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Code Compliance Certificate

Section 95, Building Act 2004

Application

Ms R Heather
29 Hona St
Waikanae Beach 6010

No. 050205
Issue date 25/08/06
Application date 3/03/05

Project

Description	Domestic Fireplaces Being Stage 1 of an intended 1 Stages Instal new Jetmaster 7000 INBUILT fire.
Intended Life	Indefinite, but not less than 50 years
Intended Use	Residential.
Estimated Value	\$2,400
Location	29 HONA STREET, WAIKANAЕ BEACH
Legal Description	LOT 3 DP 19262
Valuation No.	1491046600

This is a final Code Compliance Certificate issued in respect of all the building work under the above building consent.

The property owner must follow and carry out the manufacturers prescribed maintenance procedures.

Signed for and on behalf of the Kapiti Coast District Council:

Name:

A handwritten signature in black ink, consisting of a large, stylized loop at the top and a series of smaller, connected loops and strokes below it, extending across the line for the name.

Date: 30 AUG 2006



SITE CHECK SHEET

NAME: R. Heather
 ADDRESS: 29 Hona St LOT: DP:
 PROJECT: Fire CONSENT NO: 050205

WORK CANNOT PROCEED PAST EACH STEP UNTIL THAT STEP HAS BEEN INSPECTED, APPROVED AND THIS FORM SIGNED BY THE RELEVANT INSPECTOR. WORK APPROVED BY A CERTIFIER REQUIRES A BUILDING CERTIFICATE SUPPLIED BY THE CERTIFIER.

COMPONENT TO BE INSPECTED	INSPECTION REQUIRED (TICK)	INSPECTION		COMMENTS AND/OR RECTIFICATION NOTICE NO	OK TO PROCEED YES/NO	ADDITION INSPECT YES/NO	DATE, SIGNATURE
		CHECK	RECHECK				
FREESTANDING FIRES							
Seismic fixing							
Hearth							
Flue							
Flashing							
Smoke Alarms							
INBUILT FIRES							
Chimney & Flue		✓	✓				
Seismic fixing		✓	✓				
Smoke Alarms		✓	✓				
SWIMMING POOLS							
Fencing							
Gates – Door							
Water Supply							
Backwash disposal							

BUILDING COMPONENTS DEEMED COMPLETED

CERTIFIER	SIGNATURE	DATE	CERTIFIER	SIGNATURE	DATE
Building			Services		
Plumbing			Resource Management		
Drainage			Air Conditioning		
EHO					
Lifts					
Compliance Schedule					

WORK IS NOW DEEMED TO BE COMPLETED. A CODE COMPLIANCE CERTIFICATE WILL BE ISSUED WHERE REQUIRED BY THE BUILDING ACT.

CODE COMPLIANCE CERTIFICATE NUMBER:

[Signature]
Signature

BCO
Designation

24/8/06
Date

WHEN THE PROJECT IS COMPLETED THIS INSPECTION SHEET WILL BE ATTACHED TO THE RELEVANT PROPERTY FILE



27 July, 2006

Ms R Heather
29 Hona St
Waikanae Beach

Dear Sir/Madam

**Re: Building Consent no. 050205
Instal new Jetmaster 7000 INBUILT fire.
29 HONA STREET, WAIKANAЕ BEACH
Issued 3 March 2005**

A check of our records has revealed that we have not to date issued a code compliance certificate for the above project.

You as the owner have an obligation under Section 92 of the Building Act 2004 to advise the territorial authority when the building work has been completed.

If all work in respect of the building consent has been completed, please complete the enclosed form and return it to the Council. A final inspection will then need to be arranged, so that a code compliance certificate can be issued.

Alternatively, if work is not yet completed, please advise accordingly, and provide some indication of when the project is expected to be finalised.

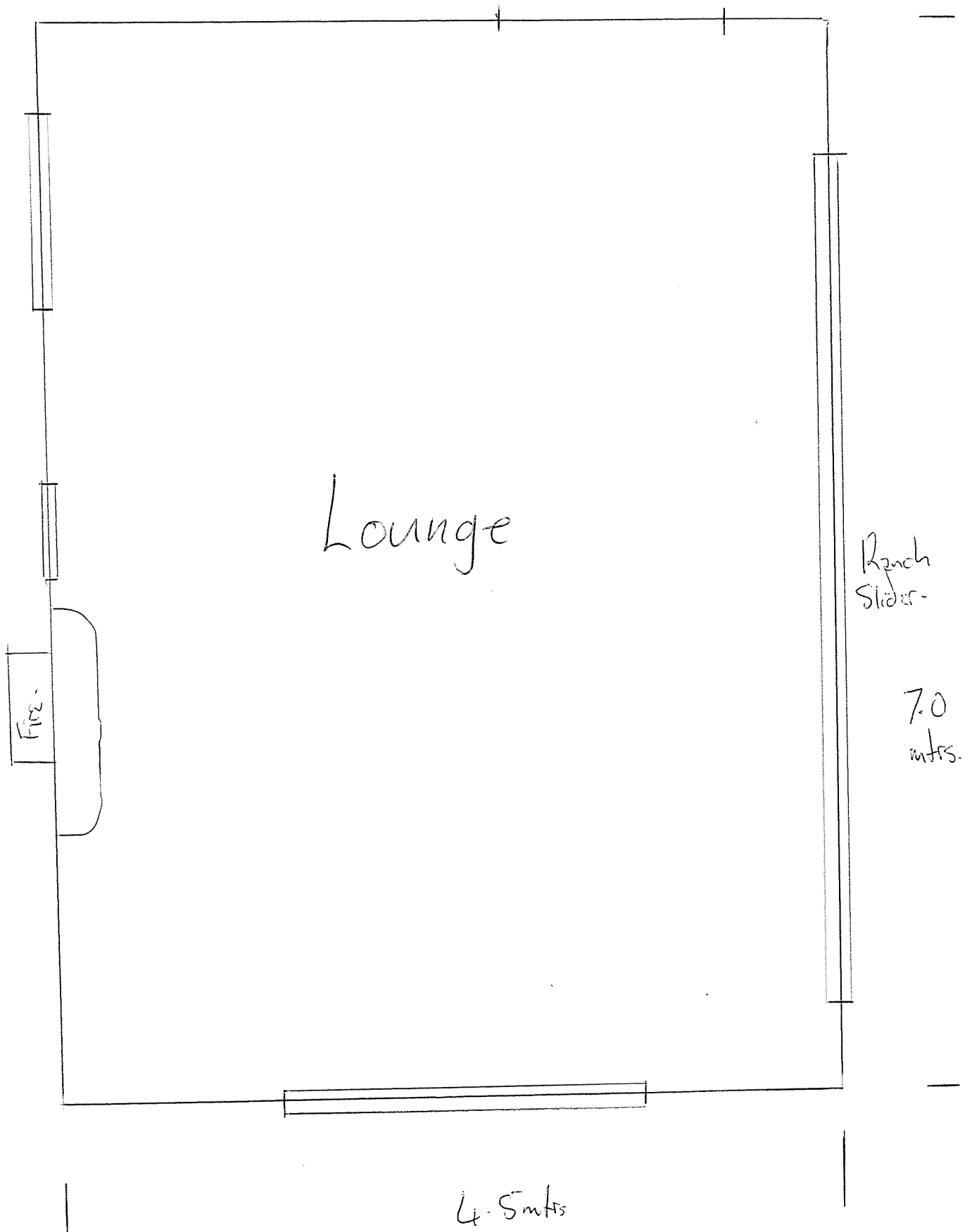
Yours faithfully

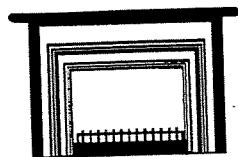
A handwritten signature in cursive script, appearing to read "R Brook".

Russell Brook
Building Control Officer

*Posted
27/7/06*

Floorplan Por : 29 Hanz St





The Fireplace LTD

JETMASTER EXISTING CHIMNEY INSTALLATION INSTRUCTIONS - WOOD / GAS

WOOD INSTALLATION TO COMPLY WITH AS/NZS2918:2001
GAS INSTALLATION TO COMPLY WITH NZS5261:2003

IMPORTANT: Read all instructions carefully before starting installation. Failure to follow these instructions may result in a fire hazard and will void the warranty



Recommendations

1. Always check condition of existing chimney.
2. Always position Jetmaster firebox on finished floor protector (hearth) level. Ensure air intake at base of unit is not obstructed.
3. Always allow 100mm margin from opening of firebox to combustibles. Refer to Fig. 6, 7, 8
4. To remove the damper blade (for cleaning purposes) loosen damper bolts, lift out damper blade.
5. Chimney should to be swept at least once a year.
6. A Building Consent or Producer Statement will be required.
7. A NZHHA approved installer is recommended.

Jetmaster Box Dimensions

Table 1. Solid Fuel Box Dimensions

MODEL	A	A1	B	C	D
440	440	540	320	610	590
500	500	600	350	650	630
600	600	700	350	650	630
600 L	600	700	350	600	580
700 SH	700	800	350	650	630
700 SH L	700	800	350	600	580
700 D	700	800	400	700	680
850	850	950	450	750	730
850 L	850	950	450	700	680
1050	1050	1150	500	800	780
1050 LL	1050	1150	500	700	680

Dimensions in mm

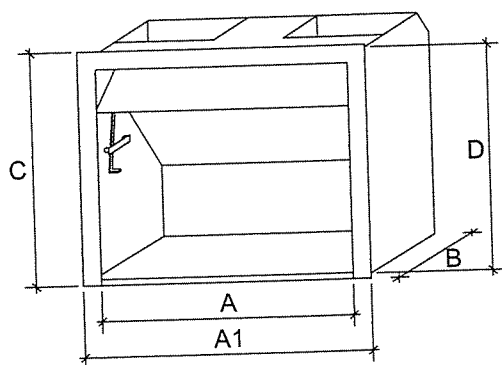


Table 2. Gas Convector Box Dimensions

MODEL	A	A1	B	C	D
550	550	650	320	650	630
700	700	800	320	650	630
850	850	950	320	650	630
1050	1050	1150	375	680	660

Dimensions in mm

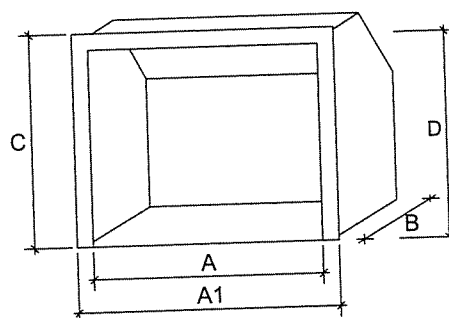


Table 3. Gas Tray - MJ/Hr Ratings

MODEL	NG	LPG
550 DLX	40	34
700 DLX	65	55
850 DLX	65	60
550 SFB	40	34
700 SFB	45	38
850 SFB	50	43
1050 SFB	75	64

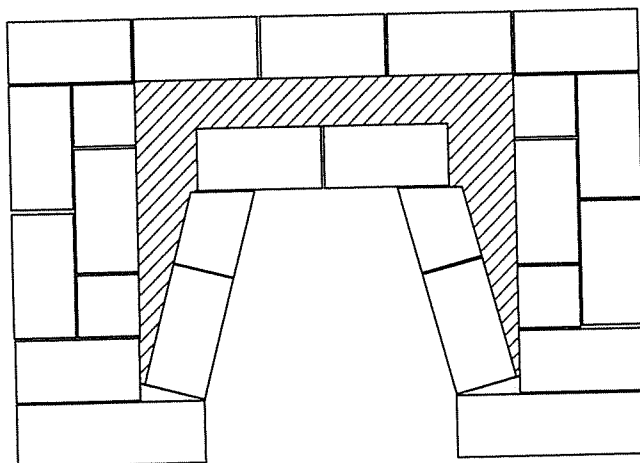
General Instructions

1. Sweep existing Chimney.
2. Check chimney for structural stability.
3. Measure width, depth and height of opening to determine model required.
4. Remove firebricks if required.
5. Measure Floor Protector (Hearth) and alter if necessary. Refer to Table 4.
6. Gas Installations Only - Run gas line to fire location. Refer to Table 3 for MJ/Hr ratings. Drill hole in convector box for Gas Line.
7. Height of opening increased or decreased to suit unit. Use 70 x 100mm steel bar and brickwork for lintel. Use brickwork and or cement mortar for side and rear infill if required.
8. All gaps around the Jetmaster to be fully packed with Rock Wool (supplied) by removing damper blade for access.
9. Fit Jetmaster into opening. Seal around opening of Jetmaster to be air-tight.
10. Replace damper blade once finished.
11. It is recommended to fit an appropriate cowl (e.g: A.D.D Cowl) to top of chimney. Please note: the Jetmaster Warranty does not cover material defects caused by rust.
12. Ensure smoke ports are not impeded in any way whatsoever.
13. Ensure the chimney opening directly above the smoke ducts has built in gather to assist smoke exhaust gas flow.

Plan View - Step 1

Fig. 1

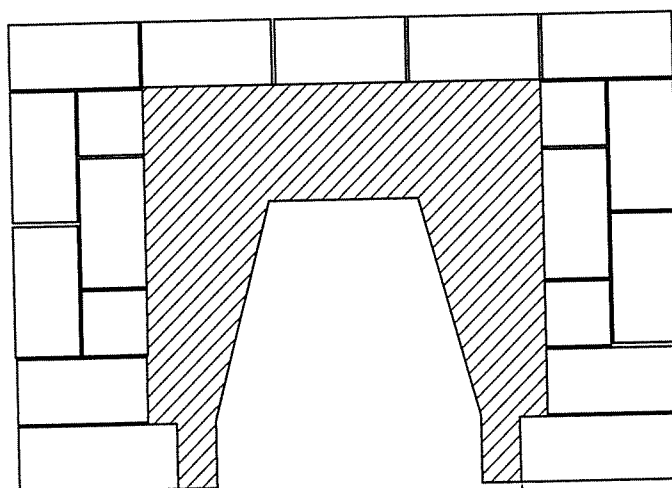
Drawing Not To Scale



Plan View - Step 2

Fig. 2

Drawing Not To Scale

Solid bricks and/or
Hebel block plastered
or glue together

mortar



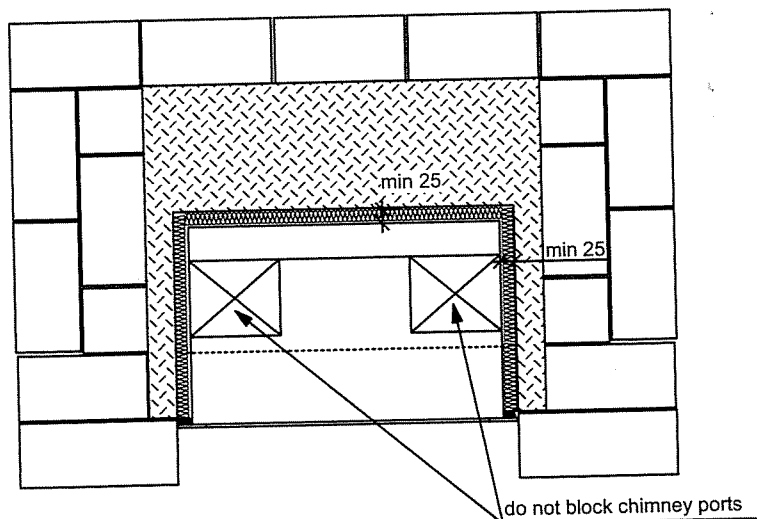
demolish and clean

opening width maybe increased to suit

Plan View - Step 3

Fig. 3

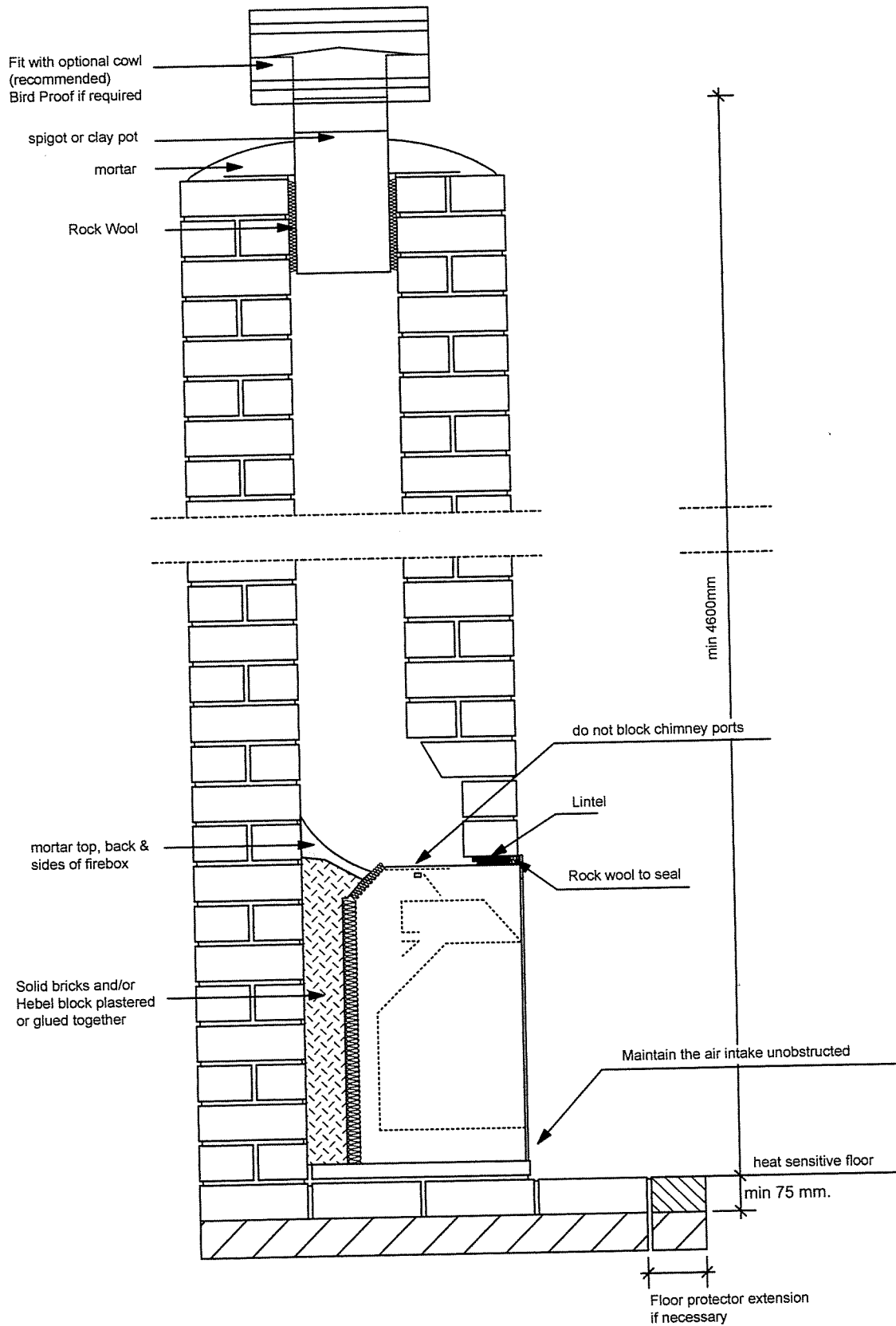
Drawing Not To Scale



do not block chimney ports

Tested to AS/NZS 2918:2001 Appendix E

Fig. 4



Drawing Not To Scale

Minimum Floor Protector

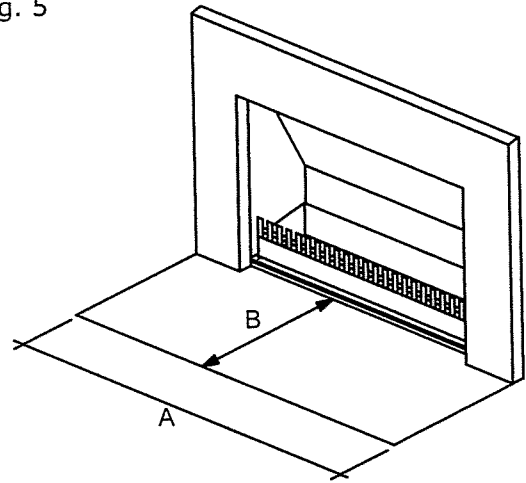
1.R.1E

Table 4.

MODEL	A	B	Min. Depth*
Solid Fuel Models			
440U	840	300	75
500U	900	300	75
600U	1000	300	75
600 Low	1000	300	75
700 SH	1100	400	75
700 SH Low	1100	400	75
700D	1100	400	75
850U	1250	450	75
850 Low	1250	450	75
1050	1450	600	75
1050 Low Low	1450	600	75
Gas Models			
550	950	300	-
700	1100	300	-
850	1250	300	-
1050	1450	300	-

Dimensions in mm

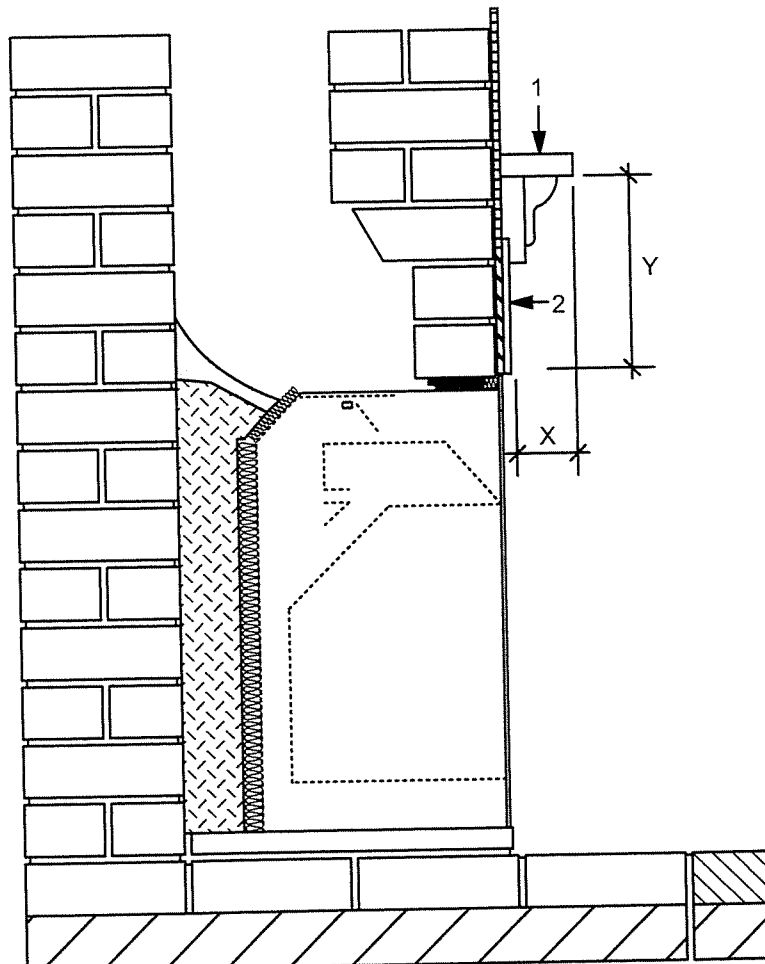
Fig. 5



* A minimum 75mm thickness refers only to Hebel Block.
Minimum 100mm thickness required if poured concrete

Clearances to Combustible Mantels

Fig 6.



Notes:

1. Mantel / Surround
2. Tile or margin facing (non combustible material)

X = see Fig. 7

Y = See Fig. 7

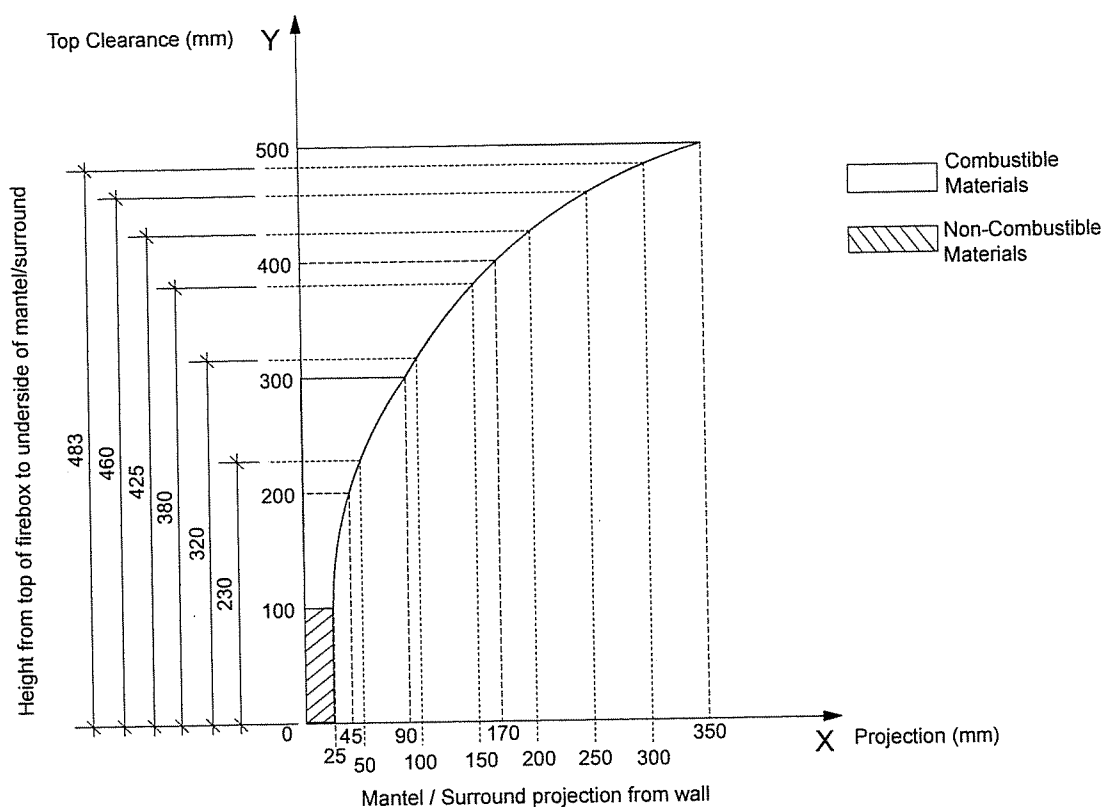
Refer to Fig. 8 for Side Clearances

Drawing Not To Scale

Clearances to Combustible Mantels

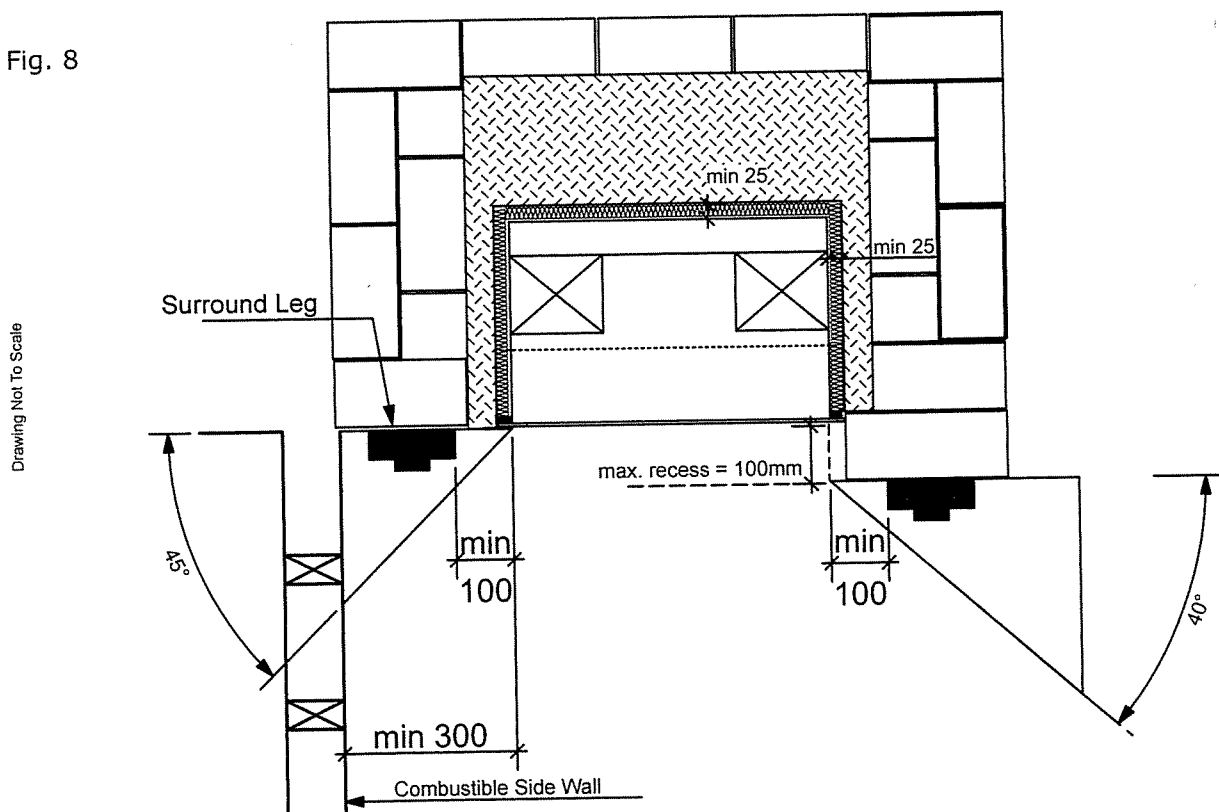
1.R.1F

Fig. 7



Clearances to Combustible Mantels

Fig. 8



Note: Always allow 100mm margin from opening of firebox to combustibles.
 Adjacent combustible side walls must be located a minimum 300mm from the fireplace opening.

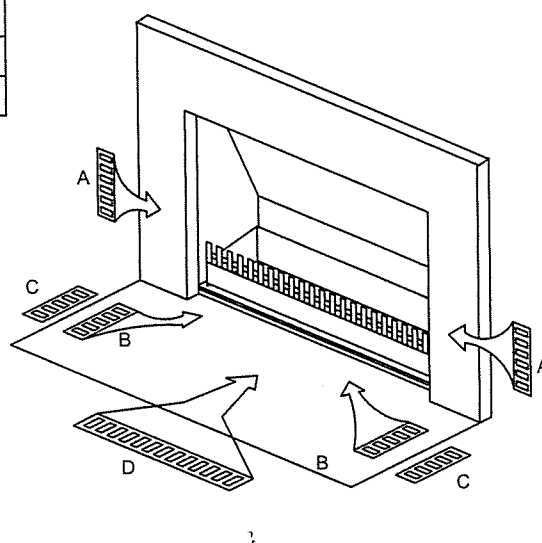
The Fireplace Ltd recommends that allowances are made for air replacement vents to be located near the fireplace, to aid combustion and reduce the insistence of back venting. Refer to Table 5. for air vent sizing and suggested location. Fig. 9 - Location points A,B,C,D are suggested combinations. A minimum of **one pair** of air vents is recommended or one large vent, as per location point D.

Note: Allowance to be made for minimum 2 x 80mm dia. PVC inlet ducts from outside to internal vent location.

Table 5.

MODEL	MINIMUM VENT SIZE (x2)	
	Square Design (L x H)*	Rectangle Design (L x H)*
440 - 700	100 x 100	200 x 50
850	125 x 100	250 x 50

Fig. 9



WARNINGS:

WARNING: THE APPLIANCE AND FLUE SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH AS/NZS2918 AND THE APPROPRIATE REQUIREMENTS OF THE RELEVANT BUILDING CODE OR CODES.

WARNING: APPLIANCES INSTALLED IN ACCORDANCE WITH THIS STANDARD SHALL COMPLY WITH THE REQUIREMENTS OF AS/NZS4013 WHERE REQUIRED BY THE REGULATORY AUTHORITY, I.E. THE APPLIANCE SHALL BE IDENTIFIABLE BY A COMPLIANCE PLATE WITH THE MARKING 'TESTED TO AS/NZS4013'.

ANY MODIFICATION OF THE APPLIANCE THAT HAS NOT BEEN APPROVED IN WRITING BY THE TESTING AUTHORITY IS CONSIDERED TO BE IN BREACH OF THE APPROVAL GRANTED FOR COMPLIANCE WITH AS/NZS4013.

CAUTION: MIXING OF APPLIANCE OR FLUE SYSTEM COMPONENTS FROM DIFFERENT SOURCES OR MODIFYING THE DIMENSIONAL SPECIFICATION OF COMPONENTS MAY RESULT IN HAZARDOUS CONDITIONS. WHERE SUCH ACTION IS CONSIDERED, THE MANUFACTURER SHOULD BE CONSULTED IN THE FIRST INSTANCE.

CAUTIONS: CRACKED AND BROKEN COMPONENTS, e.g. GLASS PANELS OR CERAMIC TILES, MAY RENDER THE INSTALLATION UNSAFE.

WARNING: ANY MODIFICATION OF THE APPLIANCE THAT HAS NOT BEEN APPROVED IN WRITING BY THE TESTING AUTHORITY IS CONSIDERED AS BREACHING AS/NZS4013.

WARNING: DO NOT USE FLAMMABLE LIQUIDS OR AEROSOLS TO START OR REKINDLE THE FIRE.

WARNING: DO NOT USE FLAMMABLE LIQUIDS OR AEROSOLS IN THE VICINITY OF THIS APPLIANCE WHEN ITS OPERATING.

WARNING: DO NOT STORE FUEL WITHIN HEATER INSTALLATION CLEARANCES.

WARNING: WHEN OPERATING THIS APPLIANCE AS AN OPEN FIRE USE A FIRE SCREEN.

CAUTION: THIS APPLIANCE SHOULD BE MAINTAINED AND OPERATED AT ALL TIMES IN ACCORDANCE WITH THESE INSTRUCTIONS.

CAUTION: THE USE OF SOME TYPES OF PRESERVATIVE-TREATED WOOD AS A FUEL CAN BE HAZARDOUS.

• Auckland	12 Tawari St, Mt Eden	Ph: 09 623 6990	Fax: 09 623 6994
• Hamilton	Cnr Alexandra & Hood St	Ph: 07 839 7146	Fax: 07 839 7143
• Wellington	133 Thorndon Quay	Ph: 04 473 7207	Fax: 04 473 7213
• Christchurch	54 Mandeville St	Ph: 03 348 8011	Fax: 03 348 8023
• Dunedin	477 Princes St	Ph: 03 479 0041	Fax: 03 479 0042

Guide for Completing an Application for Code Compliance Certificate

An application for a Code Compliance Certificate is made under the Building Act 2004 and the content of the application form is set by regulation. This guidance document aims to assist you in completing the application form correctly. If a specific section does not apply please strike through the applicable line or write N/A (not applicable).

Section	Guidance Comments
The Building Consent	You should show the correct BC number and ensure the consent has been issued by KCDC
The Owner	Ensure all contacts details are given-name address and phone number are the minimum requirements
Evidence of ownership	Where ownership has changed since the BC application was lodged a recent copy of the CT (or sale & purchase agreement) must be supplied. Where ownership has not changed other evidence will be accepted e.g. rates demand or a signed statement that the ownership has not changed.
Agent	Name & contact details required if applicant is not the owner.
First point of contact	Name & contact details required if different from owner or agent
Application	Completion date must be provided.
Personnel who carried out work.	For each relevant space you must enter name, address, contact numbers, product name and manufacturer. Registration numbers must be given, if available e.g. plumbers, drainlayers, gas fitters, electricians.
Compliance Schedule	Form must indicate either • That there are no specified systems, or, • The specified systems that are present
Code Compliance Certificate to be sent to	Name and address required. Note this could be a person not already named as owner or agent.
Signature	All application must be signed and dated by owner or agent.
Attachments	Indicate if there are documents to be attached to application. <i>See over page for explanation</i>

Guidance on Attachments to accompany Application for Code Compliance Certificate

Attachment	Explanation of Requirement
Certificate of Title (CT)	CT required if ownership has changed since the issue of BC, or alternatively , copy of sale & purchase agreement
Changes/Variations	Copy of any Changes/Variations that have not been approved or provided previously
Energy Certificates	Copies of electrical and gas certificates if applicable
Service plans	As built drainage plans. Sewer, stormwater, water supply
Roofing	Warranties covering both product and installation
Deck membranes	Warranties covering both product and installation
Specialist exterior wall claddings	Warranties covering both product and installation
Concealed spouting/gutter systems	Warranties covering both product and installation
Other specialist membranes e.g. block / concrete retaining walls	Warranties covering both product and installation
Specific design components e.g. fire, structural engineer	Construction reports e.g. PS4's
Solid fuel heaters	Installers check sheet completed

Tips for preparing for Code Compliance Certificate Inspection

1	All previously required inspection have been completed
2	All work detailed on Building Consent must be completed. (No interim CCC,s)
3	All exterior coatings must be completed including painting of soffits
4	Hot water services must be on and up to temperature
5	All service room walls and floors to be sealed (impervious to moisture and capable of being easily cleaned
6	Stormwater to be in place and connected
7	Landscaping either completed or provisions made to achieve minimum floor levels and cladding clearances
8	Responsible person to be on site at time of inspection and Consent documents available
9	Smoke Detectors in place
10	Vehicle crossing installed.
11	Any damage to footpath, curb or grass berm repaired or replaced

Building Consent

Section 35, Building Act 1991

Application

Ms R Heather	No.	050205
29 Hona St	Issue date	3/03/05
Waikanae Beach 6010	Application date	

Project

Description	Domestic Fireplaces Being Stage 1 of an intended 1 Stages Instal new Jetmaster 7000 INBUILT fire.
Intended Life	Indefinite, but not less than 50 years
Intended Use	Residential.
Estimated Value	\$24,000
Location	29 HONA STREET, WAIKANAЕ BEACH
Legal Description	LOT 3 DP 19262
Valuation No.	1491046600

Builder: Javan Brown

Charges

The Council's charges paid on uplifting this Building Consent, in accordance with the attached details are:

	\$	110.00
Building Research Levy	\$	24.00
Department of Building & Housing Levy	\$	15.60
Total	\$	149.60

This building consent is a consent under the Building Act 1991 to undertake building work in accordance with the attached plans and specifications so as to comply with the provisions of the building code. It is not a consent under the Resource Management Act and does not affect any duty or responsibility under any other Act nor permit any breach of any other Act.

Signed for and on behalf of the Council:

Name:

Adrian

Date:

PART B : BUILDING DETAILS*(Complete Part B in all cases)***This application is accompanied by (tick each applicable box, attach relevant documents in duplicate):**

- ☐ The drawings, specifications and other documents according to which the building is proposed to be constructed to comply with the provisions of the building code, with supporting documents, if any, including:
- ☐ Building certificates
 - ☐ Producer statements
 - ☐ References to accreditation certificates issued by the Building Industry Authority
 - ☐ References to determinations issued by the Building Industry Authority
- ☐ Proposed procedures, if any, for inspection during construction

PART C : PROJECT DETAILS*(Complete Part C only if you have not applied separately for a project information memorandum)*

- ☐ Location, in relation to legal boundaries, and external dimensions of new, relocated, or altered buildings
- ☐ New provisions to be made for vehicular access, including parking
- ☐ Provisions to be made in building over or adjacent to any road or public place
- ☐ New provisions to be made for disposing of stormwater and wastewater
- ☐ Precautions to be taken where building work is to take place over existing drains or sewers or in close proximity to wells or watermain
- ☐ New connections to public utilities
- ☐ Provisions to be made in any demolition work for the protection of the public, suppression of dust, disposal of debris, disconnection from public utilities and suppression of noise
- ☐ Any cultural heritage significance of the building or building site, including whether it is on a marae

PART D : KEY PERSONNEL

Designer(s): _____

Building Certifier(s): _____

Builder/s: _____

Registered Drainlayer: _____ REG NO: _____

Craftsman Plumber: _____ REG NO: _____

Other: Loghrie Installer - Javen Beeson**PLEASE NOTE**

The information provided in support of this application is public and as such is freely available on request. However under Section 27(3) of the Building Act 1991 you may for security and/or copyright reasons request the plans and specifications pertaining to this application be marked as confidential by completing the following section.

CONFIDENTIALITY	SIZE OF BUILDING
Plans and Specifications I/We require that my/our: 1. ☐ plans 2. ☐ specifications be treated as confidential in order to protect either: 3. ☐ the security of the building; and/or 4. ☐ the copyright Signed: _____	Floor area m ²
	No of stories
	No of Units

Signed for and on behalf of the Applicant:

Name: LoghriePosition: Loghrie Installer Date: 02/03/05**FOR OFFICE USE ONLY**

FEEs	APPLICATION DEPOSIT
Building \$.....	\$110
Sewer Connection \$.....	RECEIPT NO DATE.....
Water Connection \$.....	108615 3 Mar 05
Vehicle Crossing \$.....	INVOICE NO DATE.....
Damage Deposit \$.....	
Structural Checking \$.....	RECEIPT NO DATE.....
Building Research Levy \$.....	
Development Levy \$.....	FEEs PAID BY:
BIA Levy \$.....	A&J van Beers Ltd.
Compliance Schedule \$.....	
Digital Storage Fee \$.....	BUILDING CONSENT DATE ISSUED
Certificate of Title Charge \$.....	NUMBER
Photocopying \$.....	050205 3 Mar 05
SUBTOTAL \$.....	AUTHORISATION FOR REFUND OF DEPOSIT
Less Deposit Paid \$.....	Deposit held = \$.....
TOTAL \$.....	Cost to Repair Damage Caused During Construction = \$.....
GST INCLUDED \$.....	Total Balance to be Refunded
	Authority Number:
	Authorised: DATE:

GST 51-860-608

Received with thanks by 49/01
KAPITI COAST DISTRICT COUNCIL

3-03-05 15:11 Receipt no. 100015

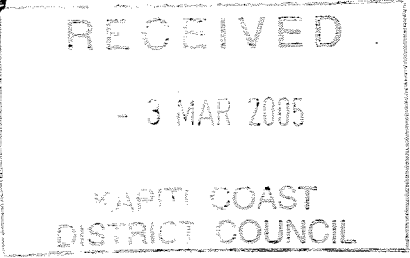
COPY *COPY* *COPY*
DR BC050205 HEATHER R 110.00-
Ms R Heather::29 Hona St:Waikanae Beach
CQ N
A&J VAN BEERS LTD 110.00

FOR COUNCIL USE:

DEPARTMENT	TICK FOR REFERRAL	COMMENTS	APPROVING OFFICER/ DATE
Resource Consents			
Plumbing and Drainage			
Building			
Fire Design			
Compliance Schedule			
Structural			
Hazardous Substances			
Environmental Health			
Site- Foopath & Entrance Conditions		Ground	
NOTES:			



175 Rimu Road
Private Bag 601
Paraparaumu
Phone: [04] 9045700
Fax [04] 9045830



External cladding (tick all relevant boxes)	
Brick	
Concrete	
Concrete Block	
Cement Board – Fibre	
Plaster	
Timber	
Steel	
Aluminium	
EIFS (polystyrene)	
Other	

APPLICATION FOR BUILDING CONSENT
Section 33, Building Act 1991

To: Kapiti Coast District Council [Tick each applicable box and attach relevant documents] App. No. 050205

ANTICIPATED COMMENCEMENT DATE: _____ FINISH DATE: _____

PART A : GENERAL

[Complete Part A in all Cases – Refer over for Part B, C and D, sign and date]

APPLICANT	PROJECT
Owner Name: <u>Rhonda Heather</u>	New or Relocated Building ☐
Mailing Address: <u>29 Hong St</u> <u>Weihauer Bch</u>	Alterations or Additions ☐
Contact Name: <u>JAVAN BLAN</u>	Accessory Building or Fire ☒
Phone: Wk: <u>2961108</u> Hm: _____	Building demolition or Removal ☐
Cellphone No: _____	Intended use, e.g Dwelling, Carport, Garage etc <u>Heating Timber - 7000 INBULK</u>
Fax: _____	Being stage _____ of an intended _____ stages.
*Under section 33 of the Building Act 1991, the applicant must be the owner of the land on which building work is contemplated or a person who or which has agreed in writing, whether conditionally or unconditionally, to purchase the land or any leasehold estate or interest in the land, or to take a lease of the land, while the agreement remains in force.	Estimated value (inclusive of GST) \$ <u>2400</u>
FOR COUNCIL USE	Intended life: (of building) Indefinite but not less than 50 years Specified as _____ years
Received: _____/_____/_____ Application Fee: \$ _____ Receipt No: _____ Balance of Fees: \$ _____ Receipt No: _____ Date: _____/_____/_____ NOTE: Balance of fees are payable on consent approval	PROJECT LOCATION Street Address (if any) <u>29 Hong St</u> <u>Weihauer Bch</u> Legal description (as shown on certificate of title rates notice, if any) Lot _____ DP _____ Valuation No. <u>1491046600</u>
This application is for: ☐ Building Consent only, in accordance with Project Information Memorandum ☐ Both Building Consent and a Project Information Memorandum	

State of Progress.	Date.	Initials.	Remarks.
Building Application Received.	2/9/60	JMB	
Drainage Application Received.			Plumbers not yet decided
Site inspected & approved	2/9/60	JMB	
Building Application under action			
Drainage Application under action			
Miscellaneous			
HCC/B8 (Fees) Posted	Paid cheque.		
Building Permit authorised	5/9/60	JMB	
Drainage Permit authorised			

- - S P E C I F I C A T I O N - -

OF THE MATERIALS TO BE USED AND THE WORK TO BE DONE IN THE CONSTRUCTION
OF A RESIDENCE AT HONA STREET & HUIAWA STREET, WAIKANAE. FOR:-

Mr. G.T.S. GUNDERSEN.

GENERAL.

The residence is of timber frame construction, supported on reinforced concrete foundations, covered on the exterior walls with weatherboards and on the roof with corrugated galvanised iron.

The whole of the work shall be carried out in the latest trade practice in accordance, either shown or implied, by this Specification and the accompanying plan and in compliance with the Horowhenua County Council bylaws.

The materials used shall be the best of their respective kind and class, to the full sizes specified with the usual trade allowance for machining and dressing of timbers.

The Contractor shall effect insurance against claims under the "Worker's Compensation Act" and against damage from fire on any of the plant or materials on the site.

The Contractor shall obtain all permits, pay all fees and give all necessary notice to the relevant authorities.

The final positions and heights of heating and lighting points, and heaters shall be referred to the owner before fixing in position.

The levels shown are approximately correct, but the Contractor is advised to visit the site and confirm the ground contours etc.

The position of the site shall be pegged out and such position approved by the Owner before any construction work is commenced.

An approved tubular steel revolving clothes line shall be supplied set into ground with concrete in a position indicated by Owner. A 2'-6" wide by 3" thick concrete path shall be layed from back terrace to clothes line.

Wooden Trellis shall be erected to Owner's direction.

Upon completion of work, the Contractor will be required to clean up the site making good any damage to existing structure or facilities necessitated by the requirements of this specification and shall leave the job with all items specified in good order to the satisfaction of the Owner.

CONCRETE:

The foundation walls, piles, terraces, garage floor, steps, chimney foundations and septic tank shall be constructed of concrete composed of one part cement to six parts best quality "Builders Mix" and mixed with clean water. The boxing shall be well strutted and tied and the footings shall be excavated before any concrete is poured. The $\frac{1}{2}$ " dia. bolts spaced at 4'-6" centres and formers for precast concrete vents, shall be placed in position in boxing before any concrete is poured.

The foundation walls shall be 5" thick with 12" x 6" footings carried down at least 12" into the original solid ground. The walls shall be reinforced with one $\frac{3}{8}$ " rod near top of footings with two $\frac{1}{2}$ " rods all accurately bent at corners and lapped 40 diameters at junctions.

POWER POINTS:

Supply and fit 7 Only flush power points.

All Electric fitting positions indicated on plan are approx. only for final position and heights shall be referred to Owner before fixing.

PAINTER:

GENERAL:

All woodwork and ironwork etc. inside and out shall be painted three coats of best quality paint and all colours and wall papers shall be to Owner's selection.

Allow price of 12/6d per roll for papers.

All paint etc. shall be brought on to the site in unbroken containers and no paint shall be mixed inside the residence. Any paint spilled during operations shall be immediately wiped up and all stains removed. All fibrous plaster shall be sealed with size before the application further treatments.

Any paintwork damaged from frost, dust, rain etc., shall be entirely rubbed down and completely recoated.

All exterior and exposed woodwork shall be primed on all faces before erection with a primer composed of equal parts of red and white lead mixed with linseed oil.

The piles shall be 8" x 8", carried down at least 18" into solid, grouted into position with stiff concrete and provided with two strands of No.10 galv. wire.

The chimney foundation shall be not less than 9" thick, carried down at solid as for wall footings and reinforced with $\frac{3}{8}$ " rods at 9" centres each way. Starter rods for chimney reinforcement shall be built in and shall project not less than 40 diameters. The terraces shall be 4" thick and shall be carried on 4" thick wing walls, all reinforced with $\frac{1}{4}$ " rods at 12" centres each way.

The steps shall be cast with a slight outward fall and no tread shall be less than 10" wide and no tread greater than 7" high.

The chimney shall be precast concrete unit, reinforced from foundations to top.

The septic tank shall be a two-chamber type with all inside faces plastered smooth with one to one cement plaster. Finish tank with a 3" thick concrete cover reinforced with $\frac{1}{4}$ " rods at 12" centres each way. The adjacent soak pit shall be finished with a similar cover.

PLASTER: All exposed concrete work shall be finished with 3 to 1 cement plaster tints and texture to Owner's selection.

FIREPLACE: The fireplace shall be finished in tiles in design and finish to Owner's approval.
The back and sides of firebox opening shall be lined with firebrick and hobs shall be formed of firebrick set on edge.
A "Firemaster" fire shall be installed in opening to the manufacturers specifications.
Single bar electric heaters shall be incorporated in tile surround, one each side of fire-place.

- CARPENTER & JOINERY -

TIMBER SCHEDULE:

Building Heart Rimu or Tanalised Matai.

Sleepers	4" x 3"
Floor Joists	5" x 2"
Foundation Plates	4" x 2"
Flooring	6" x 1"
Weatherboard	6" x 1"
Window Frames	6" x $1\frac{1}{2}$ "
Exterior Door Frames	6" x $1\frac{1}{2}$ "
Fascia	9" x 1"

O.B. Rimu:

Plates	}	4" x 2"
Studs		
Ceiling Joists		
Rafters		
Roof Struts		
Ceiling Hangers		

Collar Ties	6" x 1"
Dwangs	4" x 1½" & 3" x 2"
Diagonal Bracing	3" x 2"
Ridges, Hips and Valleys	8" x 1"
Eaves Framing	2" x 2"
Purlins	3" x 2"

All other interior timbers not otherwise specified.

FRAMING:

The framing shall be erected square and plumb and shall be securely bolted and wired to foundations.
A layer of heavy quality malthoid shall be placed on top of all concrete before timber members are fixed in position.
The sleepers fixing wires shall be secured with No. 10g. galv. staples and the floor joists shall be gauged level, spaced at 18" crs. and double nailed to each sleeper intersection.
Trimmer joists shall be fitted at all openings, etc., studs shall be placed at 18" crs. with double studs at all corners and intersections with 4" x 3" studs at doorways.
All walls shall be fitted with three rows of dwangs, accurately cut between studs and set, as nearly as possible, at 45° to plates.
The ceiling joists shall be spaced at not more than 18" crs. and shall be dwanged at every 3'-0" with 3" x 2" to take ceilings. All main ceilings shall be stiffened and straightened by fitting ceiling hangers.
The roof access manhole shall be trimmed near entrance to Bathroom.
The roof shall be framed up as shown with rafters pitched at 20° spaced at 18" crs. birdsmouthed over plates and extended to give 2' eaves.
The roof shall be well strutted off bearing walls and rafters shall be tied at every 4'-6" with 6" x 1" collar ties.
Door and window lintels shall be to the full thickness of studs and shall be of a depth in inches equal to the span of opening in feet.
All lintels shall be checked into studs. The eaves shall be boxed level and lined with flat Asbestos sheet.

ROOF:

The purlins shall be covered with galv. wire netting, building paper and with 26 g. corrugated Galv. iron roofing lapped 9" at ends with two corrugation side laps.
The valleys shall be lined with 24g. galv. iron.
The ridging and flashing etc., shall be 24g. galv. iron.
All laps etc., shall be painted before fixing.
All gutters and down pipes shall be 24g Galv. iron.

EXTERIOR:

The exterior framing shall be covered with best quality building paper, well lapped at joints and secured with galv. clouts.
The whole of the exterior walls shall be covered with bevel backed weatherboards laid to gauge and accurately mitred at corners.
The weatherboards shall be bored for nailing. Facings from 4" x 1" shall be completed with scribes and fillets. All window and exterior door heads shall be flashed with 26g. copper, fixed with flat head copper nails and neatly dressed down over facings.
The window frames shall be rebated and weathered and mullions shall be from 4" x 3", weathered and rebated and both shall be housed to heart Matai double sunk, throated sills.
The Bathroom and W.C. shall be glazed with approved obscure glass. All other sashes with best quality sheet glass.
All windows shall be complete with chrome plated casement stays and fasteners.
All hardware shall be to the Owners approval.

PLUMBER AND DRAINLAYER:

GENERAL: The whole of the sanitary work shall be carried out in strict accordance with the requirements of the Drainage Regulations of the Horowhenua County Council and shall be run as shown on drainage plan. All drains shall be laid in 4" E.W. socketted pipes and all joints made with cement compo. Gully traps shall be provided with dished concrete kerbs, plastered smooth with 2 to 1 cement plaster. All water piping shall be 19g. hard drawn copper and piping carrying hot water shall be heavily lagged with hair felt held in place with copper wire. A shower shall be fitted over bath. All fitments shall be complete with Chrome plated gratings, stays and chains and with rubber plugs and all interior taps shall be streamlined chrome plated with 3" extension taps over bath and sink. Taps shall be marked "Hot and Cold" to appropriate places. The exterior taps shall be heavy brass and shall be complete with screwed ruffs for hose connections.

COLD WATER: Connect to the street supply and run $\frac{3}{4}$ " service to the roof supply tank and $\frac{1}{2}$ " branches to sink, washing machine, W.C. cistern, basin, bath, shower and to two stand pipes on the outside of residence. Supply and fit a 50 gallon copper supply tank complete with lid and standing on a tray having 2" upstands and over-flow pipe carried to discharge through eaves.

HOT WATER: Supply and fit a 40 gallon corrugated copper cylinder, lagged and encased in galv. sheet iron and equipped for electric heating. The cylinder shall be complete with exhaust pipe carried up through roof and with sludge and draw-off cocks. Run $\frac{1}{2}$ " branches from cylinder to sink, washing machine, basin, bath and shower. Supply and fit wastes to bath, basin, washing machine. W.C. and sink.

Wastes shall be trapped in all cases and shall have trap screws wiped on and shall discharge to gullies.

- ELECTRICIAN -

GENERAL: The electrical services shall be carried out to the requirements of the Fire Underwriter's Association and to the Horowhenua Electric Power Board. All cables shall be T.R.S. concealed in all cases and securely stapled. All switches shall be silent operating flush type with cover plates in colours to Owner's selection. Heating points shall be fitted with flush plates in approved colours and aerial point shall have flush plate marked for earth and aerial connections, An aerial shall be fitted in roof and connected to aerial plate. The switchboard shall be erected in framing adjacent to back door and shall be arranged to hinge and shall be complete with dressed timber case with glazed front.

LIGHTING: The lighting service consists of 12 only goose neck ~~lap~~ lamps and shades to Owners selection, 11 only ceiling light fittings to Owners selection and strip light over bathroom vanity unit.

HEATING: Supply and fit 4 only 2 bar electric wall heaters ^{at} and 1 single bar heater and two single bar heaters each side of fireplace. Heaters shall be to Owners selection. Supply and fit 2 only heated towel racks in bathroom.

INTERIOR:

The flooring shall be grooved T & G. laid up close to outside plates, cramped up tight and double nailed with floor brads to each joist intersection.

Flooring shall be laid in long lengths and as far as possible, butts shall be arranged to occur at the inside of cupboards, wardrobes etc. On completion of all interior work the whole of the floor shall be machine sanded.

The walls and ceilings throughout shall be covered with $\frac{3}{8}$ " Fibrous Plaster, laid in full sized sheets and fixed with galv. nails. All joints and nails holes shall be filled and flushed, with pure plaster of paris. The inside of wardrobes and linen cupboard shall be covered with fibrous plaster.

The skirting and architraves shall be 3" x 1" round nosed and shall be scribed to floors and sills and mitred at corners.

Sill boards shall be fitted to all windows, shall be 6" x 1" and shall be finished underneath with stock bedmoulding.

Frame up face of bath and allow in the framing for 3" toespace for full length. Cover walls of bathroom with Pinex Hammerglaze up to 4 feet, the rest of walls and ceiling shall be Fibrous plaster.

All interior doors shall be of solid core construction and sheathed with best quality N.Z. 3 ply on both sides.

Wardrobe and cupboard doors shall be flush panel of sizes to suit the relative openings and complete with approved hardware.

Each wardrobe shall be fitted with a dressed shelf at top and with dressed and rounded coat hanger rods supported on dressed timber brackets underneath. The linen cupboard and wardrobe in bedroom 1 shall be fitted with loose shelving for full height as indicated on plan.

The kitchen sink unit shall be 3' high fitted with a Stainless Steel top and Stainless sink and shall have Electric Range Elements fitted at one end, as indicated on plan, cupboards shall also be fitted under bench as indicated by Owner.

The Electric Range Oven shall be at eye level, built into a cupboard unit with the Refrigerator, which shall be supplied by Owner, fitted at one end of unit.

Dresser units shall be fitted with cupboards as indicated by Owner.

A folding door shall be fitted between kitchen and dining, of an approved make and installed to the Manufacturer's specifications.

The Dining Recess shall have three drawers fitted into kitchen wall and shall be below Servery between kitchen and dining recess.

The 3'-6" high cupboard divider between Dining and Lounge shall be fitted with wooden shelves and shall be glass fronted on Lounge sides. Top to be formica.

A 2'-6" high book-case unit shall be built into corner of lounge as indicated on plan and fitted with plate-glass sliding doors.

A 2'-6" high bookcase unit shall be built below glass window, between kitchen and Entrance Hall, of a similar construction to Lounge unit.

Bedroom 1 shall have two built-in standard single beds with drawers under beds. A shelf unit shall be built in between beds.

A dresser unit shall be built in along bedroom wall as indicated on plan and shall have drawers and a cupboard fitted as indicated by Owner.

A 3' high Vanity Unit shall be fitted in Bathroom with shelves and cupboards as indicated by Owner.

All doors shall be complete with approved chrome plated catches and drawers with matching chrome plated handles.

All windows shall be fitted with standard wooden pelmets.

DUPLICATE

BUILDING PERMIT

Local Authority: Horowhenua County Council Date: 4/8/69 No. **B 051532**
 Number on Valuation Roll: 1493/290 Receipt No. 22882 **5322**
 Lot: 3 D.P. 19262 Section: _____ Block: _____
 Site of Building: S.D. Hone & Huiawa SR Street _____
Wairarapa etown Township _____ Riding _____

Received from R. O. Hubcraft the sum of \$ 100
 in payment of building fee, etc. RTJole ✓ Authorised Officer. 4/8/69

Owner—Name: A. C. Heatler
 Address: Cnr. Hone & Huiawa St. Wairarapa
 Builder—Name: R. O. Hubcraft
 Address: Elizabeth St. Wairarapa

(Tick box)

Nature of Permit: ☒ 1. New Building ☐ 2. Alterations and/or Additions ☐ 3. Conversions ☐ 4. Demolitions ☐

Type of building: Car port Total floor area: 153 sq. ft.

Purpose for which building will be used: _____

Estimated value of proposed building work _____ \$ 190.00

Estimated value of plumbing and drainage, if not included in permit _____ \$ _____

If work valued at \$20,000 or more, state: Estimated date of commencement—Month: _____ Year: _____
 Estimated date of completion—Month: _____ Year: _____

Special Conditions:

Permission is hereby granted you to carry out the works as proposed in accordance with the drawings and other documents submitted; such work to be subject at any time during progress to inspection, and to be carried out in strict conformity with the requirements of the Council bylaws, and subject to the builder taking full responsibility for any damage done to any works such as telephone cables, power cables, water mains, sewers, pipes, footpaths, roads, or other services.

Stats.—B.P. 1

J. M. Gorman

Issuing Officer. 4.8.69
1/1

Specification

Inf. Galv. Cor. Iron

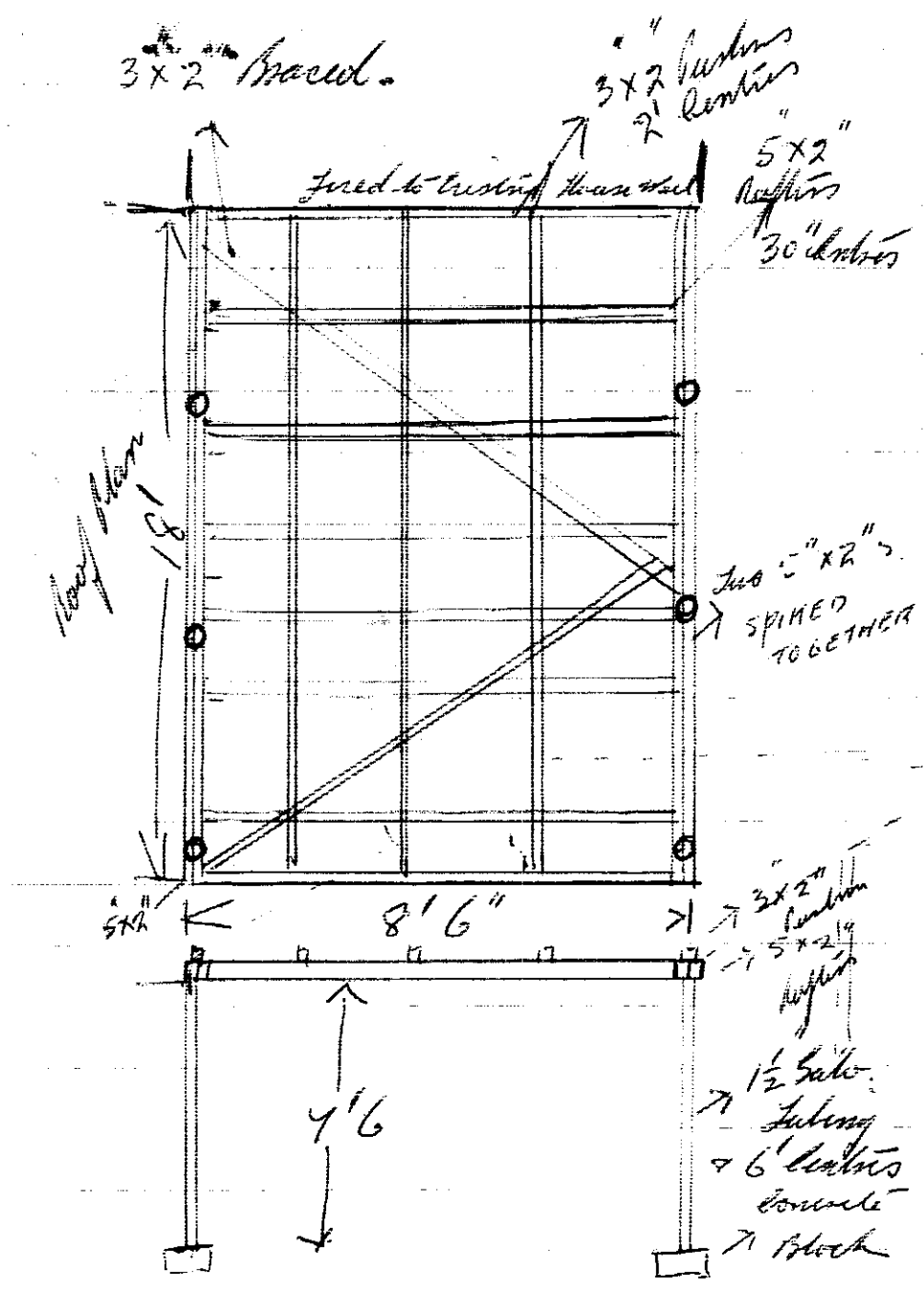
5" x 2" Rafter 30' Centers

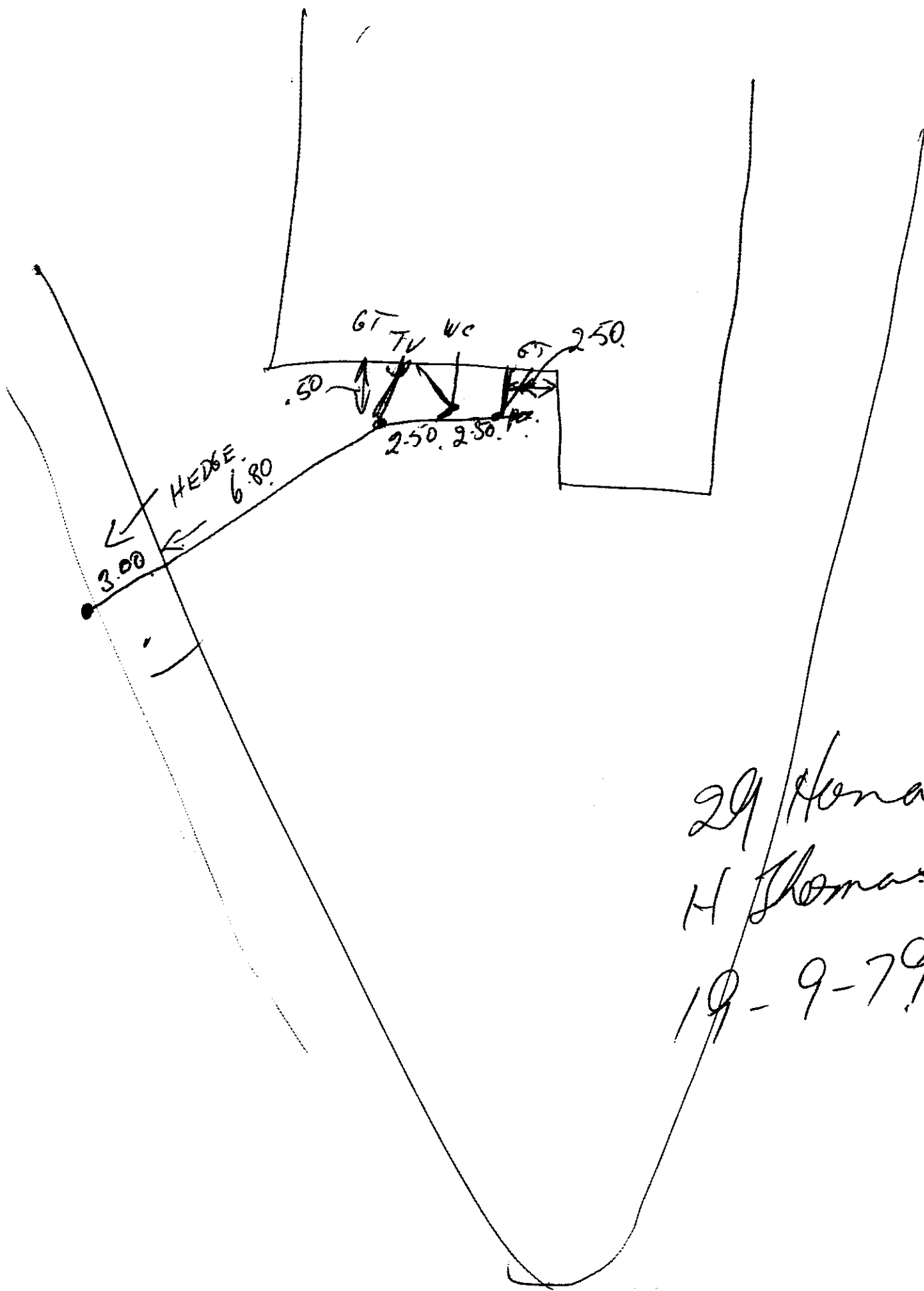
3" x 2" Joists

3" x 2" Diagonal Bracing

1/2" x 5" x 2" Spiked Lags
Main Runners.

6 / 1 1/2" Galv. Iron Pipe Supports
on concrete. Bolted
Flanges to Main Runners





29 Honast
H Thomas
19-9-79

SCALE OF FEES

For the examination of plans and specifications of any building and for the inspection of such building the following fees shall be payable according to the estimated value of the work.

In any dispute as to value, the County Engineer shall have the absolute determination of the value of the proposed work or building.

ESTIMATED VALUE OF WORK		FEES	
		£	s. d.
Not exceeding £10			5 0
Over £10 and not exceeding £100		1	0 0
" £100	" £200	1	10 0
" £200	" £300	2	0 0
" £300	" £400	2	10 0
" £400	" £500	3	0 0
" £500	" £600	3	10 0
" £600	" £700	4	0 0
" £700	" £800	4	10 0
" £800	" £900	5	0 0
" £900	" £1000	6	0 0
" £1000	" £1250	7	0 0
" £1250	" £1500	8	0 0
" £1500	" £1750	9	0 0
" £1750	" £2000	10	10 0
" £2000	" £2500	12	0 0
" £2500	" £3000	13	10 0
" £3000	" £3500	15	0 0
" £3500	" £4000	16	10 0
" £4000	" £4500	18	0 0
" £4500	" £5000	20	0 0
" £5000	" £6000	22	0 0
" £6000	" £7000	24	0 0
" £7000	" £8000	26	0 0
" £8000	" £9000	28	0 0
" £9000	" £10000	32	0 0
" £10000	" £12500	36	0 0
" £12500	" £15000	40	0 0
" £15000	" £17500	44	0 0
" £17500	" £20000	49	0 0
" £20000	" £25000	54	0 0
" £25000	" £30000	59	0 0
" £30000	" £35000	64	0 0
" £35000	" £40000	69	0 0
" £40000	" £45000	74	0 0
" £45000	" £50000	79	0 0
" £50000	" £60000	84	0 0
" £60000	" £70000	89	0 0
" £70000	" £80000	94	0 0
" £80000	" £90000	99	0 0
" £90000	" £100000	100	0 0
Exceeding £100,000			

FEES PAYABLE FOR SPECIAL DUTIES

For inspection required in the case of proposed structural alterations before plans are submitted for approval..... 0 10 0

For inspecting every detached stove, furnace, oven, close fire or forge erected subsequently to the building..... 0 5 0

For inspecting old timber before reusing the same in a new building..... 0 15 0

For any inspection that may be deemed necessary in connection with any building or work in respect of which no fee has otherwise been paid..... 0 2 6

Horowhenua County Council

PERMIT No. 1676
049687

LOCALITY Waihanae

DATE RECEIVED 2 : 9 : 60.

DATE ISSUED 5 : 9 : 60.

APPLICATION FOR BUILDING PERMIT

OWNER'S NAME J. G. J. A. Gaudes

FOR OFFICE USE ONLY.

REMARKS:

APPROVED
J. M. Mann
COUNTY ENGINEER
DATE 5/9/60

NOTE.—

- Buildings must NOT be erected within FIVE feet of adjoining properties.
- All Plans and Specifications must be in ink.

Application for Building PermitTO THE BUILDING INSPECTOR,
Horowhenua County Council,
Bath Street,
Levin.Postal Address: Horowhenua County Council,
P.O. Box 17,
Levin.I, the undersigned, do hereby apply for a PERMIT to erect BUILDINGS in accordance
with the undermentioned particulars in Le Voro RIDING.1. Type of Building: Dwelling

Dwellings, etc.; additions or alterations.

Particulars of Building: Foundations: Concrete Walls: Timber Roof: IronTotal floor area: 1260 sq. ft.2. Allotment: Lot: 3 D.P.: 19262 Section: _____Area: 31.92 Block: Lot 3, Katawa S.D. Locality: Bungall CT 772-843. Owner's Full Name G. J. A. GundersonAddress Boulcott St. Mats. Boulcott St. Wgton4. Previous Owner If Section
has been
recently
transferred5. Frontage (Length) _____ Name of Street or Road Le Voro St. & Huawia St.6. Estimated Value of Building, £ 3900 : 0 : 0Plumbing and Drainage £ 300 : : Total £ 4200 : 0 : 07. Fees £ 15 : 0 : 0 No. of Receipt 821

See Scales of Fees on Back Page.

All work will be carried out in accordance with Horowhenua County Council's By-laws.

NOTE:—The following MUST accompany this Application:—

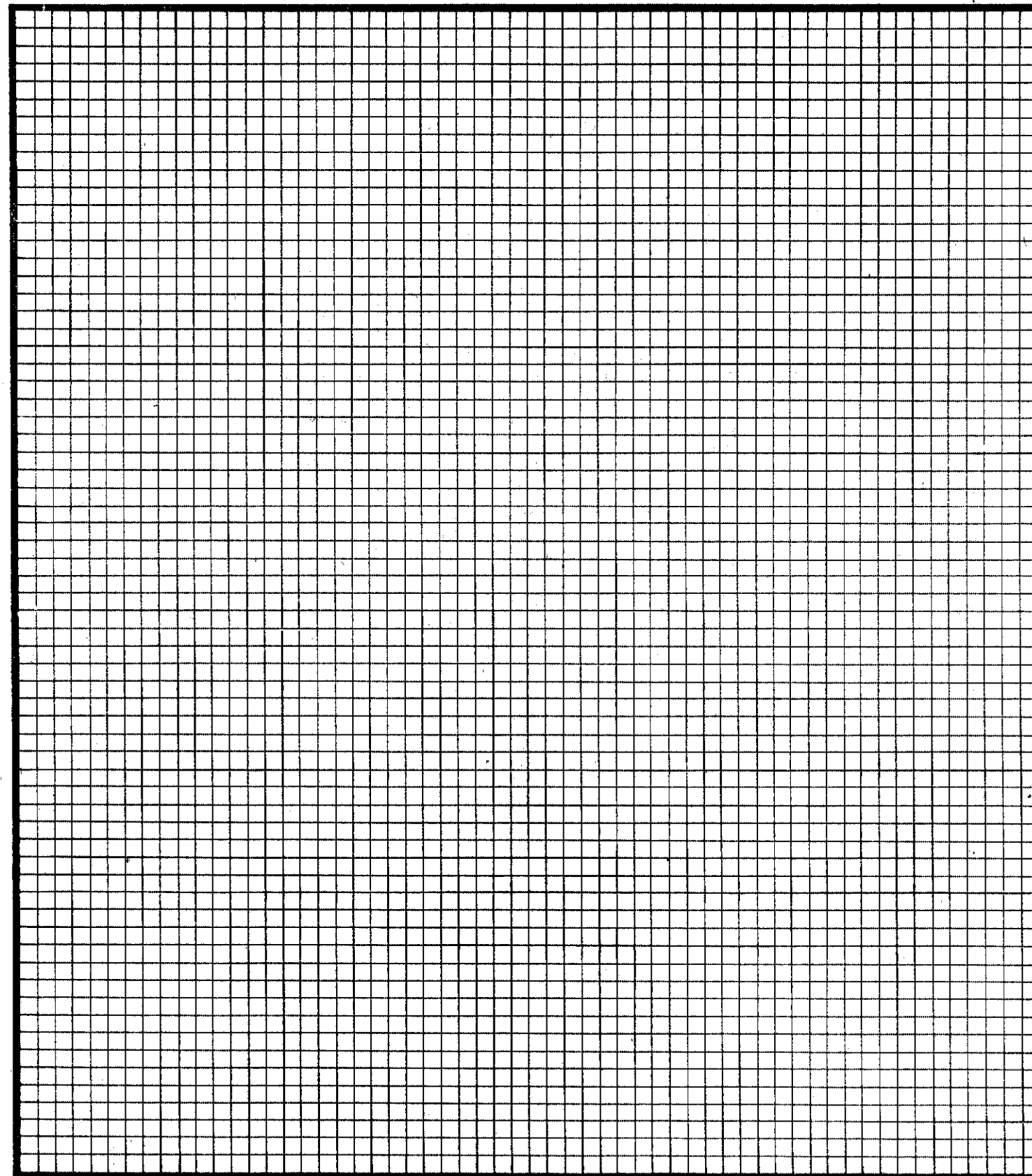
Plans and Specifications in Duplicate, including—

- (a) Ground Plans of Proposed Work showing position of all sanitary fittings and names of various rooms.
- (b) Where the building is on a sloping site the correct height of foundations must be shown.
- (c) Front, Rear and Side Elevations.
- (d) Cross section showing framing with bracing.
- (e) Where a building requires Plumbing and Drainage Work, a Separate Application Form must be filled in and Permit obtained before commencing any such work.

Signature of Applicant G. J. A. Gunderson as BUILDER or OWNERAddress Le Moana Rd. WaihanauBuilder's Name and Address If not
the
applicant**PLAN OF ALLOTMENT**Showing position of proposed building on such allotment.
NOTE—Distances of each building from boundary lines must be clearly indicated.
(Scale: Two feet to a square.)

Boundary Lines to be shown thus: _____

BUILDINGS must NOT be ERECTED within FIVE FEET of ADJOINING properties.

Frontage to Le Voro St. Road

ALL EXISTING BUILDINGS TO BE SHOWN IN RED ON THIS PLAN

SCALE OF FEES

For the examination of plans and specifications of any building and for the inspection of such building the following fees shall be payable according to the estimated value of the work.

In any dispute as to value, the County Engineer shall have the absolute determination of the value of the proposed work or building.

ESTIMATED VALUE OF WORK				FEES	
Not exceeding \$20 (£10)				50c. (	5 0)
Over \$20 (£10)	and not exceeding	\$200 (£100)		\$1.00 (	10 0)
" \$200 (£100)	" "	\$400 (£200)		\$2.00 (	£1 0 0)
" \$400 (£200)	" "	\$600 (£300)		\$3.00 (	£1 10 0)
" \$600 (£300)	" "	\$800 (£400)		\$4.00 (	£2 0 0)
" \$800 (£400)	" "	\$1,000 (£500)		\$5.00 (	£2 10 0)
" \$1,000 (£500)	" "	\$1,200 (£600)		\$6.00 (	£3 0 0)
" \$1,200 (£600)	" "	\$1,400 (£700)		\$7.00 (	£3 10 0)
" \$1,400 (£700)	" "	\$1,600 (£800)		\$8.00 (	£4 0 0)
" \$1,600 (£800)	" "	\$1,800 (£900)		\$9.00 (	£4 10 0)
" \$1,800 (£900)	" "	\$2,000 (£1,000)		\$10.00 (	£5 0 0)
" \$2,000 (£1,000)	" "	\$2,500 (£1,250)		\$12.00 (	£6 0 0)
" \$2,500 (£1,250)	" "	\$3,000 (£1,500)		\$14.00 (	£7 0 0)
" \$3,000 (£1,500)	" "	\$3,500 (£1,750)		\$16.00 (	£8 0 0)
" \$3,500 (£1,750)	" "	\$4,000 (£2,000)		\$18.00 (	£9 0 0)
" \$4,000 (£2,000)	" "	\$5,000 (£2,500)		\$21.00 (	£10 10 0)
" \$5,000 (£2,500)	" "	\$6,000 (£3,000)		\$24.00 (	£12 0 0)
" \$6,000 (£3,000)	" "	\$7,000 (£3,500)		\$27.00 (	£13 10 0)
" \$7,000 (£3,500)	" "	\$8,000 (£4,000)		\$30.00 (	£15 0 0)
" \$8,000 (£4,000)	" "	\$9,000 (£4,500)		\$33.00 (	£16 10 0)
" \$9,000 (£4,500)	" "	\$10,000 (£5,000)		\$36.00 (	£18 0 0)
" \$10,000 (£5,000)	" "	\$12,000 (£6,000)		\$40.00 (	£20 0 0)
" \$12,000 (£6,000)	" "	\$14,000 (£7,000)		\$44.00 (	£22 0 0)
" \$14,000 (£7,000)	" "	\$16,000 (£8,000)		\$48.00 (	£24 0 0)
" \$16,000 (£8,000)	" "	\$18,000 (£9,000)		\$52.00 (	£26 0 0)
" \$18,000 (£9,000)	" "	\$20,000 (£10,000)		\$56.00 (	£28 0 0)
" \$20,000 (£10,000)	" "	\$25,000 (£12,500)		\$64.00 (	£32 0 0)
" \$25,000 (£12,500)	" "	\$30,000 (£15,000)		\$72.00 (	£36 0 0)
" \$30,000 (£15,000)	" "	\$35,000 (£17,500)		\$80.00 (	£40 0 0)
" \$35,000 (£17,500)	" "	\$40,000 (£20,000)		\$88.00 (	£44 0 0)
" \$40,000 (£20,000)	" "	\$50,000 (£25,000)		\$98.00 (	£49 0 0)
" \$50,000 (£25,000)	" "	\$60,000 (£30,000)		\$108.00 (	£54 0 0)
" \$60,000 (£30,000)	" "	\$70,000 (£35,000)		\$118.00 (	£59 0 0)
" \$70,000 (£35,000)	" "	\$80,000 (£40,000)		\$128.00 (	£64 0 0)
" \$80,000 (£40,000)	" "	\$90,000 (£45,000)		\$138.00 (	£69 0 0)
" \$90,000 (£45,000)	" "	\$100,000 (£50,000)		\$148.00 (	£74 0 0)
" \$100,000 (£50,000)	" "	\$120,000 (£60,000)		\$158.00 (	£79 0 0)
" \$120,000 (£60,000)	" "	\$140,000 (£70,000)		\$168.00 (	£84 0 0)
" \$140,000 (£70,000)	" "	\$160,000 (£80,000)		\$178.00 (	£89 0 0)
" \$160,000 (£80,000)	" "	\$180,000 (£90,000)		\$188.00 (	£94 0 0)
" \$180,000 (£90,000)	" "	\$200,000 (£100,000)		\$198.00 (	£99 0 0)
" \$200,000 (£100,000)	" "	\$240,000 (£120,000)		\$210.00 (	£105 0 0)
" \$240,000 (£120,000)	" "	\$280,000 (£140,000)		\$220.00 (	£110 0 0)

For every \$40,000 (£20,000) or part thereof in excess of \$280,000 (£140,000) add additional fee of \$10.00 (£5).

FEES PAYABLE FOR SPECIAL DUTIES

For inspection required in the case of proposed structural alterations before plans for approval	\$1.00	(10/0)
For inspecting every detached stove, furnace, oven, close fire or forge erected subsequently to the building	50c.	(5/0)
For inspecting old timber before reusing the same in a new building	\$1.50	(15/0)
For any inspection that may be deemed necessary in connection with any building or work in respect of which no fee has otherwise been paid	25c.	(2/0)

Horowhenua County Council 5322

PERMIT No. B 051532

LOCALITY Waikanae

DATE RECEIVED 15.7.69. DATE ISSUED 4.8.69.

APPLICATION FOR BUILDING PERMIT

OWNER'S NAME A.C.H. Heather

FOR OFFICE USE ONLY.

REMARKS:

APPROVED
B Todd
COUNTY ENGINEER.
DATE 16-5-69.

NOTE.—
1 All Plans and Specifications must be in ink.

BT

Valuation Book No. 1493/290

Date _____, 19 ____

Application for Building Permit

TO THE BUILDING INSPECTOR,
Horowhenua County Council,
Bath Street,
Levin.Postal Address: Horowhenua County Council,
P.O. Box 17,
Levin.I, the undersigned, do hereby apply for PERMISSION to erect BUILDINGS in accordance with the undermentioned particulars in MAIKANA County Town RIDING.1. Type of Building: CAR PORT
Dwellings, etc.; additions or alterations.Particulars of Building: Foundations: 1/2" walls, life supports Roof: IronTotal floor area: 153 sq. ft.2. Purpose for which every part of Building is to be used or occupied (Describing separately each part intended for use or occupation for a separate purpose) Car Port3. Allotment: Lot: 3 DP: 19262 Section: 19Area: _____ Block: _____ S.D. _____ Locality: W14. Owner's Full Name A.C. HEATHERAddress COR. MONAST. & HUIAWA ST.5. Previous Owner { If Section has been recently transferred } Maikanae6. Frontage (Length) _____ Name of Street or Road MONAST. & HUIAWA ST.7. Estimated Value of Building, \$190.00 : \$190. Total : _____8. Fees \$1-00 : _____ : _____
See Scales of Fees on Back Page. No. of Receipt 22882

All work will be carried out in accordance with Horowhenua County Council's By-laws.

NOTE:—The following MUST accompany this Application:—

Plans and Specifications in Duplicate, including—

- Ground Plans of Proposed Work showing position of all sanitary fittings and names of various rooms.
- Where the building is on a sloping site the correct height of foundations must be shown.
- Front, Rear and Side Elevations.
- Cross section showing framing with bracing.
- Where a building requires Plumbing and Drainage Work, a Separate Application Form must be filled in and Permit obtained before commencing any such work.

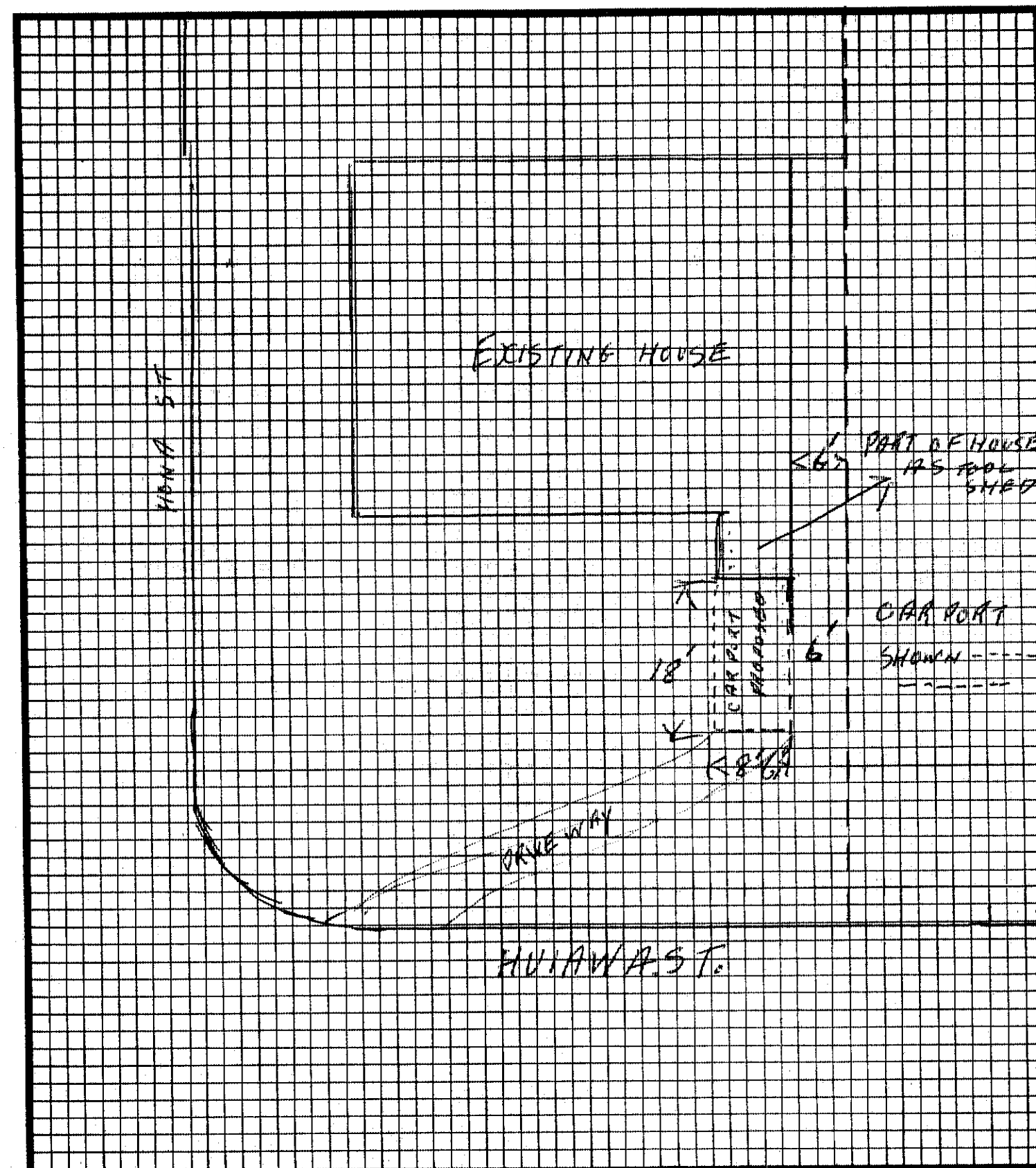
Signature of Applicant D. O. Horwath as BUILDER or OWNER.Address Elizabeth St. MaikanaeBuilder's Name and Address { If not the applicant } AS ABOVE

PLAN OF ALLOTMENT

Showing position of proposed building on such allotment.
NOTE—Distances of each building from boundary lines must be clearly indicated.
(Scale: Two feet to a square.)

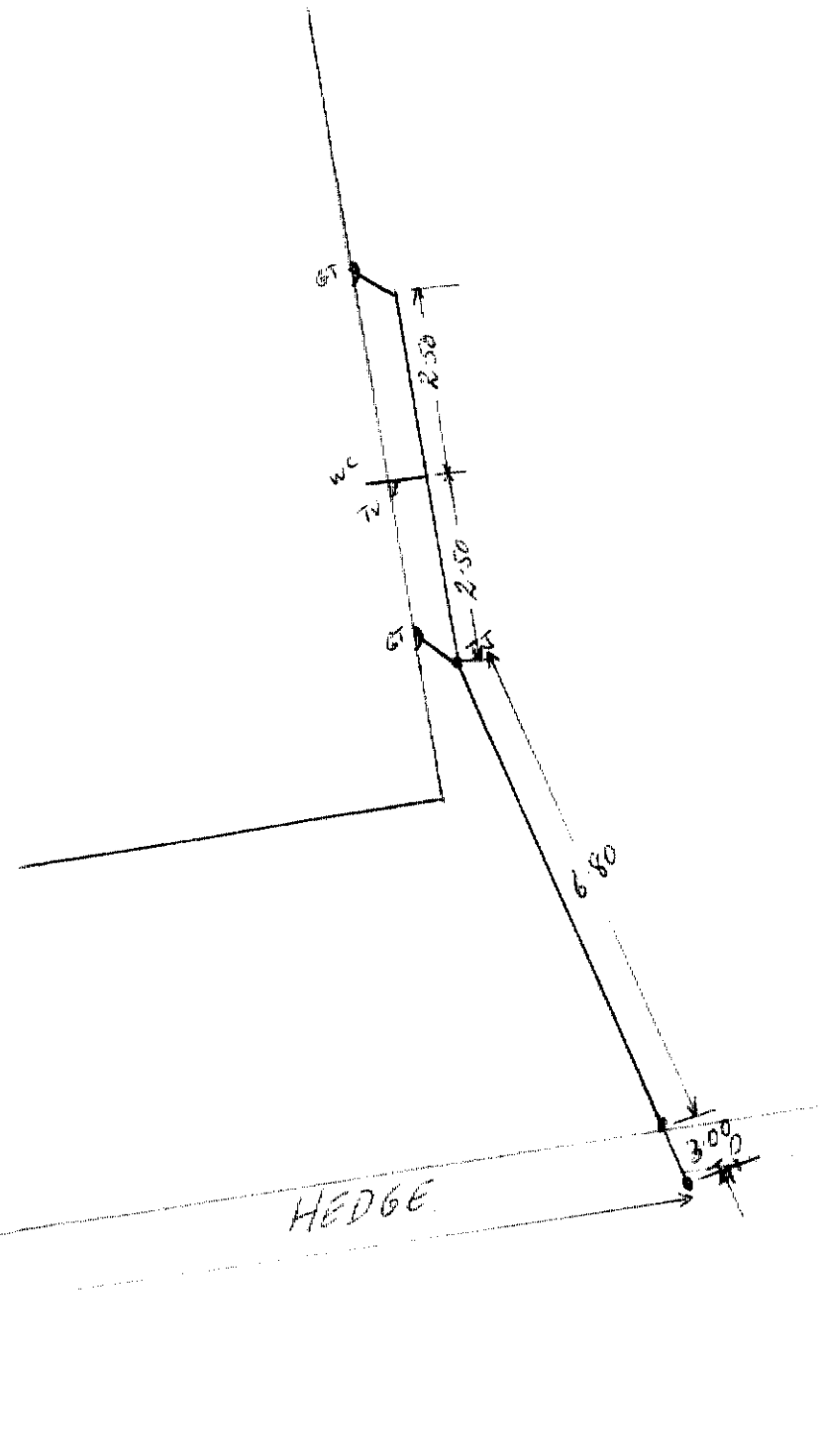
Boundary Lines to be shown thus: _____

Generally DWELLINGS must NOT be ERECTED within FIVE FEET of ADJOINING properties.

Frontage to MONAST. and HUIAWA ST. Road

ALL EXISTING BUILDINGS TO BE SHOWN IN RED ON THIS PLAN

ROAD --- 29 HOMA ST
DOT --- 3
DP --- 19262
LAINLAYER --- H THOMAS
OWNER --- HEATHER
DATE --- 19-9-79
PIPE --- TERRAIN P.V.C.



(COPY TO INSPECTOR)

PERMIT **W** No. **9580****HOROWHENUA COUNTY COUNCIL****WAIKANAĒ COUNTY TOWN****PERMIT FOR A PLUMBER OR DRAINLAYER TO CARRY OUT PLUMBING OR DRAINAGE WORK**Mr Thomas Plumbing Ltd14 Karu CresWaikanae

(a licensed plumber or drainlayer), is hereby authorised to carry out the work described herein, and as set forth in the plan deposited with me, on the premises owned (or occupied) by

Mr A.C. Heatherand situated in 29 Huna St Street (orRoad), Waikanaebeing described as lot 3 DP 19262Description of work: Connecting Dwelling to Waikanae SewerEstimated Value of work ^{ex} including materials:Estimated Cost \$ 170.00Receipt No. 5464Permit Fee \$ 18.00Connection Fee \$ TOTAL \$ 18.00

Such work is to be carried out in strict accordance with the Plumbing and Drainage Regulations 1959 and Horowhenua County Council By-Law No. 9, and shall be completed on or before the

day of 19 Date 19.9.79

County Engineer

This permit is issued subject to:

HOROWHENUA COUNTY COUNCIL**WAIKANAĒ COUNTY TOWN****Notice of Completion of Work and Request for Inspection**To: The Health Inspector,
Horowhenua County Council
LEVIN.I HEREBY GIVE NOTICE that I have completed at premises situated at the plumbing/drainageStreet/Road, owner by Mr works specified in Permit No. issued on 19 , and I do

hereby request that such works should be inspected.

Dates this day of 19

Plumber/Drainlayer

Address of Plumber: **FOR OFFICE USE ONLY**The works above referred to in Permit No.

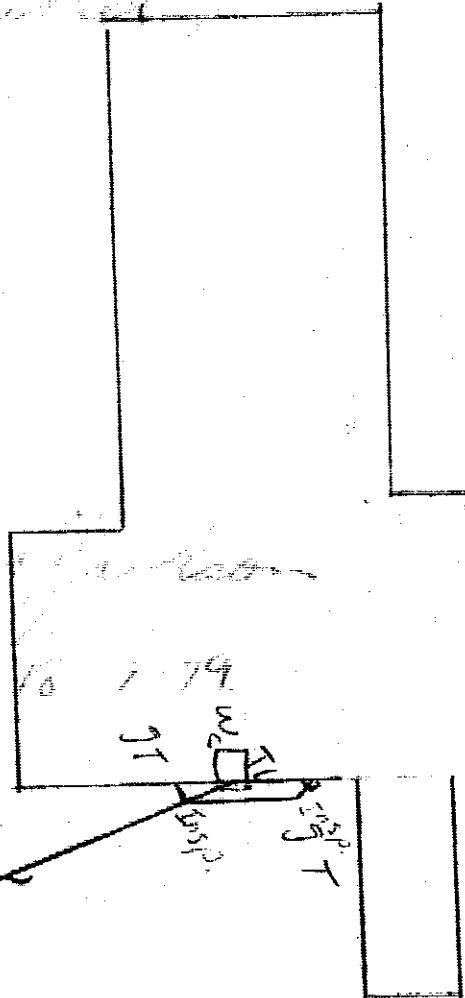
I HEREBY CERTIFY that the work has been examined and found satisfactory.

WAIKANAE DISTRICT COMMUNITY PLAN OF ALLOTMENT - PROPOSED DRAINAGE LAYOUT

Showing existing buildings and drainage layout and proposed drainage layout to the sewer
scale 1-100.

Boundary Lines to be shown thus: - - - - -

Frontage to HONG ST Road



R. Jackson
18-9-79

Horowhenua County Council

PERMIT No. W 3580

LOCALITY Waikanae SewerDATE RECEIVED 18: 9: 79DATE ISSUED 19: 9: 79FEEs NOT TO BE PAID UNTIL REQUESTED BY OFFICE**APPLICATION
FOR PLUMBING AND DRAINAGE PERMIT**OWNER'S NAME HeatherFOR OFFICE USE ONLY

REMARKS:

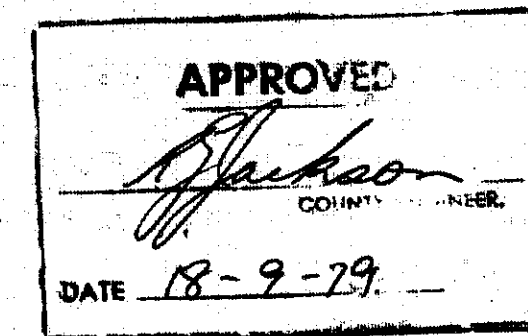
SCALE OF PERMIT FEES

Estimated Labour Value of Work:

Fee Payable:

Not exceeding \$50		\$6
In excess of \$50 but not exceeding \$75		\$9
In excess of \$75 but not exceeding \$100		\$12
In excess of \$100 but not exceeding \$200		\$18
In excess of \$200 but not exceeding \$300		\$24
In excess of \$300 but not exceeding \$400		\$30

Plus \$6 for every \$100 or part thereof in excess of \$400.



NOTE.—In all cases where septic tanks are installed the site and position must be first approved by the County Health Inspector.

Valuation Book No.

Date, 19

Application For Plumbing and Drainage Permit

TO THE COUNTY HEALTH INSPECTOR,
Horowhenua County Council,
Bath Street,
Levin.

Postal Address:
Horowhenua County Council,
P.O. Box 258,
Levin.

I, the undersigned, do hereby apply for a permit to carry out DRAINAGE and PLUMBING work in accordance with the undermentioned particulars.

Description of Drainage and Plumbing Work sewer drains to sewer.
(complete relays).

Allotment. Lot: 3 D.P.: 19262 Section: Area:

Block: S.D.: Locality:

Previous Owner { If Section has been recently transferred }

Frontage (Length) (Name of Street or Road) 29 Hona St.

Water Supply (Description)

Estimated Material Value of Plumbing Work \$

Estimated Labour Value of Plumbing Work \$

Estimated Material Value of Drainage Work \$ 180.00

Estimated Labour Value of Drainage Work \$ 170.00

Total \$ 350.00

All work will be carried out in accordance with Horowhenua County Council's By-laws and the Drainage and Plumbing Regulations 1978 and Amendments.

Permit Fee Based on Labour Value \$ 18 Receipt No.: 5464

Water Connection Fee \$ Receipt No.:

Full Name and Address of Owner: A.C. Heather

29 Hona St. Waiwera Beach

NOTE.—The following MUST accompany this Application:—

(a) Ground Plan of Building showing all drains, vents, sumps, septic tanks and sanitary fittings to be plotted on opposite page. For a sewer connection, complete enclosed carbonised form.

(b) Specifications of work materials to be used.

Plan showing drain should be drawn to scale of 1-100.

Stormwater drains should be shown (if any) in dotted lines.

Signature of Applicant:

Address

Craftsman
Plumber's Signature,
Address, and
Registered No.

Registered Drainlayer's
Signature, Address, and
Registered No. H. J. Thomas 14 Tharua cres Waiwera 2096

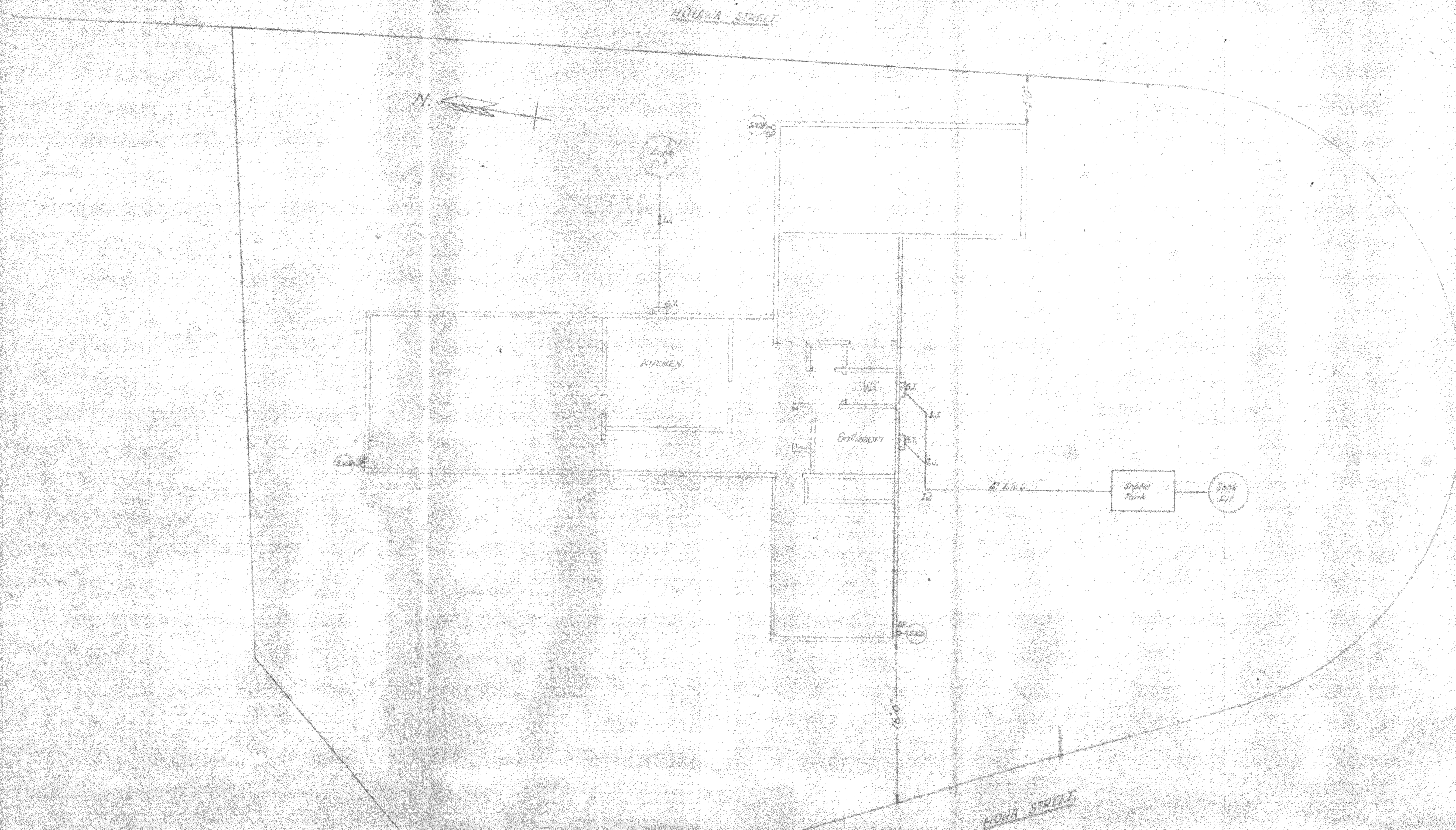
PLAN OF ALLOTMENT

Showing position of proposed buildings, Sanitary fittings, Drains, Gully traps, Inspection pipes and Ventilators, Septic tanks, Sumps, Irrigation trenches, Sewers and Stormwater drains, if any.

No Septic Tank or Effluent Drainage System may be installed within 3.3 metres of a dwelling or 1.5 metres of any boundary.

Boundary Lines to be shown thus: - - - - -

Frontage to Road



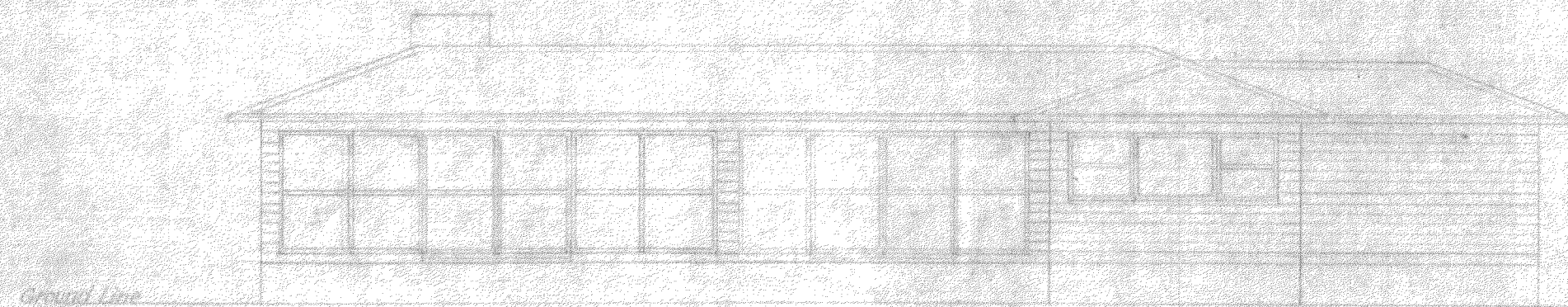
PROPOSED SITE & DRAINAGE PLAN FOR MR G.T.S. GUNDERSEN'S
RESIDENCE AT HONA & HUIAWA STREETS, WAIKANAHE.

Scale $\frac{1}{8}$ " = 1 ft

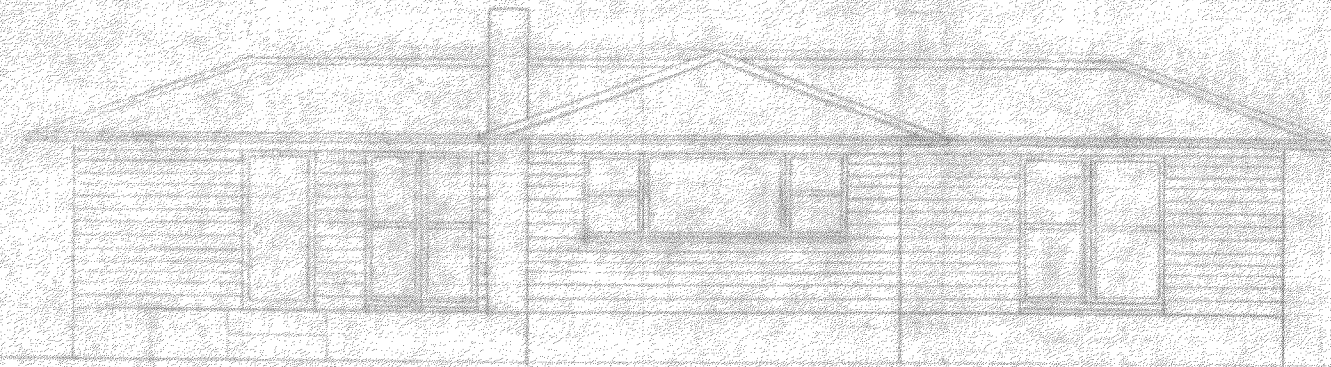
PROPOSED RESIDENCE FOR MR. G.T.S. GUNDERSEN.

AT HONA ST. & HUIAWA ST. WAIKANA E

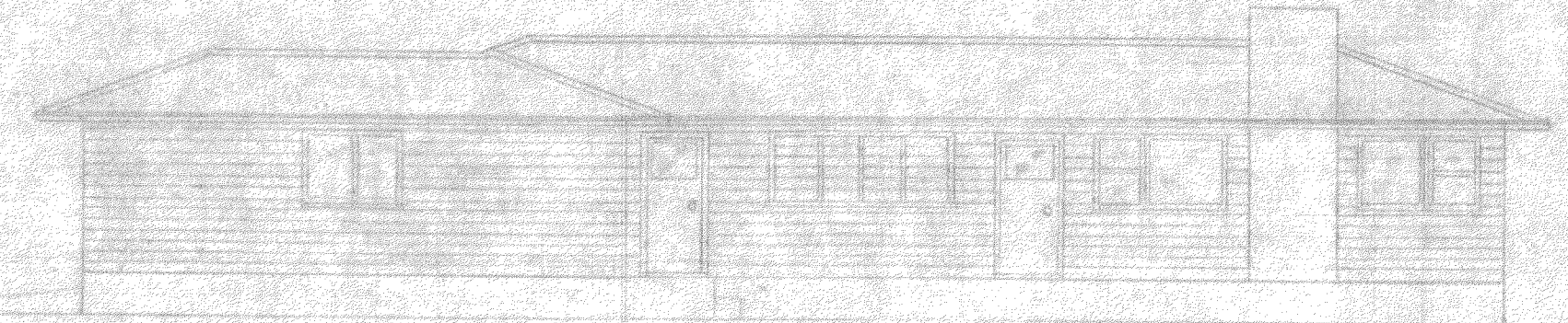
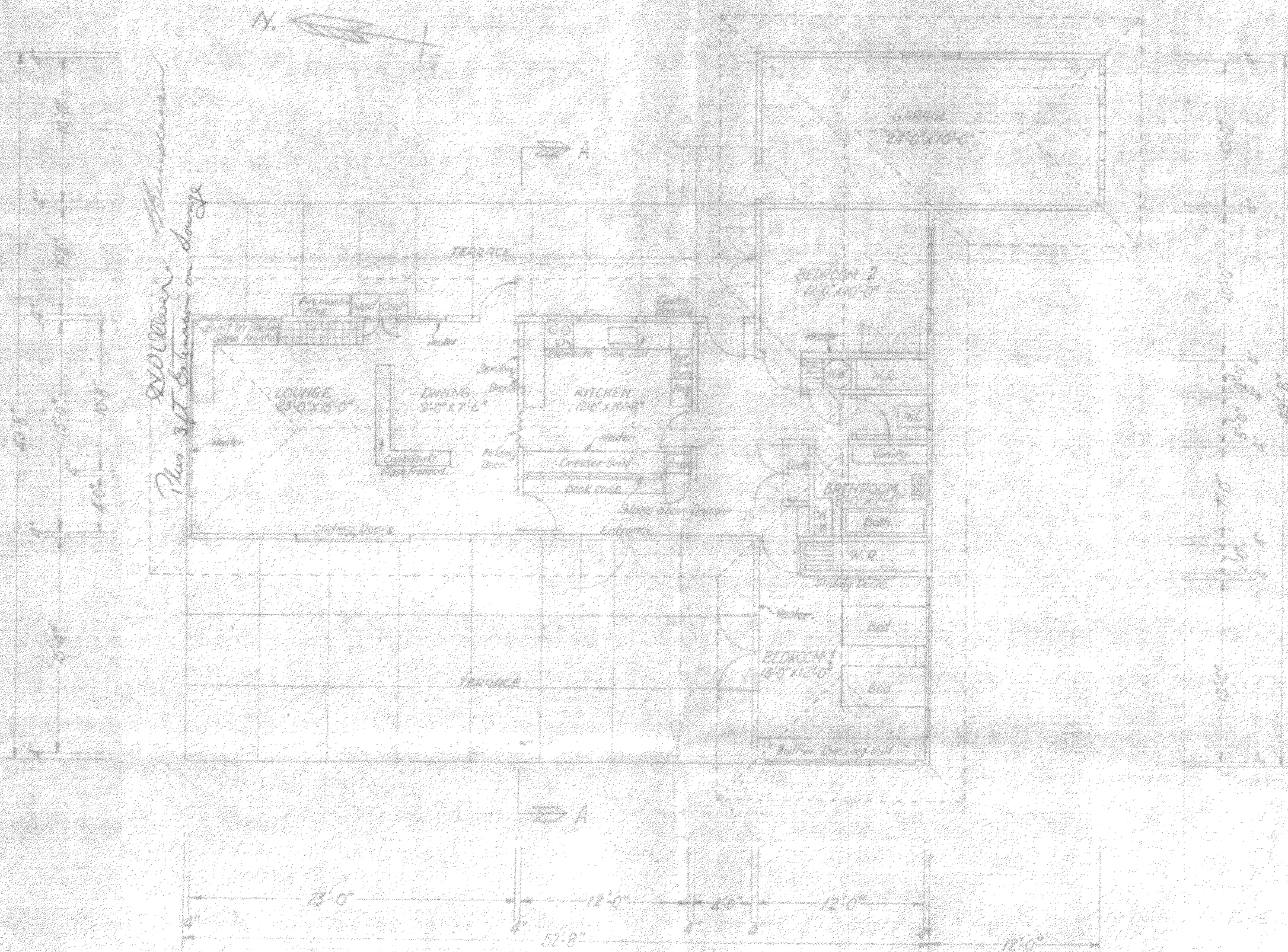
SCALE 8"=1'-4"



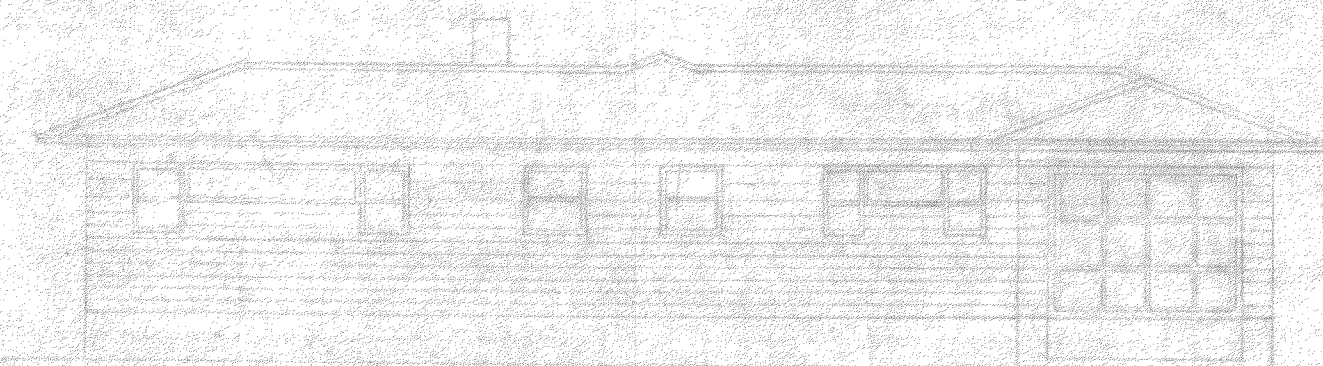
WEST ELEVATION



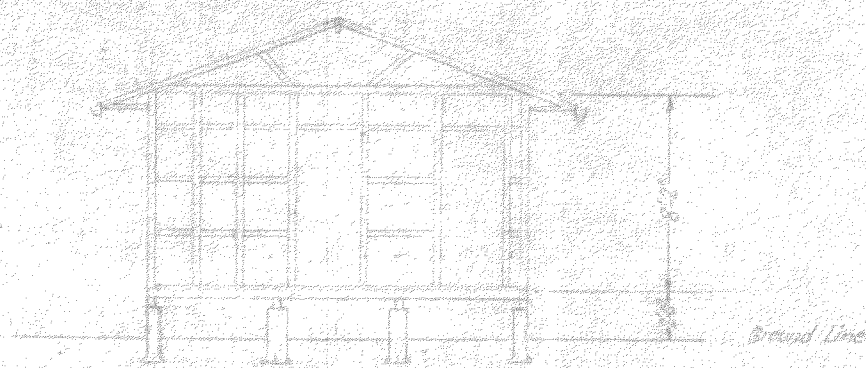
NORTH ELEVATION



EAST ELEVATION



SOUTH ELEVATION



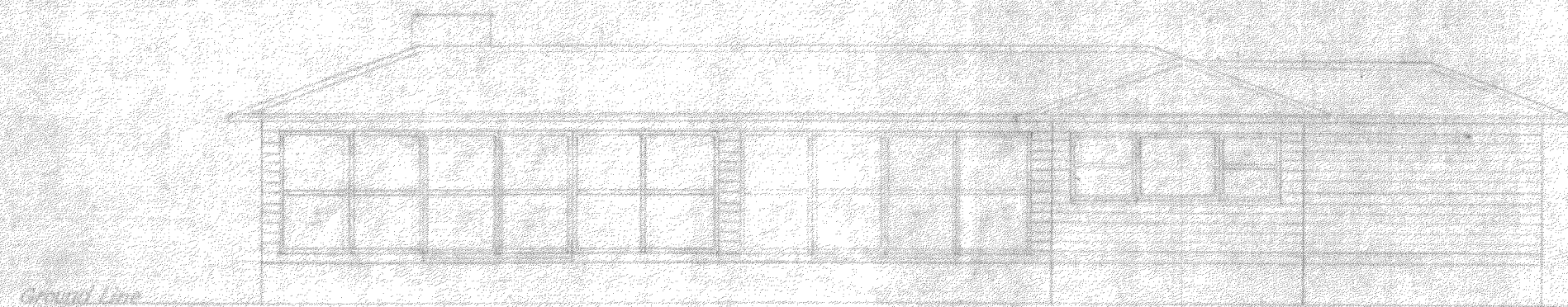
SECTION A-A

Gundersen
7/18/60
R.A. Williams, Inc.

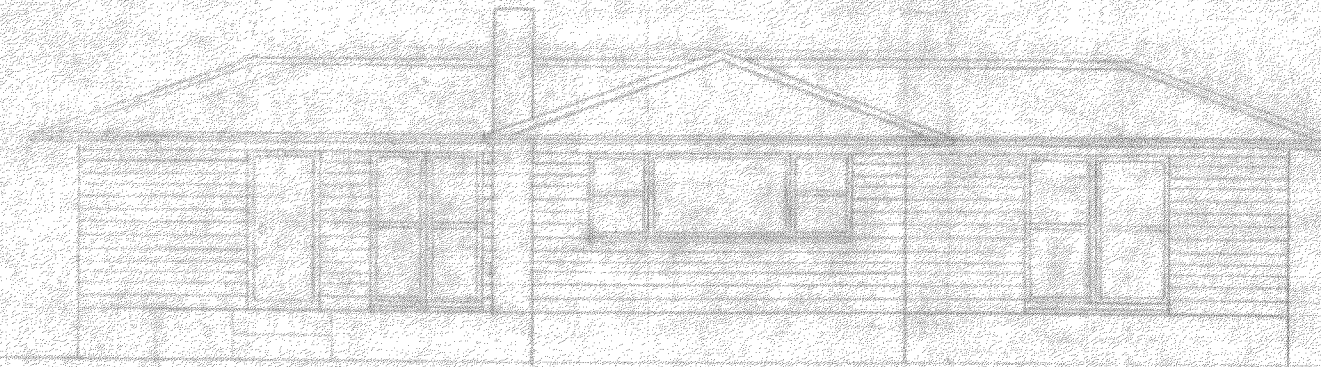
PROPOSED RESIDENCE FOR MR. G.T.S. GUNDERSEN.

AT HONA ST. & HUIAWA ST. WAIKANA E

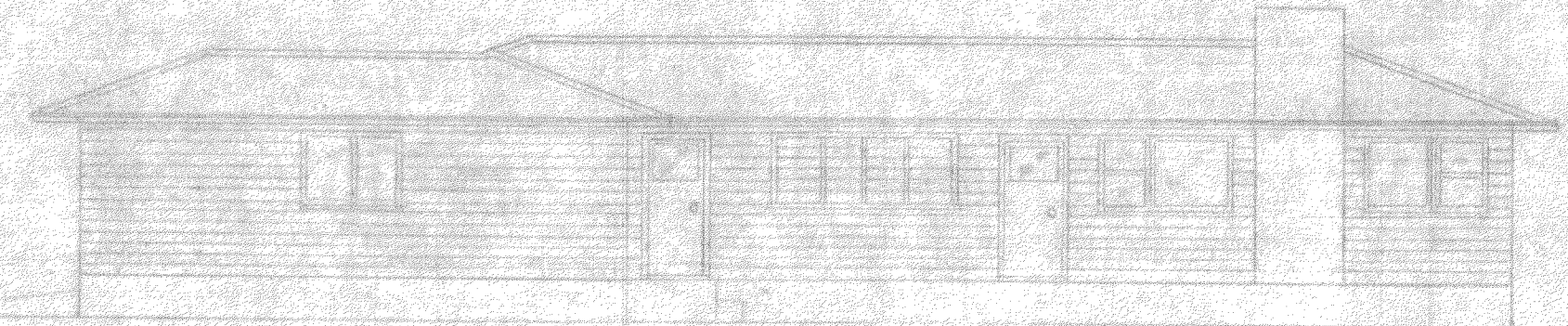
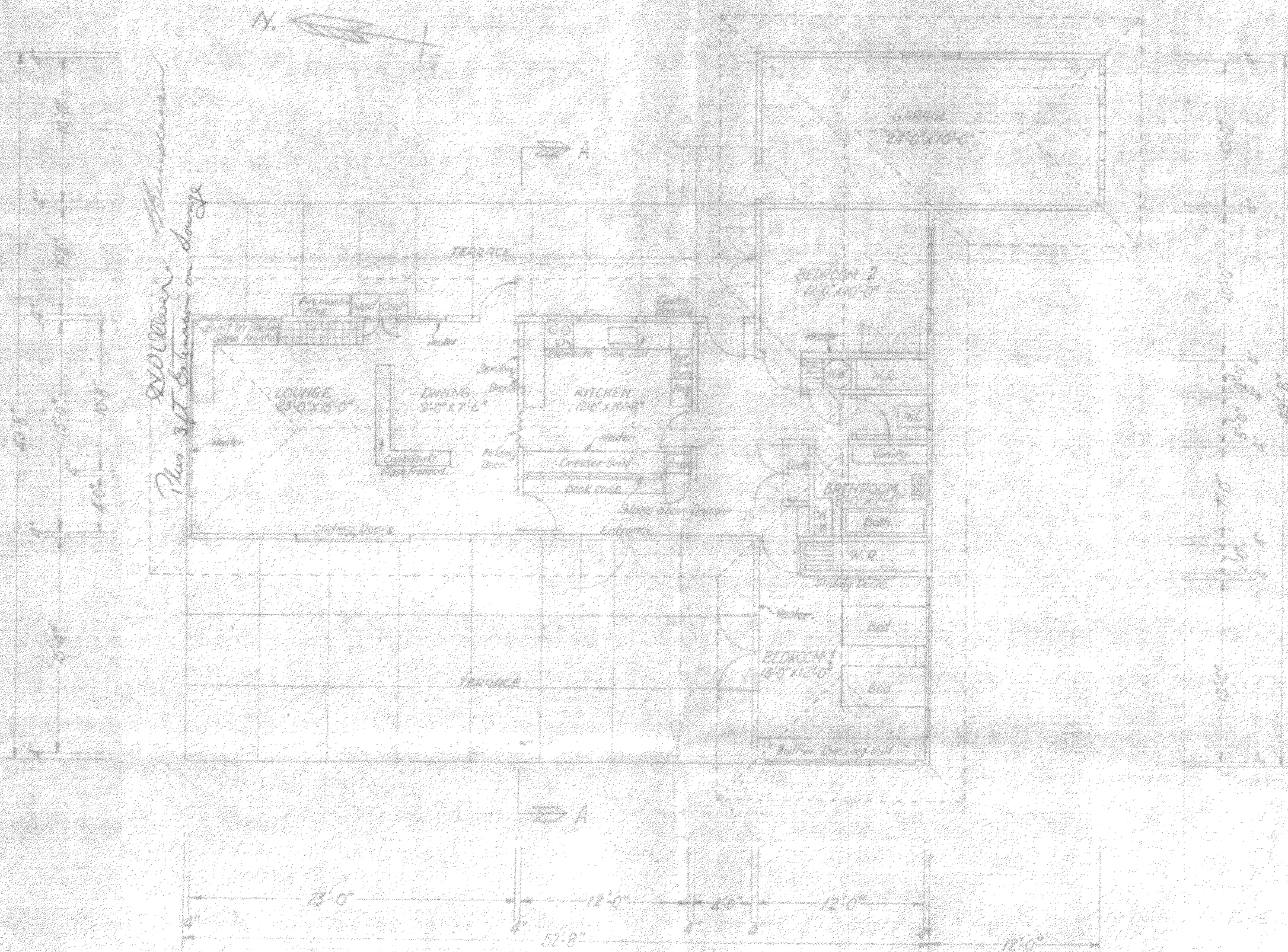
SCALE 8"=1'-4"



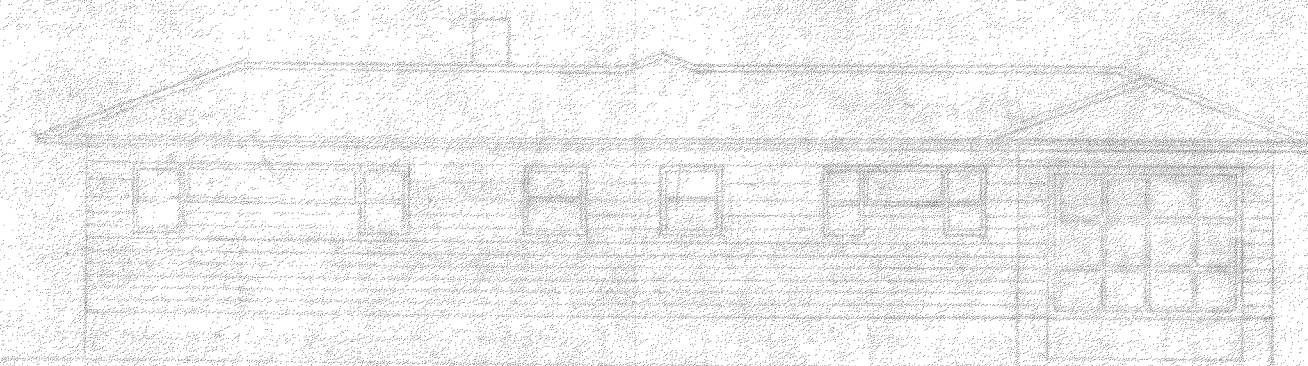
WEST ELEVATION



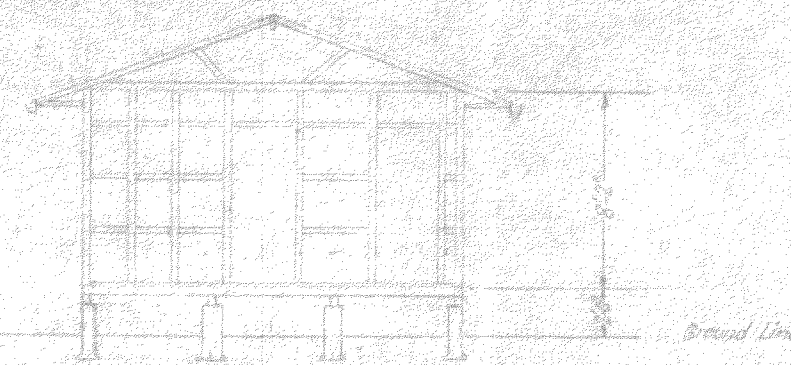
NORTH ELEVATION



EAST ELEVATION

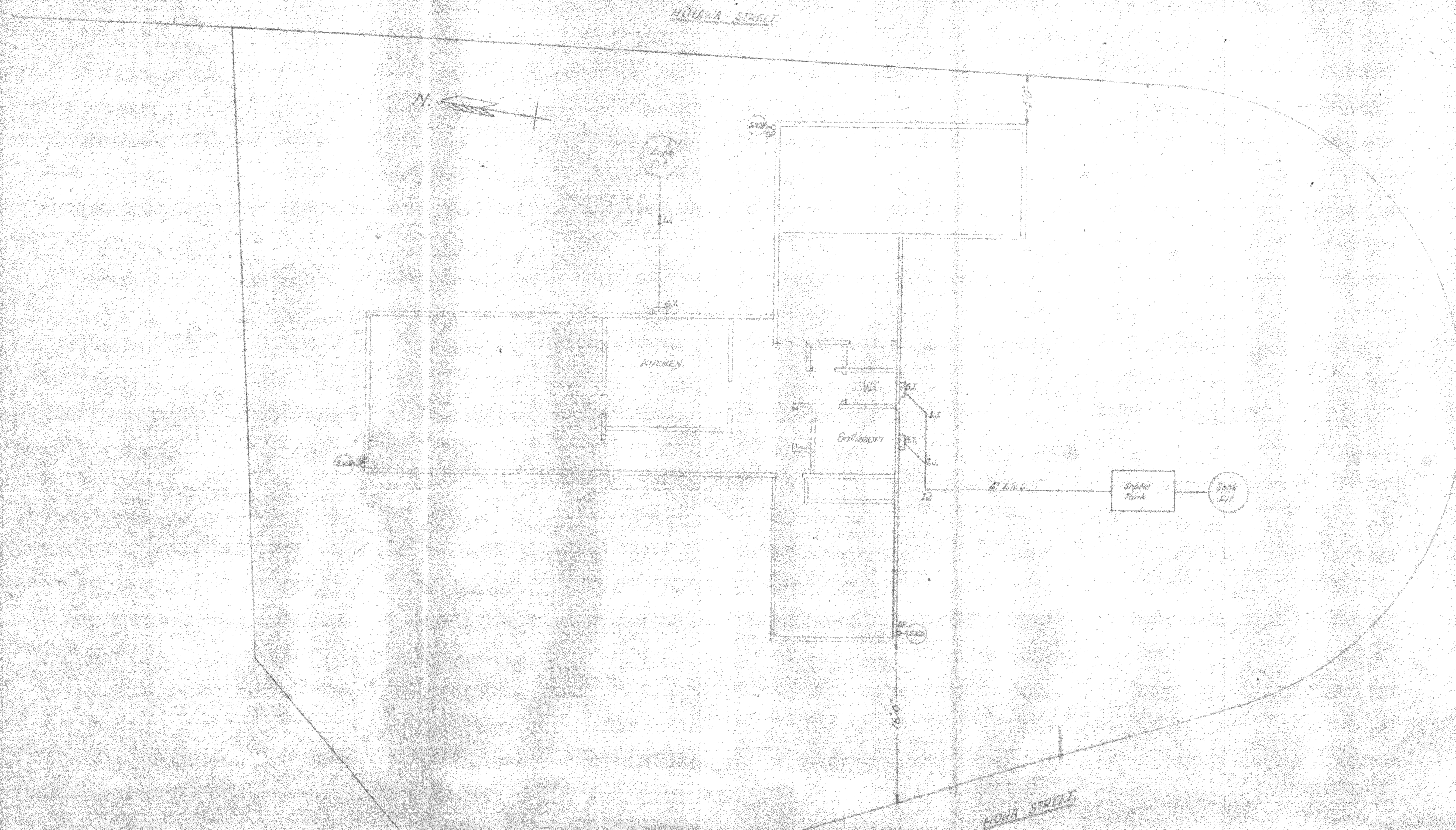


SOUTH ELEVATION



SECTION A-A

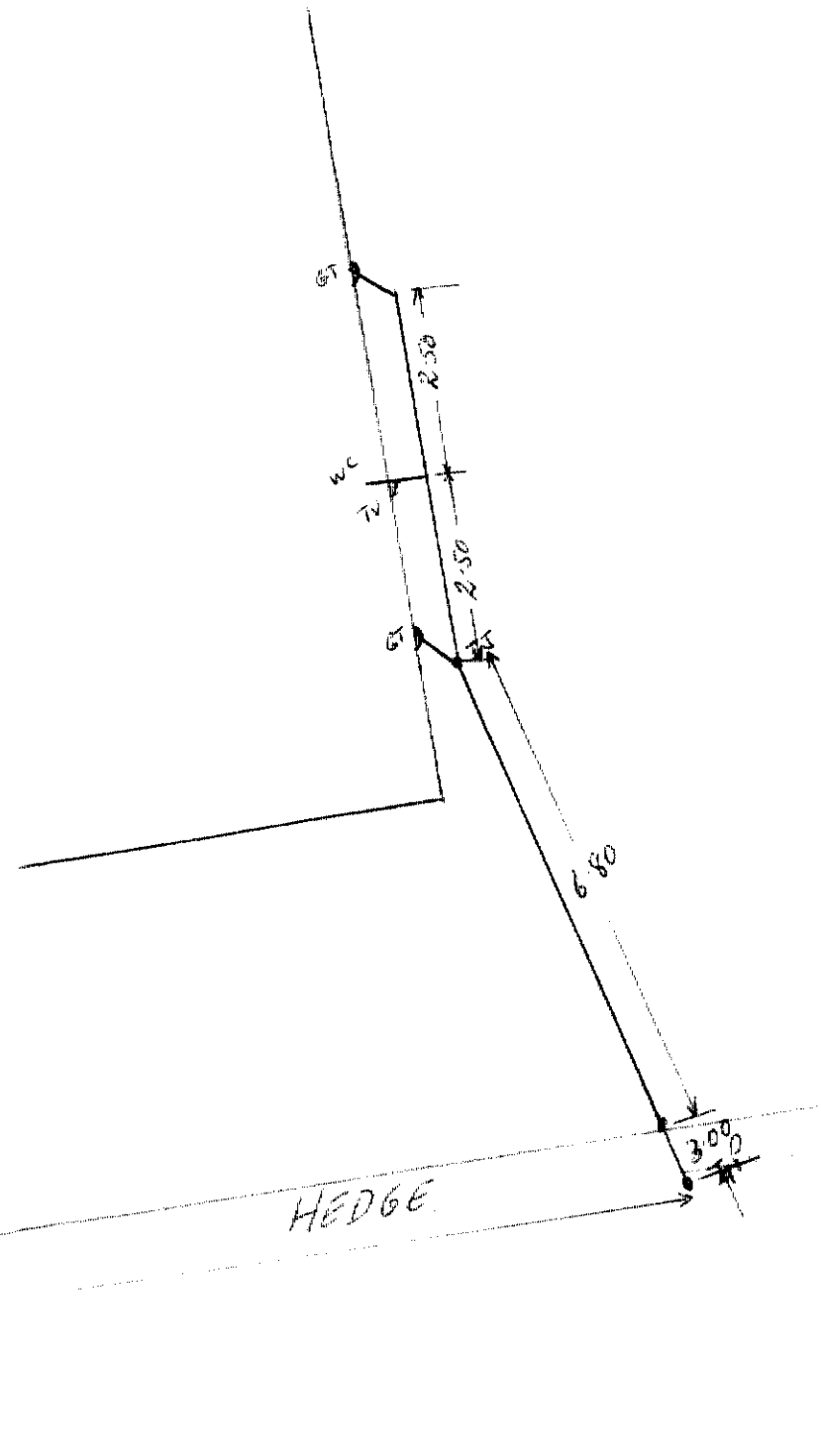
Gundersen
7/18/60
R.A. Williams, Jr.



PROPOSED SITE & DRAINAGE PLAN FOR MR G.T.S. GUNDERSEN'S
RESIDENCE AT HONA & HUIAWA STREETS, WAIKANAЕ.

Scale $\frac{1}{8}$ = 1 ft

ROAD --- 29 HOMA ST
DOT --- 3
DP --- 19262
LAINLAYER --- H THOMAS
OWNER --- HEATHER
DATE --- 19-9-79
PIPE --- TERRAIN P.V.C.

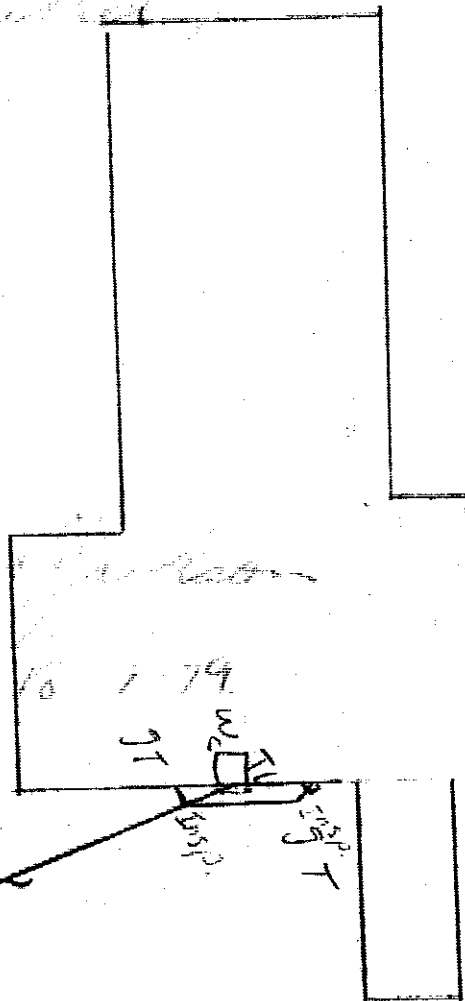


WAIKANAE DISTRICT COMMUNITY PLAN OF ALLOTMENT - PROPOSED DRAINAGE LAYOUT

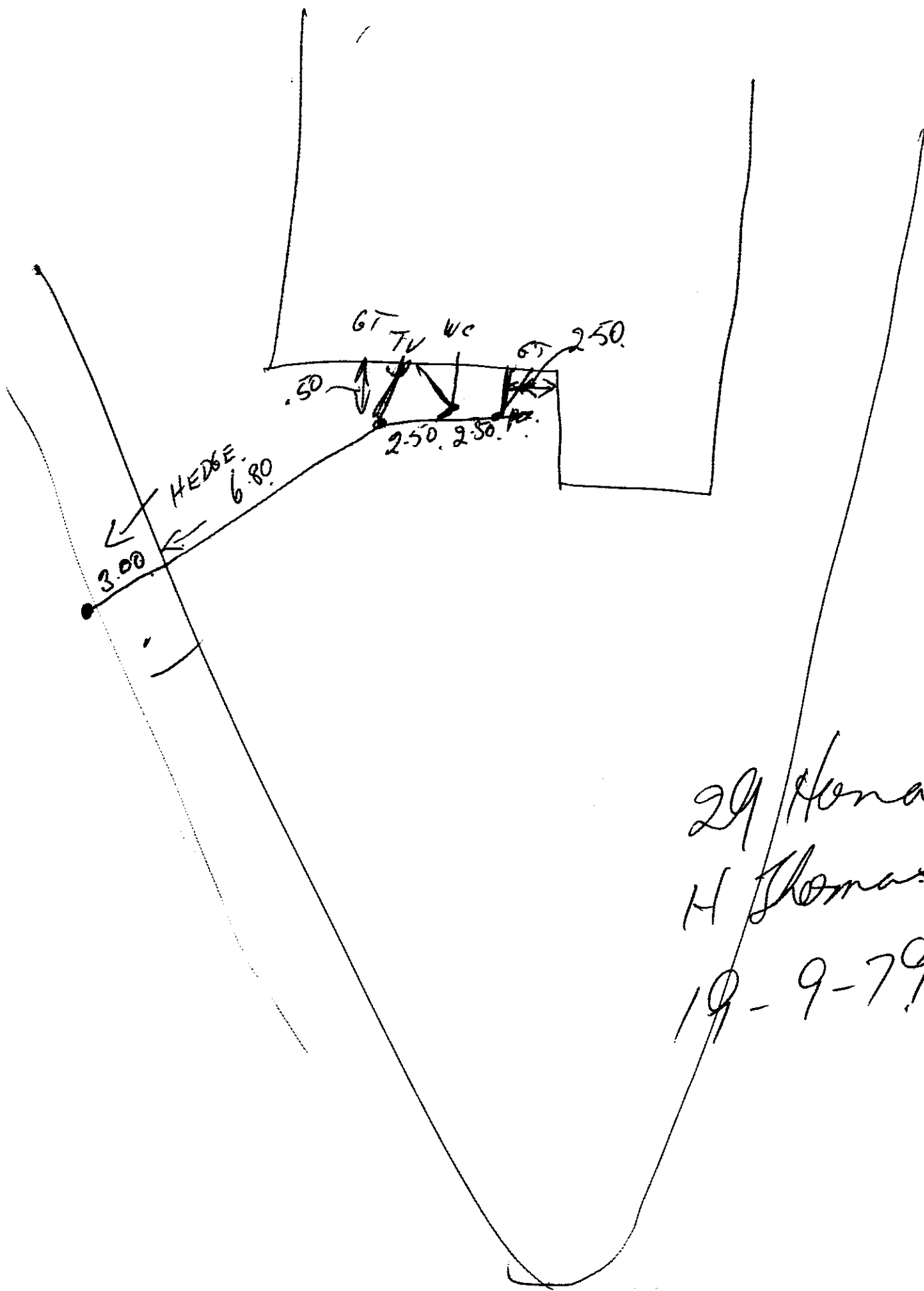
Showing existing buildings and drainage layout and proposed drainage layout to the sewer
scale 1-100.

Boundary Lines to be shown thus: - - - - -

Frontage to HONG ST Road



R. Jackson
18-9-79



29 Honast
H Thomas
19-9-79