

STATEMENT OF PASSING OVER INFORMATION

This information has been supplied by the vendor or the vendor's agents. Accordingly, Ownly (REAA 2008) and Sold On Kapiti Limited is merely passing over the information as supplied to us by the vendor of the vendor's agents.

We cannot guarantee its accuracy and reliability as we have not checked, audited, or reviewed the information and all the intending purchasers are advised to conduct their own due diligence investigation into the same.

To the maximum extent permitted by law Ownly (REAA 2008) and Sold On Kapiti Limited does not accept any responsibility to any person for the accuracy of the information herein.

SOLD ON KĀPITI

23 October 2025

Grayson Evans

LAND INFORMATION MEMORANDUM (LIM)

The attached LIM provides you with information about 73 Langdale Ave, Paraparaumu.

The information provided in this LIM has been gathered from all the information the Council holds on this property, as at the date of your application.

It is important to note that the Council has not undertaken an on-site inspection of the property and there may be information which is not known to Council - for example, illegal or unauthorised building or works on the property.

If you have any future plans to develop this property, please contact us for advice about how to proceed and the process for obtaining the necessary approvals.

In addition to the information in this LIM you may be interested to find out more about the Kapiti Coast District. Information and advice on council services and our District Plan are available on our website: www.kapiticoast.govt.nz

Finally, if you have any questions about your LIM, please don't hesitate to contact us at kapiti.council@kapiticoast.govt.nz or 0800 486 486.



Steve Cody
Building Team Manager

This page is intentionally blank.

Land Information Memorandum (LIM)

Prepared by Kāpiti Coast District Council for the property located at:

73 Langdale Ave, Paraparaumu

Document information

This Land Information Memorandum (LIM) has been prepared for the purpose of section 44A of the Local Government Official Information and Meetings Act 1987 (LGOIMA). It is a summary of the information that we hold on the property. Each heading or 'clause' in this LIM corresponds to a part of section 44A of LGOIMA.

The information provided is based on a search of Council database records as at the date of your application and not an inspection of the property. There may be other information relating to the land which is unknown to Council, for example, illegal or unauthorised building or works on the property. Any person obtaining a LIM is solely responsible for ensuring that the land is suitable for a particular purpose.

Third party reports included in this LIM are for information only. We recommend independent advice before relying on them.

Application details

Applicant	Grayson Evans
LIM number	L251111
Application date	20/10/25
Issue date	23/10/25

Property details

Property address	73 Langdale Ave, Paraparaumu
Legal description	FLAT 1 DP 71665 1/2 INT 825 M2 BEING LOT 17 DP 65302
Area (hectares)	0.0000

Valuation information

Valuation number	1526550600A
Capital value	\$570,000
Land value	\$265,000
Improvements value	\$305,000

Please note that these values are intended for rating purposes only.

Contents

1. Rates	3
2. Consents, Certificates, Notices, Orders or Requisitions affecting the land and buildings	4
3. Weathertightness	4
4. Land use and Conditions	5
5. Special Features and Characteristics of the land	7
6. Other land and building classifications	10
7. Private and Public stormwater and sewerage drains	10
8. Drinking water supply	10
9. Network utility information	10
10. Other information about the property	11
Glossary of Terms and Maps attached	12

Attachments

- Glossary of Terms and Maps
- Aerial Photograph
- Deposited Plan/Record of Title
- District Plan Zones
- District Plan Precincts and other overlays
- District Plan Features
- District Plan Natural Hazards – Active Faults
- District Plan Natural Hazards – Flooding
- Latest Flood Hazards
- Resource Consents - Maps and Summary Detail (if applicable)
- Health and Alcohol Licenses
- Services Network
- As Built Drainage Plan (if applicable)
- Resource Consent documents (if applicable)
- Earthquake-Prone Building documents (if applicable)

1. Rates

In this section: information relating to any rates owing in relation to the property.

Rates are charged in four instalments for the period commencing 1 July and ending 30 June each year. Amounts stated are inclusive of GST.

Current rates year Current Rates Year 2025 to 2026

Annual rates The annual rates for 2025/26 rating year are \$4,494.78
This includes Greater Wellington Regional Council rates

Next instalment date 09/12/25

Arrears for previous years \$0.00

Water rates \$508.85 last year (2024/25)

For the 2025/2026 rating year, all water used is charged at a volumetric rate of \$1.72 (incl GST) per cubic metre (1000 litres) on the water rates invoice, and a fixed annual charge of \$318.60 (incl GST) per separately used or inhabited part of a rating unit, is charged on the property rates invoice.

Water balance due \$0.00

For further information on this section, contact the Rates Team on 0800 486 486.

2. Consents, Certificates, Notices, Orders or Requisitions affecting the land and buildings

In this section: information concerning any consent, certificate, notice, order, or requisition affecting the land or any building on the land previously issued by Council; information required to be provided to a territorial authority under section 362T(2) of the Building Act 2004; and information concerning any certificate issued by a building certifier pursuant to the Building Act 1991 or the Building Act 2004.

Building Consents

03/01/91 Building Permit 18133 DWELLING 93-96 SQ M

Note that building consents and code compliance certificates came into existence with the passing of the Building Act 1991. Before then, councils issued only building permits. Building work carried out earlier than July 1992 may therefore not have a code compliance certificate.

Engineer's report

Further building may require an Engineer's soil report and, if necessary, a foundation design.

Wind

Indicative wind zones can be found at [BRANZ Map](#). Wind zones should be determined in accordance with the New Zealand Building Code.

For further information on this section, contact the Building Team on 0800 486 486.

Swimming Pools: Compliance with the Building Act 2004

No pool registered to this property.

For further information on this section, contact the Building Team on 0800 486 486.

Registered Environmental Health Premises and Licences

No information located.

For further information on this section, contact the Environmental Health Team on 0800 486 486.

3. Weathertightness

In this section: information notified to the Council under section 124 of the Weathertight Homes Resolution Services Act 2006.

The Council has received no correspondence from the Ministry of Business, Innovation and Employment in relation to this property.

4. Land use and Conditions

In this section: information relating to the use to which that land may be put, and conditions attached to that use.

Planning/Resource Management

District Plan Zone/Precinct/Development Area:

The District Plan maps provided with this LIM provide a useful visual overview of the planning information provided in this LIM. However, the planning information provided is not exhaustive and reference to the Operative District Plan (2021) is recommended.

Full details of the relevant zone, precinct or development area requirements are contained within the Operative District Plan (2021) on our website [Operative District Plan 2021 \(kapiticoast.govt.nz\)](https://www.kapiticoast.govt.nz/Operative-District-Plan-2021)

There may be policies or rules in the Greater Wellington Regional Council's Natural Resources Regional Plan (and/or a proposed change to that Plan) that regulate land use on this property. This Plan is available from the Greater Wellington Regional Council website www.gw.govt.nz/.

Questions about the impact of that Plan on this property should be made to the Greater Wellington Regional Council on 0800 496 734.

District Plan Features and Overlays

The Operative District Plan (2021) records which properties in the District have these special features and overlays located on them. Each feature and overlay are given a unique reference number or title. There are specific restrictions on development within or around many of these features. The District Plan Features Map provided with this LIM displays whether any of these features are on, or adjacent to, this property.

This property is zoned General Residential in the Operative District Plan (2021).

This property was created via subdivision in 1989.

A copy of the Deposited Plan (DP 65302) and Record of Title is provided with this LIM.

This property is appurtenant to a right of way and stormwater, sewage, telephone, and electricity rights.

It is recommended that the Record of Title is checked for any interests registered against the property such as easements or covenants.

The property is subject to a cross-lease agreement. These agreements can be complex. A legal check of the cross lease in terms of the accuracy and validity of the Flats Plan is recommended. A copy of the Flats Plan (DP 71665) is provided with this LIM.

There is no record of any resource consents for this property.

For information about any resource consents for surrounding properties refer to the Resource Consents map and Summary Details Report provided with this LIM.

If you are interested in reading the full resource consent file then these can be viewed at the Council administration building at 175 Rimu Road, Paraparaumu.

Note: some resource consent files may be archived offsite; however, these can be retrieved for you. Please call the Resource Consents Team on 0800 486 486 to check the availability of the files.

Air Space Designation - land within the airport flight paths where height restrictions apply to buildings and trees as set out in the Operative District Plan (2021).

This property is located within the Horizontal Surface 50m amsl, Operations Area of the Paraparaumu Airport. Refer to the Airport Plan and Surfaces maps of the Operative District Plan (2021).

There is no record of any identified cultural or archaeological sites contained on this site.

For further information on this section, contact the Resource Consents Team on 0800 486 486.

5. Special Features and Characteristics of the land

This section identifies information held by Council about:

- *natural hazards and the impacts of climate change that exacerbate natural hazards;*
- *potential natural hazards and potential impacts of climate change that exacerbate natural hazards; and*
- *information about other special features or characteristics of the land concerned, including information about the likely presence of hazardous contaminants that are known to Council, but are not apparent from its District Plan under the Resource Management Act 1991.*

Climate Change

Any available information regarding the potential impacts of climate change is currently contained in the natural hazard section.

Contaminated Sites

Greater Wellington Regional Council holds information on properties with a history of hazardous activity or industry. Refer to the Selected Land Use Register available on the Greater Wellington Regional Council website [Greater Wellington - Search Selected Land Use Register \(gw.govt.nz\)](https://www.gw.govt.nz/search-selected-land-use-register).

Natural Hazards

A Natural hazard is defined as any atmospheric or earth or water related occurrence (including earthquake, tsunami, erosion, volcanic and geothermal activity, landslip, subsidence, sedimentation, wind, drought, fire, or flooding) the action of which adversely affects or may adversely affects human life, property, or other aspects of the environment.

If this property has been the subject of a Resource Consent or Building Consent since 1 July 2020 a geotechnical assessment may have been supplied with that application. A geotechnical report may contain advice about ground conditions at that site including liquefaction, slope stability assessment as well as commentary on ground bearing capacity. All available Building Consent geotechnical assessments are located in attached building files. Where available Resource Consent geotechnical assessments are referenced in attached resource consent decision documents, for further information contact the Resource Consents Team on 0800 486 486.

Coastal Erosion and Inundation Hazards

Council holds a number of reports that assess the possibility that areas of the Kāpiti Coast District shoreline may be susceptible to current and future coastal erosion and inundation. The available information on coastal hazards that are specific to the District are available on the following link: www.kapiticoast.govt.nz/coastal-science. The science of coastal erosion and inundation continues to develop as national and international best practice changes, and new information is released. The information received by Council will therefore outline different perspectives.

Currently, information specific to the Kapiti Coast District includes:

- Council-commissioned assessments by Jacobs NZ Ltd, including coastal area-specific risk assessments, a hazard and susceptibility assessment, and the coastal hazards GIS map viewer allowing you to assess how any particular property may be affected.
- A community commissioned coastal hazard risk assessment report by Dr Willem de Lange and related predicted shoreline maps.
- Advice from the Ministry for the Environment and the Department of Conservation on coastal hazard risk identification and management of coastal risks.

Council will consider the information and its possible impact on Kāpiti properties, as part of its review of coastal provisions in the Council's Operative District Plan. On 30 January 2025 Council resolved that this work is a priority to progress.

Earthquakes

Greater Wellington Regional Council holds information on earthquake risks in the Kapiti Coast District. This information, along with associated Earthquake Risk Maps, can be found on the Greater Wellington Regional Council website www.gw.govt.nz/.

Earthquake fault traces within the Kapiti Coast are mapped in the Operative District Plan (2021). These are shown (if applicable) on the District Plan Features Map provided with this LIM and are available on our website [Operative District Plan 2021 \(kapiticoast.govt.nz\)](http://Operative District Plan 2021 (kapiticoast.govt.nz)).

Fire

Due to its climate and geographical features, the Kapiti Coast District can be susceptible to risks of fire, including wildfire. More information on this risk can be found in the [District Plan](#), while mapping of the rural wildfire fire risk across the Wellington Region on the Greater Wellington Regional Council website ([GWRC rural wildfire risk](#)).

Liquefaction

Due to its geographic location and soil typology, the Kapiti Coast District may be susceptible to liquefaction in the event of an earthquake. More information on this risk can be found in the [District Plan](#), while mapping of [combined earthquake risk](#) including liquefaction, can be found on the Greater Wellington Regional Council website.

Tsunami Evacuation Zones

Tsunami Evacuation Zone Maps have been developed by the Greater Wellington Regional Council to assist emergency preparedness by identifying the area's residents may need to evacuate in the event of a tsunami.

Each map has three evacuation zones: red, orange and yellow. The updated tsunami evacuation maps for Kapiti can be viewed at the Council's website at www.kapiticoast.govt.nz/our-district/cdem/get-prepared/tsunami-zones/.

Other Information

The adjacent road carriageway (Langdale Avenue) is shown to be subject to flood hazards in the Operative District Plan (2021), and the latest Flood Hazard Maps.

The flood hazard identified on the maps provided with this LIM is based on the projected future flooding risk to the property including climate change projections.

The maps show the projected flood extent arising from the 1% AEP or 1% Annual Exceedance Probability Flood Event (that is, a flood event that has a 1% probability of occurring in any one year, often referred to as a 1 in 100-year storm), incorporating the projected 2090 climate change impacts, in conjunction with a 20-year return period high tide.

The nature of the controls imposed by the District Plan depends on where individual sites are located within the 1 in 100-year flood extent, which flood hazard map (operative or latest) is referenced in legislation or the District Plan, and which flood hazard category applies.

The adjacent road carriageway (Langdale Avenue) is shown to be subject to ponding on the Operative District Plan (2021) Flood Hazard Maps, and the latest Flood Hazard Maps.

Ponding are areas where slower-moving flood waters could pond either during or after a flood event. A Ponding Area may be affected by a direct flood risk. Ponding can be associated with rivers and streams as well as the piped stormwater network. Ponding is a direct risk.

The adjacent road carriageway (Langdale Avenue) is shown to be subject to an overflow path in the Operative District Plan (2021) Natural Hazard maps, and the latest Flood Hazard Maps.

Overflow paths generally occur in lower-lying areas on the floodplain which act as channels for flood waters. They can be natural, or artificially formed, and are often characterised by fast flowing water during a flood event. An overflow path is a direct hazard.

For further information on flood hazards please contact the Stormwater and Coastal Asset Manager on 0800 486 486.

Greater Wellington Regional Council holds flood hazard information relating to the major rivers and streams in the District. For further information on these flood hazards, please contact the Greater Wellington Regional Council (Flood Control Department) on 0800 496 734.

For information on minimum floor levels for buildings and the potential implications for building consents on this property please contact the Building Team on 0800 486 486.

For further information on this section, contact the Resource Consents Team on 0800 486 486.

6. Other land and building classifications

In this section: This is information which, in terms of any other Act, has been notified to the Council by any statutory organisation having the power to classify land or buildings for any purpose.

No information located.

7. Private and Public stormwater and sewerage drains

In this section: Information on private and public stormwater and sewerage drains as shown in the Council's records.

There is Council sewer reticulation available with a lateral. The location of the sewer lateral is shown on the services network plan. The sewer lateral has multiple consumers using the one lateral. An as-built plan of private drainage is provided with this LIM.

Stormwater discharges to the kerb and channel. There is no record of any Council services running through the property.

For further information on this section, contact the Plumbing & Drainage Team on 0800 486 486.

8. Drinking water supply

In this section: information on whether the land is supplied with drinking water and if so, whether the supplier is the owner of the land or a networked supplier; any conditions that are applicable; and any information the Council has about the supply.

Council has a potable water supply system available with an ordinary on demand metered water supply connection. The Council service valve (manifold/toby) is shown on the services network plan provided with this LIM.

For further information on this section, contact the Plumbing & Drainage Team on 0800 486 486.

9. Network utility information

In this section: information which has been notified to the Council by any network utility operator pursuant to the Building Act 1991 or the Building Act 2004.

Contact Electra for power availability and Vector for gas availability.

10. Other information about the property

In this section: information concerning the land and the property that the Council has the discretion to include if it considers it to be relevant.

Cultural and Archaeological

The settlement history of the Kapiti Coast suggests that there are still an unknown number of unidentified cultural and archaeological sites within the District and indeed these are still being discovered during earthworks from time to time. The Heritage NZ Pouhere Taonga Act 2014 provides for substantive penalties for unauthorised destruction or modification of an archaeological site.

More detail on what to look for and who to contact can be found on our website:

www.kapiticoast.govt.nz/Our-District/Tangata-Whenua

Development Impact Fees

Development Impact Fees consist of a combination of development contributions and financial contributions (including Reserves Contributions) from all new developments e.g. a new residential dwelling or a subdivision as well as new or expanded non-residential buildings.

Further information on the range of Development Impact Fees can be found on

[Development impact fees - Kāpiti Coast District Council \(kapiticoast.govt.nz\)](http://www.kapiticoast.govt.nz/Development-impact-fees-Kapiti-Coast-District-Council)

Glossary of Terms and Maps attached

Aerial Photograph

A birds-eye view in colour of the property and its surrounds.

Deposited Plan

Sometimes referred to as a 'Flats Plan' or 'Title Plan'. A Deposited Plan covers more than one lot (or property) and has a diagram showing the boundary distances and the land area. A Record of Title relates to a specific property and shows current owner and interests (such as mortgages, encumbrances and easements).

Building Information (if requested)

This includes any information Council holds about any structure that is on the lot (property), e.g. plumbing, drainage and floor plans and elevation drawings of the building and any alterations or additions to it, together with any code compliance certificates.

Services Network Map

Information on private and public stormwater and sewerage drains on the property as shown in Council's records.

Location of Health and Alcohol Licenses

This map shows the location of registered businesses in the neighbourhood that hold health and alcohol licenses.

Resource Consents

Included with this LIM are Reports and Maps of resource consents (if applicable that relate to the property) and a list of resource consents in the neighbourhood of the property that have been notified. The District Plan contains rules about different types of activities in different parts of the district. Anything not permitted by the Plan requires a resource consent. When a resource consent application is received the Council determines whether or not to notify it on the basis of the environmental effects under Section 95A-F of the Resource Management Act 1991.

Designation(s) (if applicable)

A designation is a planning technique used by Ministers of the Crown, councils and network utility operators approved as requiring authorities under section 167 of the Resource Management Act 1991. It provides for 'spot zoning' over a site, area or route in a district plan which authorises the requiring authority's work and activity on the site, area or route without the need for a land use resource consent.

District Plan

Every city and district council is required to have a District Plan under the [Resource Management Act 1991](#). The District Plan plays a big part in how Kapiti develops. The rules in the Plan determine what you can and can't do on your property without permission from Council - whether it be subdividing, renovating, building a new garage or deck, or starting a home business. This LIM includes maps which show the Zone, Precinct, or Development Area (if relevant), the Features, Overlays and the Natural Hazards that relate to the rules in the District Plan.

Latest Flood Hazards

To better understand the extent of the flood hazard risk in the District and to assist in the potential mitigation of this risk, Council has over the years undertaken a number of floodplain management investigations. This map shows the latest flood hazard information; these are not necessarily included in the Operative District Plan (2021). This information is particularly relevant if you are considering subdividing the land or constructing a building.

Aerial Photography

73 Langdale Ave, Paraparaumu (FLAT 1 DP 71665 1/2 INT 825 M2 BEING LOT 17 DP 65302)



0 10 20 Metres

Scale @ A4 - 1:500

Date Printed: October 20, 2025

Kāpiti Coast District Council accepts no responsibility for incomplete or inaccurate information contained on this map. Use of this website is subject to, and constitutes acceptance of the conditions set out in our disclaimer. This publication is copyright reserved by the Kāpiti Coast District Council. Cadastral and Topographic information is derived from Land Information New Zealand, CROWN COPYRIGHT RESERVED.



RECORD OF TITLE
UNDER LAND TRANSFER ACT 2017
CROSS LEASE
Historical Search Copy



R.W. Muir
Registrar-General
of Land

Constituted as a Record of Title pursuant to Sections 7 and 12 of the Land Transfer Act 2017 - 12 November 2018

Identifier **WN40C/603**

Land Registration District **Wellington**

Date Issued 10 February 1992

Prior References

WN34C/195

Estate Fee Simple - 1/2 share
Area 825 square metres more or less
Legal Description Lot 17 Deposited Plan 65302

Original Registered Owners

Stephen Sallis and Rae Joan Sallis

Estate	Leasehold	Instrument	L B216949.2
		Term	999 years commencing on 20.2.1991

Legal Description Flat 1 Deposited Plan 71665

Original Registered Owners

Stephen Sallis and Rae Joan Sallis

Interests

Subject to Section 8 Mining Act 1971 (Affects Fee Simple)

Subject to Section 5 Coal Mines Act 1979 (Affects Fee Simple)

Appurtenant hereto is a right of way and stormwater, sewage, telephone and electricity rights specified in Easement Certificate 998891.10 (Affects Fee Simple)

The easements specified in Easement Certificate 998891.10 are subject to Section 309 (1) (a) Local Government Act 1974

B216949.2 Lease of Flat 1 DP 71665 Term 999 years commencing on 20.2.1991 Composite CT WN40C/603 issued - 10.2.1992 at 10.25 am (Affects Fee Simple)

Land Covenant in Lease B216949.2 - 10.2.1992 at 10.25 am (Affects Fee Simple)

B224798.2 Lease of Flat 2 DP 73623 Term 999 years commencing on 1.11.1991 CT WN41A/277 issued - 25.3.1992 at 11.27 am (Affects Fee Simple)

B447671.1 Mortgage to Bank of New Zealand - 3.8.1995 at 3.13 pm

6620728.1 Discharge of Mortgage B447671.1 - 25.10.2005 at 9:00 am

6620728.2 Transfer to Kristine Anne Flavell - 25.10.2005 at 9:00 am

6620728.3 Mortgage to ANZ National Bank Limited - 25.10.2005 at 9:00 am

7679613.1 Discharge of Mortgage 6620728.3 - 25.1.2008 at 10:16 am

7679613.2 Transfer to Pergys Investments Limited - 25.1.2008 at 10:16 am

7679613.3 Mortgage to ASB Bank Limited - 25.1.2008 at 10:16 am

10836811.1 Discharge of Mortgage 7679613.3 - 14.7.2017 at 4:37 pm
10836811.2 Transfer to Joanne Kathleen Cutting - 14.7.2017 at 4:37 pm
10836811.3 Mortgage to The Trustees for the time being of Credit Union Baywide - 14.7.2017 at 4:37 pm
11575069.1 Discharge of Mortgage 10836811.3 - 25.10.2019 at 1:13 pm
11575069.2 Transfer to Joanne Kathleen Cutting (1/2 share) and Craig Joseph Love (1/2 share) - 25.10.2019 at 1:13 pm
11575069.3 Mortgage to Mortgage Holding Trust Company Limited - 25.10.2019 at 1:13 pm
12741302.1 Discharge of Mortgage 11575069.3 - 22.5.2023 at 2:22 pm
12741302.2 Mortgage to Kiwibank Limited - 22.5.2023 at 2:22 pm
12959847.1 Discharge of Mortgage 12741302.2 - 19.4.2024 at 10:50 am
12959847.2 Transfer to Grayson Barry John Evans and Sharn Kristeth Murphy - 19.4.2024 at 10:50 am
12959847.3 Mortgage to TSB Bank Limited - 19.4.2024 at 10:50 am

References

Prior C/T 34C/195

Land and Deeds 69

Transfer No.

N/C. Order No.

Lease: B.216949.2



REGISTER

CERTIFICATE OF TITLE UNDER LAND TRANSFER ACT FOR 1/2 SHARE AND LEASEHOLD INTEREST

This Certificate dated the 10th day of February one thousand nine hundred and ninety-two under the seal of the District Land Registrar of the Land Registration District of WELLINGTON

WITNESSETH that J. L. ANDREWS LIMITED at Paraparaumu is seized of an estate in fee simple as to an undivided one-half share

~~is seized of an estate in fee simple~~ (subject to such reservations, restrictions, encumbrances, liens, and interests as are notified by memorial underwritten or endorsed hereon) in the land hereinafter described, delineated with bold black lines on the plan hereon, be the several admeasurements a little more or less, that is to say: All that parcel of land containing 825 square metres more or less situate in the District of Kapiti Coast being Lot 17 on Deposited Plan 65302

AND THIS CERTIFICATE FURTHER WITNESSETH THAT the abovenamed registered proprietor

is seized of an estate of Leasehold (subject as aforesaid) created by Lease B216949.2 for a term of 999 years commencing on 20.2.1991 in Flat 1 on Deposited Plan 71665 delineated with bold black lines on the plan hereon.



Assistant Land Registrar

MEMORIALS AFFECTING FEE SIMPLE

Interests at date of issue:

1. Subject to Section 8 of the Mining Act 1971 and Section 5 of the Coal Mines Act 1979
2. Apurtenant hereto are:
 - a) Right of Way, Stormwater, sewage, telephone and electricity rights over the part Lot 20 DP 65302 (CT 34C/198) marked 'A' on DP 65302; and
 - b) Stormwater, sewage, telephone and electricity rights over the part Lot 20 DP 65302 (CT 34C/198) marked 'B' on DP 65302 - as specified in Easement Certificate 998891.10 (Subject to Section 309(1)(a) Local Government Act 1974)
3. B.216949.2 Lease of Flat 1 DP 71665 herein - 10.2.1992 at 10.25 a.m.
4. B.216949.2 Lease containing Restrictive Covenant - 10.2.1992

MEMORIALS AFFECTING BOTH ESTATES (unless otherwise stated)

- B.216949.3 Transfer to James Noel Gridley of Paraparaumu, Self Employed and Charmaine Gridley, his wife - 10.2.1992 at 10.25 a.m.
- Power of Sale by transfer B.216949.1*
B.216949.4 Mortgage to The Housing Corporation of New Zealand - 10.2.1992 at 10.25 a.m.
- Power of Sale under mortgage B.216949.4*
B.216949.5 Mortgage to The Housing Corporation of New Zealand - 10.2.1992 at 10.25 a.m.
- B.224798.2 Lease of Flat 2 DP 73623 term 999 years commencing on 1.11.1991 - 25.3.1992 at 11.27 a.m.
CT 41A/277 issued
- Power of Sale by Prime Securities Limited - B.230101.1*
B.230101.1 Lease by Prime Securities Limited - 10.4.1992 at 2.32 pm.

A.L.R. Limited - 10.4.1992 at 2.32 pm.

REJECTED

(over)

REJECTED

A.L.R.

No. 40C/603

No. 40C/603

Approved: <i>W. S. Gifford</i> <i>W. S. Gifford</i>	REGISTERED OWNERS RESIDENT TO SECTION 344 OF THE LOCAL GOVERNMENT ACT 1974. I HEREBY CERTIFY THAT THE CONSTRUCTION OF THIS BUILDING CONTAINING FLAT 1, HAS BEEN COMPLETED AND THE 1st DAY OF APRIL 1979 AND EVERY BUILDING PERMIT NECESSARY AS SHOWN ON THE PLANS HAS BEEN OBTAINED BY THE KAPITI COAST DISTRICT COUNCIL SUBJUNCT TO ITS BYLAWS. DATED AT <u>Langdale</u> this <u>24th</u> DAY OF <u>January</u> 1981. <i>[Signature]</i> LOCAL AUTHORITY	FOR AREAS SUBJECT TO RESTRICTIVE COVENANTS AND LABELLED A-B: SEE LOADS.	Total Area Comprised in G.T. 340-125 (A1) 1. WILLIAM MAIR, EDCAR of Rotorua Registered Surveyor and holder of an annual practicing certificate in the Survey Act 1968 hereby certifies that this plan has been made from a survey conducted in accordance with the provisions of the Survey Act 1968 and that the survey is correct and has been made in accordance with the Survey Regulations 1978 or any regulations made in substitution thereof. Dated at Rotorua this <u>28</u> day of <u>January</u> 1981. Field Book <u>...</u> Reference Plans <u>DP 65302</u> Examined <u>H. C. ...</u> Certified <u>...</u> Approved as to Survey <u>14.2.1981</u> Deposited this <u>10th</u> day of <u>February</u> 1981. Registered Land Registrar <u>71665</u>
LAND DISTRICT WELLINGTON SURVEY BLK. & DIST. 111. KAPITI NZMS 261 SHT. R.26. RECORD MAP No. 57.11 Paraparaumu Beach 5		FLAT 1 ON LOT 17 D.P. 65302 Scale 1:200 Date January 1981 TERRITORIAL AUTHORITY KAPITI COAST DISTRICT Surveyed by: CUTTRESS, MCKENZIE, MARTIN LTD.	

40C/603

B.234357.1 Variation of the terms of
mortgage B.216949.4 - 21.5.1992 at 2.34
p.m.


A.L.R.

B.257955.2 Transfer of Mortgage B.216949.4
to Post Office Bank Limited - 8.10.1992
at 9.00 a.m.



Lapsed by
B.263708.1 Caveat by Prime Securities
Limited - 13.11.1992 at 11.15 a.m.

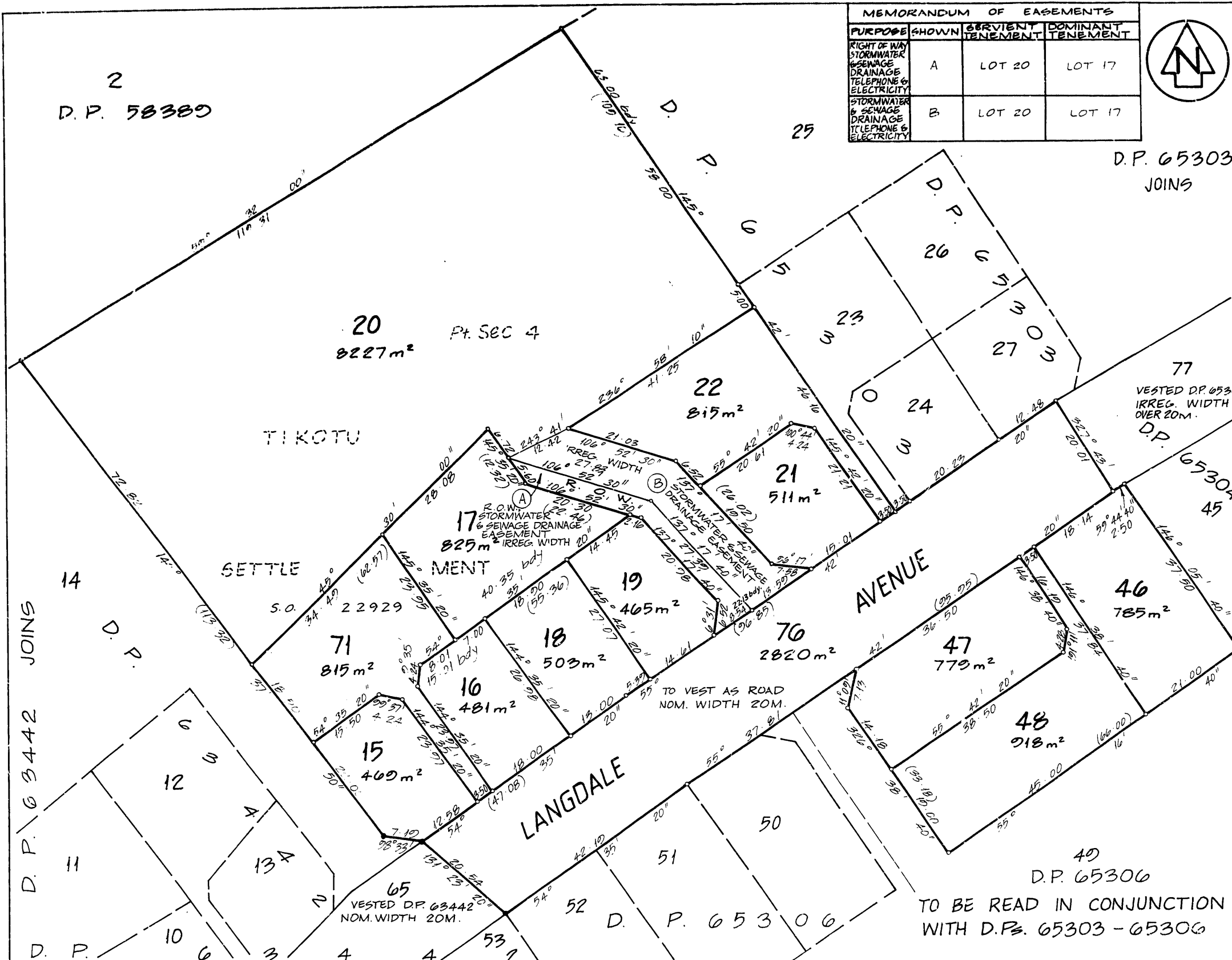
Transfer B.318372.1
(Power of Sale).
A.L.R.

B.318372.1 Transfer by the Mortgagee in
exercise of the Power of Sale under
Mortgage B.216949.4 to Stephen Sallis,
Shop Proprietor and Rae Joan Sallis,
Secretary, both of Paraparaumu -
10.11.1993 at 2.53 p.m.

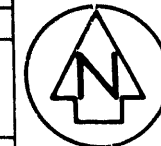

A.L.R.

B.447671.1 Mortgage to Bank of New
Zealand - 3.8.1995 at 3.13 p.m.


A.L.R.



MEMORANDUM OF EASEMENTS			
PURPOSE	SHOWN	SERVIENT TENEMENT	DOMINANT TENEMENT
RIGHT OF WAY	A	LOT 20	LOT 17
STORMWATER DRAINAGE	B	LOT 20	LOT 17
TELEPHONE & ELECTRICITY			



Approvals

[Signature]

REGISTERED PROPRIETORS

Pursuant to a resolution of the Kapiti Borough Council passed on the 17 day of December 1988 approving pursuant to Section 305 of the Local Government Act 1974 this survey plan conditional upon the granting or reserving of the easements shown in the memorandum addressed hereon and certifying that the plan is in accordance with the requirements and provisions of the operative district scheme the common seal of the Kapiti Borough Council was affixed hereto in the presence of

[Signature] MAYOR

[Signature] TOWN CLERK

In the matter of this Land Transfer plan and pursuant to section 306(1)(f)(i) of the Local Government Act 1974 I hereby certify that all the conditions shown on or referred to on the scheme plan of subdivision have been complied with to the satisfaction of the Kapiti Borough Council.

Dated at Paraparaumu this day of 1988.

..... TOWN CLERK

LOT 17

Has/Have no Frontage to a Public Road.

Total Area 1.8413 ha.

Comprised in C.T. 33D/34D Pt.

ROBERT EDWARD LENDRUM OF UPPER HUTT Registered Surveyor and holder of an annual practicing certificate (or who may act as a registered surveyor pursuant to the proviso to section 33(2) of the Surveyors Act 1966) hereby certify that this plan has been made from surveys executed by me or under my directions, that both plan and survey are correct and have been made in accordance with the Survey Regulations 1972.

Dated at UPPER HUTT this 8th day of February 1988 Signature *[Signature]*

Field Book 5833 p. 42-53 Traverse Book 451 p. 127-144

Reference Plans D.P. 47503 & 55382 S.O. 22929

S.O. 34583 & N.L. 2241 D.P. 63442 63443

Examined *[Signature]* Correct *[Signature]*

Approved as to Survey

19/12/1988 *[Signature]* Chief Surveyor

Deposited this 3rd day of MAY 1989

Assistant *[Signature]* District Land Registrar

File 8170

Received 26.10.88

Instructions

65302

LAND DISTRICT WELLINGTON

SURVEY BLK. & DIST. III KAPITI

NZMS 261 SHT R 26 RECORD MAP No 57.11

LOTS 15-22, 46-48, 71 & 76 BEING SUBDIVISION OF

Pt. Sec. 4 TIKOTU SETTLEMENT S.O. 22929

TERRITORIAL AUTHORITY KAPITI BOROUGH

Surveyed by CUTTRISS, MCKENZIE, MARTIN LTD.

Scale 1:500 Date DECEMBER 1987

20
D. P. 6 5 3 0 2



Approvals

REGISTERED OWNERS

PURSUANT TO SECTION 314 OF THE LOCAL GOVERNMENT ACT 1974 I HEREBY CERTIFY THAT THE CONSTRUCTION OF THE BUILDING CONTAINING FLAT 1 AS SHOWN OR DESCRIBED HEREON COMMENCED ON OR AFTER THE 1ST DAY OF APRIL 1979 AND EVERY BUILDING PERMIT NECESSARY FOR THE CONSTRUCTION THEREOF AS SHOWN OR DESCRIBED HAS BEEN GRANTED BY THE KAPITI COAST DISTRICT COUNCIL PURSUANT TO ITS BYLAWS.

DATED AT Paraparaumu THIS 24th DAY OF January 1981.

[Signature]
GENERAL MANAGER

FOR AREAS SUBJECT TO RESTRICTIVE COVENANTS AND LABELLED A-B; SEE LEASES.

Total Area

Comprised in C.T. 34C-195 (ALL)

I, WILLIAM MARK EDGAR of Paraparaumu Registered Surveyor and holder of an annual practising certificate (or who may act as a registered surveyor pursuant to section 25 of the Survey Act 1966) hereby certify that this plan has been made from surveys executed by me or under my directions, that both plan and survey are correct and have been made in accordance with the Survey Regulations 1972 or any regulations made in substitution thereof.
Dated at Paraparaumu this 28 day of January 1991 Signature *W. Edgar*

Field Book: p. Traverse Book p.
Reference Plans DP 65302

Examined *H. B. ...* on Correct *[Signature]*

Approved as to Survey
14/2/91
[Signature] Chief Surveyor

Deposited this 10th day of February 1991
[Signature] District Land Registrar

File 15520
Received 1-2-91
Instructions

71665



LAND DISTRICT WELLINGTON
SURVEY BLK. & DIST. III KAPITI
N^oMS 261 SHT R26 RECORD MAP No 57-11

FLAT 1 ON LOT 17 D.P. 65302

TERRITORIAL AUTHORITY KAPITI COAST DISTRICT
Surveyed by: CUTTRISS MCKENZIE MARTIN LTD
Scale 1:200 Date January 1991

Operative District Plan 2021 - Zones and Precincts

73 Langdale Ave, Paraparaumu (FLAT 1 DP 71665 1/2 INT 825 M2 BEING LOT 17 DP 65302)



Key to map symbols

 General Residential Zone



0 20 40 Metres

Scale @ A4 - 1:1,000

Date Printed: October 20, 2025

Kāpiti Coast District Council accepts no responsibility for incomplete or inaccurate information contained on this map. Use of this website is subject to, and constitutes acceptance of the conditions set out in our disclaimer. This publication is copyright reserved by the Kāpiti Coast District Council. Cadastral and Topographic information is derived from Land Information New Zealand, CROWN COPYRIGHT RESERVED.

Operative District Plan 2021 - Historical, Cultural, Infrastructure & Districtwide

73 Langdale Ave, Paraparaumu (FLAT 1 DP 71665 1/2 INT 825 M2 BEING LOT 17 DP 65302)



Key to map symbols

-  Noise Corridor
-  Coastal Environment

The 'Key to map symbols' column above will be empty if no relevant District Plan Features are present in the area shown on this map.



0 40 80 Metres
Scale @ A4 - 1:2,000

Date Printed: October 20, 2025

Kāpiti Coast District Council accepts no responsibility for incomplete or inaccurate information contained on this map. Use of this website is subject to, and constitutes acceptance of the conditions set out in our disclaimer. This publication is copyright reserved by the Kāpiti Coast District Council. Cadastral and Topographic information is derived from Land Information New Zealand, CROWN COPYRIGHT RESERVED.

Operative District Plan 2021 - Designations & Miscellaneous Features

73 Langdale Ave, Paraparaumu (FLAT 1 DP 71665 1/2 INT 825 M2 BEING LOT 17 DP 65302)



Key to map symbols

The 'Key to map symbols' column above will be empty if no relevant District Plan Features are present in the area shown on this map.



0 40 80 Metres

Scale @ A4 - 1:2,000

Date Printed: October 20, 2025

Kāpiti Coast District Council accepts no responsibility for incomplete or inaccurate information contained on this map. Use of this website is subject to, and constitutes acceptance of the conditions set out in our disclaimer. This publication is copyright reserved by the Kāpiti Coast District Council. Cadastral and Topographic information is derived from Land Information New Zealand, CROWN COPYRIGHT RESERVED.

Operative District Plan 2021 - Natural Features

73 Langdale Ave, Paraparaumu (FLAT 1 DP 71665 1/2 INT 825 M2 BEING LOT 17 DP 65302)



Key to map symbols

The 'Key to map symbols' column above will be empty if no relevant District Plan Features are present in the area shown on this map.



0 40 80 Metres

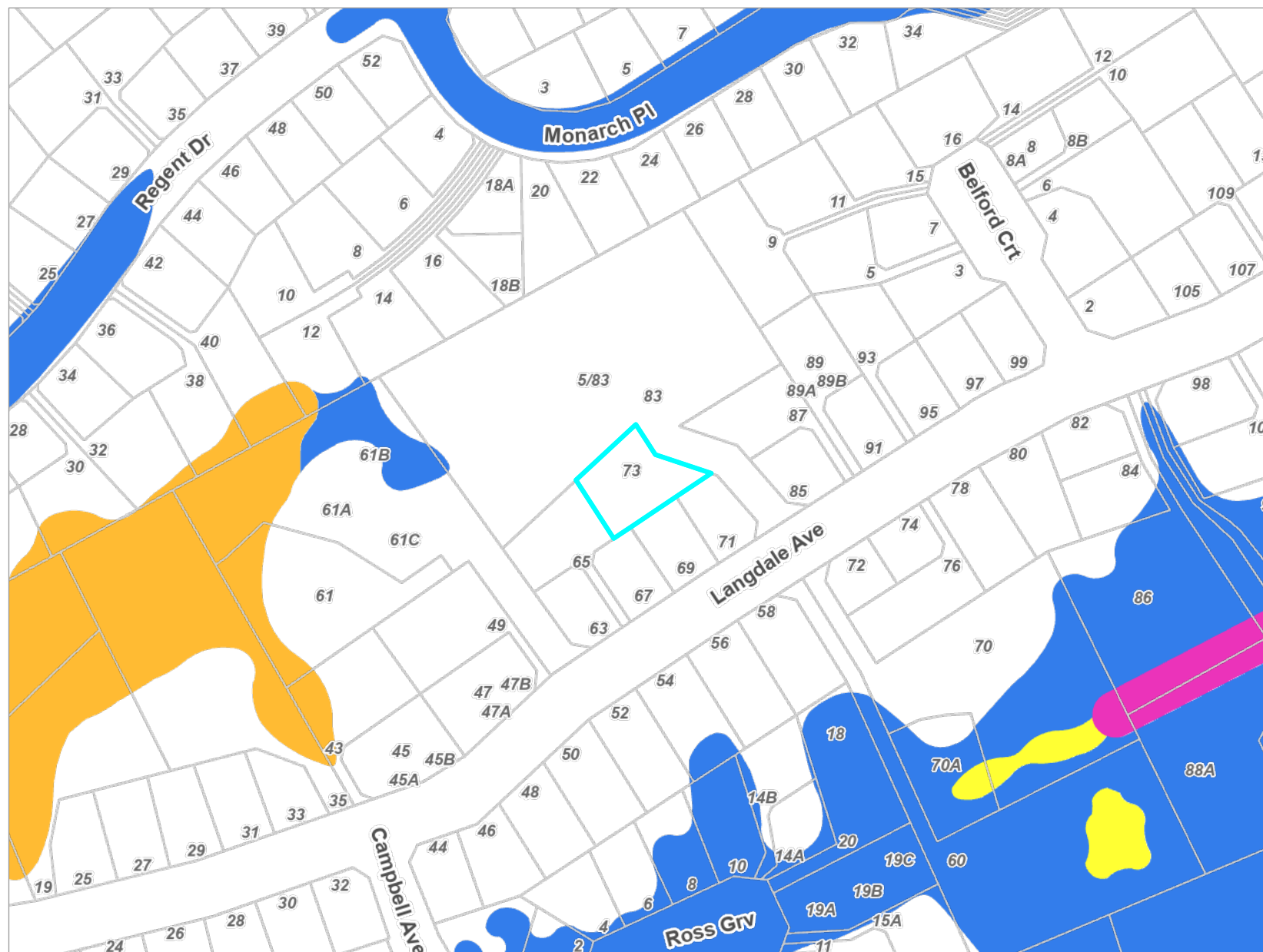
Scale @ A4 - 1:2,000

Date Printed: October 20, 2025

Kāpiti Coast District Council accepts no responsibility for incomplete or inaccurate information contained on this map. Use of this website is subject to, and constitutes acceptance of the conditions set out in our disclaimer. This publication is copyright reserved by the Kāpiti Coast District Council. Cadastral and Topographic information is derived from Land Information New Zealand, CROWN COPYRIGHT RESERVED.

Operative District Plan 2021 - Natural Hazards

73 Langdale Ave, Paraparaumu (FLAT 1 DP 71665 1/2 INT 825 M2 BEING LOT 17 DP 65302)



Key to map symbols

-  Stream Corridor
-  Overflow Path
-  Flood Storage Area
-  Ponding Area

The 'Key to map symbols' column above will be empty if no relevant District Plan Features are present in the area shown on this map.



0 40 80 Metres

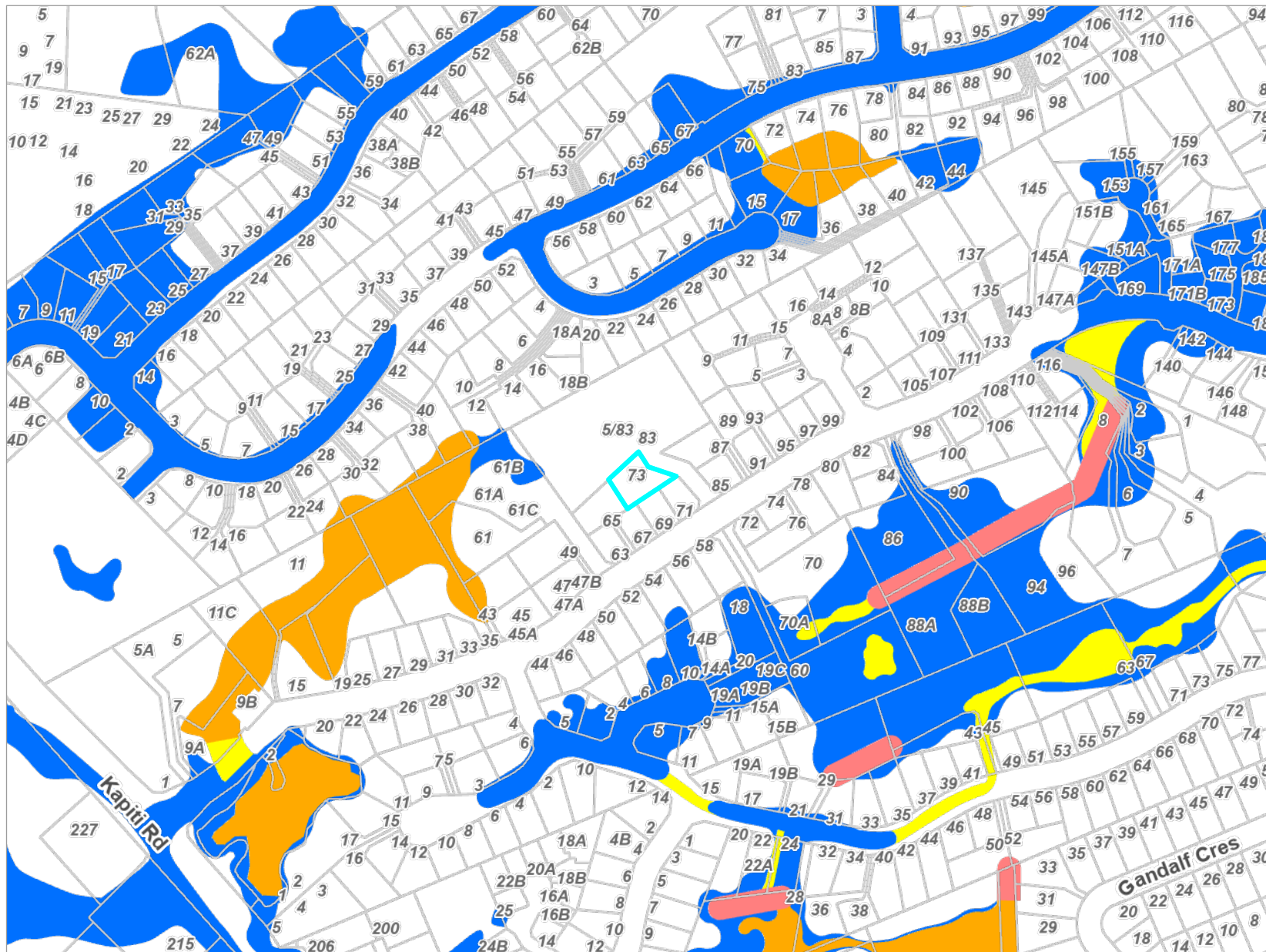
Scale @ A4 - 1:2,000

Date Printed: October 20, 2025

Kāpiti Coast District Council accepts no responsibility for incomplete or inaccurate information contained on this map. Use of this website is subject to, and constitutes acceptance of the conditions set out in our disclaimer. This publication is copyright reserved by the Kāpiti Coast District Council. Cadastral and Topographic information is derived from Land Information New Zealand, CROWN COPYRIGHT RESERVED.

Latest Flood Hazards

73 Langdale Ave, Paraparaumu (FLAT 1 DP 71665 1/2 INT 825 M2 BEING LOT 17 DP 65302)



Key to map symbols

- Stream Corridor
- Overflow Path
- Storage
- Ponding

The 'Key to map symbols' column above will be empty if no Flood Hazards are present in the area shown on this map.



0 90 180 Metres
Scale @ A4 - 1:4,000

Date Printed: October 20, 2025

Kāpiti Coast District Council accepts no responsibility for incomplete or inaccurate information contained on this map. Use of this website is subject to, and constitutes acceptance of the conditions set out in our disclaimer. This publication is copyright reserved by the Kāpiti Coast District Council. Cadastral and Topographic information is derived from Land Information New Zealand, CROWN COPYRIGHT RESERVED.

Resource Consents Map

73 Langdale Ave, Paraparaumu (FLAT 1 DP 71665 1/2 INT 825 M2 BEING LOT 17 DP 65302)



Key to map symbols

 Resource Consents

The 'Key to map symbols' column above will be empty if no Resource Consents are present in the area shown on this map.



0 10 20 Metres

Scale @ A4 - 1:750

Date Printed: October 20, 2025

Kāpiti Coast District Council accepts no responsibility for incomplete or inaccurate information contained on this map. Use of this website is subject to, and constitutes acceptance of the conditions set out in our disclaimer. This publication is copyright reserved by the Kāpiti Coast District Council. Cadastral and Topographic information is derived from Land Information New Zealand, CROWN COPYRIGHT RESERVED.

Resource Consents Report

Resource Consent Number	Location	Valuation Number	Property Legal Description	Consent Type	Consent Proposal	Notified Yes/No	Hearing Yes/No	Consent Status	Decision Date	App.Date
020203	83 Langdale Ave, Paraparumu	1526550700A	UNIT 1 DP 362572 ON LOT 20 DP 65302	LD	EARTHWORKS - 3000M3 CUT, 4000M3 FILL	N	N	Appeal Withdrawn	9/1/2003	2/8/2002
040200	83 Langdale Ave, Paraparumu	1526550700A	UNIT 1 DP 362572 ON LOT 20 DP 65302	SN	Establishment of 20 residential units (retirement)	N	N	s.221 Consent Notice	22/6/2005	7/10/2004
180113	61B Langdale Ave, Paraparumu	1526550000B	FLAT 2 DP 343186 ON LOT 1 DP 77250 - HAV	SN	Update a cross lease plan	N	N	s.224 Issued	27/6/2018	5/6/2018
920077	61A Langdale Ave, Paraparumu	1526550000A	FLAT 1 DP 80973 ON LOT 1 DP 77250 - HAVI	SC	1 ADDITIONAL RESIDENTIAL LOT	N	N	Decision Issued	8/6/1992	1/5/1992
960189	87 Langdale Ave, Paraparumu	1526551000	LOT 22 DP 65302 CT 34C/200	LC	TO BUILD TWO 3 BEDROOMED HOUSES ON ONE LOT.	N	N	Decision Issued	5/8/1996	23/5/1996
940202	61A Langdale Ave, Paraparumu	1526550000A	FLAT 1 DP 80973 ON LOT 1 DP 77250 - HAVI	SC	2 ADDITIONAL RESIDENTIAL LOTS	N	N	s.224 Issued	23/9/1994	9/9/1994
960346	74 Langdale Ave, Paraparumu	1526563200	LOT 47 DP 65302 CT 34C/203 34C/202	SD	1 ADDITIONAL RESIDENTIAL LOT	N	N	s.224 Issued	17/9/1996	30/8/1996
940197	89 Langdale Ave, Paraparumu	1526551200B	PU B and AU1B UP 82919 ON LOT 1 DP 65866	SC	1 ADDITIONAL RESIDENTIAL LOT	N	N	s.224 Issued	23/9/1994	9/9/1994

Resource Consent Number	Location	Valuation Number	Property Legal Description	Consent Type	Consent Proposal	Notified Yes/No	Hearing Yes/No	Consent Status	Decision Date	App.Date
980389	61A Langdale Ave, Paraparaumu	1526550000A	FLAT 1 DP 80973 ON LOT 1 DP 77250 -HAVING	SC	SECOND STAGE CROSS LEASE	N	N	s.223 Approval	29/10/1998	29/9/1998
990460	61C Langdale Ave, Paraparaumu	1526550000C	FUTURE FLAT 3 ON LOT 1 DP 77250 HAVING 1	SC	STAGE THREE OF A CROSS LEASE SUBDIVISION	N	N	s.224 Issued	8/12/1999	11/11/1999
990163	47B Langdale Ave, Paraparaumu	1526549700B	BALANCE OF LAND WITH INT 868 M2 BEING	SD	SECOND STAGE CROSS LEASE	N	N	s.224 Issued	31/5/1999	7/5/1999

Health and Alcohol Licenses

73 Langdale Ave, Paraparaumu (FLAT 1 DP 71665 1/2 INT 825 M2 BEING LOT 17 DP 65302)



Key to map symbols

The 'Key to map symbols' column above will be empty if no Health and Alcohol Licences are present in the area shown on this map.



0 20 40 Metres

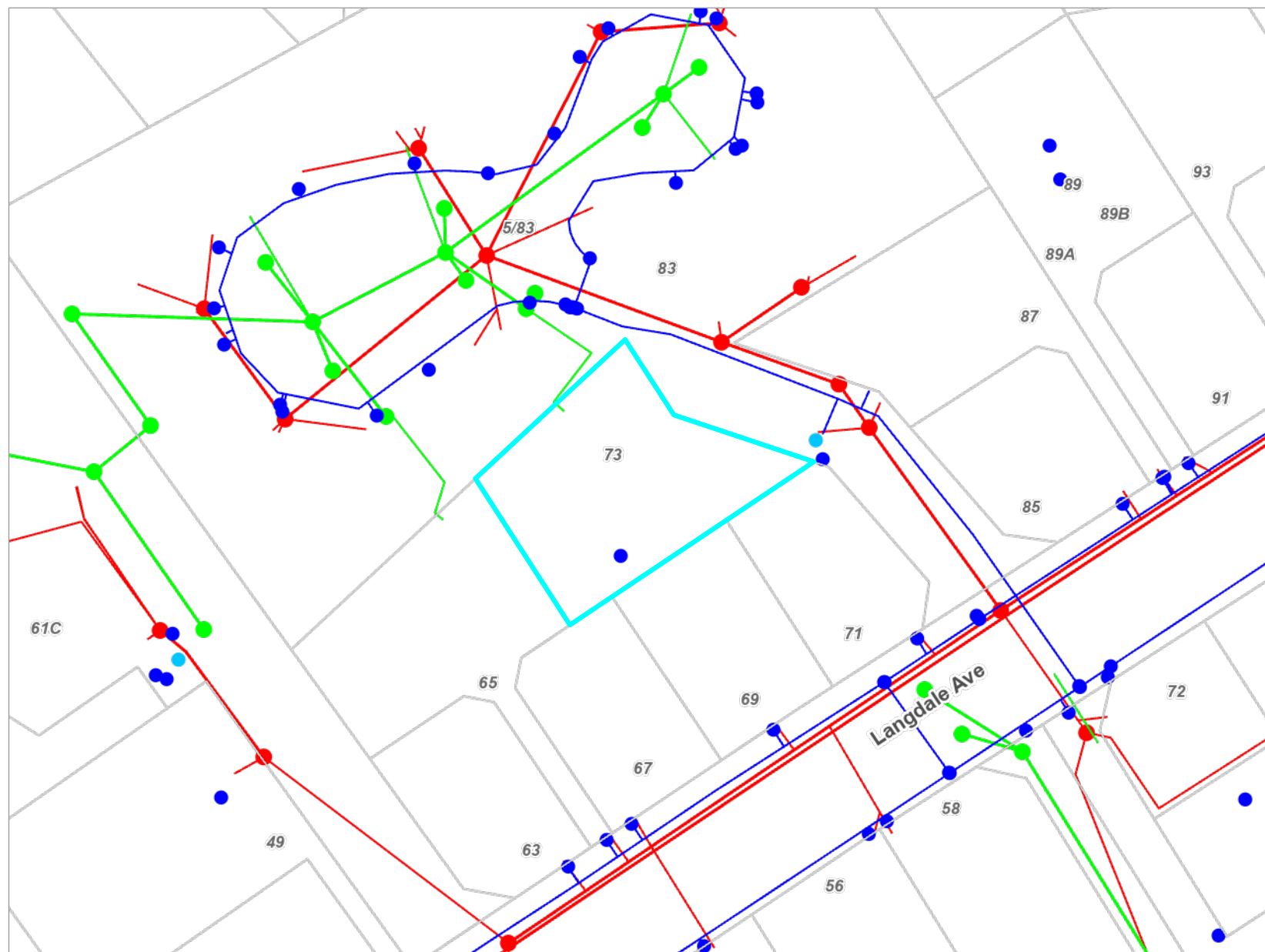
Scale @ A4 - 1:1,000

Date Printed: October 20, 2025

Kāpiti Coast District Council accepts no responsibility for incomplete or inaccurate information contained on this map. Use of this website is subject to, and constitutes acceptance of the conditions set out in our disclaimer. This publication is copyright reserved by the Kāpiti Coast District Council. Cadastral and Topographic information is derived from Land Information New Zealand, CROWN COPYRIGHT RESERVED.

Services Network

73 Langdale Ave, Paraparaumu (FLAT 1 DP 71665 1/2 INT 825 M2 BEING LOT 17 DP 65302)



Key to map symbols

- WS Node
- Non-KCDC WS Node
- WS Pipe
- SW Point
- SW Pipe
- SW Lateral
- WW Point
- WW Pipe
- WW Lateral

The 'Key to map symbols' column above will be empty if no Services are present in the area shown on this map.



0 10 20 Metres

Scale @ A4 - 1:800

Date Printed: October 20, 2025

Kāpiti Coast District Council accepts no responsibility for incomplete or inaccurate information contained on this map. Use of this website is subject to, and constitutes acceptance of the conditions set out in our disclaimer. This publication is copyright reserved by the Kāpiti Coast District Council. Cadastral and Topographic information is derived from Land Information New Zealand, CROWN COPYRIGHT RESERVED.

