

Form 7

Code compliance certificate **BC140407**

Section 95, Building Act 2004

The building

Street address of building: 20 Magnate Drive KAIAPOI

Legal description of land where building is located: LOT 530 DP 461594 0.056900 Ha

Valuation number: 2175401271

Building name:

Location of building within site/block number:

Level/unit number:

Current, lawfully established, use: Residential

Year first constructed: 2014

The owner

Name of owner: Harlan S Lange

Contact person:

Mailing address: 34 Burnside Crescent Christchurch

Street address/registered office:

Phone number: Landline:

Mobile: 0275204550

Daytime:

After hours:

Facsimile number:

Email address:

Website:

First point of contact for communications with the council/building consent authority:

Harlan Scott Lange

Building work

Building consent number: BC140407

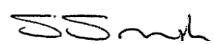
Consent description: Dwelling with attached garage

Issued by: Waimakariri District Council

Code compliance

The building consent authority named below is satisfied, on reasonable grounds, that —

(a) the building work complies with the building consent



Signature

Building Administration

On behalf of Waimakariri District Council

Date: 23 September 2014



Crime Record Number

140923103871
BC140407.03

BC NO: 140407 WDC REC

☐

SECTION 37 OF THE BUILDING ACT RC: _____

APPLIES TO THIS CONSENT ☐ ISSUED ☐

ADMIN TO NOTIFY JAMIE ☐ DATE: _____

DESIGNER: Dixon Design Phone 0338625
SITE: **20 Magnate Drive, Kaiapoi Lot 530**
BUILDER: Carl Lange Phone 021655996

TYPE: 1100 New (& prebuilt) House, Unit, Bach, Crib

Scanned / Electronic

Entered in TRIM

Costing Sheet in TRIM/NCS

Emailed to PIMs

Entered in Sharepoint

Q & OSC.

Date Processed: 5/14

Processed By: CANT K

ENDORSEMENTS (Any special conditions/endorsements on the Building Consent and/or documents that must be drawn to the attention of the owners/subcontractors)

These are noted on the left inside page (see over)

PROJECT COMPLETE/ CCC APPROVED -

INSPECTOR'S SIGNATURE: _____ NAME: _____ DATE: _____

INSPECTION ISSUES

INSPECTION ISSUES NOTED DURING PROCESSING:

- firm base to foundation trench required
- Check ground stormwater flow path off bund at rear of section.

ALTERNATIVE SOLUTION/S:

AMENDMENTS (AFTER CONSENT ISSUE):

DATE: 8/5/14 Moved dwelling 550mm closer to Eastern Bdy -OK'd by PIM & BM
27/5/14 truss as built layout & fixings ~~OK'd~~

ENGINEER TO INSPECT:

SURVEYOR REQUIRED (PEGGING / FFL / RECESSON PLANE):

FIRE ENGINEER TO INSPECT:

ITEMS FOR COUNCIL TO INSPECT (SUCH AS EFFLUENT/POOL FENCING):

CONSTRUCTION REVIEWS REQUIRED TO SUPPORT PRODUCER STATEMENT DESIGN AND INSPECTION:

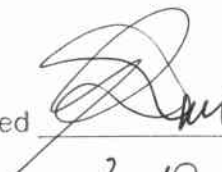
Plumbing pressure test, electrical certificate

File Stripping Check Sheet

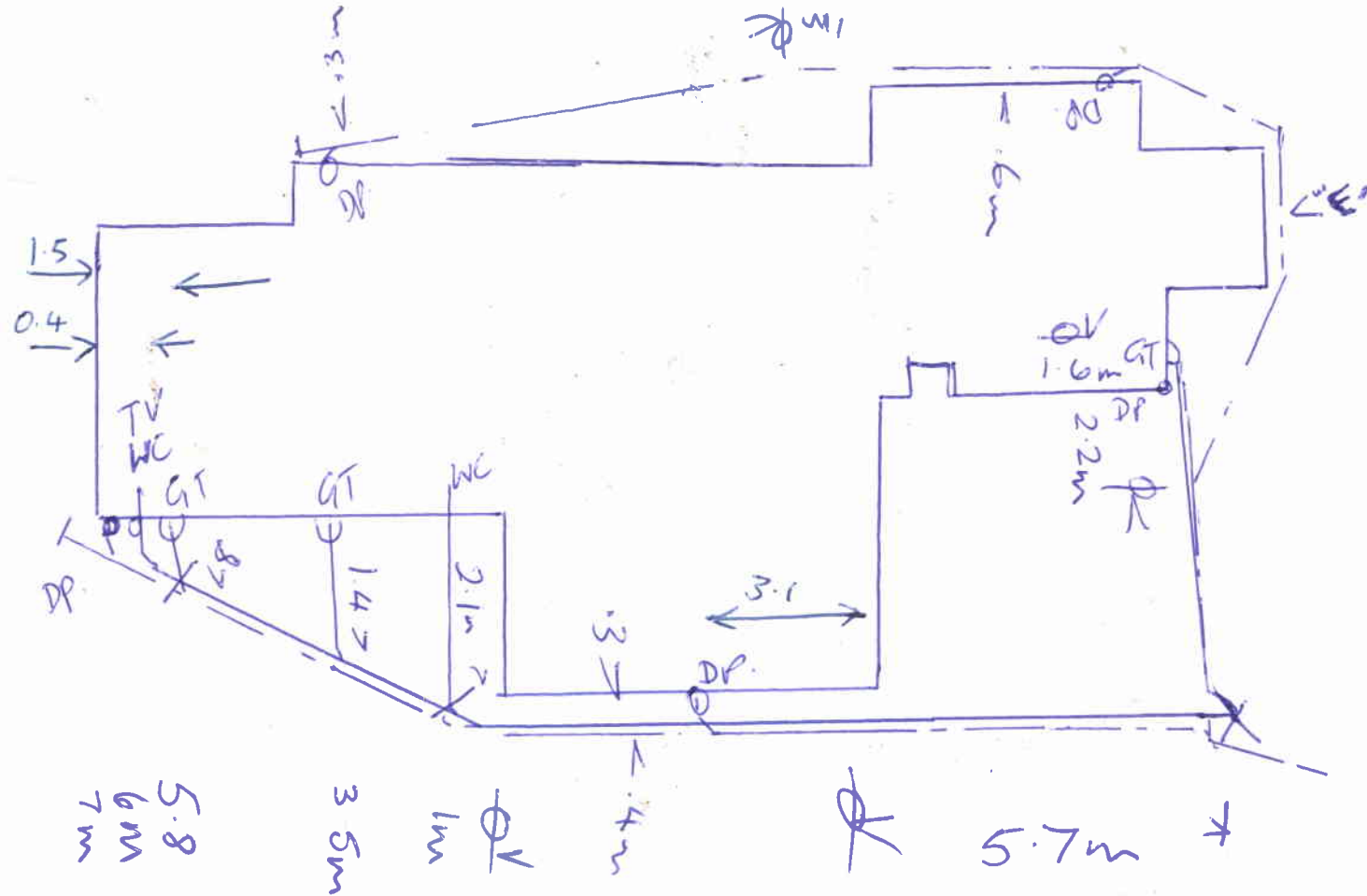
BC 140407

- ☒ All Correspondence
- ☒ Audit Check Sheets
- ☒ CCC – Signed
- ☒ Working File Cover
- ☒ Entire Contents inside the Working File Cover
- ☒ As Built Plans
- ☒ Drainage Plans (both onsite & scaled Drawings)
- ☒ Specifications if any changes (see Working File Cover)
- ☒ All White Inspection Notices (as they may have been written on, see below for process of white Inspection Notices)
- ☐ All site photos
- ☒ All Processing Check sheets & Correspondence
- ☒ All Amendments
- ☒ If in doubt – INCLUDE IT
- ☒ All relevant information has been included
- ☒ Completed file stripping check sheet attached

Signed


2. 10 - 14

Jim Balla Drawings 05104
 Consent 140407
 Sewer 1:60
 storm 1:80





WAIMAKARIRI
DISTRICT COUNCIL

File sign off for issue of a CCC

Job Number 140407 Final By John T. Auditor Mike

Project Description New Dwelling + Att Garage

Items highlighted (**) are to be sent to the council.

Legend: ☒ Pass — N.A ☒ Required

Audit items	
Form 6, signed and dated**	5/9/14 ✓
Final landscaping photos**	✓
Heating check sheet**	—
Drainage Plan**	S. Raika ✓
Exterior Plaster PS3**	Specialized. ✓
Gas Certificate**	—
Electrical Certificate**	T. Lister # E2501 ✓
Drain layers Reg No:	05104 ✓
Plumbers Reg No:	6692 ✓
Plumber pressure Test PS4** Consents from 1.11.07	✓
Tanking PS3**	M. Aubrey # 217 ✓
Cladding type/s as per plans	✓
Drain layers Eff. PS3**	—
W.D.C effluent approval & Fenced	—
Well water test**	—
Engineers site notes**	—
Engineers PS4**	—
Membrane warranty**	—
Membrane Roof Pitch	—
Membrane installers PS4**	—
Construction Statements**	✓
Inspection Notices**	✓
Consent fees owed	—
CCC**	—
Inspection Notices**	—

Jobs on HOLD outstanding items (list)

cladding x2/carpentry/

money??



File sign off for issue of a CCC

Commercial	
Access & Facilities	
FPS PS4**	
FPIS Certificate**	
HVACPS4**	
Compliance Schedule application**	
Surveyors cert. **	

- **Read File – PIM Conditions.**
Check above with site notes and working file.
- **Check all site notices, rearrange file with notes in date sequence.**
Site File to be arranged in
 - RH Side – Inspection notes in date order, stapled twice along top
 - LH side – Drainage plan, PS4's, Energy Certificates etc
 - Put all remaining documentation in date sequence, including plans and specs, bind and place in working file.
- **Follow up all failed inspection items thoroughly, sign and date decision and briefly describe outcome.**

Use space on back of sheet to write up any back ground notes ie: where a follow through of a site inspection requirement is not 100% clear from another reinspection but has been conveyed in other inspections. Also note any discussion with field officer/other staff to show how acceptance was achieved.

Inspection notices correctly completed and signed off

☒ Yes

☐ No

Outstanding Items Yes

☐ No

OK for CCC

☒ Yes

☐ No

(signed)

Date

18/9/14

Form 6

Application for code compliance certificate

Section 92, Building Act 2004

The building consent

Building consent number: 140407

Issued by: Waimakariri District Council

Valuation number: 2175401271

*The owner

Name of owner: Harlan Lange

†Contact person: Harlan Lange

Mailing address: 34 Burnside Crescent, Christchurch 8053

Street address/registered office:

Phone number: Landline:

Mobile: 0275204550

Daytime:

After hours:

Facsimile number:

Email address: harls73@hotmail.com

Website:

The following evidence of ownership is attached to this application: [copy of certificate of title, lease, agreement for sale and purchase, or other document showing full name of legal owner(s) of the building]

‡Agent

‡Name of agent: H Lange

§Contact person: Harlan

Mailing address: 158 Topito Road, RD 1, Kaiapoi 7691

Street address/registered office:

Phone number: Landline:

Mobile: 0275204550

Daytime:

After hours:

Facsimile number:

Email address: trueformbuilding@gmail.com

Website:

Relationship to owner:

First point of contact for communications with the council/building consent authority:

Full Name: H Lange

Mailing Address: 158 Topito Road, RD 1, Kaiapoi 7691

Phones:: 0275204550

Email: trueformbuilding@gmail.com^{ll}

Application

All building work to be carried out under the above building consent was completed.

The personnel who carried out the building work are as follows:

Builder: Carl Lange 158 Topito Road RD 1 Kaiapoi : 021655996

Designer: Dixon Design : 033862502

Drainlayer: Jim Rakia : 0212210030

Plumber: Just Plumbing : 0276163006

Electrician: Wilpower Electrical : 021359331

I request that you issue a code compliance certificate for this work under section 95 of the Building Act 2004.

The code compliance certificate should be sent to: 158 Topito Road, RD 1, Kaiapoi 7691 (Agent)



Signature of agent on behalf of and with the authority of the owner

CARL LANGE

Name of person signing

Date: 5/9/14

Attachments

The following documents are attached to this application:

1 Certificates from the personnel who carried out the work

1 Certificates that relate to the energy work

1 Evidence that specified systems are capable of performing to the performance standards set out in the building consent

NOTICE OF INSPECTION FINAL INSPECTION

Building Act 2004 - Section 90

Owners Name Horlan Lange
Site Address 20 Magnolia Drive
Naipoi
Project Description Dwelling + Att Garage
To the Owner / Agent / Occupier Contractor

Local Auth. Consent No. 140407 **7243**
Prime Job No. _____
Officer John Thomas
Phone No. 021 543919
How Notified: ☒ Notified Direct ☐ Left on Site

Please take note that on the 5 / 9 / 14 at 12 am this site was inspected pursuant to the Building Act 2004

COMPLIES YES NO

COMPLIES YES NO

COMPLIES YES NO

Internal

- 1 Safety glass ☒
- 2 Window restraints ☒
- 3 Window identification First W24 ☒
- 4 Suitable natural ventilation & light ☒
- 5 Smoke detectors ☒
- 6 Plumbing finish ☒
- 7 Shower leak test ☒
- 8 Fixtures secured & sealed ☒
- 9 Impervious floor coverings ☒
- 10 Mechanical ventilation to exterior ☒
- 11 Gas storage to outside ☒
- 12 Gas hob protection ☒
- 13 Heating unit inspected ☒

Plumbing

- 1 HWC (Type & size) 300ltr Morris ☒
- 2 Seismic restraint ☒
- 3 Safe Tray ☒
- 4 Tempering valve ☒
- 5 HWC valving ☒
- 6 Hot water drain points ☒
- 7 Water Temperature 52 degrees ☒
- 8 Header tank, restrained / tray / overflow / lagging ☒
- 9 Floor waste gully water seal ☒
- 10 Water Isolation Valve ☒
- 11 Open Vent ☒

Stairs & balcony

- 1 Treads & risers ☒
- 2 Handrail height & dimension ☒
- 3 Hand rail bracket ☒
- 4 Balcony / Handrail / Barrier ☒
- 5 Overflow relief ☒

Energy

- 1 Gas / Diesel tank siting ☒
- 2 Storage protection ☒
- 3 Capacity ☒
- 4 Automatic shut off ☒
- 5 Gas storage ventilation ☒

Roof space

- 1 Ceiling insulation ☒
- 2 Down light suitability IC ☒
- 3 Solar panel support/fixing ☒
- 4 Roof underlay / laps ☒
- 5 Ducting suitably fixed & connected ☒
- 6 Chimney restraints ☒
- 7 Fire break / Fire blanket ☒

Exterior

- 1 FGL ☒
- 2 Paved areas ☒
- 3 ORG ☒
- 4 S/W discharge ☒
- 5 S/W sumps & Strip Drains ☒
- 6 Size & location of TV ☒
- 7 Finished height of GT ☒
- 8 Mechanical vents to external & operational ☒
- 9 Weep holes / vents sealed (gas) ☒
- 10 Weep holes / ventilation gaps ☒
- 11 Soffit / windows sealed ☒
- 12 Window flashings / facings ☒
- 13 Weathertightness ☒
- 14 Roof cladding suitably fixed ☒
- 15 D/P connected ☒
- 16 Snow straps / boards ☒

- 17 Vermin proof (eg: Garage door) ☒
- 18 Roof penetrations sealed ☒
- 19 Solar Panel Flashing ☒
- 20 Effluent Field inspected ☒

SUPPLIED REQUIRED

General

- 1 Form 6 ☒
- 2 As built drainage plan ☒
- 3 Effluent field PS3 ☒
- 4 Gas certificate ☒
- 5 Electrical certificate ☒
- 6 Structural engineer site notes ☒
- 7 Structural engineer PS4 ☒
- 8 Exterior cladding PS3 ☒
- 9 Tanking PS3 ☒
- 10 Heating Unit PS3 ☒
- 11 Water test (Potable) ☒
- 12 Plumbing Pressure Test ☒
- 13 Solar PS3 ☒
- 14 Commercial Final Checklist ☒
- 15 Butyl Membrane PS3 ☒
- 16 Hazardous Goods Cert ☒
- 17 R M A inspection completed ☒

Inspection	Passed	☒
	Failed	☐
Re-Inspection	Yes	☐
	No	☒

Signature [Signature]

Site Instruction:

Minor Area of Base of cladding Vermin Proof @ 8th Garage, Bed 2, Ensure to close. Contact Inspector direct when Ready (Kris Lange) to allow issue CCC.

Choochee
18/9/14 [Signature]

NB: This is not a Code Compliance Certificate



NOTICE OF INSPECTION

Section 90 Building Act 2004

63898

Owners Name: H Lange

Local Auth. Consent No. 140407

Site Address: 20 Magnate Dr

Officer: Evan Connor

To the Owner / Agent / Occupier / Contractor ☒

How Notified

☒ Notified Direct ☒ Left on Site ☐ Faxed

Please take note that on the 12/1/14 at 9.30 am this site was inspected pursuant to Building Act 2004

Inspection Type: Pre Stop LBP Number: _____

Project Description: Dwelling

Passed items

Inspection Notes: 13 mm standard gib board to ceiling ✓

10 mm standard to walls ✓

Agree line 13 - 10 mm to bathroom and ensuite ✓

Bracing completed as plan ✓

Site instruction

Complete standard walls as required ✓

Contractors Signature _____

Signature [Signature]

All work as per consent documents ☒ Yes ☐ No

Amendments required ☐ Yes ☒ No

Reinspection Required ☐ Yes ☒ No



NOTICE OF INSPECTION

Section 90 Building Act 2004

55946

Owners Name: Lange

Local Auth. Consent No. 140407

Site Address: 20 Magnate Drive

Officer: Andrew Kendall

To the Owner / Agent / Occupier / Contractor

How Notified

☐ Notified Direct ☒ Left on Site ☐ Faxed

Please take note that on the 08 / 07 / 14 at 8:31 am this site was inspected pursuant to Building Act 2004

Inspection Type: Pre-line

Project Description: Dwelling

Inspection Notes: Passed Items:

- EPS panel cladding plaster system completed at inspection time. ✓
- Garage internal door type 'F' lintel fixing completed. ✓
- Window wind zones: High. ✓
- Air seals in place around exterior joinery. ✓
- Wall bracing hold-downs as per sheet 4 of 9. ✓
- Pink Batt thermal insulation barrier in position. ✓
- Polybutylene pipe work lagged outside thermal insulation blanket. ✓
- Wall & ceiling insulation full perimeter of garage. ✓
- Moisture content: 18% Max. ✓

All work as per consent documents ☒ Yes ☐ No

Amendments required ☐ Yes ☒ No

Reinspection Required ☐ Yes ☒ No

Signature Mark



NOTICE OF INSPECTION

Section 90 Building Act 2004

60489

Owners Name: Harlan Lange

Local Auth. Consent No. 140407

Site Address: 20 Magnate Drive

Officer: John Thornton

To the Owner / Agent / Occupier Contractor

How Notified

☒ Notified Direct

☐ Left on Site

☐ Faxed

Please take note that on the 1 / 7 / 14 at 11:50 am/pm this site was inspected pursuant to Building Act 2004

Inspection Type: AAA Pre Plaster + flashings

Project Description: Dwelling + Att Garage

Inspection Notes: passed item:

- EPS panels 90% complete @ time of inspection.
- Stopped Batten in place over meter Box (see Below)
- Fixings core 100mm galv nails with 42mm washers @ 300 cts to studs.

Site Instructions:

- Type F lintel fixing to complete By Next Inspection. 5th Site Instruction on this item.
- 1 x Fixing to be @ each cladding + top and bottom plates @ mid Dwg length as Specs.
- Tape Stopped Batten to wrap as Specs + cut Vertical Batten to left side as per Manufacturers details.
- Complete Remaining to same Standard.
- Base of cladding Verts to fit.

All work as per consent documents ☐ Yes ☒ No

Amendments required ☐ Yes ☒ No

Reinspection Required ☐ Yes ☒ No

Signature



NOTICE OF INSPECTION

Section 90 Building Act 2004

55917

Owners Name: Lange

Local Auth. Consent No. 140407

Site Address: 20 Magnate Drive

Officer: Andrew Kendall

To the Owner / Agent / Occupier Contractor

How Notified

☒ Notified Direct ☒ Left on Site ☐ Faxed

Please take note that on the 30/06/14 at 3 am/pm this site was inspected pursuant to Building Act 2004

Inspection Type: Sheet cladding early installation (EZ Panel)

Project Description: Dwelling

Inspection Notes: Passed Items:

- Window wind zones: High. ✓
- Full length WNZ bars in position. ✓
- CaviteClad battens in place. ✓
- EZ panel proprietary jamb flashings completed. ✓
- Sill flashings with bottom corner soakers as per sheet. ✓
- 6 of 9.
- Penetrations sealed through wrap at inspection time. ✓
- 50mm thick EPS sheet cladding on-site. ✓

Site Instructions:

- Meter box EPS angle wedge to position (Sheet 6) ✓
- Sheet cladding fixings to inspect at next inspection ✓
- Previous site instruction (garage lintel fixing) to be completed by pre-line inspection. ✓

All work as per consent documents ☒ Yes ☐ No

Amendments required ☐ Yes ☒ No

Reinspection Required ☐ Yes ☒ No

Signature [Signature]



NOTICE OF INSPECTION

Section 90 Building Act 2004

55908

Owners Name: Lange

Local Auth. Consent No. 140407

Site Address: 20 Magnate Dr.

Officer: Andrew Kendall

To the Owner / Agent / Occupier / Contractor

How Notified

☐ Notified Direct ☒ Left on Site ☐ Faxed

Please take note that on the 30 / 06 / 14 at 9.31 am/pm this site was inspected pursuant to Building Act 2004

Inspection Type: Sheet cladding (Axon panel only)

Project Description: Dwelling

Inspection Notes: Passed Items:

- Inspection requested for 'Sheet Cladding Early Installation'; even though small area of caviteclad battens have been installed around dining room, inspection requires more battens to be passed. ✓
- Axon panel cladding 90% completed at inspection time ✓
- Window and zones: High ✓
- External corner aluminium boxed flashings completed as per sheet 7 of 9. ✓
- Back flashings in place at cladding junctions. ✓
- WNZ bars in place. ✓
- Council approved plans on-site. ✓
- Unable to reinspect master bedroom lintel strap nails due to wrap/sill tape/soffits in place. ✓

Site Instructions:

- Internal garage door type 'F' lintel fixings to complete. ✓
- Ground to cladding clearances to comply by final inspection. ✓

All work as per consent documents ☒ Yes ☐ No

Amendments required ☐ Yes ☒ No

Reinspection Required ☐ Yes ☒ No

Signature



NOTICE OF INSPECTION

Section 90 Building Act 2004

63996

Owners Name: H Lange

Local Auth. Consent No. 140407

Site Address: 20 Magnate Dr

Officer: Evan Connor

To the Owner / Agent / Occupier Contractor

How Notified

☒ Notified Direct ☒ Left on Site ☐ Faxed

Please take note that on the 24/6/14 at 8.30 am this site was inspected pursuant to Building Act 2004

Inspection Type: cavity battens & flashings LBP Number: _____

Project Description: Dwelling;

Passed Items.

Inspection Notes: 20 x 45 H3.1 cavity battens in place ✓
PVC cavity batten flashings to internal corners. ✓
Aligning external flashing in place. ✓
Cavity closer in place.
Battens continuous at soffit. Double battens ✓
up the sides of openings

Next inspection early install sheet cladding ✓
see previous

All work as per consent documents ☒ Yes ☐ No

Amendments required ☐ Yes ☒ No

Reinspection Required ☐ Yes ☒ No

Contractors Signature _____

Signature Evan Connor



NOTICE OF INSPECTION

Section 90 Building Act 2004

63995

Owners Name: H Lange

Local Auth. Consent No. 140407

Site Address: 20 Magnate Dr

Officer: Evan Connor

To the Owner / Agent / Occupier /Contractor/

How Notified

☒ Notified Direct ☒ Left on Site ☐ Faxed

Please take note that on the 24 / 6 / 14 at 3.00 pm this site was inspected pursuant to Building Act 2004

Inspection Type: Wrap & Tape LBP Number: _____

Project Description: Dwelling

Inspection Notes: Passed items

Bottom plate packed garage rebate. ✓

Type G lounge complete. ✓

CT 200 TGC1 and TGC3 fitted. ✓

Tekton building wrap fitted. Blue banding run between

clawing lines. Wrap 25mm clear of foundation. ✓

returning to the inside of framing. ✓

Thermocraft and Flamedash tape used. ✓

All openings treated the same. ✓

Site Instruction

Type F lintel fixing internal garage door to complete. ✓

Master bedroom lintel strap to nail ✓

Contractors Signature _____

Signature Evan Connor

All work as per consent documents ☒ Yes ☐ No

Amendments required ☐ Yes ☒ No

Reinspection Required ☐ Yes ☒ No



NOTICE OF INSPECTION

Section 90 Building Act 2004

55590

Owners Name: HARLAN LANGE

Local Auth. Consent No. 140407

Site Address: 20 MAGNATE DRIVE

Officer: John Durand

To the Owner / Agent / Occupier / Contractor

How Notified

☒ Notified Direct ☒ Left on Site ☐ Faxed

Please take note that on the 3 / 6 / 14 at 10 am this site was inspected pursuant to Building Act 2004

Inspection Type: STRUCTURE PREPARED PREVIEW

Project Description: NEW DWELLING

Inspection Notes: PASSED ITEMS

- PURLINS, PURLIN FIXINGS, VALLEY BRACKS + TRUSS CONNECTIONS ✓
- SND/ TOP PLATE CONNECTIONS & LINTEL CONNECTIONS ✓
- WALL BRACE & BOTTOM PLATE HOLD DOWN, INTERNAL & EXTERNAL ✓
- H12 FRAMING, DPC UNDER BOTTOM PLATES ✓

SITE INSTRUCTIONS

- ✓ - PACK BOTTOM PLATE REBATE ALONGSIDE GARAGE DOOR ✓
- ✓ - TYPE F LINTEL FIXINGS TO INTERNAL GARAGE DOOR ✓
- ✓ - BOTTOM PLATE BOLTS & WASHERS TO TYPE G LINTEL IN LOUSE ✓
- CT 200s TO TRUSSES T401 & T403

All work as per consent documents ☒ Yes ☐ No

Amendments required ☐ Yes ☒ No

Reinspection Required ☐ Yes ☒ No

Signature John Durand



NOTICE OF INSPECTION

Section 90 Building Act 2004

58698

Owners Name: Lange

Local Auth. Consent No. 140407

Site Address: 20 Magrate Dr.

Officer: Andrew Kendall

To the Owner / Agent / Occupier Contractor

How Notified

☒ Notified Direct

☒ Left on Site

☐ Faxed

Please take note that on the 21 / 05 / 14 at 2:41 am pm this site was inspected pursuant to Building Act 2004

Inspection Type: Drainage

Project Description: Dwelling

Inspection Notes: Passed Items:

- Pipes laid in accordance with 'as built' plan. ✓
- Drainlayer: Jim Raika, Reg: 05104 ✓
- 90mm dia uPVC stormwater lines ✓
- 100mm dia uPVC sewer lines ✓
- Branch drain within 10m length ✓
- Sewer laid @ 1:60 ✓
- Stormwater laid @ 1:80 ✓
- Pipes laid on bedding chip ✓

Site Instructions:

- Please note future inspections will be failed unless a 'full' set of plans are on-site (Only Specs on-site!). ✓
- Stormwater lateral north side of dwelling requires bedding chip. ✓
- Ensure adequate surface drainage to an approved S.W disposal system is positioned by final to adjacent ground as per NZS 3604, Fig 6.21. ✓

All work as per consent documents ☒ Yes ☐ No

Amendments required ☐ Yes ☒ No

Reinspection Required ☐ Yes ☒ No

Signature



NOTICE OF INSPECTION

Section 90 Building Act 2004

59876

Owners Name: Lange

Local Auth. Consent No. 140407

Site Address: 20 Magnate Dr

Officer: mark mclaughlin

To the Owner / Agent / Occupier / Contractor

How Notified

☐ Notified Direct ☒ Left on Site ☐ Faxed

Please take note that on the 19 / 5 / 14 at 1:30 am/pm this site was inspected pursuant to Building Act 2004

Inspection Type: Pre Pour Slab

Project Description: New Dwelling

Inspection Notes: Passed Items:

- Floor ties bent into slab with 012 added to perimeter ✓
- Dpm laid with laps taped ✓
- Internal thickenings / corner bars ✓
- Slab thickening has 2 012 bars ✓
- 500 E ductile mesh on chairs ✓
- Waste pipes sleeved ✓

Site instructions:

- To fit garage door rebate ✓

VAK 21/5/14

All work as per consent documents ☒ Yes ☐ No

Amendments required ☐ Yes ☒ No

Reinspection Required ☐ Yes ☒ No

Signature



NOTICE OF INSPECTION

Section 90 Building Act 2004

59864

Owners Name: Lange

Local Auth. Consent No. 140407

Site Address: 20 magnate drive

Officer: mark m'laughlin

To the Owner / Agent / Occupier ☒ Contractor

How Notified

☐ Notified Direct ☒ Left on Site ☐ Faxed

Please take note that on the 16 / 5 / 14 at 9:40 am / pm this site was inspected pursuant to Building Act 2004

Inspection Type: Compacted Hardfill

Project Description: New Dwelling

Inspection Notes: Passed Items:

- Compacted hardfill in accordance with NZS 3600:2011 7.5.3.1 ✓
- Crusher dust layer approx 25mm ✓
- HWC relief drain copper sleeved ✓
- Waste pipes fitted. Appear to have sufficient fall ✓
- Slab thickening formed ✓

Site instructions:

- Slab thickening to have crusher dust layer ✓
- to ensure a 25mm air gap is achieved to HWC relief drain at final ✓

All work as per consent documents ☒ Yes ☐ No
Amendments required ☐ Yes ☒ No
Reinspection Required ☐ Yes ☒ No

Signature [Signature]



NOTICE OF INSPECTION

Section 90 Building Act 2004

52707

Owners Name: Lange

Local Auth. Consent No. 140407

Site Address: 20 Magnate Dr

Officer: Even Connor

To the Owner / Agent / Occupier / Contractor

How Notified

☐ Notified Direct ☒ Left on Site ☐ Faxed

Please take note that on the 7 / 5 / 14 at 10.00 am/pm this site was inspected pursuant to Building Act 2004

Inspection Type: Foundation pre pour

Project Description: Dwelling
Passed items

Inspection Notes: 500 mm below finished ground achieved ✓
Foundation dug down to solid. Footing 300 wide ✓
boxed to 300 mm.

3 D12 rods, two bottom one top supported by
floor ties at 600 c/s. Laps 500 mm or more. ✓
Skewers in place for services

1230 mm measurement off boundary checked and is
consistent with plan. Both boundary pegs viewed ✓
at each end.

Minor on site ~~is~~ amendment from sheet 5 Foundation
detail now being completed as NCS 3604. ✓
See detail.



approved by owner
x Hanlan Lange ✓
x [Signature]

All work as per consent documents ☒ Yes ☐ No

Amendments required ☐ Yes ☒ No

Reinspection Required ☐ Yes ☒ No

Signature

[Signature]



NOTICE OF INSPECTION

Section 90 Building Act 2004

59940

Owners Name: Lange

Local Auth. Consent No. 140407

Site Address: 20 magrate or

Officer: mark mclaughlin
021825067

To the ☒ Owner / Agent / Occupier ☒ Contractor

How Notified

☒ Notified Direct ☒ Left on Site ☐ Faxed

Please take note that on the 2 / 5 / 14 at 2 am/pm this site was inspected pursuant to Building Act 2004

Inspection Type: Foundation Pre Pour

Project Description: New Dwelling

Inspection Notes: Passed Items :

- Lot 530 Survey pegs located. Siting is approx to plans. ✓
- owner on site confirms that measurement to Garage of 8.8m now 8.3 m and is providing new site plan. no issues with Rel plane ✓
- Site Stripped ✓
- Sleeves for wastes ✓
- footing boxed 300 mm wide ✓
- Reinforcing 3 D12 with D10 slab ties 600 mm (see below) ✓

Failed Items :

- minimum depth of 500 mm trench into ground has not been achieved. most areas dug approx 350 mm ✓
Engineer to approve or must be 500 mm
- Consent plans shows footing to be poured with a Nib as per sheet 5 (and extra D12 bar at top) ✓

No charge

All work as per consent documents ☐ Yes ☒ No

Amendments required ☒ Yes ☐ No

Reinspection Required ☒ Yes ☐ No

Signature



NOTICE OF INSPECTION

Section 90 Building Act 2004

62762

Owners Name: Harlan Lange

Local Auth. Consent No. 140407

Site Address: 20 Magnate Dr

Officer: Evan Connor

To the Owner / Agent / Occupier Contractor

How Notified

☒ Notified Direct ☒ Left on Site ☐ Faxed

Please take note that on the 30 / 4 / 14 at 9.00 am/pm this site was inspected pursuant to Building Act 2004

Inspection Type: Foundation

Project Description: Dwelling

Fail

Inspection Notes: Plans to be on site

- Boundary pegs to be identified
- Siting to be confirmed
- Foundation water to be drained
- Foundation cave in areas to be cleaned out and footing squared up at base.

All work as per consent documents ☐ Yes ☒ No

Amendments required ☐ Yes ☒ No

Reinspection Required ☒ Yes ☐ No

Signature [Signature]

Producer Statement Exterior Plastering

SITE DETAILS		25358
Issued by (plasterer/installer): <i>Tim Maguire</i>		
To (council):		
Building consent application number:		
Building consent applicant:		
In relation to plastering work carried out at (project address):		
Lot	DP	Date of Completion of work <i>20-7-14</i>

I (plasterer/installer) *Tim Maguire* have been engaged to fix or install an exterior plaster system to various walls at the above address. The work completed by my company in strict accordance with the manufacturers requirements and literature supplied with the Building Consent application has included (please tick all those appropriate):

- | | |
|---|---|
| ☒ Caviteclad System (Substrate & Flashing Installation) | ☐ Plastering Brickwork |
| ☐ Caviteclad System (Plastering & Finishing) | ☐ Plastering Aerated Concrete Blocks |
| ☐ EZpanel System (Substrate & Flashing Installation) | ☐ Jointing & Finishing Fibre Cement Sheets |
| ☐ EZpanel System (Plastering & Finishing) | ☐ Skimming Precast Concrete |
| ☐ Insulating Concrete Blocks | ☐ Plastering Insulated Concrete Formwork |
| ☐ Plastering Blockwork | ☐ Painting |
| ☐ Other Please Specify _____ | Manufacturer _____ |
| | Colour _____ |

And I am satisfied on reasonable grounds that the work specified above has been completed to the extent required by the Building Consent and complies with the Building Code having been fixed or installed in accordance with NZBC Acceptable Solution E2/AS1, paragraph 1.1. I understand that if this Producer Statement is accepted, it will be relied on by the City Council for the purposes of establishing compliance with the Building Code.

PLASTERER'S DETAILS		
Name: <i>TIM MAGUIRE</i>		
Qualification: <i>PLASTERER</i>	License No: <i>125617</i>	
Address of plasterer: <i>36 COXSRING WAY</i>		
Tel work: <i>03 381 08 05</i>	Tel home: _____	Mobile: <i>0274535445</i>
Fax: _____	Email: <i>tim@plasterplus.co.nz</i>	
Signature: <i>[Signature]</i>		Date: <i>28/8/14</i>



Compliance and Electrical Safety Certificate

This form has been issued by the Electrical Workers Registration Board



Unique ID: Harlen

This form has been designed to be used by licensed electrical workers to certify low voltage installations or part installations that comply with Part 2 of AS/NZS 3000 and are safe to be connected to a 230/400 volt multiple earth neutral (MEN) system of electrical supply.

(1) Location of installation

Address: 20 Magnate Drive

(2) Customer Information

Name: Harlen Lange

Postal Address: _____

Phone and Email: 027 520 4550 harls73@hotmail.com

(3) Electrical Worker Information

Name: Trent Lister Registration/Practising Licence Number: E2501

Organisation: TRENT LISTER ELECT Telephone Number: 027 223 9453

Email: trent.richelle@xtra.co.nz

Name of person(s) being supervised: _____

(4) Work Details

The work is (circle): **additions** | alterations | new work

The prescribed electrical work is: ☐ High Risk ☐ General ☒ Low Risk ☐ The homeowner has undertaken part of the electrical installation work.
(Please tick (✓) as appropriate)

Indicate the number of each item installed or altered

Number of lighting outlets: 36 1x sensor 2xfans
Number of socket outlets: 26
Number of ranges: 1
Number of water heaters: 1

Other Work?

Tick (✓) if work includes:

- ☒ Mains
☒ MEN switchboard closed to point of supply
☒ Main Earthing System
☒ Electric Lines

(5) Certification of Work

I certify that the completed prescribed electrical work to which this certificate applies, has been done lawfully and safely and the information in the certificate is correct in that the installation, or part of the installation:

- ☒ has been installed in accordance with a certified design
☒ has an earthing system that is correctly rated
☒ contains fittings which are safe to connect to a power supply
☐ relies on supplier's Declaration of Conformity (attach or reference)
☐ relies on manufacturer's instructions (attach or reference)
☐ has been satisfactorily tested in accordance with Electricity (Safety) Regulations 2010
☒ is safe to connect

Electronic reference: Harlen

Electrical Worker's Signature: _____

Date: 21-8-14

If it is impractical to attach a copy of a particular manufacturer's instructions, or of any certified design or supplier declarations of conformity, provide a reference to where the documents can be found, in a readily accessible format, through electronic means.

Test Results:

	Electrical Worker	Inspector
Polarity (independent earth):	✓	
Insulation resistance:	✓	
Earth continuity:	✓	
Bonding:	✓	
Other (specify):	✓	

(6) Electrical Safety Certificate

I certify that the installation, or part of the installation, to which the Electrical Safety Certificate applies is connected to a power supply and is safe to use.

Name: Trent Lister Registration/Practising Licence Number: E2501

Signature: _____ Date: 21-8-14

(If certifier is different from electrical worker)

Producer Statement Construction PS3

For guidance on how to use this template, please refer to information Sheet B-388 – Requirements for the Acceptance of PS3 Producer Statements and Construction Statements

Companies Letterhead or Author's Name: **AUBREY MANSELL LTD**

Tick applicable Contractor for:

☐ Building	☐ Emergency Lighting	☐ Cladding
☒ Waterproof Membranes	☐ Drainlayer	☐ Fire Alarm
☐ Mechanical (HVAC)	☐ Solar Heating	☐ Lift / Escalator (delete one)
☐ Other (Specify):		

Issued by: MARU AUBREY, AUBREY MANSELL LTD to Waimakariri Council.

SECTION 1: OWNER

Owner: TRUEFORM BUILDING

Project Address LOT 530 MAGNATE DRIVE, SOVEREIGN PALMS, KAIAPOI,

Scope of work covered by statement: 2SQM SQM WATERPROOFING MEMBRANE TO BATH SURROUND

System / Product used (if applicable): TWO COATS, MCB AQUABLOK USED & REINFORCEMENT TAPE TO CORNERS

I (Constructor): MARU AUBREY OF AUBREY MANSELL LTD have been engaged by TRUEFORM BUILDING (building consent applicant) to construct:

☐ All ☐ Part only

As specified in the attached particulars of Building Consent Number: ABA 140407 and its attached conditions and am satisfied on reasonable grounds that the building work specified above has been completed to the extent required by that Building Consent and complies with the Building Consent.

Specific reference to the Building Code:

What clauses of the Building Code are covered by the Producer Statement?

(Circle applicable clauses)

B1	B2	C1	C2	C3	C4	D1	D2	E1	E2
E3	F1	F2	F3	F4	F5	F6	F7	F8	G1
G2	G3	G4	G5	G6	G7	G8	G9	G10	G11
G12	G13	G14	G15	H1					

I understand that this Producer Statement, if accepted, will be relied upon by Waimakariri Council for the purpose of establishing compliance with the Building Consent.

SECTION 2: CONSTRUCTOR'S DETAILS

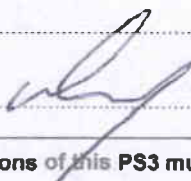
Name: MARU AUBREY, AUBREY MANSELL LTD Registration Number: NZ217 or N/A ☐

Qualifications / Experience: 18 YEARS

Address: 26 JENKINS AVE, REDWOOD

Phone Number: HOME (03)3521 554 WORK: MOBILE 021 476 712

Fax: Email: maruaubrey@yahoo.com

Signature:  Date: 2/9/2014

NB: All sections of this PS3 must be completed.

Memorandum from licensed building practitioner: Record of building work

Section 88, Building Act 2004

Please fill in the form as fully and correctly as possible.

If there is insufficient room on the form for requested details, please continue on another sheet and attach the additional sheet(s) to this form.

THE BUILDING	
Street address: 20 Magnate Drive	
Suburb: Soverign Palms, Kaiapoi	
Town/City: Christchurch	Postcode: 7690

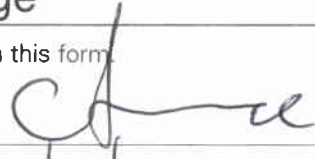
THE PROJECT
Building consent number: 140407

THE SIGNALL(S)	
Name(s): Harlan Lange	
Mailing address: 20 Magnate drive	
Suburb:	PO Box/Private Bag:
Town/City: Kaiapoi	Postcode: 7690
Phone number:	Email address:

PRIMARY STRUCTURE		
Work that is restricted building work	Description of restricted building work	Carried out or supervised
Tick ☒	If necessary, describe the restricted building work.	Tick ☒ whether you carried out the restricted building work or supervised someone else carrying out the restricted building work.
Foundations and subfloor framing ☒		☐ Carried out ☒ Supervised
Walls ☒		☐ Carried out ☒ Supervised
Roof ☐		☐ Carried out ☐ Supervised
Columns and beams ☒	As per the plan	☐ Carried out ☒ Supervised
Bracing ☒	As per the plan	☒ Carried out ☐ Supervised
Other ☐		☐ Carried out ☐ Supervised

EXTERNAL MOISTURE MANAGEMENT SYSTEMS		
Work that is restricted building work	Description of restricted building work	Carried out or supervised
Tick ☒	If necessary, describe the restricted building work.	Tick ☒ whether you carried out the restricted building work or supervised someone else carrying out the restricted building work.
Damp proofing ☐		☐ Carried out ☐ Supervised
Roof cladding or roof cladding system ☐		☐ Carried out ☐ Supervised
Ventilation system (for example, subfloor or cavity) ☐		☐ Carried out ☐ Supervised
Wall cladding or wall cladding system ☒	James hardie Axon panel to aprox 20% of exterior	☐ Carried out ☒ Supervised
Waterproofing ☐		☐ Carried out ☐ Supervised
Other ☐		☐ Carried out ☐ Supervised

Name and contact details of the licensed building practitioner who is licensed to carry out or supervise restricted building work.	
Name: Carl Lange	LBP number: 101902
Class(es) licensed in:	
Carpentry Site 2	
Plumbers, Gasfitters and Drainlayers registration number (if applicable):	
Mailing address (if different from below):	
Street address/Registered office:	
Suburb:	Town/City:
PO Box/Private Bag	Postcode:
Phone number:	Mobile:
After hours:	Fax:
Email address:	Website:

DECLARATION	
I, Carl Lange _____ carried out or supervised the restricted building work recorded on this form.	
Signature:	
Date:	3/9/14

Producer Statement Construction PS3

For guidance on how to use this template, please refer to information Sheet B-388 – Requirements for the Acceptance of PS3 Producer Statements and Construction Statements which is available from our website (www.ccc.govt.nz).

Companies Letterhead or Author's Name: TRUE FORM BUILDING LTD

Tick applicable Contractor for:

☒ Building	☐ Emergency Lighting	☒ Cladding
☐ Waterproof Membranes	☐ Drainlayer	☐ Fire Alarm
☐ Mechanical (HVAC)	☐ Solar Heating	☐ Lift / Escalator (delete one)
☐ Other (Specify):		

Issued by: CARL LANGE to Waiwaka Council

SECTION 1: OWNER

Owner: HARLAN LANGE

Project Address: 20 MAGNATE DRIVE

Description of Building Work:

Scope of work covered by statement: ARON PANEL TO EXTERIOR OF HOUSE

System / Product used (if applicable): JAMES HARDIE ARON PANEL SYSTEM

I (Constructor): CARL LANGE have been engaged by HARLAN LANGE (building consent applicant) to construct:

☐ All ☒ Part only

As specified in the attached particulars of Building Consent Number: ABA 140407 and its attached conditions and am satisfied on reasonable grounds that the building work specified above has been completed to the extent required by that Building Consent and complies with the Building Consent.

Specific reference to the Building Code:

What clauses of the Building Code are covered by the Producer Statement?
(Circle applicable clauses)

B1	B2	C1	C2	C3	C4	D1	D2	E1	E2
E3	F1	F2	F3	F4	F5	F6	F7	F8	G1
G2	G3	G4	G5	G6	G7	G8	G9	G10	G11
G12	G13	G14	G15	H1					

I understand that this Producer Statement, if accepted, will be relied upon by _____ Council for the purpose of establishing compliance with the Building Consent.

SECTION 2: CONSTRUCTOR'S DETAILS

Name: CARL LANGE Registration Number: 101902 or N/A ☐

Qualifications / Experience: TRADE CERT / CERTIFIED BUILDING MEMBER

LBP SITE 2 CARPENTRY 27 yr exp

Address: 158 TOPELO RD

Phone Number: HOME: _____ WORK: _____ MOBILE: 021655996

Fax: _____ Email: _____

Signature: [Signature] Date: 3/9/14

NB: All sections of this PS3 must be completed.

PRODUCER STATEMENT PIPEWORK TESTING

Private Bag 1005, Rangiora 7440
Ph 03 311 8900, 03 327 6834 Fax 03 313 4432
www.waimakariri.govt.nz

BC No.

140407

Issued by (Plumber):

Just Plumbing Ltd

For (Owner):

At (address):

Lot 530 Magnate Drive
Kaiapoi.

In respect of the testing of water pipe work prior
to concealment.

I hereby state that I have personally tested the water pipe work installed in the building authorised under this Building Consent by the method indicated hereunder.

By pressurising the pipe work to 1500 kPa for a period of not less than 15 minutes for the hot and cold water supply and checking to see there are no leaks. (NZBC G12/AS1 7.5.1 (a), (b).)

By pressurising the uPVC pipe work to 1.5 times the maximum working pressure for a period of not less than 15 minutes and checking that there are no leaks. (NZBC G12/AS1 7.5.2, NZS 7643).

Max working pressure was:

By pressurising the pipe work to 1500 kPa for a period of not less than 5 minutes and checking to see there are no leaks. (NZBC G12 VM1, AS3500:Part 1.2 1998)

And believe on reasonable grounds that the pipe work has passed that test.

All work complies with the NZBC

I also understand that Waimakariri District Council in accepting this producer statement will be relying on it to issue the Code Compliance Certificate at the completion of the building work.

SIGNATURE OF LICENSED CERTIFYING PLUMBER:

Signature:



Date: 26/8/14

Registration Number:

6692

Company Name:

Just Plumbing Ltd.

- BUILDING WRAP IS TO BE FIXED OVER SILLS AND OPENING STUDS
- FLEXIBLE FLASHING TAPE IS REQUIRED TO LINTELS AND 250 MM DOWN OPENING STUDS AT EITHER END
- FLEXIBLE FLASHING TAPE IS REQUIRED TO SILL TRIMERS AND 150 MM UP OPENING STUDS AT EITHER END
- FLASHING TAPE IS ALSO REQUIRED 250 MM IN EITHER DIRECTION AT UPPER CORNERS OF WINDOWS AND DOORS THAT ARE NOT HARD UP UNDER SOFFIT LINES (IE GABLE ENDS)
- AS THE BUILDING WRAP / PAPER EXTENDS AROUND AND IS FIXED TO THE UNDERSIDE OF THE LINTEL THE HEAD FLASHINGS NEED TO BE SEALED TO THE BUILDING WRAP WITH 50 MM WIDE FLASHING TAPE

- WANZ BARS
- ADDITIONAL SILL SUPPORT TO ALL WINDOW / DOOR JOINERY IE WANZ BARS

COMPLIANCE/SERVICES CHECKED PLANS

Refer to Check Sheet report for any relevant conditions.

BC140407

24/03/2014

debbiew

CORROSION ZONE C
WIND ZONE - HIGH
EARTHQUAKE ZONE - 2
SNOW ZONE - N4 59.00 M

NORTH ELEVATION

RISK FACTOR	LOW	MEDIUM	HIGH	VERY HIGH
WIND ZONE			1	
NUMBER OF STOREYS	0			
ROOF/WALL INTERSECTION DESIGN	0			
EAVES WIDTH	0			
ENVELOPE COMPLEXITY	0			
DECK DESIGN	0			
TOTAL RISK FACTOR	1			

SOUTH ELEVATION

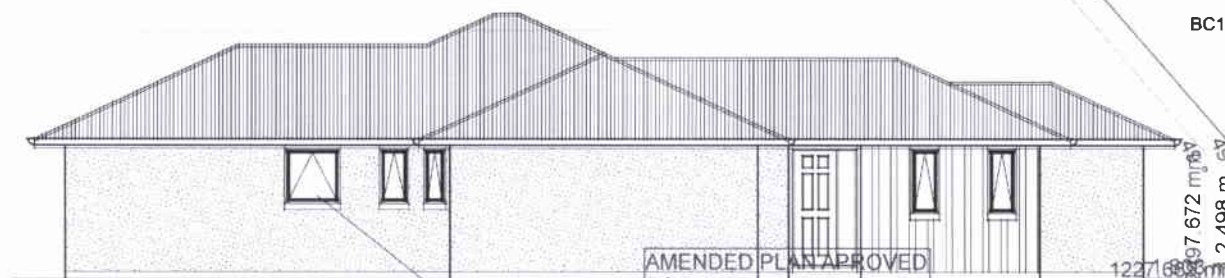
RISK FACTOR	LOW	MEDIUM	HIGH	VERY HIGH
WIND ZONE			1	
NUMBER OF STOREYS	0			
ROOF/WALL INTERSECTION DESIGN	0			
EAVES WIDTH	0			5
ENVELOPE COMPLEXITY	0			
DECK DESIGN	0			
TOTAL RISK FACTOR	1			

WEST ELEVATION

RISK FACTOR	LOW	MEDIUM	HIGH	VERY HIGH
WIND ZONE			1	
NUMBER OF STOREYS	0			
ROOF/WALL INTERSECTION DESIGN	0			
EAVES WIDTH	0			
ENVELOPE COMPLEXITY	0			
DECK DESIGN	0			
TOTAL RISK FACTOR	1			

EAST ELEVATION

RISK FACTOR	LOW	MEDIUM	HIGH	VERY HIGH
WIND ZONE			1	
NUMBER OF STOREYS	0			
ROOF/WALL INTERSECTION DESIGN	0			
EAVES WIDTH	0			
ENVELOPE COMPLEXITY	0			
DECK DESIGN	0			
TOTAL RISK FACTOR	1			



SOUTH ELEVATION 1:100

SAFETY GLASS TO NZS 4223

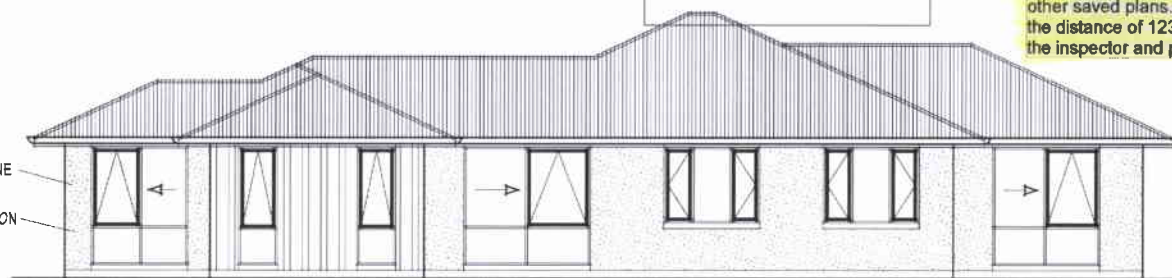
AMENDED PLAN APPROVED

BC 140407

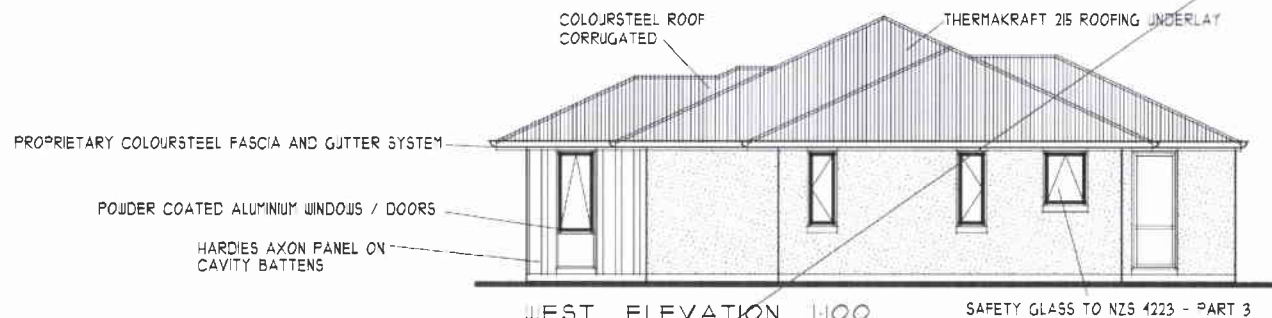
8/05/2014

gillianb

the correct setback is 1230mm from the eastern boundary, not the 1253 as per the other saved plans.
the distance of 1230 has been checked by the inspector and passed - gfb 08/05/14

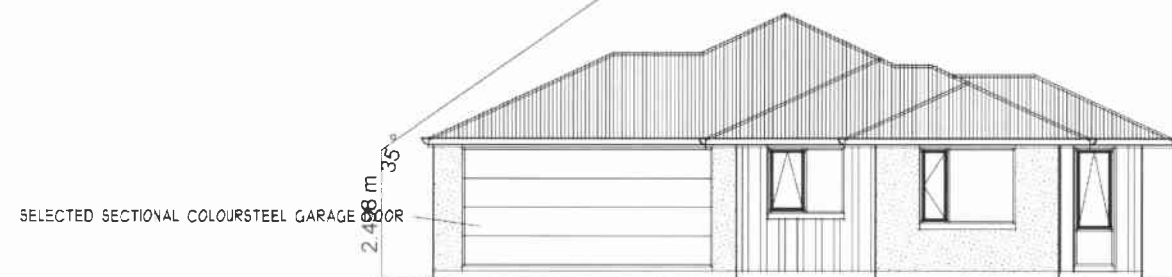


NORTH ELEVATION 1:100



WEST ELEVATION 1:100

SAFETY GLASS TO NZS 4223 - PART 3



EAST ELEVATION 1:100



DIXON DESIGN LTD
704 HILLS ROAD
CHRISTCHURCH 8051
PH/FAX 03 366 2502
EMAIL dixondesign@xtra.co.nz

PROPOSED RESIDENCE LOT 530 DP461594 MAGNATE DRIVE KAIAPOI

SHEET

1 OF 9

DRAWN

DATE FEB 2014

REF NO 201401

ALL PLANS TO BE READ IN CONJUNCTION WITH THE SPECIFICATIONS AND ENGINEER'S DETAILS. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK. WRITTEN DIMENSIONS ARE TO TAKE PRIORITY OVER SCALED DIMENSIONS.

Diag. A



Land District: Canterbury Digitally Generated Plan Generated on: 23/08/2013 3:56pm Page 10 of 19	Lots 243, 244, 254-257, 450-455, 480, 482, 486, 487, 498-502, 523, 529-532, 536, 537-573, 607, 704, and 806 Being a Subdivision of Lots 804 and 805 DP 481002	Surveyor: Russell Thomas Benge Firm: Davis Ogilvie & Partners Ltd (Christchurch)	Title Plan DP 461594 Deposited on: 5/08/2013
---	--	--	---

BC140407

Job Details

Pitch 25.000
Roof Galv Iron 5mm
TC Restraints 900
Overhang 600
Wind Area High
Roof Snow 0.441
BC Restraints 400
Ceiling Standard

Trusses And Rafter At 900 Centres
Unless Stated Otherwise

Fixings

- = 47x90 JH
- = 47x120 JH
- = 47x190 JH
- = 95x165 JH
- = Multigrips
- = Split Hanger SP180
- = Nail On Plate
- = 16Kn TTP
- = pair CT200 (LH & RH)
- = 9kn TTP
- = User Defined

Wiredogs Fixing Per Drawing/Note Below

Please contact PlaceMakers Frame & Truss Manufacturing if any on site remedial work is required. There will be no compensation for work done without PlaceMakers Frame & Truss Manufacturing written authority.

Job No. : 14-61916

Job Name : Trueform Builders-"Harten"

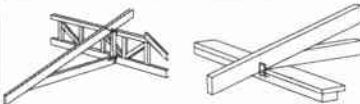
Address : Lot 530 Magnate Drive
Kaiapoi

Consent #

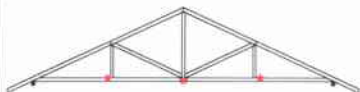
Drawn : Sarah Kim
Date : 26 May, 2014

Cell : 027 703 0978

Email : Sarah.kim@placemakers.co.nz



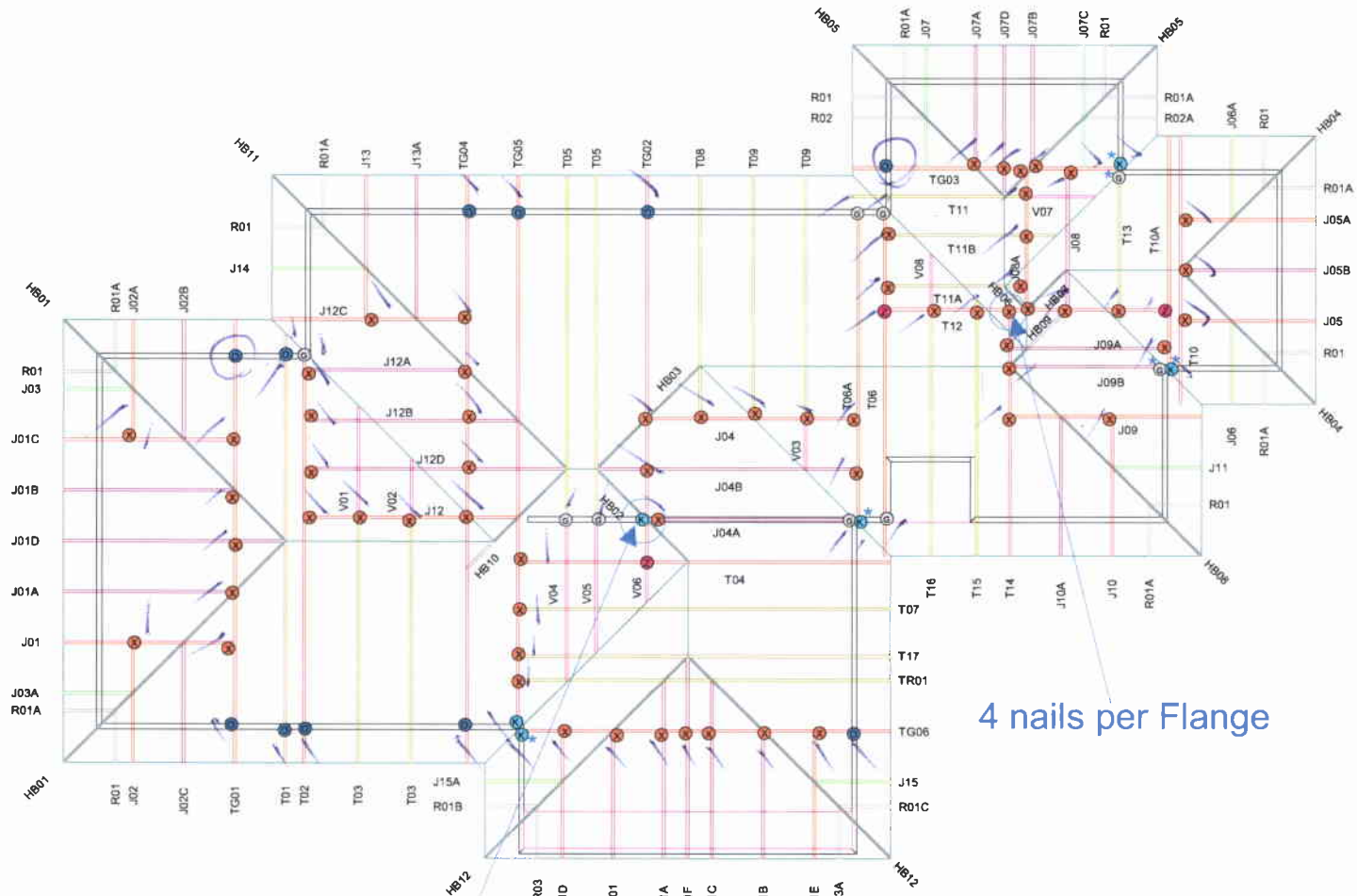
Note: Where Internal Load-Bearing Walls are shown on layout bearing required to all trusses



Trusses need bottom chord Restraints at
★ 400 c
if Bottom not directly fixed

* **G** = 9KN (CPC40 x1)
* **K** = 16KN (CPC80 x1)

WAIMAKARIRI DISTRICT COUNCIL
AMENDED Plan and/or Specifications APPROVED
BC140407A1 27/05/2014 miker



4 nails per Flange

Double stud required under truss

For alternative fixing see the Teflex On-Site Guide 2012
Type A is minimum fixing required unless specified otherwise



FLXING TYPE A
0.75M

250x3.15 mm steel wire mesh fitted vertically into slot.

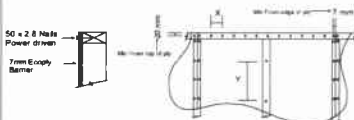


SEEDING TYPE
A 100%

2/90x3 15 plain steel wire nails driven vertically into stud, plus LUMBERLOK 6 stud brace



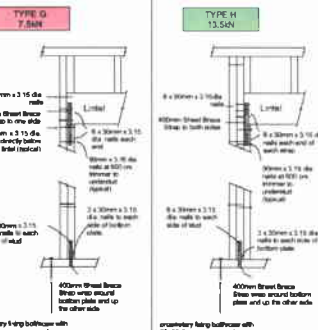
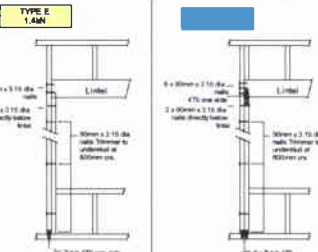
Applies to external walls only unless specified otherwise.
Type C is minimum fixing required on all external walls
unless specified otherwise.



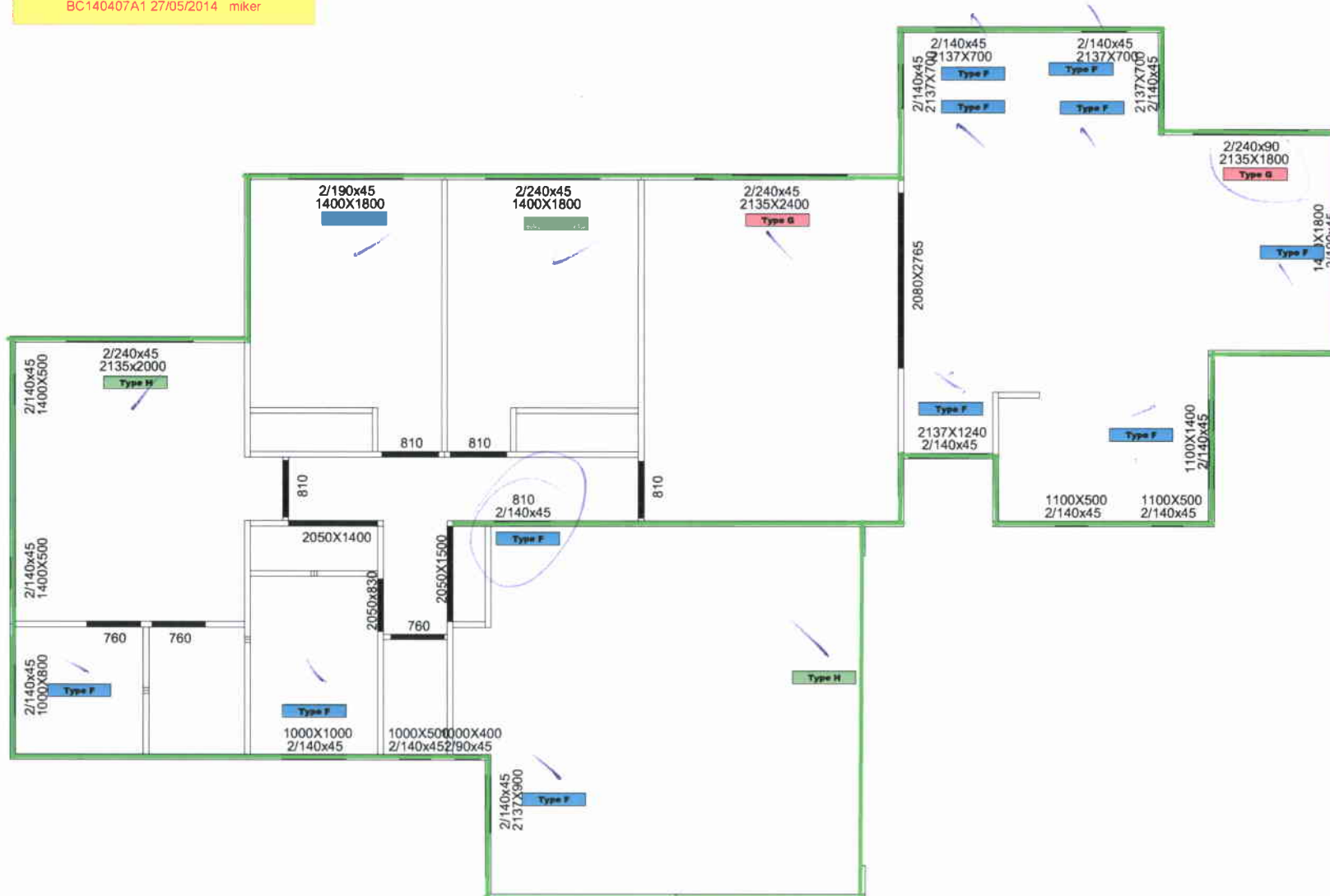
	1. Top Plate	2. Interconnect Stud	3. Thickness of Postmolded Insulation Bottom plate
TYPE D 4 T&M	75mm	300mm	150mm

Stud numbers indicative only. Refer Table 8.5 NZS 3604:2011.
For fixing of jack studs to lintel & top plate, refer to "Stud to
Top Plate Fixing Schedule"

For alternative fixing see the "Mitek Onsite Guide 2012"
Minimum fixing to be Type E unless otherwise specified



WAIMAKARIRI DISTRICT COUNCIL
AMENDED Plan and/or Specifications APPROVED
BC140407A1 27/05/2014 miker



Stud To Top Plate And Lintel Fixings

Drawn : Mike Shaw

Drawing Number S3563

Date : 21 May,2014

Branch Ref

PlaceMakers
Know how. Can do.



FRAME & TRUSS

PM Frame & Truss
1 Koru Place
Harewood
Christchurch
Ph: 03 359 9560

TRUEFORM BUILDERS.
HARLEN
LOT 530. MAGNATE DRIVE.
KAIAPOI.



MiTek New Zealand Limited

Correspondence from : **AUCKLAND**
40 Neales Road, East Tamaki 2013
PO Box 58-014, Botany 2163
Phone: 09 274 7109
Fax: 09 274 7100

CHRISTCHURCH
14 Pilkington Way, Wigram 8042
PO Box 8387, Riccarton 8440
Phone: 03 348 8691
Fax: 03 348 0314

www.mitek.nz.co.nz

MiTek 20/20 Engineering 4.6.6.167

Printed: 09:52:44 27 May 2014

PRODUCER STATEMENT for MiTek 20/20[®] TRUSS DESIGN - Version 4.6

ISSUED BY: **MiTek New Zealand Limited**
TO: **PlaceMakers - Frame & Trusses**
IN RESPECT OF: **MiTek[®] Truss Designs**

This producer statement covers the MiTek 20/20[®] truss design and the structural performance of the GANG-NAIL[®] connector plate for the job reference **14-61916** and may be used by a Building Consent Authority to assist in determining compliance with the New Zealand Building Code.

The MiTek 20/20[®] truss design program has been developed by MiTek New Zealand Limited for the design of MiTek[®] timber roof, floor and attic trusses in New Zealand. The truss designs computed by MiTek 20/20[®] are prepared using sound and widely accepted engineering principles, and in accordance with compliance documents of the New Zealand Building Code and Verification Method B1/VM1; and internationally accepted standard ANSI/TPI 1 - 2002 as an alternative solution to satisfy the requirements of Clause B1 of the New Zealand Building Code.

On behalf of MiTek New Zealand Limited, and subject to:

- i) All proprietary products meeting their performance specification requirements
- ii) The provision of adequate roof bracing and overall building stability
- iii) Correct selection and placement of GANG-NAIL connector plates
- iv) Correct input of Truss Design Data as shown in the Fabricator Design Statement for this job
- v) The design being undertaken by the accredited fabricator under the terms of the software licence

I believe on reasonable grounds that the trusses, if constructed in accordance with the MiTek 20/20[®] truss design and shop drawings, will comply with the relevant provisions of the New Zealand Building Code.

MiTek New Zealand Limited holds a current policy of Professional Indemnity Insurance no less than \$500,000.

On behalf of MiTek New Zealand Limited,

Date: Tuesday, 27 May 2014

In Ling Ng, BE (Hons), CPEng, IntPE, MIPENZ (ID: 146585)
TECHNICAL SERVICES MANAGER, MiTek New Zealand Limited

WAIMAKARIRI DISTRICT COUNCIL
AMENDED Plan and/or Specifications APPROVED
BC140407A1 27/05/2014 miker

PlaceMakers - Frame & Trusses

Fabricator Design Statement : Page 1

Job: 14-61916

Client: PM Cranford
Phone:

Site: Trueform Builders-"Harden"
Lot 530 Magnate Drive
Kaiapoi

Description:
Building Consent No.:
M Tek 20/20 Engineering 4 B.B. 187

M Tek New Zealand Limited

Phone:

Printed: 09:52:44 27 May 2014

MITEK FABRICATOR DESIGN STATEMENT

This statement is issued by MiTek accredited fabricator **PlaceMakers - Frame & Trusses**, being licensed to use the MiTek 20/20® software, to the client listed above and may be used by the Building Consent Authority to assist in determining compliance with the New Zealand Building Code.

MiTek 20/20® TRUSS DESIGN DATA

The MiTek 20/20® computer design for this job is based on the following design parameters entered into the program. The Fabricator shall ensure that these job details are current and relevant to the project for the design of the MiTek® trusses.

Job Details

Importance Level : 2

Design Working Life : 50 years

Roof Truss

Timber Group: CFT NZO H1.2

Roof

Material: Galv Iron .5mm
Dead Load: 0.210 kPa
Restraints: 900 mm centres
Live Load: Q_{ur} = 0.250 kPa
Q_c = 1.100 kN

Pitch: 25.000 deg
Ceiling
Material: Standard
Dead Load: 0.200 kPa
Restraints: 400 mm centres
Live Load: Q_c = 1.400 kN

Nominal Overhang: 600 mm
Wind
Area: High (44.0 m/s)
Pressure Coeff: C_{pe} = varies; C_{pi} = -0.30, 0.20
Snow
Location: Christchurch (N4) at 100 m
Open Ground Load: 0.900 kPa
Basic Roof Load: 0.441 kPa

The timber for these MiTek® trusses shall be treated to the requirements of NZS 3602:2003 and shall be graded to the requirements of NZS 3603:1993. Unless otherwise noted, this design assumes that the steel fixings and timber connectors proposed are located in a "closed environment", as defined by NZS3604:2011 Section 4.

MiTek® Truss List

Legend: * = detail only, ? = input only, Fx = failed design, Ø = non certified, Unmarked trusses = designed successfully, LB = lateral bracing required
GB = gable brace required, CF = Chemical Free Treatment

Roof Truss

Treatment: Top Chords - H1.2					Bottom Chords - H1.2					Webs - H1.2				
Truss	Qty	Span (mm)	Pitch (deg)	Spacing (mm)	Truss	Qty	Span (mm)	Pitch (deg)	Spacing (mm)	Truss	Qty	Span (mm)	Pitch (deg)	Spacing (mm)
*HB01	2	5511	18.249	900	J07B	1	1565	25.000	900	T07	1	5980	25.000	833
*HB02	1	2251	18.249	900	J07C	1	1565	25.000	900	T08	1	3697	25.000	900
*HB03	1	2548	18.249	900	J07D	1	1565	25.000	900	T09	2	3697	25.000	927
*HB04	2	3319	18.249	900	J08	1	2462	25.000	900	T10	1	3570	25.000	900
*HB05	2	3750	18.249	900	J08A	1	2462	25.000	900	T10A	1	3570	25.000	900
*HB06	1	504	18.250	900	J09	1	2757	25.000	900	T11	1	2463	25.000	900
*HB07	1	936	18.249	900	J09A	1	2757	25.000	900	T11A	1	2463	25.000	900
*HB08	1	4726	18.249	900	J09B	1	2757	25.000	900	T11B	1	2463	25.000	900
*HB09	1	1336	18.249	900	J10	1	1857	25.000	900	T12	1	4970	25.000	900
*HB10	1	2470	18.249	900	J10A	1	1857	25.000	900	T13	1	2462	25.000	900
*HB11	1	7328	18.249	900	J11	1	957	25.000	900	T14	1	3763	25.000	900
*HB12	2	5023	18.249	900	J12	1	2835	25.000	900	T15	1	3763	25.000	900
J01	1	2412	25.000	900	J12A	1	2835	25.000	900	T16	1	3763	25.000	813
J01A	1	2412	25.000	900	J12B	1	2835	25.000	900	T17	1	5980	25.000	900
J01B	1	2412	25.000	900	J12C	1	2835	25.000	900	TG01	1	6670	25.000	900
J01C	1	2412	25.000	900	J12D	1	2835	25.000	900	TG02	1	6250	25.000	900
J01D	1	2412	25.000	900	J13	1	1935	25.000	900	TG03	1	4180	25.000	900
J02	1	1512	25.000	900	J13A	1	1935	25.000	900	TG04	1	9240	25.000	900
J02A	1	1512	25.000	900	J14	1	1035	25.000	900	TG06	1	5980	25.000	900
J02B	1	1512	25.000	900	J15	1	743	25.000	900	TR01	1	5980	25.000	900
J02C	1	1512	25.000	900	J15A	1	743	25.000	900	V01	1	1990	25.000	900
J03	1	612	25.000	900	*R01	8	913	25.000	900	V02	1	1045	25.000	900
J03A	1	612	25.000	900	*R01A	8	913	25.000	900	V03	1	928	25.000	900
J04	1	3697	25.000	900	*R01B	1	913	25.000	900	V04	1	2818	25.000	900
J04A	1	3697	25.000	900	*R01C	1	913	25.000	900	V05	1	2298	25.000	900
J04B	1	3697	25.000	900	*R02	1	1278	25.000	900	V06	1	708	25.000	900
J05	1	1762	25.000	900	*R02A	1	1278	25.000	900	V07	1	1215	25.000	900
J05A	1	1762	25.000	900	*R03	1	920	25.000	900	V08	1	985	25.000	900
J05B	1	1762	25.000	900	*R03A	1	920	25.000	900					
J06	1	862	25.000	900	T01	1	6670	25.000	900					
J06A	1	862	25.000	900	T02	1	6670	25.000	900					
J07	1	1565	25.000	900	T03	2	3735	25.000	945					
J07A	1	1565	25.000	900	T04	1	5980	25.000	900					
					T05	2	5560	25.000	900					
					T06	1	5560	25.000	900					
					T06A	1	5560	25.000	900					

Treatment: Top Chords - H1.2					Bottom Chords - H3.1					Webs - H1.2				
Truss	Qty	Span (mm)	Pitch (deg)	Spacing (mm)	Truss	Qty	Span (mm)	Pitch (deg)	Spacing (mm)	Truss	Qty	Span (mm)	Pitch (deg)	Spacing (mm)
TG05	1	9240	25.000	900										

WAIMAKARIRI DISTRICT COUNCIL
AMENDED Plan and/or Specifications APPROVED
BC140407A1 27/05/2014 miker

PlaceMakers - Frame & Trusses

Fabricator Design Statement : Page 2

Job: 14-61916

Client: PM Cranford
Phone:

Site: Trueform Builders-"Harian"
Lot 530 Magrate Drive
Kalepoi

Description:
Building Consent No :
Miles 2020 Engineering 4.8.6.187

Miles New Zealand Limited

Phone:

Printed: 09:52:44 27 May 2014

Roof Truss

Treatment: Top Chords - H1.2 Bottom Chords - H1.2 Webs - H1.2 Cove Chords - H1.2				
Truss	Qty	Span (mm)	Pitch (deg)	Specing (mm)
CJ01	1	2165	25.000	900
CJ01A	1	2165	25.000	900
CJ01B	1	2165	25.000	900
CJ01C	1	2165	25.000	900
CJ01D	1	2165	25.000	900
CJ01E	1	2165	25.000	900
CJ01F	1	2165	25.000	900

Roof Truss quantity : 126

Total quantity : 126

WAIMAKARIRI DISTRICT COUNCIL
AMENDED Plan and/or Specifications APPROVED
BC140407A1 27/05/2014 miker

The computer design input has been carried out by:

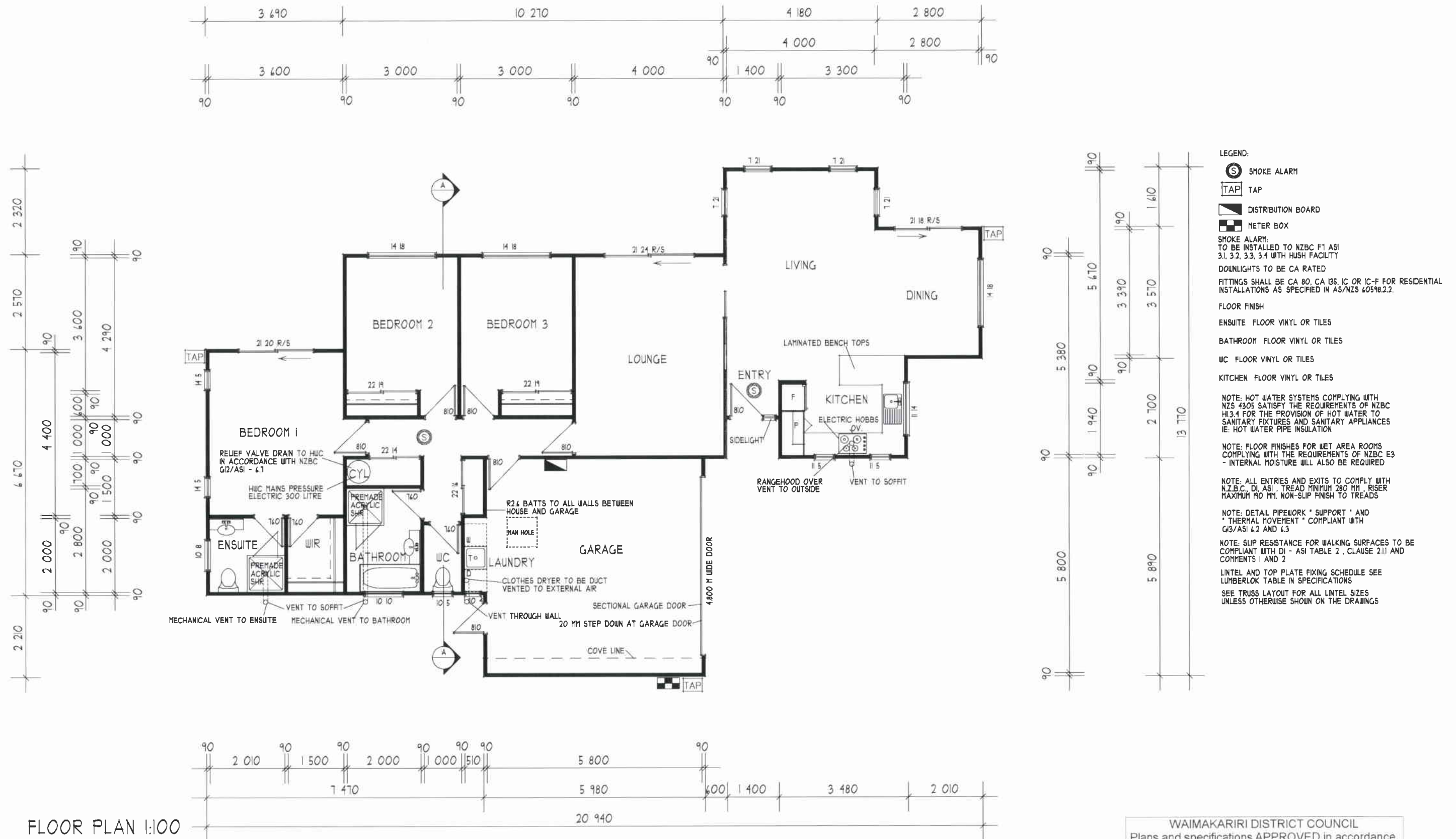
Signed:

Date: ...Tuesday, 27 May 2014....

Name of Detailer:

Qualifications and Title: Truss Detailer

On behalf of: PlaceMakers - Frame & Trusses



WAIMAKARIRI DISTRICT COUNCIL
Plans and specifications APPROVED in accordance
with the Building Act 2004, clause 49 and the Building
Regulations 1992, Clause 3
140407 2/04/2014 Keegan

Hartley lane

140607





