

BUILDING REPORT



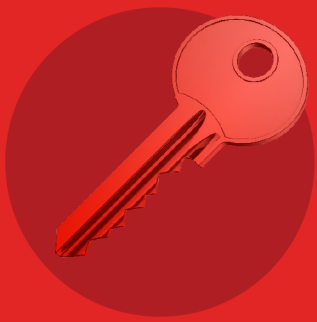
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RED LBP PRE-PURCHASE REPORT

- ✓ Completed by a trade professional
- ✓ Complies with NZS 4306:2005 Residential Property Inspection
- ✓ Full comprehensive written report
- ✓ Non-invasive moisture testing
- ✓ Floor level spot checked
- ✓ Summary identifying any significant faults or defects



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PRE-PURCHASE



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PRE-PURCHASE BUILDING REPORT

Property Address	17 Bob Williamson Lane, Maungatapere, Whangārei, Northland, 0179, NZL		
Client	Shane and Deb Williamson		
Date of Inspection	11th November 2024	Time	9:00 am
Inspector	Jamie Mackintosh National Certificate in Brick & Block		
LBP Number	116085		
Additional Information			
People Present	Inspector		
House Occupied	Yes		





CERTIFICATE OF INSPECTION IN ACCORDANCE WITH NZS 4306:2005

REDLBP
BUILDING REPORTS & PROPERTY INSPECTIONS

Company: Northland Inspections Ltd trading as RedLBP Northland

Client: Shane and Deb Williamson

Date of Inspection: 11th November 2024

Site Address: 17 Bob Williamson Lane, Maungatapere, Whangārei, Northland, 0179, NZL

Inspector: Jamie Mackintosh

Qualifications: National Certificate in Brick & Block

The following areas of the property have been inspected:

Inspection	Yes	No	Limited	N/A
Site	☐	☐	☒	☐
Subfloor	☒	☐	☐	☐
Exterior	☒	☐	☐	☐
Roof Exterior	☐	☐	☒	☐
Roof Space	☐	☒	☐	☐
Interior	☒	☐	☐	☐
Services	☒	☐	☐	☐
Accessory Units, Ancillary Spaces and Buildings	☐	☒	☐	☐

Any limitations to the coverage of the inspection are detailed in the written report.

Certification:

I hereby certify that I have carried out the inspection of the property site at the above address in accordance with NZS 4306:2005 Residential property inspections - and I am competent to undertake this inspection.

Name: Jamie Mackintosh

Date: 11th November 2024

Signature:

(for and on behalf of REDLBP)

An inspection that is carried out in accordance with NZS 4306:2005 is not a statement that a property complies with the requirement of any Act, regulation or bylaw, nor is the report a warranty against any problems developing after the date of the property report. Refer to NZS 4306:2005 for full details.

Note * please refer to TERMS of ENGAGEMENT

LIMITATIONS, CONDITIONS, REPORT TYPES & SCOPE OF REPORT

PURCHASE BUILDING REPORT

This report has been generated through a non-invasive inspection and is intended to provide recommendations solely on visible items. Where access has been unavailable, this has been noted in the report. Any items not able to be seen due to access either by location or furniture etc impeding visual inspection or camouflage are deemed not covered by this report.

This report is not a weathertight report. Please note that although moisture readings will be taken and will be reported on if they are deemed to be outside of a general tolerance, this does not replace the recommendations of a trade qualified weathertightness expert, and any readings taken are of a non-invasive type only.

1) The scope of the report will be limited to:

- a. Significant defects
- b. Particular attributes
- c. Gradual deterioration; and
- d. Significant maintenance required

2) It will exclude:

- a. Legal title
- b. Building warrant of fitness and services prescribed on a compliance schedule
- c. Planning, resource consent issues
- d. Building consent issues
- e. Long term maintenance planning
- f. Rental property tenancy inspections
- g. Heritage obligations
- h. Compliance the Body Corporate rules, the terms of memorandum of cross lease or a company title occupation agreement.
- i. LIM – Land Information Memorandum

GENERAL

This report has been completed via a non-invasive inspection and provides recommendations only to items that were able to be seen. Where access has been unavailable, this has been noted in the report. Any items not able to be seen due to access either by location or furniture etc impeding visual inspection or camouflage are deemed not covered by this report. The report is to be used by the client only as guidance for evaluation of the condition of the premises and is not intended as an all-encompassing report dealing with the premises from every aspect. The report is not intended to provide an indication of value, worth or suitability of the premises. This report should be seen as a general guide from a qualified trade professional providing a snapshot of the property and its elements. It is not designed to advise a potential buyer on the advisability of purchase,

rather to provide enough information to satisfy the client and the lender on the elements of the property from a general perspective. Where qualified building recommendations have been inappropriate, recommendations from sub-trade experts have been given and noted. The experts may include electrical inspectors, weathertightness experts, engineers, and surveyors.

The inspection should not be misused as a form of compliance inspection as per the local authorities, nor should it be used as any guarantee or warranty of the present or future adequacy or integrity of any of the systems reported on in the property. Any descriptions presented within this report, are based on trade knowledge and experience. These should be taken as general estimates only, based on the opinion of the qualified LBP completing the report and there may be cause for variation. Should any disputes arise due to the content of this report, this will be actioned as per the terms and conditions accepted at the time of booking the inspection. In all inspections, the inspector will not touch or move vendor's, tenant's or occupant's possessions or other items within the house and RedLBP inspectors will not be responsible for linings, flooring and other areas not able to be seen because of such possessions or items obscuring line of sight observations. This applies equally where carpeting, mats and so on might be obscuring/covering a view of any issues or defect in concrete or wooden flooring. The Inspector shall not disassemble equipment, or undertake any intrusive or destructive inspection, moving of furniture, appliances or stored items, or excavation. The report is valid only for a period of 30 days after release to the client, after which time the premises will require re-inspection to determine the currency of the report together with any changed circumstances which may affect the premises.

This report contains information obtained by inspection, sampling, testing or other means of investigation. Unless specifically stated otherwise in this report, RedLBP has relied on the accuracy, completeness, currency, and sufficiency of all information provided to it by, or on behalf of, the client or any third party, and has not independently verified the information provided. RedLBP accepts no responsibility for errors or omissions in, or in the currency or sufficiency of, the information provided.

The assessment of any apparent defect which may occur intermittently or usually occurs after regular use will not be reported nor any defect that is only evident with prevailing weather.

This report must be read in its entirety, it may not be reproduced in part by any individual.

Only the named owner of the report may use the information contained within the report.

The purchaser of this report has purchased the right to review the information contained within the report. All information remains the sole property of RedLBP Ltd.

Written reports completed by Red LBP follow the voluntary standard NZS4306:2005.

Note. This report has been produced as a result of a visual-only inspection of what was seen at the time and day of the inspection. The report is general in nature and is not intended as a substitute for professional advice. Nor does it purport to a survey plan of the site of the building. If further clarification is needed on any comments or any explanation at all, is required on any part of the report or photos then please contact the writer as soon as possible.

EXECUTIVE SUMMARY

The overall condition of the house is average. This is in context of the average condition of similar buildings of approximately the same age, type of construction and material type.

NZS4306:2005

3.2 The Property Report

A property report supplied by the inspector shall include the following

(I) A summary which includes an opinion as to the overall condition of the dwelling in the context of its age, type and general expectations of similar properties.

Below is a list of what was viewed as significant fault or defect - A matter which requires substantial repairs or urgent attention and rectification.

- Recommend having a building contractor report on the remedial work required to the ground clearances around the garage and the dug out areas in the subfloor. Refer to the foundation section for further detail.

Areas not inspected or accessed fully:

Roof space - There was no viewable roof space as the roof was of a skillion construction.

Roof system - Not able to be viewed safely from a 3.6 metre ladder.

Upper levels exterior cladding & joinery - Not able to be viewed safely from a 3.6 metre ladder.

All attempts will be made to safely view but if unable to inspect, they will be viewed from the best vantage point accessible to all viewable areas in the inspector's line of sight, with photos taken for reference.

Minor faults have been identified in the report; however, these are omitted from the executive summary due to not being a significant fault or a deferred maintenance issue. We kindly request that you review the report in its entirety.

PROPERTY IDENTIFIERS

Address	17 Bob Williamson Lane, Maungatapere, Whangārei, Northland, 0179, NZL
Legal Description	LOT 1 DP 547392
Certificate of Title	934353
Land classification	Wind Zone - High - BRANZ - GIS
Weather	Showers
Soil	Dry
Site Exposure	Exposed

BUILDING DESCRIPTION

The property was originally built in the 2000's It is a freehold title situated on a rural section that is sloping.

The dwelling is two storey with four bedrooms and three bathrooms. Internally, the property has heating that consists of heat pumps and solid fuel burner which are located in the living room, lounge and bedroom. The water system is heated by an electric hot water cylinder. The internal linings are plasterboard and are decorated with paint. The floors are concrete and chipboard or similar with floor coverings being carpet and composite flooring.

The foundation system is a concrete slab on grade and piled with the dwelling being of timber construction. The exterior joinery is aluminium and is single-glazed. The property is clad with EIFS (Exterior Insulation and Finish System) on a vented cavity with a plaster finish and a paint coating. The roof is profiled metal.

There is a garage that is attached to the house, with double capacity and internal access. The driveway is concrete.

Generally, the property has a living aspect of north and includes hard landscaping that consists of a deck, a patio and concrete paths. Soft landscaping of lawn and mature trees.

BUILDING ELEMENTS

The following is a summary of the building elements inspected:

Type	Inspected
Weathertightness	
Weathertightness risk matrix	Considered
Foundation	
Combination of - NZS3604 - Type B1 and NZS3604 - Type C1	Limited access
Wall Framing & Non-Invasive Moisture Testing	
Timber framed - wall	Not viewed
Roof Space	
Concealed - skillion roof.	Limited access
Interior Linings	
Plasterboard ceiling and wall linings, timber trims and doors, carpet and composite floor coverings.	Viewed
Kitchen	Viewed
Lounge	Viewed
Hallway	Viewed
Bathroom	Viewed
Bedroom 1	Viewed
Bedroom 2	Viewed
Stairway	Viewed
Bedroom 3	Viewed
Office	Viewed
Bathroom	Viewed
Stairway	Viewed
Living room	Viewed
Bedroom 4	Viewed
Ensuite	Viewed
Balcony	Viewed
Laundry	Viewed
Garage	Viewed
Roof System	
Profiled metal	Limited access
Flashings & penetrations	Limited access
Guttering, downpipes, fascia & soffits	Limited access

Exterior Cladding	
EIFS Exterior Insulation and Finish System	Viewed
Exterior Joinery	
Single-glazed aluminium joinery with timber reveals.	Viewed

Weathertightness

Weathertightness risk assessment.

Weathertightness is the ability of a building's external cladding and components to prevent external moisture ingress to enter the internal of the building.

Wind zone - High = 1 (scoring range of 0-2).

Number of stories - Two stories = High risk - 2 (scoring range of 0-4).

Roof/wall intersection design - Low risk - roof-to-wall junctions fully protected (e.g. hip or gable roof with eaves) = 0 (scoring range of 0-5).

Eaves width - Medium risk - 450 mm - 600 mm first storey, or over 600 mm at second storey = 1 (scoring range of 0-5).

Envelope complexity - Medium risk - Moderately complex, angular or curved shapes (e.g. Y or arrowhead) with no more than two cladding types = 1 (scoring range of 0-6).

Deck design - High risk - Enclosed deck exposed in plan or cantilevered at first-floor level = 4 (scoring range of 0-6).

Total Risk matrix score - 8.

Overall Risk Score

Score. Risk Severity

0 - 6. Low risk

7 - 12. Medium risk

13 - 20 High risk

Over 20. Very high risk

The weathertight risk matrix is for design purposes, although it allows us to consider the home's weathertightness it does not reflect the condition of the home.

Philosophy of risk assessment

The development of the risk assessment approach taken in E2/AS1 is based on work undertaken in 1999 by two Canadians, architect Don Hazeldon and building scientist Paul Morris. They developed a simple concept called the 4Ds to describe four basic principles of water management in buildings.

Deflection: keeping water away from potential entry points.

Drainage: providing means of removing water that does enter.

Drying: allowing any remaining moisture to be removed by ventilation or diffusion, and

Durability: providing materials with appropriate durability.

As per the guidance document for Acceptable Solution E2/AS1 ("E2/AS1") for Clause E2 External Moisture of the New Zealand Building Code.

Foundation

Type - C1 - Timber-framed dwelling on a concrete floor with lightweight cladding.

Height above finished ground - Minimum heights have been reduced due to landscaping.

Minimum heights of floor above ground should be 150 mm to paved ground, 225 mm to unpaved ground.

Cracking - None observed.

Dampness - None visible at the time of the inspection.

The subfloor space was viewed via the manhole located on the southwest side of the dwelling.

The inspection was taken from the access hatch. Size - 1600mm x 800mm.

Please note this is a restricted access area for inspection due to current NZ legislation (Health & Safety at Work Act 2015). All attempts will be made to safely view, but if unable to inspect the area, it will be viewed from the best vantage point accessible to all viewable areas in the inspector's line of sight, with photos taken for reference.

Foundation type - Type B1 - Perimeter concrete beam, concrete or timber piled foundation, lightweight cladding.

Foundation wall - Masonry block.

Piles - Timber.

Condition of piles - No visible issues at the time of the inspection.

Sub-floor timbers, type and condition - Timber treatment was not tested. No visible issues.

Timber subfloor bracing - Visible.

Flooring - type and condition - Not visible

Insulation - Polystyrene.

R value of insulation - Not known.

Coverage - Acceptable.

Ground cover - None.

Ground condition - Dry at the time of the inspection.

Underfloor Space - Building materials visible.

Electrical - Modern TPS (Tough Plastic Sheath) wiring visible - Supported.

Non-Electrical wiring - Aerial/Data - None visible.

Plumbing - Waste and water pipes visible - Supported.

Plumbing type - PVC and black.

Structural alterations - Yes.

Sub-floor Clearance - Where visible - Variable.

Visible defects - Refer to photos.

Floor levels were checked using a self-leveling laser, all measurements checked are within BRANZ or MBIE recommendations -

- Finished floor slope no more than 1:200 = 5 mm per 1 metre - MBIE

- 5 mm maximum deviation in any 10 m length; 10 mm in total for lengths over 10 m - MBIE

- Flooring – individual sheets or boards flat and straight to within ± 6 mm for every 3 m of length - MBIE

- be level to within +/- 10 mm within a single room or space - BRANZ
MBIE - Ministry of Business, Innovation and Employment.
BRANZ - Building Research Association of New Zealand.

The rules for minimum clearances are set out in Building Code Acceptable Solution E1/AS1, E2/AS1 and NZS 3604.

FFL - Finished Floor Level

Top of concrete slab on grade (FFL) – other cladding – above paving - 150 mm.

Top of concrete slab on grade (FFL) – other cladding – above soil - 225 mm.

Bottom of cladding to paving (FFL) – except masonry veneer - 100 mm.

Bottom of cladding to unpaved ground (FFL) – except masonry veneer - 175 mm.

Recommendations:

Recommend having a building contractor report on the remedial work required to the ground clearances.

Recommend having an LBP in carpentry report on the remedial work required to the retaining walls in the subfloor.



Photo 3

Subfloor showing timber bearers on timber piles.



Photo 4

Polystyrene insulation.



Photo 5

Path with timber retaining wall through the subfloor. Inadequate timber sizing has been used. This is a structural alteration as the soil around the piles has been removed.



Photo 6

No ground clearance to the cladding on the northwest garage wall.



Photo 7

No ground clearance to the cladding on the southwest garage wall.



Photo 8

No ground clearances to the cladding on the northwest wall around the garage.

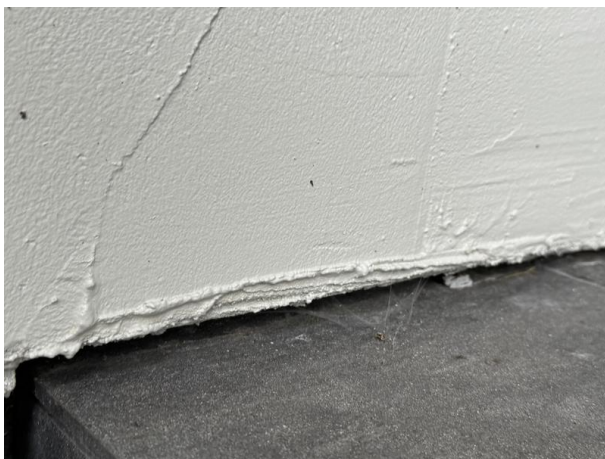


Photo 9

Minimal ground clearances to the cladding on the southwest patio.

Wall Framing & Non-Invasive Moisture Testing

Protimeter Reachmaster Pro moisture metre is used for the testing of moisture levels in the dwelling. At the time of the inspection internal surface moisture test were completed, this was consistent throughout the house with no abnormalities.

The ensured values are only to be interpreted as indicators (dry, risk, wet).

<60 = Dry

<60 but <170 = Dry (Green)

>170 but <200 Risk (Yellow)

>200 but <999 = Wet (red)

The condition of the timber framing is unknown.

Further images are available on request.



Photo 10

Supplementary moisture testing photos, indications of normal moisture readings.



Photo 11

Supplementary moisture testing photos, indications of normal moisture readings.



Photo 12

Supplementary moisture testing photos, indications of normal moisture readings.



Photo 13

Supplementary moisture testing photos, indications of normal moisture readings.



Photo 14

Supplementary moisture testing photos, indications of normal moisture readings.

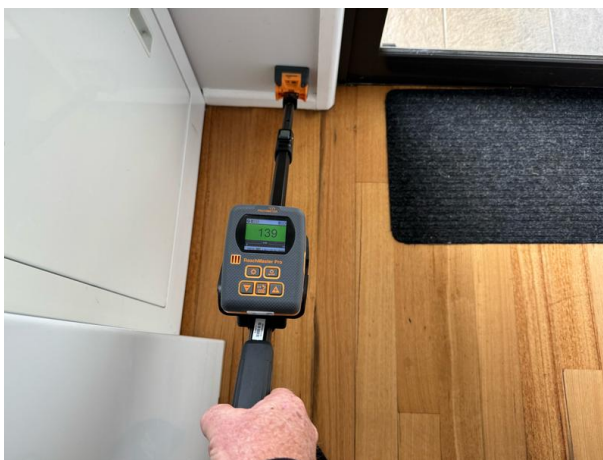


Photo 15

Supplementary moisture testing photos, indications of normal moisture readings.

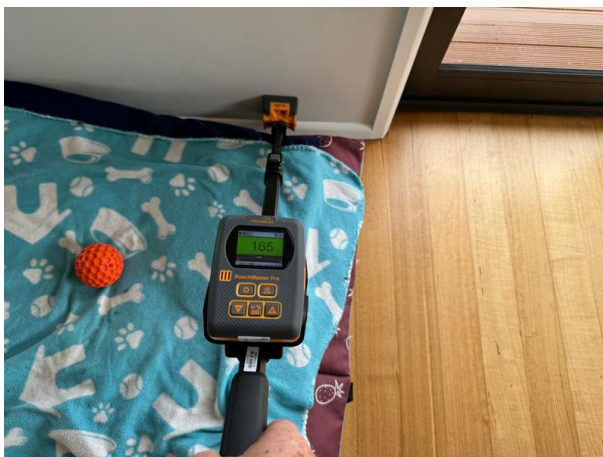


Photo 16

Supplementary moisture testing photos, indications of normal moisture readings.



Photo 17

Supplementary moisture testing photos, indications of normal moisture readings.

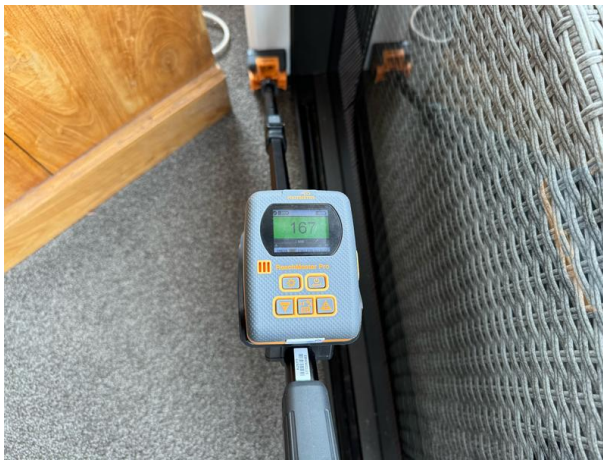


Photo 18

Supplementary moisture testing photos, indications of normal moisture readings.

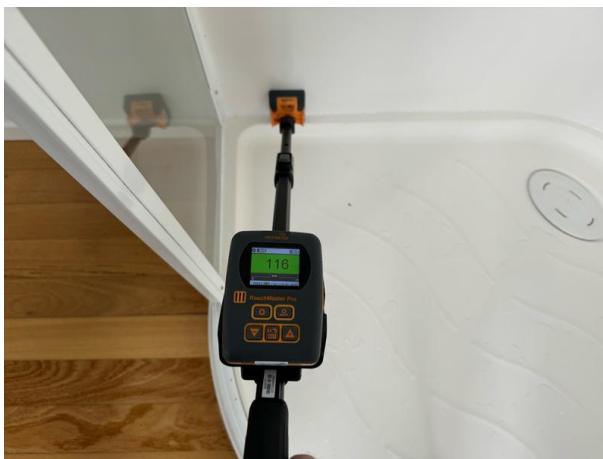


Photo 19

Supplementary moisture testing photos, indications of normal moisture readings.



Photo 20

Supplementary moisture testing photos, indications of normal moisture readings.

Roof Space

Skillion roof

Moisture damage to interior ceiling linings - No visible signs during the inspection.

Type of construction - Enclosed.

Recommendations:

As part of regular maintenance, it is advisable to conduct regular visual checks of the roof space via the manhole to identify any issues, including leaks or pest activity.

Interior Linings

Plasterboard ceiling and wall linings with a paint finish, timber trims and doors with a paint finish, carpet and composite floor coverings.

Recommendations:

The inspection and resulting report are not intended to identify or describe minor faults or minor defects. A minor fault or minor defect is a matter which, in view of the age, type or condition of the residential building, does not require substantial repairs or urgent attention and rectification and which could be attended to during normal maintenance. Minor faults and defects are common to most properties and may include minor blemishes, corrosion, cracking, weathering, general deterioration, unevenness, and physical damage to materials and finishes.

Kitchen

Ceiling linings - Plasterboard - Paint finished.

Ceiling defects - None visible at the time of the inspection.

Ceiling wall junction - Scotia.

Wall linings - Plasterboard - Paint finished.

Wall defects - None visible at the time of the inspection.

Exterior joinery - Aluminium - Single-glazed - Standard glass - Painted timber reveals.

Internal doors - Hollow core.

Benchtop - Sealed to cabinet/wall junction - Yes.

Benchtop material - Stone.

Benchtops level - Yes.

Damage - None visible at the time of the inspection.

Splashback - Tiled - Sealed edge.

Cabinetry - Functional - Yes. Material type - Laminate.

Cabinetry requires maintenance - No.

Water hammer - No noise or vibration noted.

Sink - Leaks or visible issues - No.

Faucet functional - Yes.

Type of plumbing - PVC waste and braided wire.

Heat shield - Tiled.

Cooktop - Induction - Not checked. Unable to test induction top, powered on only.

Oven - Powered on only - Functioning - Yes.

Mechanical ventilation - Functional - Yes. Externally vented - Yes.

Garbage disposal - Functional - Yes.

Floor coverings - Composite flooring.

Dishwasher - Functional - Yes. This was powered on only, not run through a cycle.

Lights/Switch - Operational.

Electrical sockets - All accessible sockets were operational.

Cupboards - Not applicable.

Defects - None identified.

It is outside the scope of this report to check the operation and performance of the appliances, these are checked only for power connection. It is recommended that appliances are serviced regularly to ensure proper safe operation.



Photo 21

Kitchen.



Photo 22

Dining room.

Lounge

Ceiling linings - Plasterboard - Paint finished.

Ceiling defects - None visible at the time of the inspection.

Ceiling wall junction - Scotia.

Wall linings - Plasterboard - Paint finished.

Wall defects - None visible at the time of the inspection.

Exterior joinery - Aluminium - Single-glazed Safety & standard glass - Painted timber reveals.

Internal doors - Hollow core.

Floor coverings - Carpet.

Lights/Switch - Operational.

Electrical sockets - All accessible sockets were operational.

Cupboards - Not applicable.

Defects - None identified.



Photo 23

Lounge.

Hallway

Ceiling linings - Plasterboard - Paint finished.

Ceiling defects - None visible at the time of the inspection.

Ceiling wall junction - Scotia.

Wall linings - Plasterboard - Paint finished.

Wall defects - Minor cosmetic issues.

Exterior joinery - Aluminium - Single-glazed - Standard glass - Painted timber reveals.

Internal doors - Hollow core.

Floor coverings - Carpet.

Lights/Switch - Operational.

Electrical sockets - All accessible sockets were operational.

Cupboards - Single - Doors - Hollow core.

Defects - No significant issues.



Photo 24

Hallway.

Bathroom

Ceiling linings - Plasterboard - Paint finished.
Ceiling defects - None visible at the time of the inspection.
Ceiling wall junction - Scotia.
Wall linings - Plasterboard - Paint finished.
Wall defects - None visible at the time of the inspection.
Exterior joinery - Aluminium - Single-glazed Safety & standard glass - Painted timber reveals.
Internal doors - Hollow core.
Floor covering - Composite flooring.
Cistern & pan - Floor mounted. Tested - Functional - Yes. No visible issues.
Single or dual flush - Dual.
Vanity - Floor mounted.
Taps and waste - Functional - Yes.
Leakage - None visible at the time of the inspection.
Type of plumbing - PVC waste and braided wire.
Splashback - Tiled.
Bath - Inbuilt (enclosed cradle). Taps and waste functional - Yes.
Shower - Enclosure. No visible moisture issues.
Glass type - Safety.
Shower pressure - Adequate.
Water hammer - No noise or vibration noted.
Leaks from shower fittings - No.
Mechanical ventilation - None.
Heating - No.
Heated towel rail - Yes.
Lights/Switch - Operational.
Electrical sockets - All accessible sockets were operational.
Cupboards - Not applicable.
Defects - None identified.

All showers, due to being exposed to water have the risk of water damage to surrounding elements that cannot be seen.

All wet areas, due to being exposed to water have the risk of water damage to surrounding elements that cannot be seen.

The inspection of showers is limited to testing only using the provided shower rose or handheld rose from outside the shower enclosure, this limits the ability to find leaks.

The statement regarding the shower pressure (adequate or inadequate) reflects the inspector's opinion, based on the pressure observed during the inspection and is subjective to their judgment.

Recommendations:

Inbuilt baths can be prone to maintenance issues. Depending on how the bath has been installed and maintained depends on how watertight it remains and how much future maintenance it will require. Typical failure points are where the bath meets the wall and around the tap units. It is recommended you constantly monitor these junctions to ensure damage is not occurring to the adjacent walls. No visible issues were noted during the inspection.

There is no externally vented mechanical ventilation system installed in the bathroom. It is recommended to install a suitable system for the rooms requirements.



Photo 25

Bathroom.



Photo 26

Toilet.

Bedroom 1

Ceiling linings - Plasterboard - Paint finished.

Ceiling defects - None visible at the time of the inspection.

Ceiling wall junction - Scotia.

Wall linings - Plasterboard - Paint finished.

Wall defects - None visible at the time of the inspection.

Exterior joinery - Aluminium - Single-glazed - Standard glass - Painted timber reveals.

Internal doors - Hollow core.

Floor coverings - Carpet.

Lights/Switch - Operational.

Electrical sockets - All accessible sockets were operational.

Cupboards - Double - Doors - Hollow core.

Defects - None identified.



Photo 27

Bedroom one.

Bedroom 2

Ceiling linings - Plasterboard - Paint finished.

Ceiling defects - None visible at the time of the inspection.

Ceiling wall junction - Scotia.

Wall linings - Plasterboard - Paint finished.

Wall defects - None visible at the time of the inspection.

Exterior joinery - Aluminium - Single-glazed Safety & standard glass - Painted timber reveals.

Internal doors - Hollow core.

Floor coverings - Carpet.

Lights/Switch - Operational.

Electrical sockets - All accessible sockets were operational.

Cupboards - Double - Doors - Hollow core.

Defects - None identified.



Photo 28

Bedroom two.

Stairway

Ceiling linings - Plasterboard - Paint finished.

Ceiling defects - None visible at the time of the inspection.

Ceiling wall junction - Scotia.

Wall linings - Plasterboard - Paint finished.

Wall defects - None visible at the time of the inspection.

Exterior joinery - Aluminium - Single-glazed - Standard glass - Painted timber reveals.

Type of stairs - Closed.

Construction material - Timber.

Handrail - Secure.

Height of handrail - Between 900 mm & 1000 mm.

Balustrade - (barrier) Glass and solid sheet.

Internal doors - Not applicable.

Floor coverings - Carpet.

Lights/Switch - Operational.

Electrical sockets - All accessible sockets were operational.

Cupboards - Not applicable.

Defects - None identified.

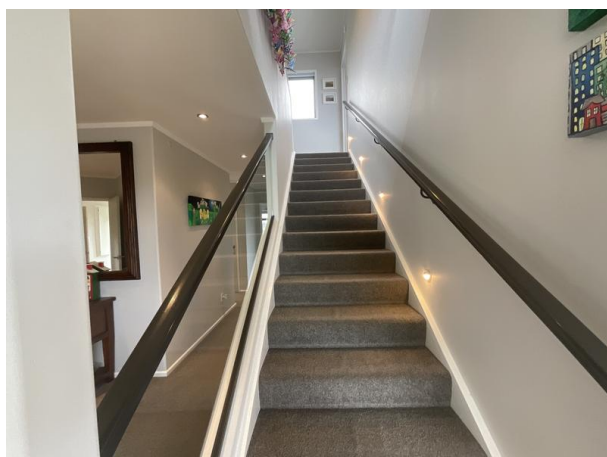


Photo 29

Stairway.

Bedroom 3

Ceiling linings - Plasterboard - Paint finished.

Ceiling defects - None visible at the time of the inspection.

Ceiling wall junction - Scotia.

Wall linings - Plasterboard - Paint finished.

Wall defects - None visible at the time of the inspection.

Exterior joinery - Aluminium - Single-glazed - Standard glass - Painted timber reveals.

Internal doors - Hollow core.

Floor coverings - Carpet.

Lights/Switch - Operational.

Electrical sockets - All accessible sockets were operational.

Cupboards - Custom.

Defects - None identified.



Photo 30

Bedroom three.

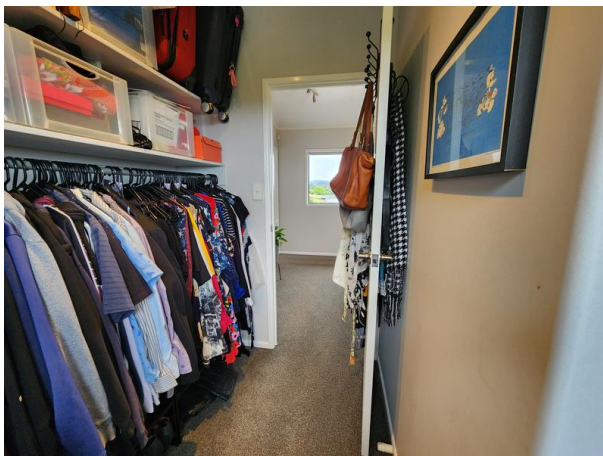


Photo 31

Walk through closet.

Office

Ceiling linings - Plasterboard - Paint finished.

Ceiling defects - None visible at the time of the inspection.

Ceiling wall junction - Scotia.

Wall linings - Plasterboard - Paint finished.

Wall defects - None visible at the time of the inspection.

Exterior joinery - Aluminium - Single-glazed - Standard glass - Painted timber reveals.

Internal doors - Hollow core.

Floor coverings - Carpet.

Lights/Switch - Operational.

Electrical sockets - All accessible sockets were operational.

Cupboards - Not applicable.

Defects - None identified.



Photo 32

Office.

Bathroom

Ceiling linings - Plasterboard - Paint finished.

Ceiling defects - None visible at the time of the inspection.

Ceiling wall junction - Scotia.

Wall linings - Plasterboard - Paint finished.

Wall defects - None visible at the time of the inspection.

Exterior joinery - Aluminium - Single-glazed - Safety glass - Painted timber reveals.

Internal doors - Hollow core.

Floor covering - Composite flooring.

Cistern & pan - Floor mounted. Tested - Functional - Yes. No visible issues.

Single or dual flush - Dual.

Vanity - Floor mounted.

Taps and waste - Functional - Yes.

Leakage - None visible at the time of the inspection.

Type of plumbing - PVC waste and braided wire.

Splashback - Tiled.

Shower - Enclosure. No visible moisture issues.

Glass type - Safety.

Shower pressure - Adequate.

Water hammer - No noise or vibration noted.

Leaks from shower fittings - No.

Mechanical ventilation - None.

Heating - Yes.

Heated towel rail - Yes.

Lights/Switch - Operational.

Electrical sockets - All accessible sockets were operational.

Cupboards - Not applicable.

Defects - None identified.

All showers, due to being exposed to water have the risk of water damage to surrounding elements that cannot be seen.

All wet areas, due to being exposed to water have the risk of water damage to surrounding elements that cannot be seen.

The inspection of showers is limited to testing only using the provided shower rose or handheld rose from outside the shower enclosure, this limits the ability to find leaks.

The statement regarding the shower pressure (adequate or inadequate) reflects the inspector's opinion, based on the pressure observed during the inspection and is subjective to their judgment.

Recommendations:

There is no externally vented mechanical ventilation system installed in the bathroom. It is recommended to install a suitable system for the rooms requirements.



Photo 33

Bathroom.



Photo 34

Thermosafe electric wall heater.

Stairway

Ceiling linings - Plasterboard - Paint finished.

Ceiling defects - None visible at the time of the inspection.

Ceiling wall junction - Scotia.

Wall linings - Plasterboard - Paint finished.

Wall defects - None visible at the time of the inspection.

Exterior joinery - Aluminium - Single-glazed Safety & standard glass - Painted timber reveals.

Type of stairs - Closed.

Construction material - Timber.

Handrail - Secure.

Height of handrail - Between 900 mm & 1000 mm.

Balustrade - (barrier) Solid sheet.

Internal doors - Not applicable.

Floor coverings - Carpet.

Lights/Switch - Operational.

Electrical sockets - All accessible sockets were operational.

Cupboards - Not applicable.

Defects - None identified.

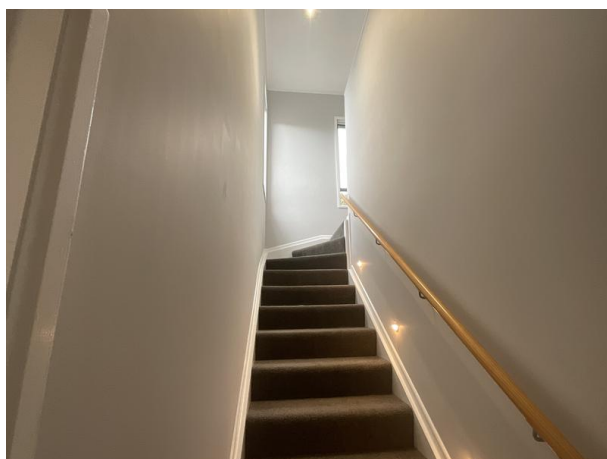


Photo 35

Stairway.

Living room

Ceiling linings - Plasterboard - Paint finished.

Ceiling defects - None visible at the time of the inspection.

Ceiling wall junction - Scotia.

Wall linings - Plasterboard - Paint finished.

Wall defects - None visible at the time of the inspection.

Exterior joinery - Aluminium - Single-glazed Safety & standard glass - Painted timber reveals.

Internal doors - Hollow core.

Floor coverings - Carpet.

Lights/Switch - Operational.

Electrical sockets - All accessible sockets were operational.

Cupboards - Double - Doors - Hollow core.

Defects - Refer to photos.



Photo 36

Living room.



Photo 37

Hand basin. Bench to wall junctions sealed.

Bedroom 4

Ceiling linings - Plasterboard - Paint finished.

Ceiling defects - None visible at the time of the inspection.

Ceiling wall junction - Scotia.

Wall linings - Plasterboard - Paint finished.

Wall defects - None visible at the time of the inspection.

Exterior joinery - Aluminium - Single-glazed Safety & standard glass - Painted timber reveals.

Internal doors - Hollow core.

Floor coverings - Carpet.

Lights/Switch - Operational.

Electrical sockets - All accessible sockets were operational.

Cupboards - Single - Door - Hollow core.

Defects - None identified.



Photo 38

Bedroom four.

Ensuite

Ceiling linings - Plasterboard - Paint finished.

Ceiling defects - None visible at the time of the inspection.

Ceiling wall junction - Scotia.

Wall linings - Plasterboard - Paint finished.

Wall defects - None visible at the time of the inspection.

Exterior joinery - Aluminium - Single-glazed - Safety glass - Painted timber reveals.

Internal doors - Hollow core.

Floor covering - Composite flooring.

Cistern & pan - Floor mounted. Tested - Functional - Yes. No visible issues.

Single or dual flush - Dual.

Vanity - Floor mounted.

Taps and waste - Functional - Yes.

Leakage - None visible at the time of the inspection.

Type of plumbing - PVC waste and braided wire.

Splashback - Tiled.

Bath - Not applicable.

Shower - Enclosure. No visible moisture issues.

Glass type - Safety.

Shower pressure - Adequate.

Water hammer - No noise or vibration noted.

Leaks from shower fittings - No.

Mechanical ventilation - None.

Heating - No.

Heated towel rail - No.

Lights/Switch - Operational.

Electrical sockets - All accessible sockets were operational.

Cupboards - Not applicable.

Defects - None identified.

All showers, due to being exposed to water have the risk of water damage to surrounding elements that cannot be seen.

All wet areas, due to being exposed to water have the risk of water damage to surrounding elements that cannot be seen.

The inspection of showers is limited to testing only using the provided shower rose or handheld rose from outside the shower enclosure, this limits the ability to find leaks.

The statement regarding the shower pressure (adequate or inadequate) reflects the inspector's opinion, based on the pressure observed during the inspection and is subjective to their judgment.



Photo 39

Ensuite.

Balcony

Construction - Timber framed.

Constructed over - External area.

Flooring substrate - Timber.

Waterproofing membrane - Butynol® (glue fixed)

Condition of membrane - No visible issues at the time of the inspection.

Membrane covered at the deck to wall junction - Yes.

Flooring - None.

Drainage - Drains directly over the edge.

Fall to drains - Adequate.

Handrail and balustrade - No visible issues at the time of the inspection.

Handrail and or balustrade height - 1180mm.

Handrail stanchions - No visible issues.



Photo 40

Balcony.



Photo 41

Membrane returns up the wall.
Functional.



Photo 42

Balustrades are self supporting.

Laundry

Ceiling linings - Plasterboard - Paint finished.

Ceiling defects - None visible at the time of the inspection.

Ceiling wall junction - Scotia.

Wall linings - Plasterboard - Paint finished.

Wall defects - None visible at the time of the inspection.

Exterior joinery - Aluminium - Single-glazed - Standard glass - Painted timber reveals.

Internal doors - Hollow core.

Located - Laundry room.

Floor coverings - Composite flooring.

Laundry tub/sink - Powder-coated metal cabinet with a stainless steel tub. No visible issues.

Taps & waste - Functional - Yes.

Leaks - None visible at the time of the inspection.

Type of plumbing - PVC waste and braided wire.

Washing machine discharge - To the waste under the tub.

Water hammer - No noise or vibration noted.

Cabinets - No visible issues.

Cupboards - Single - Door - Hollow core.

Ventilation - Opening door or window. Mechanical - None.

Lights/Switch - Operational.

Electrical sockets - All accessible sockets were operational.

Defects - None identified.



Photo 65

Laundry.

Garage

Ceiling linings - Plasterboard - Paint finished.

Ceiling defects - Minor cosmetic issues.

Ceiling wall junction - Scotia.

Wall linings - Plasterboard - Paint finished.

Wall defects - Minor cosmetic issues.

Exterior joinery - Aluminium - Single-glazed - Standard glass - Painted timber reveals.

Garage door - Sectional - Double - Aluminium - Not insulated - Automatic opener functional - Yes.

Internal doors - Hollow core.

Floor coverings - Carpet.

Lights/Switch - Operational - Bulbs required for some fittings.

Electrical sockets - All accessible sockets were operational.

Cupboards - Single - Door - Hollow core.

Defects - No significant issues.



Photo 66

Garage.

Roof System

Type of roof construction - Curved.

Pitch of roofs - Variable degrees.

Pitch appropriate for materials - Yes.

Deflections of roof planes - No visible deflections in the roof lines at the time of the inspection.

All attempts will be made to safely view but if unable to inspect, they will be viewed from the best vantage point accessible to all viewable areas in the inspector's line of sight, with photos taken for reference.

Roofing material - Profiled metal - Long run.

Coating - Factory finish.

Condition of roofing material coating - No visible issues at the time of the inspection.

Fixings - Screw.

Laps - Correctly lapped.

Corrosion or damage to the roofing material - None visible at the time of the inspection.

Not applicable.

Moss, mould or lichen - None visible at the time of the inspection.

Roof-to-wall junctions - Refer to photos.

Visible defects - Refer to photos.

Recommendations:

The roof was viewed from an extendable 3.6 metre ladder to all accessible elevations.

Regular cleaning helps remove dirt, debris, and other contaminants that can accumulate on the roof's surface. By keeping the roof clean, you can prevent the buildup of substances that may lead to deterioration or damage over time. Recoating the roof, as recommended by the manufacturer, helps restore the protective layers and extends the lifespan of the roofing materials.



Photo 43

Profiled metal roof with screw fixings.



Photo 44

Some areas of the roof to wall junctions are under the minimal clearance required. Recommend monitoring these areas and keeping free of debris.

Flashings - Flashings as per their design are never completely visible, the inspector will view all areas accessible safely from a 3.6 metre ladder or safe vantage point.

Barge - Viewable areas only.

Material type - Metal.

Finish - Factory finish.

Condition - No visible issues at the time of the inspection.

Laps - No visible issues at the time of the inspection.

Apron - Viewable areas only.

Material type - Metal.

Finish - Factory finish.

Condition - Requires maintenance.

Laps - No visible issues at the time of the inspection.

Penetrations

Type - Pipes, flues and venting.

Flashing material - Rubber.

Condition - No visible issues at the time of the inspection.

Flashings - No back flashing installed.

Sealants - No visible issues at the time of the inspection.

Signs of leaking - None visible at the time of the inspection.

Recommendations:

Over time, sealants can deteriorate due to exposure to weather conditions, UV radiation, temperature fluctuations, and general wear and tear. Regular inspections of the roofing system should include a thorough examination of the sealants to identify any signs of degradation, such as cracks, gaps, or peeling.

Checking the sealants involves visually inspecting the areas where they are applied, such as around vents, chimneys, skylights, and flashings. If any issues are identified, it is essential to address them promptly to prevent further damage and maintain the integrity of the roofing system.



Photo 45

Example of a metal barge flashing. Functional.



Photo 46

Example of a metal apron flashing with kick out.



Photo 47

Some areas of the roof to wall junctions are under the minimal clearance required. Recommend monitoring these areas and keeping free of debris.

Guttering

Type - External.

Material - Profiled metal.

Snow straps - No.

Gutter guard - No.

Falls - Functional.

Fixings/brackets - Functional.

Obstructions - Clear at time of inspection.

Damage/Corrosion/Leaks - None visible at the time of inspection.

Adequate outlets - Yes - No visible issues.

Rainwater heads and droppers - No visible issues at the time of the inspection.

Moss and or lichen visible on or in the guttering system - None visible at the time of the inspection.

Downpipes

Material - PVC.

Fixings - No visible issues at the time of the inspection.

Brackets - Some minor maintenance required.

Damage - No visible issues at the time of the inspection.

Corrosion - Not applicable.

Spreaders - No visible issues.

Leakage, blockages - No visible issues at the time of the inspection.

Discharge - Water tank.

Fascia & bargeboards

Material - Timber.

Finish - Paint.

Damage & corrosion or rot - No visible issues at the time of the inspection.

Soffits & eaves

Material - Fibrous cement sheeting.

Finish - Painted.

Damage, rot or corrosion - No visible issues at the time of the inspection.

Soffit width from cladding to fascia - 400 - 500mm.

Eaves & soffit widths measured from the external face of wall cladding to the outer edge of the overhang, including the fascia.

Recommendations:

The roof was viewed from an extendable 3.6 metre ladder to all accessible elevations.

The gutters were clear at the time of the inspection. It is important to keep the gutters clear of debris to ensure proper drainage. Clogged gutters can cause water to overflow and pool on the roof or into other elements of the building, leading to potential water damage, leaks, and

structural issues. Regularly removing leaves, twigs, and other debris from the gutters prevents blockages and allows water to flow freely away from the roof.



Photo 48

Example of profiled metal guttering. Clear at the time of inspection.



Photo 49

Example of PVC downpipe with spreader.



Photo 50

Fibrous cement soffits with exposed rafters.



Photo 51

Recommend sealing and re-attaching the northeast downpipe bracket.



Photo 52

Update - 20/11/24 - Vendor has sealed the downpipe penetration.

Exterior Cladding

EIFS Exterior Insulated Finishing System

Vented cavity - Yes.

Finish - Light sprayed on plaster or paint. Recently recoated.

Overall condition - No visible damages.

Control joints - None.

Vertical cracking - None visible.

Cracking at window corners - None visible.

Horizontal cracking - None visible. No inter-storey control joints or flashings installed.

Staining or mould visible - Nothing visible.

Window flashing details - Rebated window and door joinery with the insulated panel forming the drip edge. The windows are entirely sealed around all sides.

Penetrations - No visible issues.

Wall balustrade junctions - None.

Handrail stanchions - Not applicable.

Fascia junctions - Penetrate cladding or coating.

Horizontal/flat surfaces - No visible issues.

Cladding to roof flashings and junctions - Adequate kick-outs to direct the water away from the building and into gutters.

Intercladding junctions - No

Ground clearances - Areas require remediation to lower ground levels - Refer to the foundation section.

The exterior cladding was only viewed from any visible ground-level location or from any deck or balcony on the outside of the dwelling.

Recommendations:

Regular maintenance is necessary to keep the exterior surfaces clean and free from grime and contaminants, especially in areas that are not typically washed by rain, such as below spouting and eaves. Failure to clean these surfaces can lead to accelerated deterioration of construction materials. It's important to schedule normal maintenance over the next few years.

Keep garden beds and any other ground coverings below and away from the exterior cladding. This is important for the cladding systems to function and to ensure moisture does not enter the home through capillary action.

Upkeep of the painted surfaces as appropriate to cladding types as per the manufacturer's recommendations to maintain weathertightness.

Ensure that ventilation holes in wall cavities remain clear.

Check face seal coatings and clean and recoat them as necessary. Many cladding materials rely on these coatings for weathertight performance, and failure to maintain them can result in water absorption and cladding failure.

Inspect critical sealant joints that are exposed, on many cladding systems, as they are crucial in preventing water from penetrating critical junctions.

Check critical flashings, such as window head flashings, to ensure that they deflect water over critical penetrations in the cladding.

Cleaning and recoating wall finishes.

Clear roof gutters, including internal gutters, to prevent water buildup and potential damage.

Inspect roof flashings, membranes, and claddings to ensure they are in good condition and functioning properly.

This home has recently been repainted and shows no issues with any of the junctions such as window joinery to cladding or any cracking to internal corners.



Photo 53

Northeast elevation.



Photo 54

Metrebox penetration. No head flashing. Sealed on all sides.



Photo 55

Wire penetration on the northwest wall above the garage is unsealed. Recommend sealing to stop water-ingress.



Photo 56

Southwest elevation. Recommend clearing the vegetation away from the cladding.



Photo 57

Garage door verandah is direct fixed with apron flashing and kick-outs installed.



Photo 58

Southeast elevation.



Photo 59

Example of a roof to wall junction. Fascia penetrates the cladding. Recommend monitoring and maintaining the sealer.



Photo 60

Update - 20/11/24 - Vendor has sealed around the wires.



Photo 61

Update - 20/11/24 - Vendor has installed vents to the cladding at the front door to allow airflow to the cavity.



Photo 62

Update - 20/11/24 - Vendor has removed the stones from against the cladding.

Exterior Joinery

Single-glazed aluminium joinery.

Coating - Powder coated.

Joinery rubbers - No visible issues at the time of inspection.

Aluminium - No visible issues at the time of the inspection.

Hardware - Functional at the time of the inspection.

Tracks, drainage channels & weep-holes - Clear of debris.

Reveals - Timber.

Finish - Painted. No visible issues at the time of the inspection.

Damage - None visible at the time of the inspection.

Cladding/soffit junctions - No visible issues at the time of the inspection.

Exterior flashings - Head flashings installed.

Scribers and/or seals - Sealed.

Entrance doors - Metal door and aluminium frame.

Garage joinery - Single-glazed.

Defects - None visible at the time of the inspection.

Recommendations:

Keep tracks, drainage channels & weep-holes clear of debris.



Photo 63

Example of aluminium joinery with timber reveals.



Photo 64

Example of typical joinery to cladding detail. Sealed around all sides. Vented cavity strip visible.

NON-STRUCTURAL SYSTEMS

The following is a summary of the non-structural systems in the dwelling:

System	Type
Driveway	Concrete
Boundary Fences	Timber and Wire
Paths	Concrete
Retaining Walls	Retaining walls
Deck	Timber
Patio	Patio
Gates	Timber framed and covering
Verandah/Porch	Verandah
Drainage	Gully-traps, stormwater risers, sumps
Heating cooling ventilation	Heat pumps and wood burner
Services	Services

Driveway

Plain concrete.
Saw cuts - Yes.
Cracking - None visible.

Recommendations:

General upkeep and maintenance of driveway by cleaning and keeping free of debris.



Photo 67

Asphalt and concrete driveway and parking area.

Boundary Fences

Painted timber rails with timber posts.
Condition of cladding - No visible issues.
Alignment - No visible issues.
Post and rail condition - No visible issues.
Average height - 1.3 metres.

Wire with timber posts.

Recommendations:

General upkeep and maintenance.



Photo 68

Timber post and rail fence located around the section.



Photo 69

Timber post and seven wire fence located on the northwest side of the property.

Paths

Plain concrete paths.

Recommendations:

To ensure safety and compliance, it is recommended to install handrails on any access steps in the home that have three or more steps.



Photo 70

Concrete path running along the southwest side of the dwelling and garage.



Photo 71

Concrete stairs with timber edging on the southwest side of the dwelling. Recommend installing a handrail.

Retaining Walls

Type - Timber.

Height of retaining wall - 200 mm - 1000 mm.

Rotation - No signs of.

Moisture - None visible at time of inspection.

Damage - No.

Recommendations:

Earth bound, visual inspection to exposed sections only.



Photo 72

Timber retaining wall located on the southwest side of the property.



Photo 73

Timber retaining wall located on part of the southeast and part of the northeast side of the property.

Deck

Timber deck over timber substrate with nail fixings.

Connected to dwelling - Yes.

Condition of visible timbers - Some rot visible.

Balustrade - Secure at the time of inspection.

Height of Balustrade - Over the recommended height of 1.0 metres for residential properties.

Defects - None visible at the time of the inspection.

Recommendations:

The timber deck structure on this property is directly connected to the dwelling. While there were no noticeable issues at the time of this inspection, this can cause a number of issues regarding moisture. Current building code regulations require a 15 mm gap between the decking and dwelling so as to stop water ponding/sitting in between and causing issues. Recommend monitoring this area for any issues and keeping it clear of debris.

To ensure safety and compliance, it is recommended to install handrails on any access steps in the home that have three or more steps.

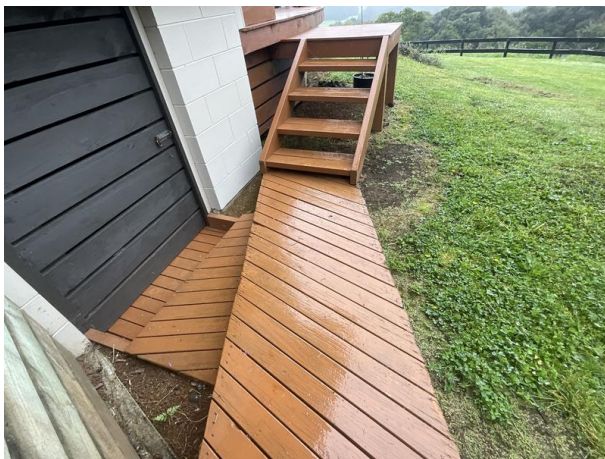


Photo 74

Timber decking platform and stairs leading to the subfloor and southeast deck on the southwest side of the dwelling. Recommend installing a handrail.

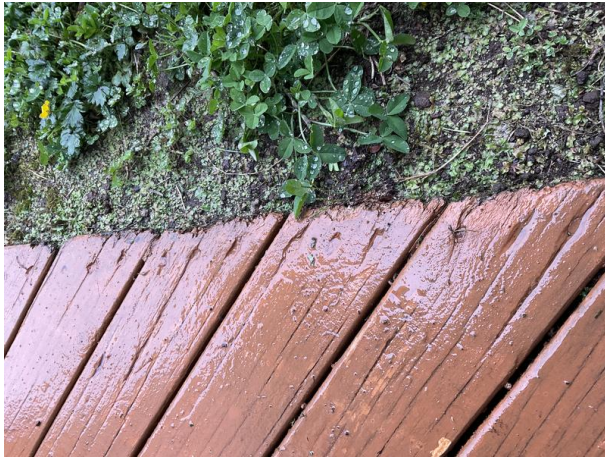


Photo 75

Visible rot on the ends of the timber platform where they have ground contact.

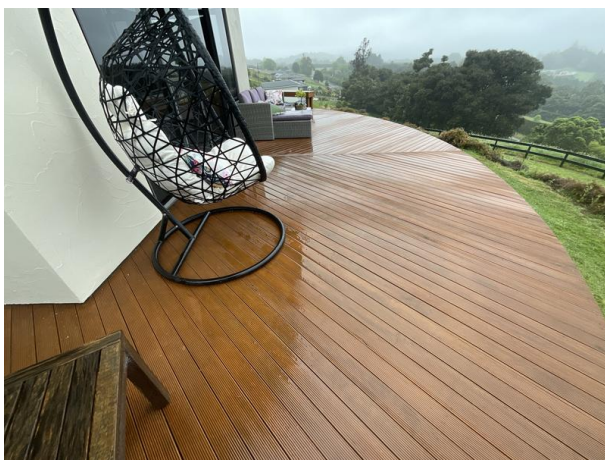


Photo 76

Timber deck off the dining, lounge and bedroom on the southeast side of the dwelling.



Photo 77

Large split/cut in one of the decking timbers outside the lounge.



Photo 78

Partially covered deck and stairs on the northeast side of the dwelling.



Photo 79

Timber and profiled metal privacy walls located on the northeast and northwest side of the deck.



Photo 80

Timber balustrade located on the south side of the deck.



Photo 81

Timber stairs off the northeast deck. Recommend installing a handrail.



Photo 82

Visible rot on the bottom of the stringer where it has ground contact.



Photo 83

Minimal clearance to the cladding. Recommend monitoring and keeping free of debris.

Patio

Concrete patio.
Tiled covered floor.

Recommendations:

The concrete patio has no clearance to the exterior cladding, While there was no issues observed during the inspection. This configuration may lead to moisture issues due to capillary action. It is advisable to regularly monitor this area for potential issues and ensure it remains free of debris.



Photo 84

Covered tiled patio and step off the front entrance and laundry on the northwest and southwest side of the dwelling.

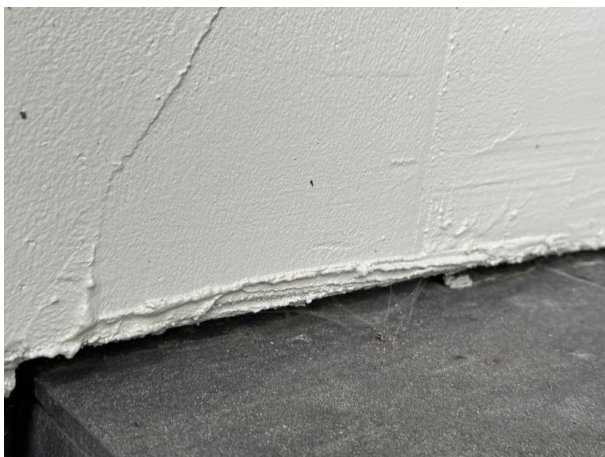


Photo 85

Minimal clearance to the cladding.

Gates

Side pedestrian gate.

Material - Timber.

Functional - Yes.

Hinges - Functional.

Latches - Functional.

Recommendations:

Recommend regular lubrication of the hinges and latch to maintain full function.



Photo 86

Timber gate located in the southwest fence.

Verandah/Porch

Timber framed verandah with profiled metal roof.

Recommendations:

General upkeep and maintenance.



Photo 87

Timber and profiled metal self-supporting verandah over the northeast deck.

Drainage

Gully traps. These were checked at the time of inspection where they were accessible.

Recommendations:

The general adequacy of site drainage is not included in the report. Comments on surface water drainage are limited as where there has been either little or no rainfall for a period of time, surface water drainage may appear to be adequate but then during periods of heavy rain, may be found to be inadequate. Any comments made in this section are relevant only in light of the conditions present at the time of inspection.

Keep vegetation and soils clear of drainage.



Photo 88

Gully relief located on the southwest side of the dwelling.

Heating cooling ventilation

Heat pump - Power connected at the time of inspection, full operation not tested.

Manufacturer - Daikin.

Location - Lounge, Bedroom and Living room.

Solid fuel burner.

Brand - Kent.

Location - Lounge.

Recommendations:

Service as per manufacturer's recommendations. Clean heat pump filters every 4 - 12 weeks depending on the placement of the unit.

It is recommended to have the wood burner flue cleaned and checked annually.



Photo 89

Heat pump units x 2 located on the roof.



Photo 90

Exterior heat pump unit located on the southeast deck.



Photo 91

Daikin Inverter heat pump located in the living room.



Photo 92

Daikin Inverter heat pump located in the lounge.



Photo 93

Kent Signature freestanding wood burner located in the lounge.



Photo 94

Daikin Inverter heat pump located in the bedroom three.

Services

Services/systems tested.

Fire warning & control systems - Tested - No.

Heating systems - Powered on only.

Central vacuum systems - Not applicable.

Ventilation systems - Not applicable.

Security systems - Tested - No.

Security cameras - Tested - No.

Electricity services - Tested - Yes.

Gas services - Tested - No.

Gas bottle storage - Tested - No.

Water services - Tested - Yes.

Hot water services - Tested - Yes.

Foul water services - Tested - Yes.

Grey water recycling system - Not applicable.

Rainwater recycling system - Not applicable.

Solar heating - Not applicable.

Solar power/panels/inverter - Not applicable.

Aerials & antennae - Tested - No.

Shading systems - Not applicable.

Telecommunications - Tested - No.

Lifts - Disabled access - Not applicable.

Water pump - Tested - Yes.

Stormwater soak pits - Tested - No.

Distribution board - Tested - No.

Header tank - Not applicable.

Communications hub - Not applicable.

Automatic garage door opener - Tested - Yes.

Ceiling fan - Not applicable.

Electrical

Electrical sockets - All accessible sockets and light switches throughout the house were tested at the time of the inspection - All sockets and light switches tested were operational.

Distribution board location - Garage.

Earth stake - Location - On the Northwest side of the dwelling.

Metre box - Location - On the Northwest side of the dwelling.

Electrical connection - Underground supply.

Water source - Rainwater.

Sewerage Disposal - On-site septic tank.

Water heating

Type - Mains pressure electric cylinder.

Capacity - 180L.

Approximate age - 2020.

Seismic bracing - Strapping.

Area serviced - Entire house.

Any visible defects - None visible.

Recommendations:

All services should be tested and maintained by certified professionals to the manufacturer's specifications.

Regular checks to ensure smoke detectors are functional.

Cylinders under and inside a building and minor storage

Prohibited Locations

Cylinders should not be installed in the following locations:

- (a) In an inaccessible location;
- (b) Under a stairway;
- (c) In a location where there would be no air movement across the cylinder;
- (d) Under a building, other than permitted in section 4.5 of AS/NZS 1596:2008
- (e) In a position that would obstruct egress from a building;
- (f) Buried in the ground, unless the cylinder and gas installation have been specifically designed for such a location; or
- (g) Where damage is likely to occur, unless adequate protection is provided.

Safety covers can be the barrier that restricts access to a small heated pool, such as a spa pool, where:

- the water surface area is 5m² or less
- the side walls of the pool are at least 760mm high above the adjacent floor
- the side walls cannot be easily climbed.

A safety cover must have signage indicating its child safety features, and must be able to:

- restrict entry of children under five years of age when closed
- withstand a foreseeable load
- be readily returned to the closed position.

Water tank maintenance

Regular maintenance is important to keep the water clean.

Every 3–6 months, inspect the gutters, leaf guards and drainpipes and clean as necessary.

Disconnect the pipes to the water tank first if possible.

Every 12 months, you should:

- inspect and clean the roof – disconnect the pipes to the water tank first if possible
- prune away any overhanging branches
- check tank inlets, covers and filters and clean as required
- check the tank exterior and pipes for structural integrity, leaks and seepage

– any damage should be repaired or the components replaced

- check for evidence of access by animals, birds or insects, the presence of algal growth and accumulated sediment. Sediment in the tank should be removed as required. This can be done without emptying the tank by siphoning, pumping, through a scour valve (if the tank has one) or in some cases by using a swimming pool vacuum cleaner. Where sludge cannot easily be removed, the tank may need to be emptied and cleaned. This is best done by professional tank cleaners.

Filters occasionally need replacing – how often depends on water use. For treatment systems, follow the manufacturer’s instructions on maintenance.



Photo 95

Metrebox located on the northwest side of the garage.



Photo 96

Earth peg located on the northwest side of the garage.



Photo 97

Clothesline located on the southwest side of the dwelling.



Photo 98

Clothesline attaches to a timber block attached to the dwelling.



Photo 99

Septic tank breather located on the southwest side of the property.



Photo 100

Water tank and pump located on the southwest side of the property.



Photo 101

Subfloor hatch located on the southwest side of the dwelling.



Photo 102

Covered Spa Pool located in the northeast deck.



Photo 103

Clothesline located on the covered northeastern deck.



Photo 104

Smoke alarms located in the living room, lounge, hallway and outside bedroom three.



Photo 105

Distribution board located in garage.



Photo 106

Hot water cylinder located in the laundry cupboard.



Photo 107

Security alarm panel located in the front entrance.

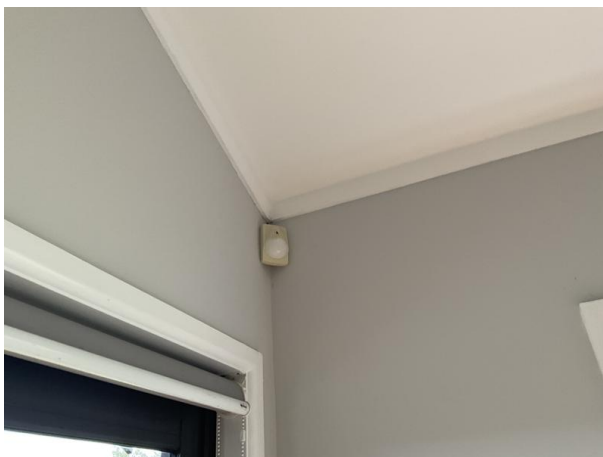


Photo 108

Example of a security sensor located through throughout the dwelling.



Photo 109

Gas bottle located in the subfloor. Refer to the recommendations.



Photo 110

Example of electrical sockets tested throughout the dwelling.

CONCLUSION

The data and statistical information presented in this report were gathered from reliable, commonly utilized industry sources for survey purposes. While we have made every effort to ensure the accuracy of the information, in many cases, we cannot directly verify the information at its source and therefore cannot guarantee its accuracy.

We recommend checking the records of the BCA: Building Consent Authority to ensure that all necessary permits, consents, and Code Compliance Certificates are obtained and that the materials and finishes match the approved plans. It is also important to confirm that the floor layout matches the plans.

The age of the buildings was taken into consideration when the inspection and reporting was carried out. The survey of the condition of the building elements and components was carried out on the basis of 'the expected condition of the materials' considering their use, location and age.

Generally, the interior of the house appears in a tidy condition. No immediate repairs are required, and any necessary repairs can be carried out as part of normal maintenance. Minor scuffs, marks and small areas of damage are evident which are to be expected and can be attended to as part of normal maintenance.

Relevant trade people, such as painters and carpenters should be engaged to remediate works that are outside of the homeowner's skill level, to any areas as deemed required.

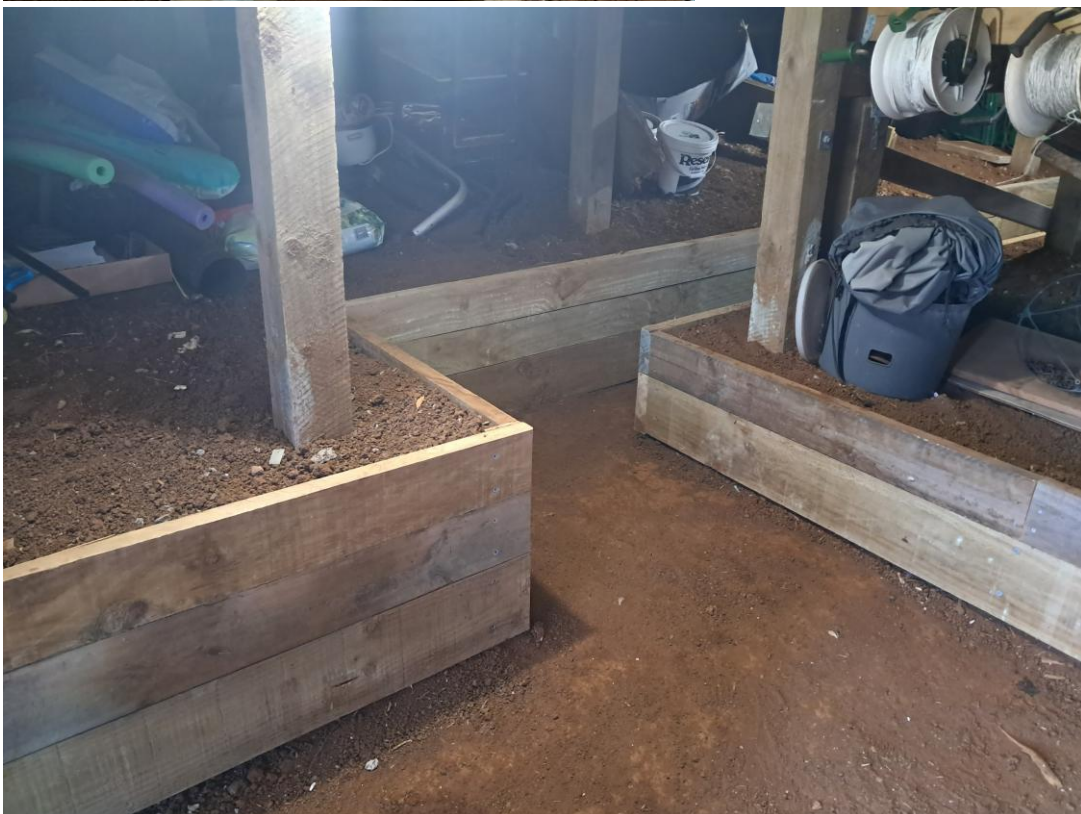
There are areas as noted within the report where maintenance is recommended.

Floor levels were checked using a self-levelling laser, all axis checked were within our building code of +/-10mm.

The dwelling is structurally sound and fit for purpose.

Addendum

Work completed since report issued



STATEMENT OF PASSING OVER

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