

APPLICATIONS

XMT23/111157

DESCRIPTION:
BCON Registration of Exempt Works - Farm type pole shed (p)

XMT23/111157



Te Kaunihera-ā-Rohe o Ngāmotu

New Plymouth District Council

Registration of Exempt Building Work No: XMT23/111157

Applicant

Applicant: NAKI BUILDERS LTD
Application received: 21 February 2023
Email Address: info@nakibuilders.co.nz

Phone No (Bus): 06-765 4114
Phone No (Pvt): 021 118 0604

Project Location

Street address: 253 Lower Pitone Road PITONE, NEW
PLYMOUTH 4374
Property ID: 112296
Legal description: LOT 1 DP 479356

1. This registration of exempt building and building work is a means of providing a report on file for future reference and property enquiries.

- Items considered by this registration include: POLE TYPE STORAGE SHED

2. We confirm that the proposed work falls within the scope of Schedule 1 of the Building Act 2004.

A building consent shall not be required in respect of this work however all building work must be carried out in accordance with the New Zealand Building Code.

3. Compliance with other legislation

All building work, whether it needs a building consent or is considered exempt must still comply with the Building Code and other relevant legislation including but not limited too;

- Plumbers, Gasfitters, and Drainlayers Act 2006
- Gas Act 1992
- Gas (Safety and Measurement) Regulations 2010
- Electricity Act 1992
- Electricity (Safety) Regulations 2010
- Resource Management Act 1991
- Fire and Emergency New Zealand Act 2017
- Health and Safety at Work Act 2015
- Local Government Act 2002

4. Sign Off



Greg Dunlop
Building Consents Officer

Date issued: 11 April 2023



**RECORD OF TITLE
UNDER LAND TRANSFER ACT 2017
FREEHOLD
Search Copy**




R. W. Moir
Registrar-General
of Land

Identifier 667833
Land Registration District Taranaki
Date Issued 17 October 2014
Prior References
443414

This application is subject to
resource consent conditions

DEM23/100410

Estate Fee Simple
Area 1.5596 hectares more or less
Legal Description Lot 1 Deposited Plan 479356
Registered Owners
Gayle Dorothy Barkla and Gary James Barkla

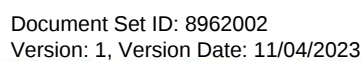
Interests

Land Covenant in Easement Instrument 8163073.3 - 27.5.2009 at 3:24 pm
8163073.4 Esplanade Strip Instrument pursuant to Section 232 Resource Management Act 1991 - 27.5.2009 at 3:24 pm
9837115.1 Consent Notice pursuant to Section 221 Resource Management Act 1991 - 17.10.2014 at 12:06 pm

NPDC EXEMPT WORKS

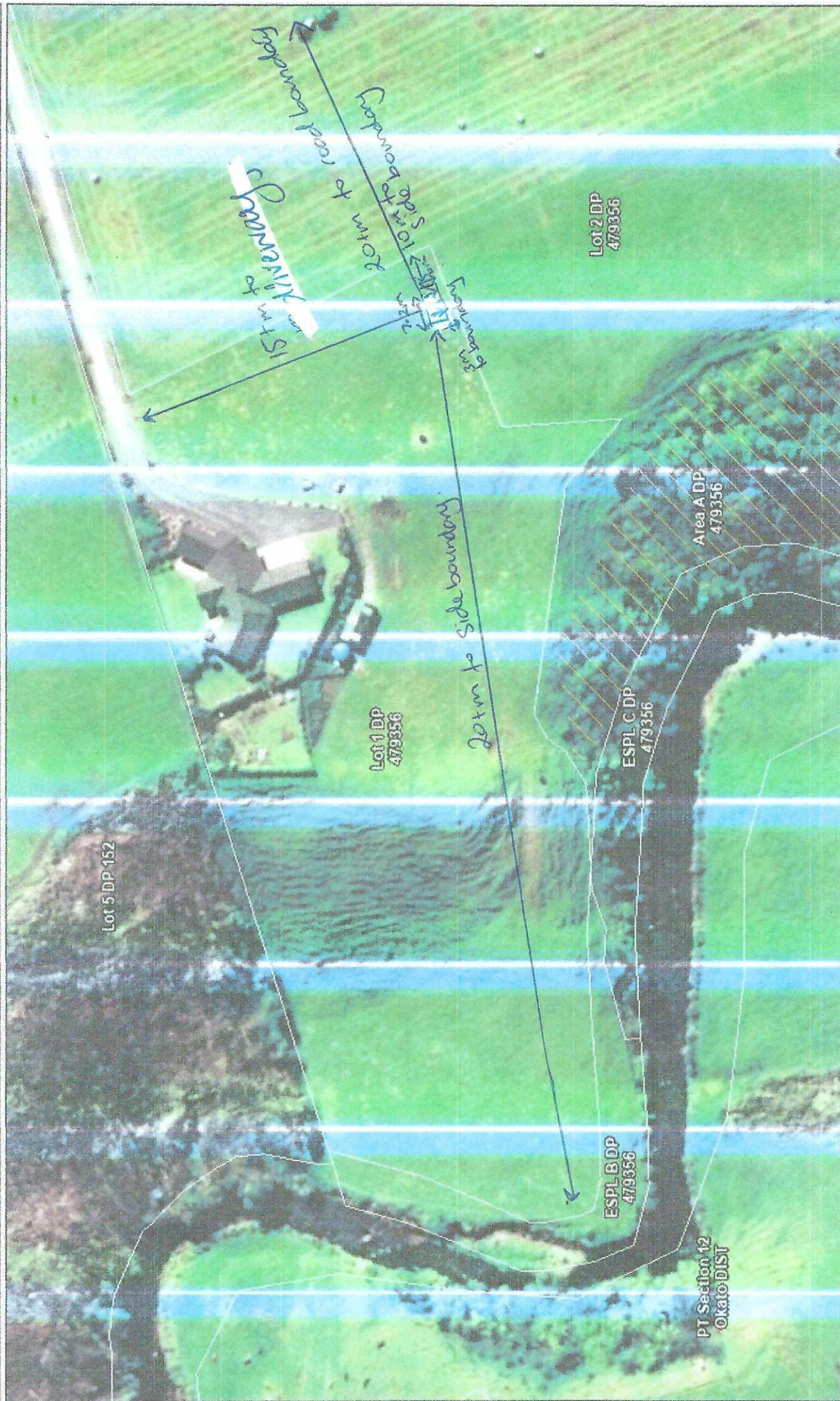
This Exempt Works is approved under the
Building Act and is limited to new work only as
shown on these plans and related specifications

Approved: Greg Dunlop Date: 11/04/2023





G & G Barkla



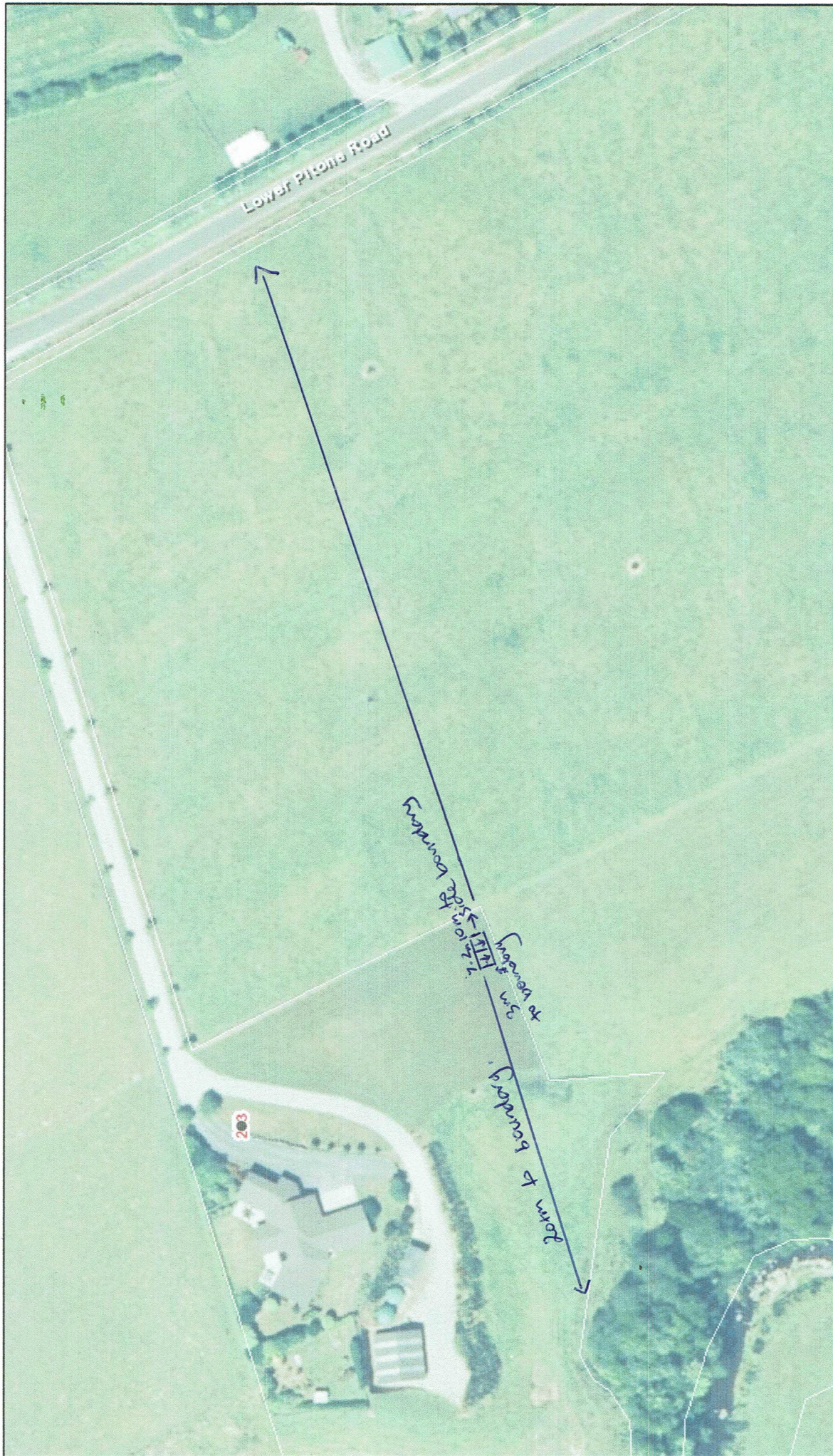
NPDC

Date: 20 December, 2022

COPYRIGHT: Cadastral information sourced from Land Information New Zealand data. Crown Copyright Reserved.

DISCLAIMER: NPDC assumes no responsibility for the completeness or accuracy of the data displayed on the plot. To be used for indicative purposes only.

Map Author:



February 21, 2023

Addresses

Railway



Taranaki Regional boundary

PropertyRating

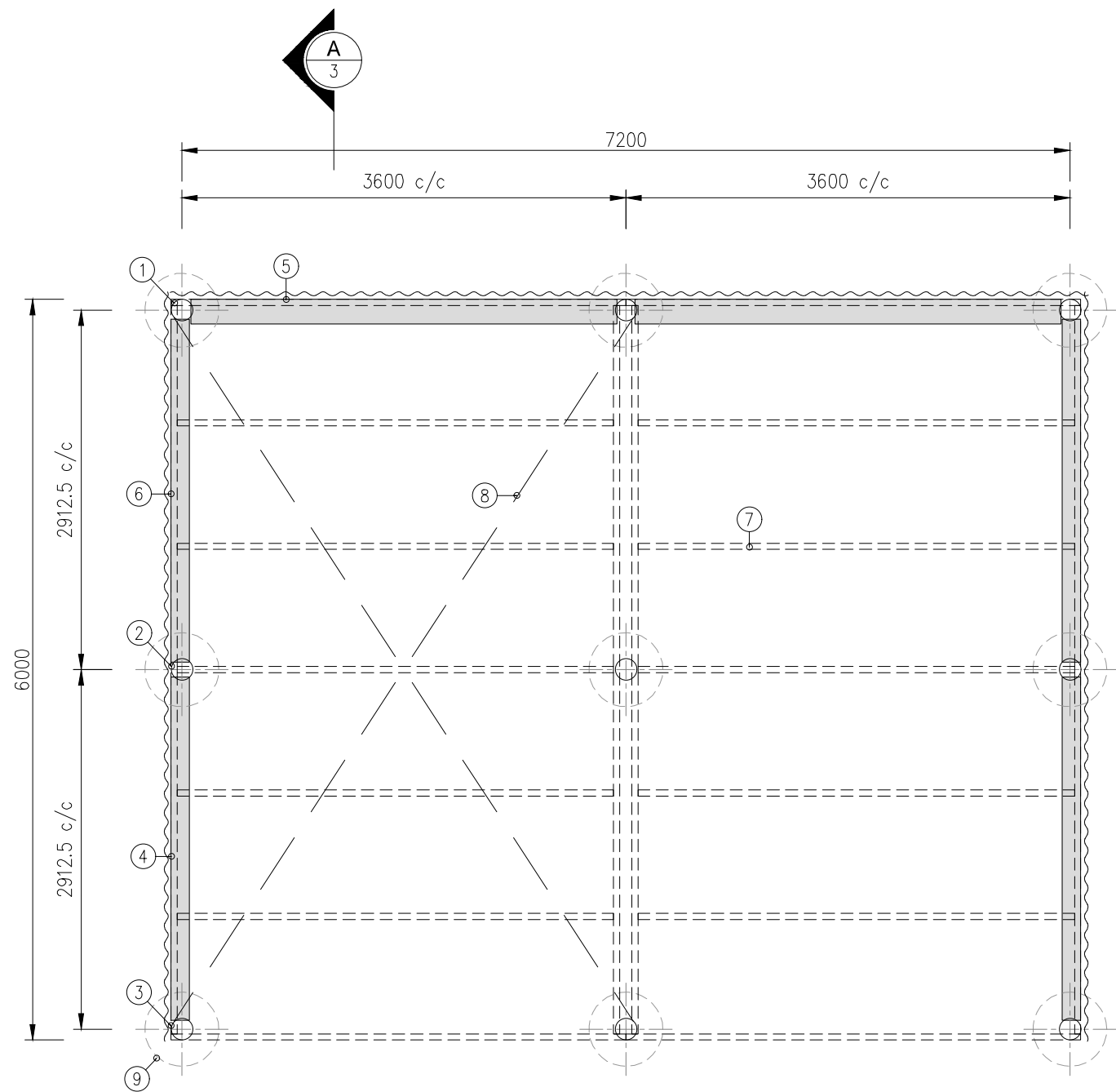
Road Names

1:1,128

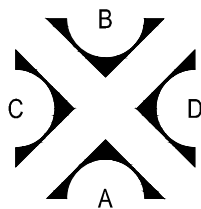
0 0.01 0.01 0.03 0.03 mi

0 0.01 0.01 0.03 0.06 km

LINZ, CORAX, LINZ, Eagle Technology, Land Information New Zealand, GEBCO, Community maps contributors



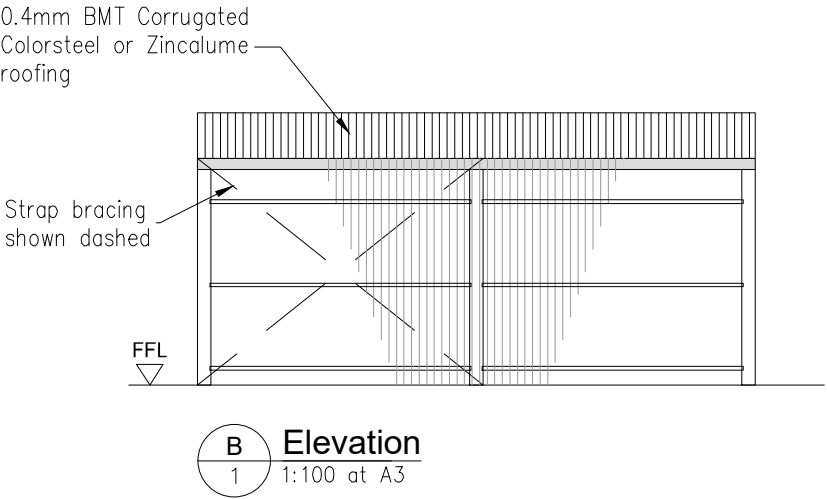
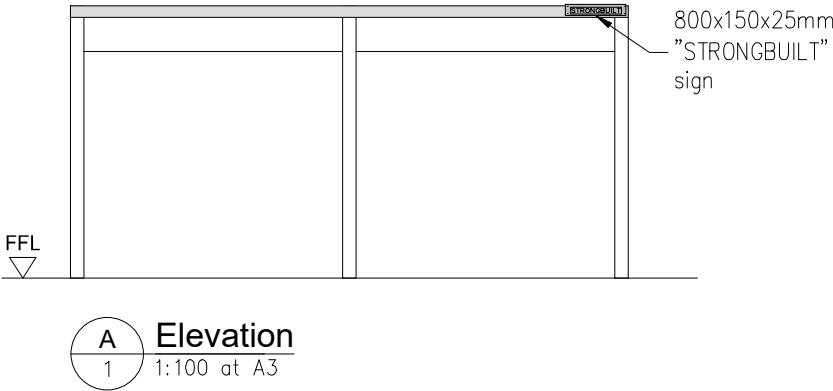
Plan View
Scale 1:50 at A3



No:	Item	Size		No:	Item	Size
1	Rear poles	ø175 SED		8	Roof plane bracing	Ref. note
2	Centre poles	ø175 SED		9	Concrete footings	ø600
3	Front poles	ø175 SED				
4	Rafters	2/200x50				
5	Rear girts	200x50	190x45 P/G			
6	Side girts	150x50	140x45 P/G			
7	Purlins	200x50	190x45 P/G			

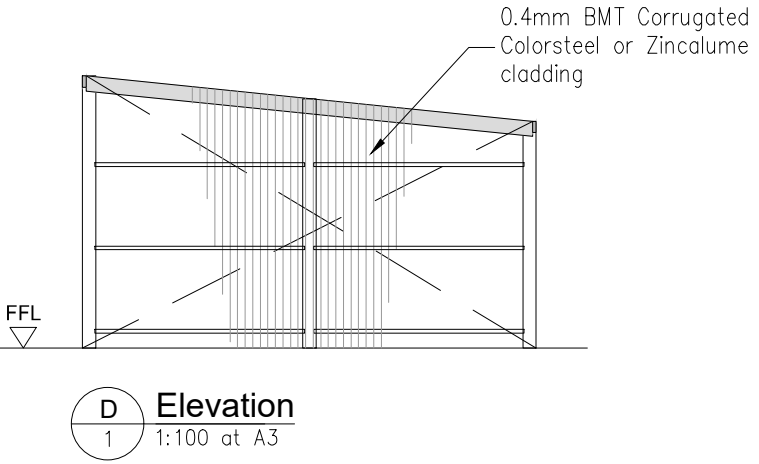
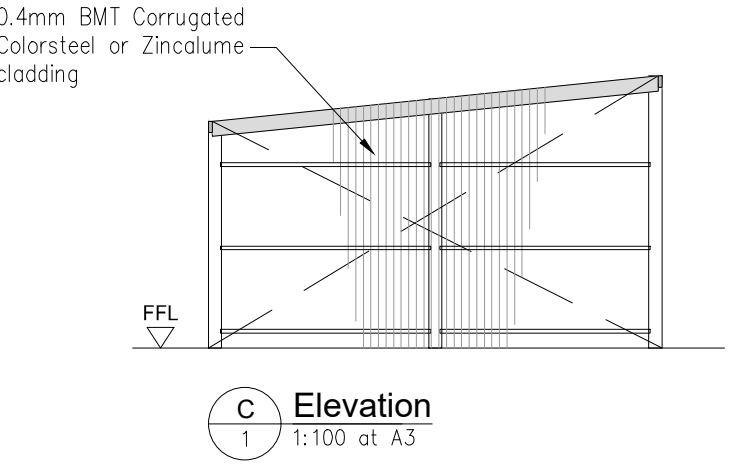
Notes:

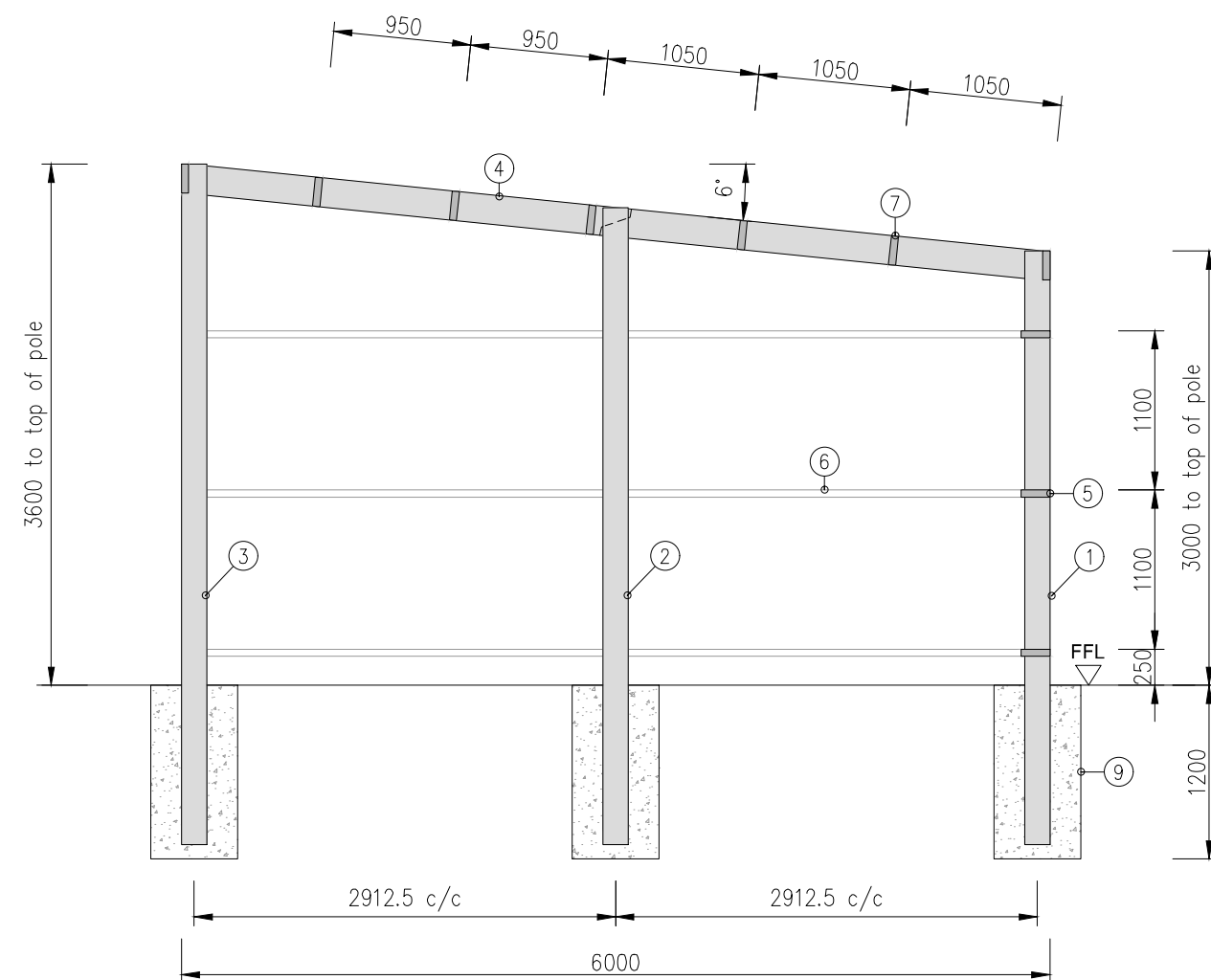
- Purlins @ 1000 crs max. Girts @ 1100 crs max.
- Single rafters to each end.
- Roof plane bracing: Pryda 50mm Maxi Strap fixed to purlins and rafters with 12/30x3.15ø nails each end and two nails to each intermediate purlin.
- All framing timber SG8 unless otherwise specified.



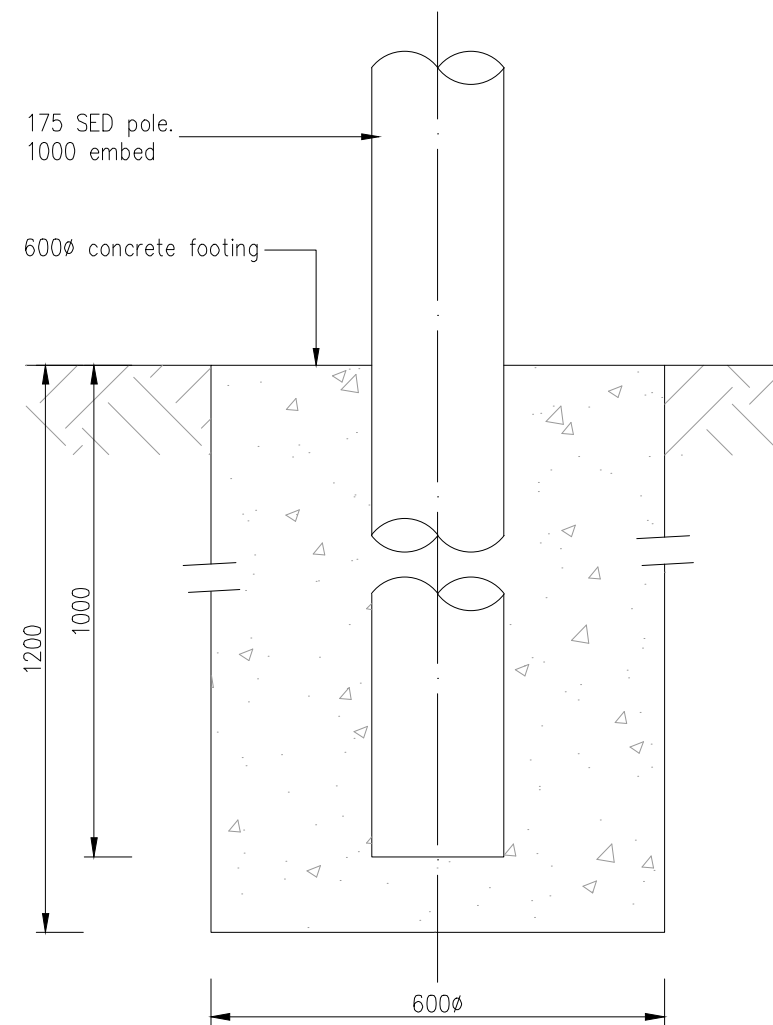
Notes:

1. Wall Bracing: Pryda 25mm Strap Brace fixed to girts with 12/30x3.15Ø nails each end and two nails to each intermediate girt.
2. All cladding/roofing to be fixed in accordance with manufacturers specifications.



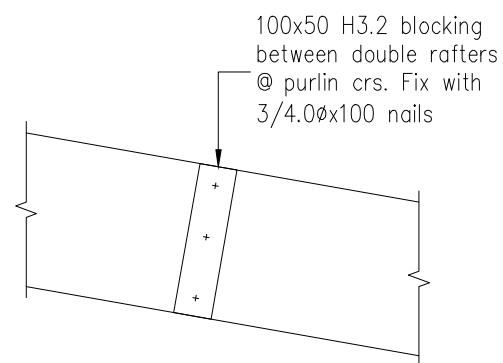


A-A Section
1:50 at A3



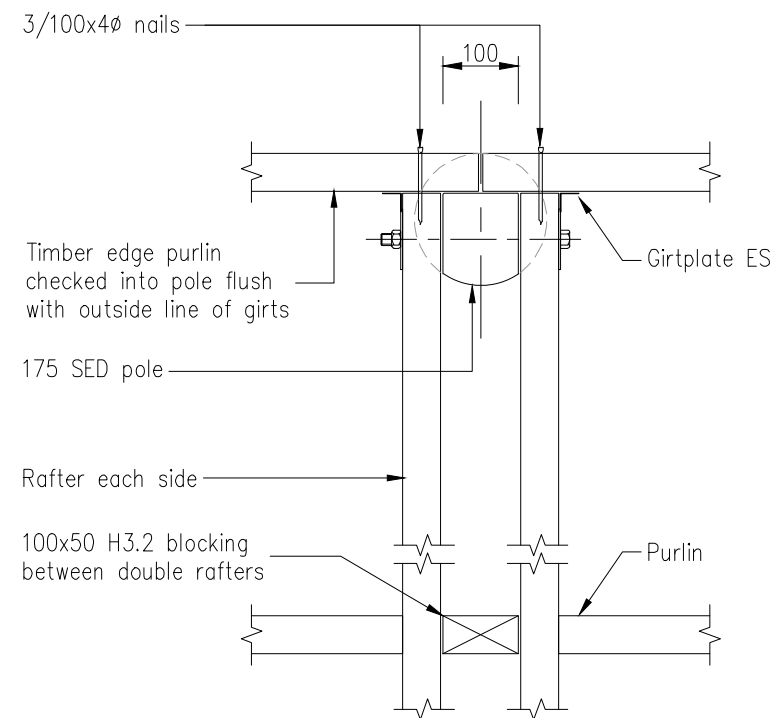
Pole Footing Detail

1:10 at A3



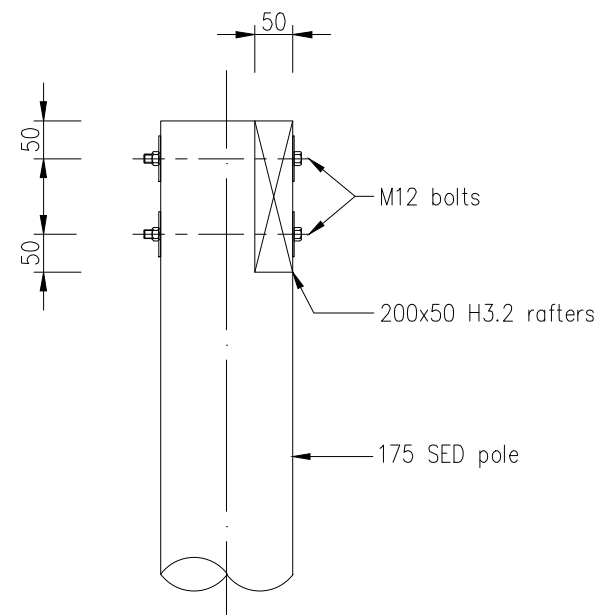
Detail - Solid Blocking

1:10 at A3



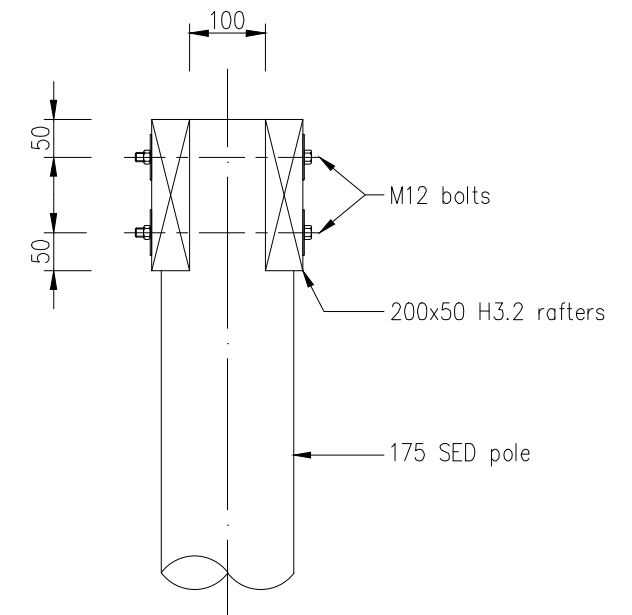
Detail - Double Rafter To Pole - Plan

1:10 at A3



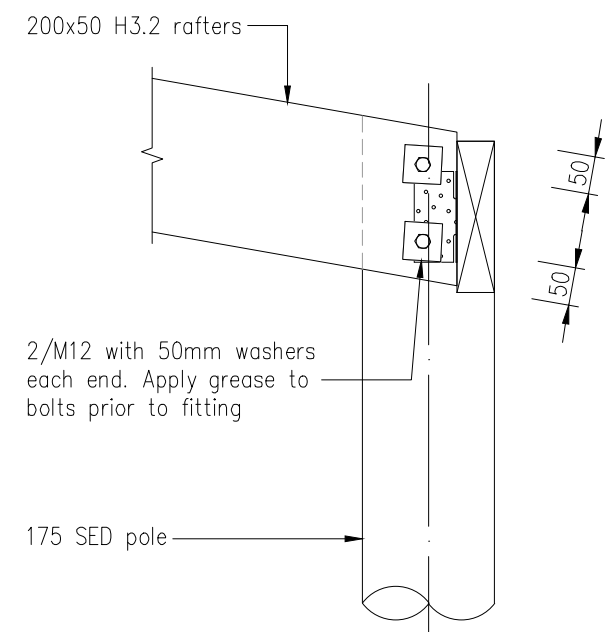
Detail - Outer Rafter To Pole

1:10 at A3



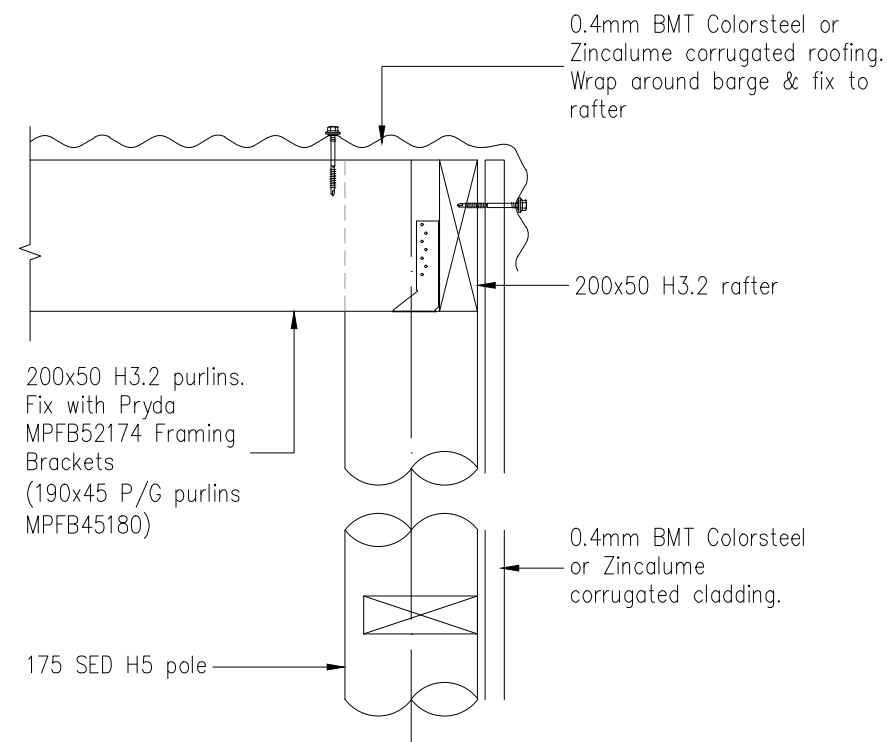
Detail - Double Rafter To Pole - Section

1:10 at A3

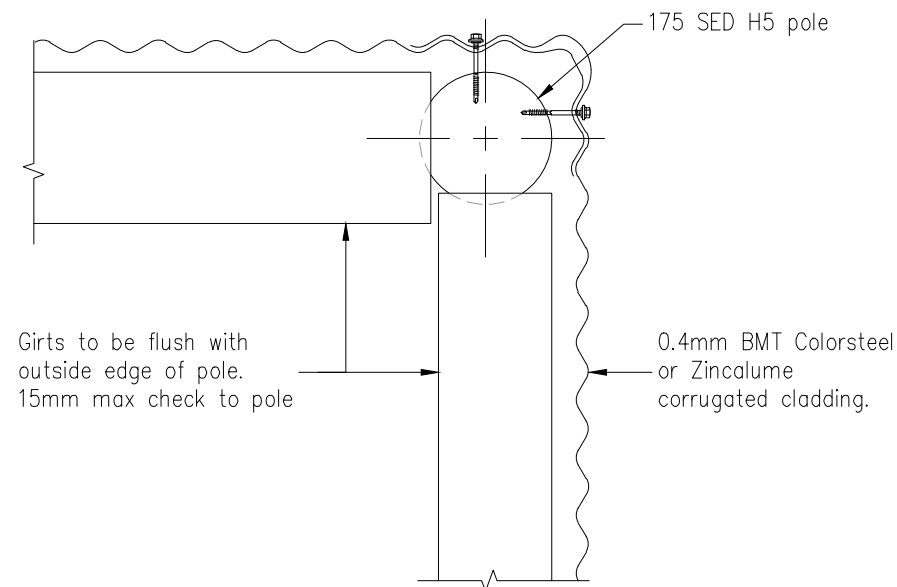


Detail - Rafter To Pole Fixing

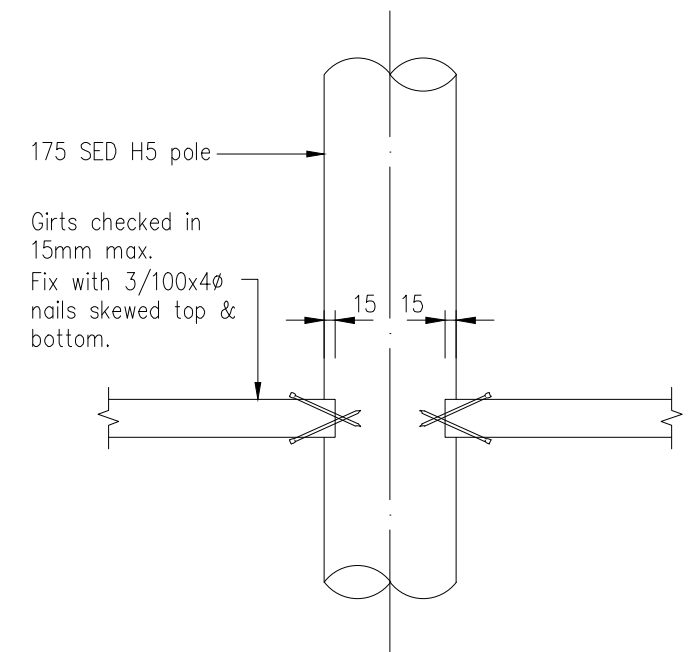
1:10 at A3



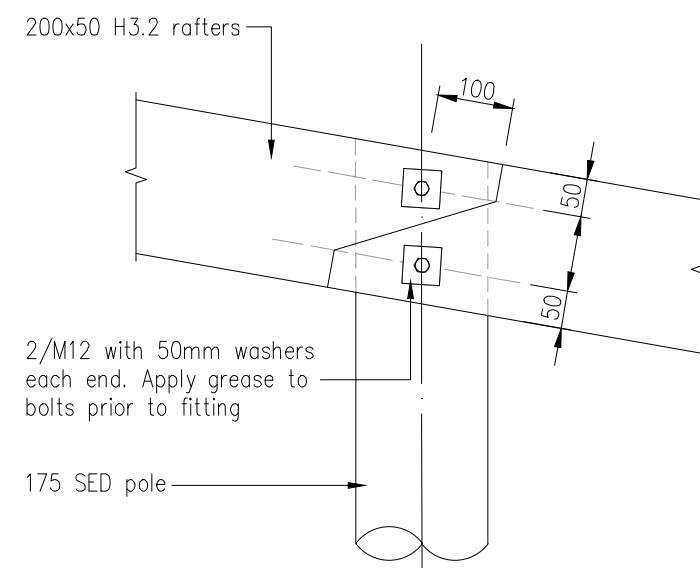
Detail - Barge & Purlin Fixing
1:10 at A3



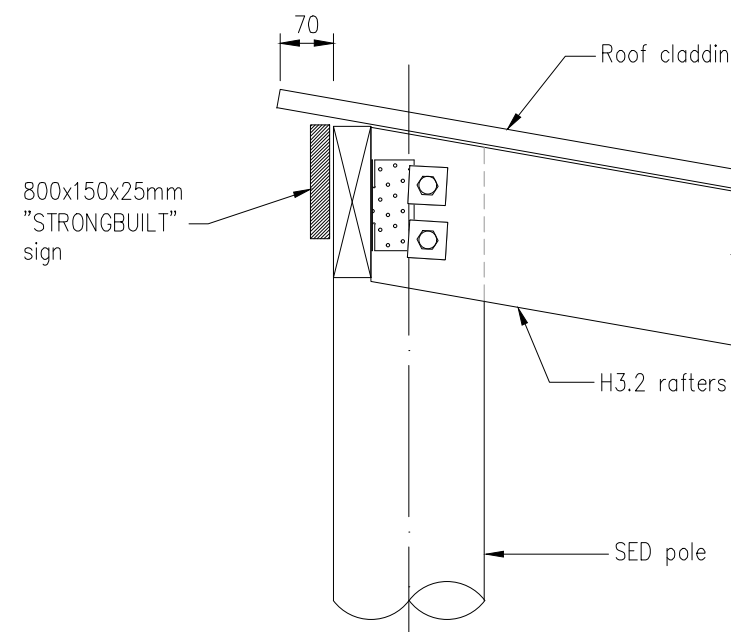
Plan Detail - Girt Fixing At Corner
1:10 at A3



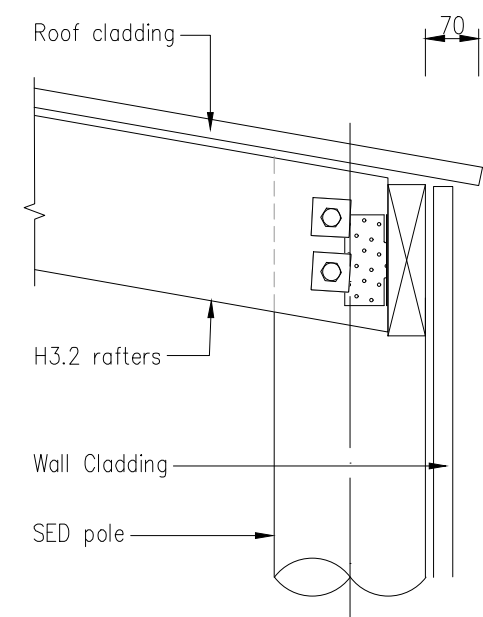
Detail - Girt To Pole Fixing
1:10 at A3



Detail - Rafter Splice
1:10 at A3



Detail - Lean To Apex Detail
1:10 at A3



Detail - Eaves Cladding Detail
1:10 at A3

SPECIFICATION NOTES

1 Scope

It should be noted that this is a material specification only and that in regard to workmanship, accuracy and quality the requirements of the New Zealand Building Code and appropriate New Zealand Standards apply.

2 Loads

The building is designed to the following criteria:
Loadings in accordance with ANZS1170 and a "Very High" wind speed in accordance with NZS 3604.
Importance level type 1 (ANZS1170) building, therefore non residential.
Snow loading Sg = 1.0 kPa.

3 Site Soils

The soil must be "Good Ground" as defined in NZS3604. This shall have a minimum ultimate bearing capacity of 300 Kpa. This needs to be confirmed during construction.
If there is any doubt as to the adequacy of the subsoils a suitably qualified person must be consulted and his/her instructions implemented prior to continuing construction.
Footing depth shall be taken from natural ground level and excludes any uncertified fill.

4 Concrete

All concrete shall develop minimum 28 day cylinder strength of 17.5MPa.

5 Timber

All timber used is to be in accordance with the 50 years durability performance of NZS 3602 and at least of the following types and qualities:-
Structural grade SG8 Radiata Pine:
All round timber to be Goldpine High density. Treated H5.
All sawn timber treated H3.2
Grading is to be NZS 3631 or NZS 3618.
All dimensions referred to are to be rough sawn timber, unless otherwise noted P/G (Planer Gauge).
For allowable moisture content refer Table 4. NZS 3602
All LVL timber shall be H1.2 glueline treated with a surface spray or H3.1 Azole LOSP. All LVL shall be Carter Holt Harvey hySPAN LVL13 unless otherwise stated otherwise.

6 Cladding

Supply and fit 0.40mm "Zincalume" or "Colorsteel" corrugated profile cladding to the new building, all as shown in accordance with the manufacturer's specification.
Provide and fix 0.55 "Zincalume" or "Colorsteel" flashings. Flash the ridge, parapets, barges, gutters, etc. all as shown and as required to properly finish and weatherproof all roofs and metal clad walls.
Flash all sides of all doors, building junctions, etc. to completely weatherproof the detail. Take care to only use like metals in contact or close proximity.

7 Hardware

For proprietary fixings, brackets etc use Pryda products or equivalent. Consult engineer if use of another manufacturers product, other than Pryda, is desired. Grade 304 or 316 stainless steel fixings and fasteners shall be used except in "sheltered" locations (open to the air, but not rain washed), in zones B and C. In those situations the fixings may comprise galvanised steel. In zone D use Grade 304 or 316 stainless steel fixings and fastenings. In geothermal areas all fixings require SED, as described in section 4 of NZS3604

8 Reference Documents

Throughout this specification, reference is made to various New Zealand Building Code Compliance Documents, acceptable solutions and verification methods for criteria and/or methods used to establish compliance with the New Zealand Building Code. Reference is made to various New Zealand standards. The latest edition of these standards (including amendment and provisional editions) at the date of this specification applies.
It is the responsibility of the contractor to be familiar with the materials and expert in the techniques quoted in these publications. Documents cited both directly and within cited publications are deemed to form part of this specification.



PRODUCER STATEMENT – PS1 DESIGN

Our Ref: STR22948 for G Barkla

Issued By: **Silvester Clark Ltd** trading as **LHT Design**
(Design Firm)

To: **Goldpine Industries Ltd**
(Owner/Developer)

To be supplied to: **New Plymouth District Council**
(Building Consent Authority)

In respect of: **Goldpine Standard Shed For:**
2B03630036RW6DVH (3 POLE)
(Description of Building Work)

At: **253 Lower Pitone Road, Pitone, 4374**
(address)

Legal Description: **Lot:** **DP:** **SO:**

LHT Design has been engaged by **Goldpine Industries Ltd** to provide structural engineering design services in respect of **Clause B1** of the Building Code for:

☒ All or ☐ Part Only (as specified in the attachment to this statement), of the proposed building work.

The design carried out by **LHT Design** has been prepared in accordance with:

☒ Compliance documents issued by the Ministry of Business Innovation & Employment **B1/VM1** or
☐ Alternative solution as per attached

The proposed building work covered by this Producer Statement is described on the engineering drawings titled: **2B03630036RW6DVH (3 POLE)**

and numbered **Sheets 1 -6** together with the specification and other documents attached to this Producer Statement.

On behalf of **LHT Design**, and subject to:

- (i) Site verification of the following design assumptions: 300 kPa Ultimate Bearing Capacity
- (ii) All proprietary products meeting their performance specification requirements

I believe on reasonable grounds that a) the building, if constructed in accordance with the drawings and specifications will comply with the relevant provisions of the Building Code and that b), the persons who have undertaken the design have the necessary competency to do so.

Signature:  Dated: 08/11/22

Alan Thompson on behalf of **Silvester Clark Ltd** trading as **LHT Design**
BE, CMEngNZ, CPEng
CPEng: 51649
Member of EngNZ & ACENZ

The Design Firm issuing this statement holds a current policy of Professional Indemnity Insurance no less than \$200,000.00*.
The Design Firm is a member of ACENZ.

*Note: This statement shall only be relied upon by the Building Consent Authority named above. Liability under this statement accrues to the Design Firm only. The total maximum amount of damages payable arising from this statement and all other statements provided to the Building Consent Authority in relation to this building work, whether in contract, tort or otherwise (including negligence), is limited to the sum of \$200,000.00**

*This form is to accompany **Form 2 of the Building (Forms) Regulations 2004** for the application of a Building Consent.*

This form is based on the ACENZ/Engineering NZ PS1 October 2013 (reissued October 2017).

GUIDANCE ON USE OF PRODUCER STATEMENTS

Producer statements were first introduced with the Building Act 1992. The producer statements were developed by a combined task committee consisting of members of the New Zealand Institute of Architects, Institution of Professional Engineers New Zealand, Association of Consulting Engineers New Zealand in consultation with the Building Officials Institute of New Zealand. The original suite of producer statements has been revised at the date of this form as a result of enactment of the Building Act (2004) by these organisations to ensure standard use within the industry. The producer statement system is intended to provide Building Consent Authorities (BCAs) with reasonable grounds for the issue of a Building Consent or a Code Compliance Certificate, without having to duplicate design or construction checking undertaken by others.

PS1 - Design	Intended for use by a suitably qualified independent design professional in circumstances where the BCA accepts a producer statement for establishing reasonable grounds to issue a Building Consent;
PS2 - Design Review	Intended for use by a suitably qualified independent design professional where the BCA accepts an independent design professional's review as the basis for establishing reasonable grounds to issue a Building Consent;
PS3 - Construction	Forms commonly used as a certificate of completion of building work are Schedule 6 of NZS 3910:2013 or Schedules E1/E2 of NZIA's SCC 2011 ²
PS4 - Construction Review	Intended for use by a suitably qualified independent design professional who undertakes construction monitoring of the building works where the BCA requests a producer statement prior to issuing a Code Compliance Certificate. This must be accompanied by a statement of completion of building work (Schedule 6).

The following guidelines are provided by ACENZ, Engineering NZ and NZIA to interpret the Producer Statement.

Competence of Design Professional

This statement is made by a Design Firm that has undertaken a contract of services for the services named, and is signed by a person authorised by that firm to verify the processes within the firm and competence of its designers.

A competent design professional will have a professional qualification and proven current competence through registration on a national competence based register, either as a Chartered Professional Engineer (CPEng) or a Registered Architect. Membership of a professional body, such as Engineering New Zealand (formerly IPENZ) or the New Zealand Institute of Architects (NZIA), provides additional assurance of the designer's standing within the profession. If the design firm is a member of the Association of Consulting Engineers New Zealand (ACENZ), this provides additional assurance about the standing of the firm.

Persons or firms meeting these criteria satisfy the term "suitably qualified independent design professional".

* Professional Indemnity Insurance

As part of membership requirements, ACENZ requires all member firms to hold Professional Indemnity Insurance to a minimum level. The PI insurance minimum stated on the front of this form reflects standard, small projects. If the parties deem this inappropriate for large projects the minimum may be up to \$500,000.

Professional Services during Construction Phase

There are several levels of service which a Design Firm may provide during the construction phase of a project (CM1CM5) 3 (OL1-OL4) 2. The Building Consent Authority is encouraged to require that the service to be provided by the Design Firm is appropriate for the project concerned.

Requirement to provide Producer Statement PS4

Building Consent Authorities should ensure that the applicant is aware of any requirement for producer statements for the construction phase of building work at the time the building consent is issued as no design professional should be expected to provide a producer statement unless such a requirement forms part of the Design Firm's engagement.

Attached Particulars

Attached particulars referred to in this producer statement refer to supplementary information appended to the producer statement.

Refer Also:

1 *Conditions of Contract for Building & Civil Engineering Construction*

NZS 3910: 2003

2 *NZIA Standard Conditions of Contract SCC 2007 (1st edition)*

3 *Guideline on the Briefing & Engagement for Consulting Engineering Services (ACENZ/IPENZ 2004)*

www.acenz.org.nz
www.engineeringnz.org.nz
www.nzia.co.nz