

Sharalyn Fraser *Agency*

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Code Compliance Certificate

Section 95, Building Act 2004

The Owner

Cowper Peter Michael Tarras & Cowper Janet Anne, BKL Corporate Trustee Ltd 25 The Crowsnest Whitby PORIRUA	No. 060468 Issue date 24/05/06 Application date 2/05/06
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The Building

Street Address	10 Jane Street, Waikanae
Valuation No.	1491030700
Legal Description	LOT 15 DP 27236
Intended Use	Residential
Intended Life	Indefinite, but not less than 50 years
Current Use	Residential Dwelling
Proposal	Installation of Kent Firenze Max Clean Air freestanding woodburner
Estimated Value	\$3,000

Code Compliance

The building consent authority named below is satisfied, on reasonable grounds, that –

- The building work complies with the building consent; and
- The property owner must follow and carry out the manufacturers prescribed maintenance procedures.

Signed for and on behalf of the Kapiti Coast District Council:

Name:

Date:

29 MAY 2006

SCALE OF FEES

For the examination of plans and specifications of any building and for the inspection of such building the following fees shall be payable according to the estimated value of the work.

In any dispute as to value, the County Engineer shall have the absolute determination of the value of the proposed work or building.

ESTIMATED VALUE OF WORK

FEES

Over	Not exceeding	Not exceeding	Not exceeding	Not exceeding	Not exceeding
	\$20	\$20	\$20	\$20	\$0.50
	\$200	\$200	\$200	\$200	\$1.00
	\$400	\$400	\$400	\$400	\$2.00
	\$600	\$600	\$600	\$600	\$3.00
	\$800	\$800	\$800	\$800	\$4.00
	\$1,000	\$1,000	\$1,000	\$1,000	\$5.00
	\$1,200	\$1,200	\$1,200	\$1,200	\$6.00
	\$1,400	\$1,400	\$1,400	\$1,400	\$7.00
	\$1,600	\$1,600	\$1,600	\$1,600	\$8.00
	\$1,800	\$1,800	\$1,800	\$1,800	\$9.00
	\$2,000	\$2,000	\$2,000	\$2,000	\$10.00
	\$2,500	\$2,500	\$2,500	\$2,500	\$12.00
	\$3,000	\$3,000	\$3,000	\$3,000	\$14.00
	\$3,500	\$3,500	\$3,500	\$3,500	\$16.00
	\$4,000	\$4,000	\$4,000	\$4,000	\$18.00
	\$5,000	\$5,000	\$5,000	\$5,000	\$21.00
	\$6,000	\$6,000	\$6,000	\$6,000	\$24.00
	\$7,000	\$7,000	\$7,000	\$7,000	\$27.00
	\$8,000	\$8,000	\$8,000	\$8,000	\$30.00
	\$9,000	\$9,000	\$9,000	\$9,000	\$33.00
	\$10,000	\$10,000	\$10,000	\$10,000	\$36.00
	\$12,000	\$12,000	\$12,000	\$12,000	\$40.00
	\$14,000	\$14,000	\$14,000	\$14,000	\$44.00
	\$16,000	\$16,000	\$16,000	\$16,000	\$48.00
	\$18,000	\$18,000	\$18,000	\$18,000	\$52.00
	\$20,000	\$20,000	\$20,000	\$20,000	\$56.00
	\$25,000	\$25,000	\$25,000	\$25,000	\$64.00
	\$30,000	\$30,000	\$30,000	\$30,000	\$72.00
	\$35,000	\$35,000	\$35,000	\$35,000	\$80.00
	\$40,000	\$40,000	\$40,000	\$40,000	\$88.00
	\$50,000	\$50,000	\$50,000	\$50,000	\$98.00
	\$60,000	\$60,000	\$60,000	\$60,000	\$108.00
	\$70,000	\$70,000	\$70,000	\$70,000	\$118.00
	\$80,000	\$80,000	\$80,000	\$80,000	\$128.00
	\$90,000	\$90,000	\$90,000	\$90,000	\$138.00
	\$100,000	\$100,000	\$100,000	\$100,000	\$148.00
	\$120,000	\$120,000	\$120,000	\$120,000	\$158.00
	\$140,000	\$140,000	\$140,000	\$140,000	\$168.00
	\$160,000	\$160,000	\$160,000	\$160,000	\$178.00
	\$180,000	\$180,000	\$180,000	\$180,000	\$188.00
	\$200,000	\$200,000	\$200,000	\$200,000	\$198.00
	\$240,000	\$240,000	\$240,000	\$240,000	\$210.00
	\$280,000	\$280,000	\$280,000	\$280,000	\$220.00

For every \$40,000 or part thereof in excess of \$280,000 add additional fee of \$10.00.

FEES PAYABLE FOR SPECIAL DUTIES

- For inspection required in the case of proposed structural alterations before plans for approval \$1.00
- For inspecting every detached stove, furnace, oven, close fire or forge erected subsequently to the building \$0.50
- For inspecting old timber before re-using the same in a new building \$1.50
- For any inspection that may be deemed necessary in connection with any building or work in respect of which no fee has otherwise been paid \$0.25

Horowhenua County Council

PERMIT No. 9103340

LOCALITY Waikanae

DATE RECEIVED 28.11.75

DATE ISSUED 16.12.75

APPLICATION FOR BUILDING PERMIT

OWNER'S NAME W. V. EARNSHAW

FOR OFFICE USE ONLY

REMARKS:

B.A.A. required for 25.8 sq m. coop.

APPROVED	
B. J. Todd	
COUNTY ENGINEER.	
DATE	9-12-75

NOTE.—

1 All Plans and Specifications must be in ink.

10/11/75

Valuation Book No.

1493/92

Date

19

Application for Building Permit

TO THE BUILDING INSPECTOR,
Horowhenua County Council,
Bath Street,
Levin.

Postal Address: Horowhenua County Council,
Levin.
P.O. Box 258,

I, the undersigned, do hereby apply for PERMISSION to erect BUILDINGS in accordance with the undermentioned particulars in Waikanae County Borough RIDING.

1. Type of Building: Private Dwellinghouse
Dwellings, etc.; additions or alterations.

Particulars of Building: Foundations: Conc Slab Walls: Timber Roof: Harveytile Metal tiled

Total floor area: 94 m² ~~88.6 m dwelling~~ 25.8 m carport

2. Purpose for which every part of Building is to be used or occupied (Describing separately each part intended for use or occupation for a separate purpose) Private Dwelling Throughout

3. Allotment: Lot: 15 D.P.: 27236 Section: -
Area: - Block: - S.D. Locality: Waik Beach

4. Owner's Full Name Mr. W. V. Earnshaw
Address 428 Stokes Valley - Lower Hutt

5. Previous Owner { If Section has been recently transferred } 10 - 43

6. Frontage (Length): 12.98 Name of Street or Road Chr Jane & Williams St.

7. Estimated Value of Building— \$ 17,000 : 00
Plumbing and Drainage— \$ 1,400 : 00 Total \$ 18,400 : 00

8. Fees \$ 52-00 : No. of Receipt 00158

See Scales of Fees on Back Page.

Building Research Levy \$ 9-50 Footpath Damage Deposit \$ 60-00 : 00160

All work will be carried out in accordance with Horowhenua County Council's By-laws.

NOTE:—The following MUST accompany this Application:—

Plans and Specifications in Duplicate, including —

- Ground Plans of Proposed Work showing position of all sanitary fittings and names of various rooms.
- Where the building is on a sloping site the correct height of foundations must be shown.
- Front, Rear and Side Elevations.
- Cross section showing framing with bracing.
- Where a building requires Plumbing and Drainage Work, a Separate Application Form must be filled in and Permit obtained before commencing any such work.

Signature of Applicant [Signature] as BUILDER or OWNER

Address M. P. Hutt Construction Co Ltd Box 10. Waikanae

Builder's Name and Address { If not the applicant } as above

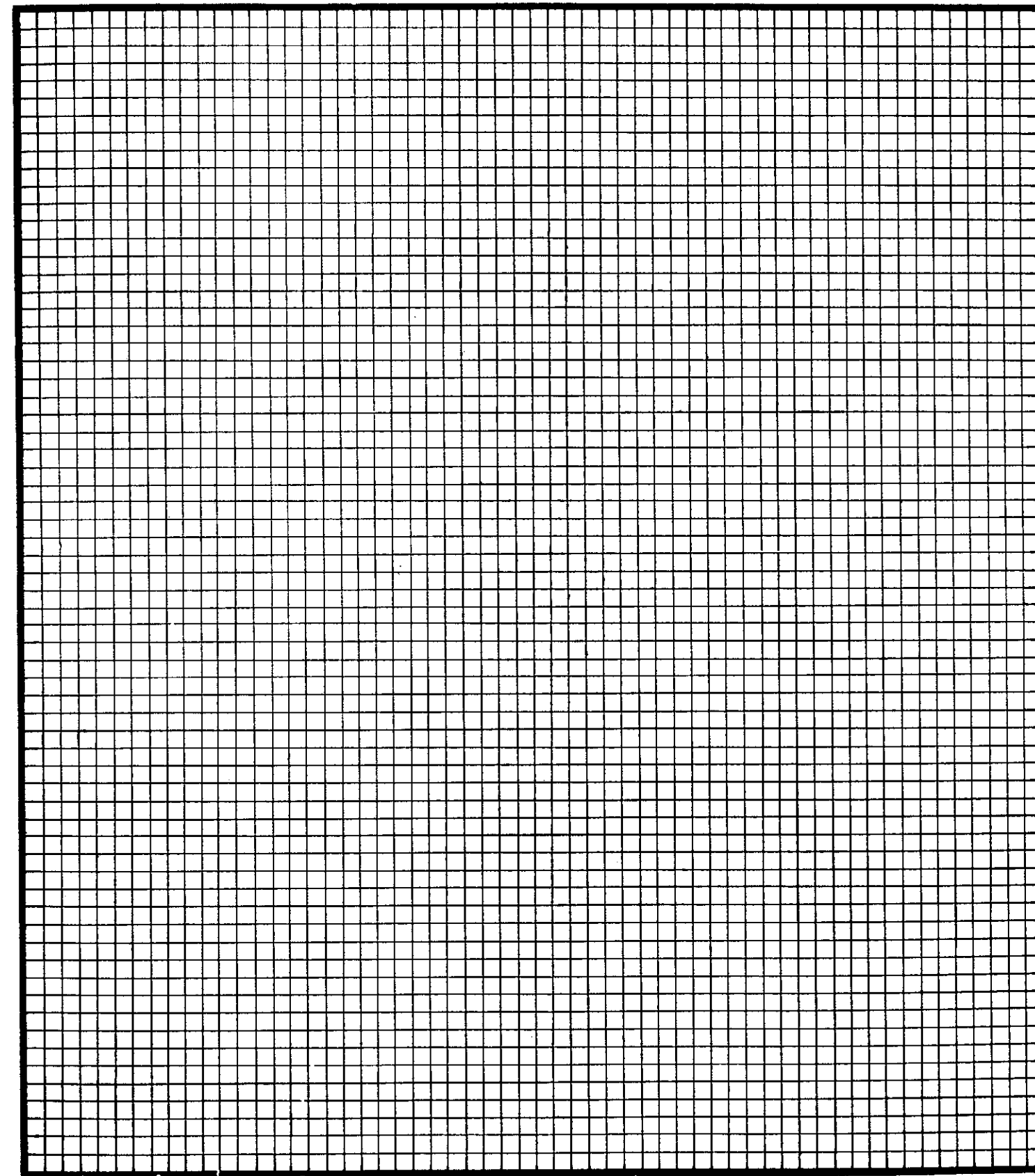
PLAN OF ALLOTMENT

Showing position of proposed building on such allotment.
NOTE—Distances of each building from boundary lines must be clearly indicated.
(Scale: Two feet to a square.)

Boundary Lines to be shown thus: — — — — —

Generally DWELLINGS must NOT be ERECTED within FIVE FEET of ADJOINING properties.

Frontage to _____ Road



ALL EXISTING BUILDINGS TO BE SHOWN IN RED ON THIS PLAN



KENT Firenze Max Clean Air

FREESTANDING WOOD HEATER INSTALLATION INSTRUCTIONS

Note that these instructions are in a short-form format, to provide information suitable for Building Consent applications. They are not a replacement for the full Owner's Installation and Operation manual.

General Information

1. The **KENT Firenze** Freestanding Wood Heater, when installed according to these instructions, complies with the provisions of AS/NZS 2918-2001 Appendix B - "Thermal Testing of Installation Clearances".
2. The Kent Firenze Max complies with the NZ National Environmental Standard, with an emission rate of less than 1.5g/kg and efficiency of greater than 65%, as tested using AS/NZS4012/4013.
3. You must obtain a Building Consent from your Local Authority before installing this heater, and we suggest that your Insurance Company be advised of the installation.
4. Do not allow any makeshift compromise installation methods. This could result in a house fire. The **Firenze** must be installed according to these instructions. We suggest that a New Zealand Home Heating Association-registered installer be used for installing the appliance.
5. The clearances given in these instructions are necessary to prevent overheating of nearby combustibles and drying out of the house structure. They may not be reduced without authorisation.
6. There must be a clearance of at least 1 metre between the front of the **Firenze** and any building structure or other substantial immovable object in front of the heater.

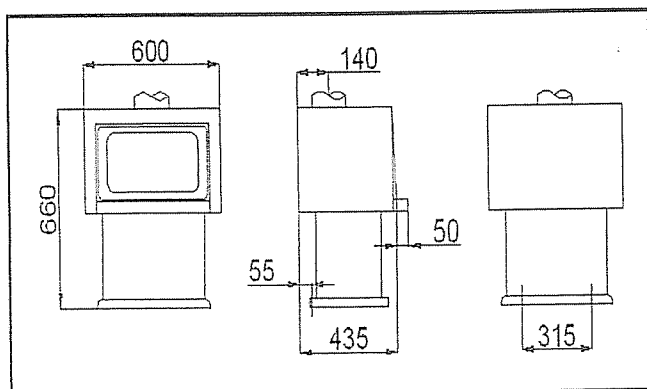


Fig 1

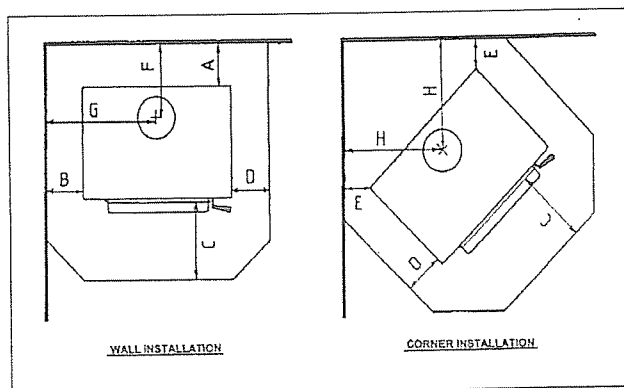


Fig 2

	A	B	C	D	E	F	G	H
With flue shield	100	225	300	115	50	235	525	365

Table 1

Note: The clearances given are for use with a Kent flue system and flue shield only. Use of flue components and flue shields from other manufacturers may void these clearances. Specified clearances must be maintained from the flue pipe to combustible materials within the room. **No provision is given for installing this unit without a flue shield. A hot water booster is not available for Clean Air Firenze heaters.**

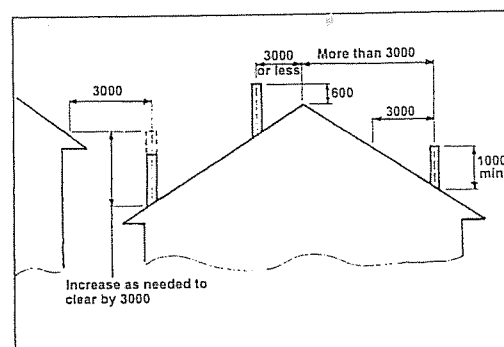
FLOOR PROTECTOR

An *insulating* floor protector is not required for the **Firenze** heater, but a floor protector of non-combustible material **must** be used. The floor protector must extend under the heater, a minimum of 300mm in front of the door opening, and 115mm to either side of the heater. The *minimum* floor protector size for a wall installation is 830mm wide and 840mm front to back, excluding trim. For a corner installation the *minimum* length along the wall is 1000 mm and diagonally from the corner to the front edge is 1105mm, also excluding trim.

FLUE SYSTEMS

The flue system should be vertical and without bends. If an offset is required, it should be as close to the heater as practicable and should not be offset more than 500mm from the centerline of the flue stub. Clearances from the flue pipe to combustible materials must be maintained (see Table 1). Restrictions or leaks in the flue system may reduce the draught, and, in severe conditions, could cause smoke to enter the room. The flue pipe shall extend not less than 4.6m above the top of the floor protector.

The flue cowl must be at least 600mm above the highest point of the roof if within 3 meters of it, or 1000mm above the roof penetration if more than 3 meters from the ridge – see Fig 3.

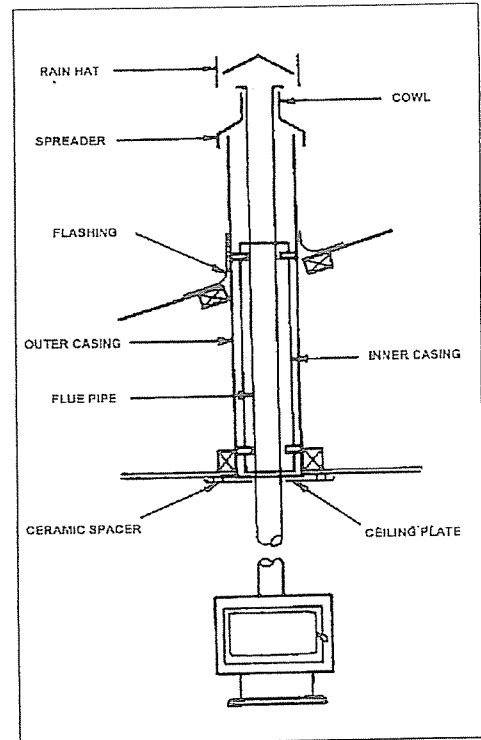


No part of the building, or any adjacent building, may be in or above a circular area of a horizontal radius of 3 meters from the flue exit.

These heights are given as a general minimum, and in actual practice the presence of surrounding structures, trees, fences, etc. may necessitate additional height for satisfactory performance. The cowl must be fitted to prevent entry of birds, snow and rain. At all flue joints, the swaged end of the upper piece must be fitted to the plain end of the lower piece.

INSTALLATION

1. The minimum requirements for installing your **KENT** heater are an assembled heater, a floor protector, a flue system and material for flashing the roof penetration.
2. Select the location for the heater, bearing in mind the clearances required (see Table 1).
3. Place the heater into the desired position and plumb for the ceiling roof penetrations. Allow for 150mm diameter flue pipe, 200mm diameter inner casing and 250mm outer casing. Check the proposed route of the flue to ensure it is clear of roof trusses and rafters in the ceiling space or other obstructions. It may be necessary to move the location of the heater to ensure this.
4. Once the location is confirmed, the heater must be restrained against movement due to earthquakes. The **Firenze** is restrained by fixing the heater to the floor with two bolts of 6mm minimum diameter through the holes provided in the plinth base, through the floor protector and floor and fixed with heavy washers and nuts. For solid concrete floors, use 8mm DYNABOLTS® or similar, with a minimum depth of engagement into the floor of 50mm.
5. Cut a 260mm square penetration for the passage of the flue pipe and casings through the ceiling. Trim back and reframe timbers to allow for fixing the ceiling plate and outer casing.
6. Cut and frame an opening in the roof and position the outer casing through the roof until it is flush with the underside of the ceiling. Fix with 4 screws or nails to the framing of the square opening in the ceiling at the points where the casing and timber touch.
7. Flash the outer casing to the roof, to make a permanent, weatherproof seal.
8. Place the ceiling plate with folded edges upwards over the flue spigot on the heater.
9. Join the required number of flue pipes by inserting the swaged ends of the upper piece into the plain end of the lower piece. Drill and fix each length with three stainless rivets or self-tapping screws. It is important that each flue pipe joint is sealed with commercially available flue sealing compound, including the joint between the flue spigot and the first length of flue pipe.
Note: enamel finish flue pipes may only be used where they are visible. Flue pipes located wholly inside the casings in the roof space **must** be stainless steel only. Position the flue pipe into the spigot in the top of the heater. The flue pipe can either be lowered from the top as a single unit or fed up from the room a length at a time, ensuring that all joints are sealed and fixed properly.
Fit the flue shield, if fitted, so that the bottom edge of the shield has an air gap of 2-3mm above the top grill of the heater.
10. Slide the inner casing into place, between the outer casing and the flue pipe, ensuring that the spacers are fitted to maintain equal clearances around the flue pipe and casings.
11. The flue pipe must extend at least 200mm above the casing at the top of the flue system. Extra lengths of flue pipe, inner casing and outer casing may be required to achieve the minimum distance above the roof. Joins between lengths of outer casing must be made with the upper end of the lower section inside the bottom edge of the upper length (the opposite of the method used for the flue pipe).
12. Place the top spreader in place and tighten. Slide the cowl over the flue until it rests on the top spreader. Secure with stainless rivets or self-tapping screws.
13. Fit the rain-hat. Do not fasten this in place – it must be removable for cleaning.
14. Screw the ceiling plate securely in position, through the holes provided, into the outer casing support framing. Ensure that the ceiling plate is spaced off from the ceiling by means of the spacers supplied in the flue kit. **Do not** fix the ceiling plate directly to the ceiling.
15. Where a flue terminates more than two meters above the roof penetration, it may be necessary to fit restraining guy wires for stability in high wind conditions.
16. Before using the heater, ensure that you have a Compliance Certificate from your Registered Installer or Territorial Authority Inspector.



This building consent also does not permit the construction, alteration, demolition, or removal of the building (or proposed building) if that construction, alteration, demolition, or removal would be in breach of any other Act.

Compliance schedule

A compliance schedule is not required for the building.

Attachments

Copies of the following documents are attached to this building consent:

A handwritten signature in cursive script, appearing to read "Bevan", written over a horizontal line.

Signature

Handwritten text in cursive script, reading "Customer Service Officer", written over a horizontal line.

Position

On behalf of: KAPITI COAST DISTRICT COUNCIL

Date: 8/05/06

8 May 2006

P & J Cowper
25 The Crownest
Whitby
Porirua

Dear Sir/Madam

Approval of Building Consent: 060468

Description: Installation of Kent Firenze Max Clean Air freestanding woodburner
Location: 10 Jane Street, Waikanae
Legal Description: LOT 15 DP 27236

I am pleased to inform you that the above building consent application has been approved. The building consent documents have been issued and are enclosed.

Before starting any work please read ALL the building consent documents carefully and in full so that you as the owner understand the conditions under which the consent has been issued.

As the owner you are also responsible for the following:

- ensuring that building work starts within 12 months of the approval of the building consent and that work progresses at a reasonable pace.
- ensuring that all required inspections are completed and that a Code Compliance Certificate is obtained once the work has been completed – please be aware that before a Code Compliance Certificate is issued, the building work must comply with the Building Act 2004 and the Building Code as at the date of final inspection.
- that no work with noisy equipment is to be carried out before 7.30 a.m. or after 6 p.m. Monday to Saturday. During the week there may be workers on site from 6.30 a.m. quietly preparing for work. Work with noisy equipment is not permitted on Sundays and public holidays.
- ensuring that no damage occurs to public property, for example footpaths or retaining structures. Should damage occur you will be required to pay for any repairs.
- ensuring that if you wish to make any changes to the approved building consent, then an amendment to the building consent will need to be lodged with us.

If you have any questions regarding your building consent or your responsibilities, please contact Kapiti Coast District Council on (04) 9045 617.

Addenda to Application

Application

Mr Sweep PO Box 554 Paraparaumu	No.	060468
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Project

Description	Domestic Fireplaces Being Stage 1 of an intended 1 Stages Installation of Kent Firenze Max Clean Air freestanding woodburner
Intended Life	Indefinite, but not less than 50 years
Intended Use	Residential
Estimated Value	\$3,000
Location	10 Jane Street, Waikanae
Legal Description	LOT 15 DP 27236
Valuation No.	1491030700

Contractor: Mr Sweep PO Box 554, Paraparaumu : 298 9861

General Requirements

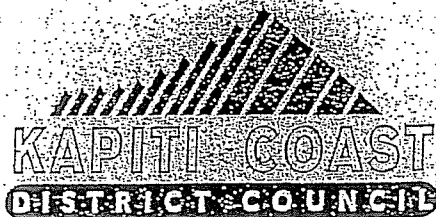
- a) The District Inspector is to be given 24 hours' notice before carrying out the following inspections:
 - 1. Completion inspection
- b) To arrange for any of the above required inspections by the District Inspector, please contact the building inspectorate on (04) 298 5139 between the hours of 8.00am and 4.30pm.

1. LAPSE AND CANCELLATION OF BUILDING CONSENT. A building consent shall lapse and be of no effect if the building work concerned has not been commenced within 12 calendar months after the date of issue. Or within such further period as the territorial authority allows.
2. Installation of solid fuel appliances must comply with manufactures specifications and be secured against seismic movement ie EARTHQUAKES.
3. Section F7 of the New Zealand Building Code requires the installation of an approved smoke alarm system for detection and warning of fire. Alarms are to be of a type which include a reset and test buttons.
4. Woodburners must be designed to have an emission of less than 1.5 grams of particles per kilogram of dry wood burnt (as measured in accordance with AS/NZS 4013:1999), and a thermal efficiency of greater than 65%(as measured in accordance with AS/NZS 4012:1999).
5. From 1 September 2005 a National Environmental Standard for Wood Burners has been introduced as an Amendment to the RMA 1991. The new standard sets out regulations governing emission rates and energy efficiency (for more information check www.mfe.govt.nz). The granting of this building consent for the installation of a woodburner is NOT an authority to install and operate a non-complying woodburner.
6. The granting of this building consent for the installation of a woodburner is NOT an authority to install and operate a non-complying woodburner.
7. Since 1 September 2005, the NZ standard for woodburners has applied to all units installed on properties less than 2 hectares in lot size. The standard applies only to woodburners. It does not apply to open fires, multi fuel burners (eg coal), cooking stoves or pellet burners. The granting of this building consent for the installation of a woodburner is NOT an authority to install and operate a non-complying woodburner.

I have read the foregoing addenda to application, and the Owner/Builder/Authorised Person hereby agrees to comply with them.

**OWNER/BUILDER/
AUTHORISED PERSON**

Date: _____



SITE CHECK SHEET

NAME:.....

ADDRESS:..... LOT:..... DP:.....

PROJECT:..... CONSENT NO: 060468

WORK CANNOT PROCEED PAST EACH STEP UNTIL THAT STEP HAS BEEN INSPECTED, APPROVED AND THIS FORM SIGNED BY THE RELEVANT INSPECTOR. WORK APPROVED BY A CERTIFIER REQUIRES A BUILDING CERTIFICATE SUPPLIED BY THE CERTIFIER.

COMPONENT TO BE INSPECTED	INSPECTION REQUIRED (TICK)	INSPECTION CHECK	INSPECTION RECHECK	COMMENTS AND/OR RECTIFICATION NOTICE NO	OK TO PROCEED YES/NO	ADDITION INSPECT YES/NO	DATE SIGNATURE
FREESTANDING FIRES		✓	✓				
Seismic fixing		✓	✓				
Hearth		✓	✓				
Flue		✓	✓				
Flashing		✓	✓				
Smoke Alarms		✓	✓				
INBUILT FIRES							
Chimney & Flue							
Seismic fixing							
Smoke Alarms							
SWIMMING POOLS							
Fencing							
Gates – Door							
Water Supply							
Backwash disposal							

BUILDING COMPONENTS DEEMED COMPLETED

CERTIFIER	SIGNATURE	DATE	CERTIFIER	SIGNATURE	DATE
Building			Services		
Planning			Resource Management		
Fire			Air Conditioning		
IO					
Dis					
Compliance Schedule					

WORK IS NOW DEEMED TO BE COMPLETED. A CODE COMPLIANCE CERTIFICATE WILL BE ISSUED WHERE REQUIRED BY THE BUILDING ACT.

CODE COMPLIANCE CERTIFICATE NUMBER:.....

Signature

Designation

Date

WHEN THE PROJECT IS COMPLETED THIS INSPECTION SHEET WILL BE ATTACHED TO THE RELEVANT PROPERTY FILE HELD AT THE COUNCIL OFFICE



BC Number: 060468

NOTE: Please have this form completed by the Installer and ready for our Building Inspector to collect when doing the final inspection

INSTALLER'S NAME: (Please print)

ROGER ROMAN/MR SWEEP

Address: 70 Box 554 TRAM Ph: 0274141335

FREE STANDING FIRE OR INBUILT FIRE INSTALLED AT:

Address: 10 SANE ST WAIKANAHE BEACH

For: Peter COWPER

The following requirements under NZS 7421:1990 or AS/NZ 2918:2001 have been met and the solid fuel burning domestic appliance type and model KENT FIRENZE MAX CLEAN AIR has been installed in accordance with the manufacturer's installation instructions.

Please **tick** (where applicable) the following:

- ☒ ☐ The chimney has been cleaned
- ☒ ☐ The chimney is in a sound condition
- ☒ ☐ The chimney is of pumice and of correct dimensions to comply with BRANZ zero clearance certificates
- ☒ ☐ The chimney is ventilated to manufacturer's requirements
- ☒ ☐ The appliance is restrained against seismic activity (free standing and fireplace heaters).
- ☒ ☐ The inbuilt heating appliance has been approved by BRANZ as complying with their zero clearance certificate.
- ☒ ☐ The hearth is an approved type according to manufacturer's requirements.
- ☒ ☐ The hearth is restrained against seismic activity
- ☒ ☐ The fire-surround at its connection to the fire place is fully insulated with approved material [see BRANZ Building Information Bulletin 248 (1986)].
- ☒ ☐ The ash hearth is of correct dimensions according to installation instructions.

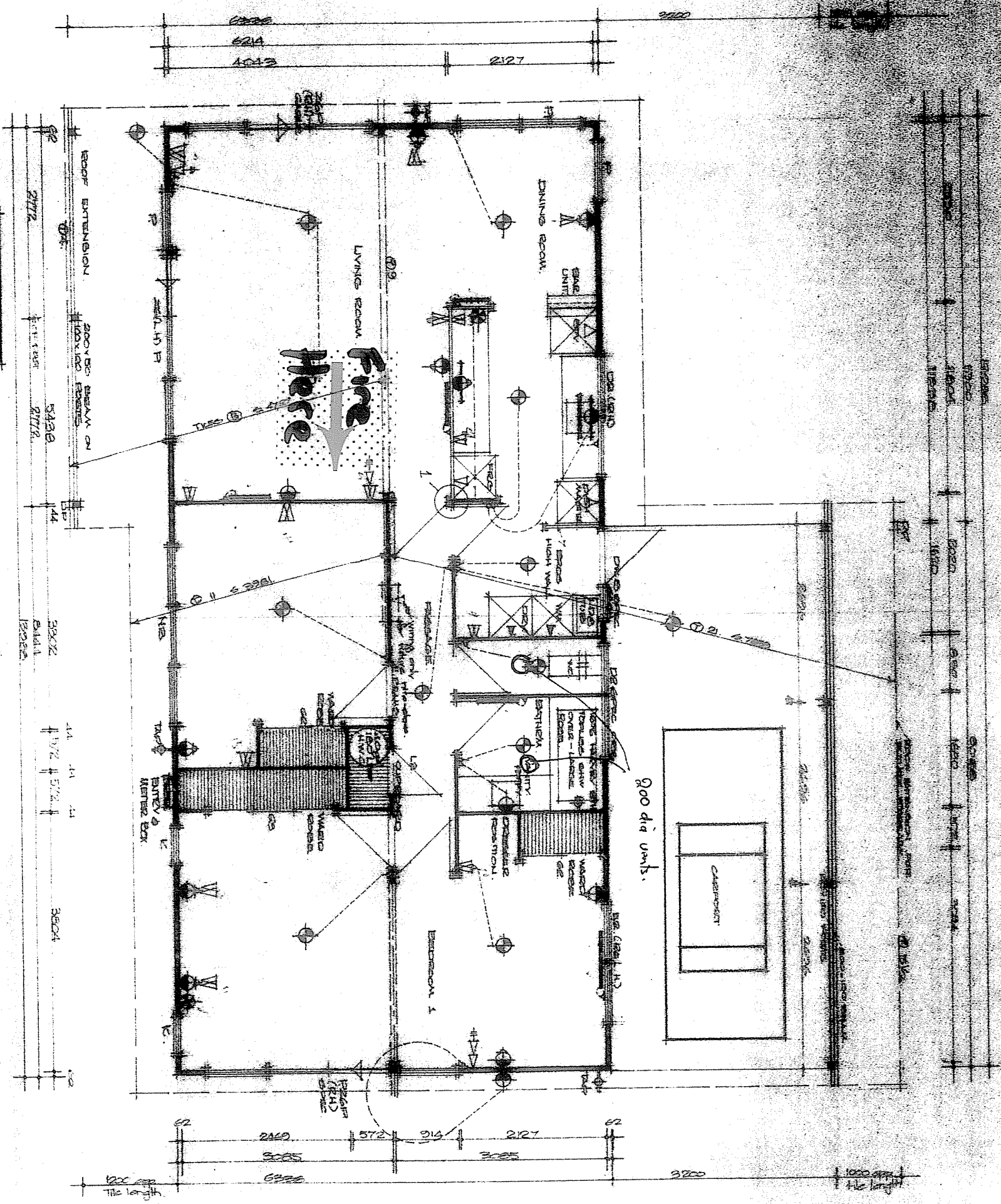
Signature: R. Rom

Date: 15/5/06

Guide for Completing an Application for Code Compliance Certificate

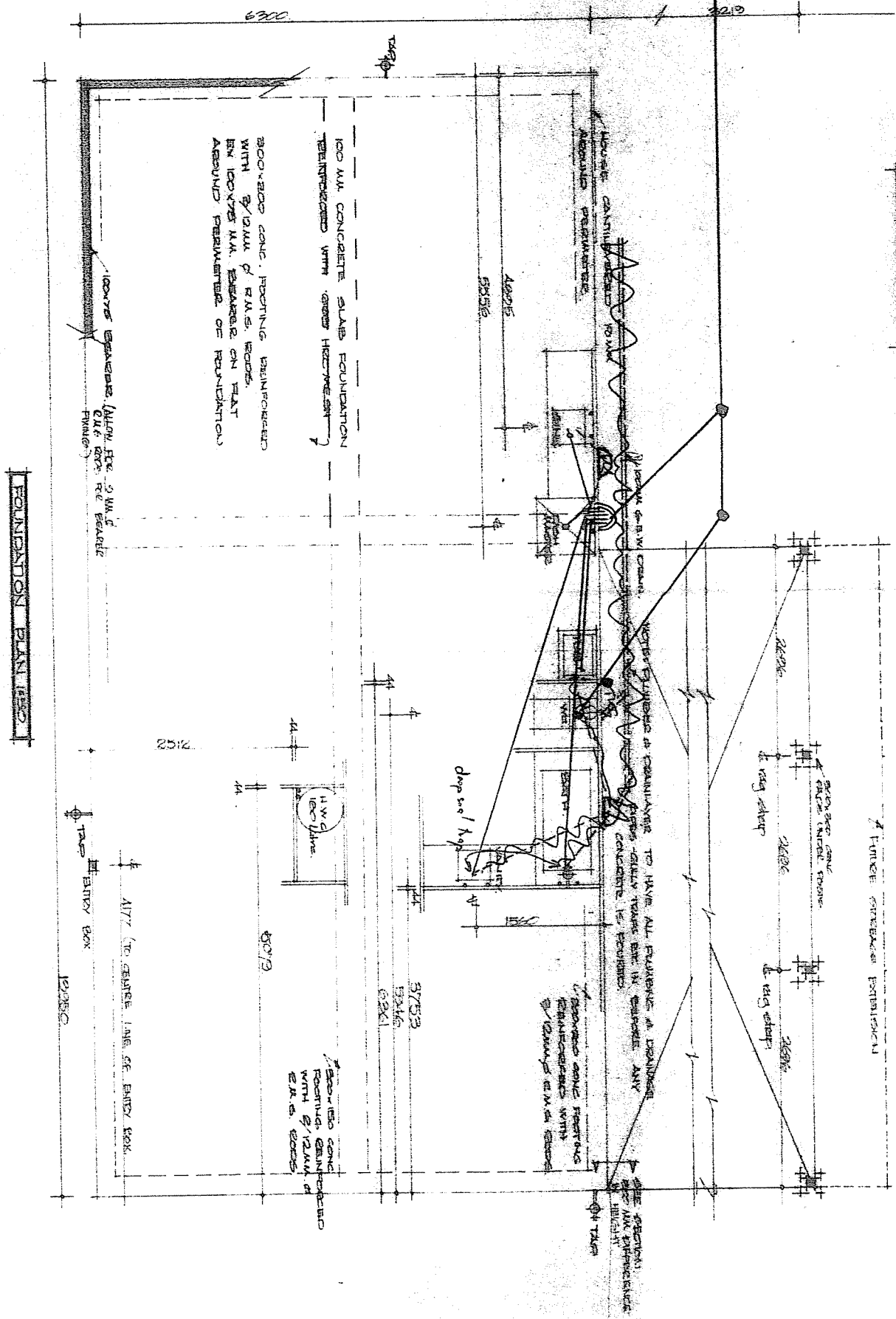
An application for a Code Compliance Certificate is made under the Building Act 2004 and the content of the application form is set by regulation. This guidance document aims to assist you in completing the application form correctly. If a specific section does not apply please strike through the applicable line or write N/A (not applicable).

Section	Guidance Comments
The Building Consent	You should show the correct BC number and ensure the consent has been issued by KCDC
The Owner	Ensure all contacts details are given-name address and phone number are the minimum requirements
Evidence of ownership	Where ownership has changed since the BC application was lodged a recent copy of the CT (or sale & purchase agreement) must be supplied. Where ownership has not changed other evidence will be accepted e.g. rates demand or a signed statement that the ownership has not changed.
Agent	Name & contact details required if applicant is not the owner.
First point of contact	Name & contact details required if different from owner or agent
Application	Completion date must be provided.
Personnel who carried out work.	For each relevant space you must enter name, address, contact numbers, product name and manufacturer. Registration numbers must be given, if available e.g. plumbers, drainlayers, gas fitters, electricians.
Compliance Schedule	Form must indicate either • That there are no specified systems, or, • The specified systems that are present
Code Compliance Certificate to be sent to	Name and address required. Note this could be a person not already named as owner or agent.
Signature	All application must be signed and dated by owner or agent.
Attachments	Indicate if there are documents to be attached to application. <i>See over page for explanation</i>



FINISH PLASTER 94 sq

1' FINISH CORNER EXTENSION



FOUNDATION PLAN (REV)



KAPITI COAST DISTRICT COUNCIL

Application for Permit for Building - Plumbing - Drainage

3685

VALUATION NO

1	4	9	1	0	3	0	7	0	0
Date Rec'd					Day Book			Initial	
					Page				

To The General Manager
PRIVATE BAG, PARAPARAUMU

WWE MARTIN PHILLIPS P & G LTD Phone 344000

(Postal Address) P.O. Box 189

WAIKANAE

hereby make application for permission to have the work described herein, and set out in the plans and specifications attached hereto, carried out in the premises situated at -

No. 10 Street or Road JANE STREET

Lot No. 15 D.P. 22236 District WAIKANAE

The owner of the premises is MRS W. V. EARNSHAW

(Postal Address) 428 STOKES VALLEY RD. STOKES VALLEY

Signature of Applicant [Signature] Date 2/7/90

Building

Description of proposed work:

with a floor area of _____ sq. metres

TOTAL estimated value of proposed work

Builder's name and address

Plumbing - Drainage

Description of proposed work: Dig, lay & Backfill

Sewer to council connection

Estimated labour content of PLUMBING only

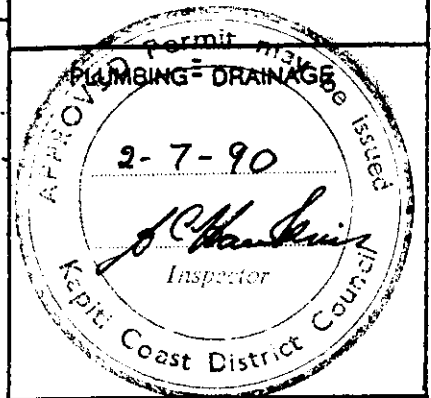
Estimated labour content of DRAINAGE only

Plumber's name and address N/A

Drainlayer's name and address Martin Phillips P & G Ltd.

14 Parata St. Waikanae

BUILDING



Important:- No work to be commenced before the permit is issued.

For Office use only

Account No. 1678 Date 10-7-90 Receipt No. 97848 Date 10-7-90

Fees: (Inclusive of GST)

Building Permit

Plumbing Permit

Drainage Permit

Sewer Connection

Water Connection

Kerb Crossing

Damage Deposit

Bldg Research Levy

TOTAL

GST Content

\$									
\$									
\$			6	2	0	0			
\$									
\$									
\$									
\$									
\$									
\$			6	2					
\$									

Permit No. _____ Date Issued _____

Permit No. _____ Date Issued _____

Permit No. 2016 Date Issued 10-7-90

Order No. _____

Refund _____

Checked _____

Date _____

Permit Endorsement

P.t.o.

It is the responsibility of the owner and/or builder to ensure that proposed building levels are compatible with existing sewer connection levels.

CONCEALED SOIL AND T.V. PIPES ARE NOT PERMITTED UNLESS BUILT INTO DUCTS OF MINIMUM 150mm THICK FRAMED WALLS.

3709



KAPITI COAST DISTRICT COUNCIL
PRIVATE BAG, PARAPARAUMU

2016

10 July 19 20

PLUMBING AND DRAINAGE PERMIT

Mr M. PHILLIPS
P.O. Box 189
Waikeana

is hereby authorised to carry on the work described herein as set forth in the plan deposited with me, on the premises.

Situated 10 Jane St, Waikeana

Being Lot 15 D.P. 27236

Owner W. E. MANSHAW

Builder —

Such work is to be carried out in strict accordance with the DRAINAGE and PLUMBING REGULATIONS 1978 under the HEALTH ACT, 1956, AND NOTICE GIVEN WHEN THE WORK IS COMPLETED AND READY FOR INSPECTION.

Tradesman's Signature P. J. J. J.

Estimated Value of:
Plumbing \$ —
Drainage \$ 250

Fee Paid:
Plumbing \$ —
Drainage \$ 62
Sewer \$ —
Water \$ —

DESCRIPTION OF WORK AS PER PLAN AND SPECIFICATION

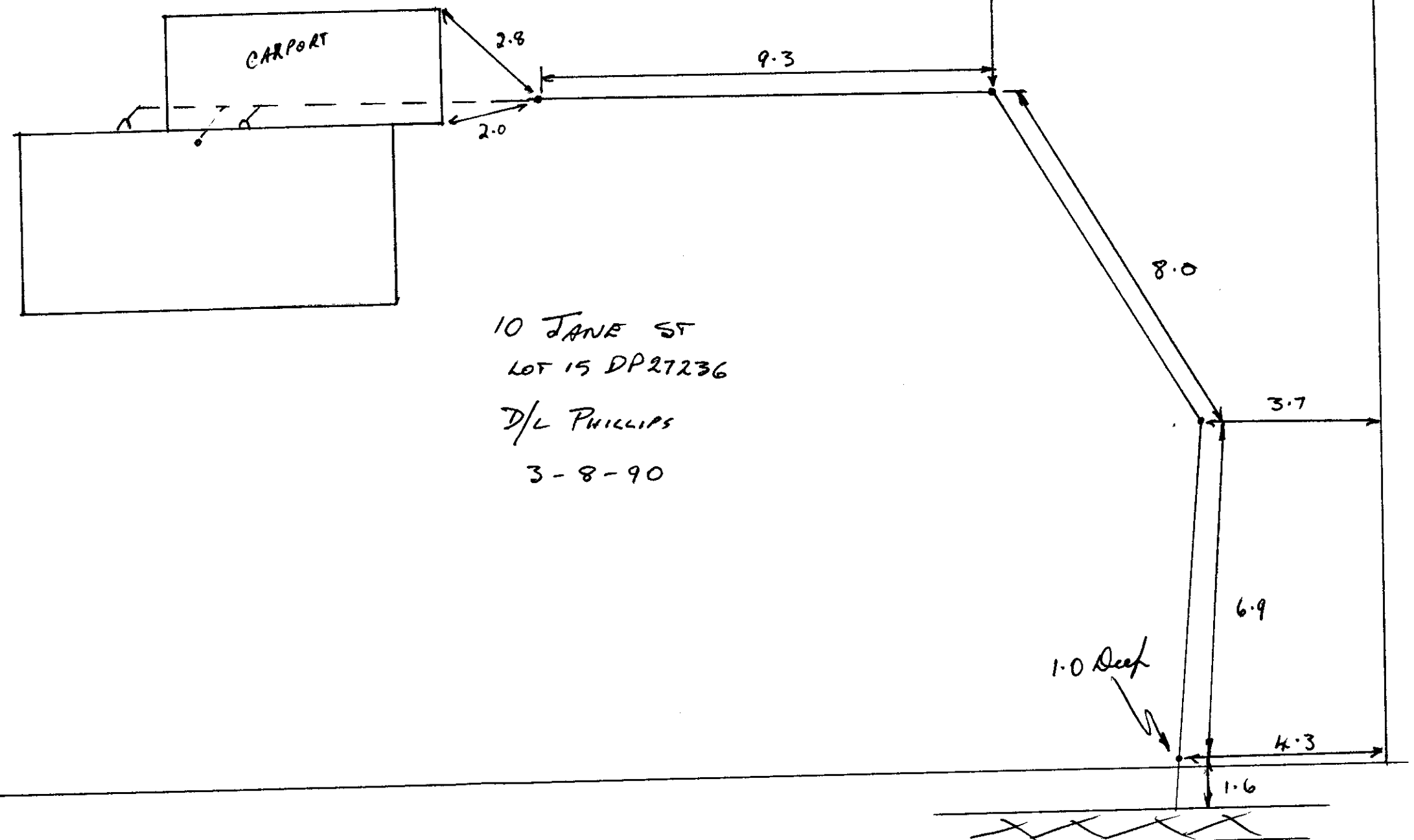
Dr. Lat. & Borehole Sewer
To Council Connection

It is the responsibility of the owner and or builder to ensure that proposed building levels are compatible with existing sewer connection levels.

P. J. J. J. Engineer

P.P. & S. Ltd.

(or other officer authorised by the local authority)

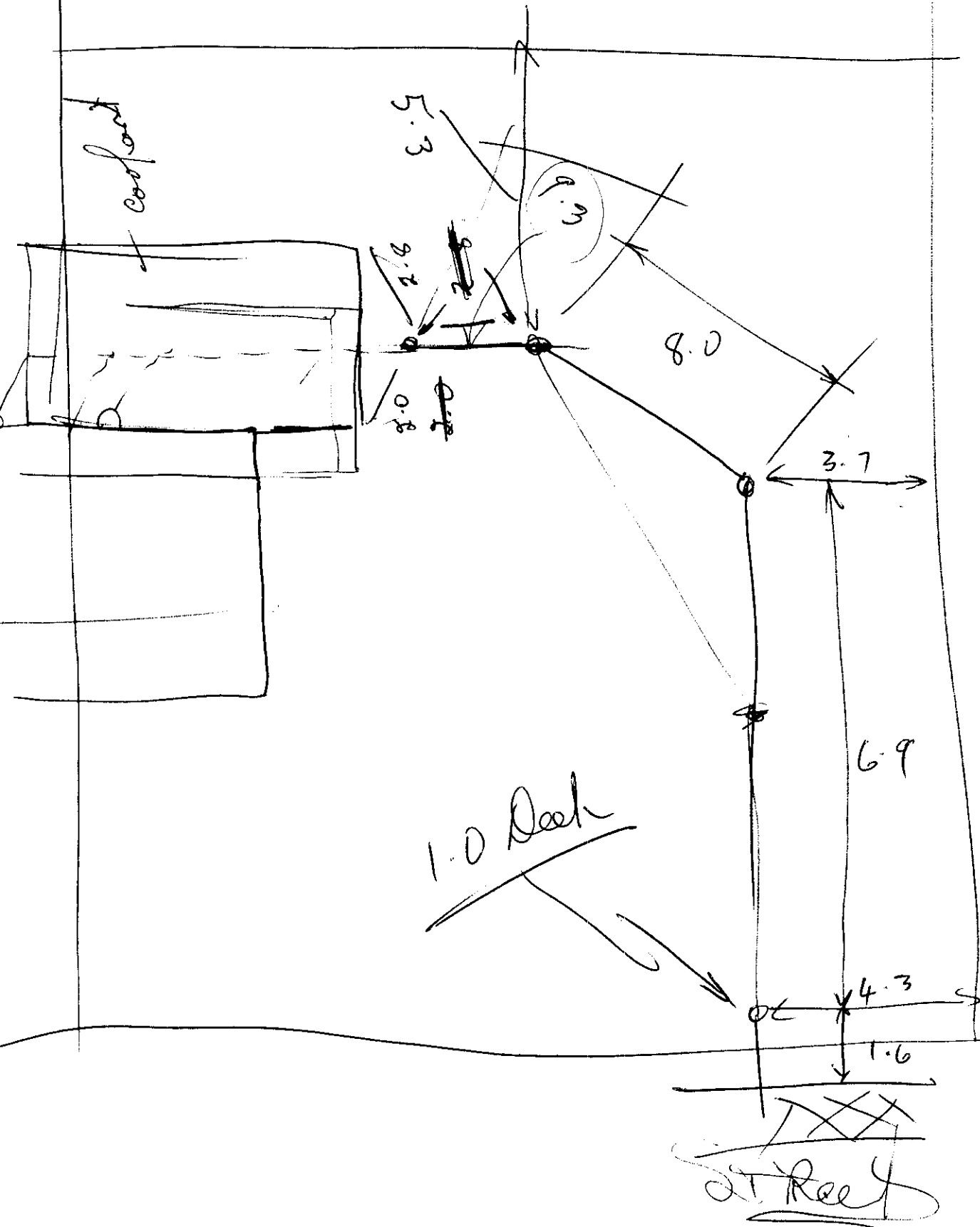


10 JANE ST
LOT 15 DP27236
D/L PHILLIPS
3-8-90

Cornshaw

10 June 87

3-8-90



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ADDENDA

Any addenda specified will take precedence over the general contract.

1. PRELIMINARY AND GENERAL

The Contractor shall provide all labour and materials, supply and maintain the required tools, plant, scaffold etc. All work shall be carried out in accordance with this specification together with all relevant plans and details and comply with the Local Body By-Laws. All work shall be in accordance with the NZSS 1900 model building by-law except where overruled by Local Body By-Laws or special requirements by any lending institution which may be the mortgagee. Any variation to original plans and specification by outside bodies is subject to extra charge to client without reference.

1-1 PLANS AND SPECIFICATION

The working drawings with this specification and any special conditions attached shall form part of the contract. In the event of there being any difference between drawings and specifications the information in the specification will take precedence. Figured dimensions will take precedence over scaling from plan.

1-2 INSURANCE

Before commencing the contract, the contractor will insure his workmen against all claims under the Workers Compensation Act. The contractor will also insure the building for the full contract price against fire in the names of the owner and the builder for their respective rights and interests. This cover will be kept in force until the Liens Retention date has expired.

1-3 COMMENCEMENT OF WORK

The contract shall be commenced within a reasonable time after the building agreement documents have been signed and returned to the office of the contractor.

Lockwood Contracts. Commencement of work will be approximately two weeks prior to the delivery date of Lockwood components to the site. Starting time can not be fixed until a firm delivery date has been received from Lockwood Buildings Ltd, Rotorua.

1-4 ARBITRATION

Any dispute arising between owner (employer) and contractor (builder) not soluble by the terms of this specification, should be referred to arbitration within the meaning of the Arbitration Act of 1908. In addition to Section 18, Arbitration Act of the Master Builders' Federation Incorporated, occupation of the house cannot be taken until the dispute is settled. In the event of the owner taking occupation any claim to dispute is nullified.

1-5 DEFAULT AND BANKRUPTCY

The usual laws of bankruptcy and default apply to this contract.

1-6 LIENS ACT

This contract is subject to the Wages Protection and Contractors Liens Act 1939 and its amendments. Liens retention monies shall be paid 31 days after the contract has been signed as completed irrespective of the maintenance period.

Occupation may not be taken until liens is contained in trust by our company solicitor.

1-7 PRICE INCREASES

Arbitration Court or Price Tribunal award increases to basic material cost or in wages to all trades being mentioned herein, beyond the control of the building contractor, shall be agreed upon as extras to this contract and will be met by the Owner. (Refer Clause 10 of the Contract.) Price increases on negotiated subcontracts are liable for review as covered in general information on the back of the cost sheet.

1-8 EXTRA WORK

No extra work may be carried out without a signed and dated contractor's Alteration Authorisation form. Alterations conveyed verbally will not be valid unless verified in writing on the appropriate form. In the event of requiring any alteration to the basic contract it will be necessary for the form to state the exact requirements. Extras will be charged on a cost plus 15% basis unless quoted for.

1-9 PERMIT AND FEES

The contractor shall obtain all permits from, and pay all fees demanded by local authorities before commencement of work. This clause shall not apply for the arrangement and payment of the inspection and valuation by the lending institution in respect of progress payments. In the event of additional work being required by the local authority, the requisition must be made in writing by the authority concerned and when carried out by the contractor is subject to payment by the owner as an extra item. Where a road crossing is called for by the Local Authority, any fees arising shall be the responsibility of the owner and do not form part of the building contract.

1-10 MATERIAL SPECIFICATION

Should any of the materials specified for this contract be unprocurable at the time of purchase, negotiations shall be made for the provision of substitutes. Before any such substitutes are included in the building the approval of the owner must be obtained. The price difference resulting from the inclusion of any substitute should be agreed before the respective work is commenced. Any substitute must also be acceptable to the local authority. Any price variation would be credited or charged as an extra at the completion of the job.

All materials placed on site by the contractor for the proposed building, remain the property of the contractor in the case of not being used. All waste material and boxing remain the property of the contractor and shall be removed by him within 14 days of completion of the said building. Any delay in procuring of materials shall be taken into consideration on the contract completion date.

1-11 MAINTENANCE

The contractor shall maintain the work carried out for a period of 31 days after completion of the contract. During that period the contractor shall make good all defects in any part of any trade to a workmanlike standard.

Maintenance after the stated period is entirely at the discretion of the contractor.

1-12 P.C. ITEMS

The initials 'P.C.' (Prime Cost) is the figure charged to the contractor. All items in the contract referred to as P.C. items are subject to 15% markup for the handling and coordination of the same.

1-12 Contd.

The writing of the specification is basically connected with the company's itemised cost estimate. However, in many cases throughout the specification owing to the efficient correlation of subcontractors an overlap may occur and therefore in the deletion of any one subcontractor, the client must be perfectly sure that the understanding is in the correct relation to the cost and not as our cost estimate. This also applies to the inclusion of P.C. items.

P.C. Items include the supply and installation or any labour involved appertaining to the completion of the said item.

The P.C. Items allowed in this contract are as follows:-

EXCAVATIONS	£30.00
ELECTRIC STOVE	£250.00

1-13 CLEARING UP

The contractor is responsible for leaving the house broom clean and the site is to be relieved of all building components and general rubbish acquired during the contract period.

Site clearing refers to the builders materials only. Refilling soil or tending clients items are not allowed in this contract.

1-14 SUBCONTRACTORS

All subcontractors shall be engaged and supervised by the building contractor.

Every subcontractor jointly and separately shall collaborate, wait on, assist and render all necessary assistance to complementary trades. Additional work or adjustments must be made with the building contractor. Alterations made by the client with the subcontractor will not be the responsibility of the building contractor. (Refer to Extra Work)

The individual subcontracts as itemised in the specification are respectively the responsibility of the subcontractor under which they are listed.

Any subcontractor working on the contract without his own set of plans and specifications does so at his own risk, and errors must be rectified at his expense.

2. EARTHWORKS & SITE PREPARATION

2-1 SETTING OUT

THE OWNER SHALL BE RESPONSIBLE FOR THE LOCATING AND CLEAR FLAGGING OF ALL SURVEY PEGS BEFORE THE SETTING OUT OF THE BUILDING ON THE SITE. The contractor will be responsible for the accurate setting out of all work to the dimensions shown on the drawings. The contractor will be required to make good at his own expense any errors which may occur in the setting out of all work.

2-2 LEVELS

Foundation heights shown on plan are an approximation and should be checked on the site by the contractor. Any variation in the ground level requiring extra foundations will be charged as an extra. Any additional work is charged on a cost plus 15% basis.

2-3 TEMPORARY SERVICES

WATER: A Toby box should be on every section. In the event of water not being supplied any additional arrangements made by the contractor will be charged as an extra.

ELECTRIC POWER: The contractor is responsible for the supply of electric power to the building site.

2-4 SITE PREPARATION

Excavation of the building site, if required shall be arranged by the contractor and if the cost is not included in the summary sheet appertaining to the contract documents the extra charges will be made as a P.C. item. The contractor is responsible for the supervision of the excavation and the progress of levels to establish the required platform. In the event of excess excavation the contractor will make good any damage at his own cost. For the purpose of this contract soil conditions are taken to be solid ground approved by local authority.

2-5 CLEARING OF SITE

The contractor will arrange and pay charges for the clearing of the building site of vegetation, scrub, trees etc. which encroach on the building platform.

2-6 SITE ACCESS

All building sites should have access suitable for heavy vehicles. If this is not the case the responsibility of providing access rests with the owner and access should be supplied at their cost prior to the commencement of building.

2-7 FOOTPATH DAMAGE

The contractor will be responsible for any damage to Local Body footpaths and/or road crossings, resulting from any vehicle used by him or his sub-trades, or delivery vehicles of materials ordered by him, providing such crossings are constructed to an acceptable standard.

2-8 EARTH FILL

The Builder shall not be liable for any damage or deterioration of any work to the building or to the site caused by or resulting from the inadequacy of earth fill or by the negligent application thereof and the Owner indemnifies the Builder against any claim against him by any person whatsoever for damages or expenses incurred by faulty earth fill aforesaid.

3. CONCRETOR.

CONCRETE SLAB FOUNDATION.

3-1 GENERAL.

The concrete work consists of reinforced slab concrete floors to the house area, terraces, carport and associated ground beams and column pads as per plan.

3-2 MATERIALS.

Aggregate shall be sharp, clean sand and crushed hard metal or river shingle. Materials and workmanship shall conform to all the requirements of Clauses 9/3/3 - 9/3/5 of NZSS 1900.

3-3 FOOTINGS.

Mix aggregate thoroughly in a mechanical mixer for not less than two minutes, add sufficient water to give a stiff workable mixture. Concrete throughout shall be composed of 1 part cement to 4 parts of crushed metal and 2 parts of sand.

3-4 CONCRETE SLAB.

Shall be 100mm thick reinforced with .665 mesh to middle of slab, lapped 200mm and secured at that height. Wire on mortar blocks or other approved means. All slab concrete shall be special grade air entrained concrete with 28 days crushing strength of 2000lbs per square inch (as detailed in Clause 9/1/10 NZSS 1900)

Any concrete required to make good underground beams, due to excess excavation shall be nominal 128 mix as defined in clause 9/3/65 NZSS 1900.

3-5 REINFORCING STEEL.

Footings:

Shall be as shown on drawing, steel to conform to NZSS 197 Hook all rod ends with U bends having internal radius of 4 bar diameters minimum and lapped 40 diameters minimum. Bend steel 600mm around all angles. All joins to be tied with 16 gauge black iron wire to secure to avoid displacement during the pouring of concrete.

3-6 COMPACTION.

Sand shall be thoroughly watered and rolled to provide a substantial bed for the placing of the concrete slab.

3-6 CONCRETE PLACING.

All the concrete shall be placed as close to its final position as possible, compacted and screeded level.

3-7 DAMPPROOF COURSE.

Shall be .005 black polythene or Moistop 737 concrete underlay laid on 100 of compacted sand on hardfill. The dampcourse will be properly lapped and all joints to be taped with black PVC adhesive tape. The penetration of pipes through the polythene will be strapped with black PVC adhesive tape. Care must be taken during pouring to prevent tears in the membrane. Any tears must be taped before the concrete is poured.

Terrace and carport slabs do not require dampcourse.

The contractor shall notify the building inspector at the stage of placing concrete. The inspector will inspect, approve and authorise the pouring of the slab.

3-9 FINISHING

All sizable slabs shall be screeded off-level or to prescribed falls and then to be brought to a hard surface with approved power float equipment or steel trowel.

3-10 BUILDING IN

Provide and build in all items and fixings whatsoever necessary which may or may not be specified or shown on the drawings, but which are none the less necessary before the complete and proper execution of works.

Provision for trap for shower or bath.

Box for the siting of WC outlet.

Box for all piping waste outlets.

Recess footings for rebated sills.

All plumbing to be laid in sand before the laying of dampproof course.

Service pipes to be allowed in sand for telephone wire.

3-11 SPECIAL REQUIREMENTS

~~FIELD IN ALL PLUMBING AND DRAINAGE REQUIREMENTS.~~

6. CARPENTRY.6-1 GENERAL.

Frame, erect and fit all carpentry and joiners work. Leave all parts in good working order and make good to all shrinkages and other defects. The timber shall be of the best of its kind, free from large and loose knots, shades, bark etc. All framing timber shall be structurally sound. All timber for exposed work and joinery shall be free from defects which could prevent a good dress service.

6-2 WORKMANSHIP AND NAILS.

All timber shall be fixed, framed, trussed, braced, nailed screwed and bolted, all fitted together in a workmanlike manner in accordance with the best trade practice. All work shall be accurately set out, neatly executed and finished. Nails, brads, screws, bolts and the like shall be galvanised mild steel on all exterior work. All interior work will be mild steel nailed. Screws exposed to weather shall be galvanised.

Nails generally shall penetrate second or holding timber at least half their length, brads which shall be used generally to attach linings, finishings etc shall be in length three times the thickness of the attached material with a minimum length of 19mm except where the second timber is Pinus Radiata the length of nails will be increased by 25%. Nails and brads in all carpentry work, all joinery, all finishing work and the like shall be neatly punched below the surface.

Attend upon and make good in and after all trades. On completion leave all in good workmanlike condition.

6-3 PRIMING.

Prime all spouting boards, joints and abutting surfaces of exterior trim and joinery. All for priming all butted and housed joists of all exterior timber work. Prime with Timbercyl. (For colour of finish refer to painting schedule)

6-4 SPLASH BOARDS.

Fit 150x25mm treated splash boards behind laundry tubs, set in white lead putty caulking or selastic, prime back of board with Timbercyl. A similar detail is required for the finishing of the bath or alternatively the linings may be carried down and connected to the bath moulding.

6-5 TOILET ROLL HOLDER.

Provide and fix one C.P. brass toilet roll holder to each W.C.

6-6 TOWEL RAILS.

Provide and fix 19mm diameter C.P. brass towel rail complete with C.P. flanges. Length as per schedule.

6-7 SHOWER RAILS.

Provide and fix 19mm diameter C.P. on brass shower rail complete with C.P. flanges.

6-8 SPECIAL REQUIREMENTS.

6-16 Contd.

set in white lead putty caulking or selastic, prime back of board with Totara Primer.

A similar detail is required for the finishing of the bath or alternatively the linings may be carried down and connected to the bath with PVC formed moulding.

6-17 TOILET ROLL HOLDER.

Provide and fix one C.P. Brass toiler roll holder to each W.C.

6-18 TOWEL RAILS.

Provide and fix 19 diameter C.P. brass towel rail complete with C.P. flanges. Length as per schedule.

6-19 SHOWER RAILS.

Provide and fix 19 diameter C.P. on brass shower rail complete with C.P. flanges.

6-20 GABLE FINISHING.

STANDARD LOCKWOOD

6-21 SOFFIT FINISHES.

STANDARD LOCKWOOD

6-22 SPECIAL REQUIREMENTS.

~~CONSTRUCT CARPORT AS PER PLAN ALLOWING FOR A FUTURE STOREROOM~~
~~ON THE EASTERN SIDE OF THE CARPORT.~~

6A. CARPENTER

LOCKWOOD METHOD OF CONSTRUCTION

6A-1 GENERAL

As a Lockwood franchise holder our company is qualified to construct and erect the particular techniques relevant to the Lockwood solid wall method of construction which are not normal in conventional building.

In addition normal, sound trade practice and workmanship must be applied as well as compliance with local by-laws for commencement and completion of the job in order to achieve the standard set by the manufacturers, Lockwood Buildings Ltd. The Lockwood contractor is responsible for the following functions:-

- Unloading and protection of components.
- Sorting out of wall planks.
- Nailing profiles to bottom boards.
- Flashings.
- Aluminium soakers on all exterior joints.
- Erection of External and Internal walls.
- Bolting Corners.
- Fixing of tie-rods.

The method and detail of Lockwood erection must be in compliance with the Lockwood Technical and Assembly Manual, December 1970.

6A-2 MATERIALS

Refer to Lockwood specifications 1-16 for the list of materials as supplied ex factory, Rotorua.

6A-3 SHORTAGES

The contractor is responsible for negotiations with Lockwood Buildings Ltd, Rotorua, for the replacement of any shortages.

6A-4 BREAKAGES

Any breakages in transit or on site are the responsibility of the contractor. Structural components must be rectified or replaced before being inserted in the Lockwood house.

6A-5 TECHNICAL STRENGTH

Full engineering calculations are available on the Lockwood method of construction. Refer technical data on Lockwood, January 1971.

6A-6 PRIMING

Prime all spouting boards, joints and abutting surfaces of exterior trim and joinery. Allow for priming all abutted and house joints of all exterior timber work. Prime with White totara primer or suitable oilstain.

6A-7 NAILS

All nails used in the Lockwood construction must be galvanised.

6A-8 MAKING GOOD AND COMPLETION

Attend upon and make good in and after all trades. On completion, leave all in good condition.

SPECIFICATION FOR LOCKWOOD PLANK MATERIALS.6A-9 GENERAL.

For the most part NZS 2631:1971 has been used as a basis for this specification but amended, where necessary, to suit availability, treatment, processes, processing, supply length requirements, etc., of timber. It must always be understood that because of its solid nature Lockwood Construction requires a visual rather than strictly structural grade. For this reason a broad inclusion of natural defects (or Features) is acceptable and, in fact, desirable.

6A-10 KNOTS.

- (a) Sound intergrown knots shall be permitted
- (b) Sound, tight partially intergrown knots shall be permitted, providing that the width of a knot or knots does not exceed $\frac{1}{2}$ the width of the piece.
- (c) Encased knots shall be permitted, providing they do not exceed 25 in diameter, 1 of 25 ϕ per 3 lineal ft or 2 12 ϕ per 3 lineal ft.
- (d) Sound spike knots shall be permitted
- (e) Sound intergrown knots in clusters shall be permitted.
- (f) Double spike knots shall be permitted.

6A-11 HOLES:

Two cone stem-holes or knot holes up to 12 in diameter shall be permitted per 3 lineal ft. These could be at an angle to the surface of the piece. (Resulting in an oval Hole)

6A-12 RESIN AND BARK POCKETS.

Not greater than 3mm in width and not exceeding a combined length of 150 per 10 lin.ft.

6A-13 PITH.

1500 of pith up to 19 diameter shall be permitted. However, incidence of this defect is not to be excessive.

NOTE: ANY OF THE ABOVE COULD APPEAR ON THE EDGE OF ANY PIECES.

6A-14 WANE.

Not permitted.

6A-15 STAIN.

Medium Stain, the difference in colour of which will be discernable of given a natural finish shall be permitted,

6A-16 CROOK.

Shall not exceed 25 in a piece 3600 long. Shorter or longer pieces may have the same curvature.

6A-17 BOW:

Shall not exceed 75 in a piece 3600 long. Shorter or longer pieces may have the same curvature.

6A-18 CHECKS.

Surface check.

A large surface check with a perceptible opening not over 250 long, shall be permitted.

Knot Checks.

Not exceeding 9mm wide.

6A-19 CUP.

A cup of 6mm across the piece shall be permitted.

6A-20 SLOPING AND CROSS GRAIN.

Not Restricted.

6A-21 ALUMINIUM SHEATHING TO EXTERIOR 62 LAMINATED PLANKS.

(1) Colour.

A colour variation which is perceptible at a distance up to 15000 shall be permitted. Unpainted aluminium sheathing shall not be permitted.

(2) Blemishes.

Blemishes apparent in the Aluminium Sheathing which are due to surface of the timber to which the Aluminium is laminated shall be permitted.

(3) Holes.

Not permitted.

7-7 HOT WATER CUPBOARD.

The storage are in the hot water cupboard is to be provided with 5 evenly spaced shelves using slats ex 100x25 with 12mm spacings.

7-8 WARDROBES, COAT CUPBOARD ETC.

Frame wardrobe, linen, coats, etc., as shown with linings and doors as previously specified. Fix a 19mm galvanised pipe at 1500mm from the floor. Install a 300x25 hat shelf at 1725mm from floor.

7-9 FITTINGS.

Provide all fittings shown, true to level, plumb and square

Shelves shall be ex 150x12 with full cross support at intervals of not greater than 900mm. Doors shall be framed ex 50x25 lined with 3mm hardboard both sides.

Drawers shall be built in with fronts of ex 150x25 heart rimu and sides of 125x12 timber dove-tailed to fronts. Backs and bottoms to be ex 3mm hardboard glued and blocked to sides and front.

Kitchen Units	Carcasses	<u>TMR</u>	Doors.	<u>RYMU</u>
	Drawer Fronts.	<u>RYMU</u>		
	Drawer Handles.	<u>RECESSED</u>		
	Door Handles.	<u>C.P. MOORE</u>		
	Door Hinges.	<u>STEEL BUTTS</u>		
	Door Catches	<u>MAGNETIC</u>		
<u>Sink Bench.</u>	Type	<u>FORMICA</u>	Colour	<u>MAGNOLIA</u>
	Size	<u>1800</u>	No of Bowls	<u>1</u>
<u>Dresser Top</u>		<u>FORMICA</u>	Colour	<u>MAGNOLIA</u>
<u>Vanity Unit.</u>	Top	<u>FORMICA</u>	Colour	<u>POPPY</u>
	Basin	<u>PLIX OVAL WB 17</u>	Colour.	<u>WHITE</u>
<u>Laundry Tub.</u>	No:	<u>128 ON CABINET</u>	Type.	<u>STAINLESS STEEL</u>
<u>Shaving Cabinet</u>		<u>N.A.</u>		

Special Joinery Requirements.

CONSTRUCT BAR UNIT LEFT HAND SIDE OF STOVE EX 75 x 50

CONSTRUCT TOP CUPBOARD UNIT AS PER PLAN.

8A ROOFER.

DECRO CHIP TILES.

8A-1 GENERAL.

Roof construction to be as shown on the plans; all roofing materials to be supplied and fixed by approved roofing contractor.

Make rod for tile module and fix 50x38 roof battens with 75 nails. Each tile is to be fixed with three 38mm long galvanised flat head nails, position one at each end and one in the centre. All rafters should be cut to a modular length of tile.

Ridge board to be Ex 25mm timber fixed 87mm above rafters to allow fixing for ridge caps.

All tiles are to be cut and folded into valleys to manufacturers specification.

8A-2 RIDGE CAP

Vertical upstand of tiles to be fixed to ridge board and capped with ridge cap. Straighten ridge cap under line and nail at approximately 600mm centres.

8A-3 BARGE ROLLS.

All tiles to be finished against fascia boards by means of standard production barge mould. Joins to have 300 lap. Fixing to be approximately at 600 intervals. Fold lead edge of barge mould into contour of tiles.

8A-4 CLEANING UP.

The manufacturers supply a tar and chips for the touching up of any damaged tiles or dislodged chip during the course of erection. If this is not completed to the contractors satisfaction he will deem the job incomplete.

8A-5 TILE SPECIFICATION.

As supplied by manufacturer.

8A-6 TILE MAKER.

HARVEYTILE

8A-7 TILE COLOUR

WANAKA

9 PLUMBER.9-1 GENERAL.

Provide all materials, labour and plant necessary to complete the work as set out below and shown on the drawings.

All work shall be left in a thoroughly sound and watertight condition or in perfect working order as the case may be.

All sanitary connections etc. shall be in accordance with the requirements of the local authorities.

The work shall be carried out by a competent tradesman possessing the qualifications as laid down in the specification 15 & 16 of NZSS 671, and in accordance with this specification, using materials consistent with sound trade practice, and in no case inferior to any requirements of Section 1 and Sections 26-91 inclusive of NZSS671.

The plumber shall give all the necessary notices to the local authority and shall uplift the permit before starting work. Waterpipes and tubes shall be set out in straight runs of even gradients, avoiding all places where airlocks are likely to occur. Use easy bends and unless unavoidable, elbow fittings are not to be used. Copper tubing is to be secured in position by copper straps. All piping is to be concealed.

In the event of any piping being exposed, such piping is to be 12mm diameter chrome plate on copper pipe with chrome fittings where visible.

9-2 FLASHINGS.

Flash as necessary to render building watertight. All flashings shall be accurately fitted to work and shall be machine bent and cut in lengths as long as possible. All joints shall be well lapped and fixed with 19mm flat head galvanised nails at 450 centres.

9-3 VALLEYS.

Valleys shall be formed out of 22 gauge galvanised iron to form a 100x50 trough at intersection of angle roofs.

9-4 SPOUTINGS & DOWNPIPES.

Fit spouting and downpipes to manufacturers specifications, and/or in compliance with regulations set down by the local specifying authority. All spouting shall be fixed straight and level. Downpipes positioned where marked on plan.

9-5 VENTS AND SOIL STACK.

Vent pipes shall be 75mm diameter asbestos pipe in one length. Suitable fixings and flashing will be the responsibility of the plumber. Fix wire cage at top.

9-6 WASTES.

Join W.C. pan to drain above the level of the floor with a spun yard ring sealed with mastic or other approved material which will provide a non rigid gas tight joint. Fix basin with 31mm P.V.C. traps and waste pipes to floor level with an approved floor flange. Bath, shower, and wash tub wastes shall be 37mm diameter. P.V.C. sink wastes shall not be less than 37mm diameter. All waste pipes throughout job will be PVC piping or/as approved by local authority.

9-7 HOSE TAP

Supply and fit two brass cocks per dwelling in the position as shown on the plan.

9-8 COLD WATER SUPPLY

Lay cold water supply from supply point in $\frac{1}{2}$ " diameter pipe buried not less than 2'0". Take $\frac{1}{2}$ " copper branches to bath, basin, sink, vanity, each compartment of wash tubs, W.C. flushing cisterns and to exterior hose taps. Connect to storage tank and to H.W. cylinder with $\frac{1}{2}$ " copper pipe.

Allow for 40 ft in contract. Additional length will be charged as an extra.

9-9 HOT WATER SUPPLY

Supply and install above floor level a general purpose hot water cylinder complete with supply tank. Run a $\frac{3}{4}$ " over-flow from cylinder to outside. Supply and fit max. allowance element and thermostat to cylinder. From cylinder connect in $\frac{1}{2}$ " to laundry tub, shower, bath, sink bench. Run pipes in copper as for cold water and wrap in felt.

9-10 SANITARY FITTINGS

As shown on floor plan and schedule. Fix Dux PVC white cistern. W.C. pan shall be white glazed earthenware fitted with PVC seat, type CAPRI.

9-11 FIXING

The sinktop, tub, and all vanity units will be supplied by the joiner and the plumber is responsible for fixing only.

9-12 THE FOLLOWING ITEMS ARE INCLUDED IN THE CONTRACT

<u>Sink Top</u>	Type CONNECT ONLY	Colour N.A.
	No of Bowls	Bowl Type STAINLESS STEEL
	Faucet N.A.	Taps KOWHAI
<u>Hot Water Cylinder</u>	Type 40 GALLON (180 litre)	
	Undersink Heater	N.A.
<u>W.C.</u>	Seat Colour WHITE	
<u>Laundry Tub</u>	Type LD8	
	Cabinet YES	
	Conversion Taps N.A.	
<u>Bath</u>	Type 1676 HARVEY	
	Colour WHITE	
	Faucet N.A.	Taps KOWHAI
<u>Hand Basin</u>	Type VANITY CONNECT ONLY	
	Size AS PLAN	
	Taps KOWHAI	
	Fixing STANDARD	

9-12 Contd.

<u>Shower</u>	Type of Base <u>OVER BATH</u>
	Size <u>N.A.</u>
	Taps or Topliss Mixer <u>TOPLISS MIXER</u>
	Height of Rose <u>1676 (Large rose)</u>
<u>Spouting</u>	Type <u>P.V.C.</u>
<u>Type of Taps and Faucets</u>	<u>KONHAY</u>
<u>No of Hose Taps</u>	<u>3 AS PER PLAN</u>
<u>Water Supply</u>	Type <u>TOWN SUPPLY</u>

Special Plumbing Requirements:

BUILD IN ALL PLUMBING AND DRAINAGE REQUIREMENTS TO CONCRETE
SLAB,

NO DOWNPIPES TO SOAKHOLES.

9-13 BORE

In the event of our company undertaking the placing of a bore we are not in a position to guarantee type of water. Generally a shallow well bore is up to 3500mm deep, the standard of water depending on location. If laboratory analysis tests are required it will be charged as an extra cost to the client.

10 DRAINLAYER.10-1 PRELIMINARY.

The whole of the drainage works shall be carried out in accordance with the by-laws of the local authority, and to the satisfaction of the inspectors.

10-2 GENERAL.

Provide all fittings necessary to complete the work and lay all drains to an even and consistent fall not less than 1 in 40.

10-3 SANITARY FITTINGS.

Fit W.C. pan to sewer connections. Connect up vent pipes fixed by the plumber.

10-4 SEWER CONDITIONS.

Drains shall be laid in a straight line and to even gradients, properly cleaned out as the work proceeds. Fit 100 GEW gulley traps to take wastes and 100 bends to take soil pipe, terminal vent, etc. Gulley traps shall have concrete curbs and C.I. gratings. All work to be done to the local authority's standards.

10-5 MATERIALS.

Pipes shall be joint to the local authority requirements. Bends and gulley traps to be haunched on a 100 concrete pad. Provide minimum of 300 to cover over highest point of drains, or alternatively provide 75 concrete cover over top of drains.

10-6 SEPTIC TANK.

Build a rectangular 2700 litre septic tank in concrete to the requirements of NZSS 758 of 1951.

10-7 EFFLUENT DRAIN.

From the outlet of the Septic tank lay field tile drain to an even grade. Lay drain on a 160 bed of 75 to 37 clean shingle, discharging into soakpit filled with 4 yards of boulders.

10-8 STORMWATER DISPOSAL.

TO SOAKHOLES

10-9 SEWERAGE.

TO SEPTIC TANK

6.1 meters of drainage piping allowed for in this contract.

11-10 ELECTRICAL SPECIFICATION

The underlisted are included within this contract:-

No. of Single Points	<u>1</u>
No. of Double Points	<u>14</u>
No. of Shaving Points	<u>N.A.</u>
No. of Lights	<u>21</u>
No. of Flourescent Tubes	<u>2 (3 foot)</u>
No. of Outside Lights	
P.D.L. Fittings	<u>3</u>
No. of 2-Way Switches	<u>NIL</u>
Type of Stove	<u>OWNER TO CHOOSE</u>
HWC Undersink	<u>N.A.</u>
Electrical Heating	<u>SEE BELOW</u>

Special Electrical Requirements:

~~1 T.V. POINTS~~
~~PERMANENT WIRING TO WASHING MACHINE, DRYER, STOVE, FRIDGE~~
~~AND DISHWASHER.~~
~~PROVISION FOR WIRING OF SIX HEATERS.~~

11-11 ELECTRIC COOKER

The electric cooker is included as a P.C. Item and is supplied, installed and maintained by the electrician under guarantee.

A P.C. Sum of~~\$250.00~~..... is allowed for this item.

11-12 LIGHT FITTINGS

Light fittings are not included in our contract price. The contract allows for a white plastic shade and bulb to all lamp holders. If the client wishes to have the electrician connect their fittings, negotiations must be made with the contractor at an early stage. Payment for the same will be made separate and not as part of the contract.

11-13 HOT WATER CYLINDER

Wire to 30 Gallon water heater and supply 1500 watt element and thermostat.

11-14 In certain areas within the Horowhenua County Council an electrical connection terminal must be used. This allows the electrician to complete the wiring of the house to the terminal box and the Horowhenua Electric Power Board to connect from the terminal box to the mains at their convenience. Where this method of connection is used an additional cost of \$25.00 above the quoted figure will be passed on to the client.

12. PAINTING

12-1 EXTENT OF WORK

The work as specified to be finished in the particular material or manner, and shall mean the provision of all preparatory work necessary to ensure proper finish, whether expressly mentioned or not. Leave everything clean at completion, with all debris and paint spots removed. Clean all glass.

12-2 RELATION TO OTHER TRADES

Inspect the work of other trades upon which material is to be applied and report any defect to the general contractor. Work shall not proceed until a satisfactory surface has been obtained. Failure to examine and report will be construed as acceptance that the preparatory work is satisfactory.

12-3 WORKMANSHIP

All work shall be done by a competent tradesman and finished to the contractors specification. All surfaces for paint shall be suitably prepared. All permanently covered surfaces shall be primed before erection. All work shall be free from brush marks.

12-4 MATERIALS

Shall be the best of their several kinds and of approved brands. All prepared paint shall be taken onto the job in the originally sealed containers and applied in strict accordance with the manufacturers instructions.

12-5 PREPARATION OF SURFACES

All Lockwood surfaces are to be prepared clean, free of blemishes, pencil marks, and any dirt occurred during construction. Any cavities in natural finished areas are to be stopped with a similarly coloured putty. In the case of painted surfaces all cavities are to be filled with an approved epoxy filler.

Any scratching or chaffing of aluminium surfaces will be rectified by the painter at the time of his involvement in the contract.

12-6 FINSIHING

Varnishing

All interior walls and ceilings to receive two coats of approved satin varnish.

All stopping to be with linseed oil putty, tinted to a dark brown shade and applied to open knots and other imperfections in the Lockwood surfaces.

Before applying the second coat of approved satin varnish all walls must be lightly sanded down with a 180 grid sand paper.

All exposed timber soffits are to be finished with 3 coats of polyurathene varnish hi-gloss, containing an anti-fungicidal agent.

We draw your attention to the special note about the rustic appearance of radiata pine as listed specifically on the cover of the specification.

12-6 Contd.

Exterior Work

All exterior finishes to natural timber are to receive one coat of Timbercryn in a specified colour at the time of building and an additional coat of Timbercryn at the time of painting.

Interior Paint Work

Prime or seal all surfaces, undercoat and enamel with approved brand ready mixed semi-gloss enamel applied as recommended by the manufacturers. Prime interior woodwork to windows, undercoat and enamel with approved brand of ready mixed semi-gloss enamel.

Stop all skirtings, scotias and finishing timbers.

12-7 THE FOLLOWING FINISHES ARE REQUIRED IN THIS CONTRACT.

Doors. Stained or Varnished	<u>STAINED</u>
Kitchen Cupboards	
Stained or Painted	<u>TO BE DISCUSSED WITH OWNER.</u>
Skirtings	<u>STAINED</u>
Scotias	<u>STAINED</u>
Decks & Railings	<u>N.A.</u>
Spouting Boards	<u>STAINED</u>
Barge Boards	<u>STAINED</u>
Special Paint Requirements:	

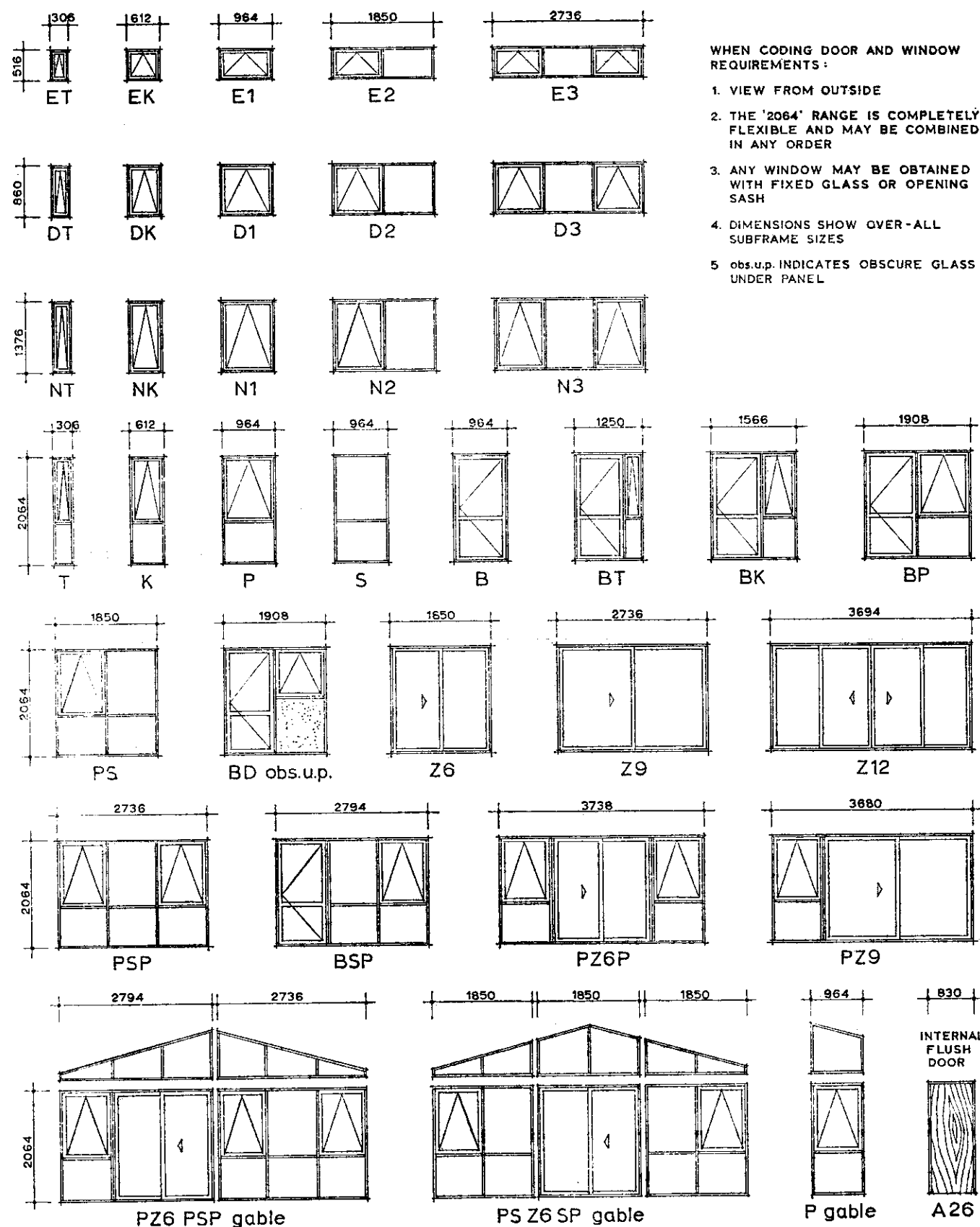
ALL PAINTING AND VARNISHING REQUIREMENTS TO BE DISCUSSED WITH OWNER.

Timber Floors

The finish on timber floors is not included in this contract and unless specified by the owner has not been quoted for.

NOTE: PAINTING OF ROOF IS NOT INCLUDED IN THIS CONTRACT.

KEY TO CURRENT OVERALL SIZES OF LOCKWOOD ALUMINIUM JOINERY



In general, the quality of material and standard of finish for Lockwood components will be within the limits of this specification, and description per current Lockwood "Technical Data" brochure. Lockwood Buildings Ltd., as manufacturers, do not deal directly with the public, but distribute to appointed Lockwood contractors on a vendor to purchaser basis. Lockwood Buildings Ltd.'s area of responsibility for structural soundness and performance is limited to the Lockwood components incorporated in the building. Because of the effects of changes in atmospheric conditions and the very nature of timber some contraction in Lockwood planks may occur after erection. Such movement is not detrimental to structural soundness.

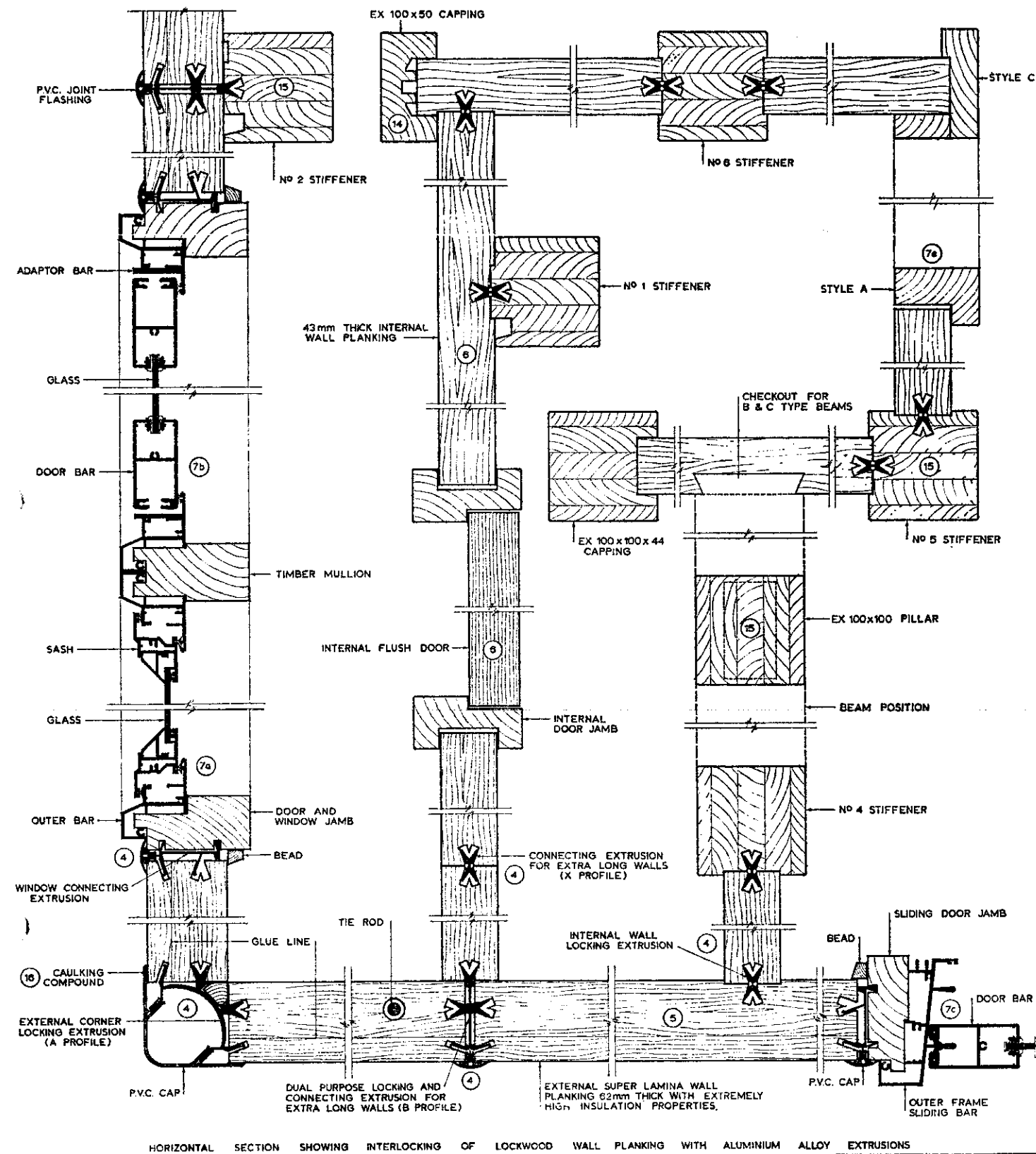
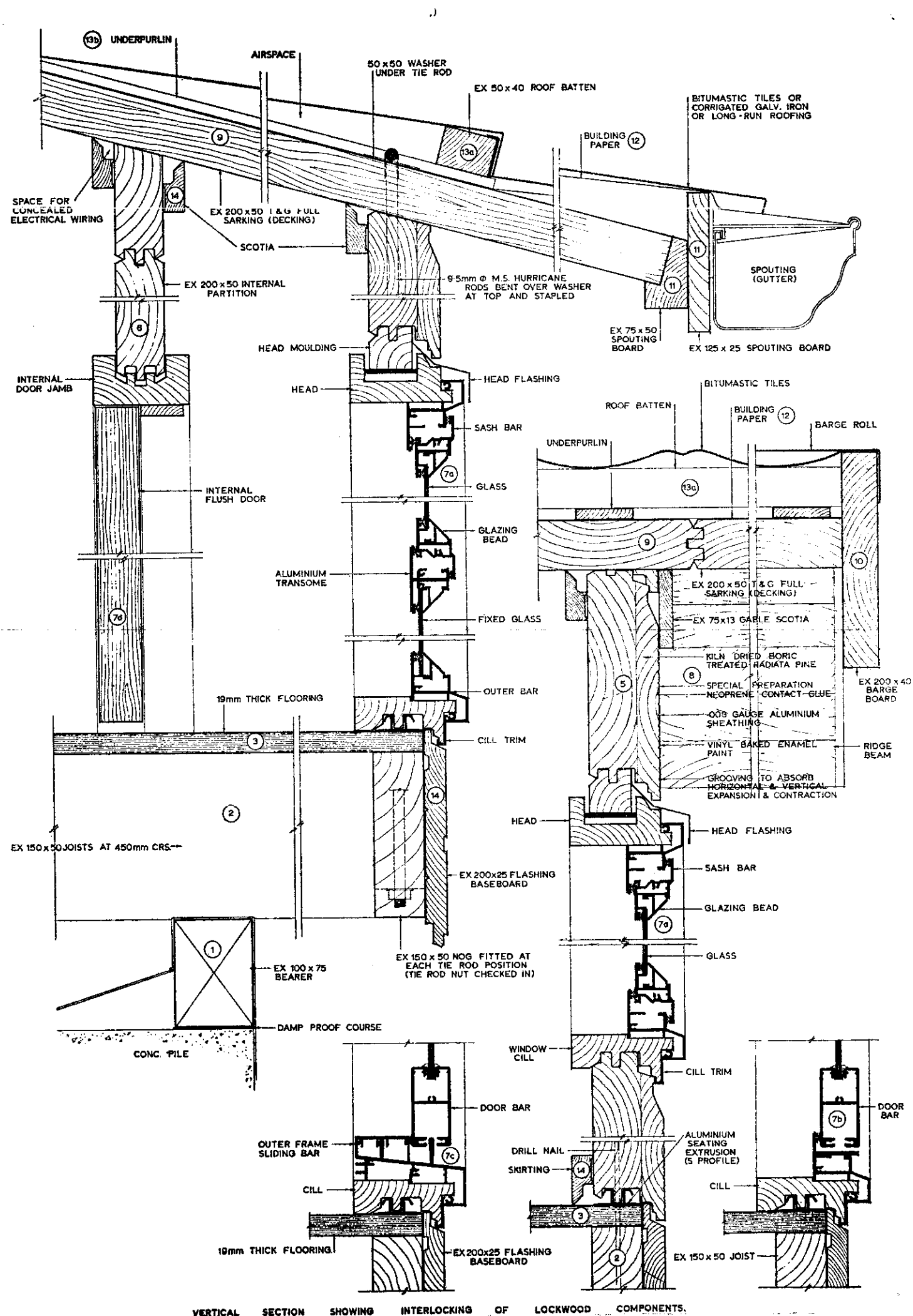
LOCKWOOD BUILDINGS LTD., P.O. BOX 1349, ROTORUA, NEW ZEALAND. PHONE 85-184.

LOCKWOOD STANDARD SPECIFICATION

For Lockwood Components 1-16

- BEARERS:** Ex 100mm × 75mm BORIC treated Radiata Pine (No. 1 framing grade).
- FLOOR JOISTS:** Gauged ex 150mm × 50mm BORIC treated Radiata Pine (No. 1 framing grade).
- FLOORING:** Particle board of high density 19mm thick: BORIC treated Rimu or Tawa ex 75mm × 25mm or 100mm × 25mm depending on availability, finger jointed at random in random lengths.
- ALUMINIUM ALLOY INTERLOCKING EXTRUSIONS** (refer to diagram), with white P.V.C. exterior flashing and finishing extrusions or hollow extruded aluminium extrusions.
- EXTERIOR WALL PLANKS:**
 - SUPERLAMINA ALUMINIUM SHEATHED** 62mm thick constructed from two 200mm × 38mm or one 200mm × 50mm and one 200mm × 25mm Lockwood grade, BORIC treated, kiln dried, Radiata Pine Boards, laminated with UREA-FORMALDEHYDE, water-resistant glue, then sheathed with aluminium with a white baked vinyl enamel finish, consistency of colour subject to manufacturing processes. The interior of the board is sealed with a water-repellent solution.
 - SUPERLAMINA UNSHEATHED ALL RADIATA PINE** 62mm thick constructed from two 200mm × 38mm or one 200mm × 50mm and one 200mm × 25mm Lockwood grade boards, Tanalith and Boric treated, kiln dried Radiata Pine, laminated with UREA-FORMALDEHYDE water-resistant glue and dipped after dressing in a water-repellent solution.
- INTERNAL WALLS:** Ex 200mm × 50mm (43mm thick) Lockwood grade Radiata Pine, Boric treated, dipped after dressing in a water-repellent solution. Where interior walls or the inside face of exterior walls are exposed to the outside, they shall be lined with an approved material such as asbestos cement.
- JOINERY:** Aluminium joinery with thermo-setting polyester resin with added Olive pigmentation coating electrostatically applied to a minimum specification of 40 microns on all visible surfaces, complete with timber sub-frame of ex 100mm × 50mm finger jointed TANALITH treated, kiln dried, Radiata Pine, weather primed.
 - Aluminium awning hung sashes glazed with a vinyl glazing strip.
 - Exterior outward hanging doors: Aluminium door and frame complete with hardware.
 - Exterior sliding doors: either panel sliding. Available with window combinations as illustrated, complete with hardware.
 - Exterior inward hanging doors: Cedar, complete with hardware pre-hung in timber sub-frame ex 150mm × 50mm TANALITH treated, kiln dried, Radiata Pine, weather primed.
 - Interior doors: Flush, varnish quality, ready hung in a 100mm × 50mm Boric treated, Radiata Pine, finger jointed, weather primed frame. Hardware and furniture fitted.
 - Wardrobe doors (where indicated on plan) —
Hanging: Pine framed core sheathed with hardboard hung in an ex 100mm × 50mm kiln dried Radiata Pine frame.
Sliding: Hardboard panel in a rolled steel bronze finished frame.
- ROOF SUPPORTING BEAMS:**
 - Type A: 9 laminate ex 100mm × 50mm BORIC treated finger jointed Radiata Pine. Spans up to 7.9m with lightweight roofing.
 - Type B: 6 laminate ex 100mm × 50mm BORIC treated finger jointed Radiata Pine. Spans up to 5.4m with lightweight roofing.
 - Type C: 5 laminate ex 100mm × 50mm BORIC treated finger jointed Radiata Pine. Spans up to 4.2m with lightweight roofing. All roof supporting beams BOLIDEN treated for exterior use.
- FULL ROOF SARKING (decking):** Same as internal walls (refer to No. 6) or finger jointed Douglas Fir, TANALITH treated, kiln dried, dipped after dressing in a water-repellent solution.
- BARGE BOARDS:** Ex 200mm × 40mm merchant grade TANALITH treated kiln dried Radiata Pine.
- SPOUTING BOARDS:** Ex 125mm × 25mm Rimu or Pine Tanalith treated finger jointed and 75mm × 50mm dressing grade TANALITH treated kiln dried Radiata Pine finger jointed.
- BUILDING PAPER:** On top of full roof sarking (decking).
- ROOF BATTENS:** 50mm × 40mm TANALITH or BORIC treated Radiata Pine. (random lengths).
 - UNDERPURLINS:** 50mm × 9mm Radiata or Rimu, TANALITH or BORIC treated (random lengths).
- FINISHING MATERIALS:** Scotia and skirting kiln dried Radiata Pine or O.B. Rimu finger jointed, cappings kiln dried Radiata Pine, flashing baseboards kiln dried, knot free, Tanalith treated Radiata Pine, or B type Rimu, or other approved material depending upon availability. Shelving kiln dried Radiata Pine. Wardrobe rails 19mm galvanised pipe.
- PILLARS & STIFFENERS:** 5 ex 100mm × 25mm finger jointed laminates finished 88mm × 88mm square — BOLIDEN and BORON treated Radiata Pine.
- CAULKING COMPOUNDS.**

Specification and design subject to alteration without notice.



These are benefits normally included in contract prices for "Lockwood" buildings, at no extra cost:

1. Lockwood solid wall construction;
2. Aluminium sheathing of external walls (for maximum durability);
3. Reduced construction time.
4. Insulation effectiveness to 'N' value of .25 (ceilings .22) which is equivalent to \$200 value of insulating material installed by other means in average house;
5. Internal walls of natural timber with synthetic varnish finish with expected minimum durability of 25 years and corresponding elimination of maintenance;
6. Sloping or flat ceilings with exposed beams and "spacious living" design;
7. Extra earthquake and shock-resistance of the Lockwood interlocking system;
8. Special Lockwood gable frame with glazing to ceiling height.

Use the Lockwood method for any building. The Lockwood system is ideally suited for all kinds and sizes of buildings.

Domestic: New homes (including holiday houses, farm cottages, etc.) from 200 to 900 sq. metres and over. **Commercial:** Flats, motels, offices, shops, tea-rooms, restaurants, etc. **Institutional:** Halls, school classrooms, club rooms, churches, ski lodges, etc. **Partitioning:** Non-modular for commercial use—Lockwood grade Radiata Pine, Boric treated.

PERMIT **W** N^o 2657**HOROWHENUA COUNTY COUNCIL****WAIKANAĒ COUNTY TOWN****PERMIT FOR A PLUMBER OR DRAINLAYER TO CARRY OUT PLUMBING OR DRAINAGE WORK**Mr B. Kavanagh
FieldwayWaikanae (a licensed plumber or drainlayer), is hereby authorised to carry out the work described herein, and as set forth in the plan deposited with me, on the premises owned (or occupied) byMr H. J. Connelley and situated in 43 William Street Street (or Road), Waikanae being described as Lot 13 DP 2236Description of work: Complete drainage to new dwelling

Estimated Value of work including materials:

Estimated Cost \$ 300.00Permit Fee \$ 6.00Receipt No. pl 00139Connection Fee \$ —TOTAL \$ 6.00

Such work is to be carried out in strict accordance with the Plumbing and Drainage Regulations 1959 and Horowhenua County Council By-Law No. 9, and shall be completed on or before the _____ day of _____ 19____

Date 16.12.75

County Engineer.

This permit is issued subject to:

See approved plan for drainage layout noting:-
No gully trap beneath carport.
Direct drainage line from H.C. to outside
inspection.**HOROWHENUA COUNTY COUNCIL**
WAIKANAĒ COUNTY TOWN**Notice of Completion of Work and Request for Inspection**To: The Health Inspector,
Horowhenua County Council,
LEVIN.

I HEREBY GIVE NOTICE that I have completed at premises situated at _____ Street/Road, owned by Mr _____ the plumbing/drainage works specified in Permit No. _____, issued on _____ 19____, and I do hereby request that such works should be inspected.

Dated this _____ day of _____ 19____

Plumber/Drainlayer.

Address of Plumber: _____

FOR OFFICE USE ONLY

The works above referred to in Permit No. _____

I HEREBY CERTIFY that the work has been examined and found satisfactory.

Date: _____ 19____

Inspector.

K.B.H.

PERMIT **W** N^o 2658

HOROWHENUA COUNTY COUNCIL WAIKANAE COUNTY TOWN

PERMIT FOR A PLUMBER OR DRAINLAYER TO CARRY OUT PLUMBING OR DRAINAGE WORK

Mr F. Wylieon Rangitikei RdOkaki

(a licensed plumber or drainlayer), is hereby authorised to carry out the work described herein, and as set forth in the plan deposited with me, on the premises owned (or occupied) by

Mr H. V. Gainsford and situated in 43 William Street Street (orRoad), Waikanae being described as Lot 15 DP 1236Description of work: Complete plumbing to new dwelling

Estimated Value of work including materials:

Estimated Cost \$11.00 00Permit Fee \$ 16.00Receipt No. PL00759Connection Fee \$ - - -TOTAL \$ 16.00

Such work is to be carried out in strict accordance with the Plumbing and Drainage Regulations 1959 and Horowhenua County Council By-Law No. 9, and shall be completed on or before the

day of _____ 19____

Date 16.12.75

County Engineer.

This permit is issued subject to:

See attached plans for amended drainage
& waste byput noting relocation of gully trap
from beneath carpet. Provide deep seal traps to both
• bath & toilet. Provide 300mm dia. vents through ceilings
& roofs of both W.C.s & bathroom.

HOROWHENUA COUNTY COUNCIL
WAIKANAE COUNTY TOWN

Notice of Completion of Work and Request for Inspection

 To: The Health Inspector,
 Horowhenua County Council,
 LEVIN.

I HEREBY GIVE NOTICE that I have completed at premises situated at _____

_____ Street/Road, owned by Mr _____ the plumbing/drainage

works specified in Permit No. _____, issued on _____ 19____, and I do

hereby request that such works should be inspected.

Dated this _____ day of _____ 19____

Plumber/Drainlayer.

Address of Plumber: _____

FOR OFFICE USE ONLY

The works above referred to in Permit No. _____

I HEREBY CERTIFY that the work has been examined and found satisfactory.

Date: _____ 19____

Inspector.

K.S.H.

Horowhenua County CouncilPERMIT No. W2651LOCALITY Warkworth

DATE RECEIVED : : .

DATE ISSUED 16.12.75.FEES NOT TO BE PAID UNTIL REQUESTED BY OFFICE**APPLICATION
FOR ~~PLUMBING AND~~ DRAINAGE PERMIT**OWNER'S NAME W. V. EarnshawFOR OFFICE USE ONLY

REMARKS:

See approved plan for drainage layout
noting -
No gully trap beneath carport.
Direct drainage line from WC to
outside inspection.

M. note

SCALE OF PERMIT FEES**Estimated Value of Work:**

	Not exceeding	\$100
Exceeding	\$100 but not exceeding	\$200
Exceeding	\$200 but not exceeding	\$300
Exceeding	\$300 but not exceeding	\$400
Exceeding	\$400 but not exceeding	\$600
Exceeding	\$600 but not exceeding	\$800
Exceeding	\$800 but not exceeding	\$1000
Exceeding	\$1000	

Fee Payable:

.....	\$2
.....	\$4
.....	\$6
.....	\$8
.....	\$10
.....	\$12
.....	\$14
.....	\$14
Plus \$2 for every \$200 or part thereof in excess of \$1000.	

NOTE.—In all cases where septic tanks are installed the site and position must be first approved by the
County Health Inspector.

9199

Valuation Book No. Date, 19....

Application For ~~Plumbing and~~ Drainage Permit

TO THE COUNTY HEALTH INSPECTOR,
Horowhenua County Council,
Bath Street,
Levin.

Postal Address:
Horowhenua County Council,
P.O. Box 258,
Levin.

I, the undersigned, do hereby apply for a permit to carry out DRAINAGE and PLUMBING work in accordance with the undermentioned particulars.

Description of Drainage and Plumbing Work Supply as per plan & specification & install to Local Building Inspector's Satisfaction.

Allotment. Lot: 15 D.P.: 27236 Section: - Area: -

Block: - S.D.: - Locality: Waikanae Bch.

Previous Owner { If Section has been recently transferred }

Frontage (Length) 12.98 m. (Name of Street or Road) Cnr. Williams & Jane St.

Water Supply (Description)

Estimated Value of Plumbing Work	\$	.
Estimated Value of Septic Tank	\$	150.00
Estimated Value of Drainage Work	\$	150.00
		Total \$ <u>300.00</u>

All work will be carried out in accordance with Horowhenua County Council's By-laws and the Drainage and Plumbing Regulations 1959 and Amendments.

Permit Fees \$ 6.00
(For Scale of Fees see Back Page.)

Receipt No.: P100759

Full Name and Address of Owner: W. V. Earnshaw
428 Stokes Valley Road, Lower Hutt

NOTE.—The following MUST accompany this Application:—

- Ground Plan of Building showing all drains, vents, sumps, septic tanks and sanitary fittings to be plotted on opposite page.
- Detailed drawings of septic tank — $\frac{1}{4}$ in to one foot.
- Specifications of work and materials to be used.

Plan showing drains should be drawn to scale of $\frac{1}{4}$ in to foot for large premises — in DUPLICATE

Stormwater drains should be shown (if any) in dotted lines

Signature of Applicant: [Signature]

Address: M. J. Hutt Construction Co Ltd, Box 10, Waikanae

Plumber's Name, Address, and Registered No. { If not the applicant. } Mr. B Rawleigh, Fieldway Road, Waikanae

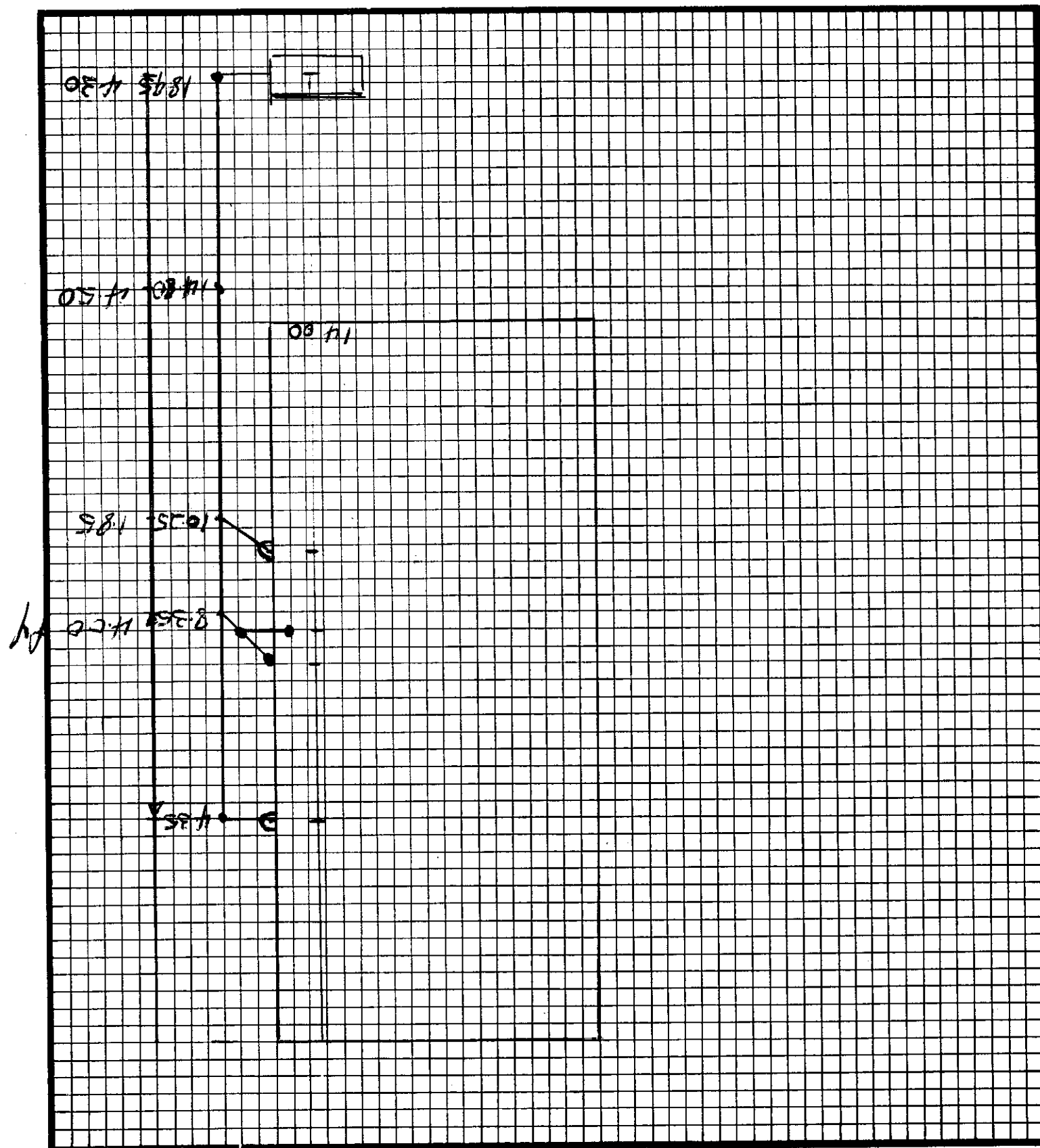
PLAN OF ALLOTMENT

Showing position of proposed buildings, Sanitary fittings, Drains, Gully traps, Inspection pipes and Ventilators, Septic tanks, Sumps, Irrigation trenches, Sewers and Stormwater drains, if any.

Boundary Lines to be shown thus: — . — . — . — . — . — .

WATER SUPPLY: Position to be shown of Well or Bore if within 100 feet.

Frontage to Road



Horowhenua County CouncilPERMIT No. W 2658LOCALITY Waikanae

DATE RECEIVED : : .

DATE ISSUED 16:10:75FEES NOT TO BE PAID UNTIL REQUESTED BY OFFICE**APPLICATION
FOR PLUMBING ~~AND DRAINAGE~~ PERMIT**OWNER'S NAME W. V. EarnshawFOR OFFICE USE ONLY

REMARKS:

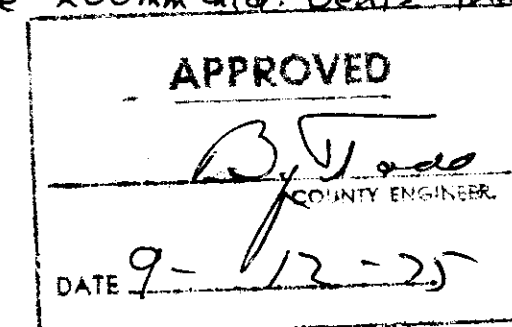
SCALE OF PERMIT FEES**Estimated Value of Work:**

	Not exceeding	\$100
Exceeding	\$100 but not exceeding	\$200
Exceeding	\$200 but not exceeding	\$300
Exceeding	\$300 but not exceeding	\$400
Exceeding	\$400 but not exceeding	\$600
Exceeding	\$600 but not exceeding	\$800
Exceeding	\$800 but not exceeding	\$1000
Exceeding	\$1000	

Fee Payable:

	\$2
	\$4
	\$6
	\$8
	\$10
	\$12
	\$14
	\$14
Plus \$2 for every \$200 or part thereof in excess of \$1000.	

See approved plans for amended drainage & waste layout noting relocation of gully trap from bathroom compartment. Provide deep seal traps to both & basin wastes. Provide 200mm dia. vents through ceilings & roofs of both W.C. & Bathroom.



NOTE.—In all cases where septic tanks are installed the site and position must be first approved by the County Health Inspector.

Valuation Book No. Date, 19....

Application For Plumbing and ~~Drainage~~ Permit

TO THE COUNTY HEALTH INSPECTOR,
Horowhenua County Council,
Bath Street,
Levin.

Postal Address:
Horowhenua County Council,
P.O. Box 258,
Levin.

I, the undersigned, do hereby apply for a permit to carry out DRAINAGE and PLUMBING work in accordance with the undermentioned particulars.

Description of ~~Drainage and~~ Plumbing Work Supply as per plan & specification & install to Local Building Inspectors Satisfaction

Allotment. Lot: 15 D.P.: 27236 Section: - Area: -
Block: - S.D.: - Locality: Waikanae Bch.

Previous Owner { If Section has been recently transferred } -

Frontage (Length) 12.98 m. (Name of Street or Road) Cnr Williams & Jane St.

Water Supply (Description) Town Supply.

Estimated Value of Plumbing Work	\$ 1100.00
Estimated Value of Septic Tank	\$.
Estimated Value of Drainage Work	\$.
Total \$1100.00	

All work will be carried out in accordance with Horowhenua County Council's By-laws and the Drainage and Plumbing Regulations 1959 and Amendments.

Permit Fees \$ 16-00
(For Scale of Fees see Back Page.)

Receipt No.: 00459 pt

Full Name and Address of Owner: M. W. V. Earnshaw
428 Stokes Valley Road, Lower Hutt.

NOTE.—The following MUST accompany this Application:—

- Ground Plan of Building showing all drains, vents, sumps, septic tanks and sanitary fittings to be plotted on opposite page.
- Detailed drawings of septic tank — $\frac{1}{4}$ in to one foot.
- Specifications of work and materials to be used.

Plan showing drains should be drawn to scale of $\frac{1}{4}$ in to foot for large premises — in DUPLICATE

Stormwater drains should be shown (if any) in dotted lines.

Signature of Applicant: [Signature]

Address: M. P. Hutt Construction Co Ltd. Box 10. Waikanae.

Plumber's Name, Address, and Registered No. { If not the applicant. } R. Wylie Plumber 97 Rangiora Road: Otaki.

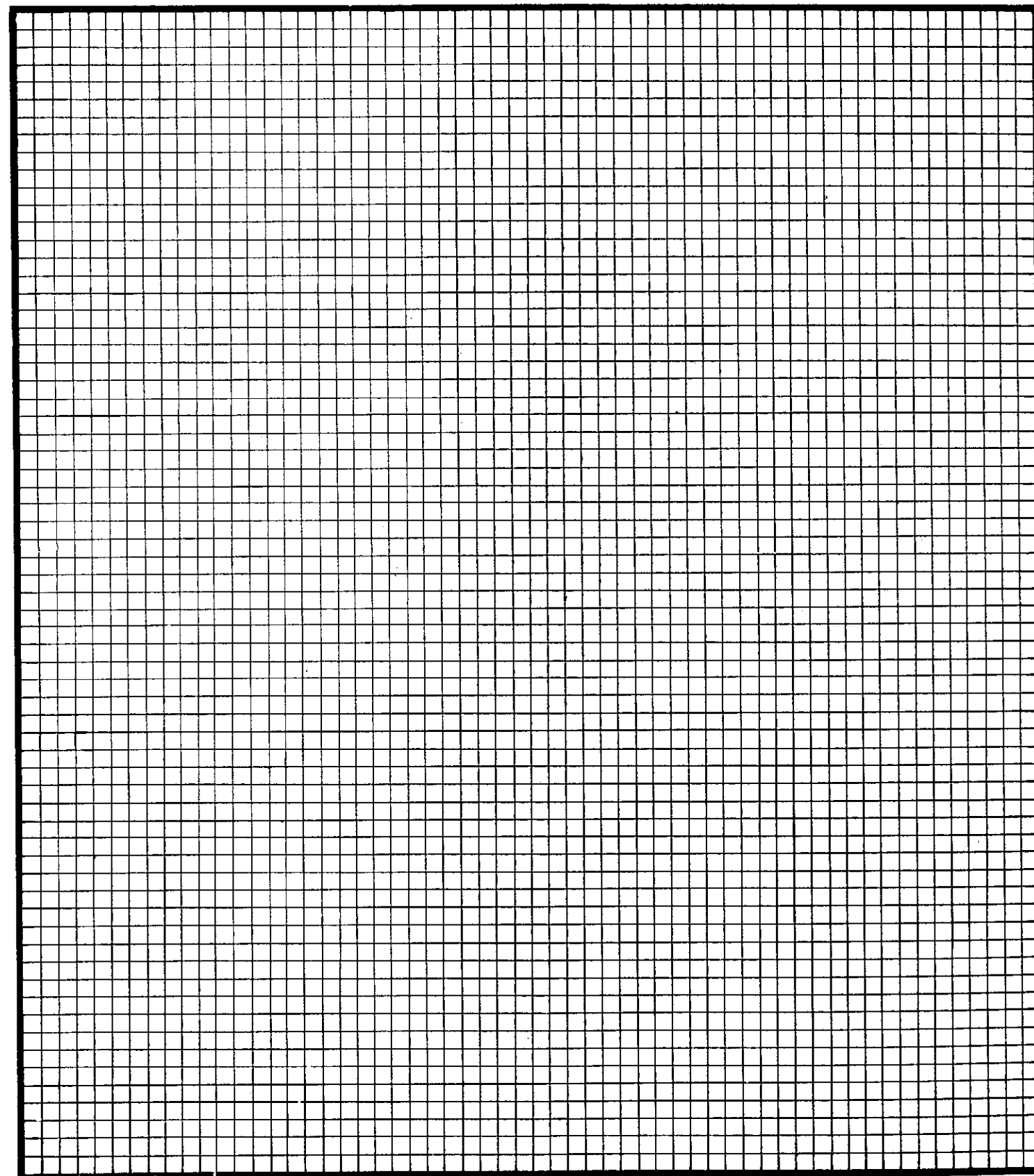
PLAN OF ALLOTMENT

Showing position of proposed buildings, Sanitary fittings, Drains, Gully traps, Inspection pipes and Ventilators, Septic tanks, Sumps, Irrigation trenches, Sewers and Stormwater drains, if any.

Boundary Lines to be shown thus: — . — . — . — . — . — .

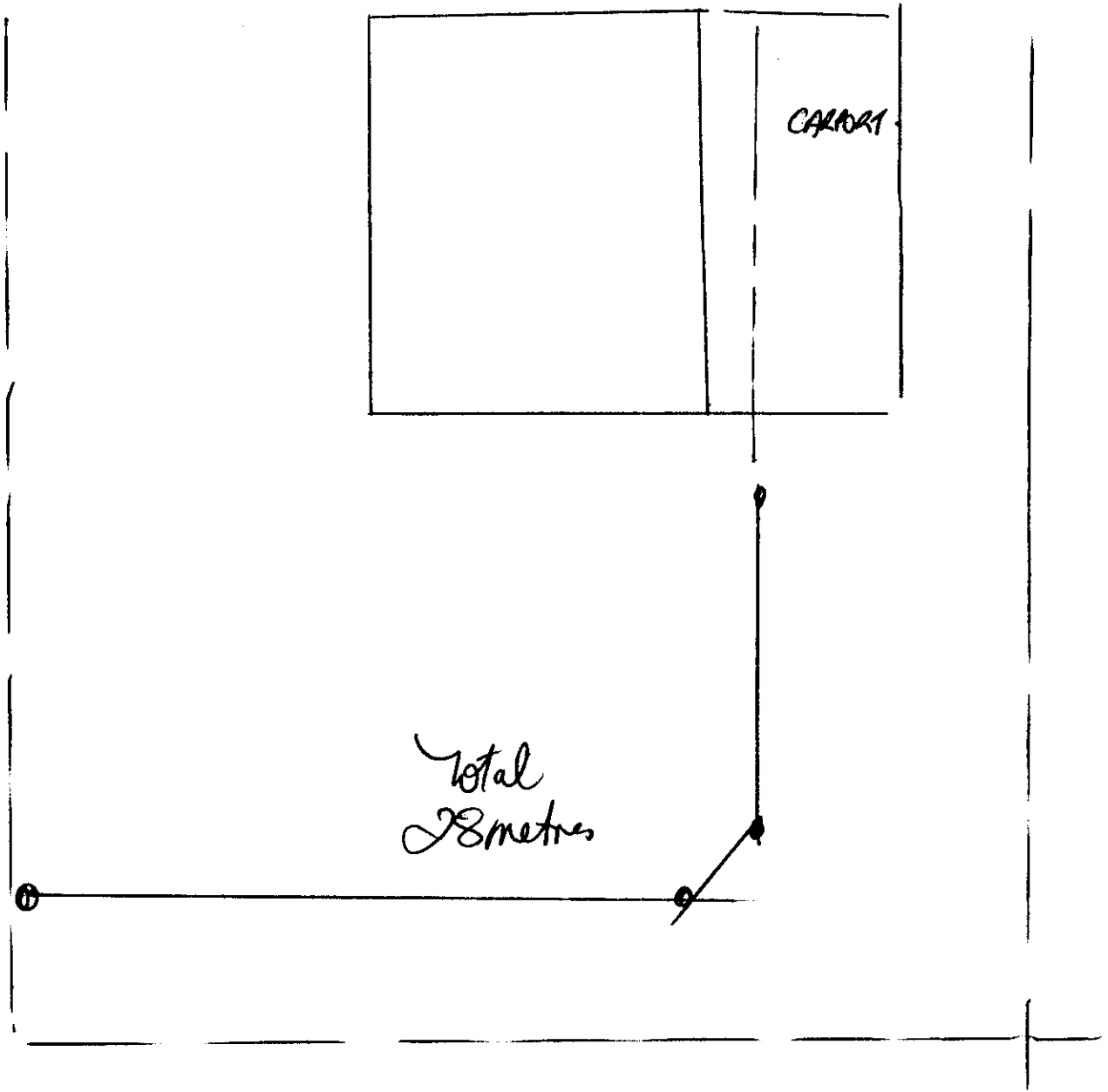
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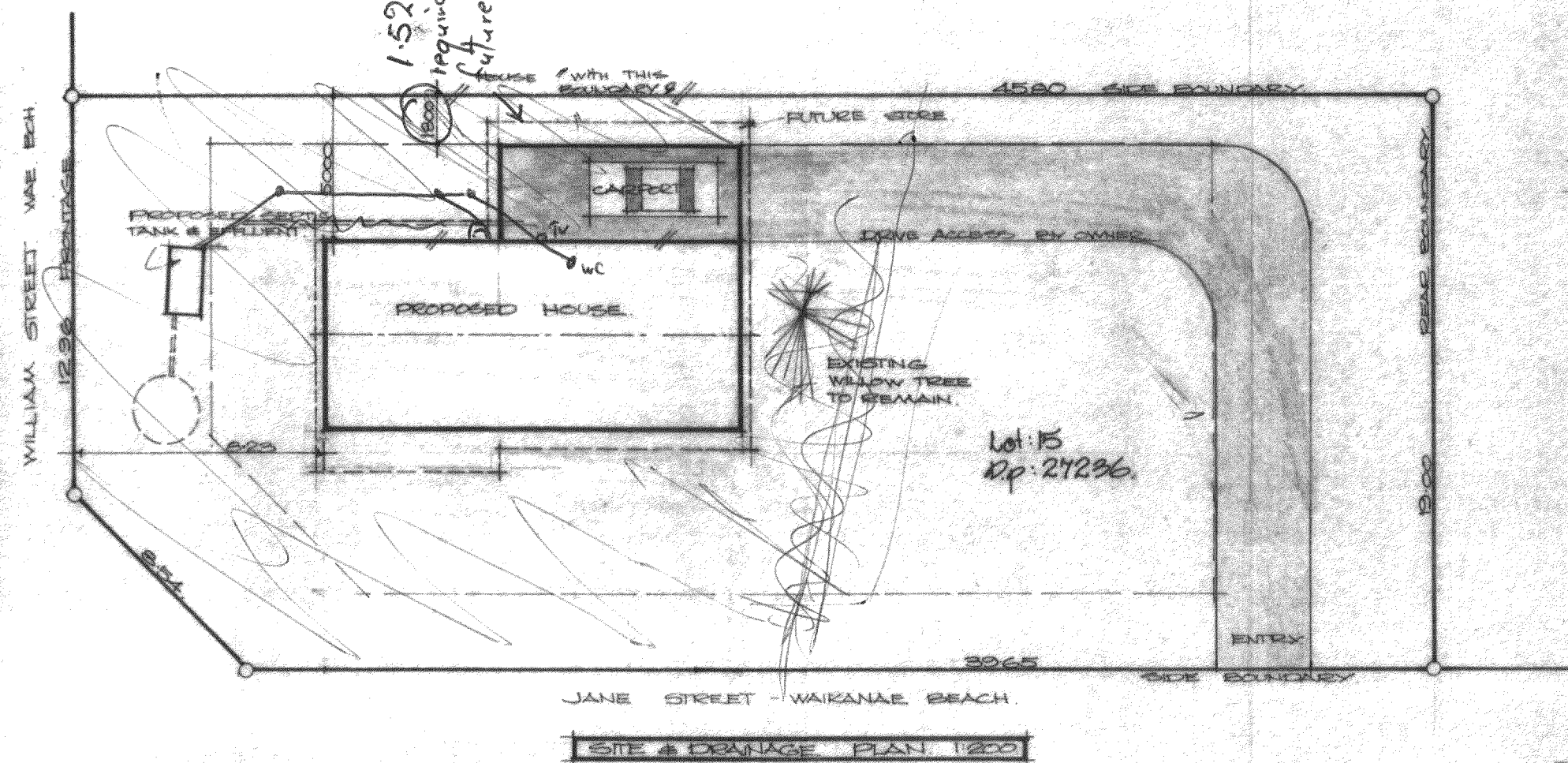
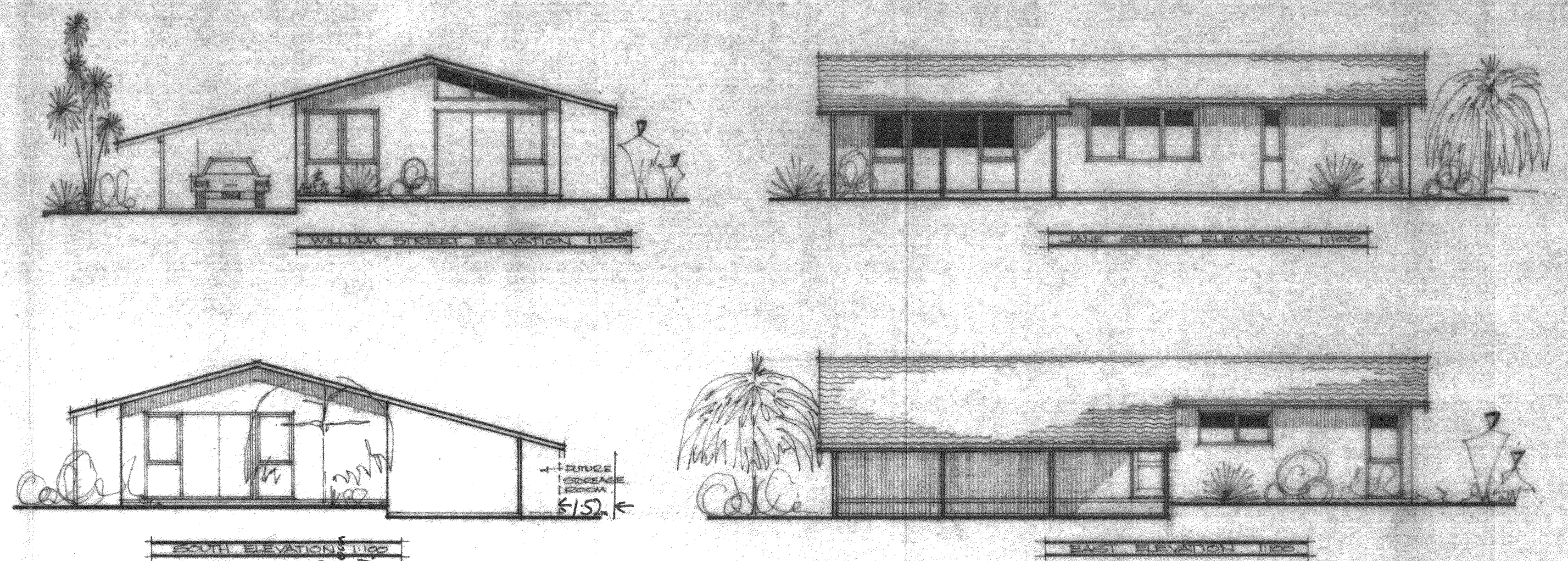
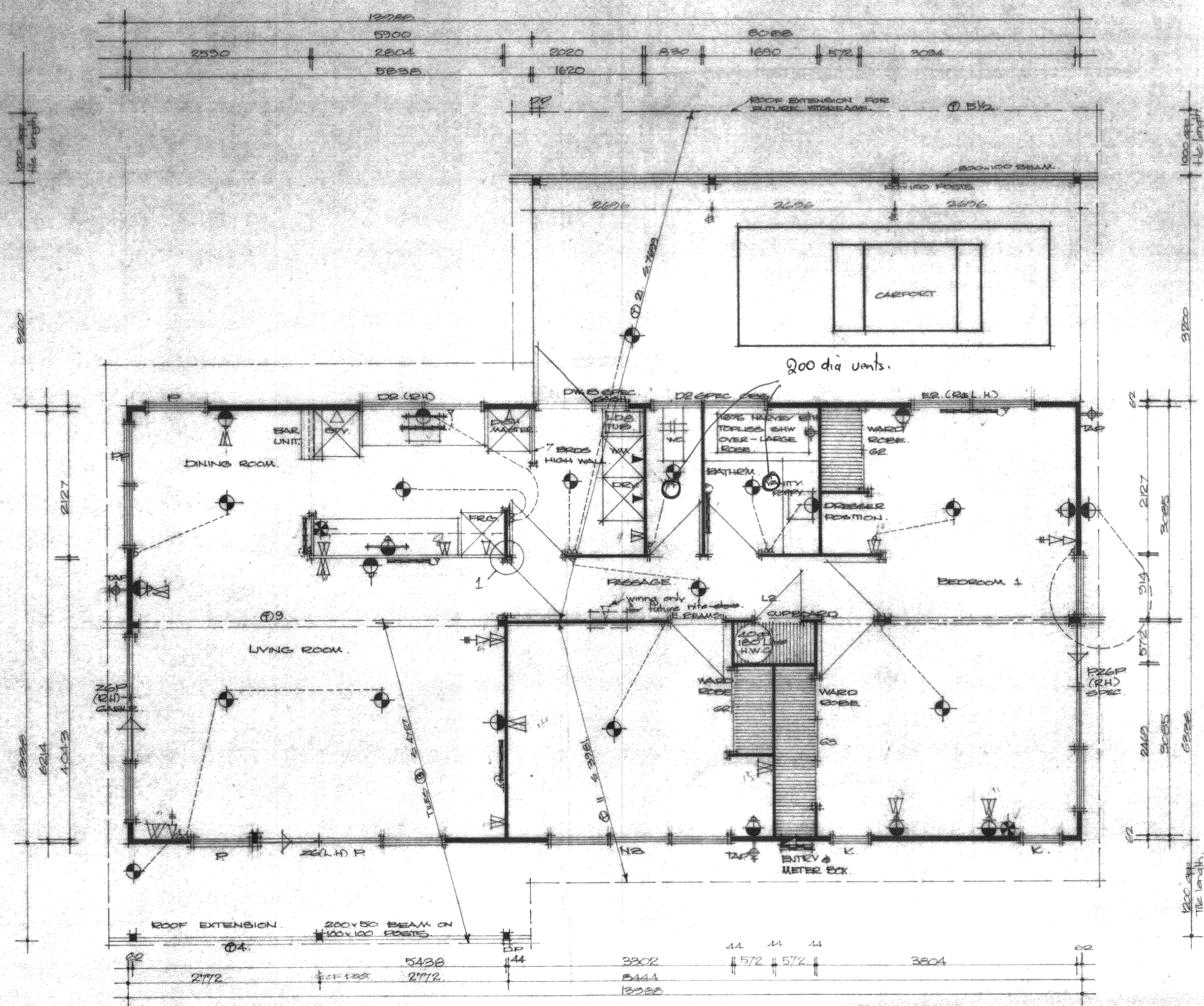
Frontage to Road



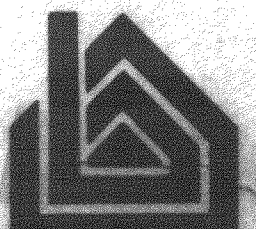
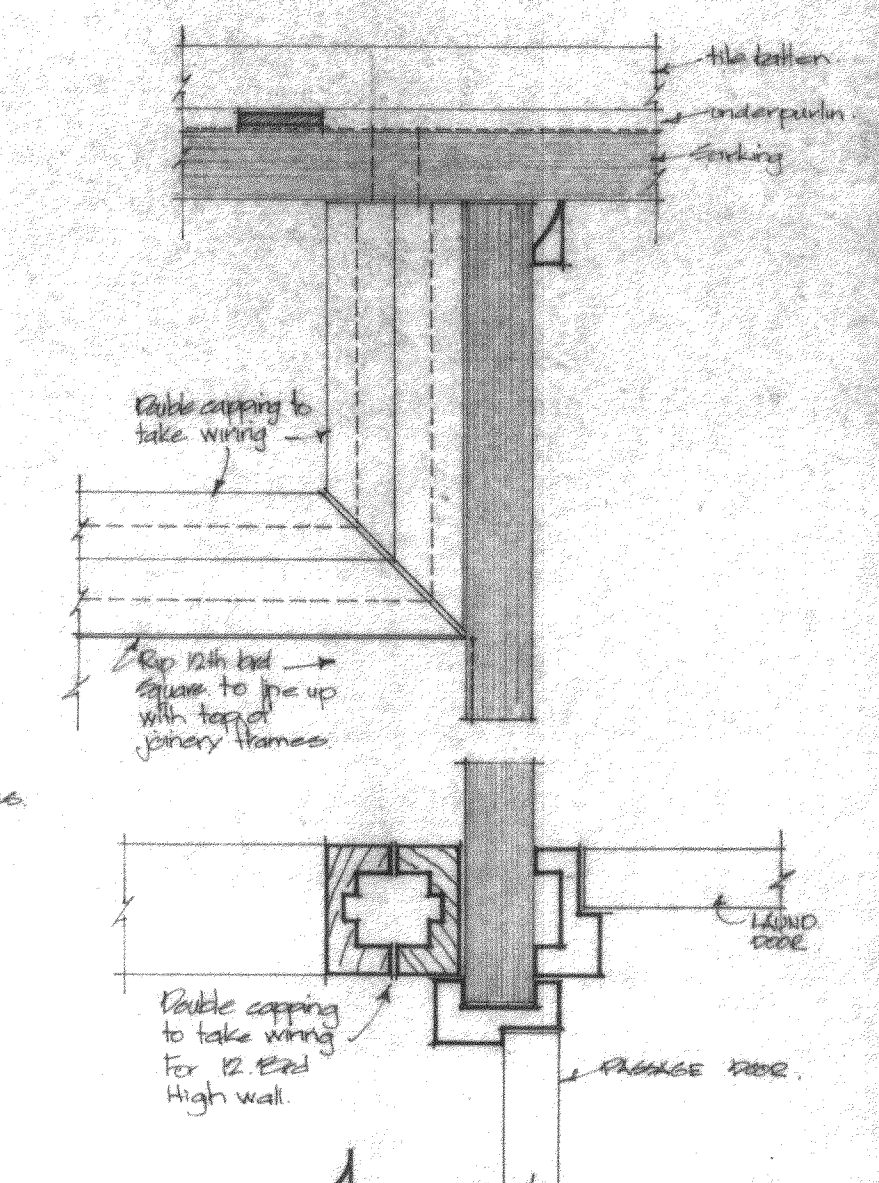
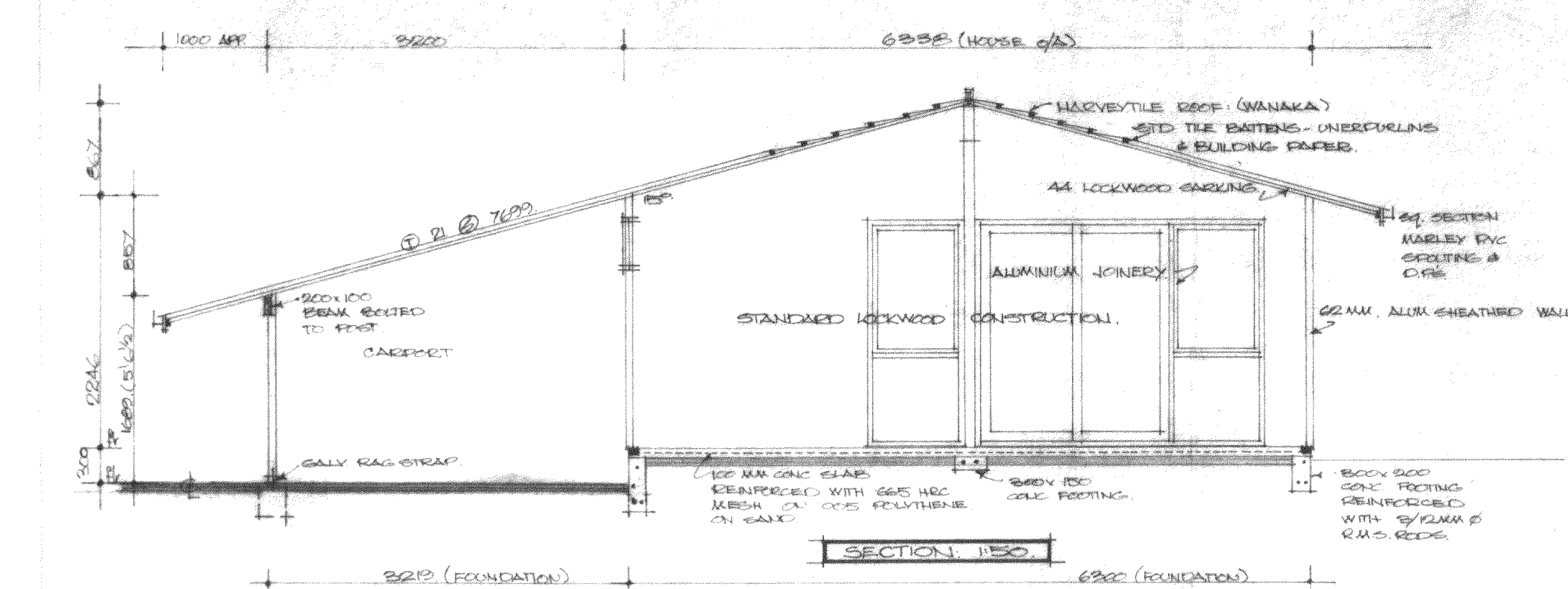
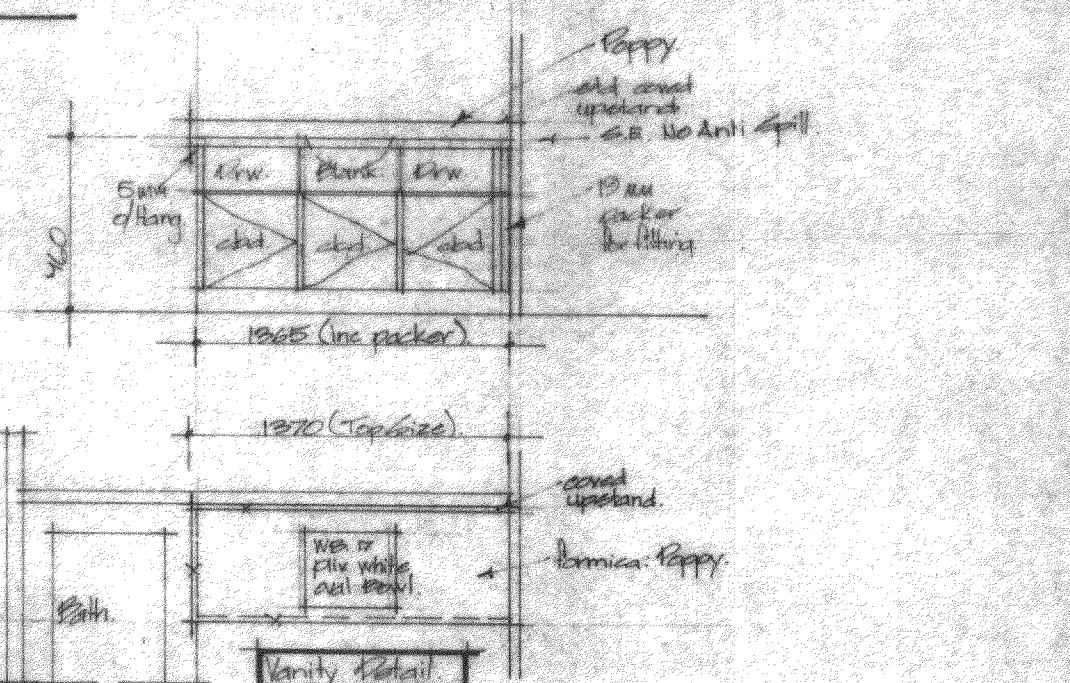
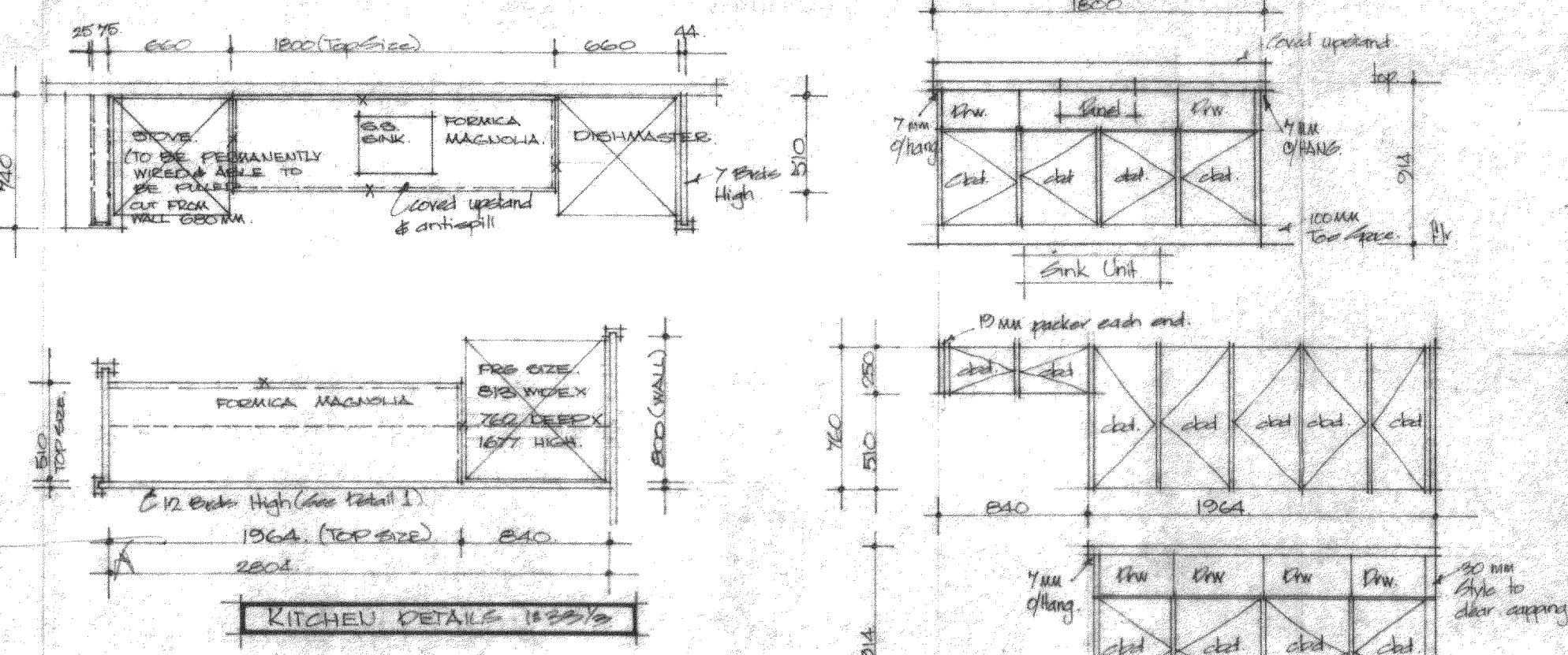
EARNSTOWN. 10 SANE STREET WAE.

SANE ST. WAE BEACH





SYMBOL	FINISH & HEATING PLAN	HARVEY TILE CHART
○	Hanging Light (Bedroom) 11	TILE COLOUR: VANAKA
●	Wall Light 10	FULL TILES: 242
□	Telephone 8	HALF TILES: 25
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◇	Provision 1	
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◇	Meter Box 1	
◇	Wall heater (Living only) 2	



HOROWHENUA COUNTY COUNCIL

WAIKANA E WATER SUPPLY

Application for Permit for Water Supply Work

TO: The County Engineer,
Horowhenua County Council,
P.O. Box 17,
LEVIN.

I, William Vincent EARNSHAW (Full name)
of 428 Stokes Valley Rd, LOWER HUTT (Postal address)

do hereby apply for permission to have the following plumbing work carried out in accordance with the undermentioned particulars and the plan attached hereto—

Description of work: Connection to the County Water Supply (in Copper)
Allotment: Lot 15 D.P. 27236 Section Pt. Ngaurua West A36A Area 33.6p
Block V S.D. Kaitawa
Street Corner of Janz & William Streets House No. 48

The licensed plumber who will carry out the said work is

MA. A.T. BREEN (Full name)
of TE MOANA ROAD, WAIKANA E (Address)

Estimated value of plumbing work

£ 6

Present source of supply, e.g., bore, roof tanks, private supply:

Signature of Applicant

W. V. Earnshaw

(Owner or Lessee)

FOR OFFICE USE

Connection Fee

£

Application No.: 661

Permit Fee

£ 2.6

Date: 14/12/66

TOTAL

£ 2.6

Valuation Roll No.: 1493/322/79

Permit No.: W540

Receipt No. 12122

Date: 20/12/66

Date Paid: 20/12/66

Work completed:

Plan noted:

Date: 141-43

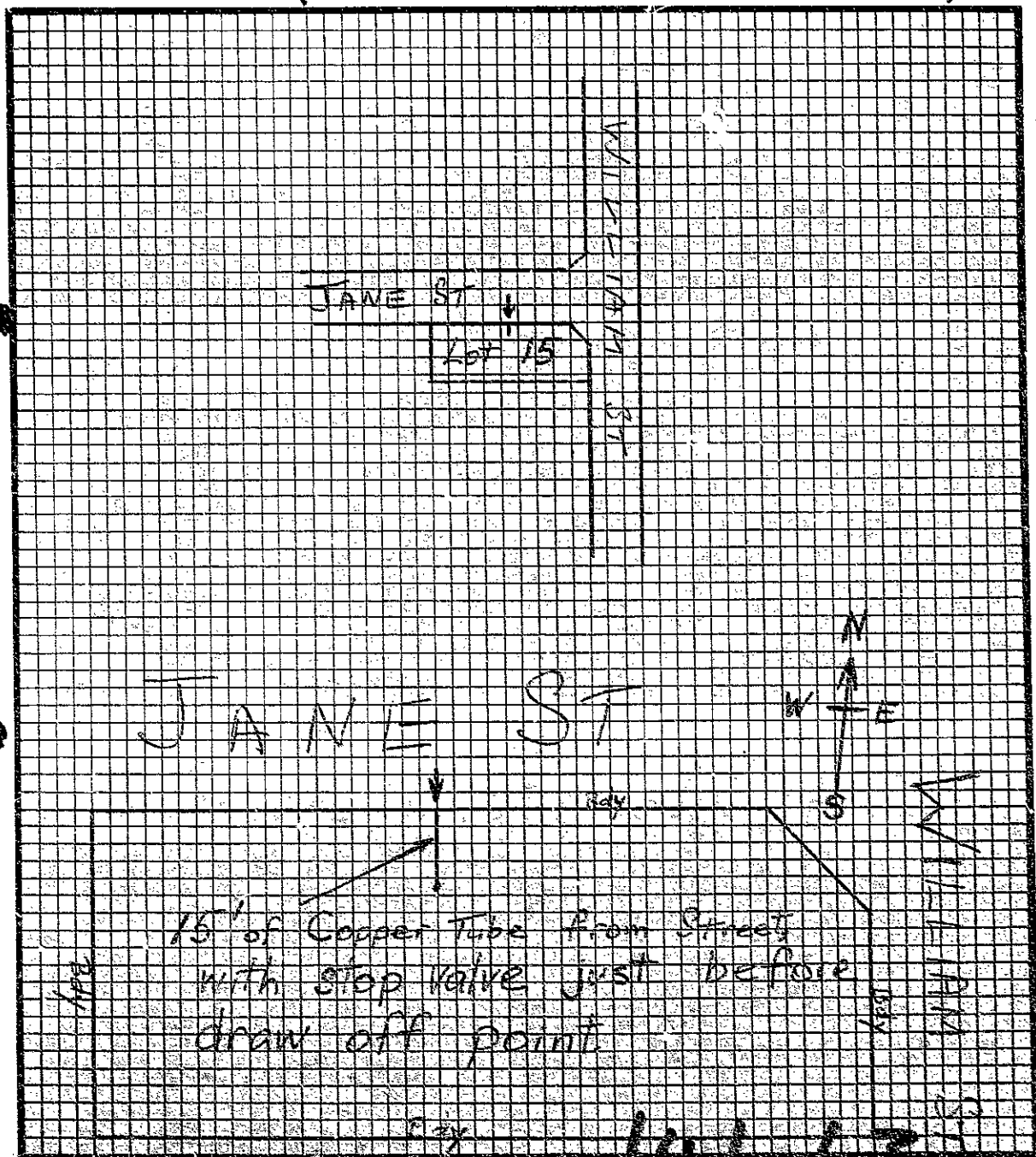
PLAN OF ALLOTMENT

Showing position of buildings and existing water supply and pipes
(Particular care to be taken to show location and distribution pipes from bores)

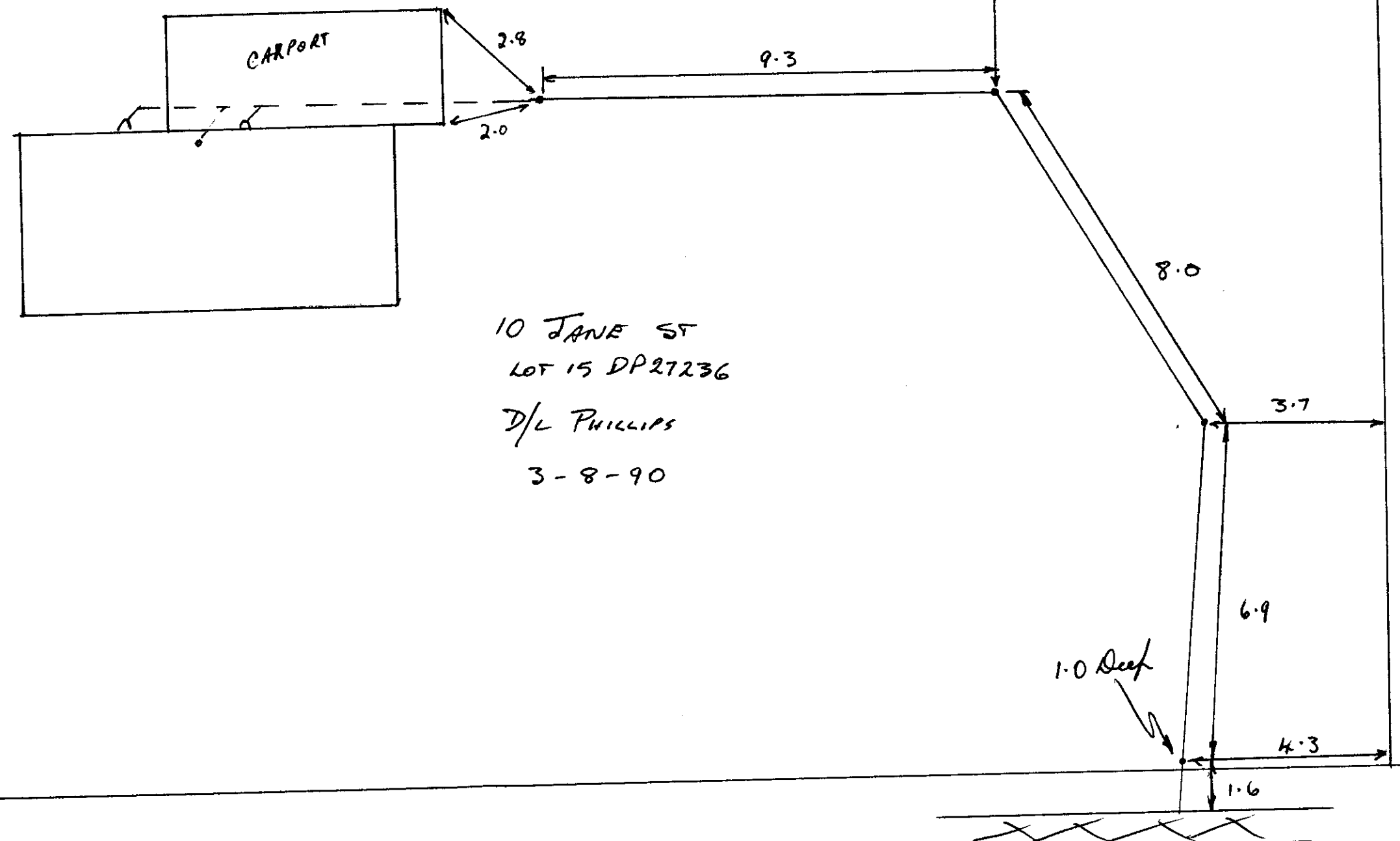
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Frontage to

JANE & WILLIAM STREETS ~~Read~~
(POSITION OF HOUSE STILL TO BE DECIDED)



141-43

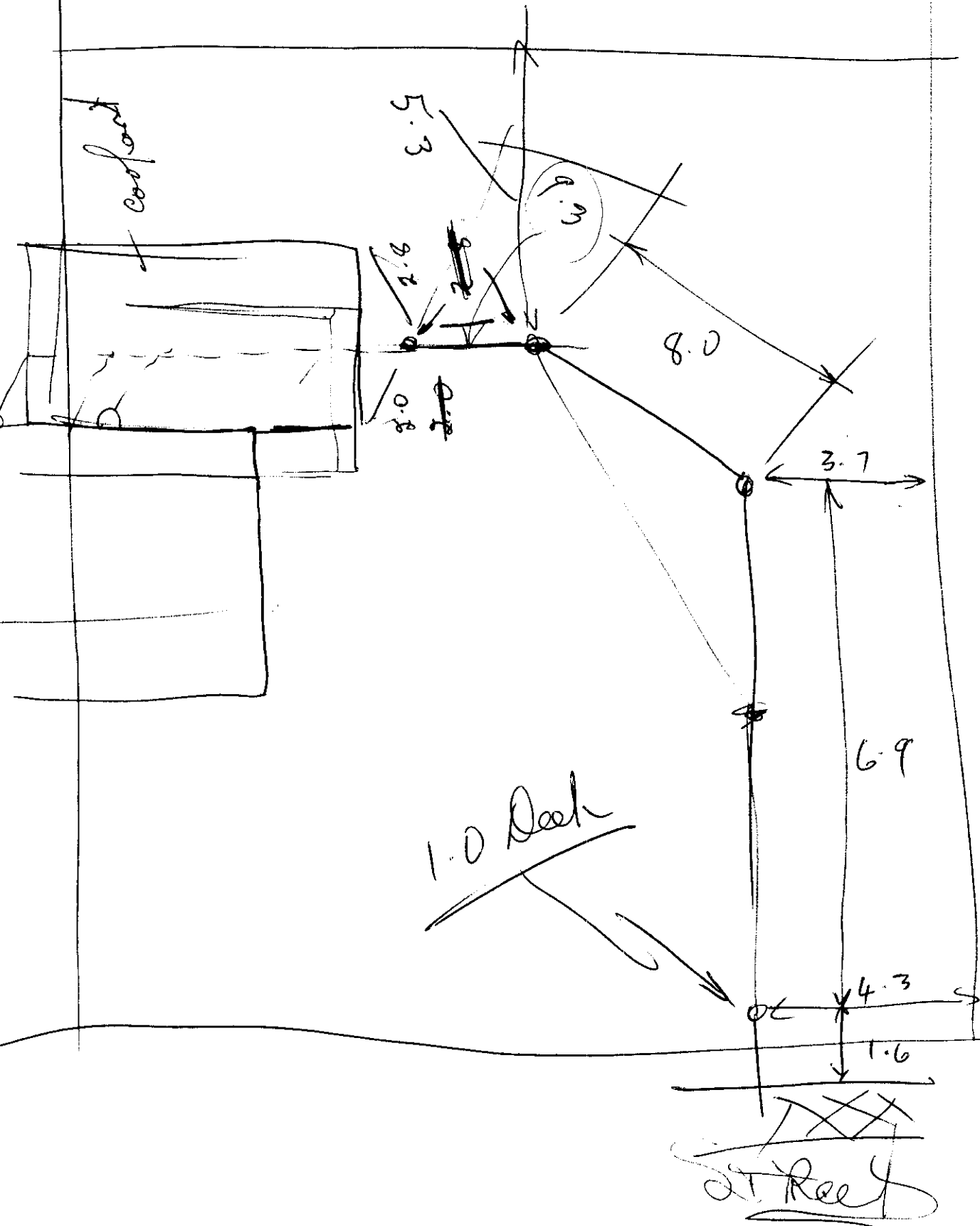


10 JANE ST
LOT 15 DP27236
D/L PHILLIPS
3-8-90

Cornshaw

10 June 87

3-8-90



Date _____, 19____

Application For ~~Plumbing and~~ Drainage Permit

TO THE COUNTY HEALTH INSPECTOR,
Horowhenua County Council,
Bath Street,
Levin.

Postal Address:
Horowhenua County Council,
P.O. Box 258,
Levin.

I, the undersigned, do hereby apply for a permit to carry out DRAINAGE and PLUMBING work in accordance with the undermentioned particulars.

Description of Drainage and ~~Plumbing~~ Work Supply as per plan & specification & install to Local Building Inspectors Satisfaction.

Allotment. Lot: 15 D.P.: 27236 Section: - Area: -

Block: . S.D.: - Locality: Waikanae Bch.

Previous Owner { If Section has been recently transferred }

Frontage (Length) 12.98 m. (Name of Street or Road) Cnr. Williams & Jane St

Water Supply (Description)

Estimated Value of Plumbing Work	.....	.....	.....	.....	\$	.
Estimated Value of Septic Tank	.....	.....	.....	.....	\$	150.00
Estimated Value of Drainage Work	.....	.....	.....	.....	\$	150.00
					Total	\$ 300.00

All work will be carried out in accordance with Horowhenua County Council's By-laws and the Drainage and Plumbing Regulations 1959 and Amendments.

Permit Fees \$ 6.00
(For Scale of Fees see Back Page.)

Receipt No.: D100759

Full Name and Address of Owner: W. V. Earnshaw.
428 Stokes Valley Road, Lower Hutt.

NOTE.—The following MUST accompany this Application:—

- (a) Ground Plan of Building showing all drains, vents, sumps, septic tanks and sanitary fittings to be plotted on opposite page.
- (b) Detailed drawings of septic tank — $\frac{1}{4}$ in to one foot.
- (c) Specifications of work and materials to be used.

Plan showing drains should be drawn to scale of $\frac{1}{8}$ in to foot for large premises — in DUPLICATE

Stormwater drains should be shown (if any) in dotted lines.

Signature of Applicant:

Address: m. J. Huff Construction Co Hq. Box 10. Waikanae

Member's Name, Address, and Registered No. { If not the applicant. } Mr. B. Rawleigh. Fieldway Road. Whikarua

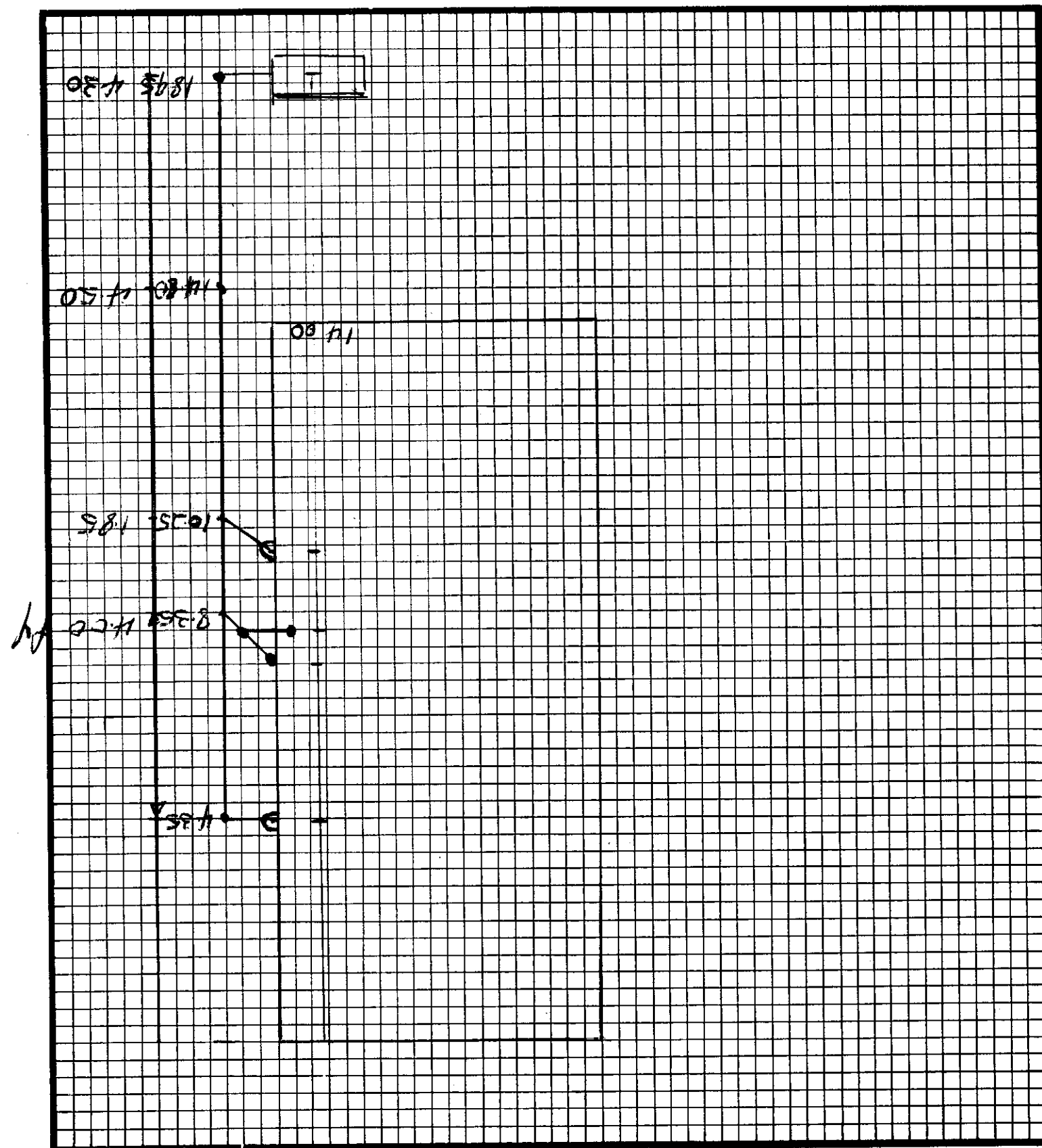
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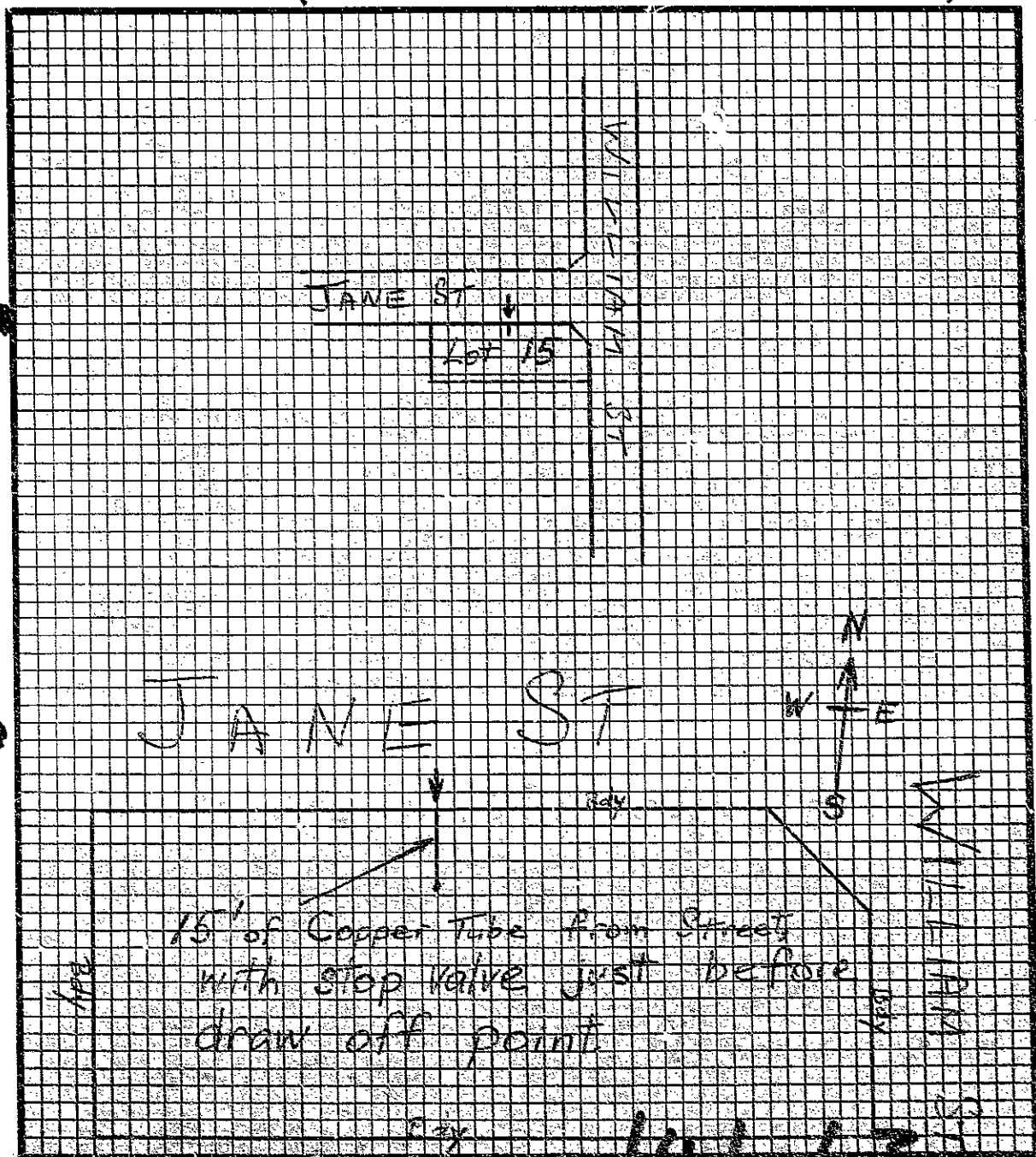
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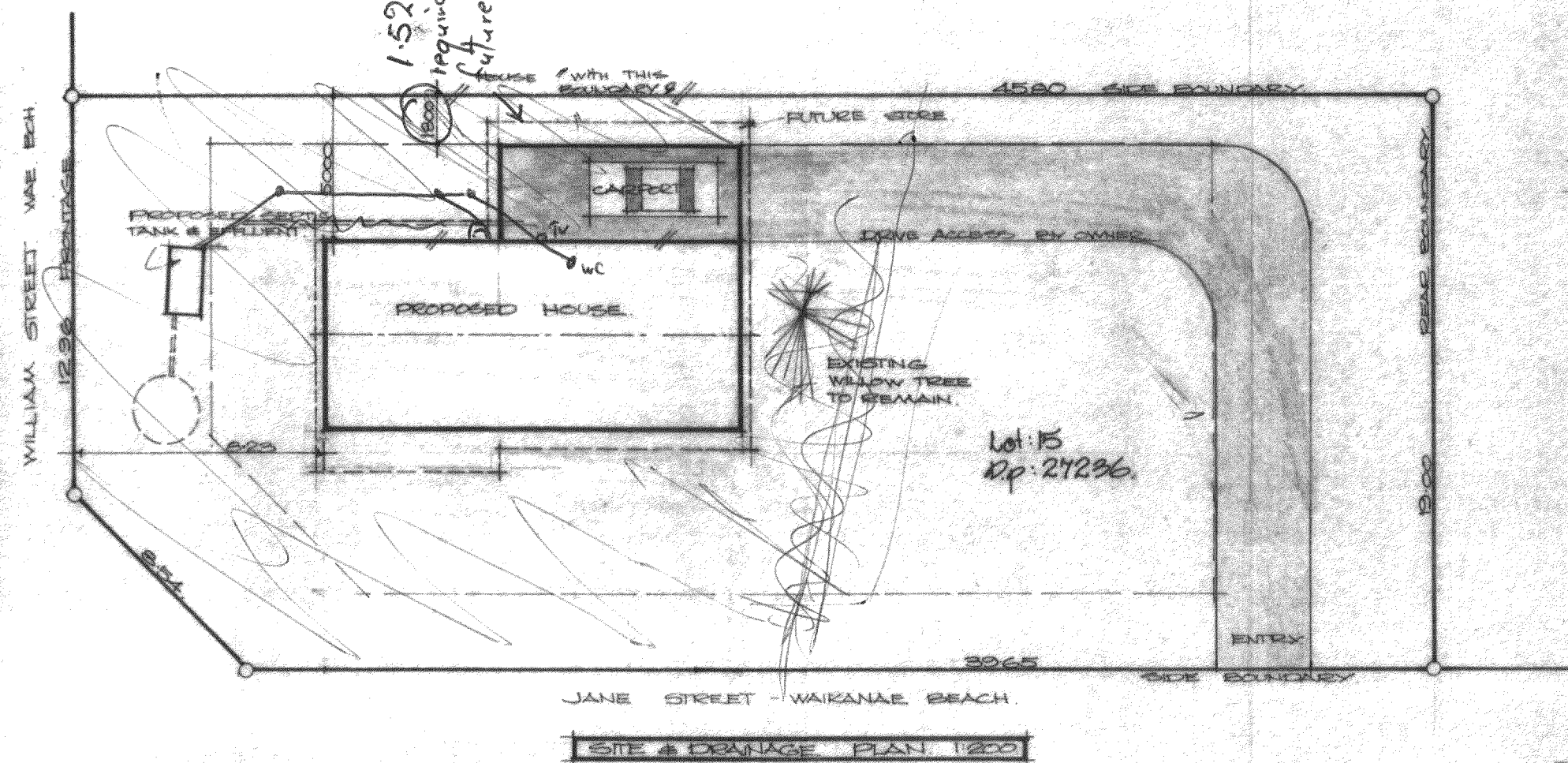
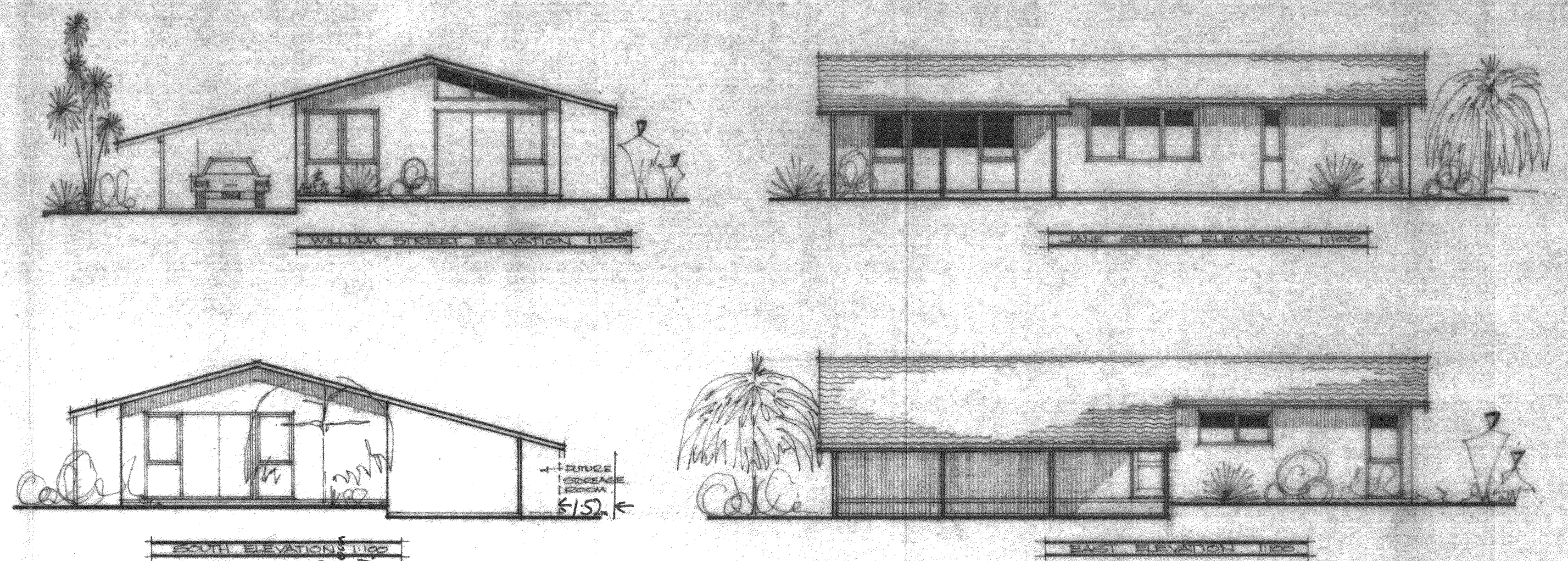
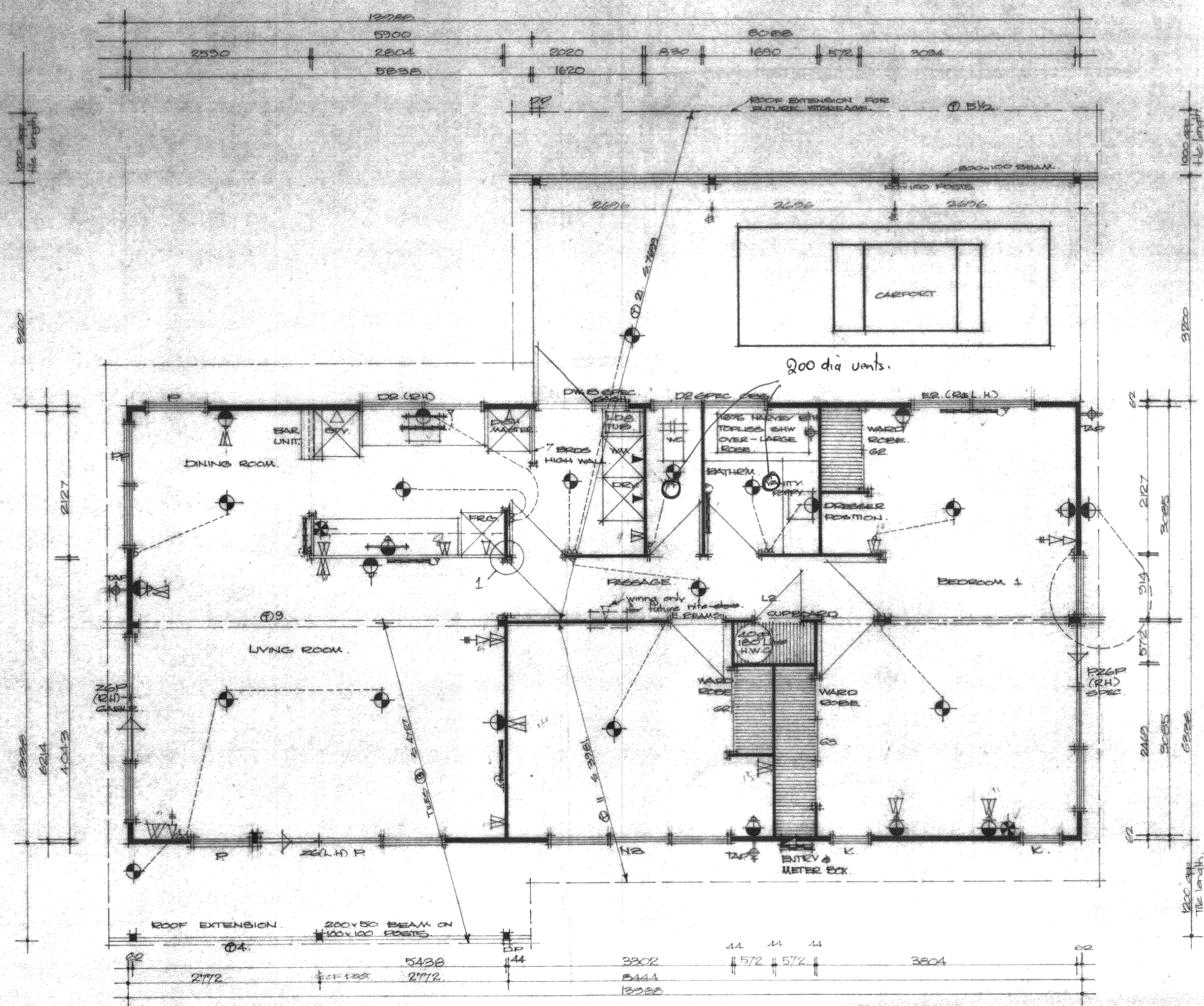
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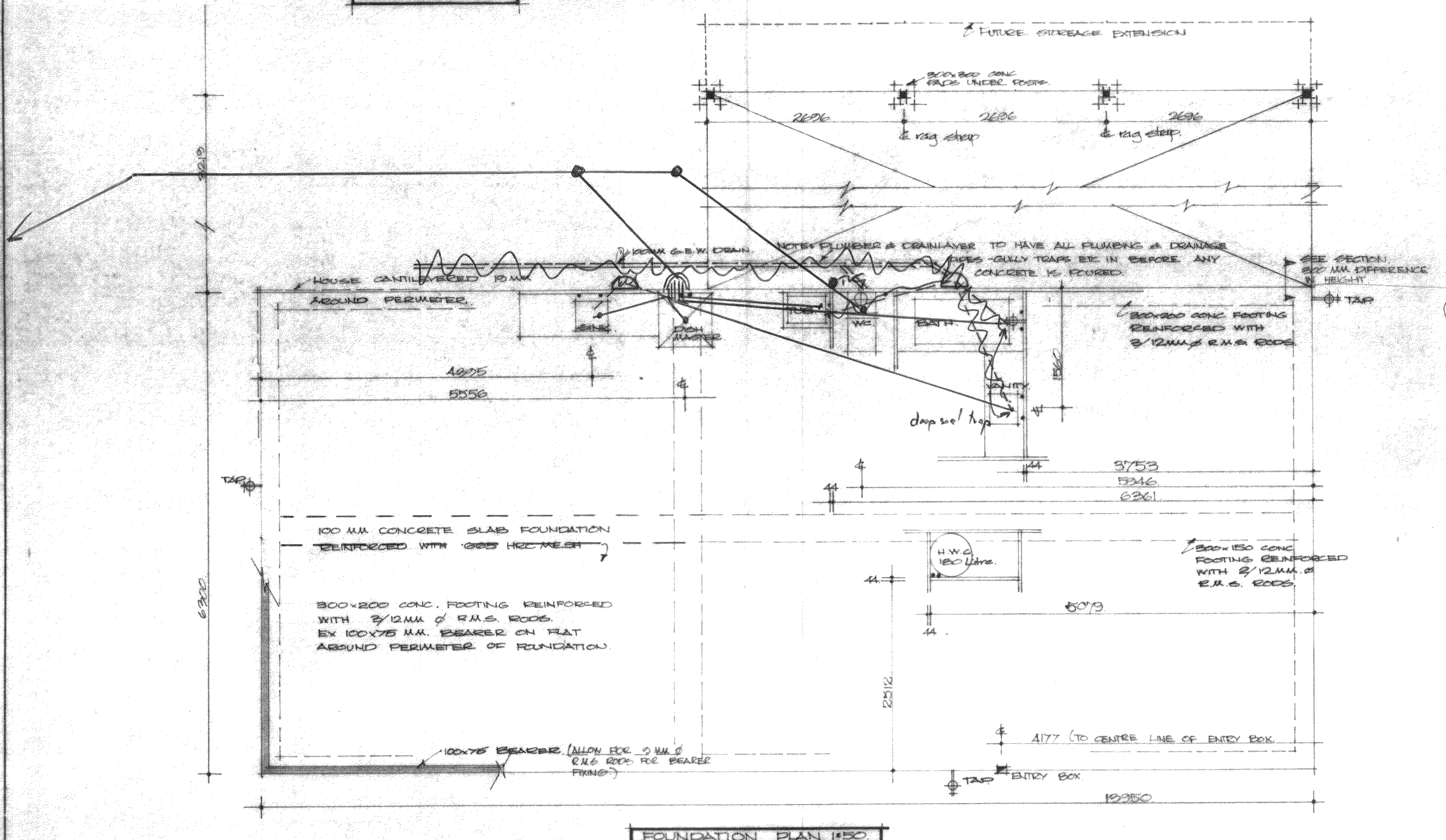
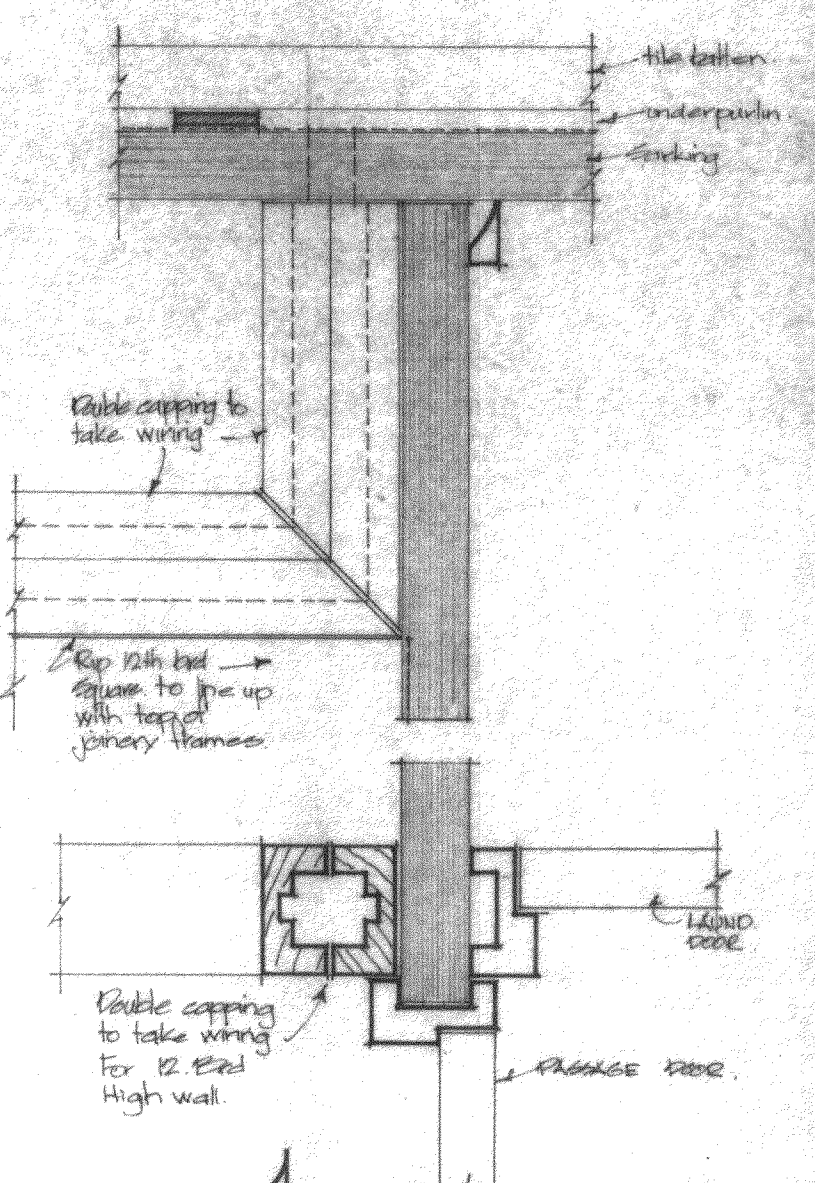
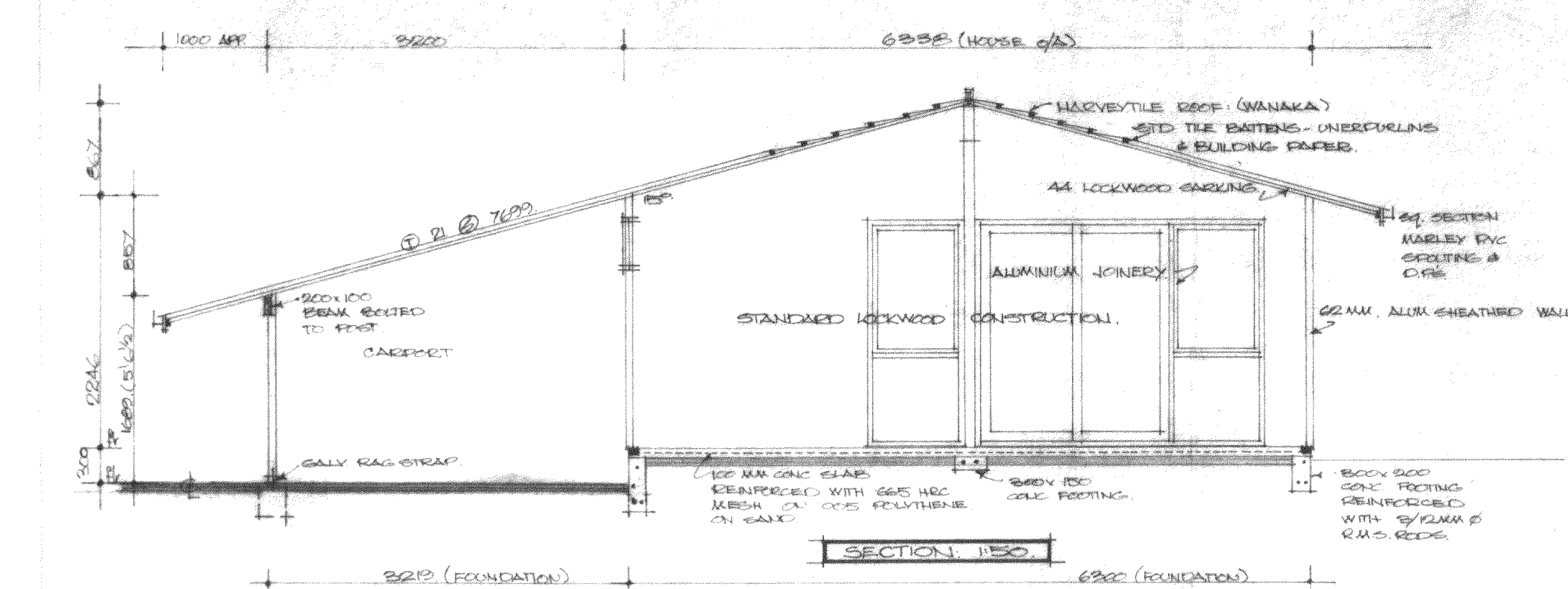
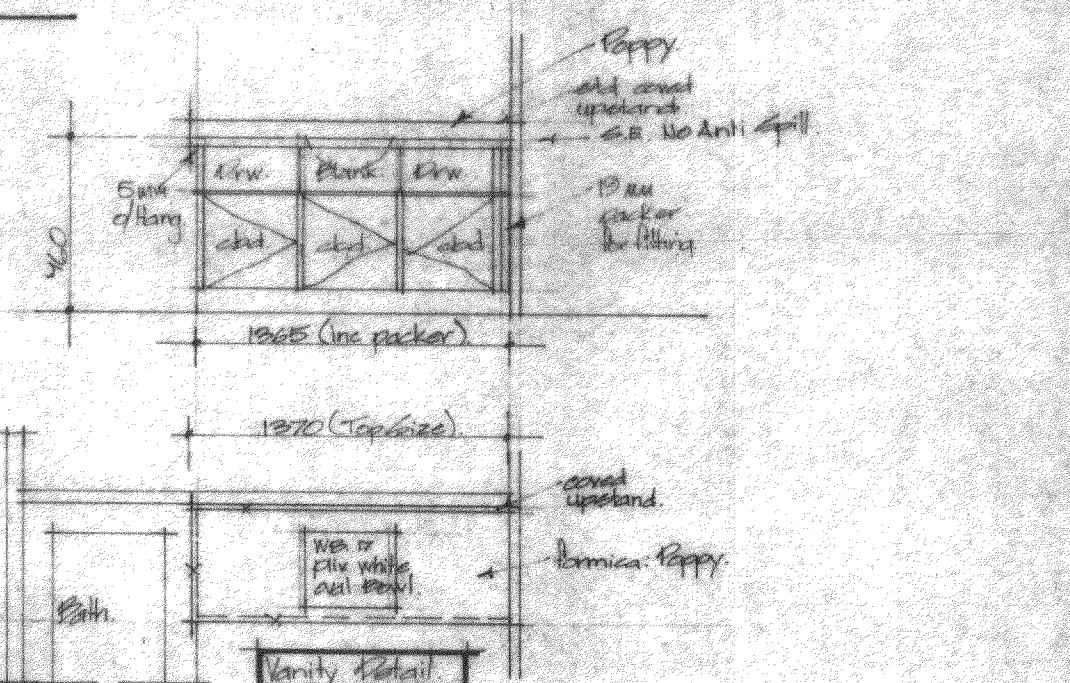
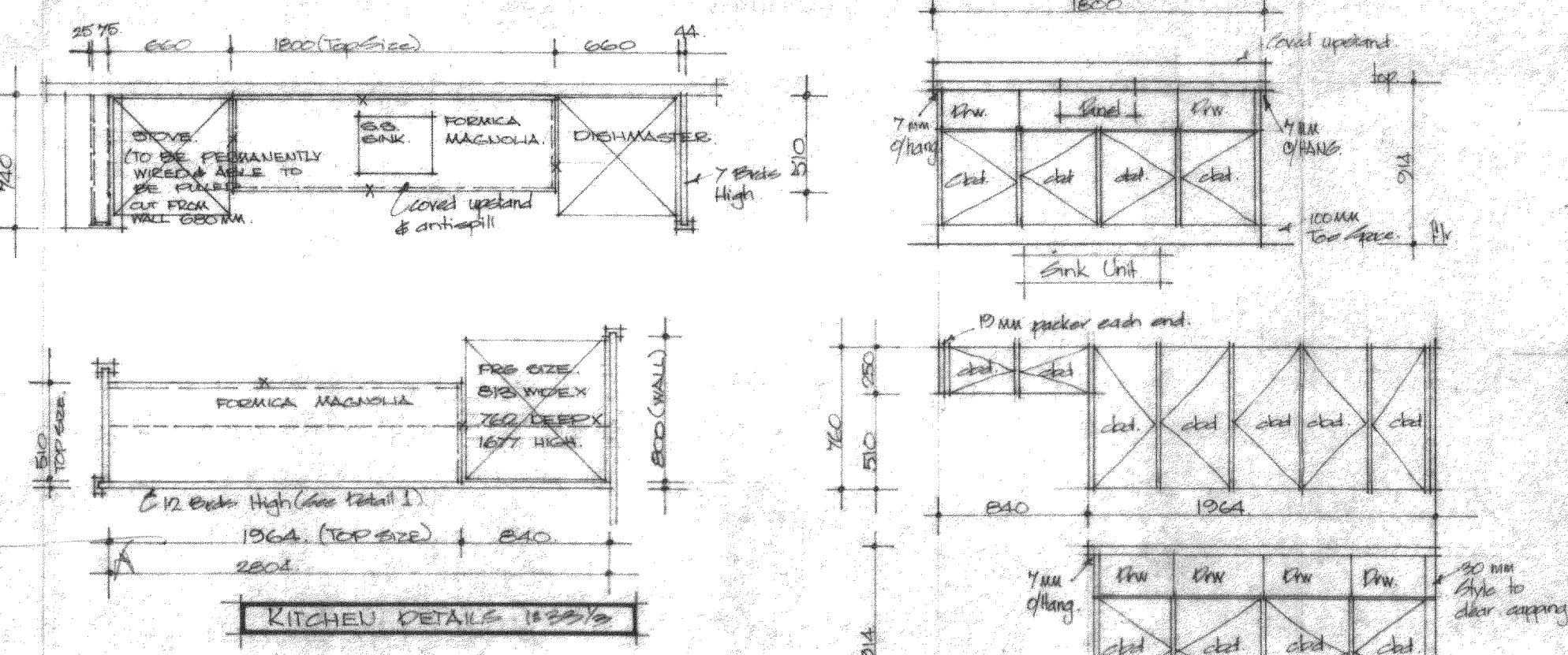
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◇	Wall heater (Living only) 2	



m. f. hutt construction company limited

PROPOSED RESIDENCE for MR W.V. EARNshaw at LOT 15 DP 21226, COR JANE & WILLIAM ST. WAIKANA BECH.

drawing PLANS & ELEVATIONS.
 drawn b.m. MASON.
 date 21.11.75.

amendments

