt in the air.	500 metres to 1 km from breaking surf; or in the immediate vicinity of calm salt water such as estuaries.
Moderate Inland	• No obvious marine influences.	More than 1000 metres from salt water.

Note: Industrial and Geothermal areas are subject to individual assessment.

The above terms are subject to correct design, storage, installation and maintenance provisions.

WHANGAREI:
9 Southend Avenue
Otaika
PO BOX 1869
Phone 09 438 4600
Fax 09 438 0342

NORTH SHORE:
2 Ride Way
Nth Hbr Ind Estate
PO BOX 100 182
Phone 09 415 8080
Fax 09 415 9192

AUCKLAND:
14 Kerwyn Avenue
East Tamaki
PO BOX 58 216
Phone 09 274 4056
Fax 079 274 8972

HAMILTON:
32 Kaimiro Street
Pukete Ind Estate
PO Box 10 458
Phone 07 850 9200
Fax 07 850 9330

TAURANGA:
67 Koromiko Street
Judea
PO Box 2001
Phone 07 578 1089
Fax 07 578 0186

WELLINGTON:
201 Gracefield Road
Lower Hutt
PO Box 36 082
Phone 04 568 4359
Fax 04 568 6770

CHRISTCHURCH:
106 Antigua Street
Sydenham
PO Box 7306
Phone 03 377 0994
Fax 03 377 2680

ELECTRICAL WORKERS
REGISTRATION BOARD

Safety • Competency

Electrical Certificate of Compliance

for prescribed electrical work that is carried out on electrical installations and involves the placing or positioning or the replacing or repositioning of conductors (including fittings attached to those conductors).

No. 1264122

No. of attachments

CUSTOMER INFORMATION - PLEASE PRINT CLEARLYName of customer Leo GoodmanTelephone 021 750018

Fax

Address of installation 2B Otaihangā Road Paraparaumu

Postal address of customer (if not as above)

WORK DETAILS40 No. of lighting outlets1

No. of ranges

34 No. of socket outlets1

No. of water heaters

Was any installation work carried out by the homeowner?

☐

Yes

☒

No

Please tick (✓) as appropriate where work includes:

☒

Mains

☒

Main earth

☒

Switchboard

☐

Electric lines

Description

Run 3 φ 16 mm U/S Cable
2 m in house

Use sketch if necessary

CERTIFICATION OF WORK

I certify that the above electrical work has been carried out in accordance with the requirements of the Electricity Act 1992 and Electricity Regulations 1997.

ELECTRICAL WORKER DETAILS

Name

Leo Goodman

Registration no.

E6362

Company

Signature

[Signature]

Date

3/7/01**CERTIFICATION OF ELECTRIC LINES**

(to be completed where "Description of Work" includes "Electric Lines")

Name

Long Huh

Registration no.

LM 736

Company

Power On

Signature

[Signature]

Date

2/7/01**INSPECTION DETAILS** Electrical work requiring inspection by a registered electrical inspector☒

New mains

☒

Switchboard

☒

Earthing system

☐

Installation work in hazardous areas

I certify that the inspection has been carried out in accordance with the requirements of the Electricity Regulations 1997.

Name

Wally ITI

Registration no.

I 1362

Signature

[Signature]

Date

04-07-01

TO BE RETAINED BY THE PERSON RESPONSIBLE FOR THE WORK

Electrical Certificate of Compliance

for prescribed electrical work that is carried out on electrical installations and involves the placing or positioning or the replacing or repositioning of conductors (including fittings attached to those conductors).

To be completed whether or not an inspection is required.

No. **2531404**No. of attachments **CUSTOMER INFORMATION - PLEASE PRINT CLEARLY**

Name of customer

Brynn McCauleyPhone:

Address of installation

2A OTAHANGA Rd. OTAHANGA PAPARUAPostal address of customer (if not as above) **WORK DETAILS****18**

No. of lighting outlets

1

No. of ranges

16

No. of socket outlets

No. of water heaters

Was any installation work carried out by the homeowner?

Yes ☐No ☒

Please tick (✓) as appropriate where work includes:

☐ Mains☐ Main earthing system☒ Switchboard☐ Electric lines

Description

**Electrical work to
Renovations to House.
New Switchboards with R.C.D
Protection
Rewire to Kitchen + Downstairs
AREA**

It is recommended that test results be recorded here:

Visual Examination ☒Earth Continuity ☒Bonding ☐Polarity ☐Insulation Resistance **7300 MΩ** MohmOther

If necessary attach any pages with sketches of work done

CERTIFICATION OF WORK

I certify that the above electrical work has been carried out in accordance with the requirements of the Electricity Act 1992 and Electricity Regulations 1997.

ELECTRICAL WORKER DETAILS

Name

JOHN KEMP

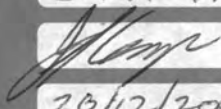
Registration no.

E1700

Company

BRIEN ELECTRICAL

Signature



Date

20/12/2007

Contact Ph No.

2987053**CERTIFICATION OF ELECTRIC LINES**

(to be completed where a separate electrical worker has installed the electric line portion of the mains)

Name Registration no. Company Signature Date Contact Ph No. **INSPECTION DETAILS** Electrical work requiring inspection by a registered electrical inspector☐ New mains☐ Switchboard☐ Earthing system☐ Installation work in hazardous areas

I certify that the inspection has been carried out in accordance with the requirements of regulation 41 of the Electricity Regulations 1997.

Name Registration no. Signature Date Daytime Contact Ph No.

SCOPE OF INSPECTION SHEET

Date 22/2/08 SR or BCA 060285 Inspection No. Final
 Time 9:00 Documents on site YES / NO YES
 Owner Name B.M. CAULEY & J. WELCH Project Description Appt. & Prop.
 Site Address 2A OTAHANGA RD.

Building Plumbing

Circle appropriate Type & Inspection Other

Site Found Piles PreSlab Subfloor Drainage PreWrap PreClad Weathertight PreLine PostLine Block Brick Ret.Wall Final

Engineer Supervision Yes Yes No n/a - Name HANISH WELCH

Notes WORK COMPLETED AS PER PLANS Diagram (if necessary)
CCF APPLICATION RECEIVED
PS4 RECEIVED
PLUMBER PRODUCER STATEMENTS
ROOF WARRANTY
ELECTRICAL COMPLIANCE x 2

Photo's Taken - Nos. saved / scanned? Y / N

Site instruction issued

Result: Pass Part pass Fail

Confirmation of inspection by person on site

Person on site: Builder ☐ Owner ☒ Other ☐ No One on site ☐

Your next inspection will be
 (Guidance notes for inspection on the rear of this sheet)

Agreed, B.M. Cauley Sign [Signature] Date 1/1/
 (Print Name)

Officer Name Alan Sign [Signature] Date 22/2/08

Additional Insp. Sheet No.

SCOPE OF INSPECTION

Inspections are made in conjunction with, and with the cooperation of, the owner/owner's agent to ensure that the building work complies with the provisions of the Building Act and NZ Building Code. The inspection is general in nature and involves an audit of the following aspects:

Engineer – Civil/Structural/Fire/Geotechnical: An engineer has been engaged to carry out inspections on behalf of the owner. Please ensure those inspections are carried out. A Certificate of Expert Opinion is required to be supplied to Council.

Site: A surveyor's report, or visible boundary markers provided, so that the set out of the project can be clearly identified.

Foundation: When all formwork has been completed, footings have been excavated and reinforcement is in place.

Piles: When all holes are excavated prior to installation.

Pre-slab plumbing (concrete slab): When all plumbing and drainage pipes have been installed, prior to backfilling.

Pre-slab building (concrete slab): When DPM has been placed with all laps and penetrations sealed, reinforcing in place and in position with chairs as appropriate.

Sub-floor (timber suspended floor): When all sub-floor connections, joists and required blocking, and any suspended plumbing pipe work have been completed, but before any flooring or base boards have been fitted. Relocated dwellings require a sub-floor inspection prior to the base boards being fitted.

Drainage: When all drainage works is completed and is under test, before backfilling occurs. As laid drainage plan is required at time of inspection.

Pre-wrap: When all roof and wall framing is complete, including any exterior sheet bracing, but before building wrap has been installed.

Pre-clad: When building wrap and window and door flexible flashing tape has been installed, cavity battens (cavity systems), cavity closers and all flashing systems are in place, but before joinery has been installed.

Weathertightness: When exterior cladding has been installed, flashings in place, air seals fitted to openings, but before any coating system have been applied.

Pre-line (plumbing): When all internal plumbing is complete and plumbing pipe work is under test pressure.

Pre-line (building): When the exterior of the building is weather tight, all structural components (including bracing) have been completed and wall insulation is in place.

Wet area membranes, decks, roofs and shower area: Pre application of wet area membrane, when all outlets and flashings have been installed, ready for membrane installation.

Post application of wet area membrane.

Post-line: When all interior linings have been installed, but before skirting, Scotia or plastering stopping. Installation details of screws check of wall bracing element.

Block: When all masonry block work including block foundations for slab floors, is completed, reinforcing in place and washout openings in place.

Brick Veneer: When veneer is at half height and all flashings are in place.

Retaining wall: Pre application of waterproof membrane system.

Post application of waterproof membrane system.

Protection installed for membrane system and installation of perforated drainage system before back filling.

Final: Final inspections are carried out at the completion of the project and may include entire project, plumbing, drainage and storm water. The Code Compliance Certificate is issued if the building work complies with the approved building consent.

Free Standing Fireplace: Final inspection required only.

In Built Fireplace: Inspection required before installation and after installation.

PRIVACY STATEMENT

1. The information contained on the Building Inspection Report Sheet is held by the Kapiti Coast District Council, whose address is Private Bag 601, Paraparaumu.
2. The information is available for public inspection as part of the Building Record of the property concerned.
3. You have the right under the Privacy Act 1993 to obtain access to, and to request correction of any personal information held by Council concerning you.

Council has a Privacy Officer. If you have any concerns regarding privacy issues please telephone (04) 296 4700

FINAL INSPECTION

Date 22/2/08 SR or BCA 060285 Inspection No. FINAL

Time Documents on site YES / NO

Owner Name B.M. CAULEY & J. WELCH Project Description ADD A 2ND FLOOR

Site Address 2A OTAHANGA RD.

All inspections are carried out with strict reference to the building consent granted.

P = Pass F = Fail NA = Non-Applicable

Inspection decisions are based on the extent of work inspected at the time of inspection.

Please refer to the related scope sheet for definition of the inspections extent.

Applicable to all inspections

Sighted previous inspection notes	Y	N	NA	Conforms with approved drawings	Y	N	NA	Confirm Additional information/amended plan	Y	N	NA
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FINAL – Exterior

Sub-floor ventilation	P	F	NA	Roof fixings	P	F	NA	Spouting + Down-pipes	P	F	NA
Deck Structure	P	F	NA	Flashings – Roof	P	F	NA	Penetrations – Flashings	P	F	NA
Barriers	P	F	NA	Gully Dishes	P	F	NA	Storm-water + site drainage	P	F	NA
Handrails	P	F	NA	Wastes to gully	P	F	NA	Fixings – Durability	P	F	NA
Steps/Stairs	P	F	NA	Terminal vents/AAV's	P	F	NA	Cladding painted/sealed	P	F	NA
Flashings – Windows/Doors	P	F	NA	Cladding Ground Clearance	P	F	NA		P	F	NA

FINAL – Interior

Service areas – floors/walls	P	F	NA	Food storage/preparation	P	F	NA	Hot water temp <u>49</u>	P	F	NA
Stair design	P	F	NA	Ventilation	P	F	NA	Solid fuel heater	P	F	NA
Handrails	P	F	NA	Insulation + clearance	P	F	NA	Water supply tank	P	F	NA
Balustrades	P	F	NA	HWC flues	P	F	NA	Trap seals + AAV's	P	F	NA
Lightings	P	F	NA	HWC valves	P	F	NA	Cistern flushing	P	F	NA
Laundering	P	F	NA	HWC restraint	P	F	NA	WC pan connection	P	F	NA
Cooking facilities	P	F	NA	Tempering valve	P	F	NA	Septic tank	P	F	NA
Smoke detectors	P	F	NA	Glazing – Human Impact	P	F	NA	Window labels	P	F	NA

FINAL – Intertency/Commercial

Fire/Life systems sighted	P	F	NA	Guarantees/Warranties/Certificates/Expert Opinion	P	F	NA	Intertency STC	P	F	NA
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All Inspections

Road Crossing Complete	P	F	NA	Energy Certificates supplied	P	F	NA	Final Check Complete	Y	N	
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Name: Alan Officer Sign: [Signature] Date: 22/2/08

SCOPE OF INSPECTION SHEET

Date 6-10-06 SR or BCA 060285 Inspection No.

Time 10.54 Documents on site YES / NO

Owner Name B. McCannley Project Description Add

Site Address 2A Otahanga

Building Plumbing

Circle appropriate Type & Inspection Other

Site Found Piles PreSlab Subfloor Drainage PreWrap PreClad Weathertight PreLine PostLine Block Brick Ret.Wall Final

Engineer Supervision Yes No n/a - Name

Notes Diagram (if necessary)

All ok to batter wall
nailed off eaves -

ok to proceed.

Photo's Taken - Nos. saved / scanned? Y / N

Site instruction issued

Result: Pass Part pass Fail

Confirmation of inspection by person on site

Person on site: Builder ☒ Owner ☐ Other ☐ No One on site ☐

Your next inspection will be
(Guidance notes for inspection on the rear of this sheet)

Agreed, SAM DRAU Sign [Signature] Date 6/12/06
(Print Name)

Officer sign [Signature] Name Glen Lock Date 6/11/06

Additional Insp. Sheet No.

Information entered into data base ☐ Initial Date / /

SITE / FOUNDATIONS / PILES / PRE SLAB / SUBFLOOR / DRAINAGE

Date 6-10-06 SR or BCA 060285 Inspection No.

Time 10.54 Documents on site YES / NO

Owner Name B. McCauley Project Description Add

Site Address 2A Otahanga

All inspections are carried out with strict reference to the building consent granted.

P = Pass **F = Fail** **NA = Non-Applicable**

Inspection decisions are based on the extent of work inspected at the time of inspection.

Please refer to the related scope sheet for definition of the inspections extent.

SITE

Conforms with approved drawings	Y	N	NA	Checked driveway	Y	N	NA	Engineer supervision required	Y	N	NA
Scope of Resource consent granted?	Y	N	NA	Checked position off relevant boundaries and datum height	Y	N	NA		Y	N	NA
Expert Opinion (Producer statement) required	Y	N	NA	Name of Surveyor				Name of Engineer			
				Company				Company			

FOUNDATIONS

PILES

SUBFLOOR

Footing Depth	P	F	NA	Pile size	P	F	NA	Pile/Bearer/Joist Fixings	P	F	NA
Good bearing (NZS 3604)	P	F	NA	Pile layout is to plan	P	F	NA	Notching, Holes, etc	P	F	NA
Reinforcing	P	F	NA	Special piles - point load	P	F	NA	Solid Blocking	P	F	NA
Siting	P	F	NA	Timber Treatment	P	F	NA	Joists	P	F	NA
Sub-floor vents	P	F	NA	Hole depth	P	F	NA	Beams/Bearers	P	F	NA

PRE SLAB

Rebate for brick veneer	P	F	NA	Sand blinding	P	F	NA	Steel reinforcing	P	F	NA
Ground clearance	P	F	NA	Slab thickenings	P	F	NA	Bar chairs			
Secondary flow path	P	F	NA	Vapour barrier (DPC)	P	F	NA	Wastes & drains-size/fall	P	F	NA
Driveway s/w control	P	F	NA	Bottom plate fixings	P	F	NA	Test-Water / Air	P	F	NA
Concrete cover	P	F	NA	TPR line	P	F	NA	DPC penetrations taped	P	F	NA
Pipe material	P	F	NA	Plumbing layout	P	F	NA	Visual leak check	P	F	NA
Pipe protection	P	F	NA	Pipes supported	P	F	NA	Minimum floor level	P	F	NA

DRAINAGE

Pipe diameter	P	F	NA	Connections/Angles	P	F	NA	Holding water	P	F	NA
Bedding material	P	F	NA	Branch length	P	F	NA	Terminal vent	P	F	NA
Gully trap(s)	P	F	NA	Direction/Fall	P	F	NA	LBP/Registration No:			

Officer Sign: [Signature] Name: Glen Date: 6-10-06

SCOPE OF INSPECTION SHEET

Date 20/9/2006 SR or BCA 060285 Inspection No. 2

Time Documents on site YES / NO

Owner Name M^r Conky - Welch Project Description Alts

Site Address 29 Otaihanga Rd Parem

Building Plumbing

Circle appropriate Type & Inspection Other

Site Found Piles PreSlab Subfloor Drainage PreWrap PreClad Weathertight PreLine PostLine Block Brick Ret.Wall Final

Engineer Supervision Yes No n/a - Name

Notes * 1st floor only pre-clad
* internal corn flashing in place
* head flashing to windows in place
* 2 flashings on site.

Diagram (if necessary)

*OK TO FINISH CLADDING
TO 1st floor*

Photo's Taken - Nos. saved / scanned? Y / N

Site instruction issued

Result: Pass Part pass Fail

Confirmation of inspection by person on site

Person on site: Builder ☒ Owner ☐ Other ☐ No One on site ☐

Your next inspection will be
 (Guidance notes for inspection on the rear of this sheet)

Agreed, Sign Andrew Date 20/9/2006

Officer sign A. Mauer Name Andrew Date 20/9/2006

Additional Insp. Sheet No.

Information entered into data base ☐ Initial Date 20/9/2006

PRE WRAP / PRE CLAD

Date 20/9/2006 SR or BCA 060285 Inspection No. 2

Time Documents on site YES / NO

Owner Name Mr Conky - Welch Project Description ALts

Site Address 29 Otaihangā Rd Kōwhiri

All inspections are carried out with strict reference to the building consent granted.

P = Pass F = Fail NA = Non-Applicable

Inspection decisions are based on the extent of work inspected at the time of inspection.

Please refer to the related scope sheet for definition of the inspections extent.

Applies to all inspections

Sighted previous inspection notes	Y	N	NA	Conforms with approved drawings	Y	N	NA	Confirm Additional information/amended plan	Y	N	NA
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PRE WRAP

Cladding type identified	P	F	NA	Exterior sheet bracing & angle brace fixing	P	F	NA	Bracing requirements	P	F	NA
Framing moisture meets cladding requirements	P	F	NA	Bottom plate connections	P	F	NA	Purlin fixing	P	F	NA
Stud spacing appropriate for cladding	P	F	NA	Building wrap type	P	F	NA	Decking substrate	P	F	NA

PRE CLAD

Building wrap	<u>P</u>	F	NA	Building wrap	<u>P</u>	F	NA	Head flashings	<u>P</u>	F	NA
Flexible sealing tape type				Flexible sealing tape	<u>P</u>	F	NA	Sill flashings	P	F	<u>NA</u>
Deck membrane type				Deck membrane fixed in accordance with Spec	P	F	<u>NA</u>	Back flashings	P	F	<u>NA</u>
Saddle flashings	P	F	NA	Internal/external corner flashings	<u>P</u>	F	NA	Jamb flashings	P	F	<u>NA</u>
Capillary clearances	P	F	NA	Flashing of penetrations	P	F	<u>NA</u>	Ground/deck cladding clearance	<u>P</u>	F	NA

CAVITY SYSTEM

Additional strapping to wrap	P	F	NA	Batten timber treatment	P	F	NA	Cavity closers	P	F	NA
Battens in place	P	F	NA	Battens structural fixing	<u>P</u>	F	NA	Cavity spacers	P	F	NA
Cavity spacers size & slope	P	F	NA	Reinforcing fixed in place (stucco)	P	F	NA	Proprietary self spacing mesh	P	F	NA
Mesh spacers (stucco)	P	F	NA	Proprietary control joints (stucco)	P	F	NA	Rigid backing type (stucco)	P	F	NA
Fixings (galvanized or stainless) (stucco)	P	F	NA		P	F	NA		P	F	NA

Officer Sign: Andrew Name: Andrew Date: 20/9/2006

SCOPE OF INSPECTION SHEET

Date 13/9/06 ~~SR~~ BCA 060285 Inspection No. 1

Time 11:15 Documents on site YES / NO

Owner Name M'CAULEY - WELCH Project Description Deck Pools & ALUs

Site Address 2A OTAHANGA RD

Building Plumbing

Circle appropriate Type & Inspection Other

Site Found Piles PreSlab Subfloor Drainage PreWrap PreClad Weathertight PreLine PostLine Block Brick Ret.Wall Final

Engineer Supervision Yes No n/a - Name HAMISH WELLS (DECK ONLY)

Diagram (if necessary)

Notes

LOWER LEVEL POLYSTYRENE ON
H3 BATTENS IN PLACE

REAR OK TO WRAP OVER &
BATTEN REBATED TO WINDOWS

FURTHER PRECLAD INSPECTION
REQUIRED

Photo's Taken - Nos. saved / scanned? Y / N

Site instruction issued

Result: Pass Part pass Fail

Confirmation of inspection by person on site

Person on site: Builder ☒ Owner ☒ Other ☐ No One on site ☐

Your next inspection will be
(Guidance notes for inspection on the rear of this sheet)

Agreed, ERROL DAVIES Sign [Signature] Date 13/9/06

Officer sign [Signature] Name Date 13/9/06

Additional Insp. Sheet No.

Information entered into data base ☐ Initial Date / /

PRE WRAP / PRE CLAD

Date 13/9/06 SR or BCA 060285 Inspection No. 1

Time 11:15 Documents on site YES / NO

Owner Name M'CAULEY - WELCH Project Description DRG MOOS & ALTS

Site Address 2A OTAHANGA RD

All inspections are carried out with strict reference to the building consent granted.

P = Pass F = Fail NA = Non-Applicable

Inspection decisions are based on the extent of work inspected at the time of inspection.

Please refer to the related scope sheet for definition of the inspections extent.

Applies to all inspections

Sighted previous inspection notes	Y	N	NA	Conforms with approved drawings	Y	N	NA	Confirm Additional information/amended plan	Y	N	NA
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PRE WRAP

PARTIAL STORK 1

Cladding type identified	<u>P</u>	F	NA	Exterior sheet bracing & angle brace fixing	P	F	NA	Bracing requirements	P	F	NA
Framing moisture meets cladding requirements	P	F	NA	Bottom plate connections	P	F	NA	Purlin fixing	P	F	NA
Stud spacing appropriate for cladding	<u>P</u>	F	NA	Building wrap type	P	F	NA	Decking substrate	P	F	NA

PRE CLAD

(RECLAD)

Building wrap	P	F	NA	Building wrap	P	F	NA	Head flashings	P	F	NA
Flexible sealing tape type				Flexible sealing tape	P	F	NA	Sill flashings ALL	P	F	NA
Deck membrane type				Deck membrane fixed in accordance with Spec	P	F	NA	Back flashings EXISTING	P	F	NA
Saddle flashings	P	F	NA	Internal/external corner flashings	P	F	NA	Jamb flashings	P	F	NA
Capillary clearances	P	F	NA	Flashing of penetrations	P	F	NA	Ground/deck cladding clearance	P	F	NA

CAVITY SYSTEM

Additional strapping to wrap	P	F	NA	Batten timber treatment	P	F	NA	Cavity closers	P	F	NA
Battens in place	P	F	NA	Battens structural fixing	P	F	NA	Cavity spacers	P	F	NA
Cavity spacers size & slope	P	F	NA	Reinforcing fixed in place (stucco)	P	F	NA	Proprietary self spacing mesh	P	F	NA
Mesh spacers (stucco)	P	F	NA	Proprietary control joints (stucco)	P	F	NA	Rigid backing type (stucco)	P	F	NA
Fixings (galvanized or stainless) (stucco)	P	F	NA		P	F	NA		P	F	NA

Officer Sign: [Signature] Name: _____ Date: 13/9/06

PRODUCER STATEMENT – PS4 – CONSTRUCTION REVIEW

(Guidance notes on the use of this form are printed on the reverse side)

ISSUED BY: HAMISH WELLS LTD.
(Construction Review Firm)

TO: BRYN MCCANN
(Owner/Developer)

TO BE SUPPLIED TO: KDC
(Building Consent Authority)

IN RESPECT OF: SPECIFIC DESIGN ELEMENT
(Description of Building Work)

AT: 2A OTAHANGA ROAD
(Address)

LOT 2 DP 56172 SO PT LOT 3 56172

Hamish Wells Ltd has been engaged by BRYN MCCANN
(Construction Review Firm)

to provide ☐ CM1 ☐ CM2 ☒ CM3 ☐ CM4 ☐ CM5 (Engineering Categories) or ☐ OOL1 ☐ OOL2 ☐ OOL3 ☐ OOL4 (Architectural Categories)

observation ☒ or other SUPERVISION OF CONSTRUCTION services
(Extent of Engagement)

in respect of clause(s) B1 & 2 of the Building Code for the building work described in documents relating to Building Consent No. 010272 & 060285 and those relating to Building Consent Amendment(s) Nos. NA issued during the course of the works. We have sighted these Building Consents and the conditions of attached to them.

Authorised instructions / variation(s) No. NA (copies attached) or by the attached Schedule ☐ have been issued during the course of the works.

On the basis of ☐ this ☒ these review(s) and information supplied by the contractor during the course of the works, I believe on reasonable grounds that ☐ All ☐ Part only of the building works have been completed in accordance with the relevant requirements of the Building Consents and Building Consent Amendments identified above, with respect to Clause(s) B1 & B2 of the Building Regulations.

I, HAMISH WELLS am: ☐ CPEng No. 186323
(Name of Construction Review Professional)

☐ Reg Arch No. _____

I am a Member of: ☒ IPENZ ☐ NZIA and hold the following qualifications: _____

The Construction Review Firm issuing this statement holds a current policy of Professional Indemnity Insurance no less than \$200,000*.

The Construction Review Firm is a member of ACENZ: ☐ YES ☒ NO

SIGNED BY: H. T. Wells ON BEHALF OF H. T. Wells

Date: 20/2/08 Signature: H. T. Wells

Note: This statement shall only be relied upon by the Building Consent Authority named above. Liability under this statement accrues to the Construction Review Firm only. The total maximum amount of damages payable arising from this statement and all other statements provided to the Building Consent Authority in relation to this building work, whether in contract, tort or otherwise (including negligence), is limited to the sum of \$200,000*.

This form to accompany **Forms 6 or 8 of the Building (Form) Regulations 2004** for the issue of a Code Compliance Certificate.

GUIDANCE ON USE OF PRODUCER STATEMENTS

Producer statements were first introduced with the Building Act 1992. The producer statements were developed by a combined task committee consisting of members of the New Zealand Institute of Architects, Institution of Professional Engineers New Zealand, Association of Consulting Engineers New Zealand in consultation with the Building Officials Institute of New Zealand. The original suite of producer statements has been revised as at the date of this form as a result of enactment of the Building Act (2004) by these organisations to ensure standard use within the industry.

The producer statement system is intended to provide Building Consent Authorities (BCAs) with reasonable grounds for the issue of a Building Consent or a Code Compliance Certificate, without having to duplicate design or construction checking undertaken by others.

PS1 Design	Intended for the use by a suitably qualified independent design professional in circumstances where the BCA accepts a producer statement for establishing reasonable grounds to issue a Building Consent;
PS2 Design Review	Intended for use by a suitably qualified independent design professional where the BCA accepts an independent design professional's review as the basis for establishing reasonable grounds to issue a Building Consent;
PS3 Construction	Forms commonly used as a certificate of completion of building work are Schedule 6 of NZS 3910:2003 ¹ ; or Schedules E1/E2 of NZIA's SCC 2007 ²
PS 4 Construction Review	Intended for use by a suitably qualified independent design professional who undertakes construction monitoring of the building works where the BCA requests a producer statement prior to issuing a Code Compliance Certificate. This must be accompanied by a statement of completion of building work (Schedule 6).

The following guidelines are provided by ACENZ, IPENZ and NZIA to interpret the Producer Statement.

Competence of Design Professional

This statement is made by a Design Firm that has undertaken a contract of services for the services named, and is signed by a person authorised by that firm to verify the processes within the firm and competence of its designers.

A competent design professional will have a professional qualification and proven current competence through registration on a national competence-based register, either as a Chartered Professional Engineer (CPEng) or a Registered Architect.

Membership of a professional body, such as the Institution of Professional Engineers New Zealand (IPENZ) or the New Zealand Institute of Architects (NZIA) provides additional assurance of the designer's standing within the profession. If the design firm is a member of the Association of Consulting Engineers New Zealand (ACENZ), this provides additional assurance about the standing of the firm.

Persons or firms meeting these criteria satisfy the term "suitably qualified independent design professional".

* Professional Indemnity Insurance

As part of membership requirements, ACENZ requires all member firms to hold Professional Indemnity Insurance to a minimum level.

The PI insurance minimum stated on the front of this form reflects standard, small projects. If the parties deem this inappropriate for large projects the minimum may be up to \$500,000.

Professional Services during Construction Phase

There are several levels of service which a Design Firm may provide during the construction phase of a project (CM1-5)³ (OL1-OL4)². The Building Consent Authority is encouraged to require that the service to be provided by the Design Firm is appropriate for the project concerned.

Requirement to provide Producer Statement PS4

Building Consent Authorities should ensure that the applicant is aware of any requirement for producer statements for the construction phase of building work at the time the building consent is issued as no design professional should be expected to provide a producer statement unless such a requirement forms part of the Design Firm's engagement.

Attached Particulars

Attached particulars referred to in this producer statement refer to supplementary information appended to the producer statement.

Refer Also:

- 1 *Conditions of Contract for Building & Civil Engineering Construction NZS 3910: 2003*
- 2 *NZIA Standard Conditions of Contract SCC 2007 (1st edition)*
- 3 *Guideline on the Briefing & Engagement for Consulting Engineering Services (ACENZ/IPENZ 2004)*

www.acenz.org.nz
www.ipenz.org.nz
www.nzia.co.nz



ADVICE OF COMPLETION OF BUILDING WORK**Section 43(1), Building Act 1991**

To: Kapiti Coast District Council, Private Bag 601, Paraparaumu

[Cross each applicable box and attach relevant documents]

Under Building Consent No.: 010272

From [Owner]:

Name: McCawley Welch.Mailing Address: Po box 757 Paraparaumu.Building Site Address: 2a Otaihanga Rd.

You are hereby advised that:

- ☐ All
☒ Part only as specified in the attached particulars

Refer BC 060285 for
amended consent.

of the building work under the above building consent is believed to have been completed to the extent required by that building consent.

You are requested to issue:

- ☒ A final
☐ An interim

code compliance certificate accordingly (except where a code compliance certificate has been issued by a building certifier as stated below).

The attached particulars include:

- ☐ Building certificates
☐ A code compliance certificate issued by a building certifier
☐ Producer statements

Signed for or for an on behalf of the owner:

Name: B McCawleyPosition: OwnerDate: 20/04/08Business Hours Contact No.: 021 534244



NOTICE OF CANCELLATION

OF

SECTION 36 (2) CERTIFICATE

**To: The District Land Registrar at Wellington
Land Registry.**

Pursuant to the provisions of section 36 of the Building Act 1991, the Kapiti Coast District Council has determined that the endorsement on the certificate of title is no longer required on the grounds that the house to which the original entry referred to, will not be built on land subject to inundation.

And it now requests the District Land Registrar to amend his/her records accordingly.

Schedule

All that parcel of land containing firstly, 1.7728 hectares more or less situate in the District of Kapiti being **Lot 2 on Deposited Plan 56172** and secondly: 6824 square metres more or less situate as aforesaid being **Lot 3 on Deposited Plan 56172**.

CERTIFICATE OF TITLE - 29B/843 Wellington Registry.
Known as 2 Otaihangha Road, Paraparaumu.

Dated this 24th day of July 2001.

Signed on behalf of and by the authority of the Kapiti Coast District Council under sections 252 and 716 of the Local Government Act 1974.

**Building Control Manager
For
CHIEF EXECUTIVE**



KAPITI COAST DISTRICT COUNCIL

Ref:

4.2.1

12 September 1994

Hollings Partners
PO Box 11
PARAPARAUMU

ATTENTION: A S Fairburn

Dear Sir

K GOODMAN, OTAIHANGA ROAD

In reply to your request, I advise the following.

1. The property is located within the identified flood prone zone (plan enclosed).
2. Our earliest record of building permits issued in the district is 1945, by Hutt County Council.
3. As indicated on our L.I.M., we have no record of building permits being issued or applied for on the above property.

Enclosed is a copy of this permit application for the water connection.

Yours faithfully

Ken Smith
Senior Building Control Officer

TML

Ngarara Building, Rimu Road,
Private Bag 601,
Paraparaumu.
Telephone (04) 298-5139
Fax (04) 297-2563

19 December 2006



FILE: RM060385

Brynn McCauley, Joanne Welch & John and Taku Lopdell
c/o Landlink Limited
PO Box 370
Waikanae

Attn: Ben Addington

Dear Ben

RM060385: Subdivision – 2 Lot Fee Simple (Boundary Adjustment).

We are pleased to enclose your Resource Consent for the above planning application.

As you will see from the Resource Consent there are a number of conditions that need to be complied with.

If you do not agree with the conditions of your consent you may object and have the matter considered by Hearing Commissioners. This is done by lodging an objection in accordance with Section 357 of the Resource Management Act 1991. Please note that, if you do wish to object, you must advise the Resource Consents Manager within 15 working days from the date of receiving this consent.

There is no deposit for an objection. However, a fee of \$144.00 (including GST) is required if Council's Subdivisional Engineer is involved. Time and costs will also be charged unless waived by the Hearing Commissioners and if an objection is upheld the deposit will be refunded in full; if upheld in part then half the deposit will be refunded.

Please note also that this consent will expire within 5 years of the date of issue of this decision. You may apply for an extension of the consent before the consent lapses. Council may grant an extension if it is satisfied that the criteria set out in Section 125 of the Resource Management Act 1991 are met.

If you have any concerns or enquiries about the conditions please do not hesitate to contact me on (04) 296 - 4622

Thank you for dealing with the Kapiti Coast District Council.

Yours faithfully

A handwritten signature in dark ink, appearing to read "M. Mackiggan", followed by a horizontal line.

Mike Mackiggan

SENIOR RESOURCE CONSENTS PLANNER

Kapiti Coast District Council

Phone (04) 296 4700, Fax (04) 296 4830 175 Rimu Road, Private Bag 601, Paraparaumu 5254. Website www.kapiticoast.govt.nz

DECISION: SUBDIVISION

That Officers acting under Delegated Authority from Council and pursuant to Section 104B of the Resource Management Act 1991 **grant consent** to the proposal for a **Two Lot Fee Simple Subdivision (Boundary Adjustment)** at **2A & 2B Otaihanga Road, Paraparaumu**, being **Lots 1 & 2 DP 56172** subject to the following conditions:

Conditions of Consent:

General :

1. The Title Plan or E-Survey Data Set shall be in accordance with **Landlink Limited Plan Titled "Proposed Subdivision of Lots 1 & 2 DP 56172 For Brynn McCauley of 2A Otaihanga road, Otaihanga " Drawing No. 1117.02-1 Issue A dated October 2006, and stamped 'Final Approved Plans' on 19/12/06** and the information submitted with consent RM060385.

Engineering :

2. The consent holder shall pay Council Engineering Fees of \$180.00 (GST inclusive) for work that may be required for plan approvals, site inspections and consent compliance monitoring prior to the Section 224(c) certification of the subdivision.
Extra fees may apply in accordance with the Engineering Fees Schedule adopted by Council from 12 December 2002.
Note: The current charge out rate is \$90.00 (GST inclusive) per hour.
3. The consent holder shall comply with the requirements of the Kapiti Coast District Council Subdivision and Development Principles and Requirements 2005.

Easements are required over any rights of way and communal, private and public services where these pass through the lots in the subdivision.

An Easement shall be placed on the Water main recently laid within Lot 1 at the end of Hana Udy Place

The Council may require other easements.

Easement documents shall be prepared by solicitors at the consent holder's expense.

4. The consent holder shall supply a copy of the Title Plan and shall list and indicate how each condition has been met to the satisfaction of the Council.

Advice Notes

1. Rights of objection to the conditions specified above may be exercised pursuant to Section 357(2) by the consent holder. Any objection shall be made in writing, setting out the reasons for the objection within 15 working days of this notification or within such extended period as the Council in any special case may allow.
2. The consent holder is advised that Section 224 (c) approval will not be issued until such a time as Hana Udy Place has acquired the status of legal road.
3. All costs arising from any of the above conditions shall be borne by the consent holder.

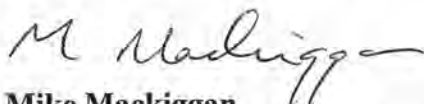
Reasons for Decision:

1. The effects of the proposal on the environment are de minimis and there are no parties who are considered to be adversely affected.
1. This proposal is in accordance with the relevant Objectives, Policies and Assessment Criteria of the Kapiti Coast District Plan.

DECISION:

RM060385 - APPROVED

DATE: 19 December 2006



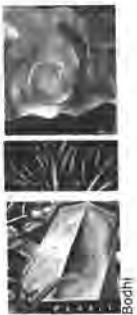
Mike Mackiggan

SENIOR RESOURCE CONSENTS PLANNER

Kapiti Coast District Council
Private Bag 601
Paraparaumu 5254

Tel. (04) 296 4700
Fax (04) 296 4830

E: kapiti.council@kapiticoast.govt.nz
W: www.kapiticoast.govt.nz



July 9, 2007

FILE: **RM070173**

Brynn McCauley, Joanne Welch, John & Taku Lopdell
C/- Landlink Ltd
PO Box 370
WAIKANAE
Att: Ben Addington

Dear Brynn McCauley, Joanne Welch, John & Taku Lopdell

**RM070173: (IN RELATION TO RM060385) - AMENDED BOUNDARY ADJUSTMENT AT
2A AND 2B OTAIHANGA RD, PARAPARAUMU**

We are pleased to enclose your Resource Consent for the above planning application.

As you will see from the Resource Consent there are a number of conditions that need to be complied with.

If you do not agree with the conditions of your consent you may object and have the matter considered by Hearing Commissioners. This is done by lodging an objection in accordance with Section 357 of the Resource Management Act 1991. Please note that, if you do wish to object, you must advise the Resource Consents Manager within 15 working days from the date of receiving this consent.

There is no deposit for an objection. However, a fee of \$180.00 (including GST) is required if Council's Subdivision Engineer is involved. Time and costs will also be charged unless waived by the Hearing Commissioners and if an objection is upheld there will be no charges; if upheld in part then a proportion of costs will be charged.

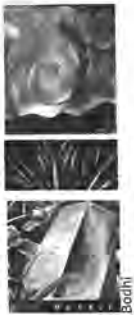
Please note also that this consent will lapse within 5 years of the date of issue of this decision unless it is given effect to within that time. You may apply for an extension of the consent before the consent lapses. Council may grant an extension if it is satisfied that the criteria set out in Section 125 of the Resource Management Act 1991 are met.

If you have any concerns or enquiries about the conditions please do not hesitate to contact me on (04) 2964 782.

Thank you for dealing with the Kapiti Coast District Council.

Yours sincerely

Wayne Gair
Principal Planner - Subdivisions



**RESOURCE CONSENT UNDER
PART IV OF THE RESOURCE MANAGEMENT ACT 1991
CONSENT NO: RM070173**

APPLICANT:	B McCauley, J Welch and J & T Lopdell
LOCATION OF ACTIVITY:	2A and 2B Otaihanga Road (Lots 1 & 2 DP 56172)
DESCRIPTION OF ACTIVITY:	Subdivision (adjustment of boundaries)

DECISION:

That Officers acting under Delegated Authority from Council and pursuant to Section 104B of the Resource Management Act 1991 **grant consent** to the proposal for a **Two Lot Fee Simple Subdivision (Boundary Adjustment) at 2A & 2B Otaihanga Road, Paraparaumu**, being **Lots 1 & 2 DP 56172** subject to the following conditions which were imposed pursuant to sections 108 and 220 of the Resource Management Act 1991

Conditions:

General :

1. The Title Plan or E-Survey Data Set shall be in accordance with Landlink Limited Plan Titled "Proposed Subdivision of Lots 1 & 2 DP 56172 For Brynn McCauley of 2A Otaihanga Road, Otaihanga " Drawing No. 1117.02-1 Issue B dated May 2007, and stamped 'Final Approved Plans' on 9-07-07 and the information submitted with consent RM070173.
2. Easements are required over any rights of way and communal, private and public services where these pass through the lots in the subdivision.
An Easement shall be placed on the Water main recently laid within Lot 1 at the end of Hana Udy Place

The Council may require other easements.
Easement documents shall be prepared by solicitors at the consent holder's expense.
3. The consent holder shall supply a copy of the Title Plan and shall list and indicate how each condition has been met to the satisfaction of the Council.

Engineering :

4. The consent holder shall pay Council Engineering Fees of \$180.00 (GST inclusive) for work that may be required for plan approvals, site inspections and consent compliance monitoring prior to the Section 224(c) certification of the subdivision.

Extra fees may apply in accordance with the Engineering Fees Schedule adopted by Council from 12 December 2002.

Note: The current charge out rate is \$90.00 (GST inclusive) per hour.

5. The consent holder shall comply with the requirements of the Kapiti Coast District Council Subdivision and Development Principles and Requirements 2005.

Legal

6. That Lot 3 DP56172 (legal access) be held as to two undivided equal one half shares by the owners of Lots 1 and 2 hereon as tenants in common in the said shares and that individual Certificates of Title be issued in accordance therewith. RGL reference 666982.

Advice Notes

1. Rights of objection to the conditions specified above may be exercised pursuant to Section 357(2) by the consent holder. Any objection shall be made in writing, setting out the reasons for the objection within 15 working days of this notification or within such extended period as the Council in any special case may allow.
2. All costs arising from any of the above conditions shall be borne by the consent holder.

Reasons for Decision:

In accordance with Sections 104 and 104B of the Resource Management Act 1991 the actual and potential effects associated with the proposed activity have been assessed and are outlined in the report. It is considered that the adverse effects of the proposed activity on the environment will be de minimis and that the proposed activity is not contrary to the relevant Objectives, Policies and Assessment Criteria of the Kapiti Coast District Plan.



Wayne Gair
Principal Planner - Subdivisions

Kapiti Coast District Council
Private Bag 601
Paraparaumu 5254

Tel. (04) 296 4700

Fax (04) 296 4830

E: kapiti.council@kapiticoast.govt.nz

W: www.kapiticoast.govt.nz



IN THE MATTER of the Land Transfer Act 1952

AND

IN THE MATTER of Easement Instrument to Surrender
Easement in respect of Easement
Instrument No. EC 791607.2

AND

IN THE MATTER of the Resource Management Act 1991

**CERTIFICATE OF REVOCATION OF CONDITION
IN RELATION TO EASEMENTS UNDER SECTION 243
OF THE RESOURCE MANAGEMENT ACT 1991**

The Kapiti Coast District Council, pursuant to section 243(e) of the Resource Management Act 1991 hereby certifies that it consents to the cancellation of the condition that required the creation of an easement for Right of Way over that part of Lot 2 DP 56172 (comprised in Certificate of Title WN29B/843) shown as area A on DP 56172 appurtenant to Lot 1 DP 56172 (comprised in Certificate of Title WN29B/842).

Issued in respect of application No. RM 070173 on this 5th day of June, 2008

David Wayne Gair
AUTHORISED OFFICER

Dean Philip Raymond
AUTHORISED OFFICER

BMC Design Ltd

Architecture and Interior Design

Kapiti Coast District Council
Building Control Office
Private bag
Paraparaumu
Attention
Building Control Manager

21/3/06

010272

Attached are the proposed amendments to building consent number BC101272, at 2a Otaihanga Rd Otaihanga.

Provided are, as built drawings and proposed amended plans, elevations and details. Electrical and as built drainage plans (from council building file) are also attached for work to date.

The current owners, Joanne Welch and Brynn McCauley, purchased the near complete dwelling in late November 2004, from Leo and Kay Goodman the previous owners were unable to complete the project due to a marriage breakup. The new owners wish to amend and complete the project, amendments that make completion of the current building consent works in full impractical.

Leo and Kay began the project in late 2001 and completed the project to the following level

All Internal and external work completed excluding the majority of proposed decks. The exterior paint coats to block work and cladding and the front and rear porch only partially completed

Review of the building file with Mike Morby at council in December 2004 showed the following inspections had been completed by council, (these are listed on the project document folder cover, held at council), block work, foundation, preline and roof structure through to plumbing/drainage in 26/11/01, these being carried out by Barry McLennan. As built drainage plans were submitted and tested D Ralph in 26/11/2003 and are held on file at council.

The house is a Lockwood Initial Home with a concrete block base, and clad with hardie plank and colour steel roof.

The project engineer is Hamish Wells, responsible for wastewater and structural design.

In December 2004 with consultation with Mike Morby at council an amendment was made by the new owners to place a stair into an opening within the existing floor plan, which had been previously designated for the front door porch. This provided a means to complete weather tightness of the area and provide access to the lower floor without alteration to the house structure, and was a preliminary arrangement until a review the design could be carried out.

BMC Design Ltd

—Architecture and Interior Design—

The proposed amendments to the house as built are as follows, and were discussed with Mike Morby at council in August 2005 in order to progress the documentation necessary to amend and complete the project.

Reclad the house

Add a porch to the rear and end of the dwelling

Repitching the roof

Lining the lower living room

Altering the existing kitchen location

Deleting the extensive decks proposed in the original building consent

Deleting the proposed woodburner

Consultation with both Touhy Lockwood Ltd and Council (Mike Morby) were arranged, with the purpose of investigating the implications and feasibility of recladding the building.

To reclad the exterior involves removing the hardie plank and replacing it with battened 12.5 Texture 2000 ply over new building wrap. The ply is then battened and with facing trims around the window joinery. The existing window joinery is to remain in place. Removal is not necessary and would cause unnecessary damage to the structure of the lockwood planks around the joinery, to the interior finishing and joinery itself. The existing tolerances between the joinery and structure also make changing detailing around the joinery unachievable.

The recladding is for aesthetic purposes only and the existing installation has proven to be adequate and was compliant with the building consent at the time of construction. The 12mm ply matches the current thicknesses of the lapped hardi sheet planks and can be installed without removal of the windows.

A risk matrix assessment demonstrates that the house with its proposed amendments is in the low risk category, and with the upgrade to the h3 plywood cladding with facings presents an equal if not superior system to what is currently existing.

We submit the proposed amendments for consideration for processing as either an amendment to the existing building consent or for combined closure of the current consent and issue of a new building consent, as council sees fit. Should you have any queries please do not hesitate to contact our office.

Yours Faithfully



Brynn McCauley
BMC Design Ltd

Weathertightness Risk factors

Establishing the Risk

How to Assess Risk

Step One: Obtain detailed drawings	Suitably detailed drawings are required to assess weathertightness risk. This documentation may include a site plan, floor plans, elevations, details of junctions and penetrations, and the presence of features like decks and pergolas
Step Two: Assess each external face against risk factors	Assess the drawings for each external face to determine the risk score for each risk factor. The factors are: • Wind zone • Number of storeys • Roof/wall intersection design • Eaves width • Envelope complexity • Deck design (Refer to Table 1)
Step Three: Complete the "Building envelope risk matrix" table	Complete the "Building envelope risk matrix" (table 2) for each face of the building. It is possible for different elevations to have different risk scores
Step Four: Determine suitable cladding	Consult Table 3 to determine what cladding types are recommended with the risk score for each face. The cladding selected must be appropriate for the score on that face, but can be beyond the minimum required (ie, cladding suitable for a higher score can be used)

Selected Cladding Resulting from Risk Assessment

	Risk Score from page 3	Cladding Selected from <u>Table 3</u>	Tick selected option ✓	
			Direct Fixed	Drained cavity
North Elevation	4	ext 2000 Ply.	✓	✗
South Elevation	32	ext 2000 Ply.	✓	✗
East Elevation	43	ext 2000 Ply.	✓	✗
West Elevation	43	ext 2000 Ply.	✓	✗

[illegible]

	Risk Severity		East Elevation						
Risk Factor	Low	Score	Medium	Score	High	Score	Very High	Score	Sub totals for each risk factor
Wind zone (per NZS 3604)	0		0		1		2	✓	2
Number of storeys	0		1	✓	2		4		1
Roof/wall intersection design	0	✓	1		3		5		0
Eaves width	0	✓	1	✓	2		5		10
Envelope complexity	0	✓	1		3		6		0
	0	✓	2		4		6		0
Total risk score									3.

[illegible]

	Risk Severity		West Elevation						
Risk Factor	Low	Score	Medium	Score	High	Score	Very High	Score	Sum for each risk factor
Wind zone (per NZS 3604)	0		0		1		2	✓	2
Number of storeys	0		1	✓	2		4		1
Roof/wall intersection design	0		1		3		5		0
Eaves width	0	✓	1	✓	2		5		0
Envelope complexity	0	✓	1		3		6		0
Deck design	0	✓	2		4		6		0
Total risk score									2

Job: Q0742

Client: CRIGHTONS.
Phone:Site: 2A Otaihanga Rd.
P. Umu

BC 060 285

Description: Addition

Building Consent No.:

MITek 20/20 - Engineering 4.4 Gamma1 (build 1597)

MITek New Zealand Ltd.

Phone:

Printed: 09:55:20 27 Mar 2006

PRODUCER STATEMENT
MITek 20/20™ TRUSS DESIGN PROGRAM**Certification of MITek 20/20™ Truss Design Program**

The MITek 20/20™ truss design program has been developed by MITek New Zealand Ltd for the design of GANG-NAIL timber roof, floor and attic trusses in New Zealand. The truss designs computed by this program are prepared using sound and widely accepted engineering principles, and in accordance with NZS 4203, NZS 3603 and NZS 3604 as verification methods and acceptable solutions of the approved documents issued by the Building Industry Authority to satisfy the requirements of Clause B1:Structure of the Building Regulations 1992. This computer design for the proposed building complies with the relevant provisions of the NZ Building Code. This is subject to all proprietary products meeting their performance specification requirements, the provision of adequate bracing, fixings and the correct input of design data carried out by suitably trained personnel.

Summary of MITek 20/20™ Truss Design Data and Output

The MITek 20/20™ computer design output for this job titled and located at the site identified on the top of this page is based on the following parameters entered into the program. The owner must ensure that the following job details below are current and relevant to the project before fabrication and erection of the GANG-NAIL trusses.

Job Details

Roof Truss		Pitch:		Std Overhang:	
Timber Group:	PNS No1 H1.2		5.000 deg		600 mm
Roof		Ceiling		Wind	
Material:	Galv Iron .5mm	Material:	Standard	Area:	Very High (50.0 m/s)
Dead Load:	0.210 kPa	Dead Load:	0.200 kPa	Pressure Coeff:	Cpe = varies; Cpi = -0.30, 0.20
Restraints:	900 mm centres	Restraints:	400 mm centres		
Live Load:	Q _{ur} = 0.250 kPa Q _c = 1.000 kN				

These trusses must be fabricated and erected in accordance with the GANG-NAIL manual. Proper erection bracing must be installed to hold the components true and plumb and in a safe condition until permanent bracing is fixed. All permanent bracing and fixing must be installed before any loads are applied. The specifications for timber shall be as shown on the output. The timber shall be standard gauged and treated to the requirements of NZMP 3640. Unless otherwise noted, this design assumes that the steel fixings and timber connectors are situated in a closed environment, as defined by NZS3604:1999 Section 4.

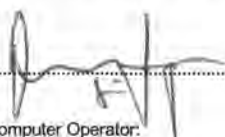
Truss List

Legend: * = detail only, ? = input only, ~~xxx~~ = failed design, Unmarked trusses = designed successfully, LB = lateral bracing required

Truss	Qty	Span (mm)	Pitch (deg)	Spacing (mm)
*R01	2	8400	5.000	900
EN01	1	7200	5.000	886
EN01A	1	7200	5.000	886
T01	4	7200	5.000	886
T01A	13	7200	5.000	886

Total quantity : 21

The computer design input has been carried out by:

Signed: 

Date: 27/3/06

Name of Computer Operator:

Qualifications and Title:

Company:

Pre-Nail Systems LTD

Verification / Acceptance of Input Data:

I have checked the input data against the construction drawings and specifications and verify that they are correct and suitable for this job.

Signed:

Date:

Name:

Company:

"Pre-Nail Systems will not accept remedial costs for Frames and trusses unless such costs have been authorised by Pre-Nail Systems Management."

PRE-NAIL

PREFABRICATED FRAMES & TRUSSES

KEY TO TRUSS FIXING

-  CT: Cyclone tie
-  JH: Joist Hanger
X- 47x90
O- 47x120
-  M: Multigrip

NOTES

All remaining fixings to be 'Z' nail wire dogs and 100x3.75mm skewed nails in accordance NZS3604:1999.

Roof & Ceiling bracing as per permit plans otherwise to comply with NZS3604

Builder to confirm all soffit details with Fascia manufacturer.

Wind Area: Very High

TC Restraints: 900

Roof Material: Iron

Roof Live Load: 0.25 kPa

Roof Pitch: 4°

Design Wind speed: 50 m/s

BC Restraints: 400

Ceiling : Standard

Truss centres: 900

PROJECT NO

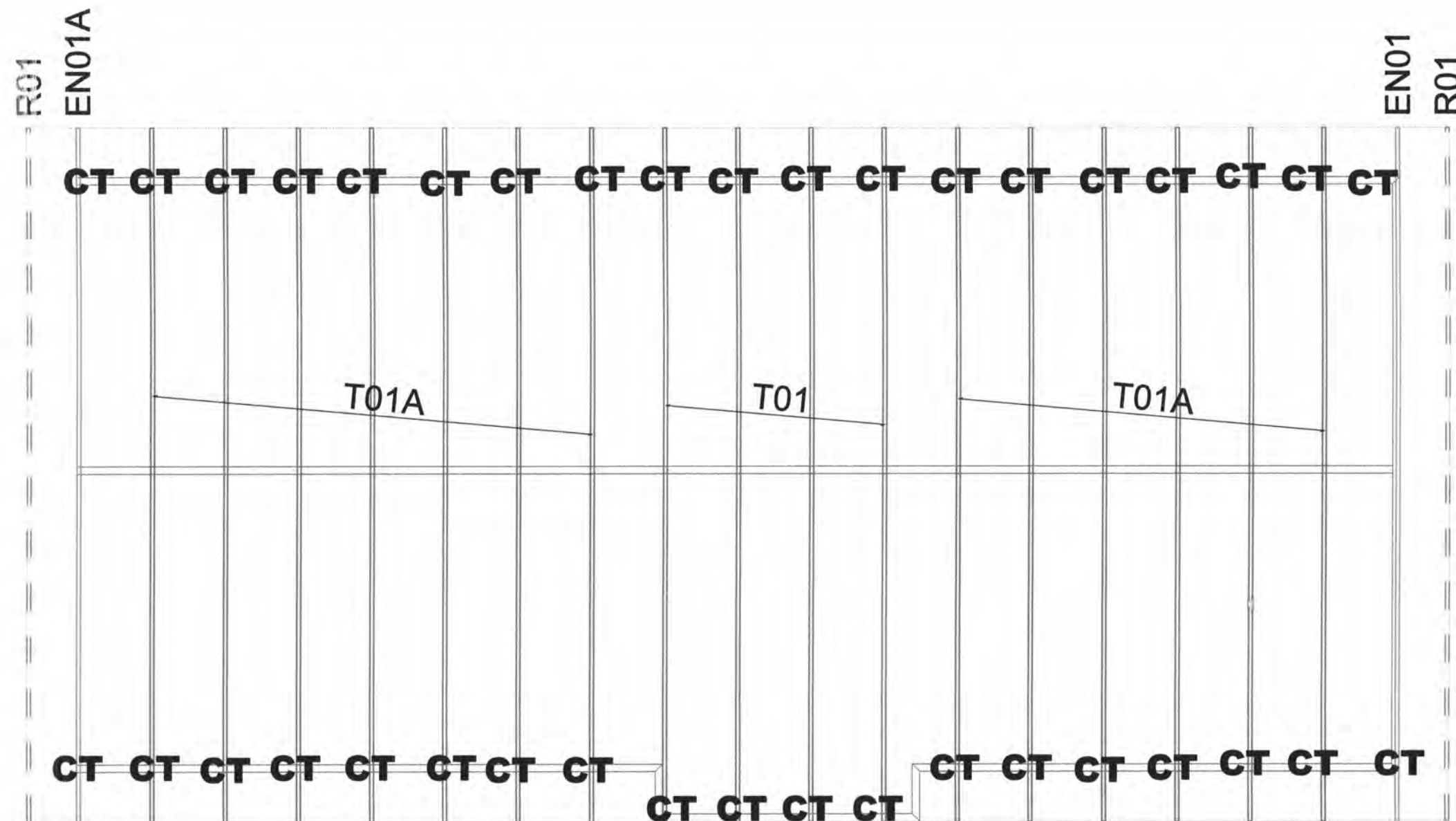
Q0742

TITLE

**LAYOUT/
FIXINGS**

**McCauley/ Welsh
2a Otaihunga Rd.
Paraparaumu**

SCALE	DESIGN	DATE
NTS	PRS	27/03/06
DRAWING No.	DRAWN	REVISION
1	DKJ	



COUNCIL COPY



Inspection Advice

Commencing 1 July 2004 Kapiti Coast District Council Building Control has introduced additional inspection requirements primarily to cover the exterior envelope of buildings to ensure compliance with Clause E2 of the Building Code.

The following list provides an explanation of when the 'normal' inspections and those new ones should be carried out. (* indicates new inspection.)

1. **Foundation Inspection:** When all formwork has been completed, footings have been excavated and reinforcement is in place.
2. **Sub-floor Inspection (timber suspended floor):** When all sub-floor connections, joists and required blocking have been completed but before any flooring or base boards have been fitted. Relocated dwelling require a sub-floor inspection prior to the base boards being fitted.
3. **Pre-slab plumbing Inspection (concrete slab):** When all plumbing and drainage pipes have been installed prior to backfilling.
4. **Pre-slab building Inspection (concrete slab):** When DPM has been placed with all laps and penetrations sealed, reinforcing in place and in position with chairs as appropriate.
5. **Pre-block-fill Inspection:** When all masonry block work is completed, reinforcing in place and washout openings in place.
6. * **Pre-wrap Inspection:** When all roof and wall framing is complete, including any exterior sheet bracing, but before building wrap has been installed.
7. * **Post-wrap Inspection:** When building wrap and window and door flexible flashing tape has been installed, cavity battens (cavity system) cavity closers and all flashing systems are in place, but before joinery has been installed.
8. * **Post-clad Inspection:** When exterior cladding has been installed, flashings in place, air-seals fitted to openings, but before any coating system has been applied.
9. **Pre-stucco Inspection:** After the post-wrap inspection and when all the reinforcing and flashings are in place.
10. **Brick veneer Inspection:** When veneer is at half-height and all flashings are in place.
11. **Pre-line Inspection (plumbing):** When all internal plumbing is complete and plumbing pipe work is under pressure test (when required).
12. **Pre-line Inspection (building):** When the exterior of the building is weather tight, all structural components (including bracing) have been completed and wall insulation is in place.
13. **Post-line Inspection:** When all interior linings have been installed.
14. **Waste water drain Inspection:** When all drainage work is complete, drain under test and as-built drawing available.
15. **Final Inspections:** Final inspections carried out at completion of project and may include, entire project, plumbing, drainage, stormwater.

Building Consent Number : 060285

Applicant Name : Name B McCauley & Joanne Welch

Project : Closing off existing work(BC010272). Recl

Location : 2A Otaihanga Rd, Paraparaumu

Legal Description : LOT 2 DP 56172 & 1/2

Please note the list below, which identifies the inspections required for this project. To ensure that a Code Compliance Certificate can be obtained at completion of your building project, these inspections must be carried out.

It is your responsibility to advise Council, giving 24 hours notice, when your project has reached the stage identified on the adjacent page to enable the inspection to be scheduled. This can be arranged by contacting Council on 04-9045-617 between the hours of 7.30am and 5.30pm Monday- Friday inclusive. Close off for booking inspections is 4.30pm on the day prior to the requested inspection.

Inspection	Required	Inspecting Officer	Date Inspected
Foundation	Yes	<i>[Signature]</i>	17/9/06
Sub-floor	Yes		
Pre-slab Plumbing	No		
Pre-slab Building	No		
Pre-block-fill	No		
Pre-wrap	Yes	<i>[Signature]</i>	20/11/2006
Post wrap	Yes		
Post-clad	Yes	<i>[Signature]</i>	30/11/2006
Pre-stucco	No		
Brick veneer	No		
Pre-lining (plumbing)	No		
Pre-lining (building)	Yes	<i>[Signature]</i>	16/1/2007
Post-lining	No		
Waste Water Drain	No		
Final Inspection	Yes		

COUNCIL COPY

CAUTION

Plans have been digitally reproduced and may not be to scale.

Endorsements made on any single page apply equally to the entire project.

BC060285

Refer also BC010272

APPROVED
By Planning
Anne Harris
Officer

6/04/2006

APPROVED
BY P & D
Simon Copp
Officer

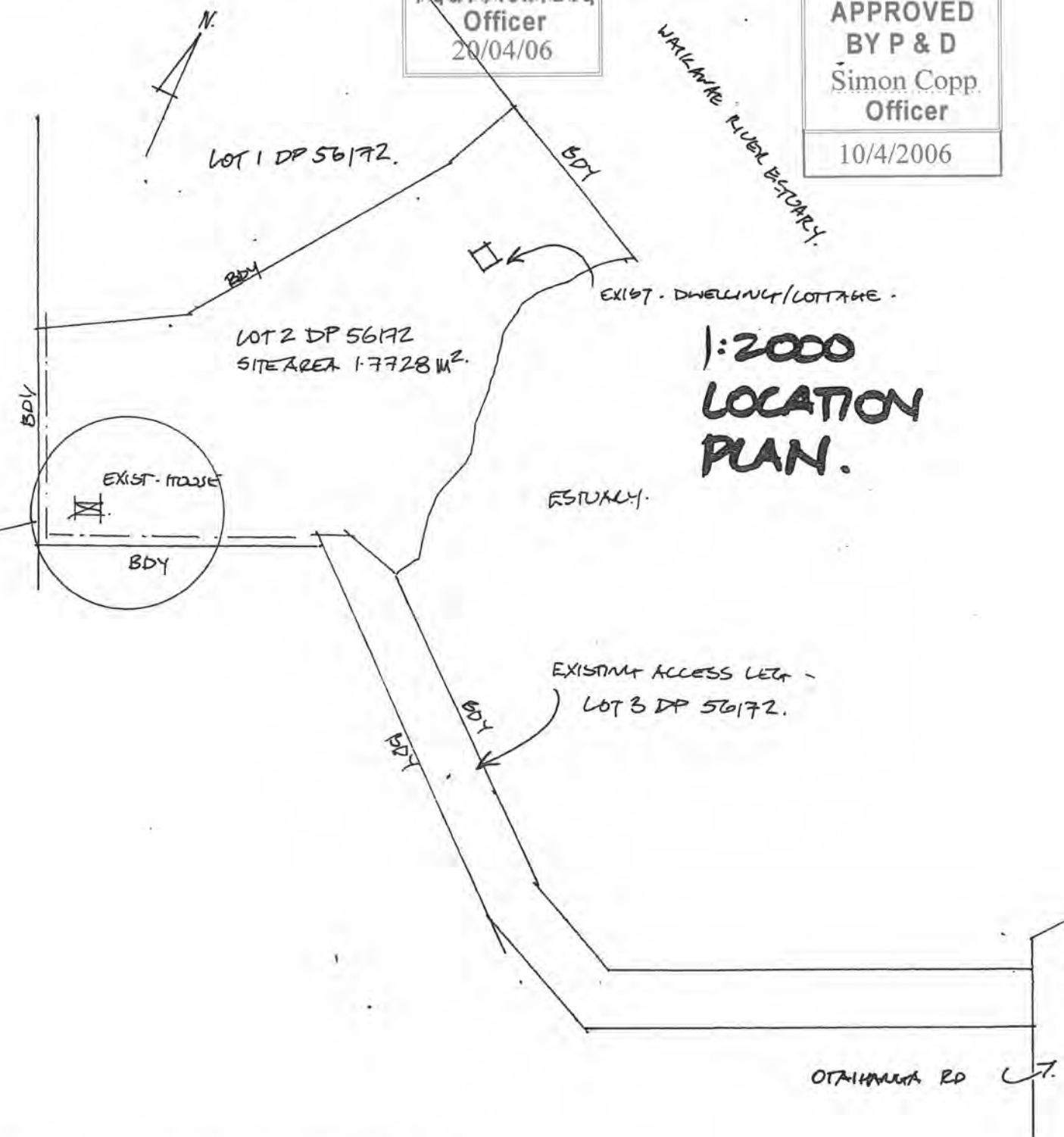
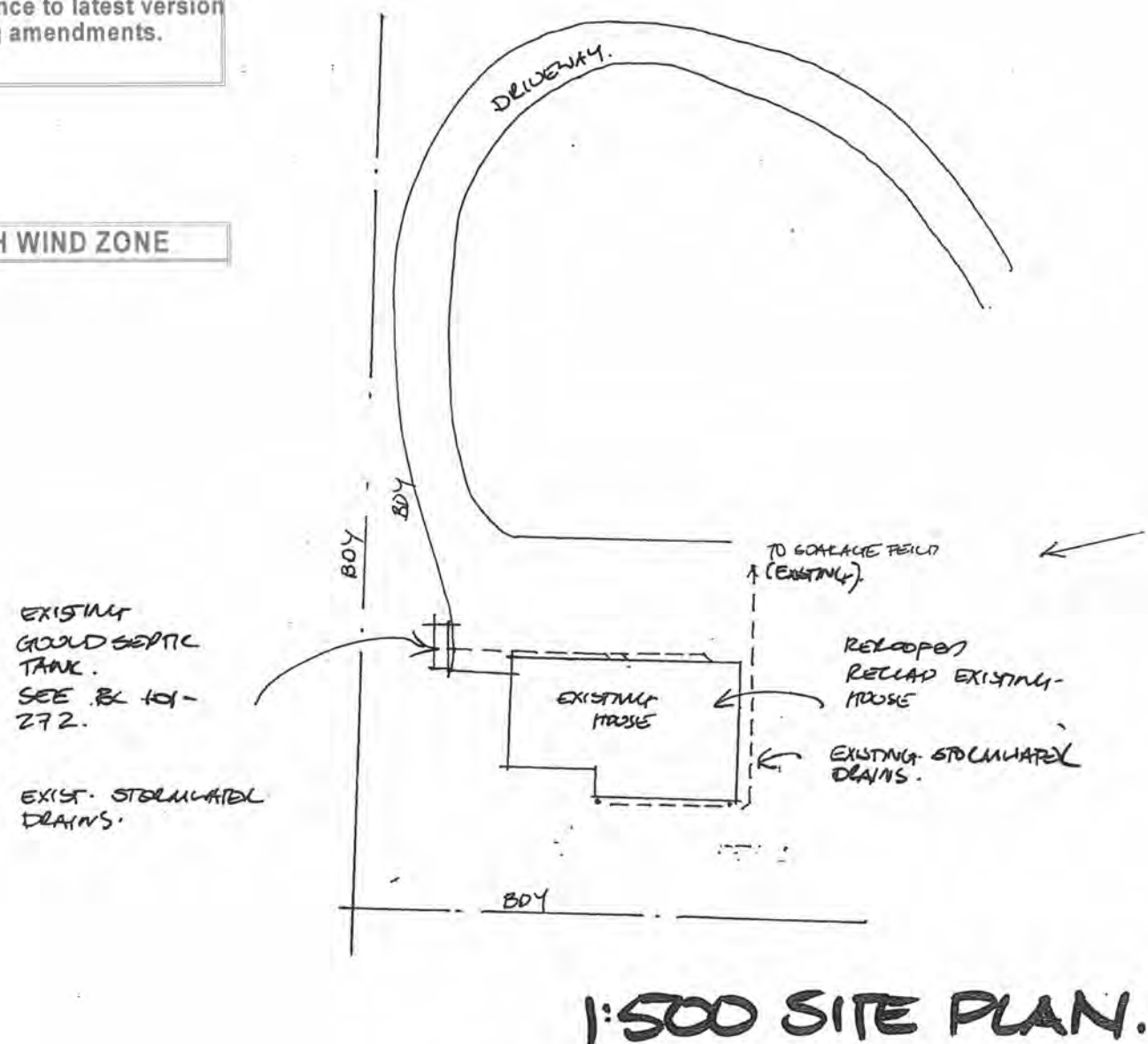
10/4/2006

APPROVED
BY BUILDING
Paul Ashford
Officer
20/04/06

All work must be carried out to conform to relevant sections of The New Zealand Building Code and New Zealand Standards, particularly NZS.3604:1999 For Light Timber Framed construction.

All references to standards and codes etc shall be taken as reference to latest version including amendments.

HIGH WIND ZONE



2A OTAHANGA RD.

PROPOSED AMENDMENTS TO
BC - 101272.
FOX B McCauley & J Welch.

DRAWN BMC DESIGN LTD
PO BOX 757 PARAPARAUMU
PH 2965449.

AUG 2005.

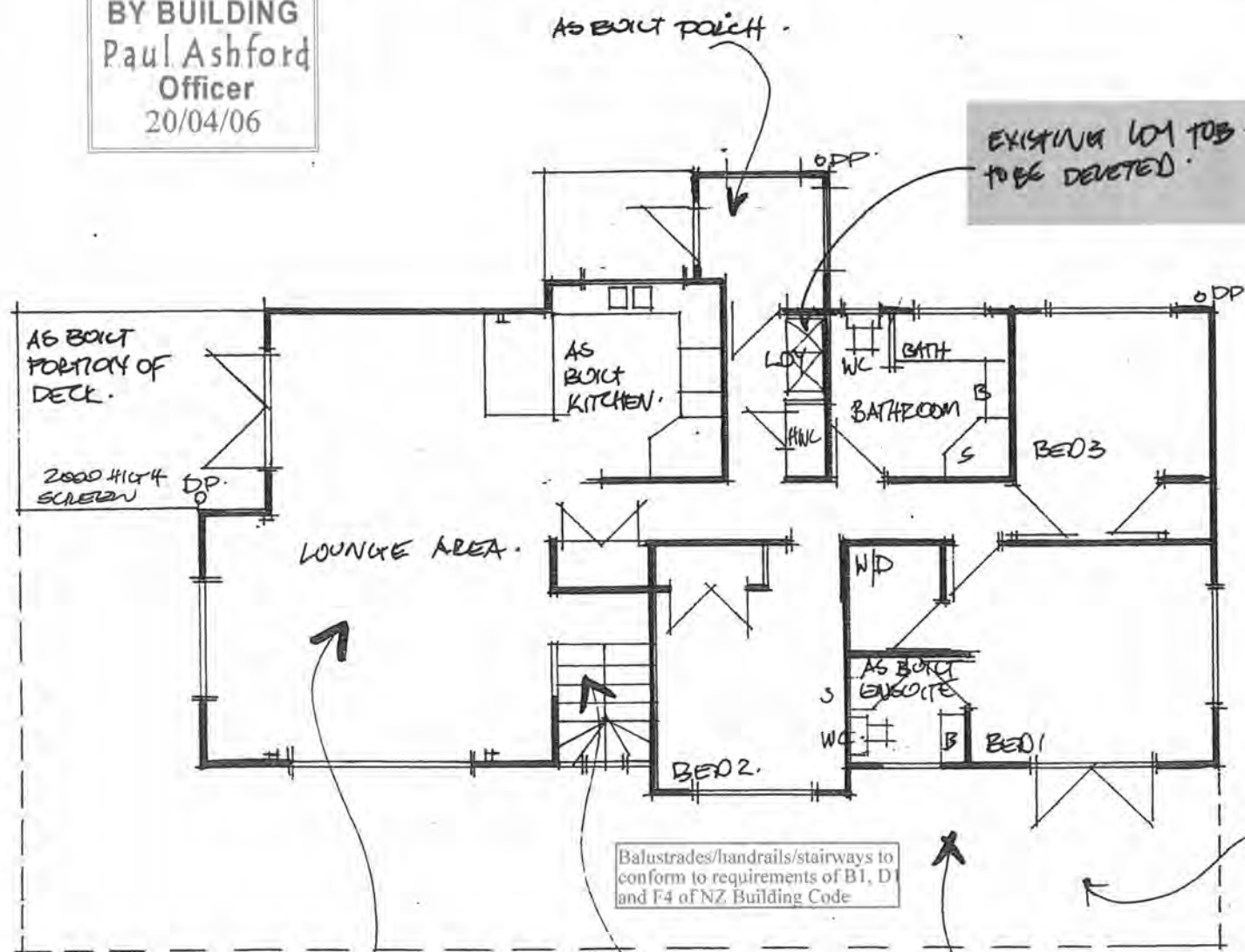
A0.

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BY BUILDING
Paul Ashford
Officer
20/04/06

AS BUILT BASEMENT LEVEL 1:100

AS BUILT
EXISTING 200 BLOCK
RETAINING WALLS AS PER
BC N° 101272.
010272
WALL LINE ONE SIDE ONLY.

NOTE FIT BOWMAC S/S
BBS BRACKETS TO EXISTING
POSTS/BEAMS



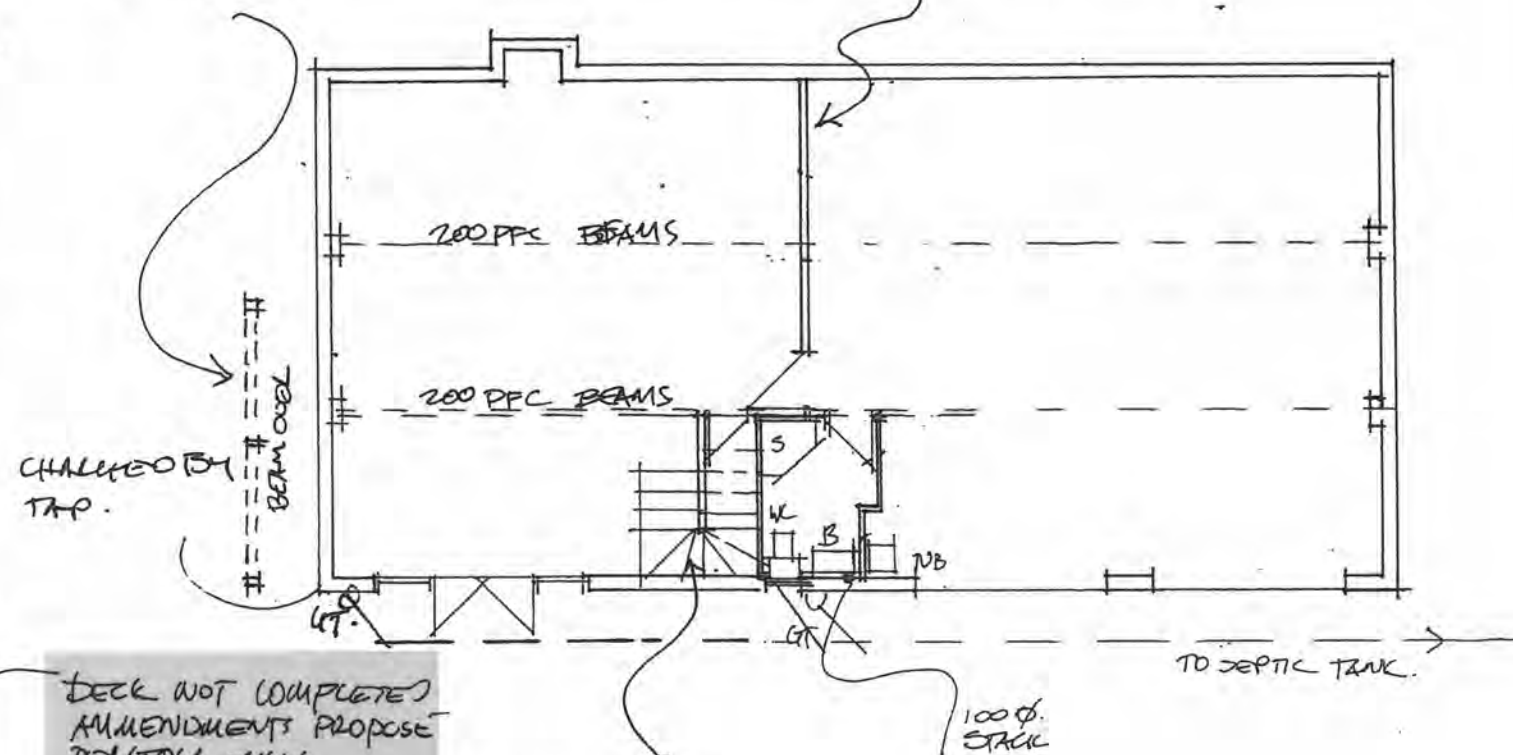
AS BUILT HOUSE LOCKWOOD
INITIAL HOME 'FANTAIL'
HOME - VIRTUALLY COMPLETE
HALDIPANK EXTERIOR,
COMPLETED BUT NOT PAINTED
BEYOND UNDERCOAT.

AS BACK STAIR &
WINDOW

OUTLINE OF PROPOSED
DECK NOT TO BE
CONSTRUCTED.

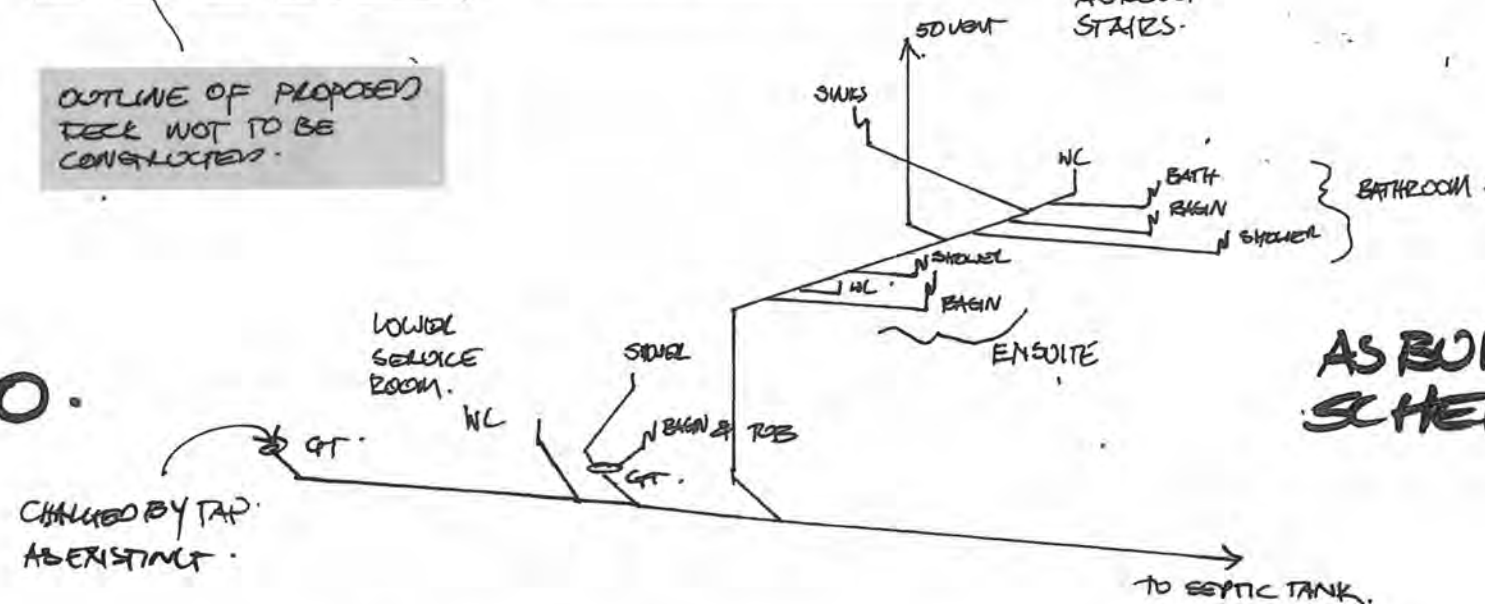
AS BUILT PLAN. 1:100.
MAIN LEVEL

DECK NOT COMPLETED
AMMENDMENTS PROPOSE
PELICOLA ONLY.



AGBUT
STATES.

AS BUILT PLUMBING
SCHEMATIC. NTS.



2A OTAIHANGA RD.

PROPOSED AMENDMENTS TO BC 101272
FOR B MCCAULEY & J WELCH.

DRAWN B MCCAULEY
BMC DESIGN LTD.

PH 2985448.

Ala.

Provide Electrical Certification after completion and prior to Code Compliance Certificate being issued

craftsman plumber to fill out attached producer statement and return to council.

APPROVED
BY P & D
Simon Copp
Officer
10/4/2006

CONNECT NEW GULLY
LOCATION VIA 65 OF WASTE
TO EXISTING GUT

EX
125X125 HS
DRESSED POSTS IN
100X500² FOOTINGS

RELOCATE
EXISTING KITCHEN
EXTEND WASTE
TO EXISTING
BRANCH DRAIN

RELOCATE HALL
DOOR.

EXISTING PORTION OF DECK.
BUILT 200X30 JOISTS @ 400 CS

AS BUILT
STAIR - MIN. 255+25
NOSE/INT. MAX 10 RISES.
1000 HIGH BARS MADE
GIBLINED EXSD OF H/RAIL ANCHORMENT
AS DISCUSSED WITH MIKE MORBY
KDC DEC. 2004.

NOTE REMAINDER OF
DECK PROPOSED IN
BC 101272 NOT TO BE
BUILT.

SEE NOTE 3.

EX. H32.
150X100 VELANDAH BEAM
200X50 X2
BRIDGE
HP

VELUX LOW PITCH (MIN 5°)
SKYLIGHT 1200X1200
FITTED IN NEW ROOF

CHANNICE DOOR TO
T&H POOL.

EXISTING UNLINED POLYCH ENTRY AREA.
RAISE POLCH FFL TO
HOUSE LEVEL. INSULATE &
LINE WITH R 2.2 Batts TO
CEILING, R 1.8 TO WALLS.

EXISTING POOL/WINDOW REMOVED.
ADD FEES TO OLD LHM ALONE FOR WATS
REMOVED POOL & RELOCATE
TO NEW BED 4. / STUDY.

EXISTING REMOTE
MONITORED SMOKE ALARM.
HALF WIRE.
OP EXIST.

Section F7 of the New Zealand Building Code
requires the installation of an approved smoke
alarm system for detection and warning of fire.

NOTE ALL WINDOW SCREWS
TO REMAIN. THRU OUT.

HOUSE TO BE RECLAD WITH
TEXT. 2000 PLY OVER B' PAPER.
REFEL DETAILS ATTACHED

DOORS TO REMAIN
BUT TO BE DISABLED
BY SCREW FIXING AT HEAD.
TO BE USED IN FUTURE
DECK.

MAIN LEVEL PROPOSED PLAN. 1:100

- NOTE UPPER LEVEL IS INITIAL HOME LOCKWOOD
CONSTRUCTION.
- LOWER POOL 200 BAYES CONCRETE BLOCK.
- THE PROPOSED AMENDMENTS INVOLVE RELOCATION
OF KITCHEN & A NEW INTERNAL PARTITION TO CLOSE OFF
OLD KITCHEN, RECLADDING OF HOUSE, AND FORM VELANDAH;
CONSTRUCTION OF NEW ROOF STRUCTURE TO REPLACE
AS BUILT 4 PITCHED ROOF STRUCTURE, ENTRY/POLCH TO BE
LINED.
EXISTING UNFINISHED LOWER AREA LINED. DECKS TO FRONT BELIEVED, VELANDAH ONLY TO BE FITTED.

DOOR / WINDOWS. SCHEDULE.

- D1. 2X610 X1980 BIFOLD.
- D2. RELOCATE OLD LAUNDRY DOOR.
- D3. RELOCATE EXIST GARAGE DOOR
- D4. 1980 X610. DOOR.
- D5. SLIDING DOORS 3 PANELS
2200 HIGH TO FIT ALLOVE WIDTH.

- W1. CHANNICE ALUM. DOOR FIT T&G & SIDE
PANEL DOOR (LIGHT SUPPLY).
- W3. 1200X1200 5° NEW PITCH VELUX.

NOTE ALL DOOR & WINDOW
UNITS TO MATCH EXISTANT.

NOTE REFEL BC. DOCUMENTS
BC. N° 101272 FOR
EXISTING HOUSE DOCUMENTATION

ALL NEW CONSTRUCTION (VELANDAH)
TO BE IN ACCORDANCE WITH NZBC
& NZS3604 1999.

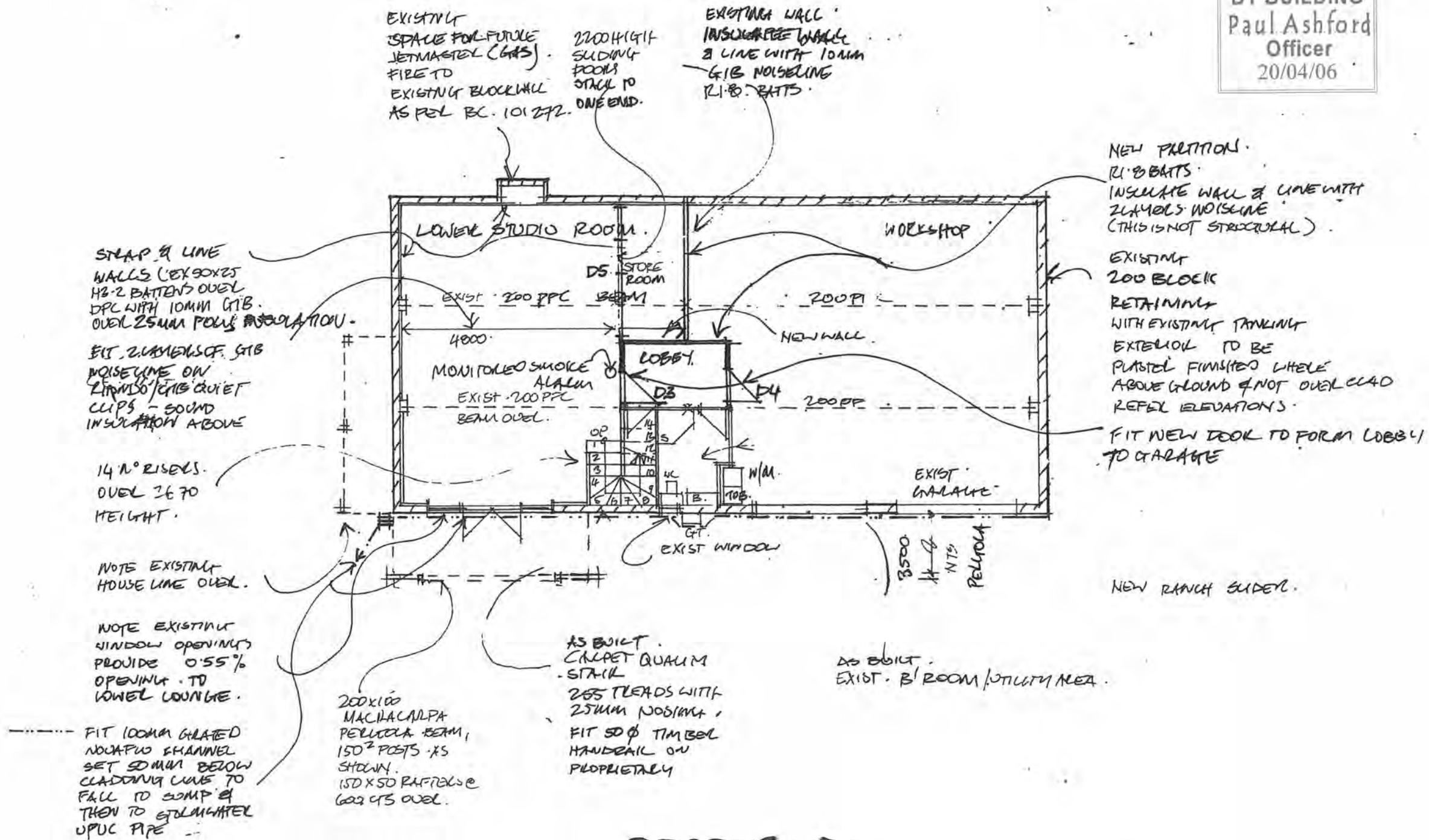
2A OTAIHANGA RD.

PROPOSED AMENDMENTS TO BC 101272
FOR B McCARTHY & J WELCH. 010272

DRAWN B McCARTHY BML DESIGN
PH. 2185449.
AUG 2005.

A1b.

APPROVED
BY BUILDING
Paul Ashford
Officer
20/04/06



PROPOSED
GROUND FLOOR . 1:100

- NOTE APART FROM STAIRS & LOBBY TO GARAGE ALL IS EXISTANT AS BUILT.
- STAIRS INSTALLED AS AMENDMENT FOLLOWED IN JANUARY 2005, AND AS DISCUSSED WITH MIKE MOLBY IN KDCX OFFICES DEC. 2004.

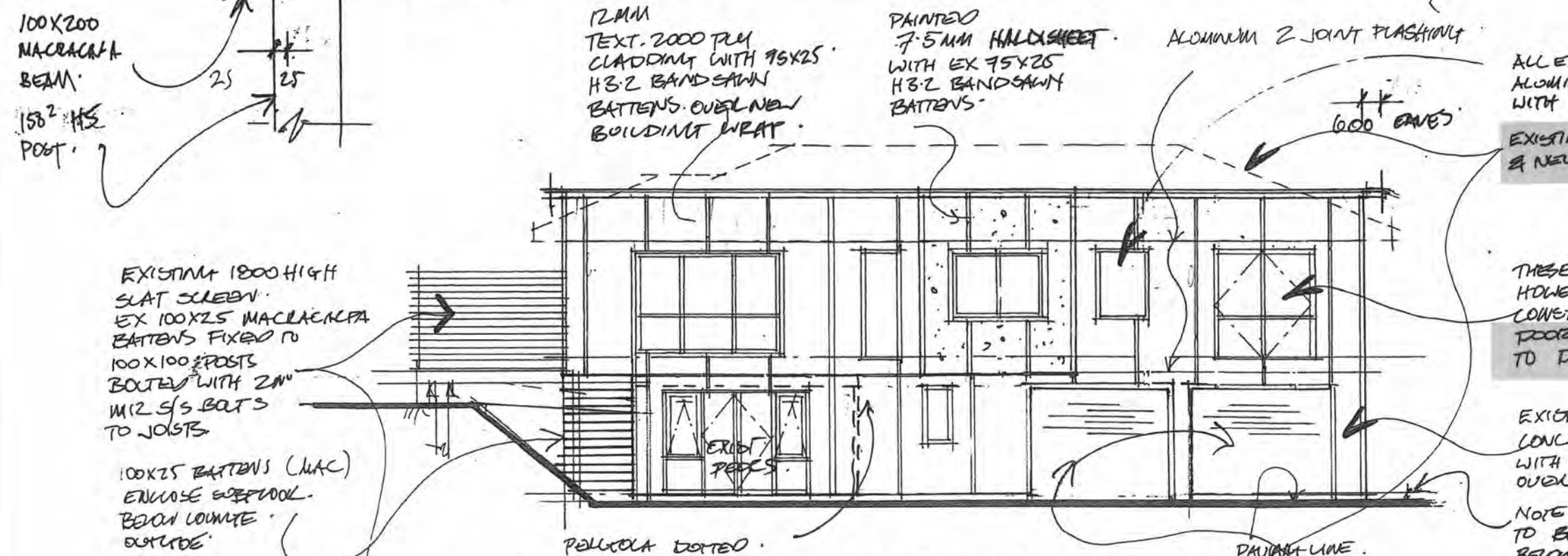
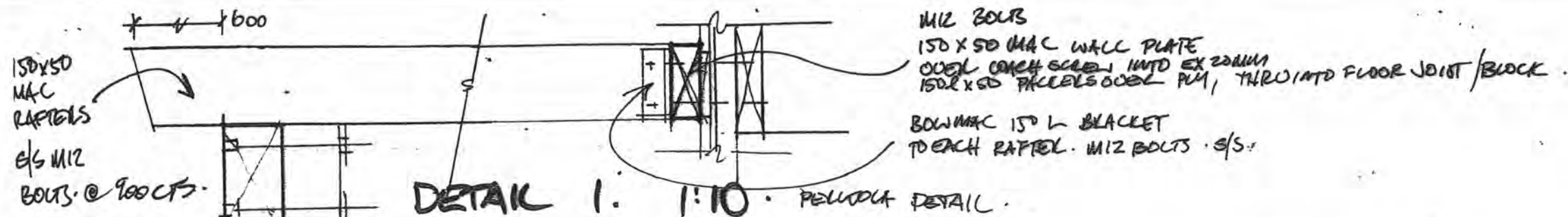
2A OTAIHANGA RD.

PROPOSED AMMENDMENTS TO EXIST.
BUILDING CONSENT NO. D.O. 272.

FOR B MCKAY & JEWELL
DRAWN BUC DESIGN LTD. PO BOX 757 PARAPARAUMU.
PH 2985449, AUG 2005.

A2

APPROVED
By Planning
Anne Harris
Officer
6/04/2006



Both sides of bolted connections to be fitted with 50x50x3mm square or 55mm dia round washers

EXISTING GALVANIZED DOORS.

EXISTING HALDIPANE CLADDING TO BE REPLACED.

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BY BUILDING
Paul Ashford
Officer
20/04/06

AS BUILT NORTH ELEVATION. 1:100.

2A OTAIHANGA RD.

PROPOSED AMENDMENTS TO BC. N° 10/272.
FOR B. McCLELLAN & J. WELLS.

DRAWN BY MC DESIGN LTD
PH 2985449. PO BOX 757

AUG 2005.

A3

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Paul Ashford
Officer
20/04/06

PROPOSED.

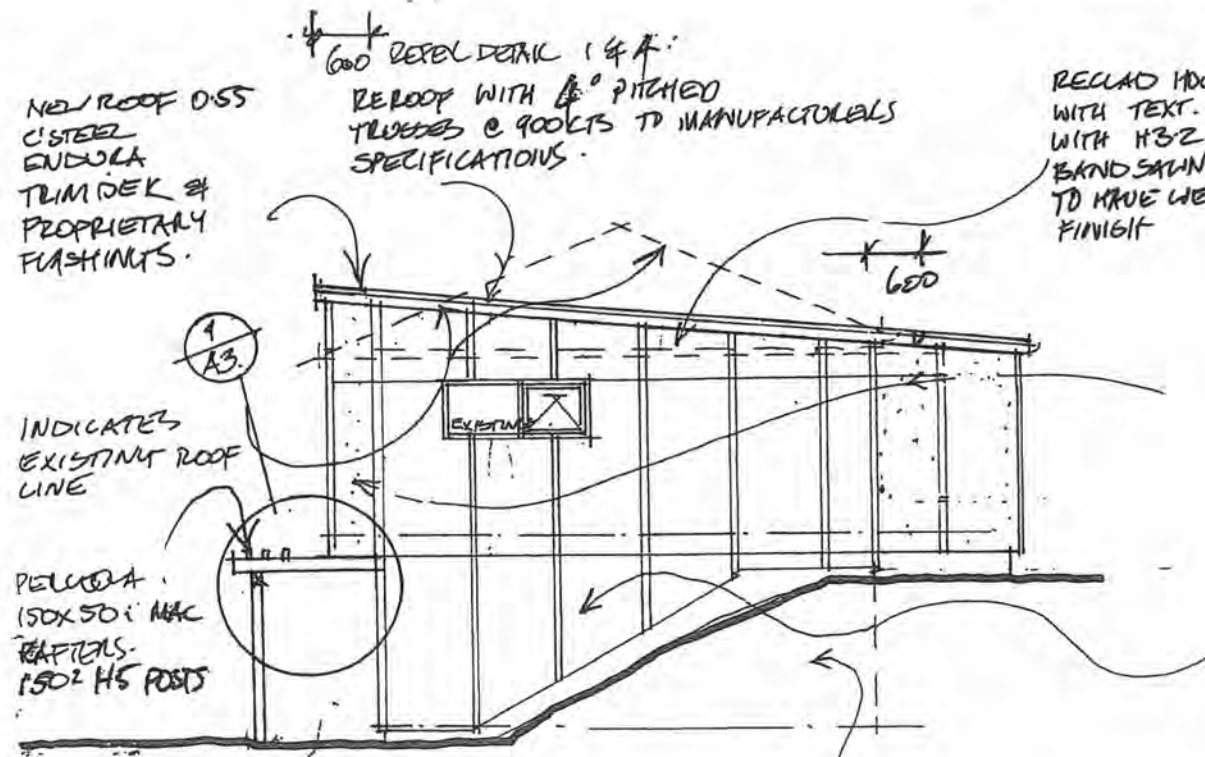
LOSP. H3.1 treated plywood claddings acting as structural bracing require a minimum 50 year Durability. A regularly maintained latex paint system is required.

Stain finish systems achieve a 15 year Durability for claddings not providing structural wall bracing.

H3.2 CCA treated plywood may be left unpainted but can be subject to checking or mould growth. Refer to manufacturers spec's and E2.AS1, February 2005.

EXISTING AS BUILT.

APPROVED
By Planning
Anne Harris
Officer
6/04/2006



PROPOSED WEST ELEVATION. 1:100.

PAINTED HARDIFLEX 7.5 BATTERED AS PER PLY.

CLEANAWAY GROUND TO 150 BELOW FFL.

EXISTING 200 SERIES BLOCK RETAINING WALL TO BASE. NOTE OVERLAP AS SHOWN WITH TEXT. 2000 12MM PLY OVER B'PAPER. ON EX SOX 25 BATTERS OVER DPC.

EXISTING WALL WATER PROOF AS PER BC. N° 101272.

NOTE EXPOSED BLOCK WORK ABOVE GROUND & BELOW CLADDING TO BE PLASTER FINISHED & COATED WITH RESERVE WATERPROOF PAINT SYSTEM.

600 - DETAIL 1 & 4.

TEXT. 2000 PLY & EX 75K25 BATTERS. H3.2.

7.5 PAINTED HARDIFLEX WITH EX 75V25 BATTERS.

EXISTING WINDOWS. FLOAT ALUM. EXTERNALLY.

PROPOSED EAST

RETURN SINGLE SHEET AT LOWER LEVEL BELOW OUTSIDE OF POOL OVER.

PROPOSED DECK OF ORIGINAL BC 101272 NOT BUILT & TO BE DELETED FROM PROJECT - PERGOLA ONLY TO BE CONSTRUCTED.

EXISTING TRIM DECK C' STEEL ROOF TO BE REMOVED.

EXISTING ROOF TRUSSES TO BE REMOVED, LOWER LEVEL ROOF TO BE FITTED.

EXISTING POLCH

EXISTING PAINTED HARDIFLEX CLADDING TO BE REMOVED. HOUSE TO BE RECLAD WITH TEXT. 2000 PLY.

AS BUILT WEST ELEVATION. 1:100

EXISTING BLOCKWORK HAS NOT HAD FINAL PLASTER & WATERPROOF COAT ABOVE GROUND BUT HAS 113 SPECIFIED (BC 101272) TANKING COATS. BELOW GROUND.



AS BUILT EAST ELEVATION 1:100

2A OTIRIHANGA RD.

PROPOSED AMENDMENTS TO BC. 101272.
FOR B. McCULEY & J. WELCH.

DRAWN BY: BAC DESIGN LTD
PO BOX 757 PARAPARAUMU
PH 2985449.

AUG 2005

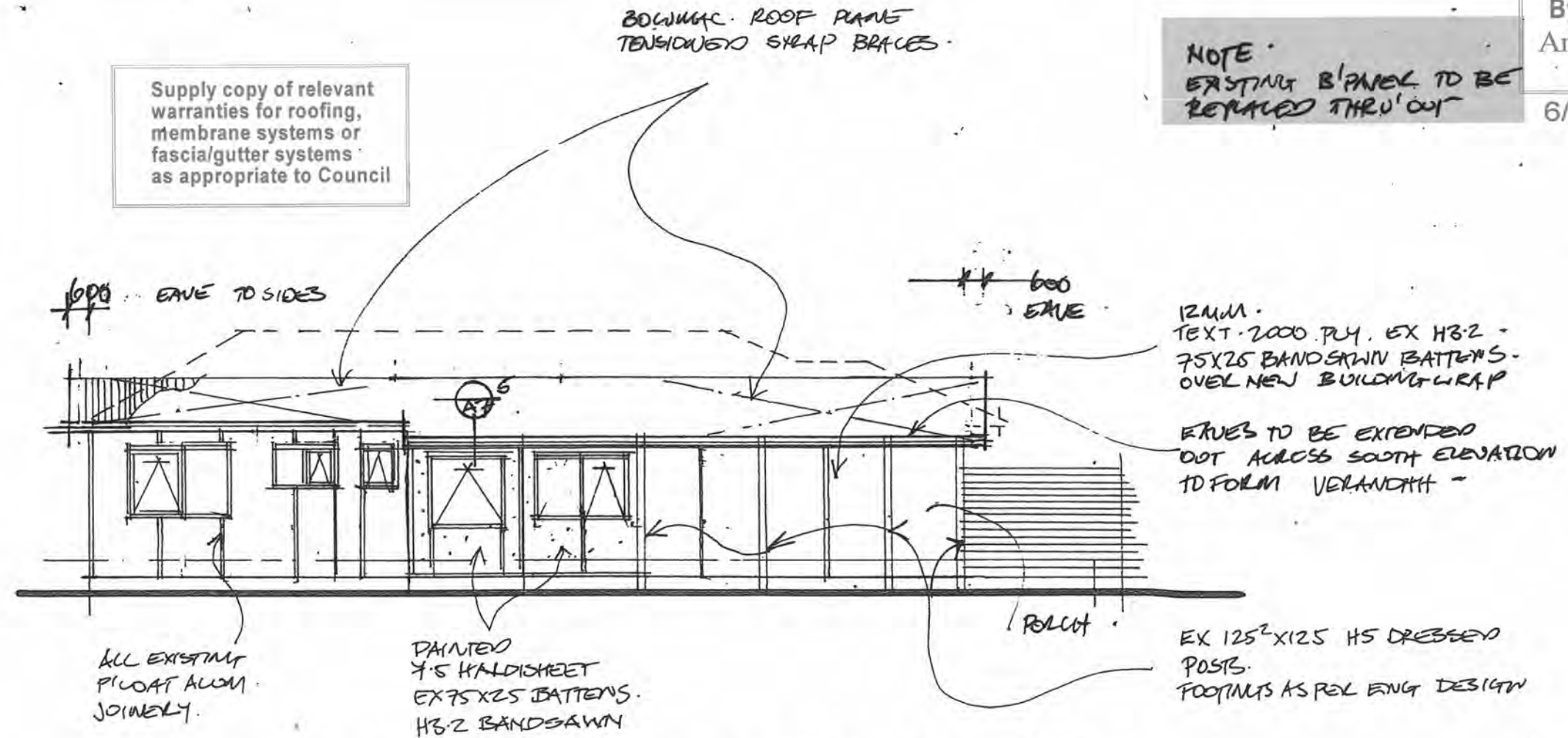
A4.

Roofing material to be installed to manufacturers requirements. In particular, fixing and minimum pitch (reference also sect. 8 of E2 NZ Building Code.)

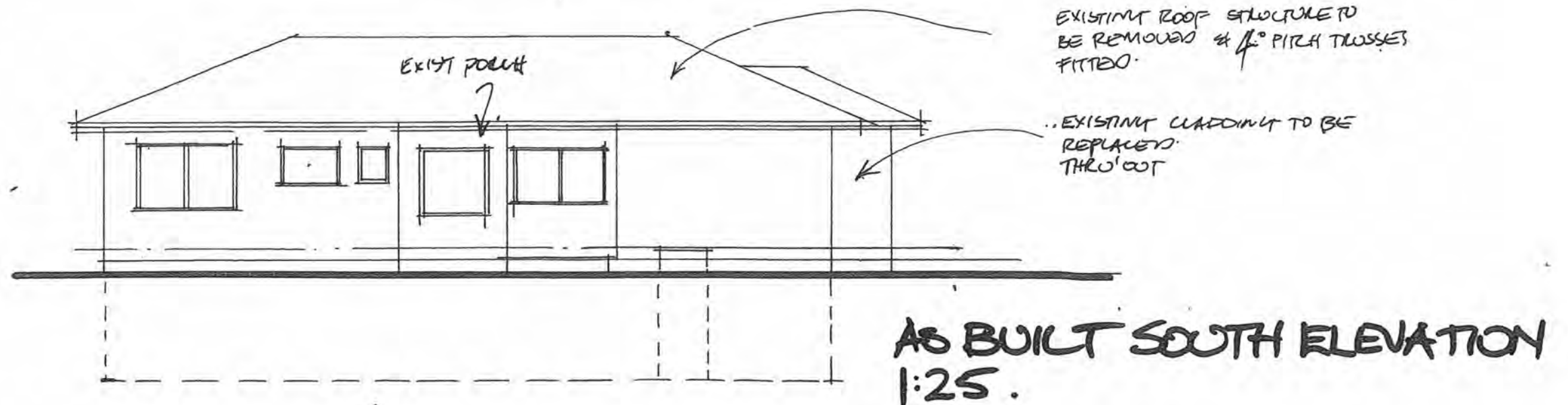
Supply copy of relevant warranties for roofing, membrane systems or fascia/gutter systems as appropriate to Council

NOTE:
EXISTING B'PAVEL TO BE
REPALED THRU' OUT

APPROVED
BY BUILDING
Paul Ashford
Officer
20/04/06



PROPOSED SOUTH ELEVATION. 1:100



AS BUILT SOUTH ELEVATION
1:25.

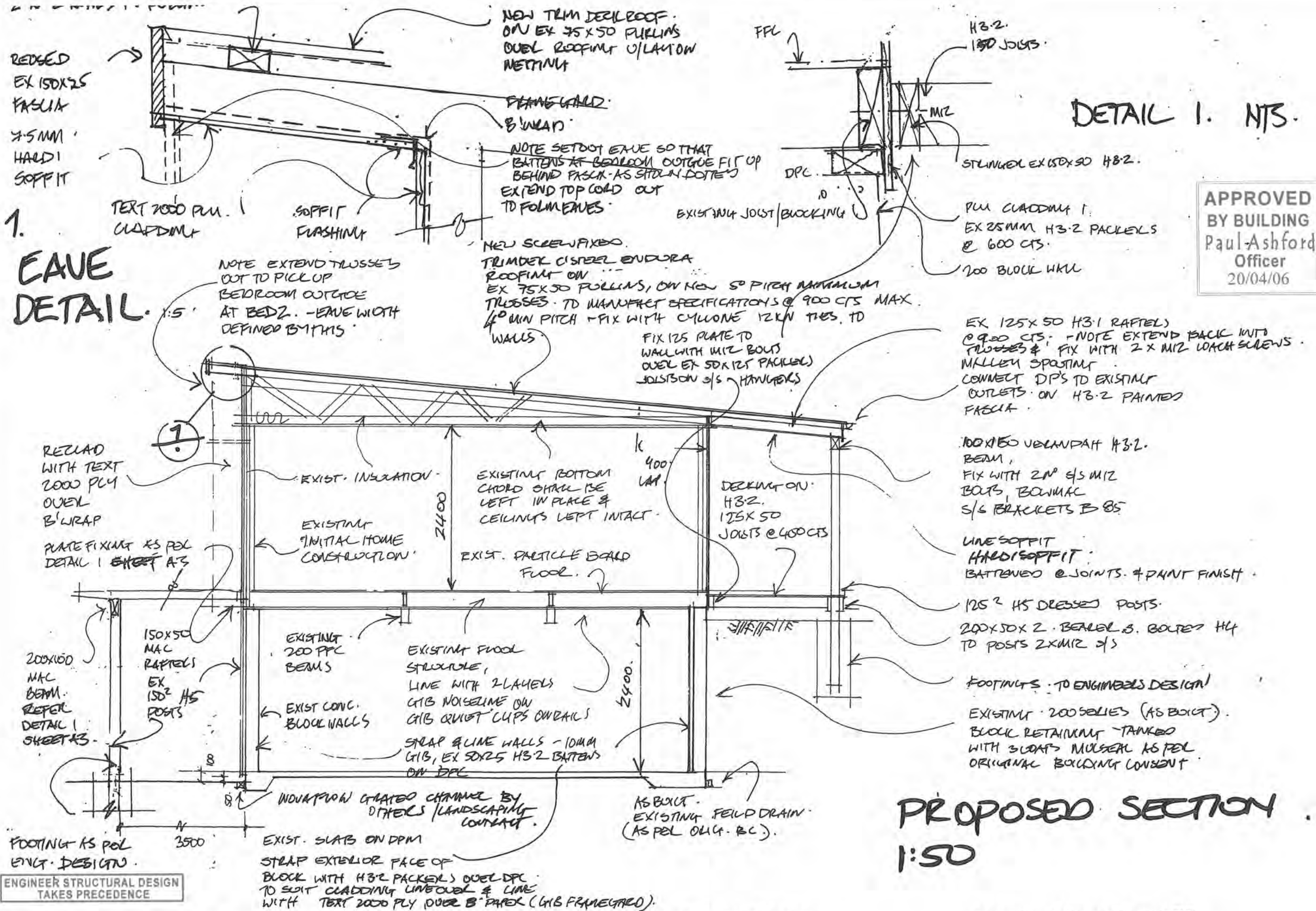
2A OTAIHANGA RD.

PROPOSED
AMENDMENTS TO EC 101272.
FOR B McCARTHY & J WELSH

DRAWN: BMC DESIGN LTD
PO BOX 757, PARAPARAUMU
PH 298 5449.

AUG 2005

AS



APPROVED
BY BUILDING
Paul Ashford
Officer
20/04/06

BANDSAWN H3.1
BATTEN - SCOPE
TOP EDGE

NEW OR REUSED
P/LOAT ALUM
HEAD FLASHING
AS
APPLICABLE

RECLADDING TO TYPICAL WINDOW HEAD. 1:5

NOTE FIT AIRSEALS
IF NOT PREVIOUSLY
FITTED

EXISTING
INSULATION
EXISTING 44MM LOCKWOOD
INITIAL HOME CONSTRUCTION
H3.1
TEXT. 2000 PLY 12MM
CLADDING REPLACES 6MM X 2
HALDIPANK THICKNESS
B' PAPER.

EXISTING WINDOW INSTALLATION
NOTE THIS IS AS PER NZ
BC. REQUIREMENTS OF
EXIST. BUILDING CONSENT.
WINDOWS ARE TO REMAIN IN PLACE
& INTERIOR FIXINGS & LININGS E
FINISHING UNALTERED.

NOTE PACK ON
FLAME LINES
TO MATCH
HALDIPANK
DEPTH WHERE
APPLICABLE TO WINDOWS

EX 25MM X 150 PAINTED
FASCIA

4° PITCH
0.55 C'STEEL ENDURA
TRIMDEK ON ROOFING UNDERLAY
ON EX 75X50 PULLINS.
STOP END TROUGH'S FULLY.

PROPRIETARY FLASHING - C'STEEL
ENDURA

4 NEW. TYPICAL 1:5 BARGE DETAIL TO BED 2 OUTSIDE.

NEW TUSSES.
FLAMEGUARD
B'WRAP

7.5MM HALDIFLEX OVER BEDROOM
OUTSIDE. TEXT. 2000 PLY ELSEWHERE.

FIT @ 600 CFS PACKETS TO
SUPPORT FASCIA

NOTE VERTICAL BATTENS OF CLADDING
TO RUN UP BEHIND FASCIA.

B' PAPER.
NEW 12MM
TEXT. 2000 PLY
CLADDING

EX 75X25 BANDSAWN

EXISTING EX 50° BATTENS TO
INITIAL HOMES PLANK/BOARD
STRUCTURE.

INITIAL HOMES
CONSTRUCTION 44MM
LOCKWOOD BOARD, WITH 50MM
PLY INSULATION.

EXISTING FITTED WINDOWS
TO REMAIN IN PLACE NOTE EXIST.
CLADDING 2X6MM HALDIPANK SPACE
PROVIDES SPACE FOR 12MM PLY CLADDING. 2 NAIL

2 RECLAD OF TYPICAL WINDOW JAMB. 1:5

NOTE FIT AIRSEALS
IF NOT PREVIOUSLY
FITTED!

BEVEL TRY EDGE
OF EX 75X25 FACING
BOARD.

TRIM TEXT 2000 PLY
CLADDING ON B'WRAP.

EXISTING WINDOW INSTALLATION
TO REMAIN IN ALL CASES

3 TYPICAL SILL. 1:5.

44MM
LOCKWOOD BOARD
50MM BATTEN.
GLASS WOOL INSULATION
B' PAPER.

9MM TITAN
PANEL (-BATTENED)
CLADDING OVER
B' PAPER.

MULTIGRIP

5. PORCH. EAVE 1:5

0.55 C'STEEL ENDURA
TRIMDEK - FOLD DOWN
TROUGH 4° PITCH.

MARION SPACING

0.55 C'STEEL EAVE
FLASHING

EX 150X25 PAINTED
FASCIA

PACKETS TO SUIT VERTICAL
BATTEN SIZE

EX 100X50 TROSS PLATE
EXISTING

50X50 WALL BATTENS.

EXISTING INSULATION.

EXIST. LOCKWOOD 44MM
BOARD.

9.5MM HALDIFLEX BATTENED
OVER GIB FLAMEGUARD.

2A OTAIHANGA RD.

AMENDMENT TO BC. 10127Z
FOR B. MCKAY & J. WELCH.

DRAWN BMC DESIGN LTD
PO BOX 757 PARAPARAUMU
PH 2985447.

AUG 2005.

A7.

PRE-NAIL
Superior
PREFABRICATED FRAMES & TRUSSES

CT: Cyclone tie

JH: Joist Hanger
X- 47x90
O- 47x120

M: Multigrip

All remaining fixings to be 'Z' nail wire dogs and 100x3.75mm skewed nails in accordance NZS3604:1999.

Builder to confirm all soffit details with Fascia manufacturer.

Truss centres: 900

Q0742

McCauley/ Welsh
2a Otaihunga Rd.
Paraparaumu

SCALE NTS	DESIGN PRS	DATE 27/03/06
DRAWING No. 1	DRAWN DKJ	REVISION

[illegible]

Pre-Nail Systems LTD

Producer Statement : Page 1

Job: Q0742

Client: CRIGHTONS.
Phone:Site: 2A Otahunga Rd.
P. UmuDescription: Addition
Building Consent No.:
MiTek 20/20 - Engineering 4.4 Gamma1 (build 1597)

Phone:

Printed: 09:55:20 27 Mar 2006

PRODUCER STATEMENT
MiTek 20/20™ TRUSS DESIGN PROGRAM**Certification of MiTek 20/20™ Truss Design Program**

The MiTek 20/20™ truss design program has been developed by MiTek New Zealand Ltd for the design of GANG-NAIL timber roof, floor and attic trusses in New Zealand. The truss designs computed by this program are prepared using sound and widely accepted engineering principles, and in accordance with NZS 4203, NZS 3603 and NZS 3604 as verification methods and acceptable solutions of the approved documents issued by the Building Industry Authority to satisfy the requirements of Clause B1: Structure of the Building Regulations 1992. This computer design for the proposed building complies with the relevant provisions of the NZ Building Code. This is subject to all proprietary products meeting their performance specification requirements, the provision of adequate bracing, fixings and the correct input of design data carried out by suitably trained personnel.

Summary of MiTek 20/20™ Truss Design Data and Output

The MiTek 20/20™ computer design output for this job titled and located at the site identified on the top of this page is based on the following parameters entered into the program. The owner must ensure that the following job details below are current and relevant to the project before fabrication and erection of the GANG-NAIL trusses.

Job Details**Roof Truss**

Timber Group:

PNS No1 H1.2

Pitch:

5.000 deg

Std Overhang:

600 mm

Roof

Ceiling

Wind

Material:

Galv Iron .5mm

Material:

Standard

Area:

Very High (50.0 m/s)

Dead Load:

0.210 kPa

Dead Load:

0.200 kPa

Pressure Coeff:

Cpe = varies; Cpi = -0.30, 0.20

Restraints:

900 mm centres

Restraints:

400 mm centres

Live Load:

Qr = 0.250 kPa

Qc = 1.000 kN

These trusses must be fabricated and erected in accordance with the GANG-NAIL manual. Proper erection bracing must be installed to hold the components true and plumb and in a safe condition until permanent bracing is fixed. All permanent bracing and fixing must be installed before any loads are applied. The specifications for timber shall be as shown on the output. The timber shall be standard gauged and treated to the requirements of NZMP 3640. Unless otherwise noted, this design assumes that the steel fixings and timber connectors are situated in a closed environment, as defined by NZS3604:1999 Section 4.

Truss List

Legend: * = detail only, ? = input only, Txx = failed design, Unmarked trusses = designed successfully, LB = lateral bracing required

Truss	Qty	Span (mm)	Pitch (deg)	Spacing (mm)
*R01	2	8400	5.000	900
EN01	1	7200	5.000	886
EN01A	1	7200	5.000	886
T01	4	7200	5.000	886
T01A	13	7200	5.000	886

Total quantity : 21

All work carried out under
jurisdiction of producer
statement to meet the engineer
requirements fully.

The computer design input has been carried out by:

Signed: 

Date: 27/3/06

Name of Computer Operator:

DONOVAN JOYCE

Qualifications and Title:

DETAILER

Company:

Pre-Nail Systems LTD

Verification / Acceptance of Input Data:

I have checked the input data against the construction drawings and specifications and verify that they are correct and suitable for this job.

Signed:

Date:

Name:

Company:

GENERAL SPECIFICATION

APPROVED
BY BUILDING
Paul Ashford
Officer
20/04/06

SPECIFICATION

2a Otaihanga Rd Otaihanga

Non Endorsed sheets of specs have not
been reproduced by Council, refer main set
supplied by Architect if required to view.

SPEC FOR REVISIONS TO BC. 10127Z.
MARCH 2006.

20/04/2006

Appendix One

Engineers dwg for verandah posts

Addenda to Application

Application

Brynn McCauley & Joanne Welch PO Box 757 Paraparaumu	No.	060285
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Project

Description	Dwellings - Alterations & additions Being Stage 1 of an intended 1 Stages Closing off existing work(BC010272). Recladding & repitching roof,moving kitchen, lining downstairs living room.
Intended Life	Indefinite, but not less than 50 years
Intended Use	Residential dwelling
Estimated Value	\$50,000
Location	2A Otaihanga Rd, Paraparaumu
Legal Description	LOT 2 DP 56172 & 1/2 SH IN LOT 3 DP 5617 2 BEING 6824 SQ METRES - SUBJ TO EASES O
Valuation No.	1527098800

Builder: Jim Goudie C/- Errol Davis Builders 49A Mazengarb Road,
PARAPARAUMU : 021 232 4837

Designer: BMC Design Ltd P O Box 757, PARAPARAUMU : (04) 298
5449

Contractor: Hamish Wells - Structural Engineer P O Box 188, OTAKI : (06)
364 6728

General Requirements

- a) The District Inspector is to be given 24 hours' notice before carrying out the following inspections:
1. Foundation Inspection:
 2. Subfloor Inspection, Suspended Floor
 3. Pre-wrap Inspection
 4. Post-wrap Inspection
 5. Post-Clad Inspection
 6. Prelining Inspection, moisture test, check bracing
 7. Completion inspection
- b) To arrange for any of the above required inspections by the District Inspector, please contact the building inspectorate on (04) 298 5139 between the hours of 8.00am and 4.30pm.

1. LAPSE AND CANCELLATION OF BUILDING CONSENT. A building consent shall lapse and be of no effect if the building work concerned has not been commenced within 12 calendar months after the date of issue. Or within such further period as the territorial authority allows.
2. The inspection of all specific design components of the building is the responsibility of the Design Engineer who is also required to supply a written report to Council.
3. All foundations are to be to solid bearing minimum of 300mm
4. NZS3604 is an Acceptable Solution in terms of the New Zealand Building Code and is a recommended reference document for timber framed buildings.
5. Note and comply with endorsements on approved plans.
6. Deck & stair balastrades with a greater drop than 1.0m require min 1.0m high balastrade measured from floor or tread. max 150mm bottom rail to floor. max 100mm space or hole between vertical rails. CERTAIN OTHER DECK CONFIGURATIONS MAY REQUIRE SAFETY BARRIERS. CONFER INSPECTOR
7. Section F7 of the New Zealand Building Code requires the installation of an approved smoke alarm system for detection and warning of fire. Alarms are to be of a type which include a reset and test buttons.
8. Contractor to leave site clear of all demolition materials and in a tidy state.
9. Provide from your Contractor a warranty covering the roof and fascia gutter system, including product, design and installation.
10. Restrictor stays, limiting sash opening to max 100mm must be fitted wherever sill height is less than 760mm and the difference in levels are 1 metre or greater. Refer F4.NZBC
11. Exterior cladding system to be previously completed and inspected by Council's Inspector prior to any subsequent prelining inspection/approval being granted for the fixing of internal linings.
12. Refer also to BC010272.

I have read the foregoing addenda to application, and the Owner/Builder/Authorised Person hereby agrees to comply with them.

**OWNER/BUILDER/
AUTHORISED PERSON**

Date: _____



Building consent 060285

Section 51, Building Act 2004

The building

Street address of building: 2A Otaihanga Rd, Paraparaumu

Legal description of land where building is located: LOT 2 DP 56172 & 1/2 SH IN LOT 3 DP 5617 2 BEING 6824 SQ METRES - SUBJ TO EASES O

Valuation number: 1527098800

Building name:

Location of building within site/block number:

Level/unit number:

The owner

Name of owner: Brynn McCauley & Joanne Welch

Contact person: Brynn McCauley

Mailing address: PO Box 757, Paraparaumu

Street address/registered office:

Phone number: Landline: (04) 298 5449

Mobile: 021 534244

Daytime:

After hours:

Facsimile number:

Email address:

Website:

First point of contact for communications with the council/building consent authority:

As above

Building work

The following building work is authorised by this building consent:

Closing off existing work(BC010272). Recladding & repitching roof,moving kitchen, lining downstairs living room.

Residential dwelling

This building consent is issued under section 51 of the Building Act 2004. This building consent does not relieve the owner of the building (or proposed building) of any duty or responsibility under any other Act relating to or affecting the building (or proposed building).

Kapiti Coast District Council

Phone (04) 904 5700, Fax (04) 904 5830 175 Rimu Road, Private Bag 601, Paraparaumu. Website www.kapiticoast.govt.nz

This building consent also does not permit the construction, alteration, demolition, or removal of the building (or proposed building) if that construction, alteration, demolition, or removal would be in breach of any other Act.

Compliance schedule

A compliance schedule is not required for the building.

Attachments

Copies of the following documents are attached to this building consent:

Robyne Cranham
Signature

Customer Service Team
Position

On behalf of: KAPITI COAST DISTRICT COUNCIL

Date: 21/04/06

21 April 2006

Brynn McCauley & Joanne Welch
PO Box 757
Paraparaumu

Dear Sir/Madam

Approval of Building Consent: 060285

Description: Closing off existing work(BC010272). Recladding & repitching roof, moving kitchen, lining downstairs living room.
Location: 2A Otaihanga Rd, Paraparaumu
Legal Description: LOT 2 DP 56172 & 1/2 SH IN LOT 3 DP 5617 2 BEING 6824 SQ METRES - SUBJ TO EASES O

I am pleased to inform you that the above building consent application has been approved. The building consent documents have been issued and are enclosed.

Before starting any work please read ALL the building consent documents carefully and in full so that you as the owner understand the conditions under which the consent has been issued.

As the owner you are also responsible for the following:

- ensuring that building work starts within 12 months of the approval of the building consent and that work progresses at a reasonable pace.
- ensuring that all required inspections are completed and that a Code Compliance Certificate is obtained once the work has been completed – please be aware that before a Code Compliance Certificate is issued, the building work must comply with the Building Act 2004 and the Building Code as at the date of final inspection.
- that no work with noisy equipment is to be carried out before 7.30 a.m. or after 6 p.m. Monday to Saturday. During the week there may be workers on site from 6.30 a.m. quietly preparing for work. Work with noisy equipment is not permitted on Sundays and public holidays.
- ensuring that no damage occurs to public property, for example footpaths or retaining structures. Should damage occur you will be required to pay for any repairs.
- ensuring that if you wish to make any changes to the approved building consent, then an amendment to the building consent will need to be lodged with us.

If you have any questions regarding your building consent or your responsibilities, please contact Kapiti Coast District Council on (04) 9045 617.

Addenda to Application

Application

Brynn McCauley & Joanne Welch PO Box 757 Paraparaumu	No.	060285
--	-----	--------

Project

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 5. Post-Clad Inspection
 6. Prelining Inspection, moisture test, check bracing
 7. Completion inspection
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5. Note and comply with endorsements on approved plans.
6. Deck & stair balastrades with a greater drop than 1.0m require min 1.0m high balastrade measured from floor or tread. max 150mm bottom rail to floor. max 100mm space or hole between vertical rails. CERTAIN OTHER DECK CONFIGURATIONS MAY REQUIRE SAFETY BARRIERS. CONFER INSPECTOR
7. Section F7 of the New Zealand Building Code requires the installation of an approved smoke alarm system for detection and warning of fire. Alarms are to be of a type which include a reset and test buttons.
8. Contractor to leave site clear of all demolition materials and in a tidy state.
9. Provide from your Contractor a warranty covering the roof and fascia gutter system, including product, design and installation.
10. Restrictor stays, limiting sash opening to max 100mm must be fitted wherever sill height is less than 760mm and the difference in levels are 1 metre or greater. Refer F4.NZBC
11. Exterior cladding system to be previously completed and inspected by Council's Inspector prior to any subsequent prelining inspection/approval being granted for the fixing of internal linings.
12. Refer also to BC010272.

I have read the foregoing addenda to application, and the Owner/Builder/Authorised Person hereby agrees to comply with them.

**OWNER/BUILDER/
AUTHORISED PERSON**

Date: _____

FOR COUNCIL USE:

DEPARTMENT	TICK FOR REFERRAL	COMMENTS	APPROVING OFFICER/ DATE
Resource Consents (refer PIM Sheet)	☒		<i>Alf Harris</i> 6/04/06
Plumbing and Drainage	☒		<i>[Signature]</i> 10/4/06
Building	☒		<i>[Signature]</i> 20/4/06
Fire Design	☐		
Compliance Schedule	☐		
Structural	☐		
Hazardous Substances	☐		
Environmental Health	☐		
Site- Footpath & Entrance Conditions	☐	Ground	
<i>Rural Access</i>		<i>BY ENGINEER</i>	<i>[Signature]</i> 5/4/2006
NOTES: <i>✓ H WIND, CORROSION ZONE. — GIS = High Zone only. & not CCZ.</i>			



Building Consent No. *060285*

Building Project. *Alteration to existing house*
2A OTAIHANGA ROAD, OTAIHANGA

CONSENT DATA INPUT REQUIREMENTS

REQUIRED INSPECTIONS

1	✓	Foundation inspection	32	✓	Lapse and cancellation after 12mths of consent	21		Minimum FFL to comply with NZS3604
3	✓	Sub-Floor inspection, suspended floor	2	✓	Engineer design specific components	22	✓	Deck and stair balustrades with greater drop than 1 m
7	*	Pre-concrete slab inspection of plumbing	3	✓	foundations to solid bearing of 200mm	23		Installation of solid fuel appliance (wood burner) comply and secured
2		Pre-Slab inspection, concrete floor	4	✓	NZS3604 as accept. solution in terms of NZ Bld Code	23A		Second hand wood burner - certified
16		Pre-Block-Fill inspection	5		Not approved as Habitable BUILDING	24		Chimney to be cleaned prior to fitting of new unit
23	✓	Pre-Wrap inspection	6		Not approved as Habitable ROOM	24A	✓	Section F7 requires fitting of smoke detectors
24	✓	Post-Wrap inspection	7		Fit proprietary Head, Jamb, Sill flashings & air seals to ext joinery	25	✓	Contractor to leave site clean and clear
25	✓	Post-Clad inspection	8		As in V H Wind Zone, ext load bearing walls, extra fixing for roof	26		Sewer and water services to be disconnected and capped
18		Substrate inspection – solid plaster	8A		As in Very High Wind Zone, extra fixings for roof	27		Provide from contractor roof warranty
19		Brick Veneer inspection	8B		All glazing, constr. system to comply with V H Wind and CCZ	28	✓	Contractor warranty covering roof, fascia and gutter system
8	*	Prelining inspection of plumbing	9	✓	Note and comply with all endorsements on approved plans	29		Provide from contractor texture coating warranty
4	✓	Prelining inspection, moisture test, check bracing	10		Names and Reg'n of plumber and drain layer req'd	30		To comply with food hygiene regulations 1974
5	✓	Post-lining inspection, linings, fixed as per brace design	11		Concealed soil and TV pipes and gas flues only allowed in ducts or minimum framed	31		As in CCZ, all fixings need to be stainless steel
10	*	Water test on sewer drains	12		Hot & Cold water pipes tested to 1500kPa	33		Approval only given for relocation purposes
15	*	Completion inspection	13		Roof storm water to be connected to existing	34		If cladding to have pre-finished colour coating, to be appropriate for coastal conditions
			14		Copper water pipes not permitted	38	✓	Window sashes on upper levels less than 760mm above floor to have stays fixed
		* = plumbing inspections	15		Owner/builder to ensure prop foundation height will allow satisfactory connection	39		Construction of playground to comply with NZS 5828
			16		Drainlayer to discuss septic tank, etc	40		Fencing, gates, doors directly leading to swimming pool to comply Pool act 1987
		STANDARD CONSENT CONDITIONS	17		Owner's responsibility to arrange septic tank design	41		Owner's legal responsibility to provide locking lid for spa pool
37			18		Roof stormwater to be disposed inside property boundary	42		Intended appraised/approved Polystyrene Texture Coating system to be advised
72			19		Roof stormwater to be piped to kerb	43		Textured systems should be applied by licensed, trained applicators - supply warranty
80			20		Tempering valve to be installed on HW cylinder	44	✓	Exterior cladding system to be completed and inspected prior to internal lining.

NON STANDARD ADDENDA

Refer Also to BC010272

FOR OFFICE USE ONLY

FEEs		APPLICATION FEE	\$.....
Building Fee	\$ 1431-	RECEIPT NO	DATE
Sewer Connection	\$.....		
Water Connection	\$.....		
Vehicle Crossing	\$.....	INVOICE NO	DATE
Damage Deposit	\$.....	22029.	27/3/06.
Structural Checking	\$.....	RECEIPT NO	DATE
Building Research Levy	\$ 50-	162129	27/3/06
Development Levy	\$.....	FEEs PAID BY:	
DBH Levy	\$ 98-50	J WELCH & B MCCAULLEY.	
Compliance Schedule	\$.....		
Digital Storage Fee	\$ 31-50	BUILDING CONSENT	DATE ISSUED
Certificate of Title Charge	\$ 45-	NUMBER	
Photocopying	\$.....	060285	21-4-06
SUBTOTAL	\$ 1656-	AUTHORISATION FOR REFUND OF DEPOSIT	
Less Fee Paid	\$ 1656-	Deposit held =	\$.....
TOTAL	PAID	Cost to Repair Damage Caused During Construction =	\$.....
GST INCLUDED	\$.....	Total Balance to be Refunded	\$.....
		Authority Number:	
		Authorised:	DATE:

GST 51-860-608

Received with thanks by 46/01
KAPITI COAST DISTRICT COUNCIL

27-03-06 9:32 Receipt no.162129

COPY *COPY* *COPY*

DR BC060285

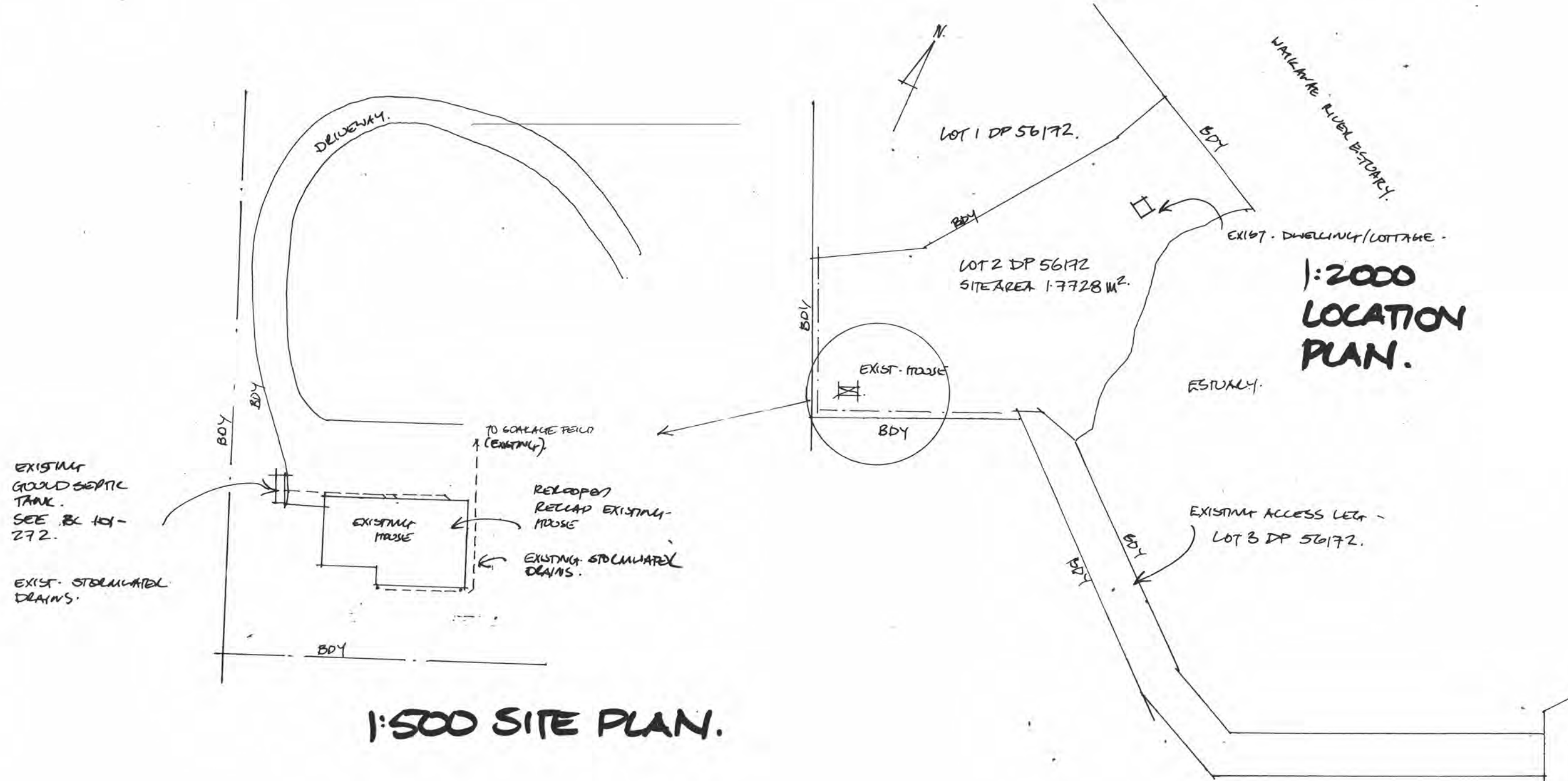
J WELCH B MCCAULLEY 1,656.00-

B McCauley & J Welch::PO Box 757:Parap

CQ B

BMC DESIGN LTD

1,656.00



1:500 SITE PLAN.

1:2000 LOCATION PLAN.

2A OTAIHANGA RD.

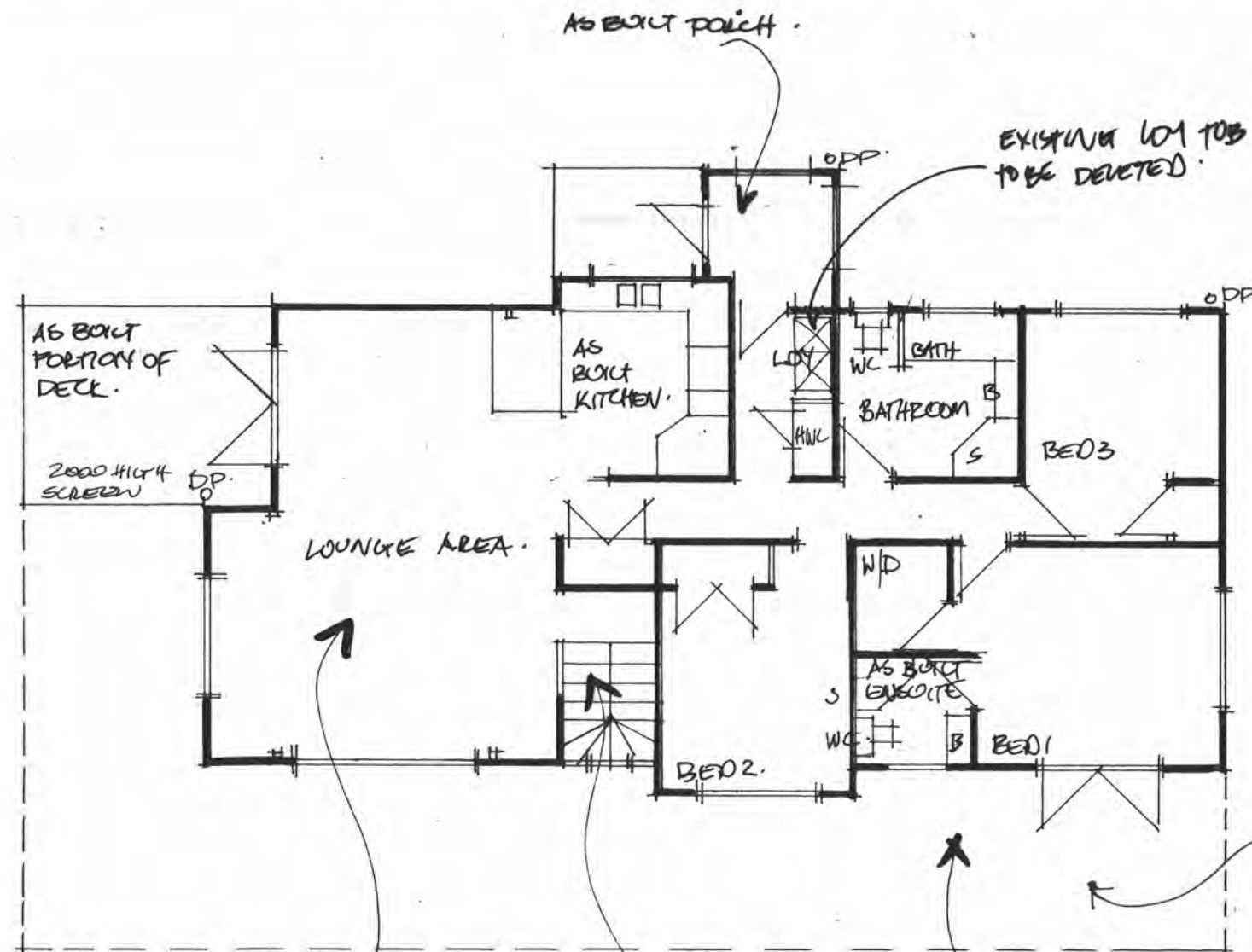
PROPOSED AMENDMENTS TO
BC - 101272.
FOR B McCABE & J WELCH.

DRAWN BMC DESIGN LTD
PO BOX 757 PARAPARAUMU
PH 2905449.

AUG 2005.

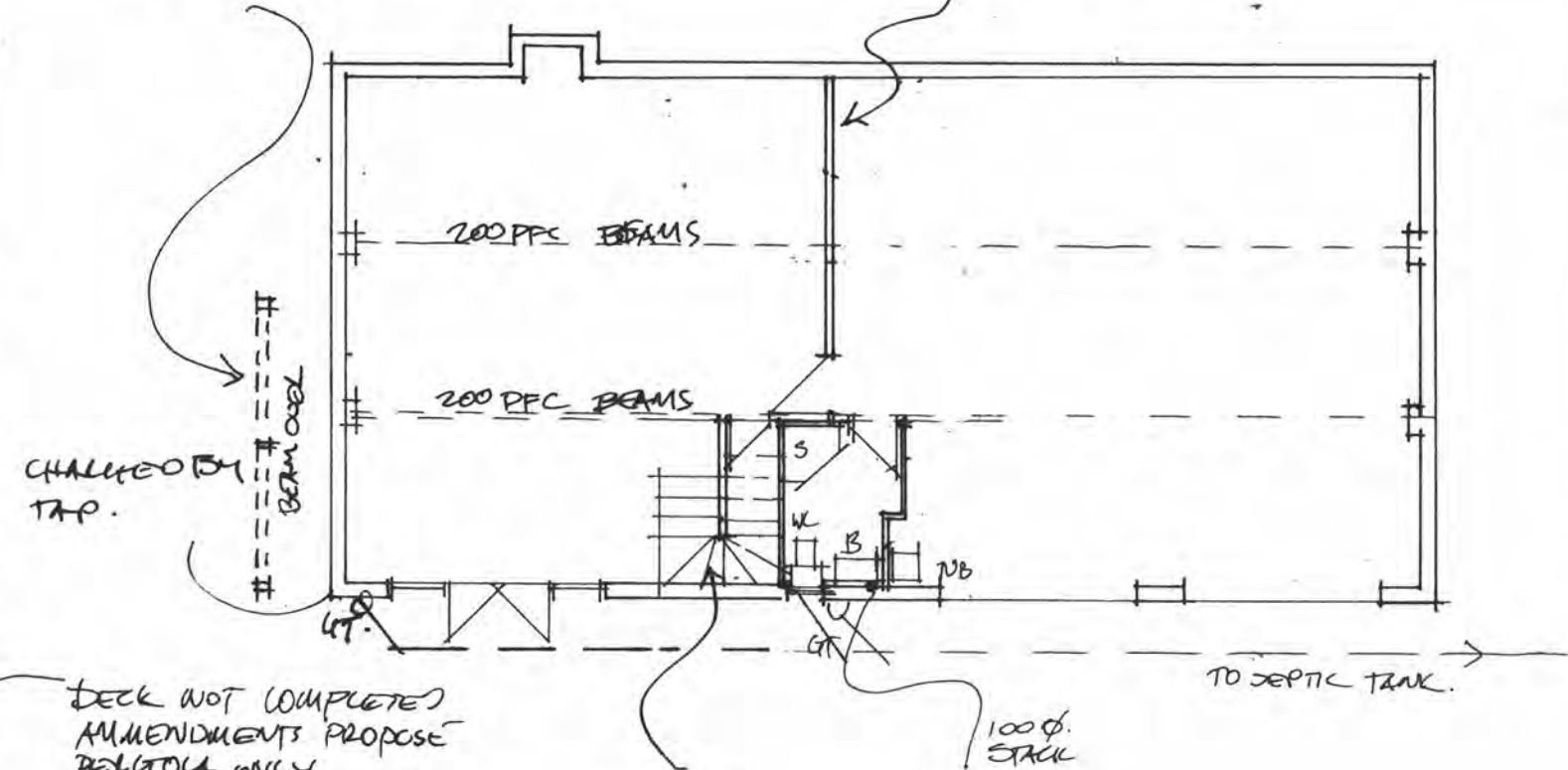
A0.

AS BUILT BASEMENT LEVEL 1:100



NOTE FIT BOWMAC S/S BES BRACKETS TO EXISTING POSTS/BEAMS

AS BUILT EXISTING 200 BLOCK RETAINING WALLS AS PER BC N° 101272. 610272. WALL LINED ONE SIDE ONLY.



AS BUILT HOUSE LOCKWOOD INITIAL HOME 'FANTAIL' HOME - VIRTUALLY COMPLETE HARDPLANK EXTERIOR, COMPLETED BUT NOT PAINTED BEYOND UNDERCOAT.

AS BUILT STAIR & WINDOW

OUTLINE OF PROPOSED DECK NOT TO BE CONSTRUCTED.

AS BUILT PLAN. 1:100. MAIN LEVEL

CHALUPO BY TAP. AS EXISTING.

LOWER SERVICE ROOM.

AS BUILT PLUMBING SCHEMATIC. NTS.

PROPOSED AMENDMENTS TO BC 101272 FOR B MCCAULEY & J WELCH.

DRAWN B MCCAULEY BNC DESIGN LTD.

PH 2985448.

2A OTAIHANGA RD.

Ala.

CONNECT NEW GULLY
LOCATION VIA 650 WASTE
TO EXISTING GUT

EX
125X125 HS
DRESSED POLES, IN
400 X 500² FOOTINGS

RELOCATE
EXISTING KITCHEN
EXTEND WASTE
TO EXISTING
BRANCH DRAIN

RELOCATE HALL
DOOR.

EXISTING PORTION OF DECK.
BUILT 200X30X50S @ 400 CTS

AS BUILT
STAIR - MIN. 255+25
NOSE/ST. MAX 140 RISES.
1000 HIGH BAKUSMADE.
GIBLINED EXSD OF H'RAIL AMMENDMENT
AS DISCUSSED WITH MIKE MORBY
KELC DEC. 2004.

NOTE REMAINDER OF
DECK PROPOSED IN
BC 101272 NOT TO BE
BUILT.

SEE NOTE 3.

EX. H32.
150X100 VELANDAH BEAM

200X50 X2
BEAMS
H4

VELUX LOW PITCH (MINUS)
SKYLIGHT 1200X1200
FITTED IN NEW ROOF

CHANGE DOOR TO
T&G DOOR.

EXISTING UNFINISHED PORCH ENTRY AREA.
RAISE PORCH FFL TO
HOUSE LEVEL. INSULATE &
LINE WITH R 2.2 Batts TO
CEILING, R1.8 TO WALLS.

EXISTING DOOR/WINDOW REMOVED.
ADD DOORS TO OLD LHM ALLOVE FOR CLOSET.
RELOCATE DOOR & RELOCATE
TO NEW BED 4 / STUDY.

EXISTING REMOTE
MONITORED SMOKE ALARM.
HALF WIRE.

OP EXIST

NOTE ALL WINDOW SCREWS
TO REMAIN. THRU OUT.

HOUSE TO BE RECLAD WITH
TEXT. 2000 PLY OVER, B' PAPER.
REFER DETAILS ATTACHED

DOORS TO REMAIN
BUT TO BE DISABLED
BY SCREW FIXING AT HEAD.
TO BE USED IN FUTURE
DECK.

MAIN LEVEL PROPOSED PLAN. 1:100

- NOTE UPPER LEVEL IS INITIAL HOME LOCKWOOD
CONSTRUCTION.
- LOWER FLOOR 200 SERIES CONCRETE BLOCK.
- THE PROPOSED AMMENDMENTS INVOLVE RELOCATION
OF KITCHEN & A NEW INTERNAL PARTITION TO CLOSE OFF
OLD KITCHEN, RECLADDING OF HOUSE, AND FORM VELANDAH.
CONSTRUCTION OF NEW ROOF STRUCTURE TO REPLACE
AS BUILT 4 PIPED ROOF STRUCTURE, ENTRY/PORCH TO BE
LINED.
EXISTING UNFINISHED LOWER AREA LINED. DECKS TO FRONT BELIEVED, PELLICOLA ONLY TO BE FITTED.

DOOR / WINDOWS. SCHEDULE

- D1. 2X610 X1900 BIFOLD.
- D2. RELOCATE OLD LAUNDRY DOOR.
- D3. RELOCATE EXIST GARAGE DOOR
- D4. 1980 X810. DOOR.
- D5. SLIDING DOORS 3 PANELS
2200 HIGH TO FIT ALLOVE WIDTH.

- W1. CHANGE ALUM. DOOR FIT T&G & SIDE
PANEL DOOR (CLIENT SUPPLY).
- W3. 1200X1200 6" MIN PITCH VELUX.

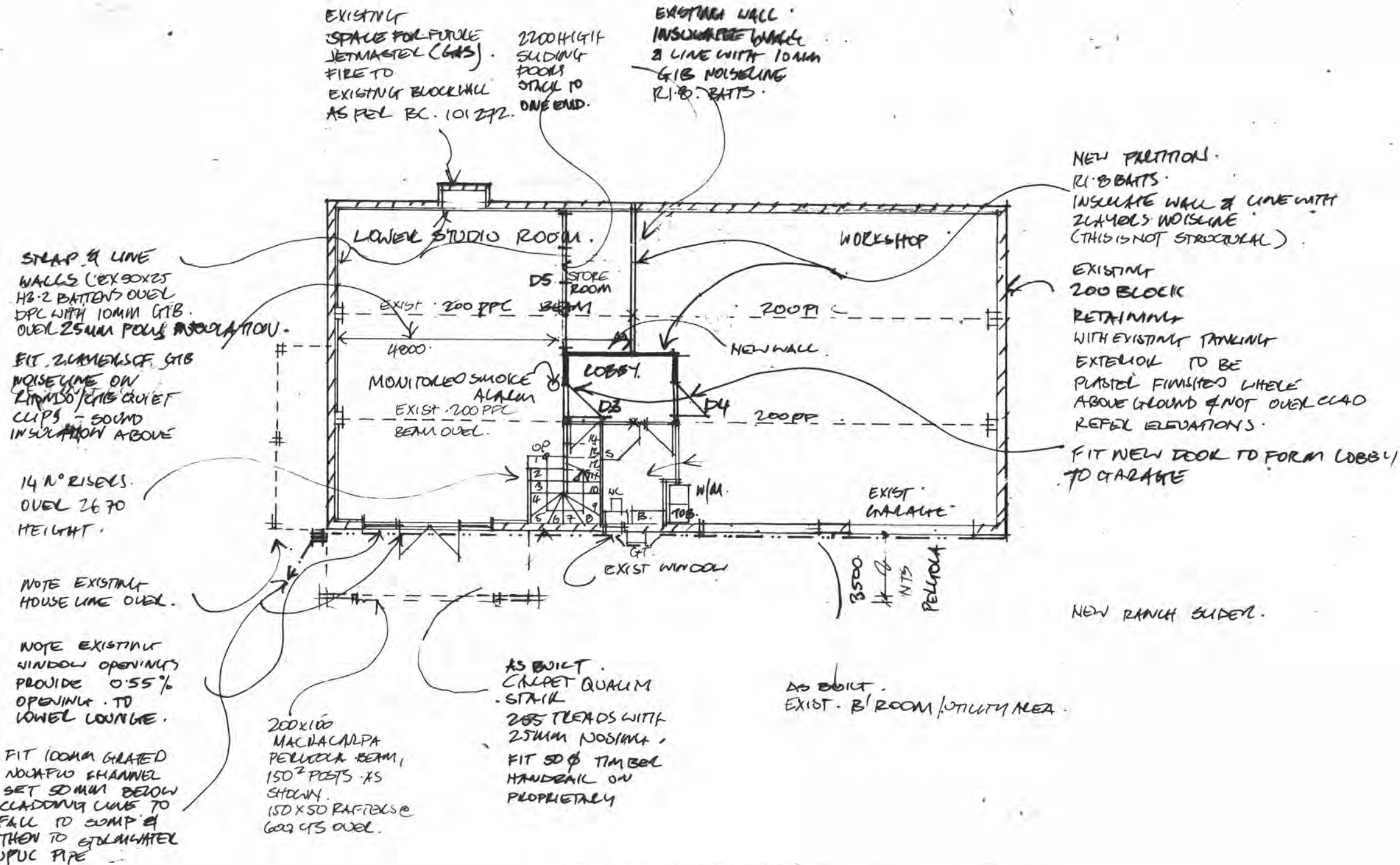
- NOTE ALL DOOR & WINDOW
UNITS TO MATCH EXISTING.
- NOTE REFER BC. DOCUMENTS
BC. N° 101272 FOR
EXISTING HOUSE DOCUMENTATION
- ALL NEW CONSTRUCTION (VELANDAH)
TO BE IN ACCORDANCE WITH NZBC
& NZS3604 1999.

2A OTAI HANGA RD.

PROPOSED AMMENDMENTS TO BC 101272
FOR B MCCAULEY & J WELCH.

DRAWN B MCCAULEY BML DESIGN
PH. 2185449.
AUG 2005.

A1b.



PROPOSED GROUND FLOOR . 1:100

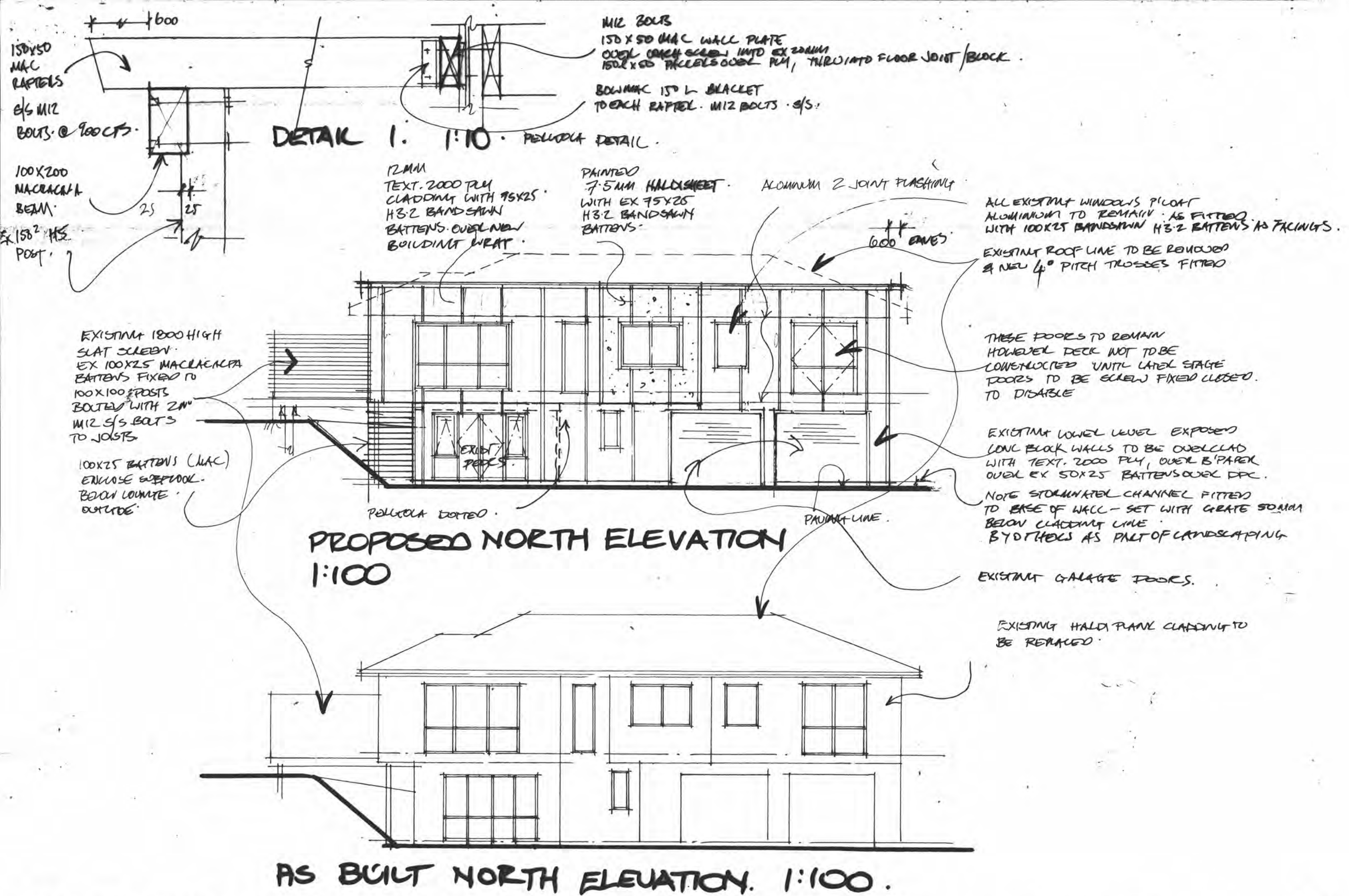
- NOTE APART FROM STAIR & LOBBY TO GARAGE ALL IS EXISTING AS BUILT.
- STAIR INSTALLED AS AMENDMENT FORWARDED IN JANUARY 2005, AND AS DISCUSSED WITH MIKE MOLBY IN KDCX OFFICES DEC. 2004.

2A OTAIHANGA RD.

PROPOSED AMENDMENTS TO EXIST.
BUILDING CONSENT NO. 010272

FOR B. M. CALLEY & J. WELLS
DRAWN BY B. M. CALLEY LTD. PO BOX 757 PARAPARAUMU.
PH 2985449, AUG 2005.

A2



2A OTAIHANGA RD.

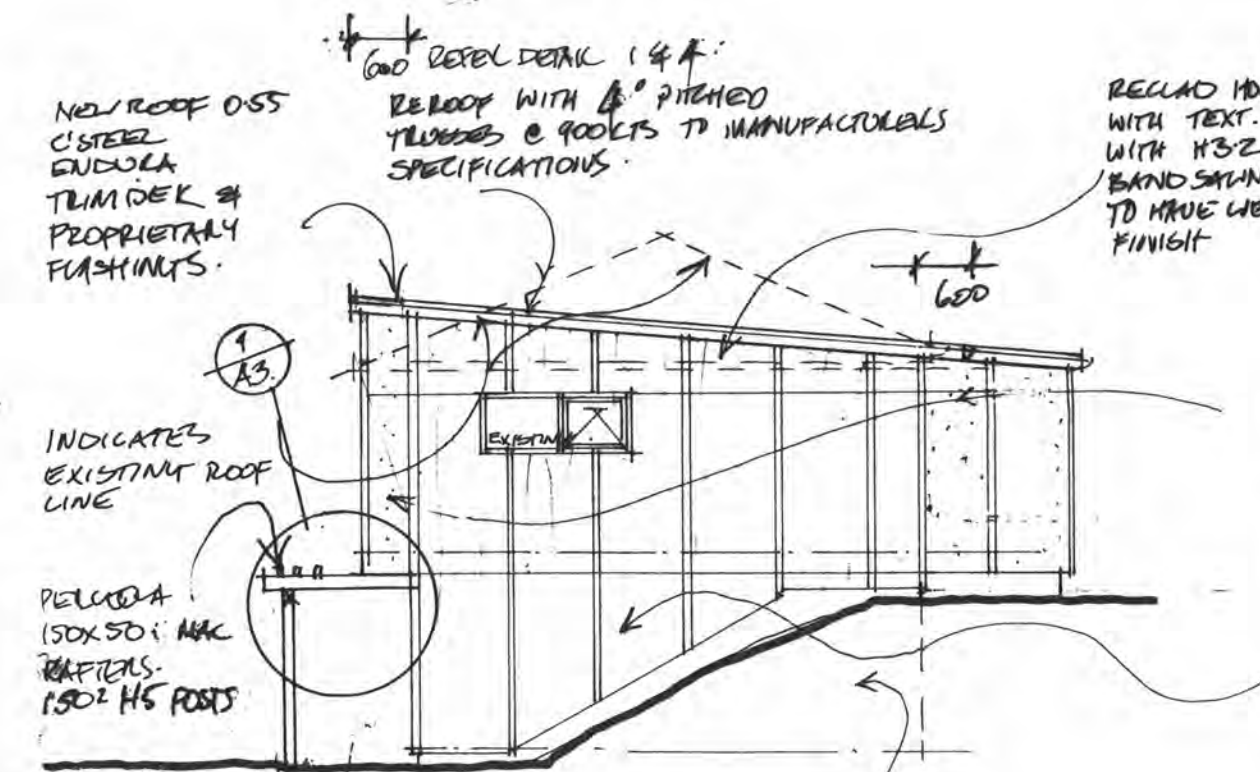
PROPOSED AMENDMENTS TO BC. N° 10/272.
FOR B. McLAUGHLIN & J. WELCH.

DRAWN BY MC DESIGN LTD
PH 2185449. PO BOX 757
PALAPARU.

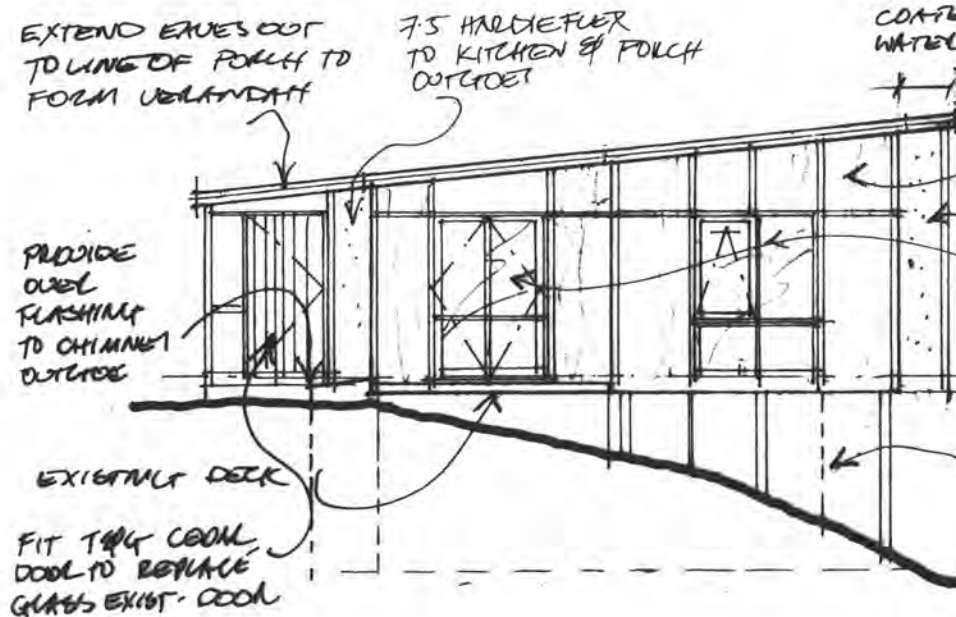
AUG 2005.

A3

PROPOSED.

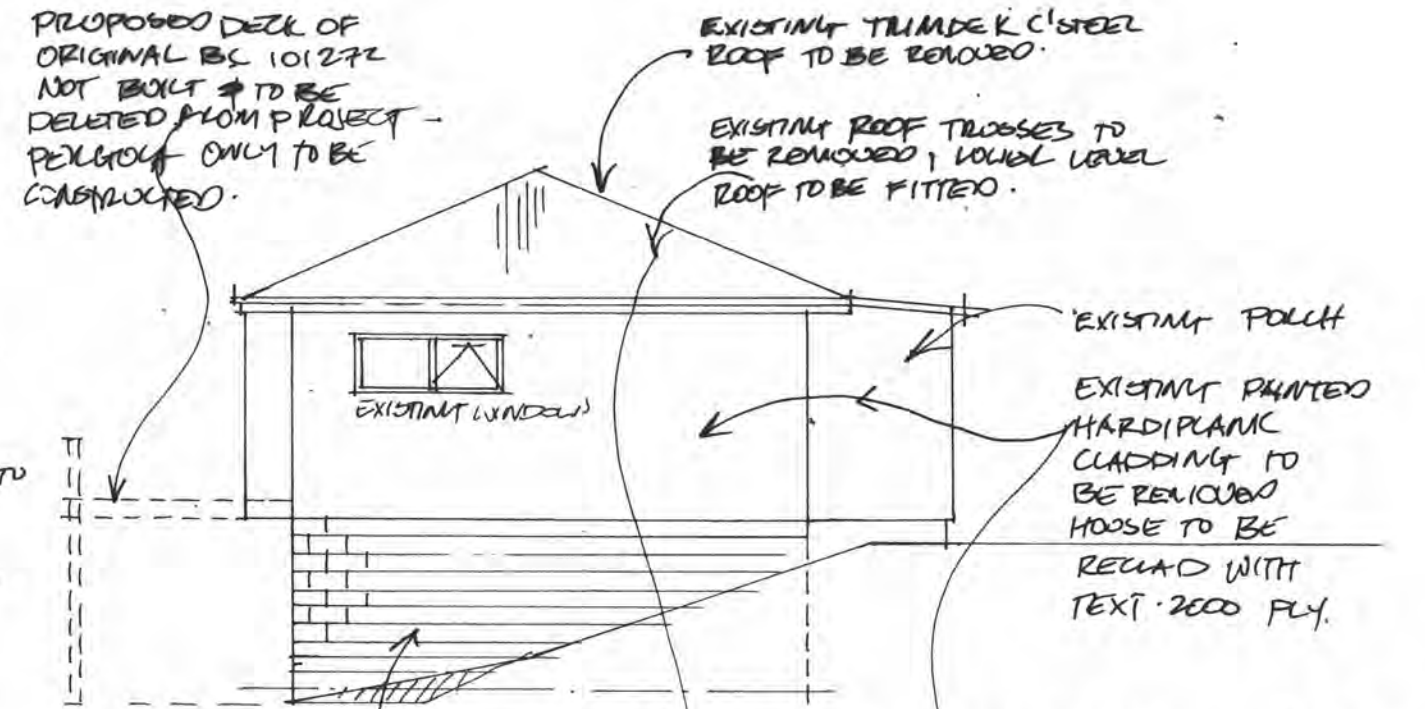


PROPOSED WEST ELEVATION. 1:100.

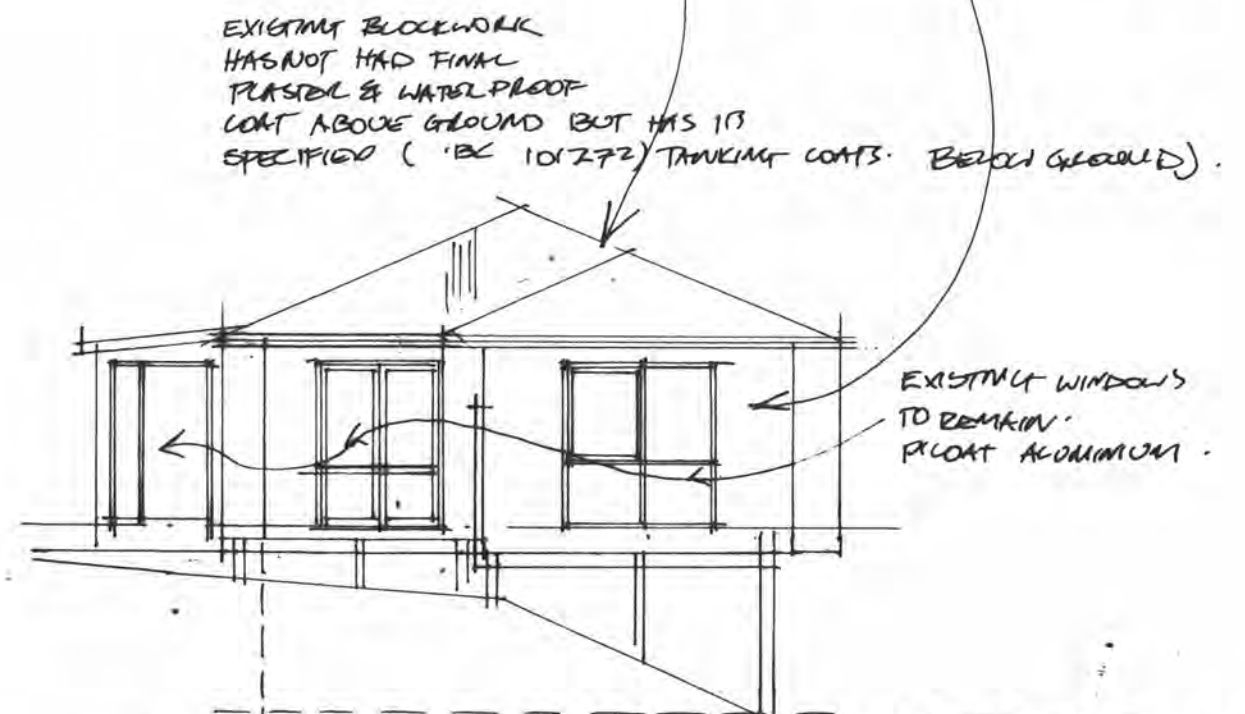


PROPOSED EAST

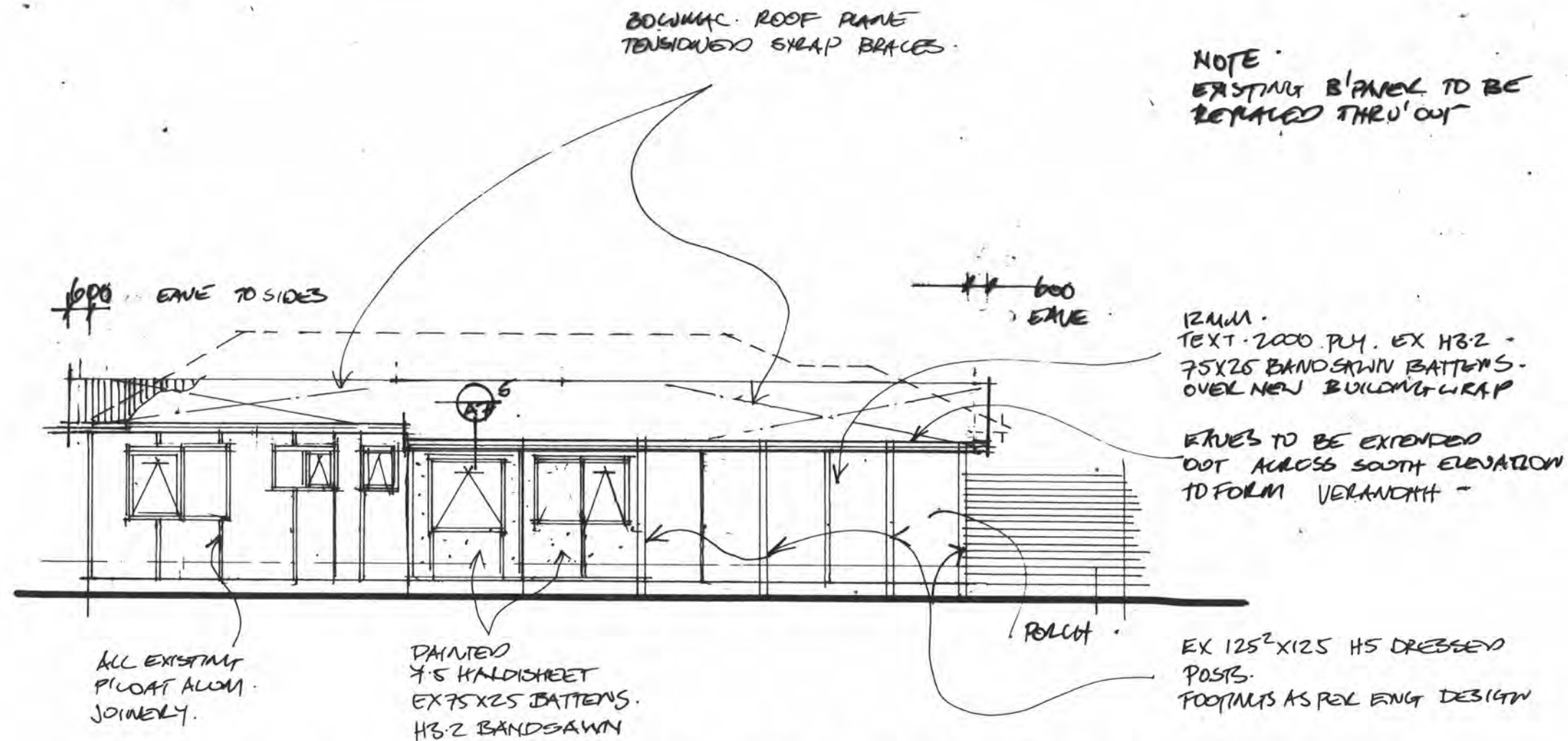
EXISTING AS BUILT.



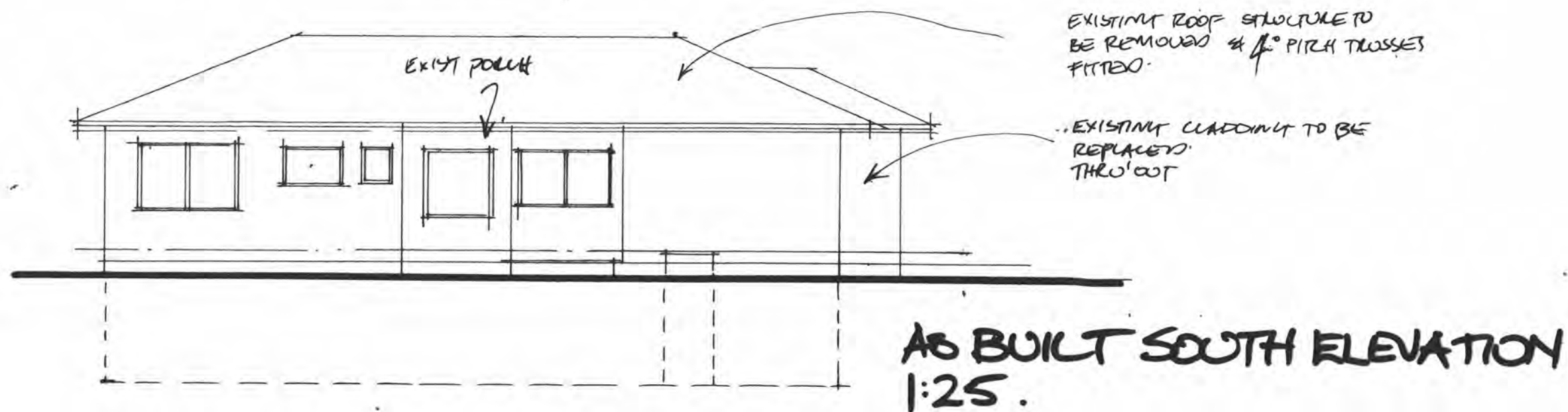
AS BUILT WEST ELEVATION. 1:100



AS BUILT EAST ELEVATION 1:100



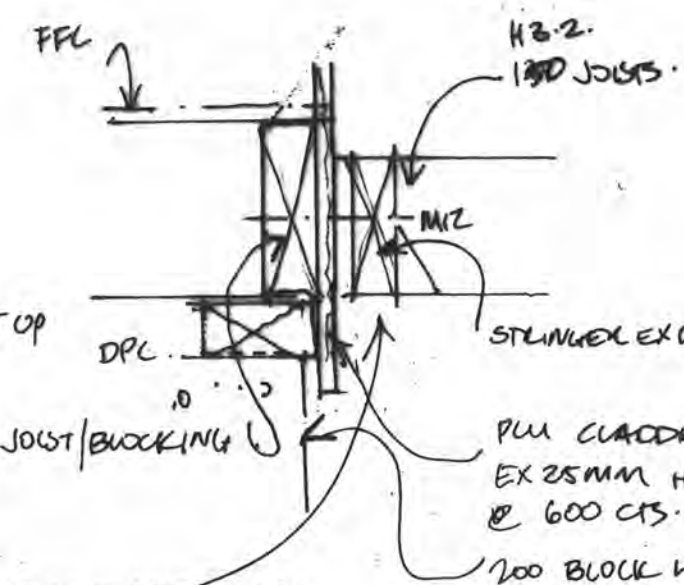
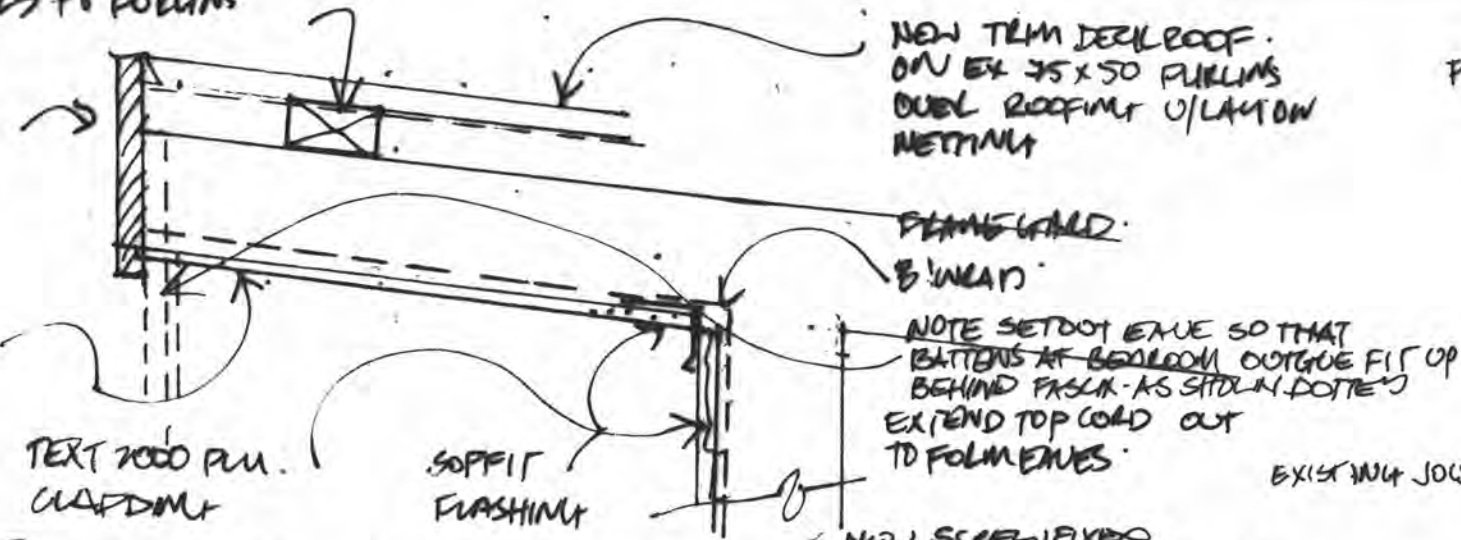
PROPOSED SOUTH ELEVATION. 1:100



2" NO 2 NAILS TO FURLINS

REDDED
EX 150X25
FASCIA
7.5MM
HARDI
SOFFIT

1. EAVE DETAIL.



DETAIL 1. NTS.

NOTE EXTEND TROUSERS
OUT TO PICK UP
BEDROOM OUTSIDE
AT BEDZ. - EAVE WIDTH
DEFINED BY THIS

NEW SCREW FIXED
TRIMMER CISTERNE ENDURA
ROOFING ON
EX 75X50 FURLINS, ON NEW 50 PITCH MINIMUM
TROUSERS TO MANUFACT SPECIFICATIONS @ 900 CTS MAX.
40 MIN PITCH - FIX WITH CYCLONE 12KN TIES TO
WALLS

FIX 125 PLATE TO
WALL WITH MIZ BOLTS
OVER EX 50X125 PACKELS
JOISTSON S/S HANDS

EX 125X50 H3.1 RAFTERS
@ 900 CTS. - NOTE EXTEND BACK INTO
TROUSERS & FIX WITH 2 X MIZ LOACH SCREWS.
MILLEN SPACING
CONNECT DPL'S TO EXISTING
OUTLETS ON H3.2 PAINTED
FASCIA

100X150 VELAMPAT H3.2
BEAM,
FIX WITH 2" S/S MIZ
BOLTS, BOWMAC
S/S BRACKETS B 85

LINE SOFFIT
HARDI SOFFIT
BATTENS @ JOINTS. & PAINT FINISH

125² H5 DRESSED POSTS
200X50X2 BEAMER S. BOLTS H4
TO POSTS 2X MIZ S/S

FOOTINGS - TO ENGINEER'S DESIGN
EXISTING 200 SERIES (AS BUILT)
BLOCK RETAINING - TANKED
WITH 3 COATS MUSEAL AS FEL
ORIGINAL BUILDING CONSENT

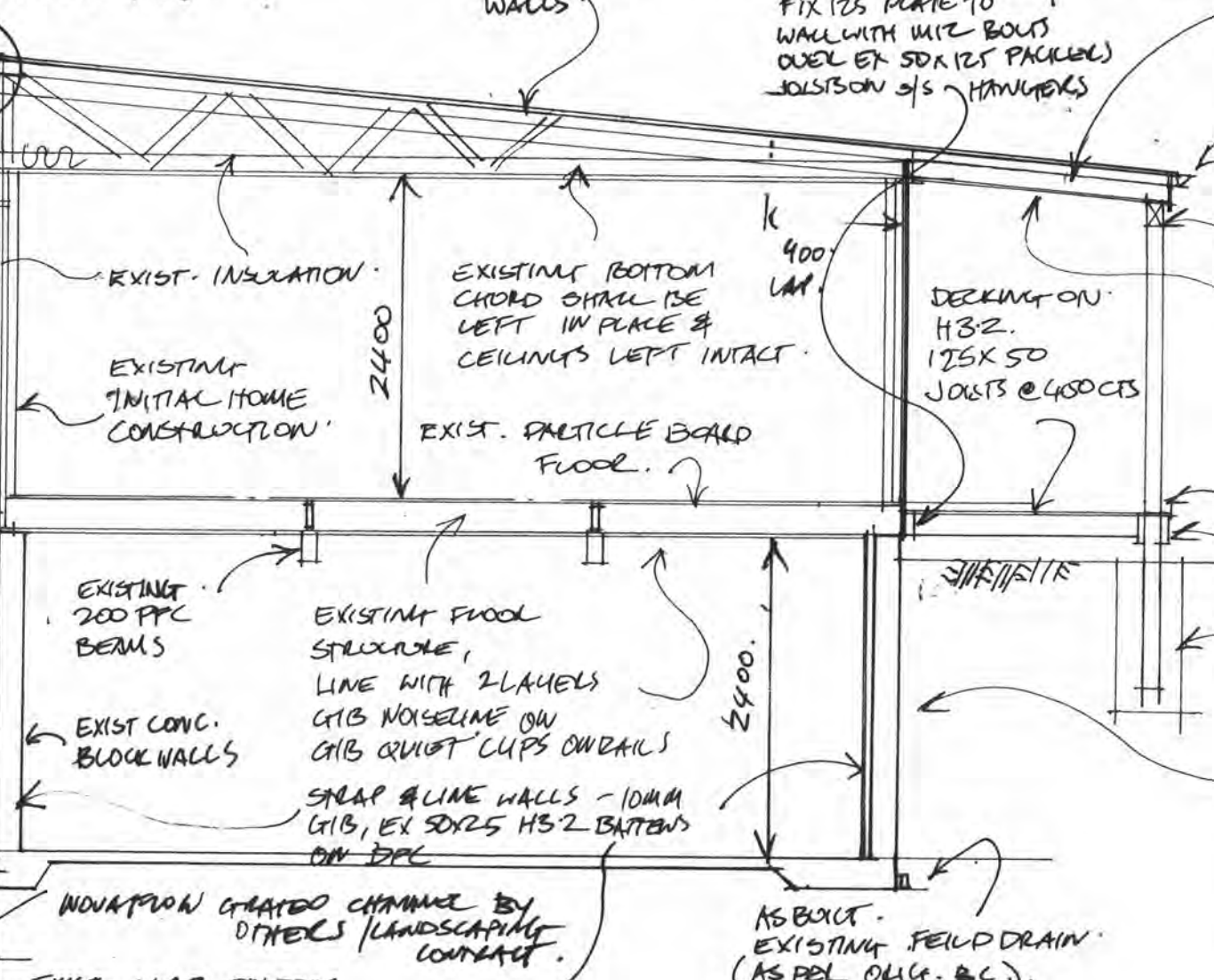
RECLAD
WITH TEXT
2000 PLY
OVER
B'WRAP

PLATE FIXING AS PER
DETAIL 1 SHEET A3

200X100
MAC
BEAM
REFER
DETAIL 1
SHEET A3

150X50
MAC
RAFTERS
EX 150² H5
POSTS

FOOTING AS PER
ENGT. DESIGN



PROPOSED SECTION 1:50

2A OTAIHANGA RD.

PROPOSED AMENDMENTS TO
EX 10/272. FOR. B. McCAGLEY & J. WELCH.

DRAWN: BHC DESIGN LTD
PH 2985449
AUG 2005

A6

BANDSAWN H3.1
BATTEN - SLOPE
TOP EDGE

NEW OR REUSED
P'LOAT ALUM
HEAD FLASHING
AS
APPLICABLE

RECLADDING TO TYPICAL WINDOW HEAD. 1:5

NOTE FIT AIRSEALS
IF NOT PREVIOUSLY
FITTED

B'PAPEL

NEW 12MM
TEXT. 2000 PLY
CLADDING

EX 75X25 BANDSAWN

EXISTING
INSULATION
EXISTING 44MM LOCKWOOD
INITIAL HOME CONSTRUCTION
H3.1
TEXT. 2000 PLY 12MM
CLADDING REPLACES 6MM X2
HARDPLANK THICKNESS
B'PAPEL

EXISTING WINDOW INSTALLATION
NOTE THIS IS AS PER NZ
BC. REQUIREMENTS OF
EXIST. BUILDING CONSENT.
WINDOWS ARE TO REMAIN IN PLACE
& INTERIOR FIXINGS & LININGS E
FINISHING UNALTERED.

NOTE PACK ON
FLAME LINES
TO MATCH
HARDPLANK
DEPTH WHERE
APPLICABLE TO WINDOWS

EXISTING EX 50² BATTENS TO
INITIAL HOMES PLANK/BOARD
STRUCTURE

INITIAL HOMES
CONSTRUCTION 44MM
LOCKWOOD BOARD, WITH 50MM
POLY INSULATION

EXISTING FITTED WINDOWS
TO REMAIN IN PLACE NOTE EXIST.
CLADDING 2X6MM HARDPLANK SPACE
PROVIDES SPACE FOR 12MM PLY CLADDING. 2 NAIL

2 RECLAD OF TYPICAL WINDOW JAMB. 1:5

NOTE FIT AIRSEALS
IF NOT PREVIOUSLY
FITTED!

BEVEL TOP EDGE
OF EX 75X25 FACING
BOARD

12MM TEXT 2000 PLY
CLADDING ON B'WRAP

EXISTING WINDOW INSTALLATION
TO REMAIN IN ALL CASES

3 TYPICAL SILL. 1:5

44MM
LOCKWOOD BOARD
50MM BATTEN
GLASS WOOL INSULATION
B'PAPEL

9MM TITAN
PANEL (-BATTENED)
CLADDING OVER
B'PAPEL

EX 25MM X 150 PAINTED
FASCIA

350

4" PITCH
0.55 C'STEEL ENDURA
TRIMMER ON ROOFING UNDERLAY
ON EX 75X50 POLLINS.
STOP END TROUGHTS FULLY.

PROPRIETARY FLASHING - C'STEEL
ENDURA

4 NEW. TYPICAL 1:5 BARGE DETAIL TO BED 2 OUTSIDE.

NEW TUSSES
FLAMEHARD
B'WRAP

7.5MM HARDIFLEX OVER BEDROCK
OUTSIDE. TEXT. 2000 PLY ELSEWHERE

& FIT @ 600 CFS PACKERS TO
SUPPORT FASCIA

NOTE VERTICAL BATTENS OF CLADDING
TO RUN UP BEHIND FASCIA

S. PORCH. EAVE 1:5

MULTIGRIP

0.55 C'STEEL ENDURA
TRIMMER - FOLD DOWN
TROUGH 4" PITCH

MALCOLM SPONTING

0.55 C'STEEL EAVE
FLASHING

EX 150X25 PAINTED
FASCIA

PACKERS TO SUIT VERTICAL
BATTEN SIZE

EX 100X50 TROSS PLATE
EXISTING

50X50 WALL BATTENS

EXISTING INSULATION

EXIST. LOCKWOOD 44MM
BOARD

7.5MM HARDIFLEX BATTENED
OVER GIB PLASTER

2A OTAIHANGA RD.

AMENDMENT TO BC. 10127Z
FOR B. MCKENZIE & J. WELCH

DRAWN BANC DESIGN LTD
PO BOX 757 PARAPARAUMU
PH 2905447

AUG 2005

A7.

Building Consent Checklist

BC...060285

Wind zone; high / very high / specific design / refer glazing stamp

Corrosion zone; sea spray / zone 1 N/A

Contaminated site: ☐ Yes ☐ No ☒ NA

Known hazards: sections 71-74 not on House site
Certificate of title required? Refer to planning ☐ Yes ☐ No ☒ NA

Fill on site / ground conditions ☐ Yes ☐ No ☒ NA
Refer to inspection comment

Building over 2 or more allotments s75 -77
Refer to PIM ☐ Yes ☐ No ☒ NA

Risk assessment: attached
E2/AS1 risk matrix category verified ☒ Yes ☐ No ☐ NA

Bracing calculations: Lockwood system + Eng. ☐ Yes ☐ No ☒ NA

BC sent to NZFS
Comment received and considered ☐ Yes ☐ No ☒ NA

Alternative solutions: critical issues ☐ Yes ☒ No

Alterations with change of use: ☐ Yes ☒ No

Alteration - S112 (2) discretion to avoid upgrade triggers: ☐ Yes ☒ No

Waiver or modification: ☐ Yes ☒ No

Areas requiring especial attention with this application;
(areas of potential risk for the building)

Assessment

Code clauses assessed as compliant; B1 non specific design, B1 specific design, B2, C1, C2, C3, C4, D1, D2, E1, E2 roof, E2, E3, F1, F2, F3, F4, F5, F6, F7, F8, G1 accessible facilities, G1, G2, G3, G4 natural, G4 mechanical, G5, G6, G7, G8, G9, G10, G11, G12, G13, G14, G15, H1 where applicable.

Building

Assessed By Paul

Signature: PA

Date: 20/4/06

Plumbing

Assessed By: Simon Cpp

Signature: Simon

Date: 19/4/06

Worksheet

Your notes	Prompts
Wind zone; <u>high</u> very high / specific design / refer also glazing stamp Corrosion zone; sea spray / zone 1 — N/A. Ponding / flooding — not on house site. Soil conditions Eng design. Notes: Work started under BC010272 refer letter. Discussed with Kan Smith 29/4/06. Work to proceed under this BC and when complete and CCE issued, the CCC for BC010272 can be issued. Most of the work is complete. New work = - New roof & trusses - New Exterior linings - Original extent of Deck reduced. - Alter kitchen	BUILDERS Category 1 Ground conditions Structure NZS 3604 or engineer Balustrades B1/AS2 or engineer Cut stability, retaining walls Work close to boundaries Durability, timber treatments Fire report; 4 storey, 1m to boundary Smoke detectors Access; stairs, handrails, slip resist Siteworks around buildings Cladding selection appropriate Flashings Waterproof retaining walls Floor heights and crawl space Wet area, waterproofing, surfaces Safety from falling Pool fencing Glazing for impact Natural light and awareness Natural ventilation Thermal insulation BUILDERS Categories 2 & 3 Fire report, purpose groups, escape height, path lengths, egress width F ratings, surface finishes Fire systems required, AS or alternative Accessible route from carpark/street Lifts Accessible facilities, Hazardous substances/processing Site safety, hoardings, gantries Assistive hearing systems Signage Sound control Energy efficiency (lighting) Specified systems/compliance schedule PLUMBERS Category 1 Flood zone, secondary flow path Stormwater disposal Subsoil drainage (retaining walls) Durability, material compatibility Flashing cover (roof and pipes) Internal gutter sizing Downpipe sizing, spreaders Foulwater disposal, overflow relief On site disposal systems Potable water supply HWC venting, restraint, thermal Water temperature at sanitary fixtures Gas appliance venting, thermal PLUMBERS Category 2 & 3 Stack drainage, venting Toilet numbers include accessible Mechanical ventilation/fume cupb'ds Penetrations through fire rated and acoustic rated walls/ceilings Trade waste, grease trap



SITE INSPECTIONS - BC 060285

Application Details

Applicant Name :	Name B McCauley & Joanne Welch
Contact Address :	PO Box 757 Paraparaumu
Location :	2A Otaihanga Rd, Paraparaumu
Legal Description :	LOT 2 DP 56172 & 1/2
Proposal :	Closing off existing work(BC010272). Recl

Landline

Post-Wrap Inspection

Direct Fixed Claddings (all types)

Element to Check	Hot tips	Comments	Pass	Fail
<i>Envelope</i>				
Timber moisture	Min 20% or as required by manufacturer		☐	☐
Building wrap	Fixed securely and appropriate for cladding type. Roofing underlay required for vertical profiled metal		☐	☐
Flexible sealing tape	Check for installation at top and bottom of openings. Minimum 100mm up opening and full width across. Check has not been over stretched		☐	☐
Head Flashings <i>If installed at time of inspection</i>	Compatibility checked. Flashing tape or second layer of building wrap in place. If flashing tape is used it must be compatible with building wrap		☐	☐
Sill flashings	Stop ends required. Flashing must extend under joinery to cover possibility of mitre's failing. Sill framing timber to be chamfered to accommodate sill flashing		☐	☐
Back flashings	Installed at critical junctions, internal corners, control joints, deck barrier/wall junctions		☐	☐
Capillary clearance	Wall framing to overhang by a minimum of 6mm.		☐	☐
Ground clearances	Fig 65. table 18		☐	☐

Post-Wrap Inspection
Claddings Utilising Cavities (except stucco)

Element to Check	Hot Tips	Comments	Pass	Fail
<i>Envelope</i>				
Building wrap	Fixed securely and appropriate for cladding type. Roofing underlay required for vertical profiled metal		☐	☐
Flexible sealing tape	Check for installation at top and bottom of openings. Minimum 100mm up opening and full width across. Check has not been over stretched		☐	☐
<i>Flashings</i>				
Head flashings	Must be installed prior to cladding. Compatibility checked. Stop ends required Flashing tape or second layer of building wrap in place. If flashing tape is used it must be compatible with building wrap		☐	☐
Back flashings	Installed at critical junctions, internal corners, control joints, deck barrier/wall junctions		☐	☐
Flashing of penetrations	Ensure penetrations such as air extract systems are flashed. Ensure penetrations fall to outside to prevent water tracking to rear of cavity. Confirm flashing materials comply with B2 for durability		☐	☐
Internal corners	Applies to weatherboards with or without a cavity, plywood without cavity, horizontal profiled metal, fibre cement with or without a cavity		☐	☐

Battens	H3 treatment Fixed securely No horizontal battens except at soffit level Cavity spacers (if reqd 100mm long, 50mm min gap, 5° slope. Additional support between battens		☐	☐
Element to Check	Hot Tips	Comments	Pass	Fail
Deck membranes	Deck membranes carried up behind cladding 150mm from deck Fig 62 E2/AS1		☐	☐
Cavity closures	In place with drainage provided		☐	☐
Ground clearances	Fig 65. table 18		☐	☐

Post-Wrap Inspection Solid Plaster (Stucco)

Element to Check	Hot Tips	Comments	Pass	Fail
<i>Envelope</i>				
Building wrap	Fixed securely and appropriate for cladding type. Roofing underlay required for vertical profiled metal		☐	☐
Flexible sealing tape	Check for installation at top and bottom of openings. Minimum 100mm up opening and full width across. Check has not been over stretched		☐	☐
<i>Battens</i>				
H3 treatment	NZS 3602 H3.1		☐	☐
20mm minimum cavity spacing	Provide support for solid backing sheets. Cavity spacers to have correct fall, 50mm gap and 100mm in length		☐	☐
Spacing	Additional support required if battens exceed		☐	☐

	450mm spacing. (to prevent insulation pushing out into cavity)			
<i>Flashings to penetrations</i>				
	Confirm flashing details for elements that bridge cavity. E.g. air extraction systems		☐	☐
<i>Back flashings</i>				
	Back flashings to internal corners		☐	☐

Post-Cladding Inspection

Element to Check	Hot tips	Comments	Pass	Fail
<i>Fibre Cement Sheet</i>				
Sheet layout	According to manufactures requirements. If bracing elements ensure correct fixings are used (stainless steel)		☐	☐
External corners taped and supported			☐	☐
<i>EIFS</i>				
Sheets supported at bottom edge with proprietary moulding	PVC cavity closure		☐	☐
External corners properly supported	PVC corner moulding		☐	☐
<i>Flashings</i>				
Sill	Not required for cavity systems other than stucco		☐	☐
Jamb	Only applies to stucco		☐	☐
Head	Applies to all claddings Stop ends where appropriate		☐	☐
Saddle	Required for all junctions and penetrations		☐	☐
Junctions with other materials	Have flashings fitted that are compatible (Tables 21 & 22)		☐	☐
Flashings/Wraps	In place over parapets/barriers prior to placement of finishing systems		☐	☐
<i>All Systems</i>				
Sheet fixings	Nailed as per specifications. Sheets extend past bottom plate by minimum 50mm 10mm drip edge formed (Fig 18)		☐	☐
Ground clearances	Fig 65. table 18		☐	☐
Clearance off deck surface	35mm at highest point above deck/roof fig 62		☐	☐
Element to Check	Hot tips	Comments	Pass	Fail

Vertical control joints as required by system manufacturer	Sheets fixed correctly to allow for movement at control joint		☐	☐
Horizontal control joints as required by system manufacturer	Sheets fixed correctly to allow for movement at control joint		☐	☐
Window installation	Window flange cover 10mm minimum Will require measuring by either checking overall window frame size (outside flange to flange) minus frame opening, difference should be 20mm, or check for maximum clearance either side between frame and window reveal, should be no more than 5mm		☐	☐
Air seals	In place with PEF backing rod		☐	☐
Parapets, solid barriers etc.	Provision for cap flashings to parapets with flashing tape separation Have sloping tops minimum 10 degrees or as specified by manufacturer Cap flashing may be omitted for deck barriers. No top fixing of rail supports or other fixtures to barriers		☐	☐
Wall barrier junctions etc.	Flashed to main wall		☐	☐
Vermin proof to cavity	Cavity closer installed		☐	☐
Cavity sealed to roof/mid-floor space	Usually with horizontal batten		☐	☐
Unusual or complex areas of building envelope	Particular attention to detail reqd		☐	☐
Penetrations correctly managed	Fig 68 & 69 for pipes and meterbox		☐	☐

Apron flashings	Appropriate kick outs in place. Ensure material used will be suitably durable; refer table 20		☐	☐
Coating able to be applied behind spouting stop ends	Fascia and spouting systems to be installed after coating systems applied		☐	☐
<i>Solid Plaster (Stucco)</i>				
Proprietary control joints	Proprietary control joints avoid the need for control joint inspections after each plaster coat has been applied		☐	☐

Post-Clad Inspection (Stucco)

Element to Check	Hot Tips	Comments	Pass	Fail
<i>Rigid backing</i>				
Fibre cement sheet/fixing			☐	☐
H3 plywood/fixing			☐	☐
H3 diagonal sheathing/fixing			☐	☐
<i>Non-rigid backing</i>				
Support for backing			☐	☐
Allowable deflection			☐	☐
<i>Reinforcing mesh</i>				
Mesh type			☐	☐
Reinforced around openings			☐	☐
6-9mm spacers			☐	☐
Proprietary self-spacing mesh			☐	☐
Fixings	Confirm durability of fixings (double dipped galvanised or stainless steel)		☐	☐

Proprietary control joints	Proprietary control joints avoid the need for control joint inspections after each plaster coat has been applied		☐	☐
<i>Flashings</i>			☐	☐
Head flashings	Compatibility checked. Stop ends required Flashing tape or second layer of building wrap in place. If flashing tape is used it must be compatible with building wrap		☐	☐
Cavity closures	In place with drainage provided		☐	☐
Ground clearances	Refer fig 65 & table 18 E2/AS1		☐	☐

PRELINE

PLUMBING AND DRAINAGE: Plumber:

Date: Officer: Builder/Contractor/Owner:

Pressure test
Visual leak check
Pipe support/clips
Pipe size
Pipe material

Joint strain
Pipe insulation
Stacks
Wastes
Supply tank

Has a **Site Instruction** been issued? Yes/No

Instruction No:

Is a reinspection required? Yes/No

Proposed date of
follow up inspection

Preline Labels in place? Yes/No

Producer Statement Yes/No/NA

COMMENTS

BUILDING

Date: *16/1/2007* Officer: *[Signature]* Builder/Contractor/Owner:

Timber treatment
Ceiling diaphragm
Dragon ties
Studs - size/spacing
Wall insulation
Posts - size/fixing
Lintels/bms - size/fixings
Ext joinery - labels
Ceiling runners
Wall bracing
Mech ventilation
Moisture Content Walls *K-Dry* %

☒
☒

Bracing straps
Timber grade
Wall dwangs
Trimming studs
Truss/rafter - fix/space
Ceiling joists
Plate fixings
Ventilation
Ceiling battens
Check exterior claddings

☒
☒

Ceiling %

Has a **Site Instruction** been issued? Yes/No

Instruction No:

Is a reinspection required? Yes/No

Proposed date of
follow up inspection

Preline Labels in place? Yes/No

Producer Statement Yes/No/NA

COMMENTS

OK TO LINE ALTERATIONS.

Tick (✓) approved inspections

Cross (x) inspections not approved

Strike out inspections not applicable

FOR COUNCIL USE:

DEPARTMENT	TICK FOR REFERRAL	COMMENTS	APPROVING OFFICER/ DATE
Resource Consents (refer PIM Sheet)	✓		<i>Alf Harris</i> 6/04/06
Plumbing and Drainage	✓		<i>[Signature]</i> 14/4/06
Building	✓		<i>[Signature]</i> 2/4/06
Fire Design			
Compliance Schedule			
Structural			
Hazardous Substances			
Environmental Health			
Site- Footpath & Entrance Conditions	Ground		
<i>Rural Access</i>	<i>By Engineer</i>		<i>[Signature]</i> 5/4/2006
NOTES: <i>✓ H WIND, CORROSION ZONE. - GIS = High zone only. # not CCZ.</i>			



Building Consent No. 060285

Building Project. Alteration to existing house
2A OTAIHANGA ROAD, OTAIHANGA

CONSENT DATA INPUT REQUIREMENTS

REQUIRED INSPECTIONS

1	✓	Foundation inspection	32	✓	Lapse and cancellation after 12mths of consent	21		Minimum FFL to comply with NZS3604
3	✓	Sub-Floor inspection, suspended floor	2	✓	Engineer design specific components	22	✓	Deck and stair balustrades with greater drop than 1 m
7	*	Pre-concrete slab inspection of plumbing	3	✓	foundations to solid bearing of 200mm	23		Installation of solid fuel appliance (wood burner) comply and secured
2		Pre-Slab inspection, concrete floor	4	✓	NZS3604 as accept. solution in terms of NZ Bld Code	23A		Second hand wood burner - certified
16		Pre-Block-Fill inspection	5		Not approved as Habitable BUILDING	24		Chimney to be cleaned prior to fitting of new unit
23	✓	Pre-Wrap inspection	6		Not approved as Habitable ROOM	24A	✓	Section F7 requires fitting of smoke detectors
24	✓	Post-Wrap inspection	7		Fit proprietary Head, Jamb, Sill flashings & air seals to ext joinery	25	✓	Contractor to leave site clean and clear
25	✓	Post-Clad inspection	8		As in V H Wind Zone, ext load bearing walls, extra fixing for roof	26		Sewer and water services to be disconnected and capped
18		Substrate inspection - solid plaster	8A		As in Very High Wind Zone, extra fixings for roof	27		Provide from contractor roof warranty
19		Brick Veneer inspection	8B		All glazing, constr. system to comply with V H Wind and CCZ	28	✓	Contractor warranty covering roof, fascia and gutter system
8	*	Prelining inspection of plumbing	9	✓	Note and comply with all endorsements on approved plans	29		Provide from contractor texture coating warranty
4	✓	Prelining inspection, moisture test, check bracing	10		Names and Reg'n of plumber and drain layer req'd	30		To comply with food hygiene regulations 1974
5	✓	Post-lining inspection, linings, fixed as per brace design	11		Concealed soil and TV pipes and gas flues only allowed in ducts or minimum framed	31		As in CCZ, all fixings need to be stainless steel
10	*	Water test on sewer drains	12		Hot & Cold water pipes tested to 1500kPa	33		Approval only given for relocation purposes
15	✓	Completion inspection	13		Roof storm water to be connected to existing	34		If cladding to have pre-finished colour coating, to be appropriate for coastal conditions
			14		Copper water pipes not permitted	38	✓	Window sashes on upper levels less than 750mm above floor to have stays fixed
		* = plumbing inspections	15		Owner/builder to ensure prop foundation height will allow satisfactory connection	39		Construction of playground to comply with NZS 5828
			16		Drainlayer to discuss septic tank, etc	40		Fencing, gates, doors directly leading to swimming pool to comply Pool act 1987
		STANDARD CONSENT CONDITIONS	17		Owner's responsibility to arrange septic tank design	41		Owner's legal responsibility to provide locking lid for spa pool
37			18		Roof stormwater to be disposed inside property boundary	42		Intended appraised/approved Polystyrene Texture Coating system to be advised
72			19		Roof stormwater to be piped to kerb	43		Textured systems should be applied by licensed, trained applicators - supply warranty
80			20		Tempering valve to be installed on HW cylinder	44	✓	Exterior cladding system to be completed and inspected prior to internal lining.

FOR OFFICE USE ONLY

FEEs		APPLICATION FEE	\$.....
Building Fee	\$ 1431-	RECEIPT NO	DATE.....
Sewer Connection	\$.....	INVOICE NO	DATE.....
Water Connection	\$.....	22029	27/3/06
Vehicle Crossing	\$.....	RECEIPT NO	DATE.....
Damage Deposit	\$.....	162129	27/3/06
Structural Checking	\$.....	FEEs PAID BY:	
Building Research Levy	\$ 50-	J WELCH & B MCCAULLEY	
Development Levy	\$.....	BUILDING CONSENT	DATE ISSUED
DBH Levy	\$ 98-50	NUMBER	
Compliance Schedule	\$.....	060285	21-4-06
Digital Storage Fee	\$ 31-50	AUTHORISATION FOR REFUND OF DEPOSIT	
Certificate of Title Charge	\$ 45-	Deposit held =	\$.....
Photocopying	\$.....	Cost to Repair Damage Caused During Construction =	\$.....
SUBTOTAL	\$ 1656-	Total Balance to be Refunded	
Less Fee Paid	\$ 1656-	Authority Number:	
TOTAL	PAID	Authorised:	DATE:
GST INCLUDED	\$.....		

GST 51-860-608

Received with thanks by 46/01
KAPITI COAST DISTRICT COUNCIL

27-03-06 9:32 Receipt no.162129

COPY *COPY* *COPY*
DR BC060285
J WELCH B MCCAULLEY 1,656.00-
B McCauley & J Welch::PO Box 757:Parap
CQ B
BMC DESIGN LTD 1,656.00

NON STANDARD ADDENDA

Refer Also to BC010272

SITE CHECK SHEET

NAME: Kay Goodman
 SITE ADDRESS: 2a Otaihangā Rd LOT: 2 DP: 56172
 PROJECT: Dwelling & Garage CONSENT NO: 010272
 BUILDER: CONTACT NO:

**WORK CANNOT PROCEED PAST EACH STEP UNTIL THAT STEP HAS BEEN INSPECTED,
 APPROVED AND THIS FORM SIGNED BY THE RELEVANT INSPECTOR**

FOUNDATIONS

Date: Officer:

Approved building consent documents on site: YES / NO

SITING:

Front yard	☐	Left hand side yard	☐	Conforms with approved plan	YES / NO
Rear yard	☐	Right hand side yard	☐	If no, has new site plan been requested	YES / NO
Minimum floor level	☐	Footing size	☐	Foundation wall reinforcing	☐
Pile hole size	☐	Footing reinforcing	☐	Foundation wall size	☐
Anchor pile size	☐	Subfloor vents	☐	Specific design	YES/NO
Pile hole spacing	☐	Steps/stairs	☐	If yes, has Engineer inspected	YES/NO

Has a Site Instruction been issued? Yes/No Instruction No:
 Is a reinspection required? Yes/No Proposed date of follow up inspection
 Labels in place? Yes/No Producer Statement Yes/No/NA

COMMENTS

27.06.01 See Computer for notes

7/8/01 BML POLE HOLES FOR POSTS ON NORTHERN END OWN APPROX 1.2m DOWN INTO SOLED. OK. TO CONTINUE

PRELINE

PLUMBING AND DRAINAGE: Date: Officer:

Plumber:

Pressure test ☐
Visual leak check ☐
Pipe support/clips ☐
Pipe size ☐
Pipe material ☐

Joint strain ☐
Pipe insulation ☐
Stacks ☐
Wastes ☐
Supply tank ☐

Has a Site Instruction been issued? Yes/No Instruction No:

Is a reinspection required? Yes/No Proposed date of follow up inspection

Preline Labels in place? Yes/No Producer Statement Yes/No/NA

COMMENTS

BUILDING

Date: Officer:

Timber treatment ☐
Ceiling diaphragm ☐
Dragon ties ☐
Studs - size/spacing ☐
Wall insulation ☐
Posts - size/fixing ☐
Lintels/bms - size/fixings ☐
Ext joinery - labels ☐
Ceiling runners ☐
Wall bracing ☐
Mech ventilation ☐
Moisture Content Walls % ☐

Bracing straps ☒
Timber grade ☒
Wall dwangs ☐
Trimming studs ☐
Truss/rafter - fix/space ☒
Ceiling joists ☐
Plate fixings ☒
Ventilation ☒
Ceiling battens ☒
Check exterior claddings ☐
Ceiling % ☐

Has a Site Instruction been issued? Yes/No Instruction No:

Is a reinspection required? Yes/No Proposed date of follow up inspection

Preline Labels in place? Yes/No Producer Statement Yes/No/NA

COMMENTS

10/10/01 PART PRELINE OF MAIN DWELLING ALL FIXINGS IN PLACE AS REQUIRED. GARAGE AREA TO FOLLOW.

POSTLINE

Date: Officer:

Sheets nailed as per your schedule

☐

Insulation to walls

☐

Has a Site Instruction been issued?

Yes/No

Instruction No:

Is a reinspection required?

Yes/No

Proposed date of
follow up inspection

Postline Label in place?

Yes/No

COMMENTS

DRAINS

Drainlayer: *R Ralph* Date: *26/11/01* Officer: *[Signature]*

Drain depth

Subsoil drains

Pipe material

Disposal field

Drains under building

Connection to main

Pipe supports

Manhole - structure

Lamp holes

Drain test

Gully traps

Granular bedding

Terminal vents

Even gradient/line

Soil stack

Manhole - haunching

Inspection/bends

SW to kerb

Sumps

Has a Site Instruction been issued?

Yes/No

Instruction No:

Is a reinspection required?

Yes/No

Proposed date of
follow up inspection

Producer Statement

Yes/No/NA

COMMENTS

Drain Insp to septic tank OK

COSTING SHEET

Application No: 010272

Date: 12/3/01

Site Address: 2A Stairanga Rd

New Hse & Sep. Garage

ADMIN = \$40 per hour

PLAN VETTING = \$60 per hour

INSPECTIONS = \$50

DIGITAL SCANNING = \$22.50

TECHNICAL CONSULTANTS = Cost + 10%

CLASSIFICATION		\$	PLAN VETTING				TOT \$	CONSULTANT \$			TOT \$	INSPECTIONS					TOT	SET FEE	PIM	CC C	DIG SCAN	TOT
			PI	D	Bld	EH		DP				Site	PI	D	Bld	EH					Y/N	
1.	Fire Places, Signs, Minor Plumbing and Drainage	0 - 1,500																30	Nil	Nil		
2.	Sheds, Parapool Carports	1501 - 4,000																70	Nil	Nil		
3.	Garages, Conservatories, Swim Pool, etc	4,001 - 10,000																100	50	30		
4.	House Additions	4,001 - 10,000																120	50	30		
5.	House Additions	10,000 - 40,000																150	50	30		
6.	House Additions	40,001 - 70,000																200	100	30		
7.	Dwellings	70,001-100,000																250	100	30		
8.	Dwellings	100,001-150,000	3	3	12		\$270	2			\$30	1	2	2	5		\$500	320	100	30		\$1750
9.	Dwellings	150,001-200,000																420	100	30		
10.	Dwellings	200,001-250,000																520	100	30		
11.	Dwellings	250,001-300,000																650	100	30		
12.	Dwellings	300,000 +																700	100	30		
13.	Commercial/Industrial	0-10,000																120	50	30		
14.	Commercial/Industrial	10,001-50,000																200	50	30		
15.	Commercial/Industrial	50,001-100,000																300	150	30		
16.	Commercial/Industrial	100,001-150,000																400	150	30		
17.	Commercial/Industrial	150,001-200,000																550	150	30		
18.	Commercial/Industrial	200,001-250,000 +																750	150	30		

CONSENT DATA INPUT REQUIREMENTS

REQUIRED INSPECTIONS		STANDARD ADDENDA			
14	✓	32		21	
1	✓ (2)	2	✓	22	
17		3		23	✓
7		4	✓	23A	
16		5		24	
2		6		25	
3	✓	7	✓	26	
18		8		27	✓
4	✓	8A		28	
8	✓	8B		29	
5		9	✓	30	
10	✓	10	✓	31	
12		11		32	
6	✓	12	✓	33	
9	✓	13		34	
11	✓	14		35	
13		15		36	
15		16		37	
		17		38	
		18		39	
		19		40	
		20	✓	41	

STANDARD CONDITIONS	
1	
2	
3	

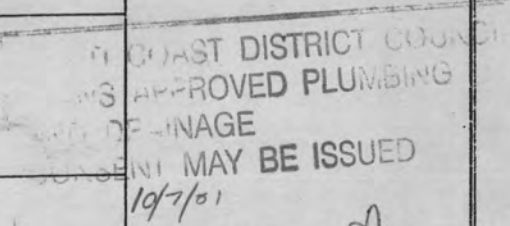
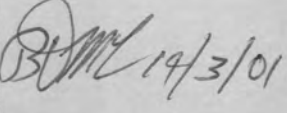
NON STANDARD ADDENDA

Garage not approved for Human Habitation

Ground bearing at site for garage to be checked before placing steel to confirm suitability. Engineer design or raft foundation to inspector's direction may be required.

Verify and fit bracing and roof connectors for Very High Wind Zone.

FOR COUNCIL USE:

DEPARTMENT	REQUIREMENTS	COMMENTS	CHECKED/DATE STAMP
Town Planning	Yes	No	
	Zoning Confirms		
	Dispensation		
	Planning Consent		
	Special Floor Level		
Plumbing			
Drainage	Eff. design incl.		
Stormwater	To Channel		
	To Drain		
	Confined to Lot		
Building			
Structural	Specific Design	ground to be re-compacted and built up to original for flood plan - ref. Eng. report	
	Foundation		
	Structure		
	Roof		
Subdivisional Engineer	Earthworks Bylaw		
	Conditions		
Environmental Health			
Site- Footpath & Entrance Conditions	Ground		
UNOULATING SITE IN FRONT OF SAND HILL VEHICLE ENTRANCE EXISTING SOME RURAL		SOFT SAND ENGINEER TO SUPERVISE	
NOTES:			



175 Rimu Road
Private Bag 601
Paraparaumu
Phone: [04] 9045700
Fax: [04] 9045830



5 Hagley Street
P O Box 50218
Porirua City
Phone: [04] 237 5089
Fax: [04] 237 1439

APPLICATION FOR BUILDING CONSENT

Section 33, Building Act 1991

To: Kapiti Coast District Council/Porirua City Council (delete one)
[Tick each applicable box and attach relevant documents in duplicate]

App. No. 010272

ANTICIPATED COMMENCEMENT DATE: 20-3-01 FINISH DATE: 30-6-01

Prop ID _____ Owner ID _____ Applicant ID _____

PART A : GENERAL

[Complete Part A in all Cases - Refer over for Part B, C and D, sign and date]

APPLICANT	PROJECT
Owner Name: <u>Kay Goodman</u>	New or Relocated Building ☒
Mailing Address: <u>2A Otaihanga Rd</u>	Alterations or Additions ☐
<u>Paraparaumu</u>	Accessory Building or Fire ☐
Contact Name: <u>Leo or Kay Goodman</u>	Building demolition or Removal ☐
Phone: <u>06-3640003</u> wk <u>04-2970041</u> hm	Intended use, e.g Dwelling, Carport, Garage etc <u>New Use</u>
Cellphone No: _____	Being stage _____ of an intended _____ stages.
Fax: _____	Estimated value (inclusive of GST) <u>\$120,000</u> <u>(190,000)</u>
*Under section 33 of the Building Act 1991, the applicant must be the owner of the land on which building work is contemplated or a person who or which has agreed in writing, whether conditionally or unconditionally, to purchase the land or any leasehold estate or interest in the land, or to take a lease of the land, while the agreement remains in force.	Intended life: (of building) Indefinite but not less than 50 years ☒ Specified as _____ years
FOR COUNCIL USE	PROJECT LOCATION
Received: <u>09/03/01</u>	Street Address (if any) <u>2A Otaihanga Rd</u>
Application Fee: \$ <u>560.00</u>	<u>Paraparaumu</u>
Receipt No: <u>883064</u>	Legal description (as shown on certificate of title rates notice, if any)
Balance of Fees: \$ _____	Lot <u>2</u> DP <u>56172</u>
Receipt No: _____	<u>1/2</u> Lot <u>3</u> DP <u>56172</u>
Date: <u>1/1/</u>	Valuation No. <u>15270 98800</u>
NOTE: Balance of fees are payable on consent approval	
This application is for:	
☒ Building Consent only, in accordance with Project Information Memorandum ☐ Both Building Consent and a project Information Memorandum	

SCANNED

PART B : BUILDING DETAILS

(Complete Part B in all cases)

This application is accompanied by (tick each applicable box, attach relevant documents in duplicate):

- ☒ The drawings, specifications and other documents according to which the building is proposed to be constructed to comply with the provisions of the building code, with supporting documents, if any, including:
- ☒ Building certificates
 - ☒ Producer statements
 - ☐ References to accreditation certificates issued by the Building Industry Authority
 - ☐ References to determinations issued by the Building Industry Authority
- ☐ Proposed procedures, if any, for inspection during construction

PART C : PROJECT DETAILS

(Complete Part C only if you have not applied separately for a project information memorandum)

- ☒ Location, in relation to legal boundaries, and external dimensions of new, relocated, or altered buildings
- ☐ New provisions to be made for vehicular access, including parking
- ☐ Provisions to be made in building over or adjacent to any road or public place
- ☒ New provisions to be made for disposing of stormwater and wastewater
- ☐ Precautions to be taken where building work is to take place over existing drains or sewers or in close proximity to wells or watermain
- ☐ New connections to public utilities
- ☐ Provisions to be made in any demolition work for the protection of the public, suppression of dust, disposal of debris, disconnection from public utilities and suppression of noise
- ☐ Any cultural heritage significance of the building or building site, including whether it is on a marae

PART D : KEY PERSONNEL

Designer(s): INITIAL HOMES - c/o Tuskmauta Builders
Ph 04 2932406 - Dwelling only

Building Certifier(s): _____

Builder/s Owner

Registered Drainlayer: _____ REG NO: _____

Craftsman Plumber: _____ REG NO: _____

Other: Engineer - Hamish Wells 06 364 6728
025 459 757

PLEASE NOTE

The information provided in support of this application is public and as such is freely available on request. However under Section 27(3) of the Building Act 1991 you may for security and/or copyright reasons request the plans and specifications pertaining to this application be marked as confidential by completing the following section

CONFIDENTIALITY

Plans and Specifications

I/We require that my/our:

1. ☒ plans
 2. ☒ specifications
- be treated as confidential in order to protect either:
3. ☐ the security of the building; and/or
 4. ☒ copyright

Signed: [Signature]

SIZE OF BUILDING

Floor area m² 112 + 103 215
 No of Stories ONE 2
 No of Units ONE

Signed for and on behalf of the Applicant:

Name: X Goodman

Position: Landowner

Date: 9.3.01

FOR OFFICE USE ONLY

FEES		APPLICATION DEPOSIT	
Building	\$1,250	RECEIPT NO	DATE 09.02.01
Sewer Connection	\$	883064	
Water Connection	\$	INVOICE NO	DATE
Vehicle Crossing	\$	55666	11.4.01
Damage Deposit	\$400	RECEIPT NO	DATE 02.08.01
Structural Checking	\$	903022	
Building Research Levy	\$120	FEES PAID BY:	
Development Levy	\$	LP + F Goodman	
BIA Levy	\$78	Nat	
Compliance Schedule	\$	BUILDING CONSENT	DATE ISSUED
Digital Storage Fee	\$22.50	NUMBER	
Certificate of Title Charge	\$25.00	010272	020801
Photocopying	\$	AUTHORISATION FOR REFUND OF DEPOSITS	
SUBTOTAL	\$1,495.50	Deposit held =	\$
Less Deposit Paid	\$500.00	Cost to Repair Damage Caused During	
TOTAL	\$935.50	Construction =	\$
GST INCLUDED	\$	Total Balance to be Refunded	
DIF	\$388.50	Authority Number:	
	\$1,324.00	Authorised:	DATE:

PLUS Amended \$370.00 → Inv: 58068 13.7.01
 \$1,694.00 Plans \$2,164.00

Received with thanks by 48/01
 KAPITI COAST DISTRICT COUNCIL
 Receipt no. 903022
 2-08-01 8:56
 COPY *COPY* *COPY*
 DR BC010272 GOODMAN K 1,694.00-
 K GOODMAN: 2A OTAIHANGA ROAD: OTAIHANGA:
 CO N LP & F GOODMAN 1,694.00
 VBA

Received with thanks by 50/01
 KAPITI COAST DISTRICT COUNCIL
 Receipt no. 883064

9-03-01 13:29
 COPY *COPY* *COPY*
 DR BC010272 GOODMAN K 560.00-
 K GOODMAN: 2A OTAIHANGA ROAD: OTAIHANGA:
 CO N LP & F GOODMAN 560.00
 VBA



Building Consent

Section 35, Building Act 1991

Application

K GOODMAN	No.	010272
2A OTAIHANGA ROAD	Issue date	2/08/01
OTAIHANGA	Application date	12/03/01
PARAPARAUMU	Overseer	Barrie McLennan

Project

Description	New Construction
	Being Stage 1 of an intended 1 Stages
	NEW DWELLING & GARAGE
Intended Life	Indefinite, but not less than 50 years
Intended Use	RESIDENTIAL
Estimated Value	\$190,000
Location	2A OTAIHANGA ROAD, OTAIHANGA, PARAPARAUMU
Legal Description	LOT 2 DP 56172
Valuation No.	1527098800

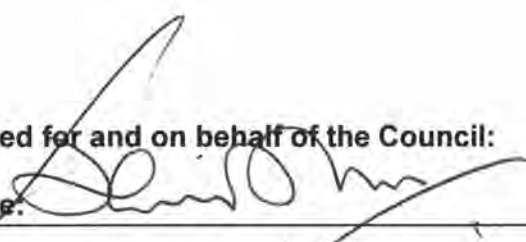
Charges

The Council's charges paid on uplifting this Building Consent, in accordance with the attached details are:

	\$	1,297.50
Building Research Levy	\$	120.00
Building Industry Authority Levy	\$	78.00
Total	\$	1,495.50

This building consent is a consent under the Building Act 1991 to undertake building work in accordance with the attached plans and specifications so as to comply with the provisions of the building code. It is not a consent under the Resource Management Act and does not affect any duty or responsibility under any other Act nor permit any breach of any other Act.

Signed for and on behalf of the Council:

Name: 

Date: 020801

Addenda to Application

Application

K GOODMAN	No.	010272
2A OTAIHANGA ROAD		13/07/01
OTAIHANGA		
PARAPARAUMU	Overseer	Barrie McLennan

Project

Description	New Construction Being Stage 1 of an intended 1 Stages NEW DWELLING & GARAGE
Intended Life	Indefinite, but not less than 50 years
Intended Use	RESIDENTIAL
Estimated Value	\$190,000
Location	2A OTAIHANGA ROAD, OTAIHANGA, PARAPARAUMU
Legal Description	LOT 2 DP 56172
Valuation No.	1527098800

Builder: OWNER

General Requirements

- a) The District Inspector is to be given 24 hours' notice before carrying out the following inspections:
1. INITIAL INSPECTION - PREVIOUSLY COMPLETED
 2. FOUNDATION INSPECTION
 3. SUBFLOOR INSPECTION, SUSPENDED FLOOR
 4. PRELINING INSPECTION, MOISTURE TEST, CHECK BRACING
 5. PRELINING INSPECTION OF PLUMBING
 6. WATER TEST ON SEWER DRAINS
 7. FINAL INSPECTION BUILDING
 8. FINAL INSPECTION OF PLUMBING
 9. FINAL INSPECTION GULLIES, ETC
 10. PRE-CONCRETE SLAB INSPECTION OF PLUMBING
 11. PRE-BLOCK-FILL INSPECTION
 12. PRE-SLAB INSPECTION, CONCRETE FLOOR
- b) To arrange for any of the above required inspections by the District Inspector, please contact the building inspectorate on (04) 902 2845 between the hours of 8.00am and 4.30pm.

} 3 x Additional
Inspections

1. LAPSE AND CANCELLATION OF BUILDING CONSENT. A building consent shall lapse and be of no effect if the building work concerned has not been commenced within 6 calendar months after the date of issue. Or within such further period as the territorial authority allows.
2. The inspection of all specific design components of the building is the responsibility of the Design Engineer who is also required to supply a written report to Council.
3. All foundations are to be to solid bearing minimum of 300mm
4. Work to comply with the current NZS3604.
5. Metal head flashings required over all exterior joinery.
6. Note and comply with endorsements on approved plans.
7. Names and registration numbers of plumber and drainlayer are required before work commences.
8. Both hot and cold water pipes are to be tested to 1500 KPA pressure.
9. A tempering valve is to be installed on the hot water cylinder.
10. Installation of solid fuel appliances must comply with manufactures specifications and be secured against seismic movement ie EARTHQUAKES.
11. Provide from your Contractor a roof warranty covering the product and its installation.
12. Garage not approved for human habitation.
13. Ground bearing at site for garage to be checked before placing steel to confirm suitability. Engineer design or raft foundation to Inspector's direction may be required.
14. Verify and fit bracing and roof connections for Very High Wind Zone.
15. Decks required to meet min. 2 kpa liveload design.
16. The 50 x 50 trellis fixed to prevent footholds to horizontal rails must be diagonally fixed.
17. Maximum spacings between balustrade uprights is 2.2 metres interpolating for 175 x 50 top rail detailed taken from Table.1 B1/AS2 of NZBC.

I have read the foregoing requirements, and the Owner/Builder/Authorised Person hereby agrees to comply with them.

**OWNER/BUILDER/
AUTHORISED PERSON**

Date: _____

COSTING SHEET

Application No: 10272

Date: 11/5/07

Site Address: 2a Olatunga Rd

ADMIN = \$40 per hour

PLAN VETTING = \$60 per hour

INSPECTIONS = \$50

DIGITAL SCANNING = \$22.50

TECHNICAL CONSULTANTS = Cost + 10%

Amended Plans

CLASSIFICATION		\$	PLAN VETTING				TOT \$	CONSULTANT \$			TOT \$	INSPECTIONS					TOT	SET FEE	PIM	CC C	DIG SCAN Y/N	TOT
			PI	D	Bld	EH		DP				Site	PI	D	Bld	EH						
1.	Fire Places, Signs, Minor Plumbing and Drainage	0 - 1,500																30	Nil	Nil		
2.	Sheds, Parapool Carports	1501 - 4,000																70	Nil	Nil		
3.	Garages, Conservatories, Swim Pool, etc	4,001 - 10,000																100	50	30		
4.	House Additions	4,001 - 10,000																120	50	30		
5.	House Additions	10,000 - 40,000																150	50	30		
6.	House Additions	40,001 - 70,000																200	100	30		
7.	Dwellings	70,001-100,000																250	100	30		
8.	Dwellings	100,001-150,000																320	100	30		
9.	Dwellings	150,001-200,000	2	4			\$90	2			\$20	X	1		2		\$150	120	100	30	X	\$370
10.	Dwellings	200,001-250,000																520	100	30		
11.	Dwellings	250,001-300,000																650	100	30		
12.	Dwellings	300,000 +															100.	700	100	30		
13.	Commercial/ Industrial	0-10,000																120	50	30		
14.	Commercial/ Industrial	10,001-50,000																200	50	30		
15.	Commercial/ Industrial	50,001-100,000																300	150	30		
16.	Commercial/ Industrial	100,001-150,000																400	150	30		
17.	Commercial/ Industrial	150,001-200,000																550	150	30		
18.	Commercial/ Industrial	200,001-250,000 +																750	150	30		

CONSENT DATA INPUT REQUIREMENTS

REQUIRED INSPECTIONS	STANDARD ADDENDA			
14	32	✓	21	
1	2	✓	22	
17	3		23	
7	4		23A	
16	5		24	
2	6		25	
3	7		26	
18	8		27	
4	8A		28	
8	8B		29	
5	9		30	
10	10		31	
12	11		32	
6	12		33	
9	13		34	
11	14		35	
13	15		36	
15	16		37	
	17		38	
	18		39	
	19		40	
	20		41	

STANDARD CONDITIONS
1
2
3

NON STANDARD ADDENDA

Decks required to meet min 2kpa live load design.

The 50x50 trellis fixed to prevent footholds to horizontal rails must be diagonally fixed.

Maximum spacing between balustrade uprights is 2.2 metres interpolating for 175x50 top rail detailed taken from Table 1 B1/A52 of NZBC.

Addenda to Application

Application

K GOODMAN	No.	010272
2A OTAIHANGA ROAD		11/04/01
OTAIHANGA		
PARAPARAUMU	Overseer	Barrie McLennan

Project

Description	New Construction Being Stage 1 of an intended 1 Stages NEW DWELLING & SEP. GARAGE
Intended Life	Indefinite, but not less than 50 years
Intended Use	RESIDENTIAL
Estimated Value	\$120,000
Location	2A OTAIHANGA ROAD, OTAIHANGA, PARAPARAUMU
Legal Description	LOT 2 DP 56172
Valuation No.	1527098800

Builder: OWNER

General Requirements

- a) The District Inspector is to be given 24 hours' notice before carrying out the following inspections:
1. INITIAL INSPECTION - PREVIOUSLY COMPLETED
 2. FOUNDATION INSPECTION
 3. SUBFLOOR INSPECTION, SUSPENDED FLOOR
 4. PRELINING INSPECTION, MOISTURE TEST, CHECK BRACING
 5. PRELINING INSPECTION OF PLUMBING
 6. WATER TEST ON SEWER DRAINS
 7. FINAL INSPECTION BUILDING
 8. FINAL INSPECTION OF PLUMBING
 9. FINAL INSPECTION GULLIES, ETC
- b) To arrange for any of the above required inspections by the District Inspector, please contact the building inspectorate on (04) 298 5139 between the hours of 8.00am and 4.30pm.

1. LAPSE AND CANCELLATION OF BUILDING CONSENT. A building consent shall lapse and be of no effect if the building work concerned has not been commenced within 6 calendar months after the date of issue. Or within such further period as the territorial authority allows.
2. The inspection of all specific design components of the building is the responsibility of the Design Engineer who is also required to supply a written report to Council.
3. All foundations are to be to solid bearing minimum of 300mm
4. Work to comply with the current NZS3604.
5. Metal head flashings required over all exterior joinery.
6. Note and comply with endorsements on approved plans.
7. Names and registration numbers of plumber and drainlayer are required before work commences.
8. Both hot and cold water pipes are to be tested to 1500 KPA pressure.
9. A tempering valve is to be installed on the hot water cylinder.
10. Installation of solid fuel appliances must comply with manufactures specifications and be secured against seismic movement ie EARTHQUAKES.
11. Provide from your Contractor a roof warranty covering the product and its installation.
12. Garage not approved for human habitation.
13. Ground bearing at site for garage to be checked before placing steel to confirm suitability. Engineer design or raft foundation to Inspector's direction may be required.
14. Verify and fit bracing and roof connections for Very High Wind Zone.

I have read the foregoing requirements, and the Owner/Builder/Authorised Person hereby agrees to comply with them.

OWNER/BUILDER/
AUTHORISED PERSON



Date: 2/8/01



Project Information Memorandum

Section 31, Building Act 1991

Application

K GOODMAN
2A OTAIHANGA ROAD
OTAIHANGA
PARAPARAUMU

No.	010272
Issue date	11/04/01
Application date	12/03/01
Overseer	Barrie McLennan

Project

Description	New Construction Being Stage 1 of an intended 1 Stages NEW DWELLING & SEP. GARAGE
Intended Life	Indefinite, but not less than 50 years
Intended Use	RESIDENTIAL
Estimated Value	\$120,000
Location	2A OTAIHANGA ROAD, OTAIHANGA, PARAPARAUMU
Legal Description	LOT 2 DP 56172
Valuation No.	1527098800

This project information memorandum is confirmation that the proposed building work may be undertaken, subject to the provisions of the Building Act 1991, and any requirements of the building consent.

This project information memorandum includes:

- ☐ Information identifying relevant special features of the land concerned
- ☐ Details of relevant utility systems
- ☐ Details of authorisations which have been granted

Signed for and on behalf of the Council:

Name: 

Date: 11 APR 2001

PROJECT INFORMATION MEMORANDUM

Application Details

<u>Applicant Name</u>	K GOODMAN
<u>Applicant Address</u>	2A OTAIHANGA ROAD OTAIHANGA PARAPARAUMU
<u>Applicant Phone</u>	
<u>Location</u>	2A OTAIHANGA ROAD OTAIHANGA PARAPARAUMU
<u>Legal Description</u>	LOT 2 DP 56172
<u>Proposal</u>	NEW DWELLING & SEP. GARAGE

Planning Requirements

<u>Use permitted</u>	Permitted activity
<u>Resource Consent granted</u>	None listed
<u>Designations on property</u>	None listed
<u>Easements</u>	Right of way
<u>Site subject to inundation</u>	Overflow fringe
<u>Coastal building line restriction</u>	N/A
<u>relocatable zone</u>	N/A
<u>Min floor level (50 year event)</u>	2.8 m above mean sea level
<u>Recommended minimum</u>	
<u>Floor level (100 year event)</u>	3.25 m above mean sea level
<u>Yard and height requirements</u>	Comply
<u>Tree/building preservation</u>	None listed
<u>Other comments</u>	Development impact fees of \$388.50 to be paid before issue of the building consent. Approved subject to an endorsement being registered on the certificate of title in terms of section 36(2) Building Act 1991.

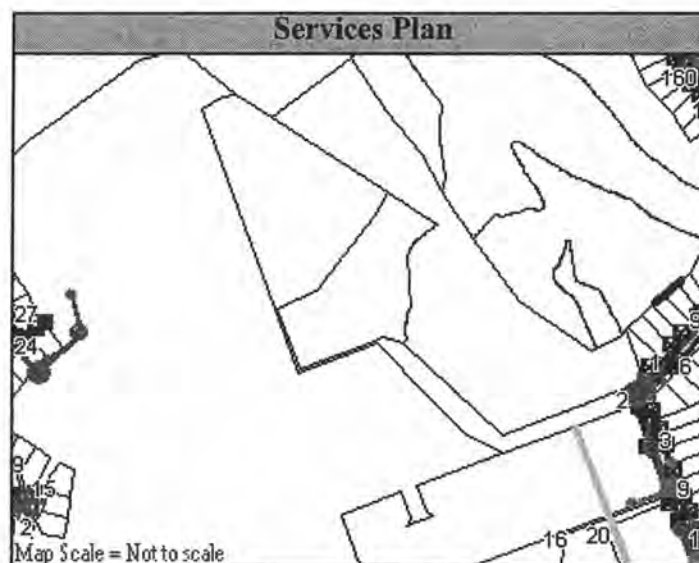
Note: Minimum floor levels must use Mean Sea Level Wellington Datum 1953. Certification that the floor level complies with the minimum floor level will be required from a registered surveyor prior to foundation inspection.

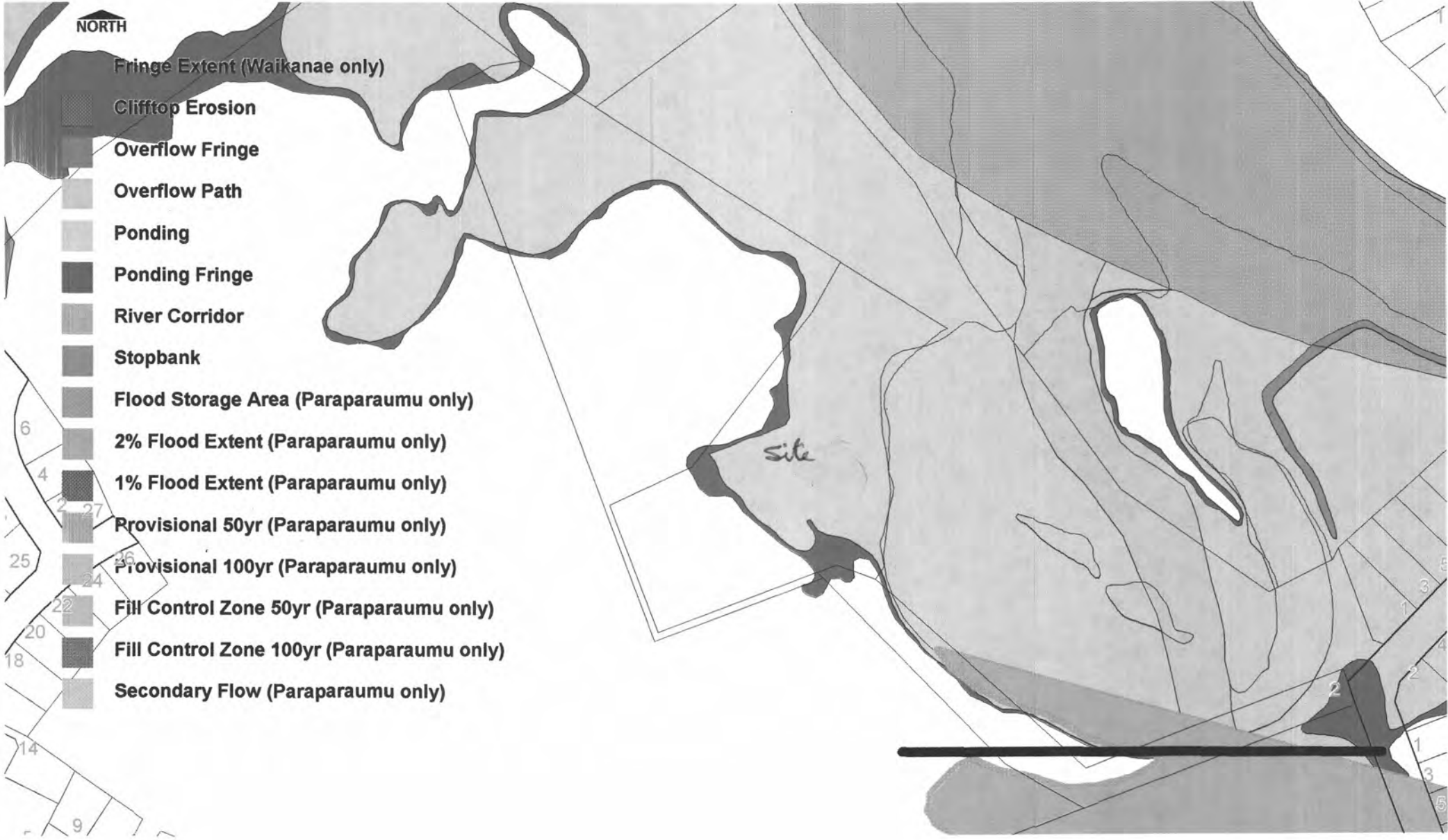
Special Features of the Land

<u>Potential erosion</u>	/
<u>Potential avulsion</u>	/
<u>Potential subsidence</u>	/
<u>Potential slippage</u>	/
<u>Potential alluvion</u>	/
<u>Potential inundation</u>	Map attached
<u>Hazardous contaminants</u>	/
<u>Other features</u>	

Plumbing and Drainage Details

<u>Sewer available / connected</u>	Not available
<u>Water available / connected</u>	Connected
<u>Plan of existing services (if any)</u>	Not supplied
<u>Location of sewer lateral</u>	none
<u>Location and size of water toby</u>	shown on site plan provided
<u>Location of easments (if any)</u>	see planners comments
<u>Location of public drains (if any)</u>	N/A
<u>Stormwater disposal to</u>	swamp
<u>P and D Notes</u>	







3 April 2001

Kay Goodman
2A Otaihanga Road
OTAIHANGA

Dear Miss Goodman

PROPOSED NEW HOUSE 2A OTAIHANGA ROAD

I refer to your building consent application that is currently being processed. You need to be aware of the following.

1. The building work you want to carry out on the property requires Council to enter an endorsement on the certificate of title to the effect that the building consent has been approved subject to section 36(2) of the Building Act 1991.

The purpose of this endorsement is to protect Council from any civil liability claims relating to damage to the building from certain hazards resulting from extreme conditions that Council thinks could possibly have an affect on your property.

In this case, Council has reason to believe that the garage you are about to construct could be affected by flooding.

Council will incur a cost in registering this endorsement that we intend to recover from you. The fee will be \$70.00 and will be separately itemised on your invoice at the end of the processing of the building consent

I have enclosed an information paper for you to familiarise yourself with the reason for the endorsement.

2. The work you are intending to carry out is subject to the payment of Development Impact Fees amounting to \$388.50.

This is a new fee required under the District Plan and is a contribution towards the upgrading or building of Council services. These include community facilities (eg libraries, halls), bulk water supply and sewage treatment plants and reticulation. These service upgrades are required to serve the population growth which is showing no signs of slowing down.

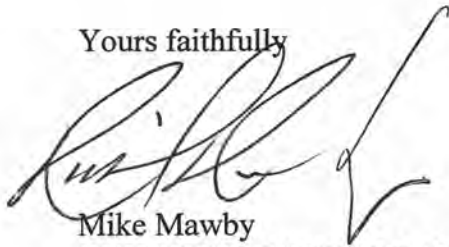
A detailed breakdown of the fees and explanation is outlined in the attached brochure.

These fees will be separately itemized in the invoice issued at the end of the building consent process. You may if you prefer, pay in advance of the building consent by simply asking us for a separate invoice.

Please note you will not be able to begin any building until the fees have been paid.

If you have any queries regarding any aspect of the fees please contact Andrew Guerin (District Planner) or in his absence Warwick Read (Manager, Finance and Administration).

Yours faithfully

A handwritten signature in black ink, appearing to read 'Mike Mawby', written over the typed name.

Mike Mawby

BUILDING CONTROL OFFICER

**The Consents Manager
Kapiti Coast District Council
Private Bag
Paraparaumu**

Attention – Dan Rodie

**Ammendment to application RM 010061 for land use and building consent for
Leo & Kay Goodman at Otaihanga.**

1.0 The Application:	
Type of consents sought	Land use to: a) minor earthworks to construct a driveway and building platform b) Building Consent to construct the dwelling as detailed on the appended plans and the Initial homes plans previously submitted
Previous applications	RM 010061
Neighbours consents	Not required

2.0 Site Description:	
Site address	No.2a Otaihanga Road. VN 1527098800
Legal description	Lot 2 DP 56172, ½ interest in lot 3 DP 56172
The applicant	Leo & Kay Goodman
The Owner	Kay Goodman
Total area of the site	1.720 ha
Zoning	residential
Existing land use	Hobby farm
Existing ground cover	Pasture
Existing services	All except sewer
Access	Via existing road access and ROW
Soil type	sand
Topography	Easy to steep
Drainage	To ground
Geology	Coastal dune complex
Ground water level	Subject to seasonal and tidal variation.
Rainfall	2000mm with a potential for up to 2500mm
Type of water supply	Town supply
General comment:	Exposed to the north and west

3.0 Assessment of environmental effects of the proposal

This AEE is required as the site works to provide access and construct the building platform require earthworks of 1500m³. (ie landuse and earthworks consents required). The new building location is required due to problems of potential inundation on the originally chosen site (as covered in the original application)

3.1 Why the owners have to move the house site

Problems with insurance on the original when the potential for inundation is registered on the title, even though the building is not at risk only the surrounding land.

3.2 Adverse effects of moving the nominated house site

Temporary disturbance of landform to construct access and building platform

3.3 Mitigation measures required

- a) Most of the work is confined within an interdunal hollow and will not be visible.*
- b) Occupation of the land will entail extensive planting to tidy up a fairly rough bit of ground infested with blackberry*
- c) Establishment of high quality pasture over disturbed areas of land*

3.4 Monitoring and control of the work

- a) earthworks: the work is to be carried out in accordance with the Code of practice for Development and under the supervision of Hamish Wells Ltd. Consulting Civil Engineer*
- b) the new building: foundations, basement, deck and on site effluent disposal, Hamish Wells Ltd, general construction, Kapiti Coast District Council Building Control and the Subdivisional Engineer*

3.5 Summery and conclusion with regard to the land use proposals

As this is hobby/lifestyle block, these proposed works are part and parcel of the owners carrying out a permitted activity (ie living on and enjoying their land) and is not in any way contrary to the intent and purpose of the operative district scheme. I do not believe there is any VALID reason why they should not be permitted to proceed.

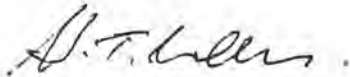
4.0 The Building Consent Application

The building consent sought is for the home as per the Initial Homes plans provided with the original application. The proposal has altered by the incorporation of a masonry blockwork basement which removes the need for a separate garage. Additional information necessary for council to process the application is as appended:

4.1 Building Consent checklist items	
Certificate of title	<i>Appended or supplied with the original consent</i>
Site plan	
Foundation plan	
Drainage plan	
Floor plans	
Bracing plan	
Elevations	
Specification	
Sections and details	
Bracing calculations	<i>Appended</i>
Structural calculations	
Producer statements	

It would be appreciated if you could process this application at your earliest possible convenience, if you require any further information, please contact me directly on 025 – 459 757.

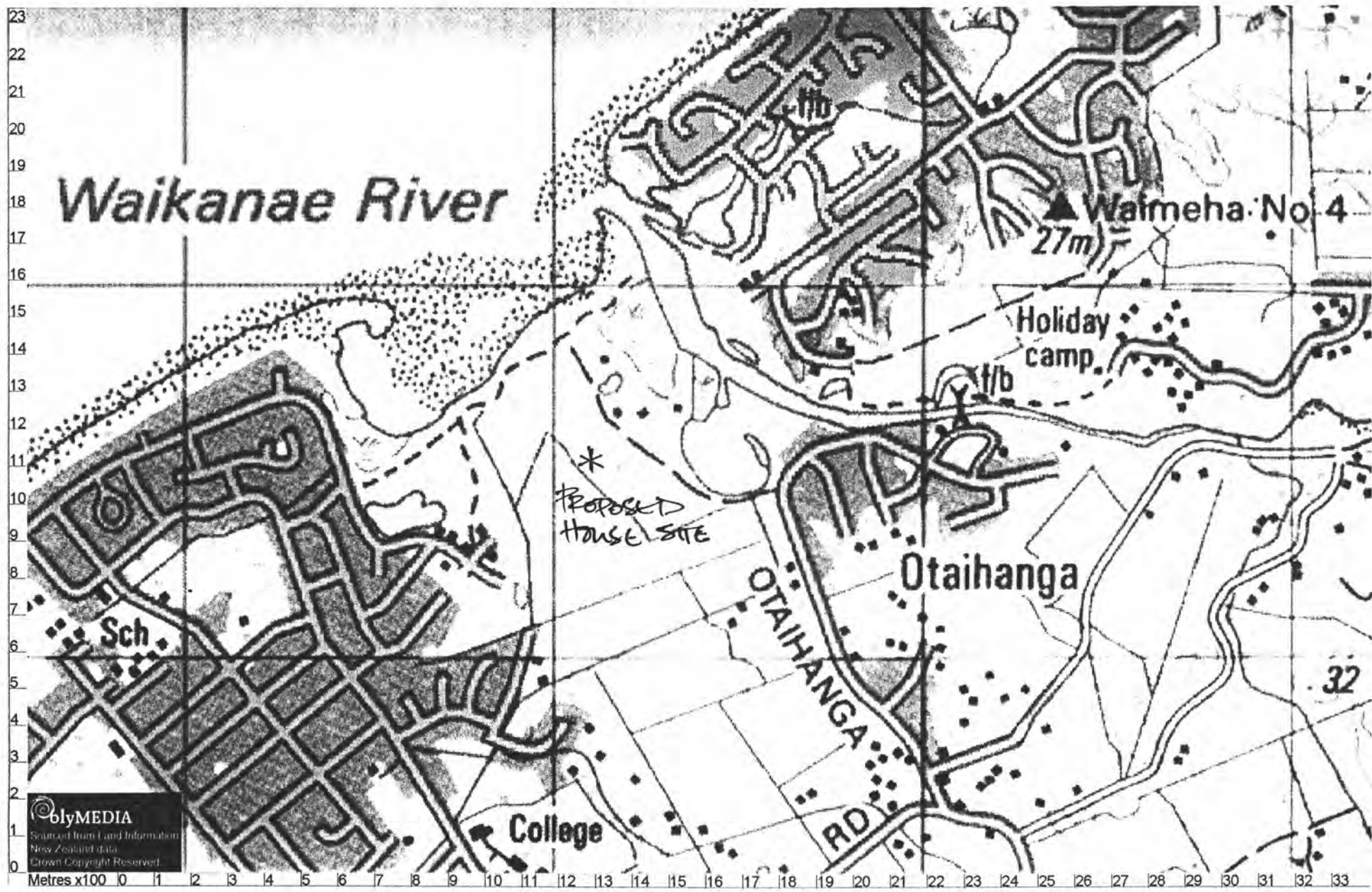
Yours faithfully



Hamish Wells
TMIPENZ
09/05/2001

CC

Leo & Kay Goodman
The Chief Building Inspector Kapiti Coast District Council
The Subdivisional Engineer Kapiti Coast District Council
Kapakapanui



LOCALITY PLAN N.T.S

SEWED CT 45 FP



12.5

NEW HOME
BASEMENT FL
8.10

3x25 Ø MDPE WITH 3M
BLEED HOLLS LAID 2-3M
APART IN 65 Ø NOVAFLO
150MM UNDERGROUND.

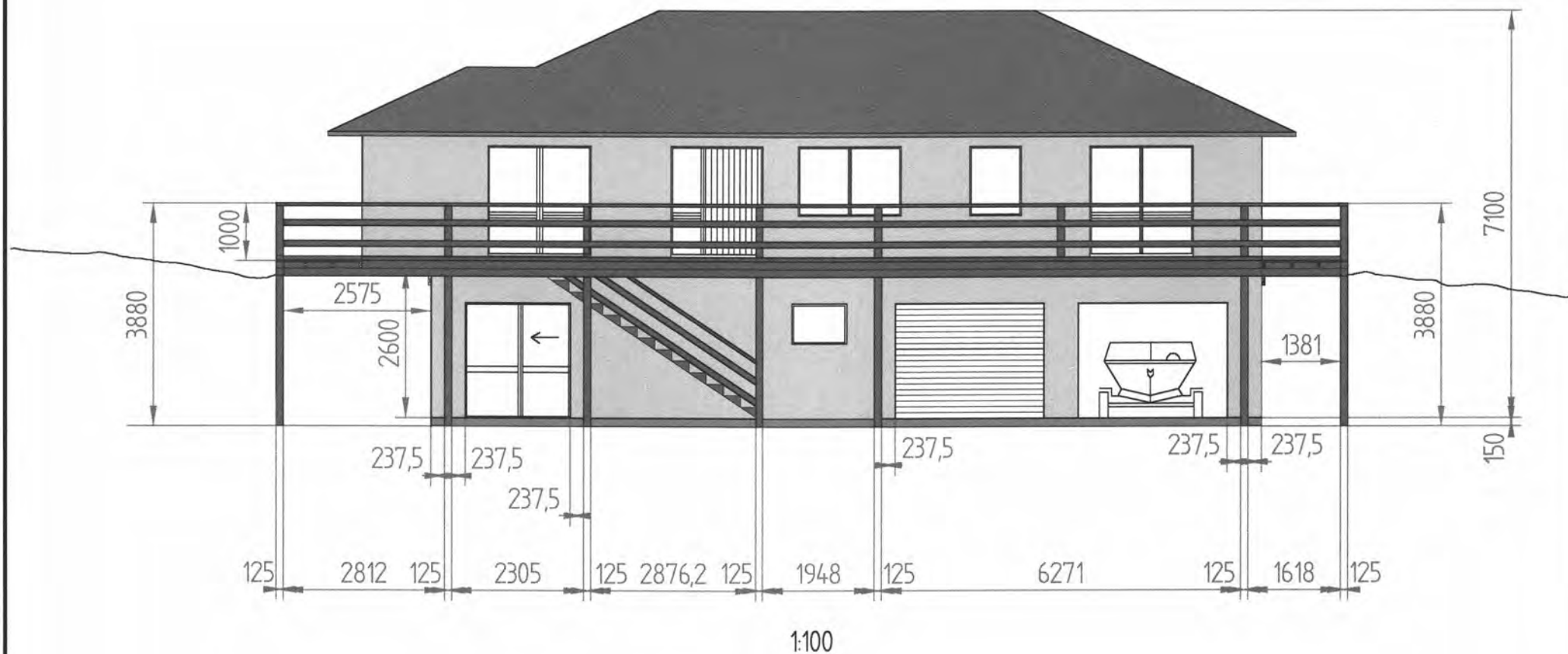
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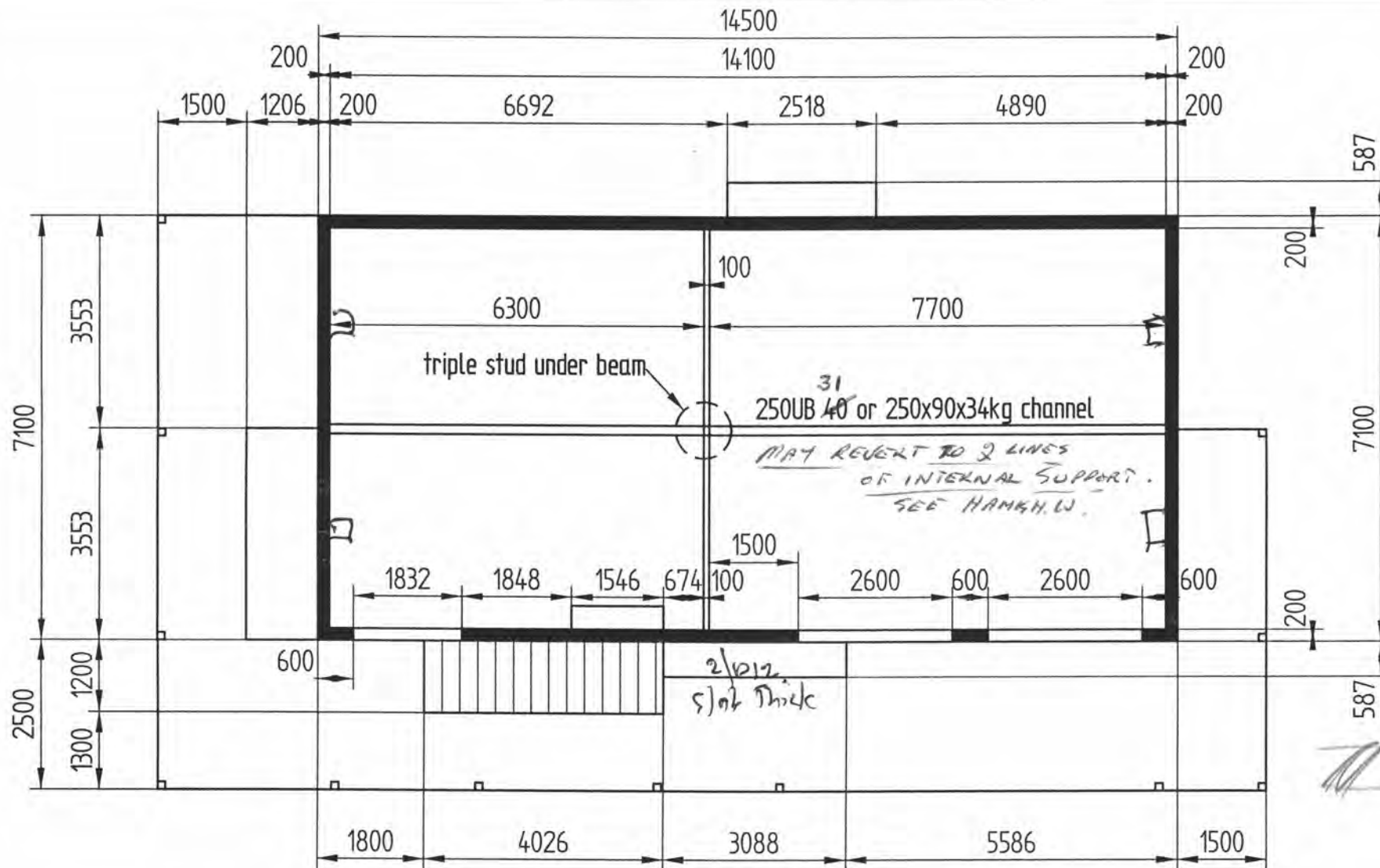
NEW DRIVE

EXISTING FORMED ROW

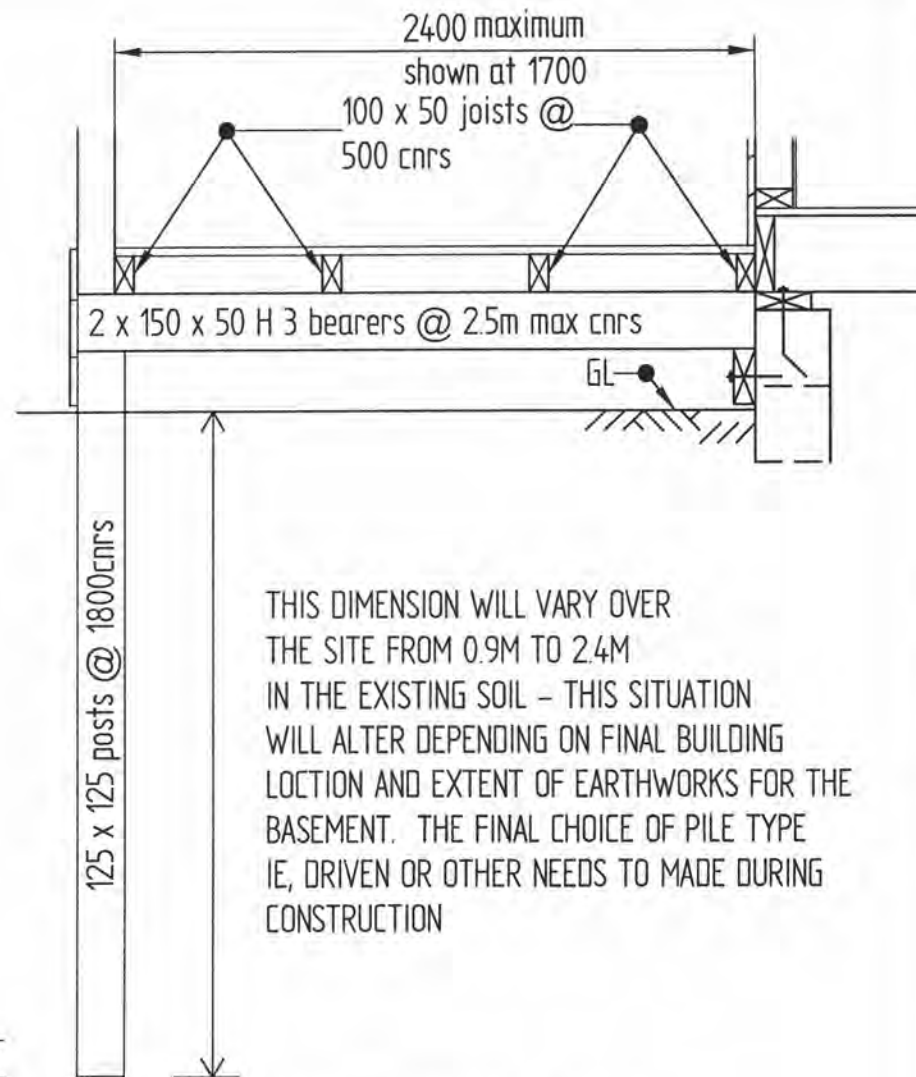
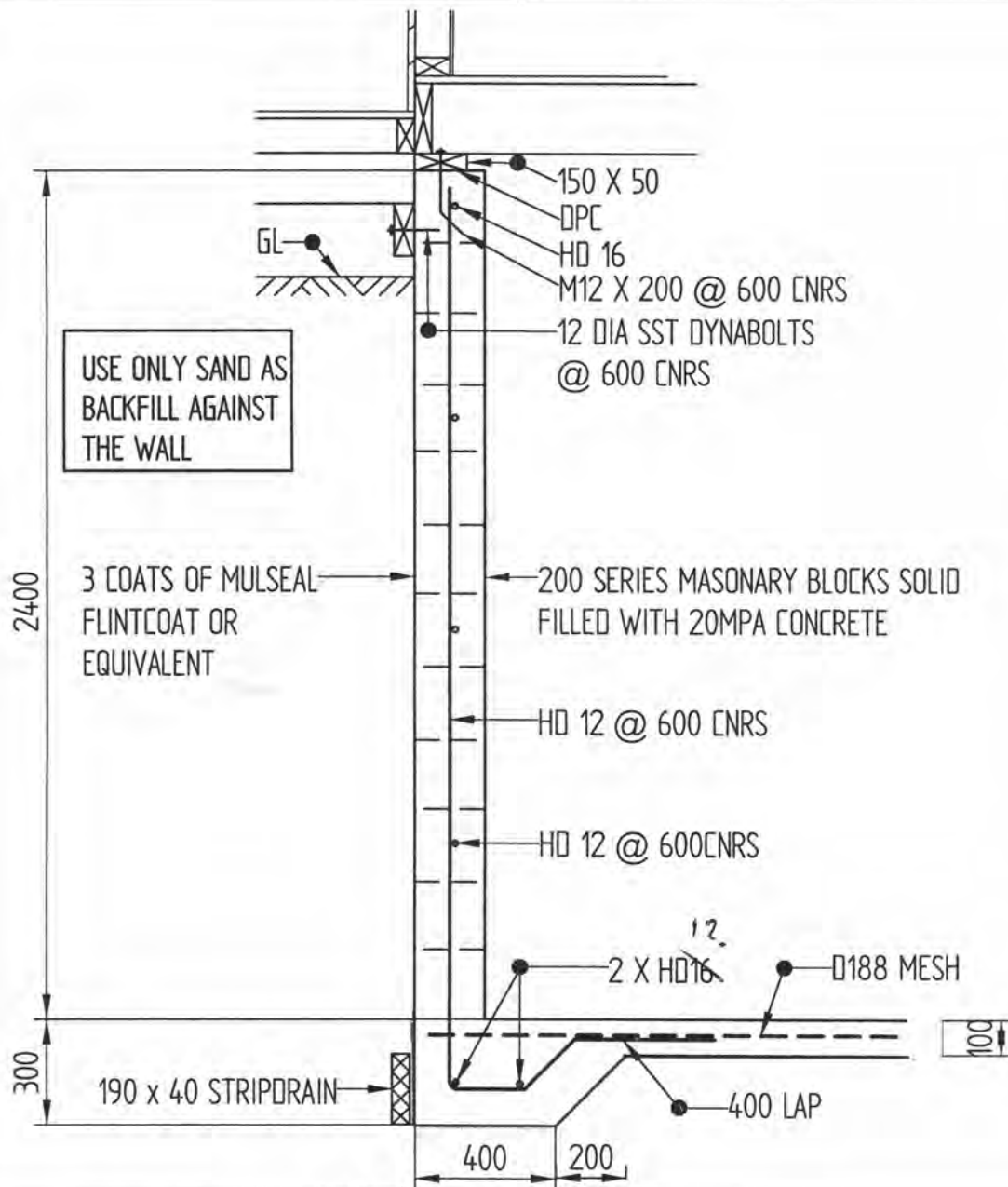
- NEW CONTOUR
- EXISTING CONTOUR
- EDGE OF DRIVE
- FENCE
- CUT AREA
- FILL AREA

SITWORKS PLAN 1:500 - LEO & KAY GOODMAN
NEW HOME OTTAWA

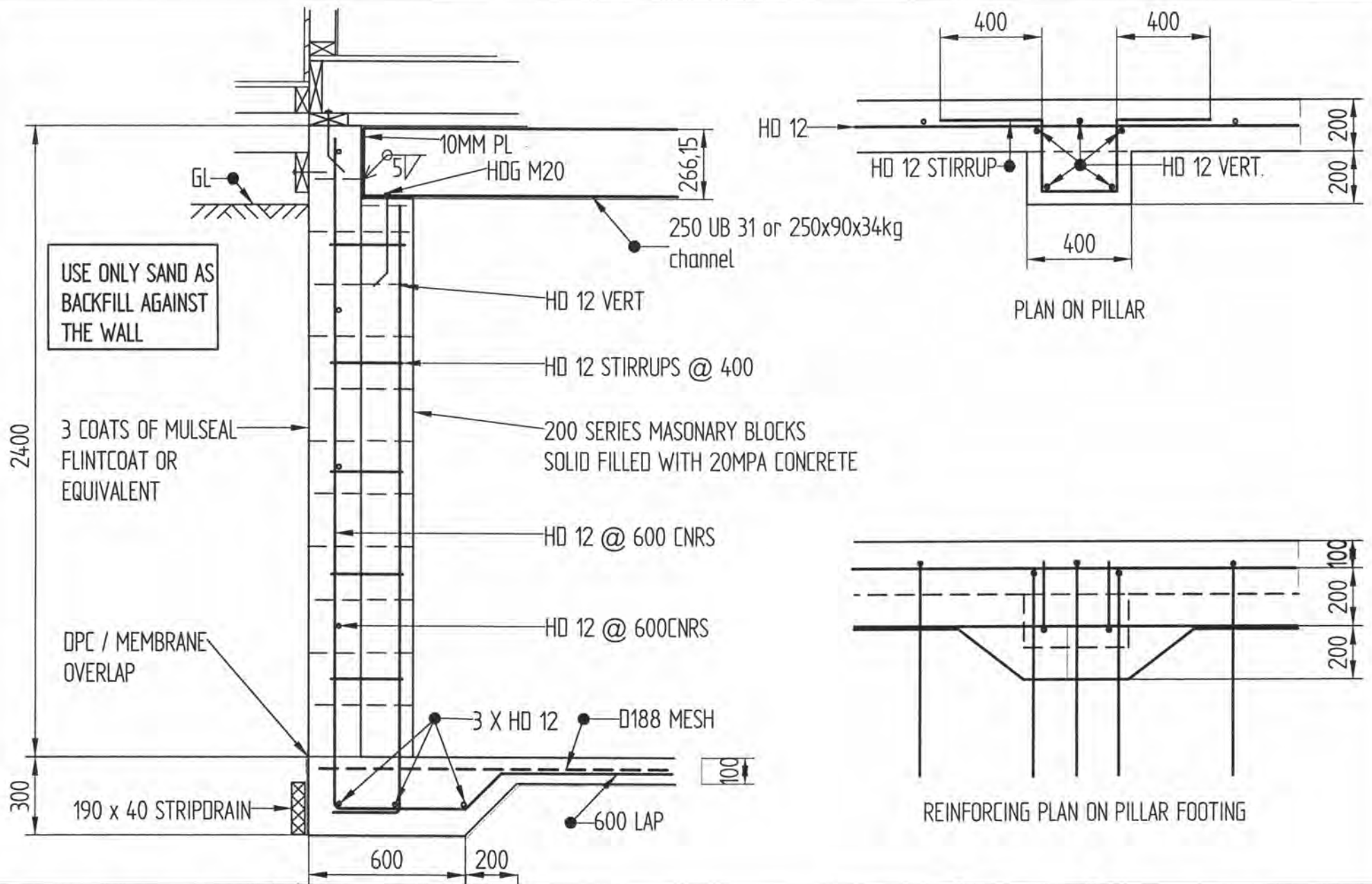


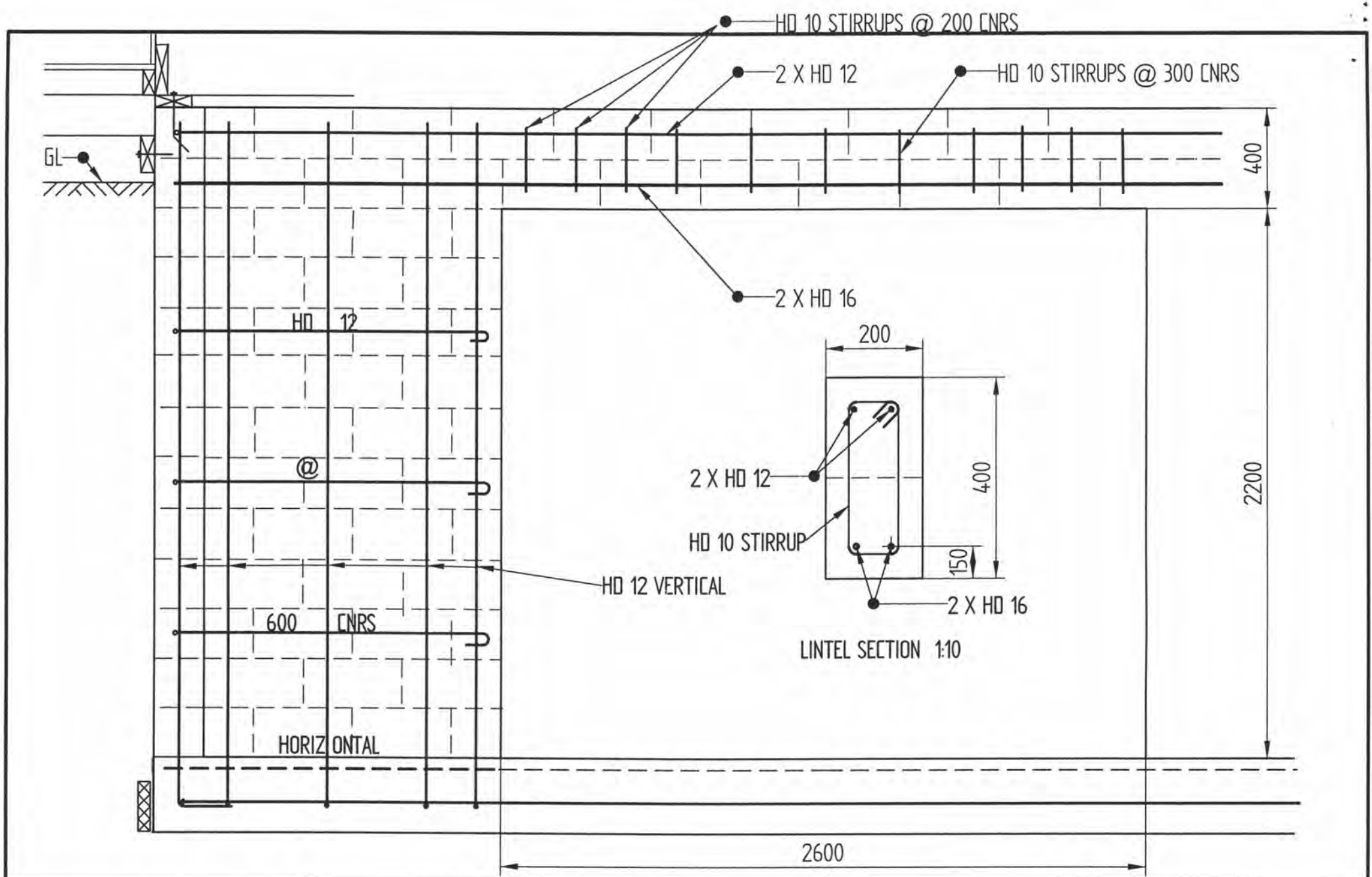


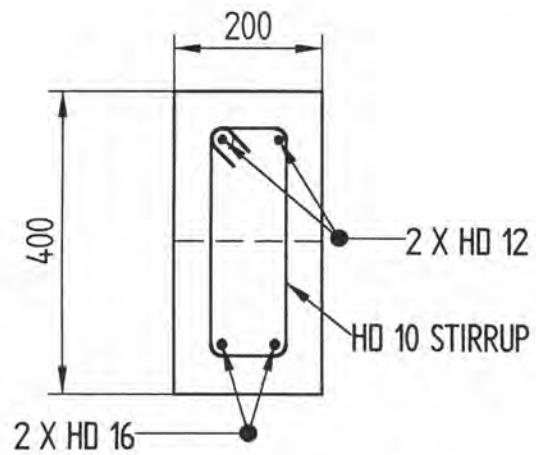
PLAN 1:100



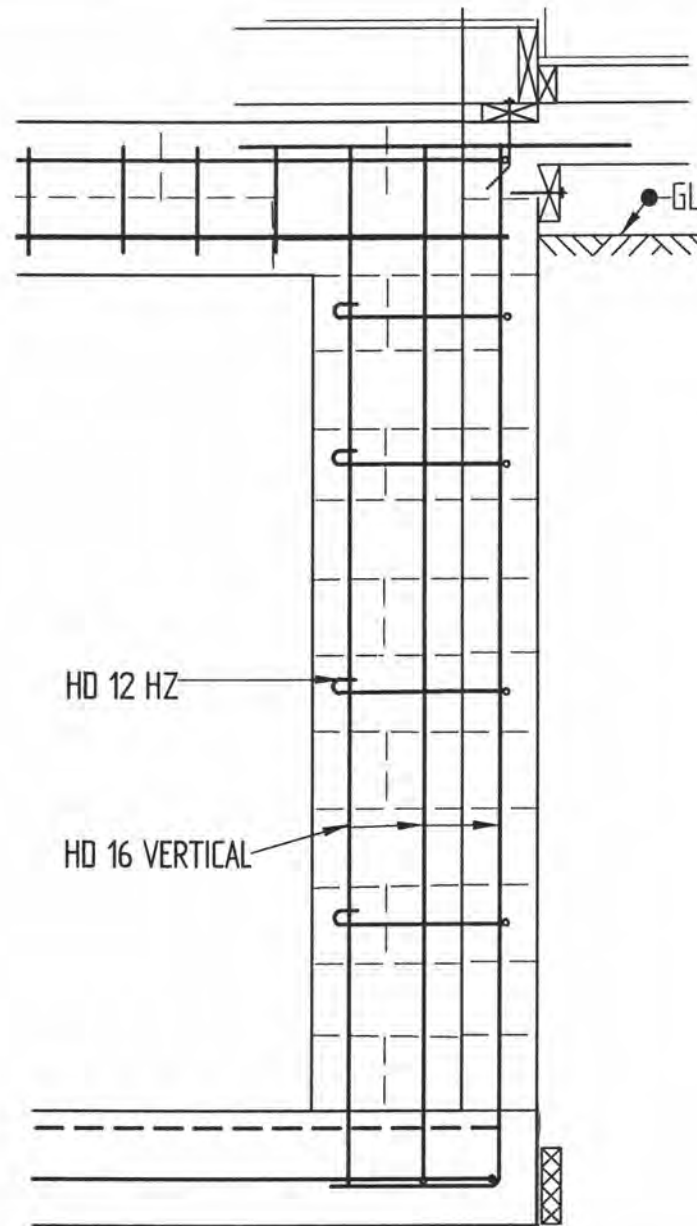
VERANDA POST DETAIL/NOTES







LINTEL SECTION 1:10



P O Box 188
OTAKI
Phone 06 36 46728
Mobile 025 459 757
Fax 06 36 46729
E-Mail engenr@xtra.co.nz

Hamish Wells Limited

Civil Engineering	Project Management
Design & Drafting	Land Development
Asset Management	Surveying
Project Evaluation	TMIPENZ

Fax

To: *Kare.*

From: *Hamish Wells*

Fax: *04 944 584430.*

Date: *5/07/2001.*

Attn: *Bob Tidd.*

Pages: *8*

Re: *Goodman.*

☐ Urgent ☐ For Review ☐ Please Comment ☐ Please Reply ☐ Please Recycle

Comments:

Additional info.

fr.

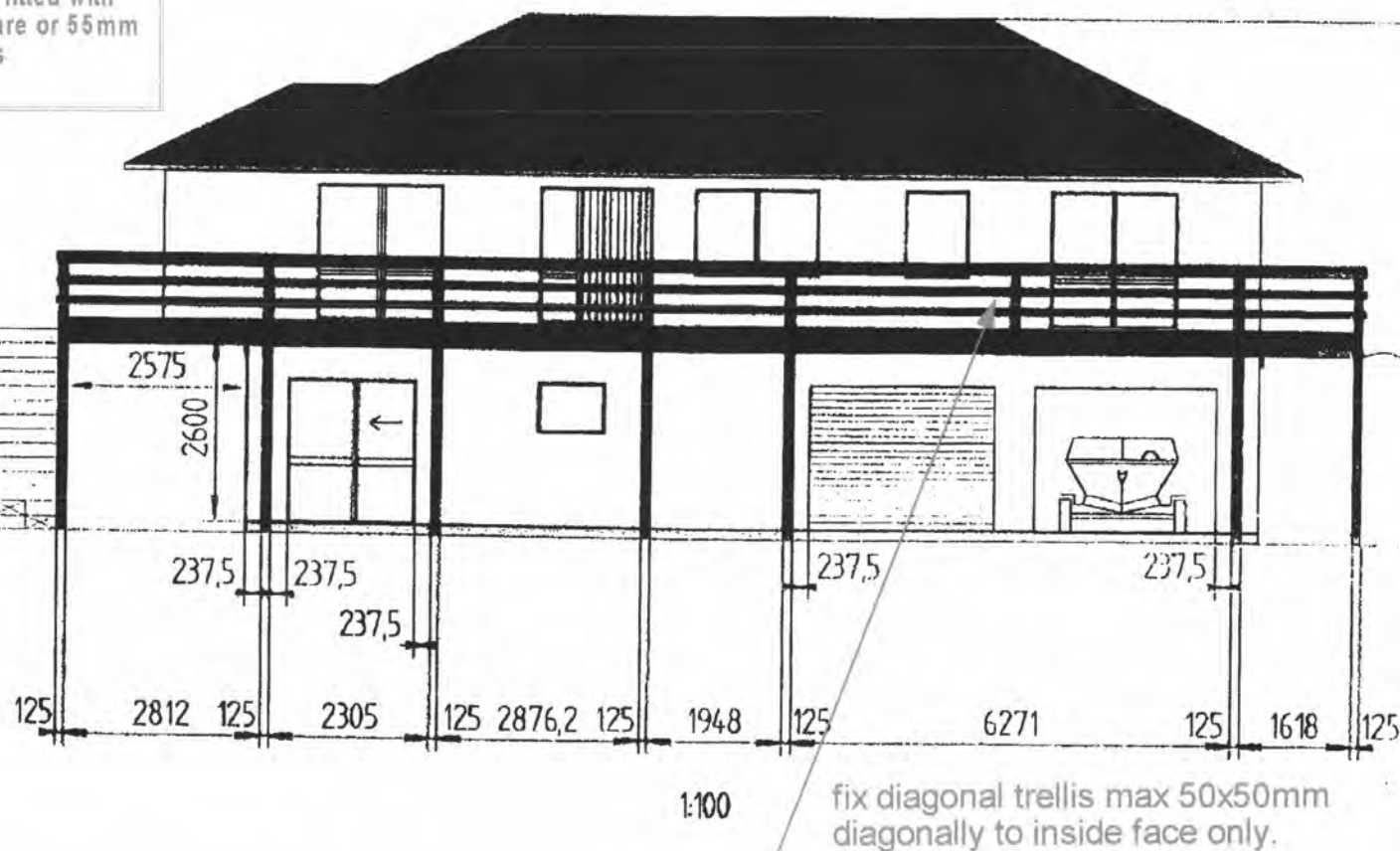
2 of changes

COUNCIL COPY

Amended Plan

Both sides of bolted connections to be fitted with 50x50x3mm square or 55mm dia round washers

APPROVED
BY BUILDING
PETER WILKINSON
Officer



APPROVED
BY P & D
SIMON COPP
Officer

10/7/01

Amended Plan

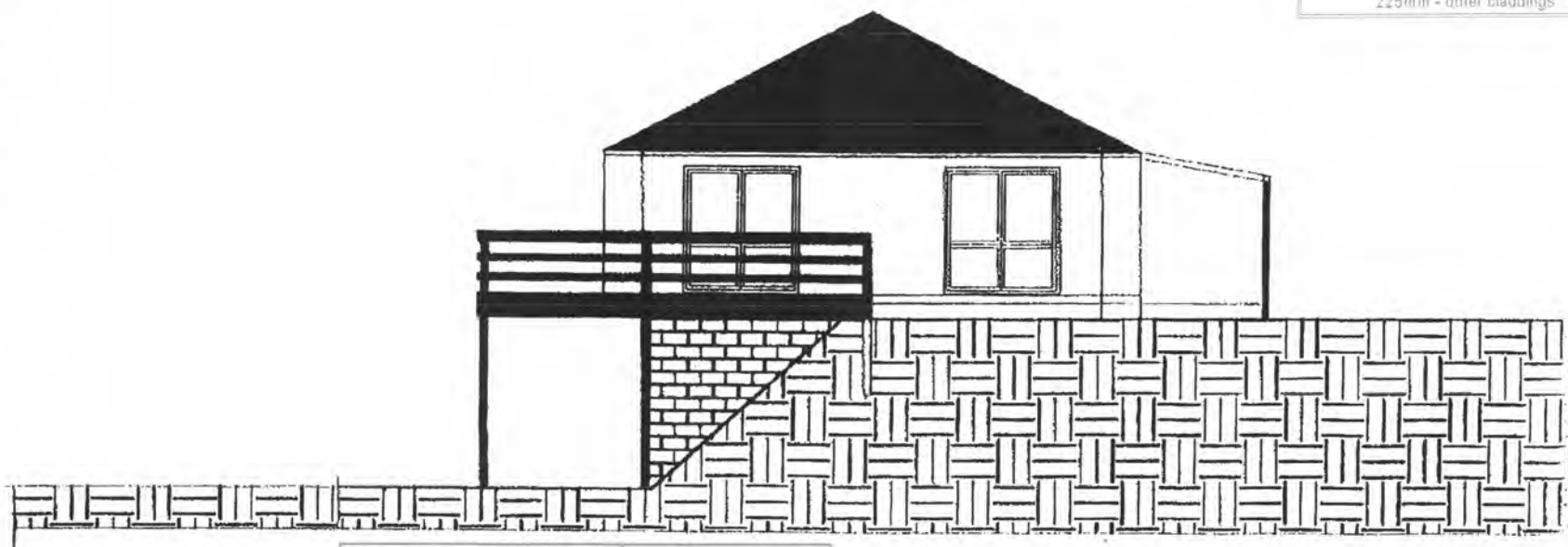
Balustrades / handrails to manufacturers specifications conform to requirements of B1 D1 and F4 of NZ Building Code.

APPROVED
BY PLANNING
MIKE MAWBY
Officer

TMIPENZ
Hamish Wells
CIVIL ENGINEERING CONSULTANT

LEO & KAY GOODMAN - NEW HOME OTAIHANGA - FRONT ELEVATION

DATE	JULY 23
SHEET	1 (1)
JOB No.	



brace deck structures strictly
to the Engineers requirements.

MINIMUM FINISHED FLOOR
LEVEL ABOVE

PROTECTED GROUND :
100mm - brick veneer
150mm - other claddings

UNPROTECTED GROUND :
150mm - brick veneer
225mm - other claddings

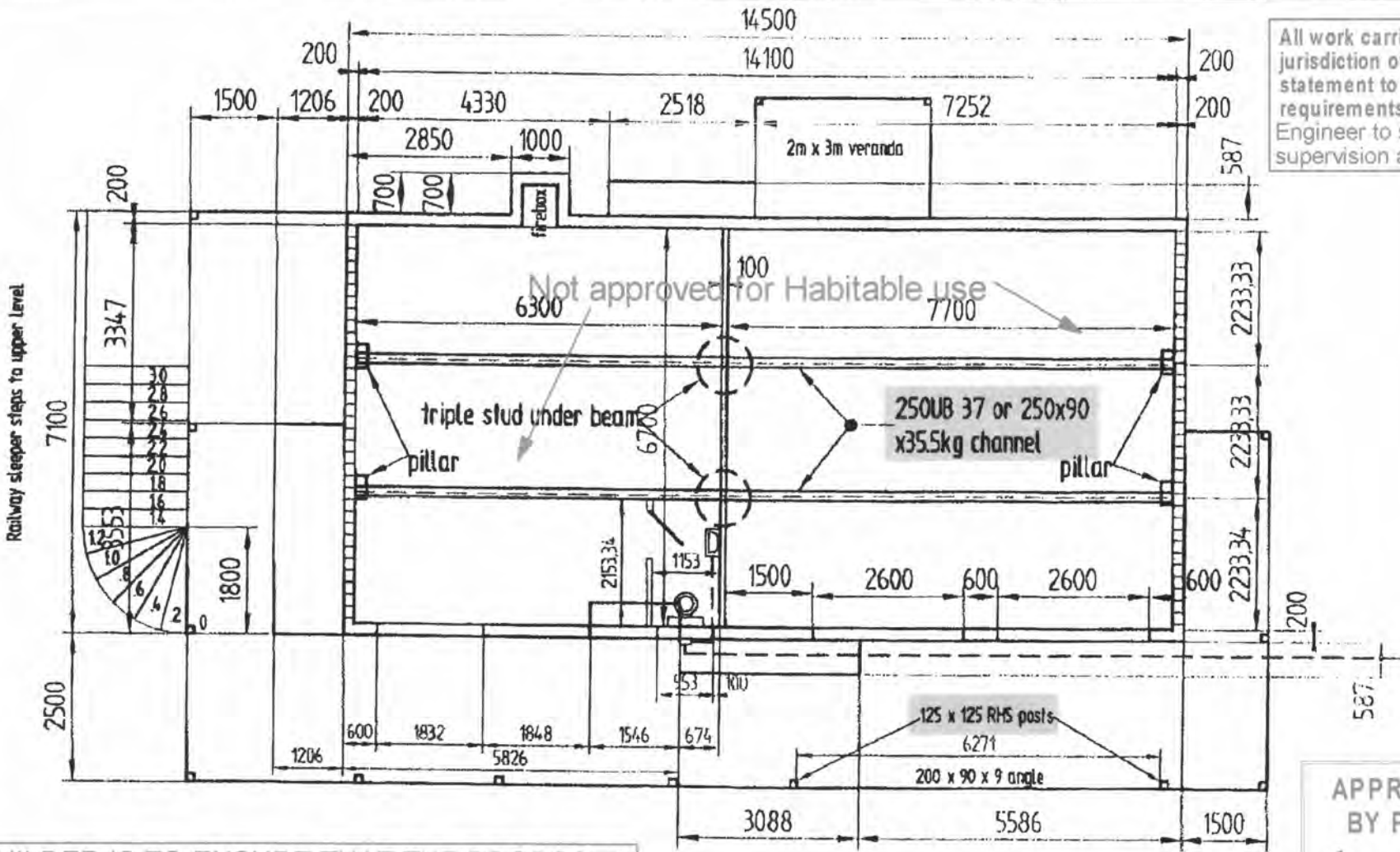
Amended Plan

TMIPENZ
Hamish Wells
CIVIL ENGINEERING CONSULTANT

LEO & KAY GOODMAN - NEW HOME OTAIHANGA - SIDE ELEVATION

DATE	JULY 20	
SHEET	1a	01
JOB No.		

APPROVED
BY BUILDING
PETER WILKINSON
Officer



BUILDER IS TO ENSURE THAT THE PROPOSED FOUNDATION HEIGHT WILL ALLOW A SATISFACTORY DRAINAGE CONNECTION TO THE SEPTIC TANK.

PLAN 1:100

Amended Plan

APPROVED
BY P & D
SIMON COPP
Officer

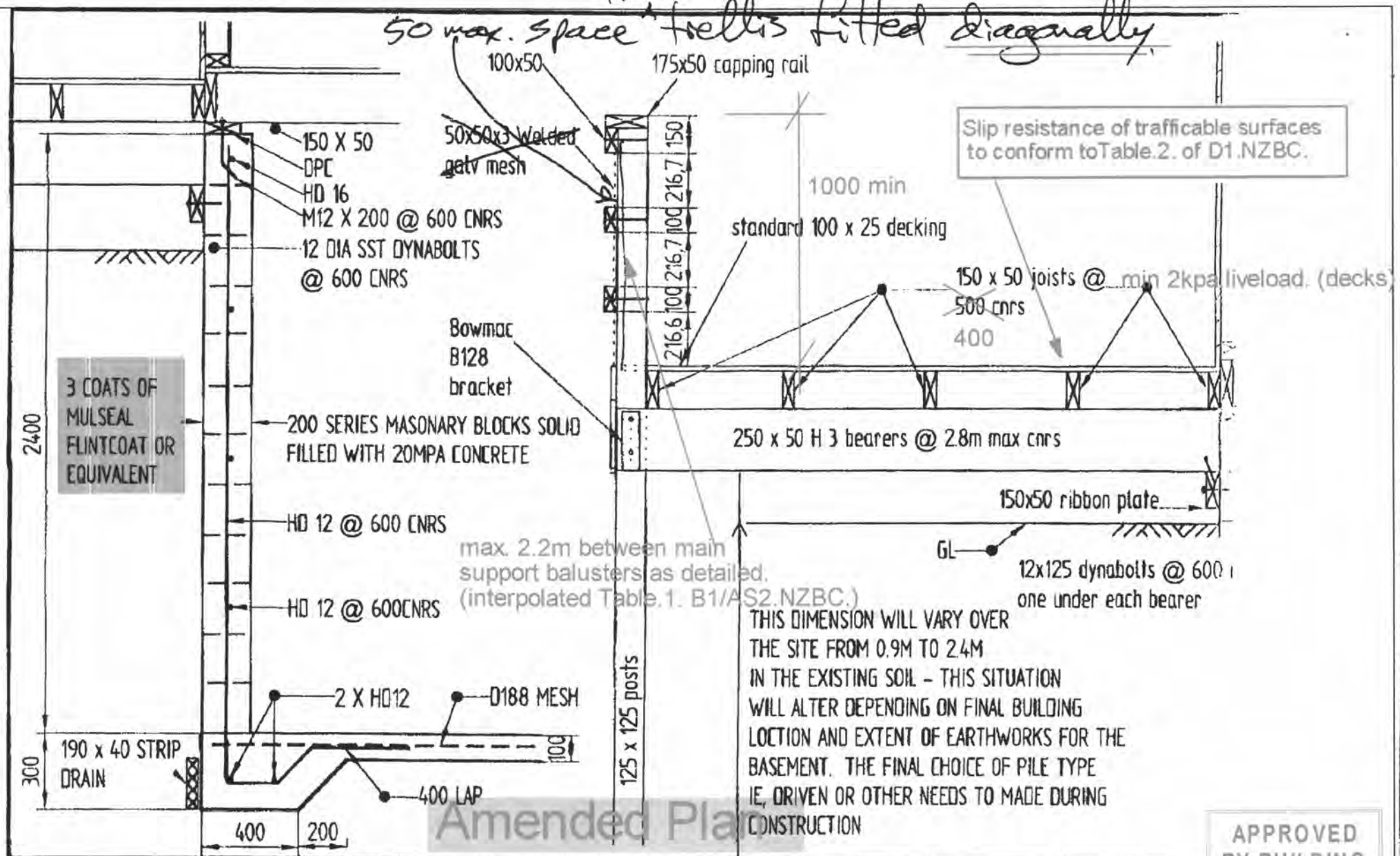
10/7/01

APPROVED
BY BUILDING
OFFICER
PETER WILKINSON
Officer

TMIPENZ
Hamish Wells
CIVIL ENGINEERING CONSULTANT

LEO & KAY GOODMAN - NEW HOME AT OTAIHANGA - BASEMENT FLOOR PLAN

DATE	JULY 2001
SHEET	2
JOB No.	



Hamish Wells
AIPENZ
CIVIL ENGINEERING CONSULTANT

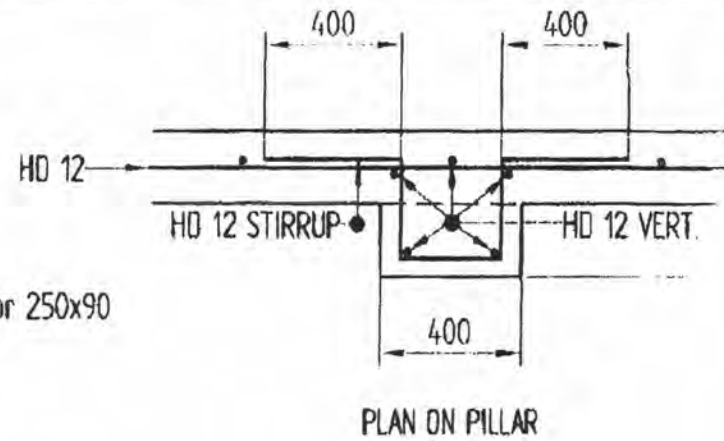
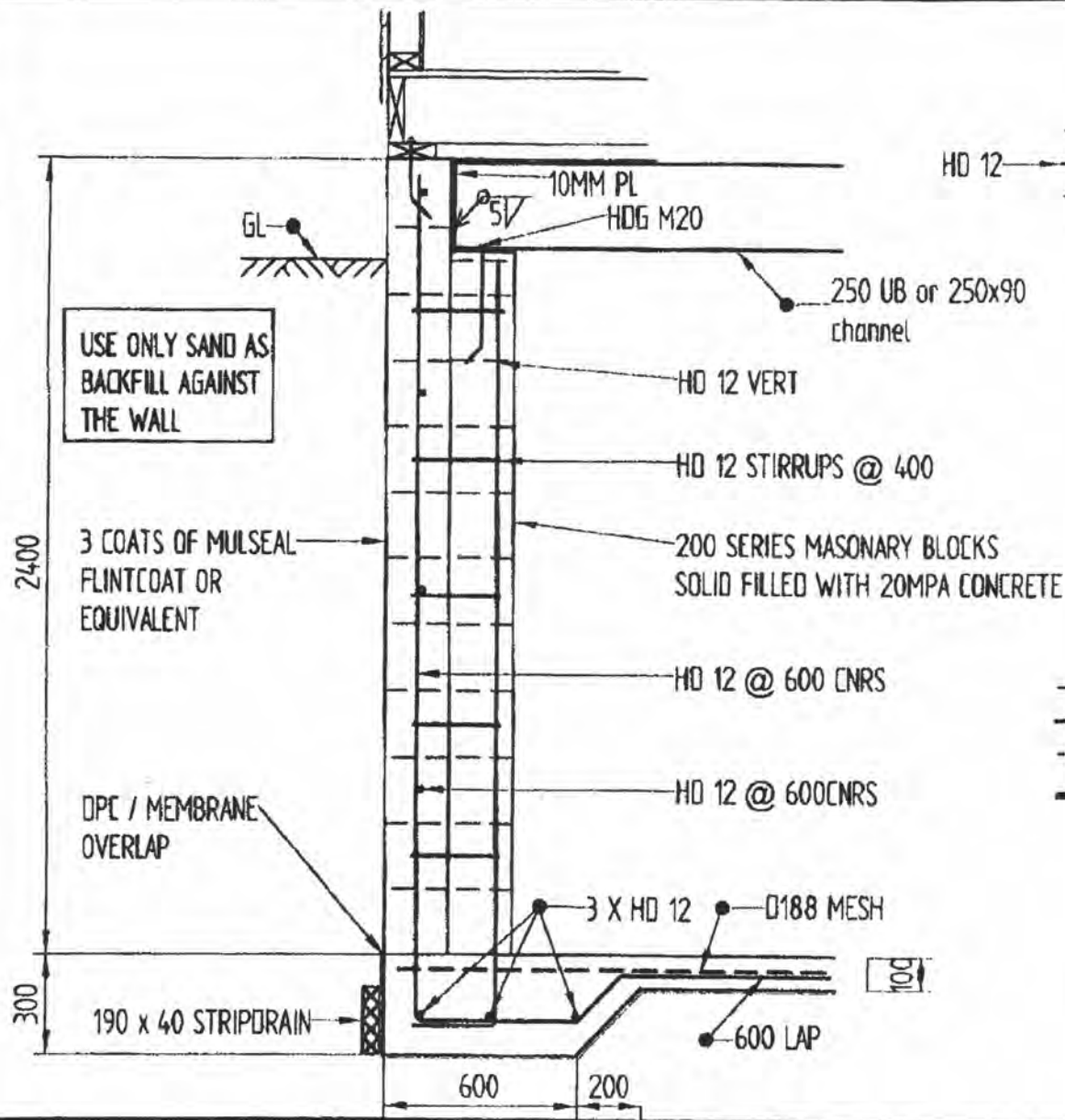
GOODMAN - BLOCKWALL & VERANDA DETAIL

SCALE
1:20

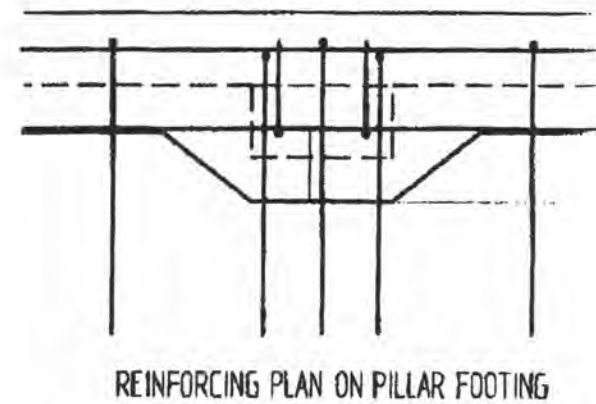
DATED
SHEET

JUNE 2001
3 OF

APPROVED
BY BUILDING
PETER WILKINSON
Officer



Amended Plan



Hamish Wells
AIPENZ
CIVIL ENGINEERING CONSULTANT

GOODMAN- PILLAR & BEAM DETAIL

SCALE

1:20

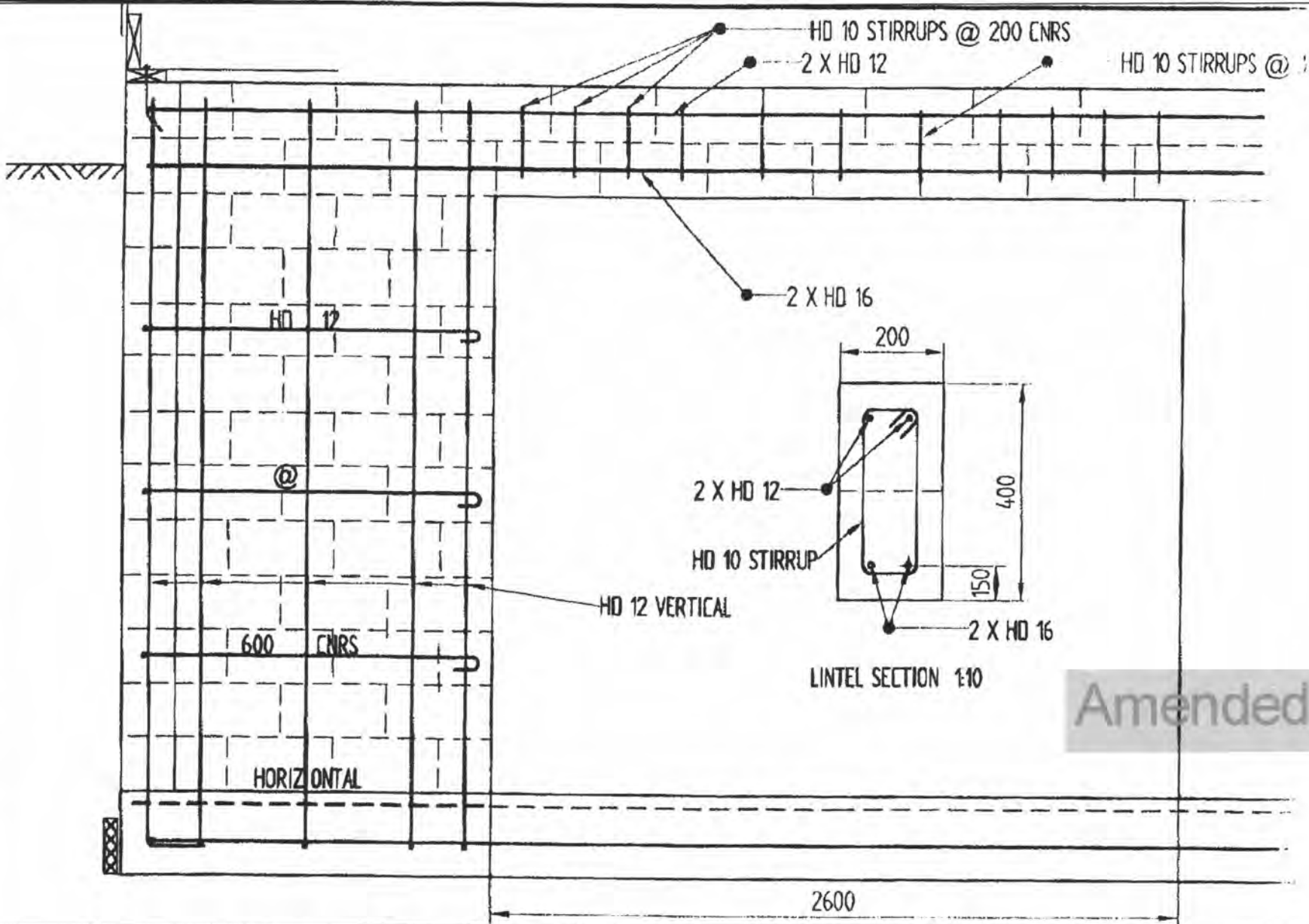
DATED

SHEET

JUNE 2000

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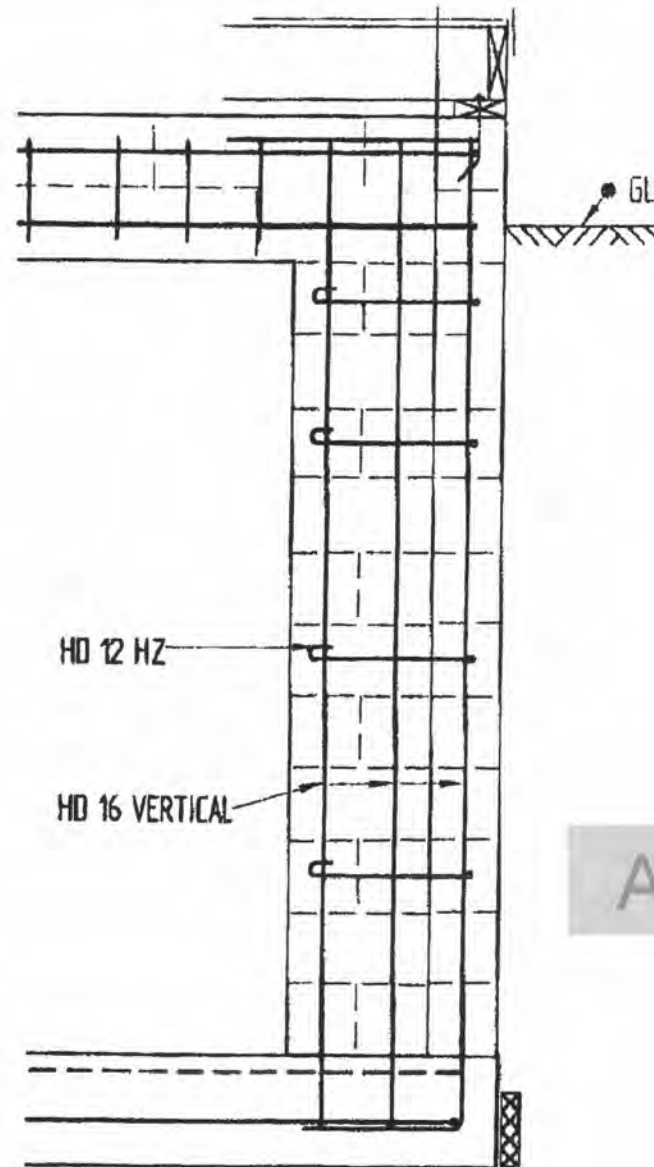
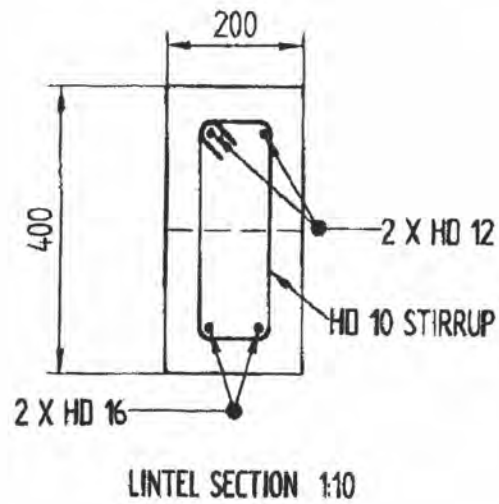
OF



AIPENZ
Hamish Wells
 CIVIL ENGINEERING CONSULTANT

GOODMAN - TYPICAL BLOCKWALL DETAIL AT CORNER AND
 OPENINGS FOR RETURNS GREATER THAN 1200MM

SCALE 1:20 & 1:10	DATED		JUNE 2001	
	SHEET		5	OF



Amended Plan

Hamish Wells
AIPENZ
CIVIL ENGINEERING CONSULTANT

GOODMAN - BLOCKWALL DETAIL - NARROW RETURNS AT
CORNERS & BETWEEN OPENINGS

SCALE
120

DATED
SHEET

JUNE 2001

6

OF

P O Box 188
OTAKI
Phone 06 36 46728
Mobile 025 459 757
Fax 06 36 46729
E-Mail engentr@xtra.co.nz

Hamish Wells Limited

Civil Engineering	Project Management
Design & Drafting	Land Development
Asset Management	Surveying
Project Evaluation	TMPENZ

Fax

To: *Kase.* From: *Hamish Wells*
Fax: *04 904 584430.* Date: *5/07/2001.*
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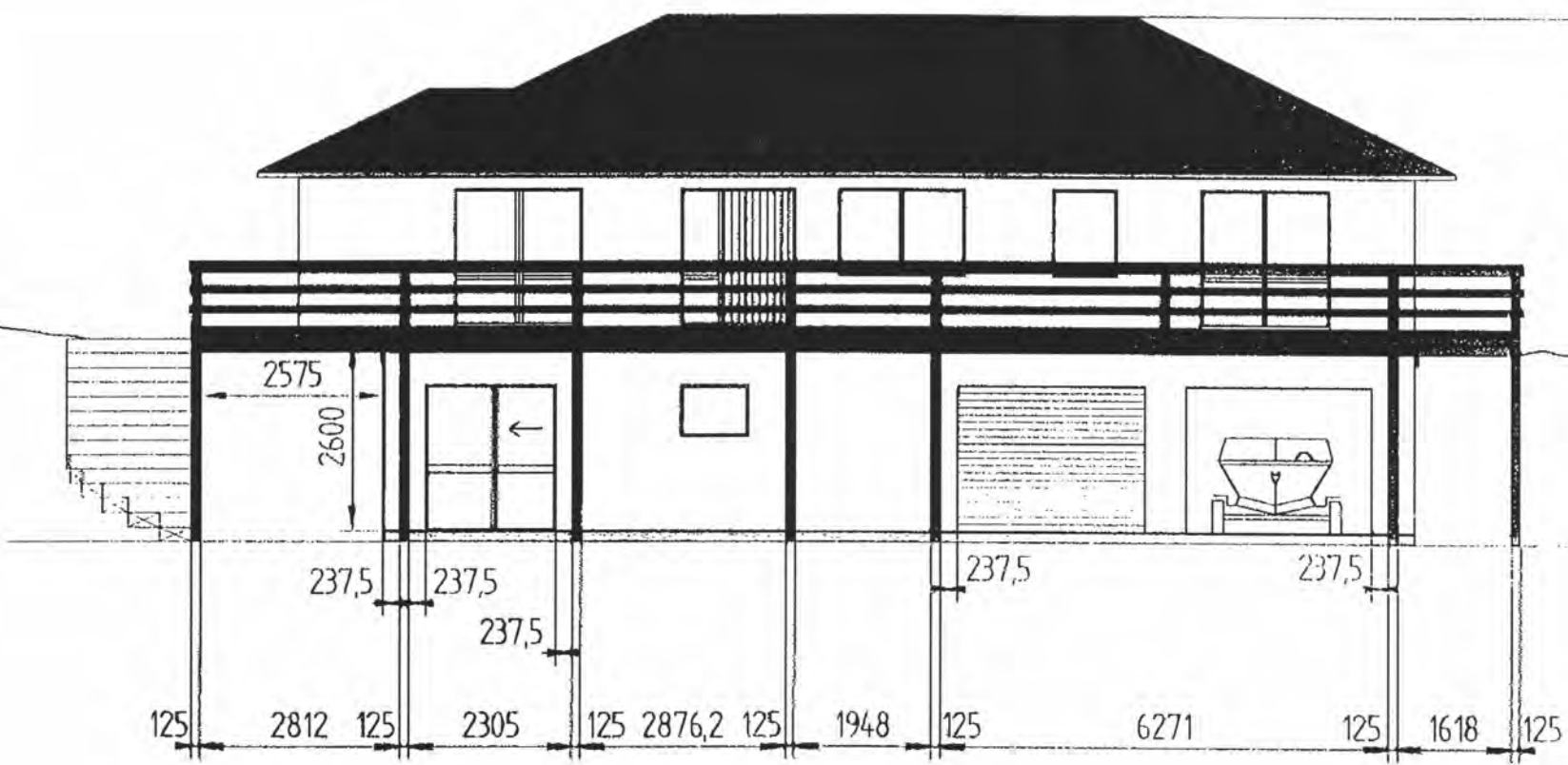
☐ Urgent ☐ For Review ☐ Please Comment ☐ Please Reply ☐ Please Recycle

Comments:

Additional info.

fr.

2 of exchange

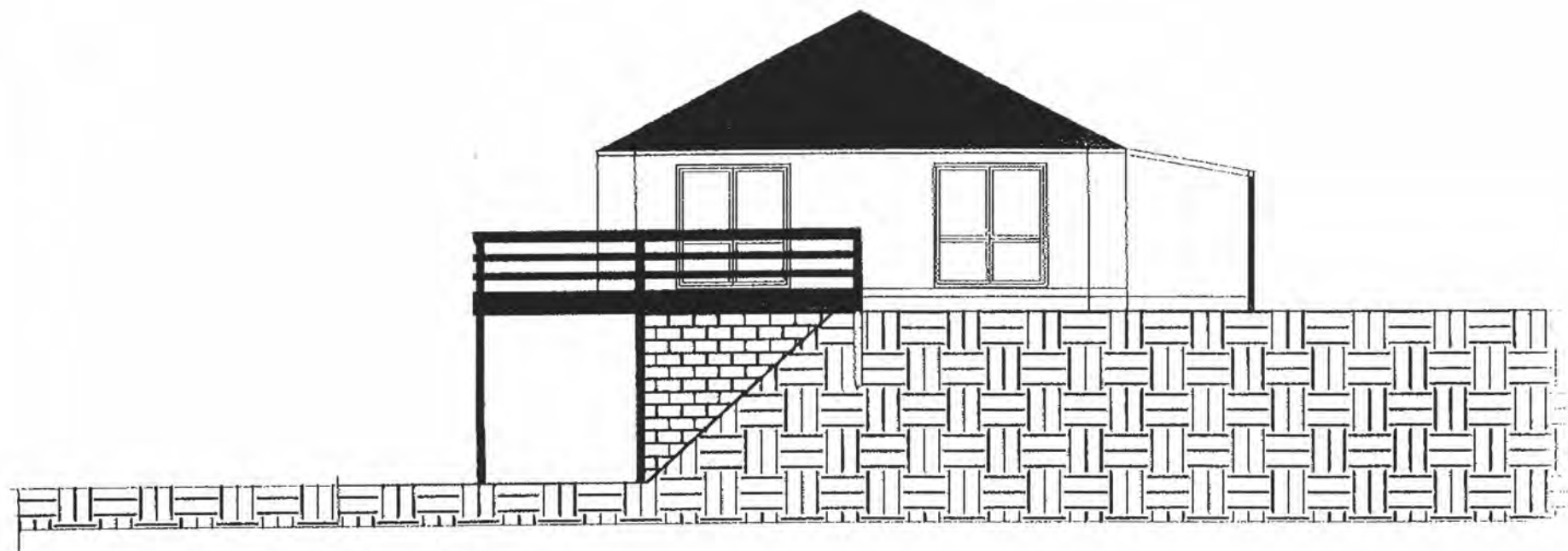


1:100

TMIPENZ
Hamish Wells
CIVIL ENGINEERING CONSULTANT

LEO & KAY GOODMAN - NEW HOME OTAIHANGA - FRONT ELEVATION

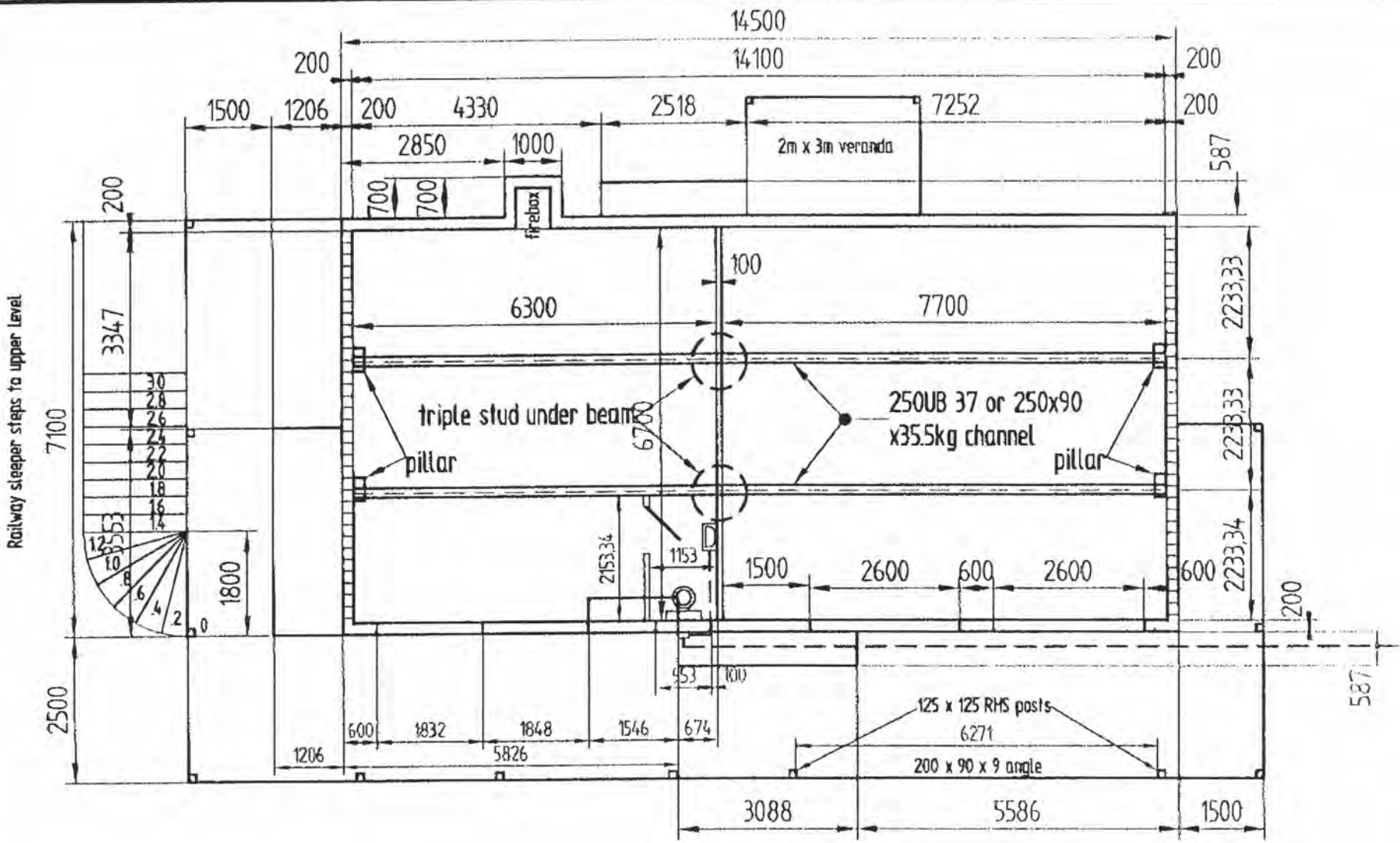
DATE	JULY 20	
SHEET	1	01
JOB No.		



TMIPENZ
Hamish Wells
CIVIL ENGINEERING CONSULTANT

LEO & KAY GOODMAN - NEW HOME OTAIHANGA - SIDE ELEVATION

DATE	JULY 20	
SHEET	1a	01
JOB No.		



PLAN 1:100

TMIPENZ
Hamish Wells
CIVIL ENGINEERING CONSULTANT

LEO & KAY GOODMAN - NEW HOME AT OTAIHANGA - BASEMENT FLOOR PLAN

DATE	JULY 2001	
SHEET	2	OF 1
JOB No.		

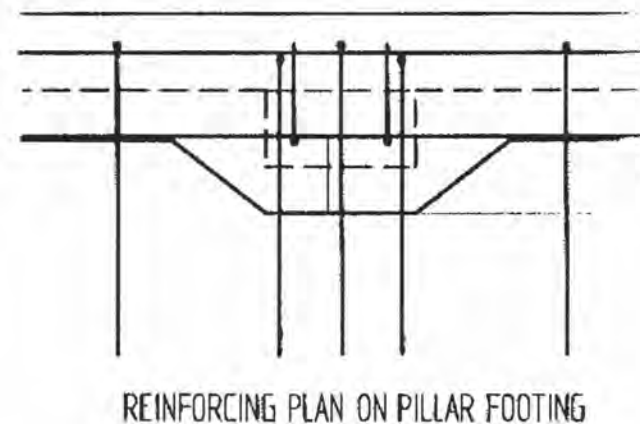
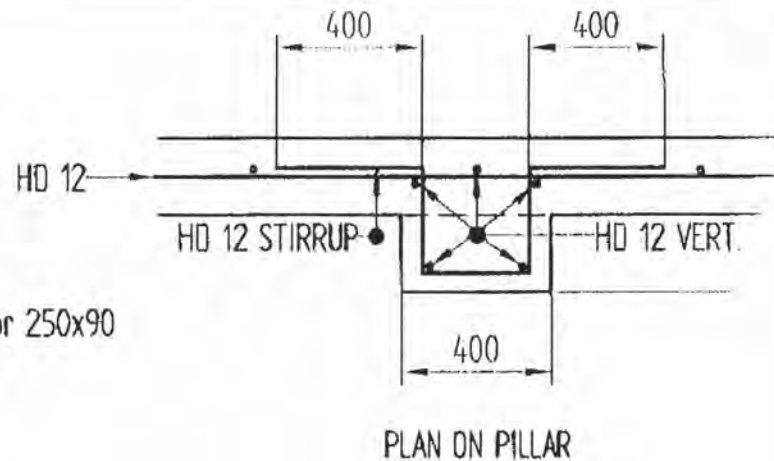
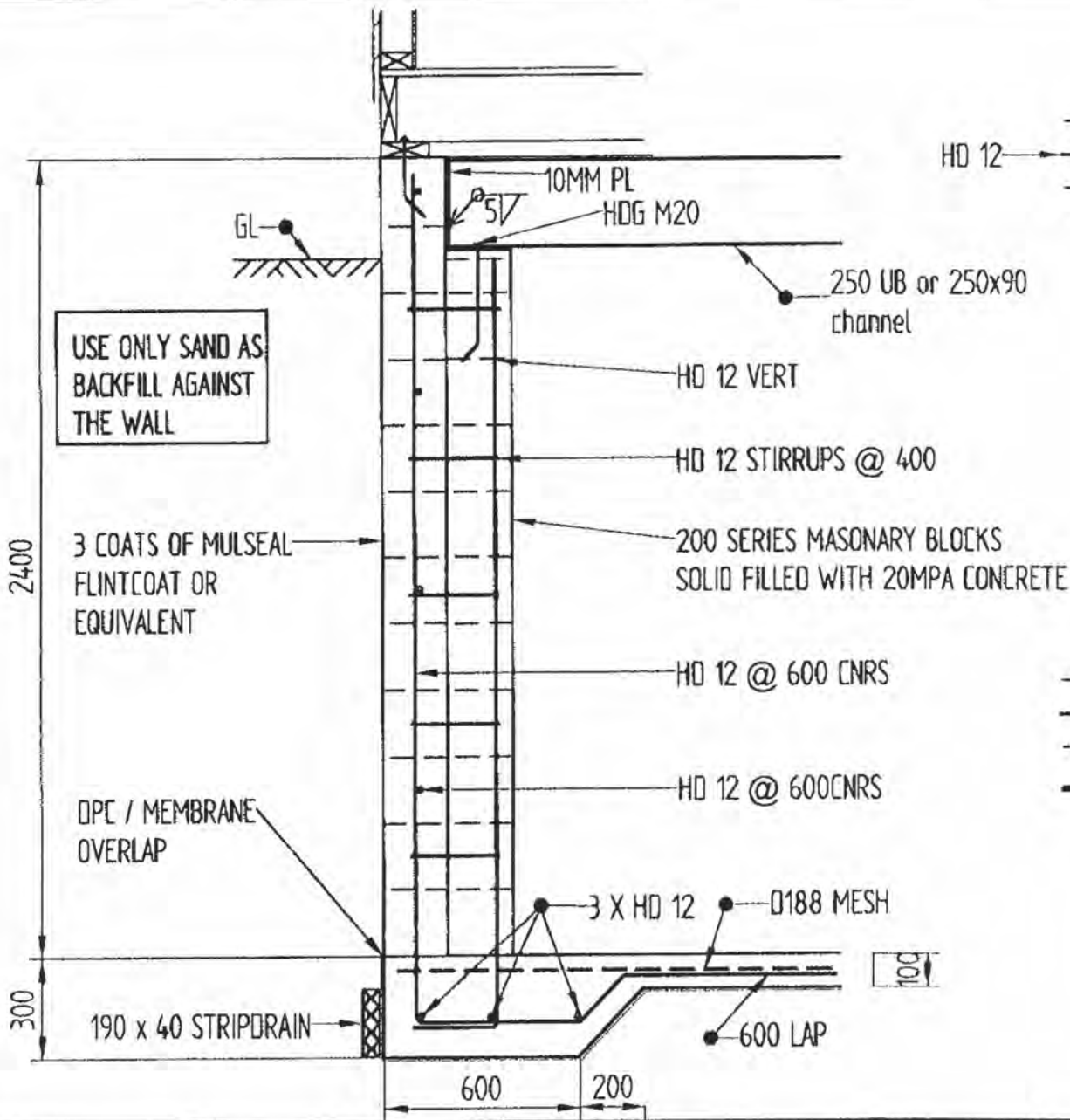


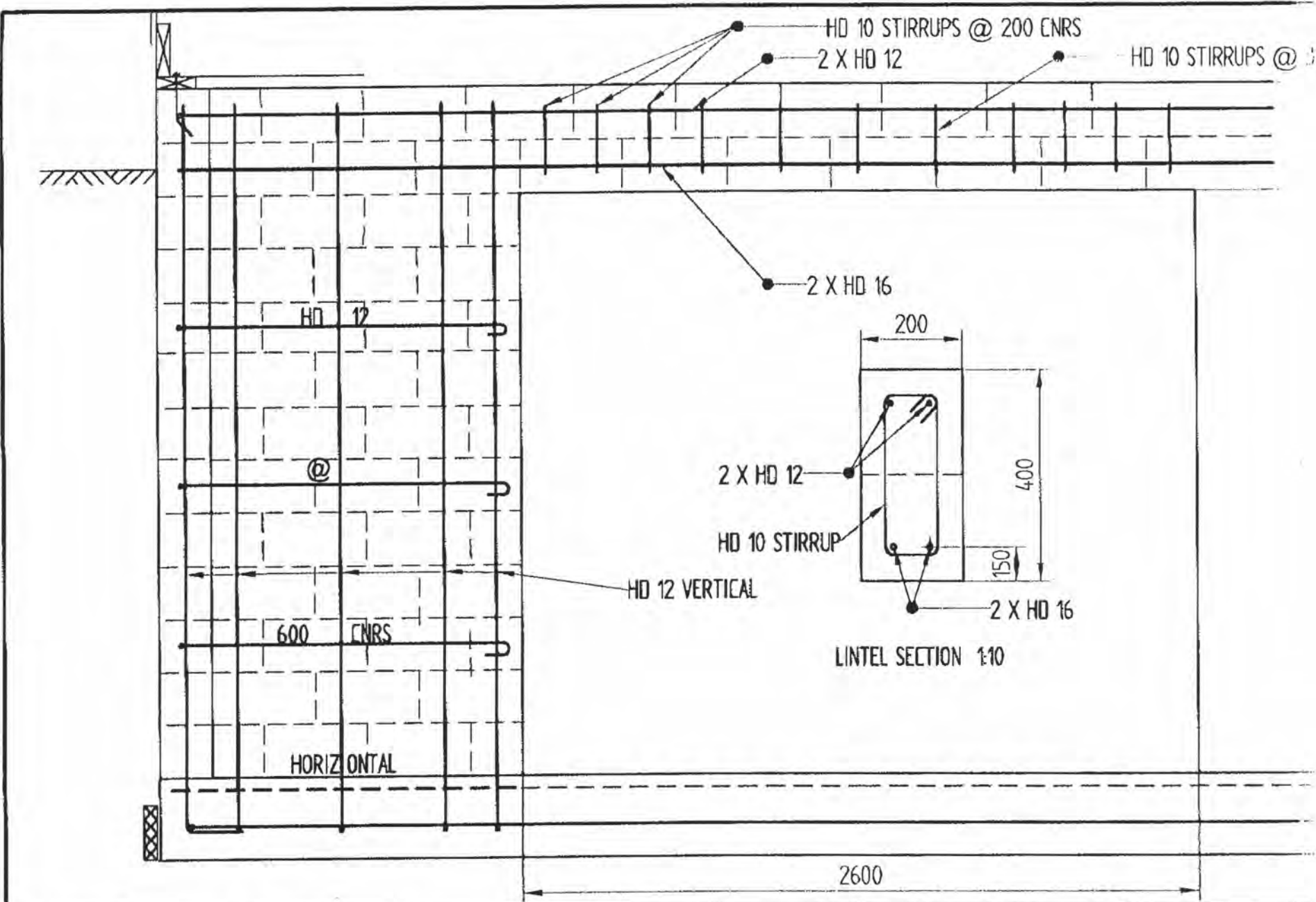
GOODMAN - BLOCKWALL & VERANDA DETAIL

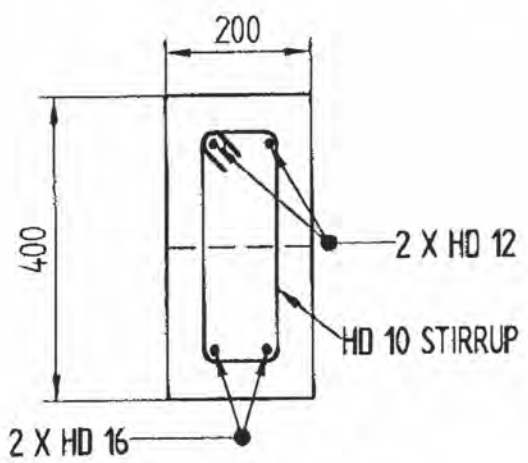
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DATED _____
SHEET _____

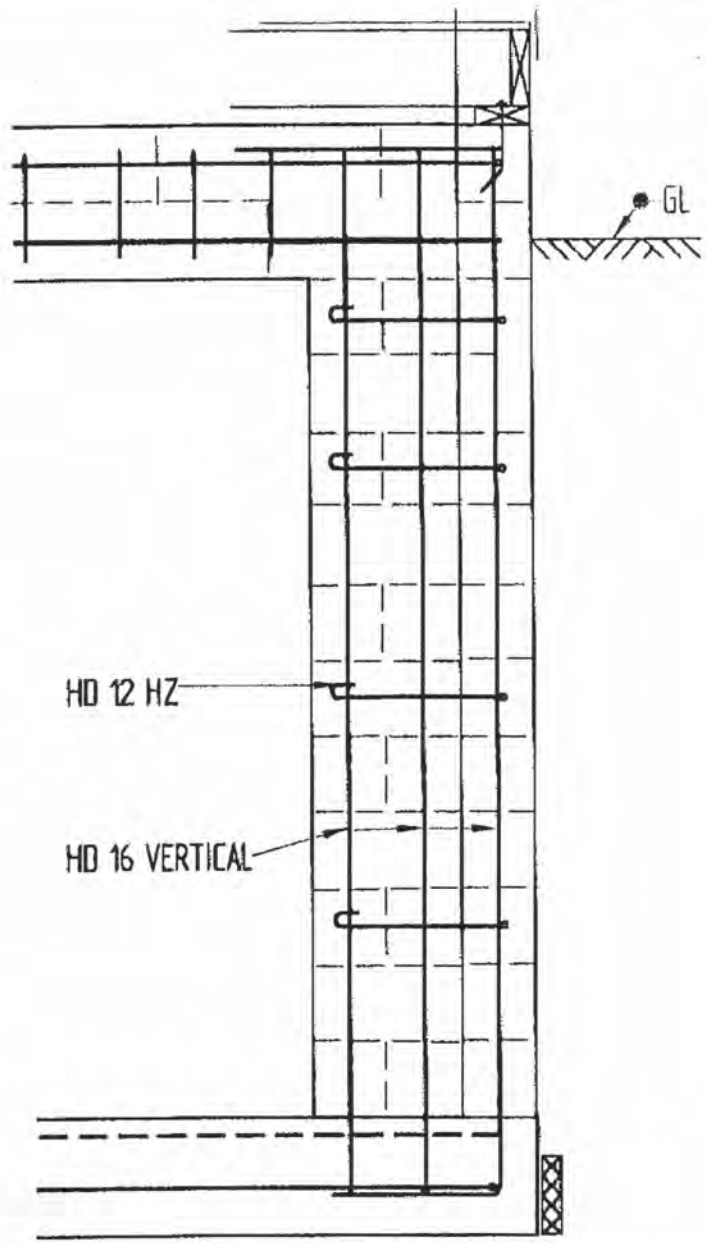
JUNE 2001	
3	0







LINTEL SECTION 1:10



HD 12 HZ

HD 16 VERTICAL

G2Z ColorSteel - roofing on self supporting building paper, on ex 75 x 50 purlins on edge at 900 c/c max. over approved trusses at 1200 c/c.

Fibre glass insulation to ceiling

4.5mm Hardiflex soffit lining

9.5 G1b ceiling lining fixed to manufactures specifications

Hardies 245 Series - sheathing over building paper over ex 50 x 50 battens on aluminium foil over 44mm INITIAL solid wall construction system

100x25 on Hardies - base lining

20mm particle board flooring on ex 200 x 50 joists at 600 c/c max on 2/150 x 50 bearers over approved piles

Perforated aluminium foil

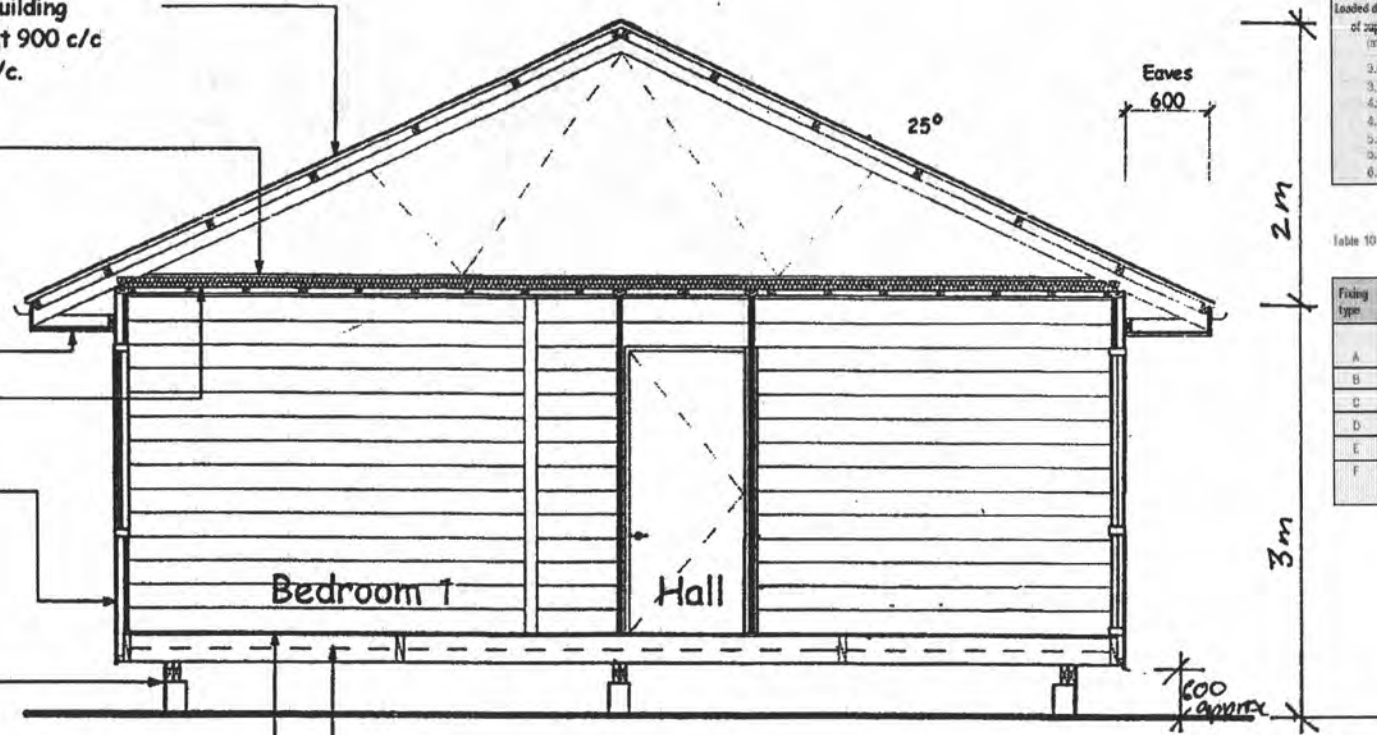


Table 10.12 - Fixing types of roof trusses at supports (see 10.2.2.5.1)

Truss spacing (mm)	Fixing type											
	Light roofs								Heavy roofs			
	900				1200				900			
Wind zone	L	M	H	VI	L	M	H	VI	L	M	H	VI
Loaded dimension of support (mm)												
3.0	C	C	C	D	C	C	C	D	A	A	C	C
3.5	C	C	C	D	C	C	C	D	A	A	C	C
4.0	C	C	C	D	C	C	C	D	A	A	C	C
4.5	C	C	C	D	C	C	C	D	A	A	C	C
5.0	C	C	C	D	C	C	C	D	A	A	C	C
5.5	C	C	C	D	C	C	C	D	A	A	C	C
6.0	C	C	C	D	C	C	C	D	A	A	C	C

Table 10.13 - Key to fixing types and capacity for rafters, roof trusses, underpurlins, ridge beams and strutting beams (see 10.2.2.5.1)

Fixing type	Fixing to resist uplift	Alternative fixing capacity (kN)
A	2/100 x 3.75 skewed nails	0.7
B	2/100 x 3.75 skewed nails + 1 wire dog	2.7
C	2/100 x 3.75 skewed nails + 2 wire dogs	4.7
D	2/100 x 3.75 skewed nails + 3 wire dogs	6.7
E	2/100 x 3.75 skewed nails + 4 wire dogs	8.7
F	2/100 x 3.75 skewed nails + U strap of 27 mm x 1.2 mm 10/30 x 3.15 nails at each end	16.0

(a) Light roof cladding (see figures 10.16 and 10.17)

Purlin or batten size (mm x mm)	Maximum purlin span (mm)	Maximum purlin spacing and fixing*							
Wind zone		Low		Medium		High		Very high	
		Spacing (mm)	Fixing	Spacing (mm)	Fixing	Spacing (mm)	Fixing	Spacing (mm)	Fixing
50 x 40	900	400	AAP	400	AAP	400	AP	400	AP
50 x 50	1200	400	AAP	400	AAP	400	AP	400	AP
75 x 50	900	1800	BP	1800	BP	1800	BP	1400	BP
75 x 50	1200	1400	BP	1400	BP	1000	BP	800	BP
100 x 50	1200	1800	BP	1800	BP	1400	BP	1100	BP

* In all wind zones, fixings within the higher wind uplift areas of roofs (as defined in Figures 10.16 and 10.17), shall be increased by one step (i.e. if type AAP is used in the main roof, then type AP is required in the higher wind uplift areas).

Table 10.10 - Key to fixing types and capacity for purlins or battens (see 10.2.1.10.5(a))

Fixing type	Fixing description	Alternative fixing capacity (kN)
AAP	1/100 x 3.75 nail or 2/90 x 3.15 power driven nails	0.4
AP	2/100 x 3.75 skewed nails or 3/90 x 3.15 power driven nails	0.7
BP	2/100 x 3.75 skewed nails + 1 wire dog or 2/100 x 3.75 skewed nails + 1/12 g Type 37 screw*	2.7
CP	2/100 x 3.75 skewed nails + 2 wire dogs or 2/100 x 3.75 skewed nails + 2/12 g Type 37 screws*	4.7

NOTE:-

- (1) Purlins on flat may be substituted for the following sizes:
On flat: 75 x 50, 85 x 50, 100 x 50
On slope: 85 x 50, 75 x 50
- (2) Alternative fixings with required uplift capacity may be used.
- (3) Where purlins are fixed over joists or ceiling steel lining material refer to 10.2.1.10.5(b).

SECTION E-E 1:50

APPROVED
BY BUILDING
PETER WILKINSON
Officer

SECTIONS AND DETAILS

SCALE 1:50

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P.O.BOX 342 WAIKANAE
PH 04 293 2406
FAX 04 293 1279

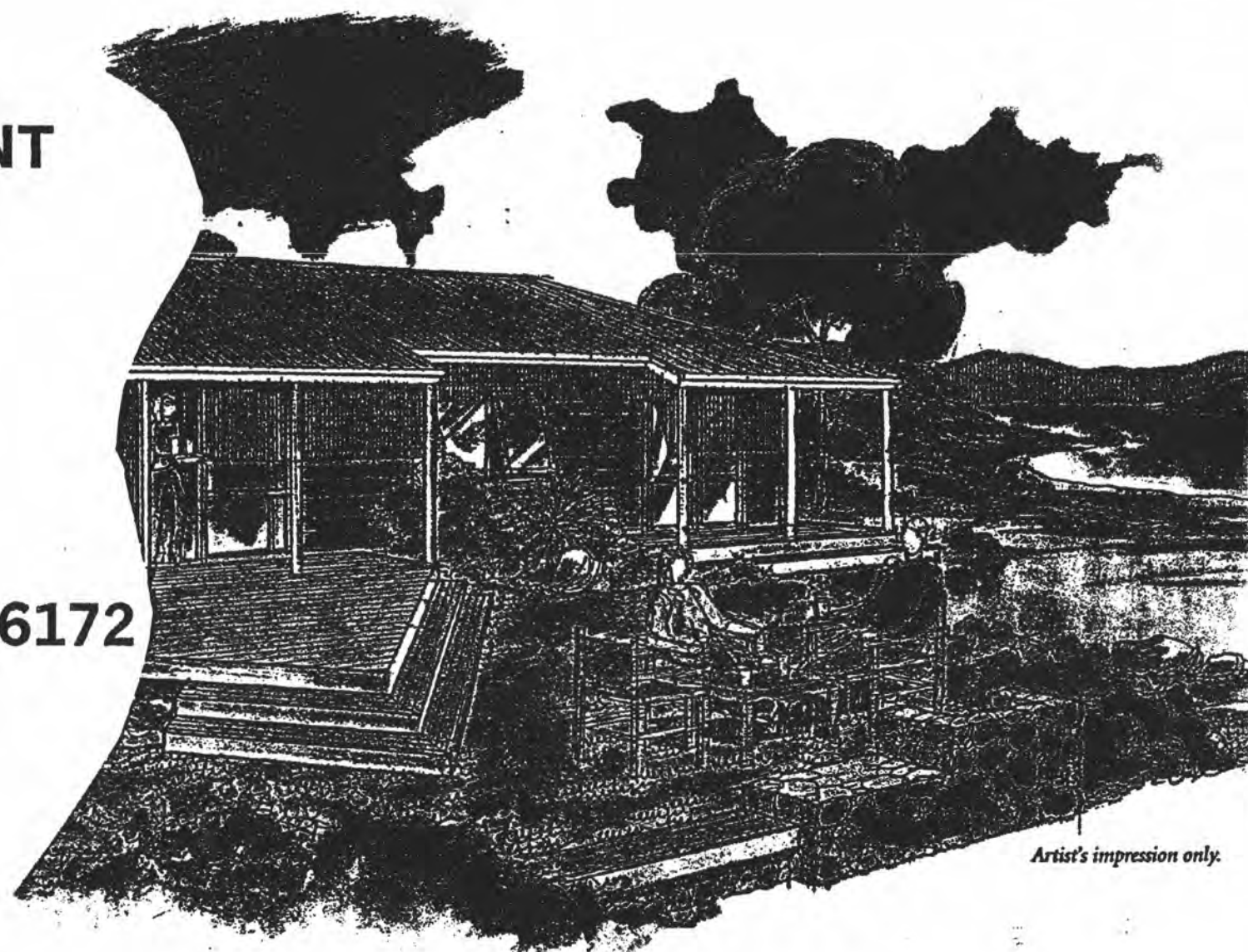
PROPOSED NEW INITIAL HOME FOR
LEO AND KAY GOODMAN
2A OTAIHANGA ROAD
PARAPARAUMU
LOT 2 DP 56172 AND PART LOT 3 DP 56172

DATE	08 /03/ 2001	PLAN NUMBER	2709 -7
AMENDMENTS		APPROVED	DATE

BUILDING AND RESOURCE CONSENT

L & K GOODMAN
2A OTAIHANGA ROAD
PARAPARAUMU

LOT 2 DP 56172, PART LOT 3 DP 56172



Artist's impression only.

WARNING

The minimum floor level (to the underside of the floor joists)
for this proposal is (Q100) 3.25 metres above mean sea level.

CAUTION

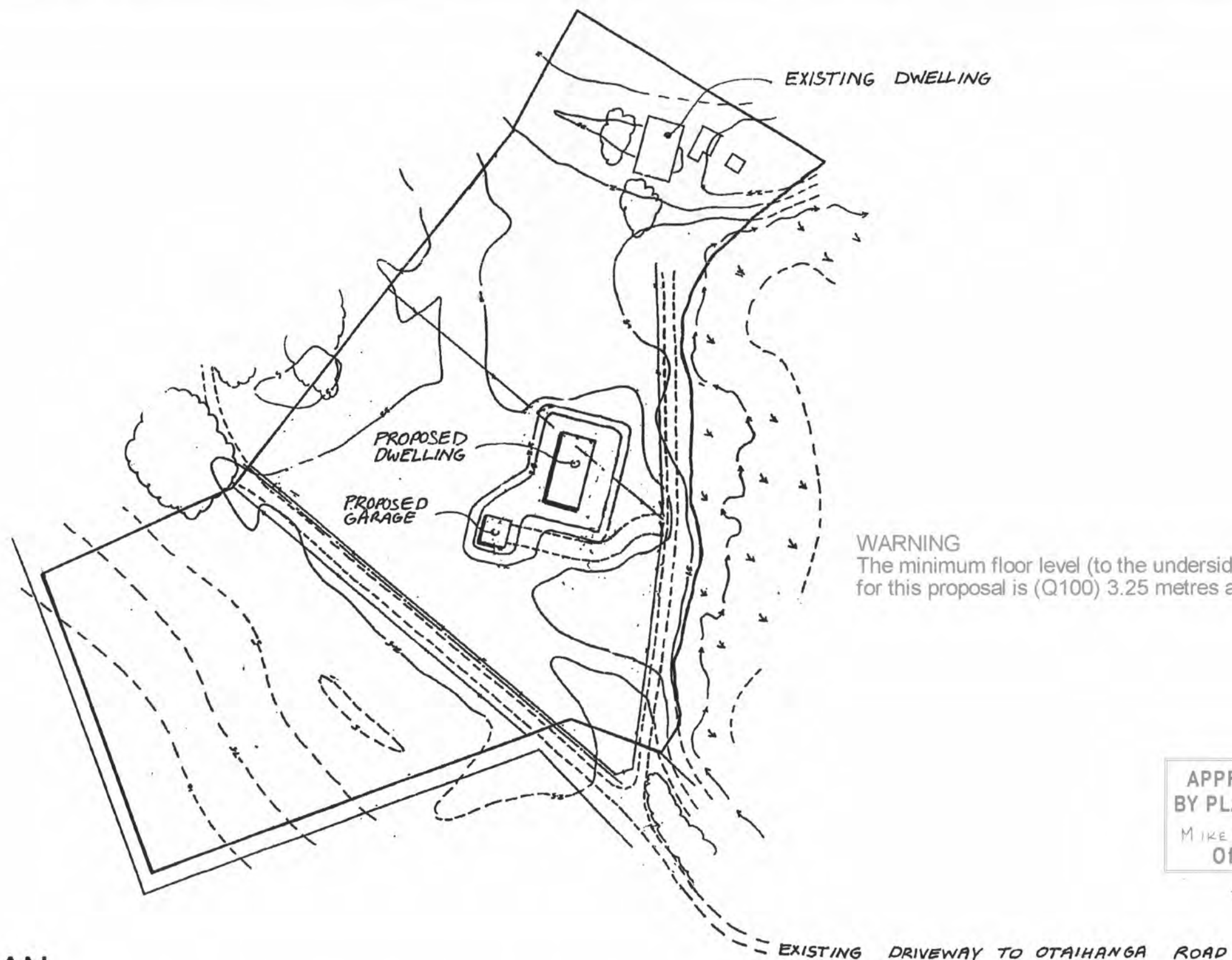
Plans have been digitally
reproduced and may not
be to scale.



APPROVED
BY PLANNING
MIKE MAWBY
Officer

APPROVED
BY BUILDING
PETER WILKINSON
Officer

APPROVED
BY P & D
SIMON COPP
Officer
4/4/01

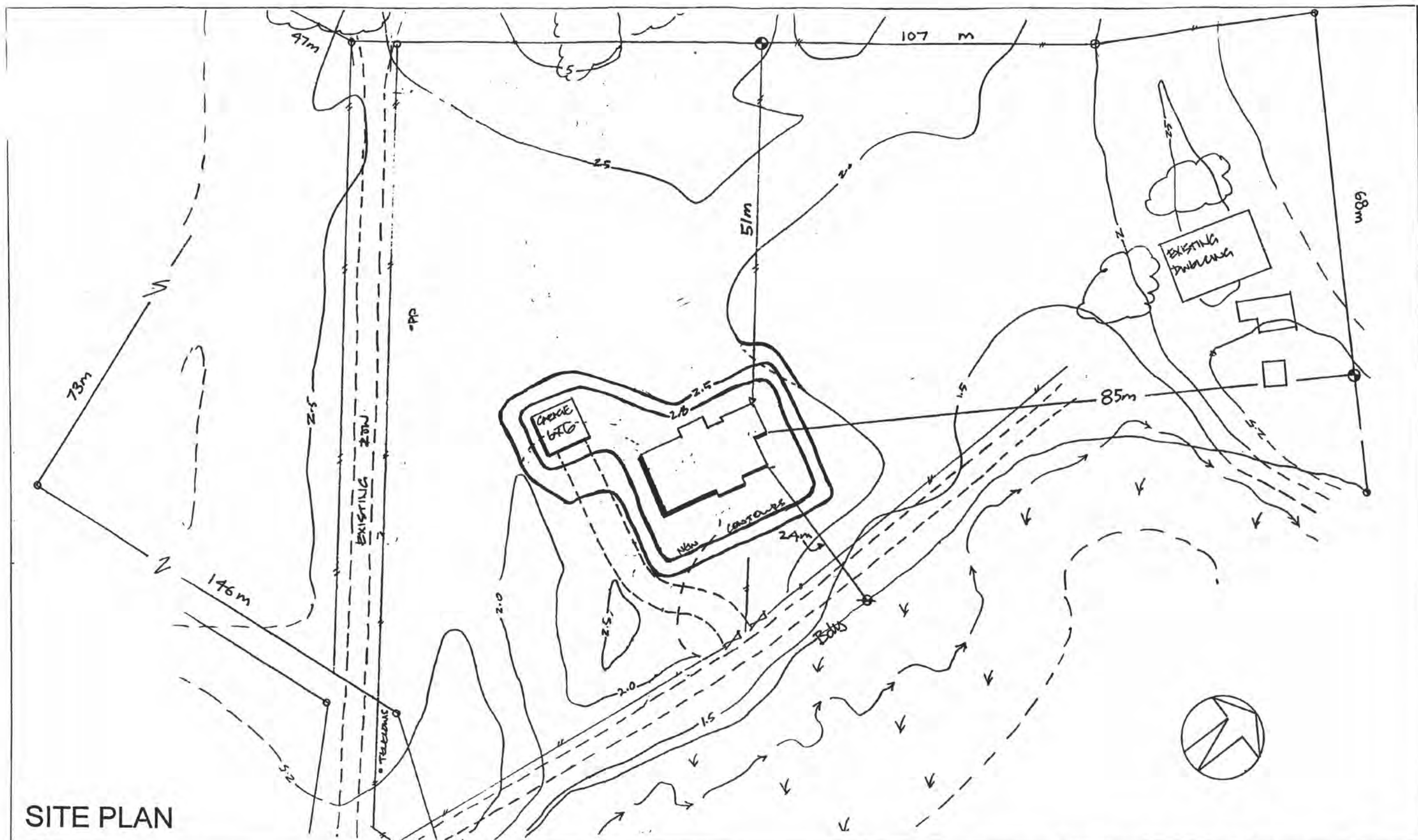


WARNING
The minimum floor level (to the underside of the floor joists) for this proposal is (Q100) 3.25 metres above mean sea level.

**APPROVED
BY PLANNING**
MIKE MAWBY
Officer

LOCALITY PLAN

SCALE 1 : 1000	PROPOSED NEW INITIAL HOME FOR LEO AND KAY GOODMAN 2A OTAIHANGA ROAD PARAPARAUMU LOT 2 DP 56172 AND PART LOT 3 DP 56172	DATE 08 /03/ 2001	PLAN NUMBER	2709 - 1	
TASKMASTER BUILDERS LTD 488 TE MOANA ROAD WAIKANAE P.O.BOX 342 WAIKANAE PH 04 293 2406 FAX 04 293 1279		AMENDMENTS		APPROVED	DATE



SITE PLAN

SCALE 1 : 500

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FAX 04 293 1279

PROPOSED NEW INITIAL HOME FOR
LEO AND KAY GOODMAN
2A OTAIHANGA ROAD
PARAPARAUMU
LOT 2 DP 56172 AND PART LOT 3 DP 56172

DATE 08 /03/ 2001

PLAN NUMBER

2709 - 2

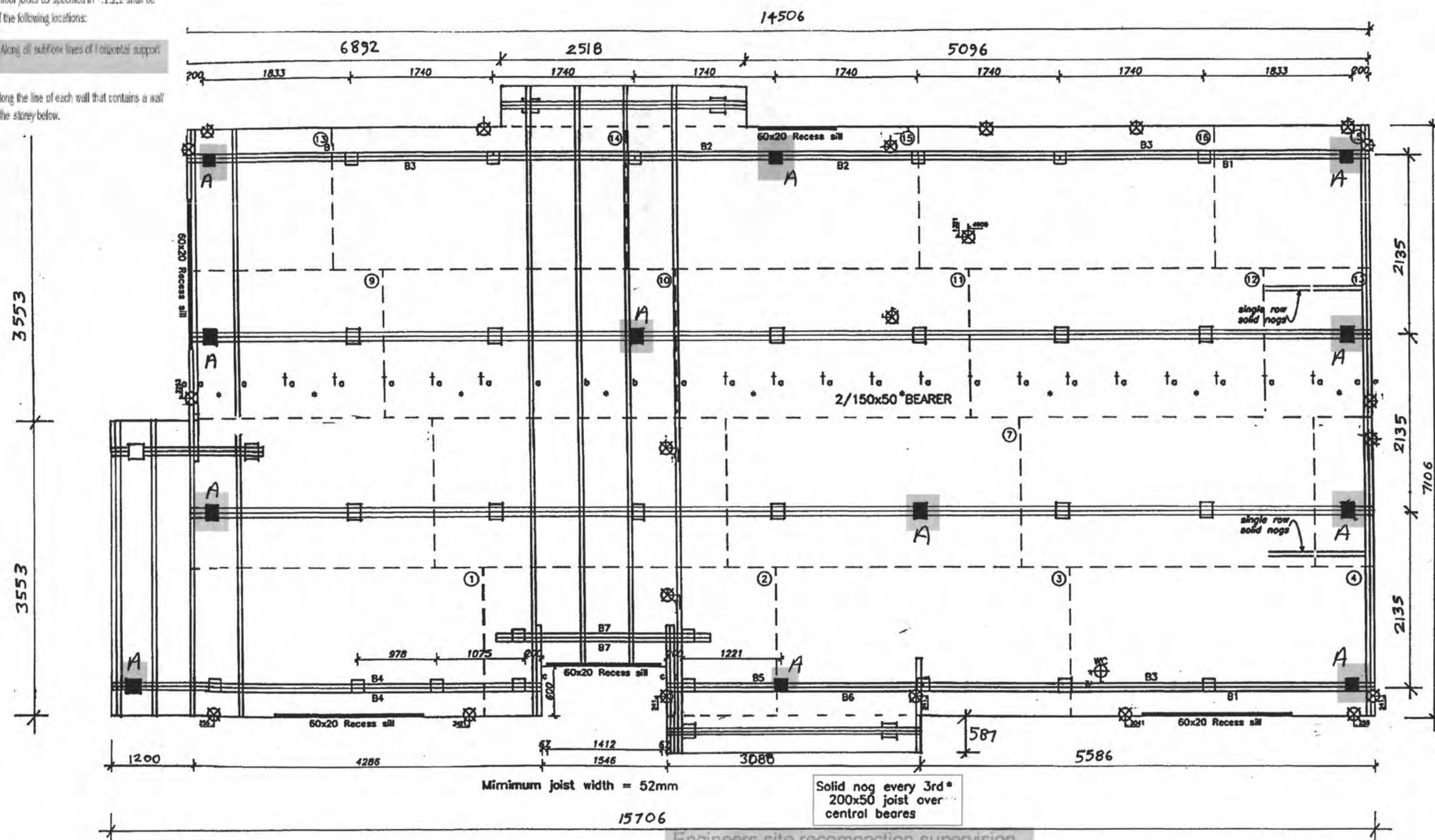
AMENDMENTS

APPROVED

DATE

Lines of lateral support to floor joists as specified in 7.1.2.2 shall be provided within 300 mm of the following locations:

- (b) Other floor joists: Along the line of each wall that contains a wall bracing element in the storey below.



Engineers site recompaction supervision certificate is to be supplied prior to calling for foundation pile inspection.

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PROPOSED NEW INITIAL HOME FOR
LEO AND KAY GOODMAN
2A OTAIHANGA ROAD
PARAPARAUMU
LOT 2 DP 56172 AND PART LOT 3 DP 56172

DATE	08 /03/ 2001
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PLAN NUMBER

2709 - 3

AMENDMENTS

BY BUILDING

PETER WILKINSON
Officer

APPROVED

DATE

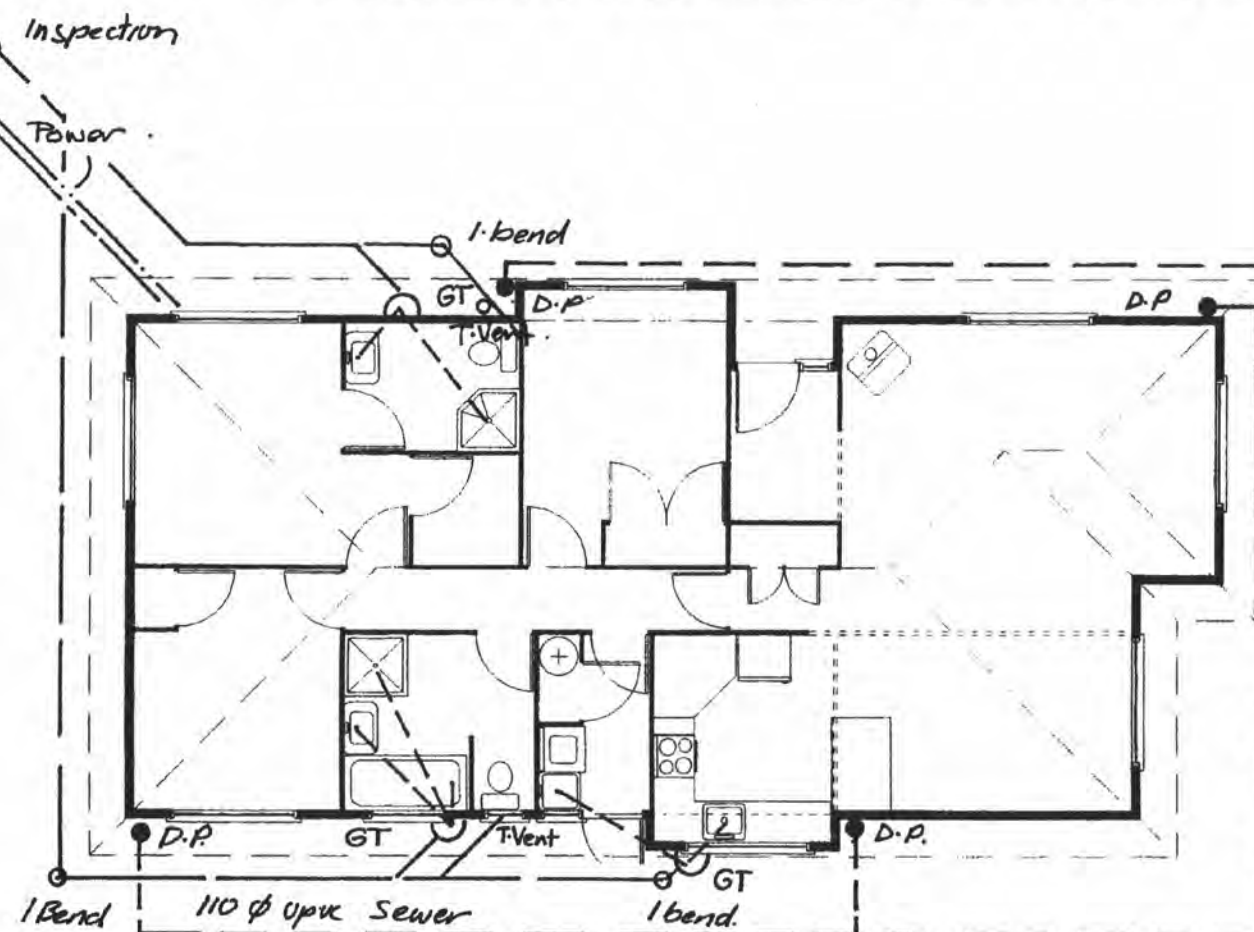
Plans Produced - 4/11/01

25mm O.D. mape
Water from K.C.D.C.
Town supply

To Effluent Field - See Wells Report

Gould G.T. 4500 F.P.

THE ENGINEER IS TO SUPERVISE AND CERTIFY SEPTIC TANK AND EFFLUENT SYSTEM.



APPROVED
BY P & D
SIMON COFF
Officer
4/4/01

DRAINAGE PLAN

SCALE 1 : 100

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PROPOSED NEW INITIAL HOME FOR
LEO AND KAY GOODMAN
2A OTAIHANGA ROAD
PARAPARAUMU
LOT 2 DP 56172 AND PART LOT 3 DP 56172

DATE 08 /03/ 2001

PLAN NUMBER

2709 - 4

AMENDMENTS

APPROVED

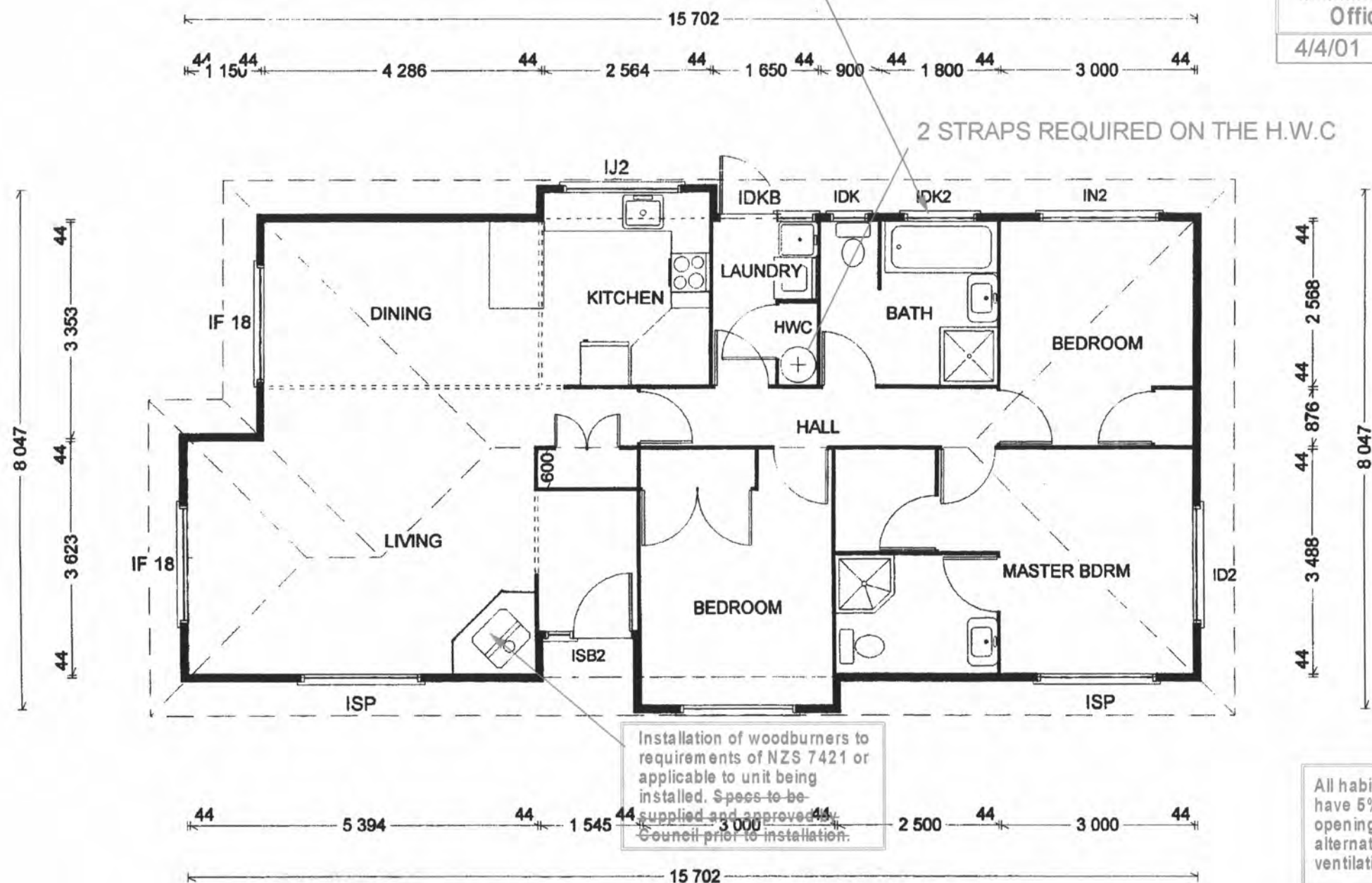
DATE

GLAZING CONFORM NZS 4223
PARTS 1, 2, 3.

FIT SUITABLE FLASHINGS ETC. JOINERY	
HIGH WIND	1100pa DWP
VERY HIGH WIND	1550pa DWP

APPROVED
BY P & D
SIMON COPP
Officer
4/4/01

APPROVED
BY BUILDING
PETER WILKINSON
Officer



Floor Area 112m2

FLOOR PLAN

SCALE 1 : 75

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PROPOSED NEW INITIAL HOME FOR
LEO AND KAY GOODMAN
2A OTAIHANGA ROAD
PARAPARAUMU
LOT 2 DP 56172 AND PART LOT 3 DP 56172

DATE 08 /03/ 2001

PLAN NUMBER

2709 - 5

AMENDMENTS

APPROVED

DATE