

Sharalyn Fraser *Agency*

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CODE COMPLIANCE CERTIFICATE

Section 95 Building Act 2004

Consent No: 120254



The Building			
Street address of building:	42 Field Way, Waikanae Beach	Building name:	Existing Garage Sleep out
Current, Lawfully established, use:	Garage Sleep out	Location of building within site/block number:	
Level/unit number:		Intended life of the building if 50 years or less:	
Legal description of land where building is located:	LOT 29 DP 22152 CT 939/65	Year first constructed:	
The Owner			
Name of owner:	GBC Properties Limited	Street address /registered office:	
Contact person:		Phone numbers:	
Mailing address:	9 St Austell Close Camborne Porirua 5026	Landline:	04 233 6199
		Mobile:	029 2266 434
		Daytime:	04 233 6199
Email address:		After hours:	
Website:		Facsimile number:	
First point of contact for communications with the Kāpiti Coast District Council:			
As above			
Building Work			
Building Consent No:	120254	Issued by:	Kāpiti Coast District Council
Project Description:	Minor plumbing works. Fitting of shower, basin & toilet.		

Code Compliance

The building consent authority named below is satisfied, on reasonable grounds, that:

- (a) the building work complies with the building consent.

Russell Brook – Team Leader – Site Inspections

On behalf of Kāpiti Coast District Council

Date: 26 August 2014



Code Compliance Certificate Number: 10402

(Section 57(3) (a), Building Act 1991)

Territorial Authority: Kapiti Coast District Council Building Consent Number: 020043

Project Information Memorandum Number: 011751

Resource Consent Number:

Project		Project Location	
Project Type:	Alteration	Owner:	Jane Patterson
Intended Use:	Dwelling / Fire	Street Address	42 Fieldway
Lifespan:	Specified as 50 Years		
Being Stag	1 of an Intended 1 Stages.		Waikanae
Builder	Hamish Sweetman	Legal Lot #	29
Plumber	Ralph Plumbing	Legal DP	22152
Drainlayer	N/A		
Other			

This certificate is issued by Stephen Paul Stradling (currently registered as a building certifier)
This certificate does not apply to electrical wiring or gas fitting work, which is covered by the installer's own certificate.

This is a final code compliance certificate issued in respect of all the building work under the above building consent.

COPY FOR YOUR RECORDS

Signed by or for and on behalf of the building certifier

S. P. Stradling

Tuesday, 10 December 2002



CODE COMPLIANCE CERTIFICATE

SECTION 43(3), BUILDING ACT 1991

APPLICATION

JANE L PATTERSON	No.	001713
C/- VERSATILE BUILDINGS	Issue date	27/07/01
PO BOX 54060		
MANA	Overseer	Barrie McLennan

PROJECT

Description	Alterations, Repairs or Extensions Being Stage 1 of an intended 1 Stage NEW GARAGE/SLEEPOUT/WORKSHOP
Intended Life	Indefinite, but not less than 50 years
Intended Use	RESIDENTIAL
Estimated Value	\$18,800
Location	42 FIELD WAY, WAIKANAЕ
Legal Description	LOT 29 DP 22152
Valuation No.	1491029400

This is a final Code Compliance Certificate issued in respect of all the building work under the above building consent. This is the final Code Compliance Certificate issued in respect of all the building work under the above building consent. This certificate is issued subject to the following conditions:

The property owner must follow and carry out the manufacturers prescribed maintenance procedures.

Signed for and on behalf of the Kapiti Coast District Council:

Name:

Simon Goh

Date: *27/7/01*

FOR COUNCIL USE:

DEPARTMENT	TICK FOR REFERRAL	COMMENTS	APPROVING OFFICER/ DATE
Site Inspection	☒	Refer to Form 241 for completion of site inspection & sign off this form when completed.	<i>O. Am</i> 17.5.2012
Resource Consents (refer PIM Sheet)	☐		
Plumbing and Drainage	☒		
Building	☒	no Building as Intend will be completed under schedule 1	<i>22/5/2012</i> <i>23.5.2012</i>
Fire Design	☐		
Compliance Schedule	☐		
Environmental Health	☐		
Other.....	☐		
NOTES:			



No PIM

Building Consent No.	120254
Building Project	Minor Plumbing, fitting of shower basin & toilet
Location (Site Address)	42 Highway Wairere Beach
Building Category	Circle appropriate category (0) 1 <u>2</u> 3

Application workflow checklist		
	Name & Signature	Date
	Note # A signature confirms that the application contains sufficient information to enable compliance with the building code to be assessed	
# Note: Checked, date stamped and initialled by TO/BCO. Select and circle appropriate category above & identify allocation to appropriate technical groups and if required to go to "site inspection" AP-WI-001	<i>Len Sill</i>	11.5.2012
Payment taken and receipted (details entered inside this cover sheet) by CSO CS-WI-008		
Data entered and invoiced by CSO CS-WI-008	<i>Barbara</i>	11/5/12
Pages numbered by CSO CS-WI-008	<i>Len Sill</i>	11.5.2012
BC Application and documentation scanned, checked & status update by CSO CS-WI-009	<i>Barbara</i>	11/5/12
BC Application signed over to BC CS-WI-009	<i>Barbara</i>	11/5/12
Application reviewed by Technical Officers who sign off at back of this form AP-WI-026 & AP-WI-009	<i>Simon Copp</i> <i>Len Sill</i>	22/5/2012 23.5.2012
Once Technical review complete, passed to CS for Plan Production and Invoicing AP-WI-009	<i>Len Sill</i>	23.5.2012
CSO checks data entry input, including required inspections CS-WI-012		
BC, plans and other appropriate paperwork produced by CSO CS-WI-012		
BC, Approved plans and appropriate paperwork sent to applicant or agent with receipt by CSO CS-WI-012	<i>Barbara</i>	25/5/12
Inspection envelope prepared by CSO with endorsed plans and other appropriate paperwork and filed to cabinet. CS-WI-012		

CONSENT DATA INPUT REQUIREMENTS

REQUIRED INSPECTIONS					
Foundation/Piles	32	✓	Lapse and cancellation after 12mths of consent	23	Installation of solid fuel appliance (wood burner) comply and secured
Block	2		Engineer design specific components	23A	Second hand wood burner certified
Pre-Slab (Plumbing)	3		Foundations to solid bearing of 200mm	25	✓ Contractor to leave site clean and clear
Pre-Slab (Building)	4		NZS3604 as acceptable solution in terms of NZ Building Code	30	To comply with Food Hygiene Regulations 1974
Sub-Floor	6		Not approved as Habitable Room	31	As in CCZ, all fixings need to be stainless steel
Drainage	9		Note and comply with all endorsements on approved plans	33	Approval only given for relocation purposes
Pre-Wrap	10		Names and Registration of plumber and drain-layer required	34	If cladding to have pre-finished colour coating, to be appropriate for coastal conditions
Pre-Clad	11		Concealed soil and TV pipes and gas flues only allowed in ducts or minimum framed	38	Window sashes on upper levels less than 760mm above floor to have stays fixed
✓ Pre-lining (Plumbing)	12	✓	Hot & Cold water pipes tested to 1500kPa	39	Construction of playground to comply with NZS5828
Wet areas - membrane	13		Roof stormwater to be connected to existing	40	Fencing, gates, doors directly leading to swimming pool to comply with Pool Act 1987
Post Lining	14		Copper water pipes not permitted	43	Textured systems should be applied by licensed, trained applicators – supply warranty
Brick Veneer	15		Owner/builder to ensure prop foundation height will allow satisfactory connection	44	Exterior cladding system to be completed and inspected prior to internal lining
Retaining Wall	21		Minimum FFL to comply with NZS3604		
Final (Dwelling)					
✓ Final (Commercial & Multi-resd)					

STANDARD CONSENT CONDITIONS	
37	
72	
80	

NON-STANDARD ADDENDA

FOR OFFICE USE ONLY

FEES		APPLICATION FEE
Building Fee	\$327.00	\$367.00
Sewer Connection	\$.....	RECEIPT NO
Water Connection	\$.....	DATE.....
Vehicle Crossing	\$.....	INVOICE NO
Damage Deposit	\$.....	38395
Code Compliance Administration	\$.....	DATE.....
Building Research Levy	\$.....	409069
Development Levy	\$.....	DATE.....
DBH Levy	\$.....	11/5/12
Compliance Schedule	\$.....	RECEIPT NO
Digital Storage Fee	\$40.00	409069
Certificate of Title Charge	\$.....	DATE.....
Photocopying	\$.....	11/5/12
SUBTOTAL	\$.....	BUILDING CONSENT
Less Fee Paid	\$.....	NUMBER
TOTAL	\$367.00	120254
GST INCLUDED	\$.....	DATE ISSUED
		11/5/12
		AUTHORISATION FOR REFUND OF DEPOSIT
		Deposit held = \$.....
		Cost to Repair Damage Caused During Construction = \$.....
		Total Balance to be Refunded
		Authority Number:
		Authorised: DATE:

KAPITI COAST DC
CUSTOMER SERVICES
PARAPARAUMU

-----EFTPOS-----

TERMINAL 75382701

TIME 11MAY 09:51

TRAN 000222 CHEQUE

EFTPOS

CARD5096

PURCHASE NZ\$ 367.00

TOTAL NZ\$ 367.00

ACCEPTED

DUPLICATE RECEIPT

INVOICE NUM 000165

MERCHANT COPY

OGST 51-860-608

Received with thanks by 3/01
KAPITI COAST DISTRICT COUNCIL

11-05-12 13:03 Receipt no.409069

COPY *COPY* *COPY*

DR BC120254

MS ANNIE GILMORE (GB 367.00-

Ms Annie Gilmore (GBC Properties): 9 St

CQ EFT

Ms Annie Gilmore (GB 367.00



Building consent 120254

Section 51, Building Act 2004

The building

Street address of building: 42 Field Way, Waikanae Beach

Legal description of land where building is located: LOT 29 DP 22152 CT 939/65

Valuation number: 1491029400

Building name: Existing Garage Sleepout

Location of building within site/block number:

Level/unit number:

The owner

Name of owner: Ms Annie Gilmore (GBC Properties)

Contact person:

Mailing address: 9 St Austell Close, Camborne, PORIRUA

Street address/registered office:

Phone number: Landline: 04 233 6199

Mobile: 029 2266 434

Daytime: 04 233 6199

After hours:

Facsimile number:

Email address:

Website:

First point of contact for communications with the council/building consent authority:

As above

Building work

The following building work is authorised by this building consent:

Minor plumbing works. Fitting of shower, basin & toilet & internal wall to be built under schedule 1 - not part of this consent.

Garage/Sleepout

This building consent is issued under section 51 of the Building Act 2004. This building consent does not relieve the owner of the building (or proposed building) of any duty or responsibility under any other Act relating to or affecting the building (or proposed building).

This building consent also does not permit the construction, alteration, demolition, or removal of the building (or proposed building) if that construction, alteration, demolition, or removal would be in breach of any other Act.

Compliance schedule

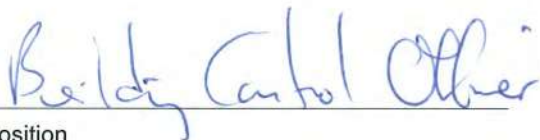
A compliance schedule is not required for the building.

Attachments

Copies of the following documents are attached to this building consent:

A handwritten signature in blue ink, appearing to be 'M. J. [unclear]', written above a horizontal line.

Signature

A handwritten signature in blue ink, reading 'Building Control Officer', written above a horizontal line.

Position

On behalf of: KAPITI COAST DISTRICT COUNCIL

Date: 23/05/12

25 May 2012

Ms Annie Gilmore (GBC Properties)
9 St Austell Close
Camborne
PORIRUA

Dear Sir/Madam

Approval of Building Consent: 120254

Description: Minor plumbing works. Fitting of shower, basin & toilet & internal wall to be built under schedule 1 - not part of this consent.
Location: 42 Field Way, Waikanae Beach
Legal Description: LOT 29 DP 22152 CT 939/65

I am pleased to inform you that the above building consent application has been approved. The building consent documents have been issued and are enclosed.

Before starting any work please read ALL the building consent documents carefully and in full so that you as the owner understand the conditions under which the consent has been issued.

As the owner you are also responsible for the following:

- ensuring that building work starts within 12 months of the approval of the building consent and that work progresses at a reasonable pace.
- ensuring that all required inspections are completed and that a Code Compliance Certificate is obtained once the work has been completed – please be aware that before a Code Compliance Certificate is issued, the building work must comply with the Building Act 2004 and the Building Code as at the date of final inspection.
- that no work with noisy equipment is to be carried out before 7.30 a.m. or after 6 p.m. Monday to Saturday. During the week there may be workers on site from 6.30 a.m. quietly preparing for work. Work with noisy equipment is not permitted on Sundays and public holidays.
- ensuring that no damage occurs to public property, for example footpaths or retaining structures. Should damage occur you will be required to pay for any repairs.
- ensuring that if you wish to make any changes to the approved building consent, then an amendment to the building consent will need to be lodged with us.

If you have any questions regarding your building consent or your responsibilities, please contact Kapiti Coast District Council on (04) 9045 617.

Addenda to Application

Application

Ms Annie Gilmore (GBC Properties) 9 St Austell Close Camborne PORIRUA	No.	120254
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Project

Description	Other outbuildings eg shed, workshop, sleepout Being Stage 1 of an intended 1 Stages Minor plumbing works. Fitting of shower, basin & toilet & internal wall to be built under schedule 1 - not part of
Intended Life	Indefinite, but not less than 50 years
Intended Use	Garage/Sleepout
Estimated Value	\$5,000
Location	42 Field Way, Waikanae Beach
Legal Description	LOT 29 DP 22152 CT 939/65
Valuation No.	1491029400

Plumber: JIH Plumbing (James Hoult) 4 Puketai Place, Pukerua Bay :
0272 604 581

Electrician: Ray Tidy 14 Cottonwood Close, Paraparaumu : 021 996 629

General Requirements

- a) The Building Inspector is to be given 24 hours' notice before carrying out the following inspections:
 - 1. Preline
 - 2. Final Inspection
- b) To arrange for any of the above required inspections by Building Control Team, please contact the Call Centre on (04) 296 4700 between the hours of 8am and 5pm.

1. **LAPSE AND CANCELLATION OF BUILDING CONSENT.** A building consent shall lapse and be of no effect if the building work concerned has not been commenced within 12 calendar months after the date of issue. Or within such further period as the territorial authority allows.
2. Both hot and cold water pipes are to be tested to 1500 KPA pressure.
3. Contractor to leave site clear of all demolition materials and in a tidy state.

I have read the foregoing addenda to application, and the Owner/Builder/Authorised Person hereby agrees to comply with them.

**OWNER/BUILDER/
AUTHORISED PERSON**

Date: _____

1. **LAPSE AND CANCELLATION OF BUILDING CONSENT.** A building consent shall lapse and be of no effect if the building work concerned has not been commenced within 12 calendar months after the date of issue. Or within such further period as the territorial authority allows.
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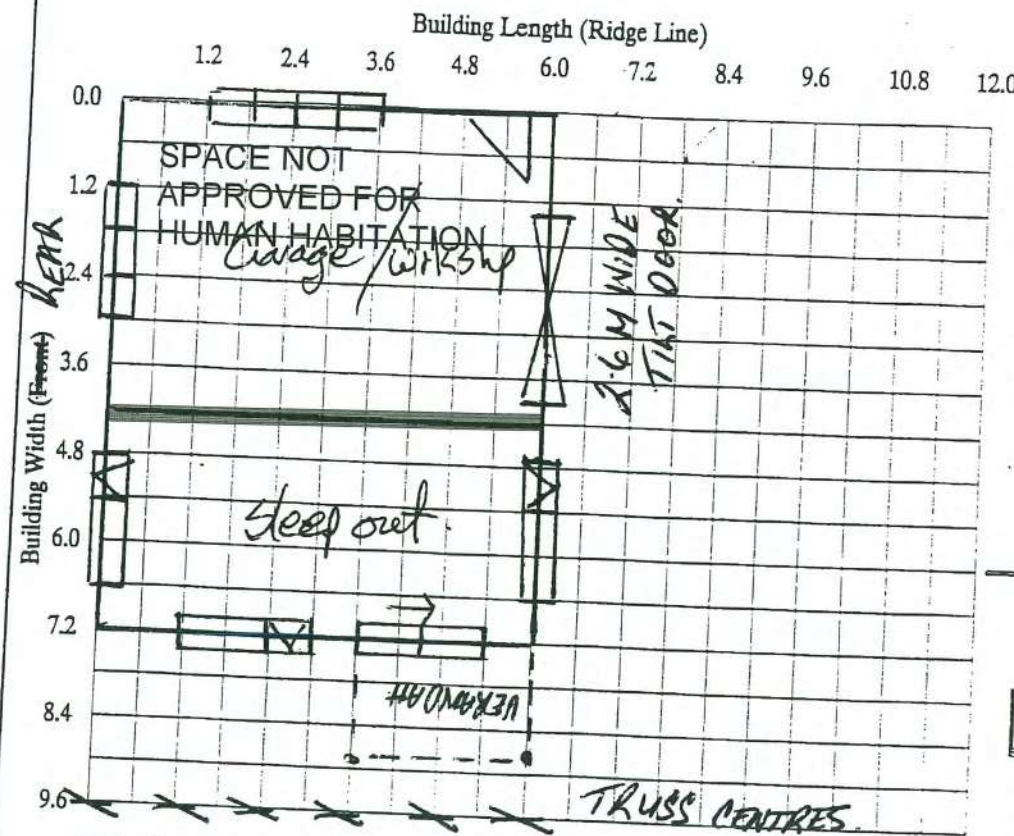
**OWNER/BUILDER/
AUTHORISED PERSON**

Date: _____

Existing Plan

RECEIVED
11 MAY 2012
BY: 10001

CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO STARTING • ALL DIMENSIONS IN MM UNLESS STATED



FLOOR PLAN 1:100

FLOOR AREA: 43.2 m²

GENERAL

All work to comply with the New Zealand Building Code. This specification and drawings shall be read in conjunction with Gangnail Producer Statement for Design, dated 19 March, 1998.

FOUNDATIONS

Concrete floor shall be 17.5 MPA, 100mm thick. Footing as detailed.

WALL FRAMING

All timber shall be machine gauged and treated to T.P.A. specification H1 or Chemical Free Dry frame. Studs shall be 90x35 dry frame at 600 c/s and housed into plates with dwangs housed into studs. Lay two ply malthoid d.p.c. under all plates. Refer Gangnail Producer Statement CH3900/107 for timber grade options and specification.

ROOF FRAMING

Purlins shall be 90mm x 45mm on edge at 1500 max c/s fixed to Gangnail 15 degree trusses at centres shown below. Fix purlins and trusses as detailed in Gangnail Producer Statement for Design.

SIDE ENTRY OPENING LINTELS

Refer Soon Loo Consultants Ltd Producer Statement for Design, dated February 1997, for side entry lintels table below relates to Low Wind, up to 0.3 Snow (Kpa). Refer Producer Statement for others.

Clear Span	Truss Span: 6000	Truss Span: 6600 & 7200	Truss Span: 7800-9000
Max. span 2.7	170 x 45 LVL Lintel	170 x 45 LVL Lintel	200 x 45 LVL Lintel
Max. span 3.0	240 x 45 LVL Lintel	240 x 45 LVL Lintel	240 x 45 LVL Lintel
Max. span 4.5	240 x 45 LVL Lintel	240 x 45 LVL Lintel	240 x 63 LVL Lintel
Max. span 4.8	240 x 45 LVL Lintel	240 x 63 LVL Lintel	300 x 45 LVL Lintel

Trusses butted to lintel with 90 x 35 lumberlock joist hanger.

ROOFING

Shall be 0.44 B.M.T. steel longrun rib roofing, fixed with 65/75mm weatherseal spiral shank nails, over building paper on Ultra-Violet fast lashing.

WALL CLADDING

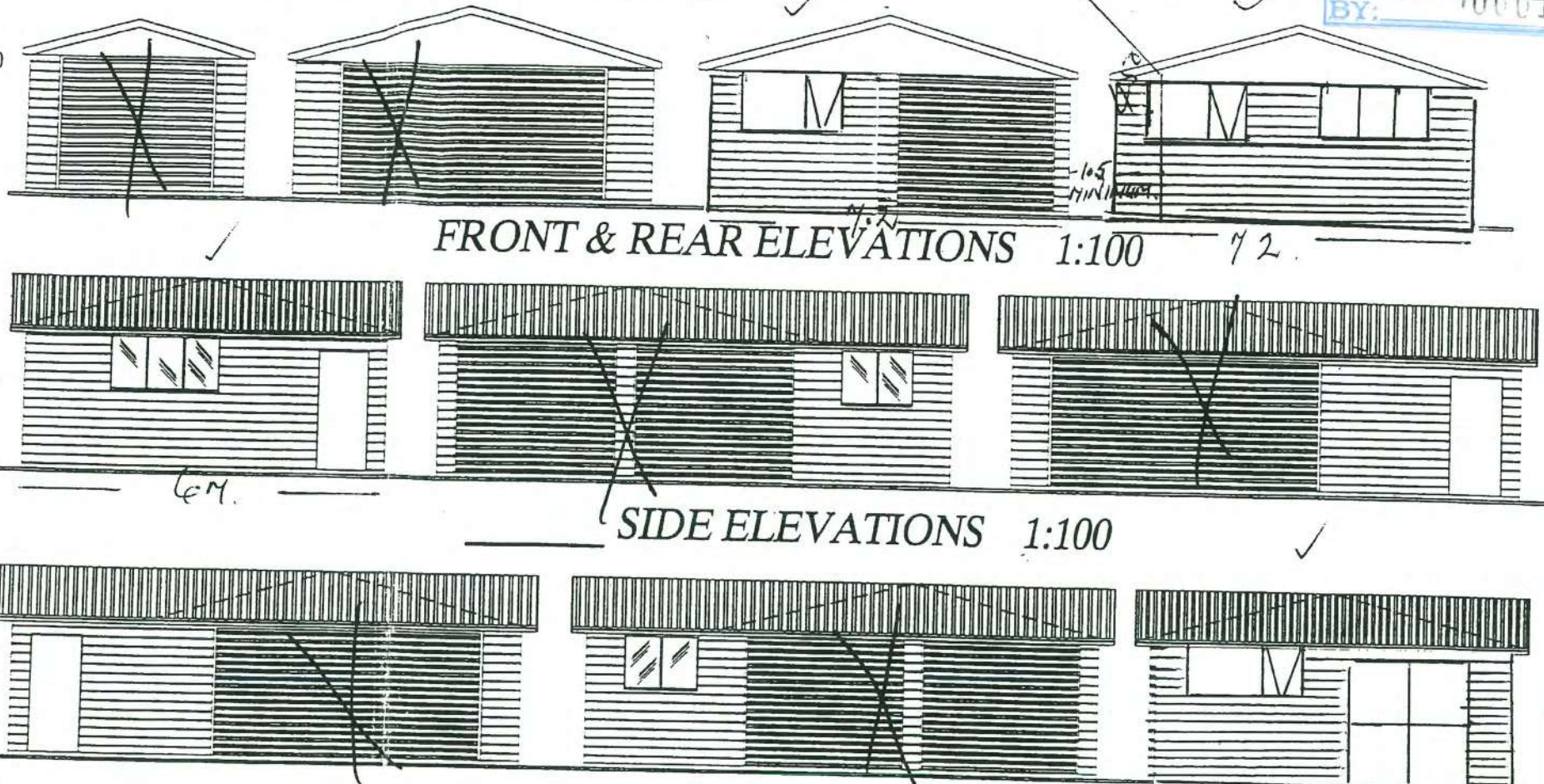
Shall be **SUPERCLAD COLORSTEEL**.
Fix in accordance with Gangnail Producer Statement for Design.

ROOF BRACING

For all buildings fix Lumberlok roof plane strap bracing in accordance with Gangnail Producer Statement for Design.

WALL BRACING

For Superclad 300 horizontal weatherboard fix 22 x 22 x 1.2 metal angle bracing in accordance with NZS 3604. For steel sheet weatherboard cladding no metal angle bracing is required, refer Gangnail producer statement.



FRONT & REAR ELEVATIONS 1:100

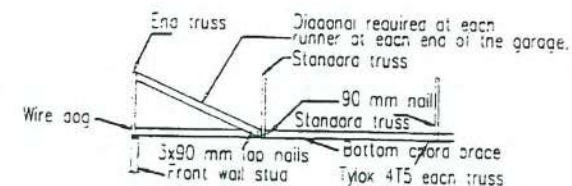
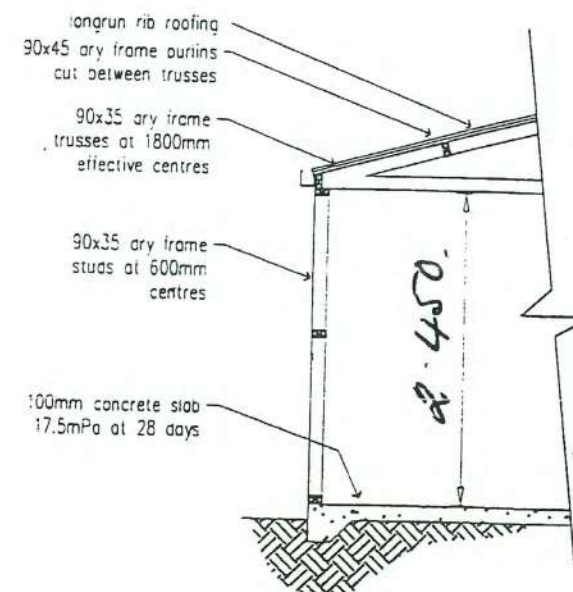
SIDE ELEVATIONS 1:100

SIDE ELEVATIONS 1:100

APPROVED
BY PLUMBING
& DRAINAGE
simon copp 14/12/00
Officer

APPROVED
BY BUILDING
P. Wilkinson.
Officer

APPROVED 14/12/00



BOTTOM CHORD BRACE DETAIL
For all widths 5.4m wide & over

FOUNDATION DETAIL

ON ATTACHED SHEET

TYPICAL SECTION

DETAILS

VERSATILE
BUILDINGS

HEAD OFFICE:
112 WATERLOO ROAD

PH: (03) 348-8704
FAX: (03) 348-9093

PROJECT TITLE

PATERSON

Proposed Garage For:

42 FELDWAY WAIKANA

DRAWING TITLE

VERSATILE GARAGE

Note: Construction to comply with
the New Zealand Building Code 1992
REFER TO PRODUCER STATEMENT

SCALE: 1:100
DATE: Sep '97
DRAWN: B.O'Connor
FILE: VG-1301A

SHEET: 1
OF:

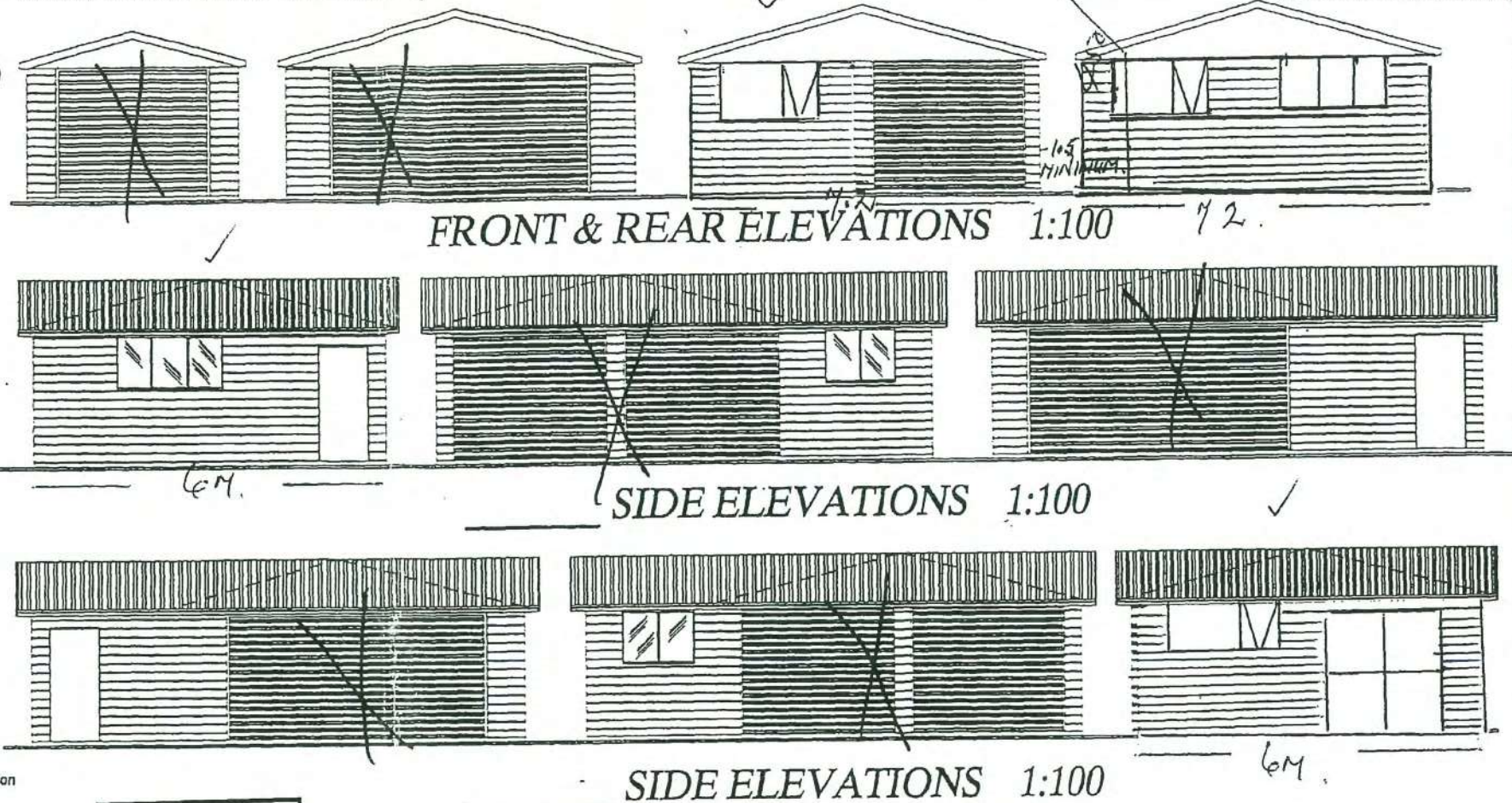
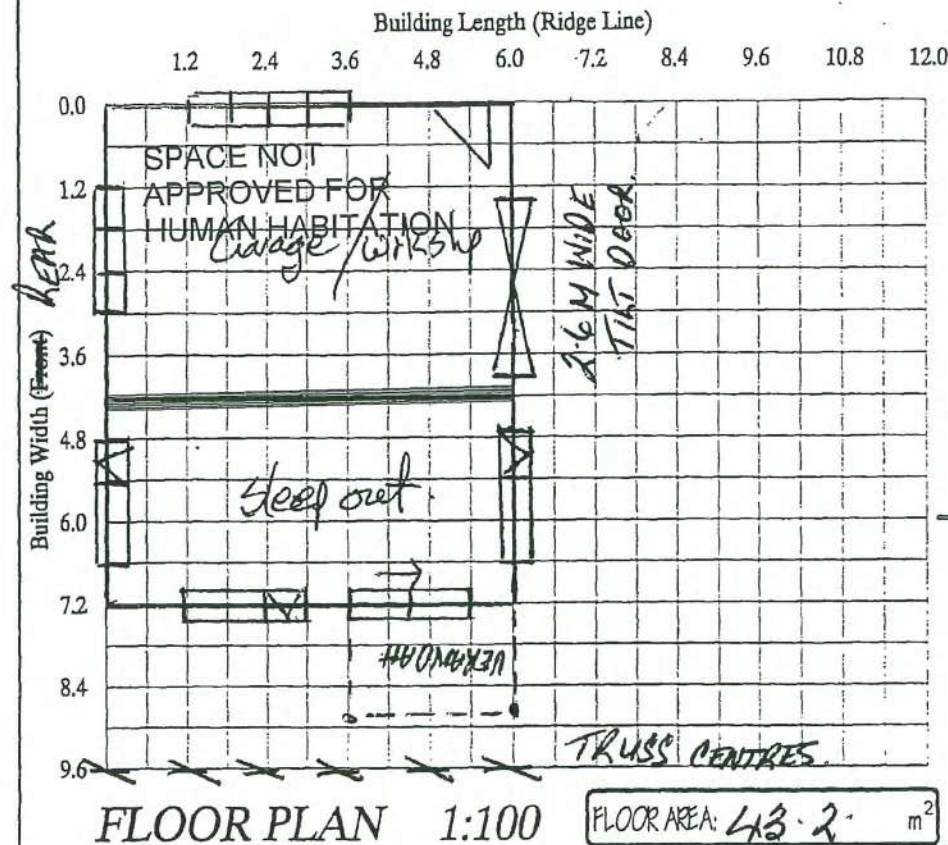
BC 120254

Existing Plan

11 MAY 2012

BY: 10001

CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO STARTING • ALL DIMENSIONS IN MM UNLESS STATED



SPECIFICATIONS

GENERAL

All work to comply with the New Zealand Building Code. This specification and drawings shall be read in conjunction with Gangnail Producer Statement for Design, dated 19 March, 1998.

FOUNDATIONS

Concrete floor shall be 17.5 MPA, 100mm thick. Footing as detailed.

WALL FRAMING

All timber shall be machine gauged and treated to T.P.A. specification H1 or Chemical Free Dry frame. Studs shall be 90x35 dry frame at 600 c/s and housed into plates with dwangs housed into studs. Lay two ply malthoid d.p.c. under all plates. Refer Gangnail Producer Statement CH3900/107 for timber grade options and specification.

ROOF FRAMING

Purlins shall be 90mm x 45mm on edge at 1500 max c/s fixed to Gangnail 15 degree trusses at centres shown below. Fix purlins and trusses as detailed in Gangnail Producer Statement for Design.

SIDE ENTRY OPENING LINTELS

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WALL CLADDING

Shall be **SUPERCLAD COLORSTEEL**.
Fix in accordance with Gangnail Producer Statement for Design.

ROOF BRACING

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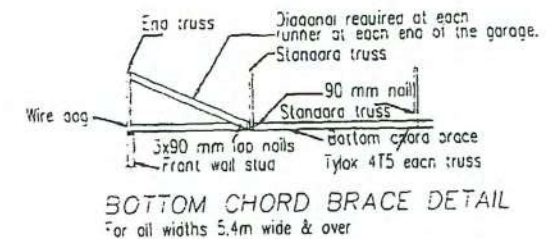
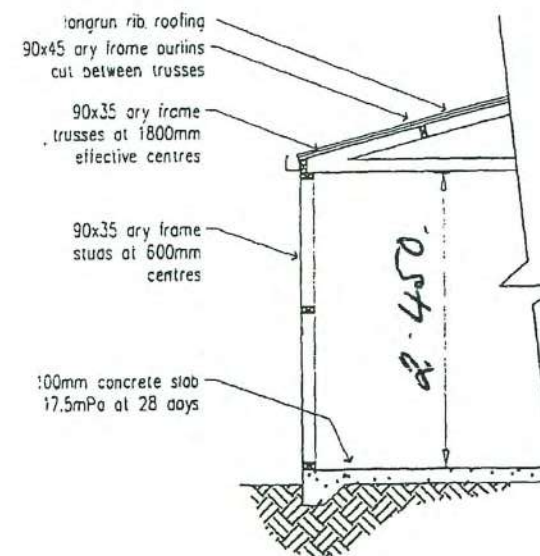
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**APPROVED
BY PLUMBING
& DRAINAGE**
simon copp 14/12/00
Officer

**APPROVED
BY BUILDING**
P. Wilkinson.
Officer

APPROVED 14/12/00



FOUNDATION DETAIL

ON ATTACHED SHEET

**VERSATILE
BUILDINGS**

HEAD OFFICE:
112 WATERLOO ROAD

PH: (03) 348-8704
FAX: (03) 348-9093

PROJECT TITLE

PATERSON

Proposed Garage For:

42 FELDWAY WAIKANA

DRAWING TITLE

VERSATILE GARAGE

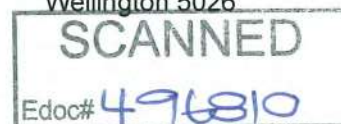
Note: Construction to comply with
the New Zealand Building Code 1992
REFER TO PRODUCER STATEMENT

SCALE: 1:100 DATE: Sep '97
DRAWN: B.O'Connor FILE: VG-1301A

SHEET: 1
OF:



J.I.H Plumbing Ltd
4 Puketai Place
Pukerua Bay
Wellington 5026



PRODUCER STATEMENT

DATE: 19 August 2014
CONTRACTOR: J.I.H Plumbing Ltd
CLIENT/PROJECT: Annie Gilmore
LOCATION: 42 Field Way - Waikanae
SERVICE REQUEST No:
SERVICES: Plumbing Works Completed in March 2013
POSITION:

J.I.H Plumbing Ltd has been engaged to provide plumbing services for the sleep out refferbishment as per plans.

STANDARDS:

We have installed the plumbing and fixtures to the following standards -

AS 3500	Dranage
G12	Water Supply

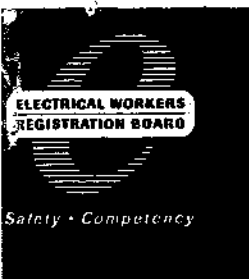
STATEMENT:

As an independent installation professional, we believe on reasonable grounds that, subject to all proprietary products meeting performance specification requirements, the proposed design and installation will comply with the relevent provisions of the Building Act.

Yours sincerely
J.I.H Plumbing Ltd



James Hoult
Certifying Plumber



Electrical Certificate of Compliance

No. 3353932

for a low voltage installation if prescribed electrical work has been done on any part of it and the prescribed electrical work involved placing, replacing, or repositioning conductors or fittings attached to conductors.

No. of attachments

To be completed whether or not an inspection is required.

CUSTOMER INFORMATION - PLEASE PRINT CLEARLY

Name of customer CBE PROPERTIES

Phone:

Address of installation 42 FIELD WAY - WILKINSON

Postal address of customer (if not as above)

DECLARATION OF CONFORMITY (Please tick (✓) appropriate boxes)

In accordance with Regulation 58 of the Electricity (Safety) Regulations 2010, the design of the installation or part of the installation to which this certificate applies

- (a) complies with either Part 2 of AS/NZS 3000:2007 ☒ or Part 1 of AS/NZS3000:2007 and Regulation 59 ☐ and
 (b) the supply system of the installation or part of the installation to which this certificate applies is
 230V/400 V MEN ☒ or attached other system ☐

WORK DETAILS

3 No. of lighting outlets

No. of ranges

Please tick (✓) as appropriate where work includes:

4 No. of socket outlets

No. of water heaters

Mains

Main earthing system

Was any installation work carried out by the homeowner?

Yes ☒ No ☐

MEN Switchboard closest to point of supply

Electric lines

Description of work carried out (If necessary attach any pages with work done) FITOUT OF NEW ENSUITE
 BUILT INTO SLEEP-OUT. RCD PROTECTION INSTALLED
 NEXT TO EXISTING SPLITTER BOX TO PROTECT
 LOADS INSTALLATION. OUTDOOR SOCKET FOR INFINITY.
 EXTRACT FAN / POWER OUTLET LIGHT IN ENSUITE

CERTIFICATION OF WORK (Please tick (✓) appropriate boxes)

I certify that the completed installation or part of the installation to which this certificate applies:

- ☐ has been installed in accordance with the design detailed in the Declaration of Conformity section above
☐ has had tests which are required by the Electricity (Safety) Regulations 2010 satisfactorily completed
☐ has an earthing system that is correctly rated
☐ contains fittings which are safe to connect to a power supply
☐ is safe to connect to a power supply

ELECTRICAL WORKER DETAILS

Name RAY RAY

Registration No. 616772

Company FRONT ROW ELECT

Contact Ph No. 021 996629

Signature [Signature]

Date 26/6/12

INSPECTION DETAILS

Electrical work requiring inspection by a registered electrical inspector

☐ Mains work (mains, MEN switchboards closest to the point of supply, or main earthing systems)☐ Attached other☐ Work carried out in accordance with Part 1 of AS/NZS 3000:2007

I certify that the items identified above are electrically safe and that the inspection has been carried out in accordance with the Electricity (Safety) Regulations 2010.

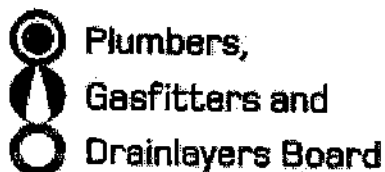
Name

Registration No.

Signature

Date

Contact Ph No.



GASFITTING CERTIFICATE OF COMPLIANCE
Pursuant to the Gas Act 1992 and the Gas (Safety and Measurement) Regulations 2010
ENERGY WORK CERTIFICATE
(Pursuant to the Building Act 2004)

Level 9, 70 The Terrace
PO Box 10655, Wellington 6143
Tel 04 494 2970, Fax 04 494 2975
www.pgdb.co.nz

Certifier Copy. This certificate is not transferable

Consumer: Annie Gilmore
Installation Address: 42 Field Way
Waikanae Beach
Waikanae 5036

Certificate Number: **698788**
Gas Supplier: Power Co
Category: Domestic
Type (Regulation 44(1)): NEW
Gas Type: LPG

Test Results: 5 min Duration
7.20kPa test pressure
0.00kPa Loss / Gain
3.75kPa Working pressure

Vehicle Registration:

Vessel Registration:

Certification Date: 09 Jul 2012

Other Testing:

Test Date: 06 Jul 2012

DESCRIPTION OF GASFITTING TO WHICH THIS CERTIFICATE APPLIES

Qty	Item Type	Item Location	Make/Model	Input Rate	Flue Type	Flue Location	Vent Type	Vent Location
1	Hot Water Boiler	South side of the garage	Rheem20 Model 874020lfz - S no 2011103300 44	153	Fan Assisted Flue (Common)			

I certify that:

1. I Certify that all appliances and fittings worked on by me or by persons working under my supervision are safe to connect to a gas supply and that all work carried out was in accordance with all applicable requirements of the Gas Act 1992 and Gas (Safety and Measurement) Regulations 2010.
2. I Certify that the Gasfitting to which this certificate applies does not make other parts of the installation unsafe or otherwise non-compliant with the Gas Act 1992 and Gas (Safety and Measurement) Regulations 2010.
3. I Certify that the Gasfitting work to which this certificate applies does NOT include work on an appliance or fitting imported or manufactured for the consumers use.

Installer(s) supervised by certifier

Authorisation No:

Name:

Authorisation No:

Name:

Certificate Owner

Authorisation No: 16925

Name: Ingham-Hoult, James

Company: JIH plumbing Ltd

Signed:

Certifier

Authorisation No: 16925

Name: Ingham-Hoult, James

Ms Annie Gilmore (GBC Properties)
9 St Austell Close
Camborne
PORIRUA

23 June 2014

Dear Building Consent Applicant / Building Owner

Reminder: Code Compliance Certificate 120254

Site Address:	42 Field Way, Waikanae Beach
Legal Description:	LOT 29 DP 22152 CT 939/65
Project Description:	Minor plumbing works. Fitting of shower, basin & toilet & internal wall to be built under schedule 1 - not part of

Section 93 of the Building Act 2004 requires a Building Consent Authority to decide whether to issue or refuse to issue a Code Compliance Certificate (CCC) in respect of a building consent in the event that an application for a CCC is not received from the building owner. This decision must be made within 20 working days of the two year anniversary of the granting of the consent, or within 20 working days of a later date agreed by the Building Consent Authority and the owner. The two year anniversary of the granting of the above consent 23/05/2014.

Under Section 92 of the Building Act 2004, the building owner must apply for a Code Compliance Certificate (CCC) after all building work to be carried out under a building consent is completed.

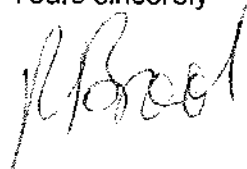
If the building work to which the above consent relates is **complete**, please ring Council on 04 296 4700 and book a final inspection. If the building work is **nearly complete**, and will be completed within the next 20 working days, please ring and book a final inspection once the work is completed.

If you anticipate the building work will **not be** completed within the next 20 working days, you have two options:

1. Apply to the Council for the decision to issue or refuse to issue a CCC to be delayed until an agreed later date under Section 93 of the Building Act 2004, or
2. Apply to the Council for an amendment to this building consent to cover only those parts of the work that will be completed.

If you have any questions please contact me on (04) 296-4700 or 0800 486 486 or via email:
russell.brook@kapiti.coast.govt.nz referencing the Building Consent Number 120254.

Yours sincerely

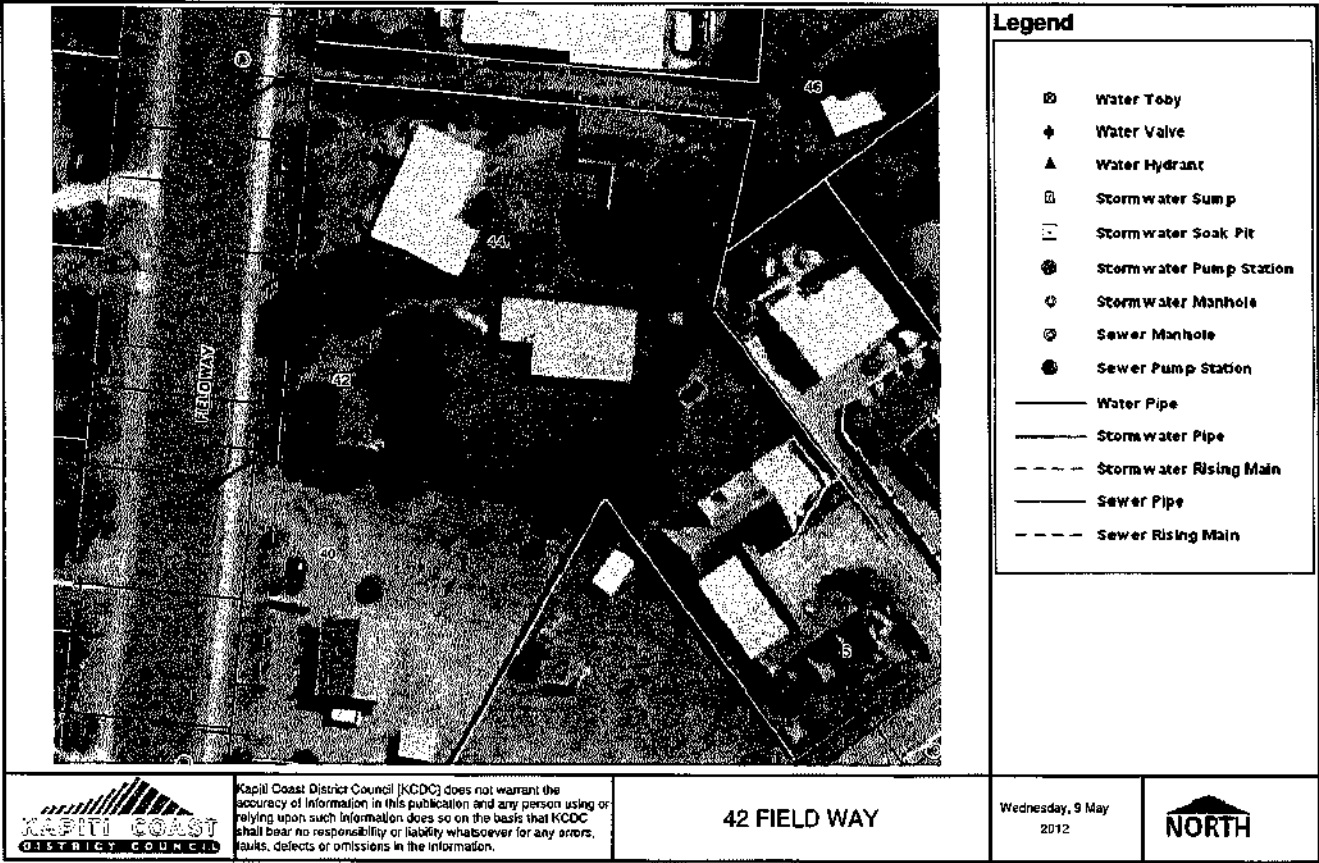
A handwritten signature in black ink, appearing to read 'R Brook', written in a cursive style.

Russell Brook
Team Leader – Site Inspections

Enclosure: Copy of CCC application form

	Legend			
	General Details Parcel Area in hectares 0.0809 Postcode 5036 Police Area KAPITI Rubbish Collection Waikanae - Monday Ward Waikanae Property Valuation No 1491029400 Location 42 Field Way, Waikanae Beach Certificate of Title 939/65 Legal LOT 29 DP 22152			
	Kapiti Coast District Council (KCDC) does not warrant the accuracy of information in this publication and any person using or relying upon such information does so on the basis that KCDC shall bear no responsibility or liability whatsoever for any errors, faults, defects or omissions in the information.	42 FIELD WAY	Wednesday, 9 May 2012	

RECEIVED
11 MAY 2012
60064



11 MAY 2012

Contacts

[Provide all details where relevant]

Builder:

Business/name: _____
 Address: _____
 Daytime: _____ Mobile: _____
 After hours: _____ Facsimile: _____
 Registration/qualification: _____

Drainlayer:

Business/name: _____
 Address: _____
 Daytime: _____ Mobile: _____
 After hours: _____ Facsimile: _____
 Registration/qualification: _____

Plumber

Business/name: J I H Plumbing (James)
 Address: 4 Puketapu Place Puketapu Bay
 Daytime: Mobile Mobile: 0272604581
 After hours: 0272604581 Facsimile: ✓
 Registration/qualification: _____

Other:

Business/name: Ray Tidy - Electrician
 Address: 14 Cottonwood Close, Paraparaumu
 Daytime: 021996629 Mobile: 021996629
 After hours: 042989080 Facsimile: _____
 Registration/qualification: _____

Building Consent

[Delete this section if this is an application for a project information memorandum only]

The following plans and specifications are attached to this application:

- ☐ specifications ☒ plans
☐ other _____ please specify

[All plans and specifications must meet the minimum requirements set out in the regulations or required by the building consent authority]

The building work will comply with the building code as follows:

Clause

[which of the following clauses will be involved in the proposed work?]

Freestanding/inbuilt fire appliance

- ☐ B1 Structure
☐ B2 Durability
☐ C1-4 Fire
☐ E2 External moisture

Plumbing and Drainage

- ☐ E1 Surface water
☐ E3 Internal moisture
☒ G10 Piped services
☐ G11 Gas as an energy source
☒ G12 Water supplies
☒ G13 Foul water
☐ G14 Industrial liquid waste
☐ G15 Solid waste

Means of compliance

[refer to the relevant compliance document(s) or detail of alternative solution in the plans and specifications]

- ☐ B1/AS2 ☐ NZS 3604 ☐ NZS4203
☐ NZS4229 ☐ Other _____ [specify]
☐ B2/AS1 ☐ NZS3101 ☐ NZS3602
☐ NZS3604 ☐ Other _____ [specify]
☐ C1/AS1 ☐ Other _____ [specify]
☐ E2/AS1 ☐ Specific design and testing
☐ Other _____ [specify]
☐ D1/AS1 ☐ AS/NZS3500.2 ☐ AS/NZS3500.5
☐ Other _____ [specify]
☐ E3/AS1 ☐ Other _____ [specify]
☒ G10/AS1 ☐ NZS261
☐ Other _____ [specify]
☐ G11/AS1 ☐ Other _____ [specify]
☒ G12/AS1 ☐ AS/NZS3500.2 ☐ AS/NZS3500.5
☐ Other _____ [specify]
☒ G13/AS1 ☐ AS/NZS3500.2 ☐ BS5572
☐ Other _____ [specify]
☐ G14/AS1 ☐ Other _____ [specify]
☐ G15/AS1 ☐ Other _____ [specify]

Proposed Inspections

[state means of inspection. Note PS4s or certification may be required]

- ☐ Council ☐ Engineer
☐ Other _____ [specify]
☐ Council ☐ Engineer
☐ Other _____ [specify]
☐ Council ☐ Engineer
☐ Other _____ [specify]
☐ Council ☐ Engineer
☐ Other _____ [specify]
☐ Council ☐ Engineer
☐ Other _____ [specify]

By certification only

By certification only

- ☒ Council
☐ Other _____ [specify]
☒ Council
☐ Other _____ [specify]
☐ Council
☐ Other _____ [specify]
☐ Council
☐ Other _____ [specify]

Waiver/modification to NZ Building Code required for following parts of code:

Inspection booked Fri 18/7 *AM* Please refer to booking by Kungl. Kes. A

APPLICATION FOR CODE COMPLIANCE CERTIFICATE

7 JUL 2014



Section 92, Building Act 2004



Send or deliver your application to:

Building Control Team
Kāpiti Coast District Council
Private Bag 60601, Paraparaumu 5254
175 Rimu Road, Paraparaumu 5032

Toll Free: 0800 486 486

COUNCIL USE ONLY

Application Number:

Valuation Number:

THE BUILDING CONSENT

Building Consent Number:

120254

Street Address
of Building Work:

Number and
Street name:

42 Field Way,

Suburb

Waikanae Beach

Post Code:

THE OWNER (as defined by the Building Act 2004)

Name of Owner:

(Include preferred form of title, e.g. Mr, Miss, Dr, if an individual and the contact person's name if a company, trust or similar).

Ms Annie Gilmore (GBC Properties)

Contact Person:

Annie Gilmore

Owner's Contact Details:

Mailing Address / Registered Office: ☐ Same as street address above, or as noted below:

Number and Street name:

9 St Austell Close, Cambarne

City:

Porirua

Post Code: 5026

Phone:

Daytime: ~~2336199~~ 4728058

Mobile: 029 2266434

Landline: 2336199

After Hours: 2336199

Facsimile Number: —

Email Address: annie.gbc@paradise-net.nz

Website:

Proof of Ownership: The following evidence of ownership is attached to this application,

☐ Copy of certificate of title OR ☐ Copy of lease OR ☐ Copy of agreement for sale and purchase; OR ☐ Copy of other document showing full name of legal owner(s) of the building).

RECEIVED
11 MAY 2012
BY:



Application for a Building Consent and/or Project Information Memorandum

Section 33 or section 45, Building Act 2004

Send or deliver your application to: Kapiti Coast District Council, Building Control Department, Private Bag 601, Paraparaumu, 175 Rimu Rd, Paraparaumu. For enquiries, phone (04) 904 5617

Minor Works

I request that you issue a ☐ Project Information Memorandum ☐ Building Consent for the building work described in this application.

Consent/Project Information Memorandum to be ☐ Mailed ☐ Collected

Council Use Only:

Application #

BC 120254

Property ID

1491029400

The Building

[Project Location]

Residential - Waikanae Beach

Street address of building:

42 Field Way
Waikanae Beach

Legal description of land where building is located:

[state legal description as at the date of application and, if subdivision is proposed include details of relevant lot numbers and subdivision consent]

Lot 29
DP 22152 CT 939/5

Building name:

Existing garage sleepout

Location of building within site: [include nearest street access]

Number of levels: [include ground level and any levels below ground]

one

Level/Unit Number: [if applicable]

Area:

Existing floor area: _____

New floor area: _____

Total floor area: _____

Current, lawfully established, use: [include number of occupants per level and per use if more than 1 level]

Year first constructed: [insert year, approximate date is acceptable
e.g. c 1920s or 1960-1970]

The Project

Description of the building work [provide sufficient description of building work to enable scope of work to be fully understood]

Minor plumbing works: fitting of shower, basin + toilet + internal wall to be built under schedule 1 - not part of this consent.

Will the building work result in a change of use of the building?

☐ Yes ☒ No

If yes, provide details of the new use:

Estimated value of the building work on which the building levy will be calculated (including goods and services tax):

[state estimated value as defined in section 7 of the Building Act 2004]

\$ ~~4,000~~ 5,000

List building consents previously issued for this project (if any):

[list who issued the consent, the date of issue and the consent number]

Intended life of the building if less than 50 years:

Does the building or site have any cultural heritage significance, or is it a marae?

[refer to District Plan] ☐ Yes ☒ No

The Owner

[must be completed for all applications and all details must be the owners]

Name of Owner: [include preferred form of title, eg, Mr, Miss, Dr if an individual and the contact persons name if a company, trust or similar]

Ms Annie Gilmore (GBC Properties)

Owner's mailing address:

9 St Austell Close
Camborne
Porirua

Street address/Registered office:

same

Owner's contact details:

Landline: 04 2336199

Mobile: 029 2266434

Facsimile number: —

Email: annie-gbc@paradise.net.nz

After hours: 04 2336199

Proof of ownership: [please attach one of the following as evidence, as appropriate to the circumstances]

☐ Copy of certificate of title, no more than 3 months old ☐ Lease ☒ Agreement for sale and purchase

Agent

[only required if application is being made on behalf of the owner]

Name of Agent: [include the contact persons name if a company, trust or similar]

Agent's mailing address:

Street address/Registered office:

Agent's contact details:

Landline: —

Mobile: —

Facsimile number: —

Email: —

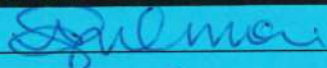
After hours: —

First point of contact

☒ Owner ☐ Agent ☐ Other

Phone: —

Signed by the owner

Signature: 

Name: Annie Gilmore

Date: 8/5/12

OR

Signed by the agent [on behalf of, or with authority from, the owner]

Signature: —

Name: —

Date: —

Privacy Information

The information you have provided on this form is required so that your building consent application can be processed under the Building Act 2004. The Council collates statistics relating to issued building consents and has a statutory obligation to regularly forward these to Statistics NZ. The Council stores the information on a public register which must be supplied (as previously determined by the Ombudsman) to whomsoever requests the information.

Under the Privacy Act 1993 you have the right to see and correct personal information the Council holds about you.

Council use only:

Contacts

[Provide all details where relevant]

Builder:

Business/name: _____
 Address: _____
 Daytime: _____ Mobile: _____
 After hours: _____ Facsimile: _____
 Registration/qualification: _____

Drainlayer:

Business/name: _____
 Address: _____
 Daytime: _____ Mobile: _____
 After hours: _____ Facsimile: _____
 Registration/qualification: _____

Plumber

Business/name: J I H Plumbing (James)
 Address: 4 Puketarai Place Puketarai Bay
 Daytime: Mobile Mobile: 0272604581
 After hours: 0272604581 Facsimile: _____
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Other:

Business/name: Ray Tidy - Electrician
 Address: 14 Cottonwood Close, Paraparaumu
 Daytime: 021996629 Mobile: 021996629
 After hours: 042989080 Facsimile: _____
 Registration/qualification: _____

Building Consent

[Delete this section if this is an application for a project information memorandum only]

The following plans and specifications are attached to this application:

- ☐ specifications ☒ plans
☐ other _____ please specify

[All plans and specifications must meet the minimum requirements set out in the regulations or required by the building consent authority]

The building work will comply with the building code as follows:

Clause [which of the following clauses will be involved in the proposed work?]	Means of compliance [refer to the relevant compliance document(s) or detail of alternative solution in the plans and specifications]	Proposed Inspections [state means of inspection. Note PS4s or certification may be required]
Freestanding/inbuilt fire appliance		
☐ B1 Structure	☐ B1/AS2 ☐ NZS 3604 ☐ NZS4203	☐ Council ☐ Engineer
☐ B2 Durability	☐ NZS4229 ☐ Other _____ [specify]	☐ Other _____ [specify]
☐ C1-4 Fire	☐ B2/AS1 ☐ NZS3101 ☐ NZS3602	☐ Council ☐ Engineer
☐ E2 External moisture	☐ NZS3604 ☐ Other _____ [specify]	☐ Other _____ [specify]
Plumbing and Drainage	☐ C/AS1 ☐ Other _____ [specify]	☐ Council ☐ Engineer
☐ E1 Surface water	☐ E2/AS1 ☐ Specific design and testing	☐ Other _____ [specify]
☐ E3 Internal moisture	☐ Other _____ [specify]	☐ Council ☐ Engineer
☒ G10 Piped services	☐ D1/AS1 ☐ AS/NZS3500.2 ☐ AS/NZS3500.5	☐ Other _____ [specify]
☐ G11 Gas as an energy source	☐ Other _____ [specify]	☐ Council ☐ Engineer
☒ G12 Water supplies	☐ E3/AS1 ☐ Other _____ [specify]	☐ Other _____ [specify]
☒ G13 Foul water	☒ G10/AS1 ☐ NZS261	By certification only
☐ G14 Industrial liquid waste	☐ Other _____ [specify]	By certification only
☐ G15 Solid waste	☐ G11/AS1 ☐ Other _____ [specify]	☒ Council
	☒ G12/AS1 ☐ AS/NZS3500.2 ☐ AS/NZS3500.5	☐ Other _____ [specify]
	☐ Other _____ [specify]	☒ Council
	☒ G13/AS1 ☐ AS/NZS3500.2 ☐ BS5572	☐ Other _____ [specify]
	☐ Other _____ [specify]	☐ Council
	☐ G14/AS1 ☐ Other _____ [specify]	☐ Other _____ [specify]
	☐ G15/AS1 ☐ Other _____ [specify]	☐ Council
		☐ Other _____ [specify]

Waiver/modification to NZ Building Code required for following parts of code:



Site Inspection Report - New BC Applications

BC Application number: 120254 Lot 29 DP 22152

Site Address: 42 Fieldway

Building Project: Minor plumbing to garage/sleepout

Check NCS status is currently "To Site Inspection"

Item to be checked	Decision	Record any relevant information	Action required
Contours match application?	Yes / No	Na	
Datum point identified?	Yes / No	Na	
Boundaries identified?	Yes / No	Na	
Check ground conditions OK?	Yes / No	Na	
Check f/path, kerb & channel, grass berm, note existence/damage.	Yes / No	no damage	
Vehicle entrance crossing installed (describe condition)	Yes / No	x2 cracks	
Photos taken? (Save & link to NCS)	Yes / No		
Dogs on property?	Yes / No		
Is there a requirement for further foundation investigation e.g Engineers design	Yes / No		Referred to Approvals T/L Yes / No

Record all decisions in accordance with KCDC Policy 007. Circle Yes or No in each case.

new partition for shower/toilet already placed. existing wall

linings have been removed, existing batts in walls.

appears some plumbing work has started, plumber on site

Note: if there is a requirement for further information or some areas which do not appear to comply refer file to Team Leader Consent Approvals for action. should stop work until B.C. has been approved

Inspecting Officer: Name Andrew Signature [Signature]

Date Inspected: 17.5.2012

Unless further foundation information required, change NCS status to "To Plumbing & Drainage" and place file in P&D shelf area for Approvals. If further information is required, then Status change to "To Senior Building Inspector" and hand to Team Leader Consent Approvals for action.

Private Bag 60-601 Paraparaumu
 Ph: 04 2964700 Fax: 04 2964830
 wef: 1 July 2011



DO NOT SAVE THIS SHEET

Consent Fee Calculator

BC 120254/

Classification Number

Plumbing work

Project Value	\$	5000
PIM required		No
Damage/crossing		None
Cert. of Acceptance		No
Cert. of Public Use		No
Certificate of Title		No
Number of Units/ or \$100k		

Fee - building	327	
Fee - PIM	0	
Total BC/PIM Fee	327	327.00
Additional		

Enter any additional fees here

Number of Units 0.00

Damage/Crossing	0.00
Digital Storage	40.00
CCC Included	0.00
BRANZ	0.00
DBH	0.00

Total Consent Fee 367.00



SCOPE OF INSPECTION SHEET

Date 19/7/14 BCA 120254 Inspection No. 3

Time 8.40 Documents on site YES/NO

Owner Name Gilmore Project Description Auto

Site Address 42 Fergusson Restricted Building Work YES/NO

Building Plumbing

Circle appropriate Type & Inspection Other

Site Found Piles PreSlab Subfloor Drainage PreWrap PreClad Weathertight PreLine PostLine Block Brick Ret.Wall Final

Engineer Supervision Yes No n/a Name

Notes Previous inspection carried out and passed

Diagram (if necessary)

Internal as per Plan.
Fluvis + usual seals.
HOT WATER TEMP AT 52°C.
Smoke Alarm in Place
Safety Film installed TO GLASS

Photo's Taken - Nos. saved / scanned? Y / N

Site instruction issued

NEED AS BUILT DRAWING OF SEWER.
PRODUCED STATEMENTS FROM PLUMBER. 25/8/14 CMC
THAN OK TO ISSUE CCC 25/8/14 CMC

Confirmation of person on site

Result: Pass Fail

Name LBP No.

NO ONE HOME
COPY LEFT IN SUBST
MAIN HOUSE

Your next inspection will be.....
(Guidance notes for inspection on the rear of this sheet)

Agreed,..... Sign.....

Officer Name [Signature] Sign.....

Information entered into data base ☐ Initial Date/...../.....

SCOPE OF INSPECTION

Inspections are made in conjunction with, and with the cooperation of, the owner/owner's agent to ensure that the building work complies with the provisions of the Building Act and NZ Building Code. The inspection is general in nature and involves an audit of the following aspects:

Engineer – Civil/Structural/Fire/Geotechnical: An engineer has been engaged to carry out inspections on behalf of the owner. Please ensure those inspections are carried out. A Certificate of Expert Opinion is required to be supplied to Council.

Site: A surveyor's report, or visible boundary markers provided, so that the set out of the project can be clearly identified.

Foundation: When all formwork has been completed, footings have been excavated and reinforcement is in place.

Piles: When all holes are excavated prior to installation.

Pre-slab plumbing (concrete slab): When all plumbing and drainage pipes have been installed, prior to backfilling.

Pre-slab building (concrete slab): When DPM has been placed with all laps and penetrations sealed, reinforcing in place and in position with chairs as appropriate.

Sub-floor (timber suspended floor): When all sub-floor connections, joists and required blocking, and any suspended plumbing pipe work have been completed, but before any flooring or base boards have been fitted. Relocated dwellings require a sub-floor inspection prior to the base boards being fitted.

Drainage: When all drainage works is completed and is under test, before backfilling occurs. As laid drainage plan is required at time of inspection.

Pre-wrap: When all roof and wall framing is complete, including any exterior sheet bracing, but before building wrap has been installed.

Pre-clad: When building wrap and window and door flexible flashing tape has been installed, cavity battens (cavity systems), cavity closers and all flashing systems are in place, but before joinery has been installed.

Weathertightness: When exterior cladding has been installed, flashings in place, air seals fitted to openings, but before any coating system have been applied.

Pre-line (plumbing): When all internal plumbing is complete and plumbing pipe work is under test pressure.

Pre-line (building): When the exterior of the building is weather tight, all structural components (including bracing) have been completed and wall insulation is in place.

Wet area membranes, decks, roofs and shower area: Pre application of wet area membrane, when all outlets and flashings have been installed, ready for membrane installation.

Post application of wet area membrane.

Post-line: When all interior linings have been installed, but before skirting, Scotia or plastering stopping. Installation details of screws check of wall bracing element.

Block: When all masonry block work including block foundations for slab floors, is completed, reinforcing in place and washout openings in place.

Brick Veneer: When veneer is at half height and all flashings are in place.

Retaining wall: Pre application of waterproof membrane system.

Post application of waterproof membrane system.

Protection installed for membrane system and installation of perforated drainage system before back filling.

Final: Final inspections are carried out at the completion of the project and may include entire project, plumbing, drainage and storm water. The Code Compliance Certificate is issued if the building work complies with the approved building consent.

Free Standing Fireplace: Final inspection required only.

In Built Fireplace: Inspection required before installation and after installation.

PRIVACY STATEMENT

1. The information contained on the Building Inspection Report Sheet is held by the Kapiti Coast District Council, whose address is Private Bag 60601, Paraparaumu, 5254.
2. The information is available for public inspection as part of the Building Record of the property concerned. It can be viewed at 175 Rimu Road, Paraparaumu, 5032.
3. You have the right under the Privacy Act 1993 to obtain access to, and to request correction of any personal information held by Council concerning you.

Council has a Privacy Officer. If you have any concerns regarding privacy issues please telephone (04) 296 4700

FINAL INSPECTION SINGLE RESIDENTIAL

Date BCA Inspection No.

Time Documents on site YES / NO

Owner Name Project Description

Site Address Restricted Building Work YES / NO

All inspections are carried out with strict reference to the building consent granted.

P = Pass F = Fail NA = Non-Applicable

Inspection decisions are based on the extent of work inspected at the time of inspection.

Please refer to the related scope sheet for definition of the inspections extent.

Applicable to all inspections

Sighted previous inspection notes	☒ Y	☐ N	☐ NA	Conforms with approved drawings	☒ Y	☐ N	☐ NA	Confirm Additional information/amended plan	☒ Y	☐ N	☐ NA
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FINAL – Exterior

Sub-floor ventilation	☒ P	☐ F	☐ NA	Roof fixings	☒ P	☐ F	☐ NA	Spouting + Down-pipes	☒ P	☐ F	☐ NA
Deck Structure	☒ P	☐ F	☐ NA	Flashings – Roof	☒ P	☐ F	☐ NA	Penetrations – Flashings	☒ P	☐ F	☐ NA
Barriers	☒ P	☐ F	☐ NA	Gully Dishes	☒ P	☐ F	☐ NA	Storm-water + site drainage	☒ P	☐ F	☐ NA
Handrails	☒ P	☐ F	☐ NA	Wastes to gully	☒ P	☐ F	☐ NA	Fixings – Durability	☒ P	☐ F	☐ NA
Steps/Stairs	☒ P	☐ F	☐ NA	Terminal vents/AAV's	☒ P	☐ F	☐ NA	Cladding painted/sealed	☒ P	☐ F	☐ NA
Flashings – Windows/Doors	☒ P	☐ F	☐ NA	Cladding Ground Clearance	☒ P	☐ F	☐ NA		☒ P	☐ F	☐ NA

FINAL – Interior

Service areas – floors/walls	☒ P	☐ F	☐ NA	Food storage/preparation	☒ P	☐ F	☐ NA	Hot water temp	☒ P	☐ F	☐ NA
Stair design	☒ P	☐ F	☐ NA	Ventilation	☒ P	☐ F	☐ NA	Solid fuel heater	☒ P	☐ F	☐ NA
Handrails	☒ P	☐ F	☐ NA	Insulation + clearance	☒ P	☐ F	☐ NA	Water supply tank	☒ P	☐ F	☐ NA
Balustrades	☒ P	☐ F	☐ NA	HWC flues	☒ P	☐ F	☐ NA	Trap seals + AAV's	☒ P	☐ F	☐ NA
Lightings	☒ P	☐ F	☐ NA	HWC valves	☒ P	☐ F	☐ NA	Cistern flushing	☒ P	☐ F	☐ NA
Laundering	☒ P	☐ F	☐ NA	HWC restraint	☒ P	☐ F	☐ NA	WC pan connection	☒ P	☐ F	☐ NA
Cooking facilities	☒ P	☐ F	☐ NA	Tempering valve	☒ P	☐ F	☐ NA	Septic tank	☒ P	☐ F	☐ NA
Smoke detectors	☒ P	☐ F	☐ NA	Glazing – Human Impact	☒ P	☐ F	☐ NA	Window labels	☒ P	☐ F	☐ NA

FINAL – Intertenant/Commercial

Fire/Life systems sighted	☒ P	☐ F	☐ NA	Guarantees/Warranties/Certificates/Expert Opinion	☒ P	☐ F	☐ NA	Intertenanty STC	☒ P	☐ F	☐ NA
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All Inspections

Road Crossing Complete	☒ P	☐ F	☐ NA	Energy Certificates supplied	☒ P	☐ F	☐ NA	Final Check Complete	☒ Y	☐ N	
------------------------	------------------------------------	-------------------------	--------------------------	------------------------------	------------------------------------	-------------------------	--------------------------	----------------------	------------------------------------	-------------------------	--

Officer Name:

Sign:

Date: 19/7/19

SCOPE OF INSPECTION SHEET

Date 6/6/12 SR or BCA 120254 Inspection No. 2

Time 9.00 Documents on site YES / NO

Owner Name Sumner Project Description Plumbing

Site Address 42 Highway

Building Plumbing

Circle appropriate Type & Inspection Other

Site Found Piles PreSlab Subfloor Drainage PreWrap PreClad Weathertight PreLine PostLine Block Brick Ret.Wall Final

Engineer Supervision Yes No n/a Name

Notes Man fears existing hot water Diagram (if necessary)

now using gas infinity instead
of cylinder.

15mm Axx Secura Pipe Fittings
For all fixtures clipped
Secure under test hot + cold.

ok to continue.

Photo's Taken - Nos. saved / scanned? Y / N

Site instruction issued

Result Pass Part pass Fail

Confirmation of inspection by person on site

Person on site: Builder ☐ Owner ☐ Other ☒ Person No One on site ☐

Your next inspection will be.....
(Guidance notes for inspection on the rear of this sheet)

Agreed Tas Hunt Sign Tas Hunt Date 6/6/12
(Print Name)

Officer Name Gareth Sign Gareth Date 6/6/12

Additional Insp. Sheet No.

Information entered into data base ☐ Initial Date 6/6/12

SCOPE OF INSPECTION SHEET

Date 6/6/12 SR or BCA 120254 Inspection No. 1

Time 8:40 Documents on site YES / NO

Owner Name James Project Description Plumbing

Site Address 42 Flaxbury

Building Plumbing

Circle appropriate Type & Inspection Other

Site Found Piles PreSlab Subfloor Drainage PreWrap PreClad Weathertight PreLine PostLine Block Brick Ret.Wall Final

Engineer Supervision Yes No n/a - Name

Notes New 100mm PVC WASTE + SOIL
CONNECTED TO EXISTING SEWER
LINE NOW APE HAS GOOD FLOW
UNDER TEST + HOUSING.
GULLY TRAP IN PLACE
INSPECTION PORTS IN PLACE
SOME TOILETS NOT IN.

Diagram (if necessary)

Photo's Taken - Nos. saved / scanned? Y / N

Site instruction issued As per J. Drury

Result: Pass Part pass Fail

Confirmation of inspection by person on site

Person on site: Builder ☐ Owner ☐ Other ☒ Inspection No One on site ☐

Your next inspection will be
(Guidance notes for inspection on the rear of this sheet)

Agreed, James Hunt (Print Name) Sign James Hunt Date 6/6/12

Officer Name James Sign James Date 6/6/12

Additional Insp. Sheet No.

Information entered into data base ☐ Initial Date/...../.....

KCDC Building Consent Authority
Building Consent Documentation Filed



Ms Annie Gilmore (GBC Properties)

BC No.	120254
Street Address.	42 Fieldway Wairakei Beach Minor Plumbing, fitting of shower Basin & Toilet

Tick indicates document(s) included in this Building Consent

Building Consent Application,	☒								
Application checksheet,	☒								
Costing schedule,	☒								
Plans and specifications,	☒								
Invoice and receipt,	☒								
Processing records/checksheets,	☒								
Inspection page printouts	☒								
<table border="1"> <tr> <td>All</td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> </table>	All								☒
All									
Building consent and memorandum,	☒								
Inspection reports,	☒								
Application for CCC,	☒								
Code of Compliance Certificate.	☒								
Producer statements and supporting documentation,	☒								
Peer review documents,	NA								
Fire design documents,	NA								
Requests for further information and other correspondence,	NA								
Amendments,	NA								
Supplementary information,	NA								
Energy work certificates,	NA								
Notices to Fix.	NA								

This form comprises part of the Building Consent documentation and indicates the contents of the Building Consent File. Refer KCDC Policy 029.

KCDC CODE COMPLIANCE REVIEW CHECK SHEET

Criteria: All building work except for minor works or major projects. Refer BI-WI-024

Address: <i>42 Fieldway Waihau Beach.</i>	Date: <i>18/7/14</i>
	BC No: <i>120254</i>

application for code compliance certificate (Form 278) completed	☒ Y	☐ N
--	------------------------------------	-------------------------

Confirm all required inspections have been completed and passed: Answer: ☒ Yes or ☐ No

If inspections have been missed, what supporting info and method of verification has been provided to compensate for missed inspection. (Describe):

[Handwritten: A diagonal line is drawn across the entire section, indicating no missed inspections.]

Work in accordance with approved consent and approved amendments	☒ N/A	☒ Yes	☐ No
If no, has NTF been issued:	☒ N/A	☐ Yes	☐ No
Have items of non compliance been resolved and NTF uplifted.	☒ N/A	☐ Yes	☐ No

Note: If work is not in accordance with consent, (and approved amendments) or NTF matters have not been resolved, suspend application for Code Compliance Certificate

Supporting documentation required in building consent addenda (Accept in accordance with KCDC Policy 002) Form completed during BC Approval process

	Req'd	Supplied	Accept
Tick (✓) indicates yes, N/A indicates considered - but not applicable			
copy of electrical certificate	✓	✓	✓
copy of gas certificate	✓	✓	✓
an "as-built" drainage plan	✓	✓	✓
plumbing (Form 125) for pressure test and installation piped services	✓	✓	✓
drainage (Form 126) for stormwater installation	✓	✓	✓
drainage (Form 127) for private sewer installation	✓	✓	✓
a Construction Review (PS4) statement for Structural engineering	N/A		
a Construction Review (PS4) statement for Fire engineering			
a Construction Review (PS4) statement for Geo-technical engineering			
Roof cladding warranty			
Solar water heating technical specifications			
wall cladding/texture coating installation applicator warranty			
a copy of the lift certificate			
a certificate from the fire alarm installer			
a certificate from the sprinkler installer			
a copy of wet-area membrane installers warranty			
A copy of deck membrane manufacturer's installers warranty/guarantee	N/A		
FPIS (verifier) Fire Systems Certification			

KCDC CODE COMPLIANCE REVIEW CHECK SHEET

If specified supporting documentation has not been provided, what alternative information or verification method has been provided to compensate, (describe):

Compliance Schedule

Is a new or amended compliance schedule required?

Y

☒ N

If "Y" Has it been issued? (Refer note below)

Y

N

If the new/ revised compliance schedule has not been issued, what action has been taken to ensure it will be issued? Outline:

Note: If the draft/ revised compliance schedule has not been issued, the Code Compliance Certificate cannot be issued. Suspend issuing CCC until this matter is addressed.

Building consent requirements.

Are there any item specified in the building consent or PIM that have not been completed.

Outline: _____

Are there any development impact fees to be paid outstanding? Yes / No ☒ (If yes, CCC cannot be issued)

Approve to issue Code Compliance Certificate if all other outstanding fees are paid. YES / NO ☒

Building officer:

Signature: _____

Date: 25.8.14

Name: _____

Co-reviewer:

Signature: _____

Date: 26.8.14

Name: Kussell Brook

Form 436

PROCESSING CHECKLIST

BC.....

No = Plans, specifications & documentation not complying with the Building Code &/or Bld. Act (The reason specified alongside each prompt) *

Yes = Plans, specifications & documentation complying with the Building Code &/or Bld. Act (The reason specified alongside each prompt)

N/A = Not Applicable to this application. (The deletion of whole sections as N/A is permitted)

Note - The further information requests are identified by hand written numbers and corresponding on FIR letters / e-mails sent

Category.....

Site Plan (NZS 3604 Sec 3.4, 4, 5 Code cl B1, B2, E1, E2 F1 & F2 Sect. 72, 75 BA04)

Comments

N/A NO YES

- ☒ ☒ ☒ Wind zone High V High Specific..... GIS
- ☒ ☒ ☒ Flooding / ponding hazards GIS
- ☒ ☒ ☒ Slippage / fault line hazards GIS
- ☒ ☒ ☒ Erosion, river & coastal hazards GIS
- ☒ ☒ ☒ Subsidence / soft soil hazards Site Inspection notes
- ☒ ☒ ☒ Corrosion zone Sea spray or Zone 1 GIS
- ☒ ☒ ☒ Soil contamination GIS
- ☒ ☒ ☒ Distances to boundaries / siting District plan
- ☒ ☒ ☒ Floor levels / contours E2/AS1 & NZS 3604 E1
- ☒ ☒ ☒ Two or More Allotments Sec 75 - 83 Bld Act
- ☒ ☒ ☒ Noise / sound insulation (airport & highway)

Specific Design (Verified Online PS2 B1 B2 VM1)

Comments

- ☒ ☒ ☒ PSI Design Certificate B1 B2 VM1
- ☒ ☒ ☒ PS2 Peer Review B1 B2 VM1
- ☒ ☒ ☒ Calculations VM1
- ☒ ☒ ☒ CPeng Verified Online

Concrete / Foundation Plan (NZS 3604 NZS 4210 & 4229 E2/AS1)

Comments

Layout

- ☒ ☒ ☒ Layout dimensions NZS 3604
- ☒ ☒ ☒ Control Joints NZS 3604
- ☒ ☒ ☒ Slab thickening NZS 3604, cl 7.5
- ☒ ☒ ☒ Alternative specify reason

Section

- ☒ ☒ ☒ Depth & width NZS 3604
- ☒ ☒ ☒ Reinforcement NZS 3604; B2
- ☒ ☒ ☒ Plate fixings NZS 3604; B2 cl 7.5
- ☒ ☒ ☒ DPM NZS 3604; B2
- ☒ ☒ ☒ Engineer design and Calcs B1; B2
- ☒ ☒ ☒ Concrete strength B1; B2 cl 4.8.2
- ☒ ☒ ☒ Alternative specify reason

Timber / Subfloor Plan (NZS3604 NZS 3602 & 3640, B1,B2)

Comments

Layout

N/A NO YES

- ☒ ☐ ☐ Layout dimensions.....
- ☒ ☐ ☐ Bearers details.....B1 ; B2.....
- ☒ ☐ ☐ Joist details.....B1:B2.....
- ☒ ☐ ☐ Alternative.....specify reason.....
- Section
- ☒ ☐ ☐ Foundation type/size..... NZS 3604;B2.....
- ☒ ☐ ☐ Piles post sizes & treatment NZS 3604;3602;3640;B2.....
- ☒ ☐ ☐ Pile c/c..... NZS 3604.....
- ☒ ☐ ☐ Fixing..... NZS 3604;B2.....
- ☒ ☐ ☐ Coatings(durability)..... NZS3604 ;B2.....
- ☒ ☐ ☐ Ventilation & Access to sub floor spaces NZS 3604.....
- ☒ ☐ ☐ Alternative.....specify reason

If the addition is an upper storey show details on upgrading existing foundations, joints, piles, etc (may require Engineer design)

Floor plans / layout (B1, B2, C1-4, D1, E3, F7, G1, G2, G12 G3, G9, G11, G13)

Comments

General

N/A NO YES

- ☒ ☐ ☐ Room dimensions.....
- ☒ ☐ ☐ Sectional lines.....
- ☒ ☐ ☐ Location of partitions.....
- ☒ ☐ ☐ All designated spaces.....
- ☒ ☐ ☐ Lintels..... NZS 3604;B2.....
- ☒ ☐ ☐ Beams..... NZS 3604, B2 by engineer.....
- ☒ ☐ ☐ Point loads by engineer or pre-nailer.....B1 B2.....
- ☒ ☐ ☐ Smoke detectors.....F7.....
- ☒ ☐ ☐ Wet areas / WCs D1, Table 2; B2.....
- ☒ ☐ ☐ Kitchen.....G3, G9, G11.
- ☒ ☐ ☐ Alternative.....specify reason

Changes to existing work requires both an existing floor plan & a proposed floor plans
Facility provided for washing utensils / food G3, Section 1.1 & Figure 1:
Preparation Area and Access to Facility Paragraphs 1.1.2 and 1.5

Wall / Framing B1, B2, E3

Comment

General

- ☒ ☐ ☐ Identify engineering / Structural items/ portals.B1 B2.....
- ☒ ☐ ☐ By pre-nailer or to NZS 3604.....B1 B2.....
- ☒ ☐ ☐ Fixing types NZS 3604.....B1 B2.....
- ☒ ☐ ☐ Stud c/c as per wind zone... NZS 3604.....B1 B2.....
- ☒ ☐ ☐ Building wrap..... NZS 3604
- ☒ ☐ ☐ Stud heights of rooms..... NZS 3604.....B1 B2.....
- ☒ ☐ ☐ Alternative.....specify reason

Roof.....NZS 3604,3602 &3640 B1B2E2 E2/AS1

Comments

Trussed / by preanailer or Framed roof NZS 3604

N/A NO YES

- ☒ ☐ ☐ Fixing layout & details.....B1 B2.....
- ☒ ☐ ☐ Correct layout.....B1.....
- ☒ ☐ ☐ Max span (12m or Engineer).....B1.....
- ☒ ☐ ☐ Purlin or batten c/c.....B1 B2.....
- ☒ ☐ ☐ Rafter / Beams.....B1 B2.....
- ☒ ☐ ☐ Alternative.....specify reason.....

Roof cladding - Metal; Profiled Metal; Masonry, Membranes Code E2, E2/AS1 B2

- ☒ ☐ ☐ Pitch / profile.....E2.....
- ☒ ☐ ☐ Underlay.....E2.....
- ☒ ☐ ☐ Flashings.....E3;E2.....B1 B2.....
- ☒ ☐ ☐ Parapets.....B1 E2 B2.....
- ☒ ☐ ☐ Membrane Roofs and substrate Code E2/AS1 B2.....
- ☒ ☐ ☐ Gutters, Barges & Fascias detail Refer E2, section 8.3, cl 8.3.9.....
- ☒ ☐ ☐ Alternative.....specify reason.....

Installation of profiled metal roof cladding shall be by trained installers, approved by the tile manufacturer or NZ agent. In some cases experienced builders undertake installation, refer E2, section 8.4, cl 8.4.2 'General'.

Claddings Code B1 & B2 E2/AS1, Branz good practice Guides & Weather tightness Vol 12&3

Comments

- ☒ ☐ ☐ Risk matrix Cavity or direct.....E2.....
- ☒ ☐ ☐ Brick Veneer.....E2 "The brick book" Branz Masonry Guide; B2.....
- ☒ ☐ ☐ Timber WeatherboardE2 Branz Timber Guide Vol 1&2; B2.....
- ☒ ☐ ☐ StuccoB1 NZS 3604 Branz good practice guide; B2.....
- ☒ ☐ ☐ Profiled Metal.....E2 Metal Roofing Practice; B2.....
- ☒ ☐ ☐ PlywoodE2; B2.....
- ☒ ☐ ☐ Fiber Cement W/b.....E2; B2.....
- ☒ ☐ ☐ Board & Batten..... Branz good practice guide; B2.....
- ☒ ☐ ☐ Fiber Cement Sheet.....E2; B2.....
- ☒ ☐ ☐ Weathertightness details.....E2; B2.....
- ☒ ☐ ☐ Alternative.....specify reason.....

Bracing NZS 3604 B1, B2, E3

Comments

N/A NO YES

- ☒ ☐ ☐ Subfloor bracing.....B1 & NZS 3604.....
- ☒ ☐ ☐ Wall bracing..... B1 & NZS 3604.....
- ☒ ☐ ☐ Roof bracing..... B1 & NZS 3604.....
- ☒ ☐ ☐ Bracing calculations..... B1 & NZS 3604.....
- ☒ ☐ ☐ Provide bracing plan layout..... B1 & NZS 3604.....
- ☒ ☐ ☐ Double top plate (if > 5m)..... B1 & NZS 3604.....
- ☒ ☐ ☐ Indicate dragon tie (if > 6m)..... B1 & NZS 3604.....
- ☒ ☐ ☐ Diaphragm ceilings (if > 7.5m)..... B1 & NZS 3604.....
- ☒ ☐ ☐ Check for distribution B1 & NZS 3604.....
- ☒ ☐ ☐ Alternative.....specify reason.....

Light & Ventilation *B1 G4, Clause 1.2; G4, clause 1.3 G7, G9 F2*

General

Comments

N/A NO YES

- ☐ ☐ ☒ Vent 5%.....G4
- ☐ ☐ ☒ Light 10%.....G7
- ☐ ☐ ☒ Electrical.....G9
- ☐ ☐ ☐ Mechanical ventilation.....G4
- ☐ ☐ ☐ Exterior space for awareness.....G7

Glazing

- ☐ ☐ ☐ Safety glass.....F2
- ☒ ☒ ☐ Wind zone.....B1, NZS 3604
- ☐ ☐ ☐ Alternative.....specify reason

isnt, glazed window

Insulation *BRANZ Home Insulation Guide, NZS 4218, AS/NZS 2918*

Comments

- ☐ ☐ ☐ FloorH1
- ☐ ☐ ☐ Wall.....H1
- ☐ ☐ ☐ Roof.....H1
- ☐ ☐ ☐ Windows / glazing.....H1
- ☐ ☐ ☐ Alternative.....specify reason

NA

Stairs / Landings / Handrails *D1, sec 4*

Comments

- ☐ ☐ ☐ Stair tread & risers.....D1
- ☐ ☐ ☐ Landing size.....D1
- ☐ ☐ ☐ Handrail.....D1
- ☐ ☐ ☐ Riser opening (min) where children.....D1
- ☐ ☐ ☐ Residential Accessibility.....D1
- ☐ ☐ ☐ Alternative.....specify reason

NA

Stair type

Minor Private: Max rise 220mm/Min tread 220mm,
Secondary Private: Max rise 200mm/Min tread 250mm,
Main Private: Max rise 190mm/Min tread 280mm. (Main private includes exterior stairs)

Decks / Balconies / Barriers *D1, F4 & NZS 3604, Section 6 & 7,*

Comments

- ☐ ☐ ☐ Barrier & deck fixing durability.....D1 B1 B2
- ☐ ☐ ☐ Top rails, balusters, bottom rails, palings.....D1 B1
- ☐ ☐ ☐ If Engineer then calculations required.....B1 B2
- ☐ ☐ ☐ Max 3m height or Engineer.....B1 B2
- ☐ ☐ ☐ Deck joist sizes, grade, treatment, span & spacing.....D1 B1 B2
- ☐ ☐ ☐ Piles & bearers the correct grade, treatment, size, spacing & span.....D1 B1 B2
- ☐ ☐ ☐ Slip resistanceD1
- ☐ ☐ ☐ Appropriate waterproofing membrane.....B1 B2
- ☐ ☐ ☐ Stringer size & connectionsD1 B1 B2
- ☐ ☐ ☐ Thresholds.....D1 E2
- ☐ ☐ ☐ Alternative.....specify reason

Fire (Residential) NZBC F7/Cdoc

Comments

N/A NO YES

- ☒ ☐ ☐ Travel distances max 24m.....C3.15.....
- ☒ ☐ ☐ Smoke detectors.....F7.....
- ☒ ☐ ☐ Wood burnersF7.....
- ☒ ☐ ☐ Garage fire wall detailsC7 (C7.10 C7.8)
- ☒ ☐ ☐ Alternative.....specify reason

Swimming Pool & Fencing *Fencing of Swimming Pools Act 1987*

Comments

- ☒ ☐ ☐ Refer to Compliance for sign off.....
- ☒ ☐ ☐ Specific Engineering Design
- ☒ ☐ ☐ Proprietary system/design.....
- ☒ ☐ ☐ Section/construction
- ☒ ☐ ☐ Pool backwash discharging the sewer.....
- ☒ ☐ ☐ Fence height
- ☒ ☐ ☐ Gate(s) / door(s) open outward.....

Ambiguity / Contradictions

Comments

- ☒ ☐ ☐ Manufacturers Specs
- ☒ ☐ ☐ Engineer compared with Designer/Architect
- ☒ ☐ ☐ Any Other contradictions

Alternative Solutions

Record assessment, decision and reasons for decisions below. Has the designer substantiated why they believe the proposal complies with the building code? Is there a determination on a similar proposal? Has corroborative evidence been provided (peer review, appraisal or determination)? Include reference to comparison with acceptable solutions, other documents / standards / best practice guides / publications, expert opinion, determinations, in-service history, product certification, professional judgment, building code objectives. Refer BRANZ Bulletin # 456 (Dec 2004). List any conditions / communications / actions:

This sheet relevant to plumbing & drainage only

Comments

General

N/A NO YES

- ☒ ☐ ☐ Kitchen area.....G3/AS1
- ☐ ☐ ☒ Laundry.....
- ☐ ☐ ☒ Bathrooms.....
- ☐ ☐ ☒ Location of sanitary fixtures.....
- ☐ ☐ ☒ Plumbing layout.....

Plumber's Reg no.....

Drainlayers Reg no.....

Effluent Disposal Systems

Comments

- ☐ ☐ ☐ Engineering Site Investigation
- ☐ ☐ ☐ Design Specification & Producer Statement

(The design criteria should include: Capacity based on bedroom numbers, Loading calculation, site evaluation, soil profile, site characteristics,)

connecting to town sewer / house drain being retical connected
on Rates fault.

Water Supplies

Comments

- ☐ ☐ ☒ G 12
- ☐ ☐ ☒ Town supply.....
- ☐ ☐ ☒ Private scheme.....
- ☐ ☐ ☒ Type & location.....
- ☒ ☐ ☐ Alternative.....specify reason.....

Sanitary Drainage

Comments

- ☐ ☐ ☒ G13.....
- ☐ ☐ ☒ Layout
- ☐ ☐ ☒ Council availability or
- ☐ ☒ ☐ Septic tank design & calcs.....
- ☒ ☐ ☐ Alternative.....specify reason

Stormwater Drainage

Comments

- ☐ ☐ ☐ E1
- ☐ ☐ ☐ Layout
- ☐ ☐ ☐ Council availability
- ☐ ☐ ☐ Alternative.....specify reason

Sanitary Plumbing

Comments

- ☐ ☐ ☒ E13.....
- ☐ ☐ ☐ Layout
- ☒ ☐ ☐ Alternative.....specify reason

Accessibility D1; NZS 4121

Comments

N/A NO YES

- ☒ ☐ ☐ Car parks
- ☒ ☐ ☐ Projections
- ☒ ☐ ☐ Kerb Ramps.....
- ☒ ☐ ☐ Footpaths/Ramps / Landings
- ☒ ☐ ☐ Entrances.....
- ☒ ☐ ☐ Public Facilities.....
- ☒ ☐ ☐ Lifts.....
- ☒ ☐ ☐ Stairs.....
- ☒ ☐ ☐ Stair / handrails.....
- ☒ ☐ ☐ Doorways/Doors/Corridors/ Lobbies.....
- ☒ ☐ ☐ Controls.....
- ☒ ☐ ☐ Places of assembly/entertainment/Recreation.....
- ☒ ☐ ☐ Warning Systems.....
- ☒ ☐ ☐ Toilet Facilities / Laundering
- ☒ ☐ ☐ Food preparation / accommodation.....
- ☒ ☐ ☐ Signs.....

Fire report C1,C2, C3, C4

Comments

- ☒ ☐ ☐ Purpose group FHC
- ☒ ☐ ☐ Fire cell separation /use of building
- ☒ ☐ ☐ f- rating
- ☒ ☐ ☐ s- rating
- ☒ ☐ ☐ Occupancy numbers
- ☒ ☐ ☐ Means of escape
- ☒ ☐ ☐ Travel distances
- ☒ ☐ ☐ External walls/unprotected areas
- ☒ ☐ ☐ Fire resistance to supporting elements/floors/ walls.
- ☒ ☐ ☐ Risks to/below escape routes
- ☒ ☐ ☐ Fire safety precautions
- ☒ ☐ ☐ SFI's / SDI's
- ☒ ☐ ☐ Alternatives
- ☒ ☐ ☐ Referral to DRU
- ☒ ☐ ☐ Alternative.....specify reason

Solid waste G15

Comments

- ☒ ☐ ☐ Waste bin area
- ☒ ☐ ☐ Environmental health referral
- ☒ ☐ ☐ Alternative.....specify reason

Hazardous Agents, Materials & substances F1 - F3

Comments

- ☒ ☐ ☐ Waste bin
- ☒ ☐ ☐ Environmental health referral

Work Sheet

① Smoke detectors ✓
 ② The existing stained window required to have safety film or safety glass. ✓
 Bleach and appropriate required

General stamp prompts

Wind Zone
 Corrosion
 Cladding
 Electrical
 Bracing Highlighted
 Boundary setting out
 Engineers design

Set Status
 Complete checklist
 Addenda
 Section 72 / ponding
 Set inspections

Dialogue Record

[illegible][illegible]

Change Of Use – Sec 114: (record decisions and basis for decisions – confirm whether sec 115 applies)		
Date		
Alteration to Existing Building – Sec 112: (record decisions and basis for decisions – confirm whether sec 118 applies and if so, has it been complied with?). List conditions / communications / actions:		
Date		
Hazards – Sec 71-74 : (record decisions and basis for decisions – see under “site plan above already done”)		
Date:		
Compliance Schedule – Sec 100 - 107: (record if new / amended compliance schedule required, and attach copy of replica compliance schedule. Ensure that note is recorded on building consent that new / amended compliance schedule will be issued).		
Date		

Note :- Refer to the associate code clause along side each prompt above for compliance or reason of decision
Plan checked yet Unsatisfactory
(request for further information- see attached copy)

Signature, name & date

Bldg.....

Plumbing.....

Fire.....

I am satisfied on reasonable grounds that the provisions of the Building Code are met and the **Building consent may be granted (refer Bld Act Sec 49(1))**
All previous Further Information Requests now satisfactory.

Signature, name & date

Bldg.....
(for all pages except those listed below)

Plumbing.....
(For pages 6 of 11 unless otherwise listed)

Fire.....
(As listed on page 7 of 11)

Addenda to Form 436

Allocation of work to approvals officer outside current competency

Building Category	Circle appropriate category	0	1	2	3

1) Authorized by Team leader or delegate	Level of supervision reqd	Reason for decision
Name, Signature & date	Coaching Mentoring Peer review on completion	In training Vetting one level above competency Other
2) Approval Officer undertaking training	Record of Learning	Decision
Name, Signature & date		I am satisfied on reasonable grounds that the provisions of the Building Code are met and the building consent may be granted (refer Bld Act 49(1))
Current competency level Category 0, 1 or 2		
3) Coach/Mentor/Peer reviewer	Training needs identified	Comments
Name, Signature & date		I am satisfied on reasonable grounds that the provisions of the Building Code are met and the building consent may be granted (refer Bld Act 49(1))
Current competency level Category 1, 2 or 3		

Allocation notes

- Categories of building are determined on receipt of application
- All applications are re assessed for the category and allocated to each appropriate Officer at the earliest opportunity and then placed in processing shelves accordingly
- Approvals staff are aware of their own competency level and check the allocation of work.
- Approvals staff may select, for training purpose, a consent 1 (one) category higher than their current competency for the purpose of increasing their skill level provided they gain approval from the Team Leader Building Consent Approvals. Once approval is given the Team Leader Building Consent Approvals will arrange for the appropriate supervision and final peer review.

FOR COUNCIL USE:

DEPARTMENT	TICK FOR REFERRAL	COMMENTS	APPROVING OFFICER/ DATE
Resource Consents			<i>[Signature]</i> 28/1/02
Plumbing and Drainage			
Building			
Fire Design			
Compliance Schedule			
Structural			
Hazardous Substances			
Environmental Health			
Site- Footpath & Entrance Conditions	Ground		

NOTES:



175 Rimu Road
Private Bag 100
Paraparaumu
Phone: [04] 904 5700
Fax: [04] 904 5830

ENVIRO+PLUS
BUILDING CERTIFICATION

5 Hagley Street
P O Box 50218
Porirua City
Phone: [04] 237 5089
Fax: [04] 237 1439

Bldg Cert 1



APPLICATION FOR BUILDING CONSENT

Section 33, Building Act 1991

App. No. 020043

APPROVED COMMENCEMENT DATE: Urgent FINISH DATE: _____

Owner ID _____ Applicant ID _____

PART A : GENERAL

[Complete Part A in all Cases – Refer over for Part B, C and D, sign and date]

APPLICANT	PROJECT
Owner Name: <u>Jane Patterson</u> Mailing Address: _____ Contact Name: <u>ENVIRO+PLUS LIMITED</u> <u>P.O. BOX 648</u> <u>LEVIN</u> Phone: _____ wk _____ hm _____ Cellphone No: _____ Fax: _____ *Under section 33 of the Building Act 1991, the applicant must be the owner of the land on which building work is contemplated or a person who or which has agreed in writing, whether conditionally or unconditionally, to purchase the land or any leasehold estate or interest in the land, or to take a lease of the land, while the agreement remains in force.	New or Relocated Building ☐ Alterations or Additions ☒ Accessory Building or Fire ☐ Building demolition or Removal ☐ Intended use, e.g Dwelling, Carport, Garage etc <u>Additions / Fire</u> Being stage <u>1</u> of an intended <u>1</u> stages. Estimated value (inclusive of GST) <u>\$ 18,000</u>
FOR COUNCIL USE Received: <u>18/1/02</u> Application Fee: \$ <u>100.00</u> Receipt No: <u>929279</u> Balance of Fees: \$ <u>PP. Enviroplus Ltd (ANZ)</u> <u>Chq</u> Receipt No: _____ Date: _____/_____/_____ NOTE: Balance of fees are payable on consent approval	Intended life: (of building) Indefinite but not less than 50 years ☒ Specified as _____ years PROJECT LOCATION Street Address (if any) <u>42 Fieldway</u> <u>Waikanae</u> Legal description (as shown on certificate of title rates notice, if any) Lot <u>29</u> DP <u>22152</u> Valuation No. <u>14910-294-00</u>
This application is for: ☒ Building Consent only, in accordance with Project Information Memorandum <u>011751</u> ☐ Both Building Consent and a project Information Memorandum	

PART B : BUILDING DETAILS

(Complete Part B in all cases)

This application is accompanied by (tick each applicable box, attach relevant documents in duplicate):

- ☐ The drawings, specifications and other documents according to which the building is proposed to be constructed to comply with the provisions of the building code, with supporting documents, if any, including:

- ☐ Building certificates
☐ Producer statements
☐ References to accreditation certificates issued by the Building Industry Authority
☐ References to determinations issued by the Building Industry Authority

- ☐ Proposed procedures, if any, for inspection during construction

PART C : PROJECT DETAILS

(Complete Part C only if you have not applied separately for a project information memorandum)

- ☐ Location, in relation to legal boundaries, and external dimensions of new, relocated, or altered buildings
☐ New provisions to be made for vehicular access, including parking
☐ Provisions to be made in building over or adjacent to any road or public place
☐ New provisions to be made for disposing of stormwater and wastewater
☐ Precautions to be taken where building work is to take place over existing drains or sewers or in close proximity to wells or watermains
☐ New connections to public utilities
☐ Provisions to be made in any demolition work for the protection of the public, suppression of dust, disposal of debris, disconnection from public utilities and suppression of noise
☐ Any cultural heritage significance of the building or building site, including whether it is on a marae

PART D : KEY PERSONNELDesigner(s): Architecture + LtdBuilding Certifier(s): ENVIRO+PLUS LIMITED

P.O. BOX 648

LEVIN

Builder/s: Hamish SweetmanRegistered Drainlayer: N/A REG NO: _____Craftsman Plumber: N/A REG NO: _____

Other: _____

PLEASE NOTE

The information provided in support of this application is public and as such is freely available on request. However under Section 27(3) of the Building Act 1991 you may for security and/or copyright reasons request the plans and specifications pertaining to this application be marked as confidential by completing the following section

CONFIDENTIALITY**Plans and Specifications**

I/We require that my/our:

1. ☐ plans
 2. ☐ specifications
 be treated as confidential in order to protect either:
 3. ☐ the security of the building; and/or
 4. ☐ copyright

Signed: _____

Signed for and on behalf of the Applicant:

Name: Larry HuntPosition: Agent Date: 17/1/02**FOR OFFICE USE ONLY**

FEES		APPLICATION DEPOSIT	
Building	\$120.00		\$100.00
Sewer Connection	\$.....	RECEIPT NO	DATE 18.1.02
Water Connection	\$.....	929279	
Vehicle Crossing	\$.....	INVOICE NO	DATE.....
Damage Deposit	\$.....	65014	29.1.02
Structural Checking	\$.....	RECEIPT NO	DATE 16.05.02
Building Research Levy	\$.....	945598	
Development Levy	\$.....	FEES PAID BY:	
BIA Levy	\$.....	Enviropus Ltd	
Compliance Schedule	\$.....	ANZ	
Digital Storage Fee	\$22.50	BUILDING CONSENT	DATE ISSUED
Certificate of Title Charge	\$.....	NUMBER	
Photocopying	\$.....	020043	16.05.02
SUBTOTAL	\$202.50	AUTHORISATION FOR REFUND OF DEPOSITS	
Less Deposit Paid	\$100.00	Deposit held =	\$.....
TOTAL	\$102.50	Cost to Repair Damage Caused During	
GST INCLUDED	\$.....	Construction =	\$.....
		Total Balance to be Refunded	
		Authority Number:	
		Issued:	DATE:

Received with thanks by 47/01
 KAPITI COAST DISTRICT COUNCIL

16-05-02 16:04 Receipt no. 945598

DR BC020606 LEIPNIK 150.00-
 LEIPNIK::C/O ENVIROPLUS LTD:P O BOX 648
 DR BC020512 DEMOLITION 45.00-
 A STILL & R BERTELSEN::C/- ENVIROPLUS L
 DR BC020522 PIM 145.00-
 A STILL & R BERTELSEN::C/- ENVIROPLUS L
 DR BC020577
 STILL & R BERTELSEN 701.60-
 A STILL & R BERTELSEN::C/- ENVIROPLUS L
 DR BC020541
 TIETJENS C H 552.00-
 C & H TIETJENS::C/- ENVIROPLUS LTD:PO B
 DR BC020513
 KENNERLEY J & D 1,223.75-
 J & D KENNERLEY::C/- ENVIROPLUS LTD:PO
 DR BC020043
 PATTERSON JANE 102.50-
 JANE PATTERSON::C/- ENVIROPLUS LTD:PO B
 DR BC011672
 LONGLAS PROPERTY INV 72.00-
 LONGLAS PROPERTY INVESTMENTS LTD::C/- E
 DR BC020506 PIM 145.00-
 CENTURY PROPERTIES::C/- ENVIROPLUS LTD:
 DR BC020502 PIM 95.00-
 G SPENCER::C/- ENVIROPLUS LTD:PO BOX 64
 CO A
 ENVIROPLUS LTD 3,231.85
 UB

Received with thanks by 49/01
 KAPITI COAST DISTRICT COUNCIL

18-01-02 14:50 Receipt no. 929279

COPY *COPY* *COPY*
 DR BC020036 420.00-
 HINDS S HINDS
 S HINDS HINDS::C/O ENVIROPLUS LTD:P.O.B
 DR BC020037 RICHARDSON 100.00-
 MR & MRS RICHARDSON::C/O ENVIROPLUS LTD
 DR BC020038 JACKSON 520.00-
 MR & MRS JACKSON::C/O ENVIROPLUS LTD:P.
 DR BC020039 O'LEARY 420.00-
 MR & MRS O'LEARY::C/O ENVIROPLUS LTD:P.
 DR BC020040 BUTLER I & 150.00-
 I & J BUTLER::C/O ENVIROPLUS LTD:P.O.B
 DR BC020041 BLAIR 520.00-
 MR & MRS BLAIR::C/O ENVIROPLUS LTD:P.O.
 DR BC020042
 B & K DEVELOPERS 420.00-
 B & K DEVELOPERS::C/O ENVIROPLUS LTD:P.
 DR BC020043
 PATTERSON JANE 100.00-
 JANE PATTERSON::C/O ENVIROPLUS LTD:P.O.
 CO A
 PP ENVIROPLUS LTD 2,650.00
 UB

CONSENT DATA INPUT REQUIREMENTS

REQUIRED INSPECTIONS	STANDARD ADDENDA			
14	32		21	
1	2		22	
17	3		23	
7	4		23A	
16	5		24	
2	6		25	
3	7		26	
18	8		27	
4	8A		28	
8	8B		29	
5	9		30	
10	10		31	
12	11		32	
6	12		33	
9	13		34	
11	14		35	
13	15		36	
15	16		37	
	17		38	
	18		39	
	19		40	
	20		41	

STANDARD CONDITIONS	
1	
2	
3	

NON STANDARD ADDENDA

[illegible]



Building Consent

Section 35, Building Act 1991

Application

JANE PATTERSON	No.	020043
C/- ENVIROPLUS LTD	Issue date	17/05/02
PO BOX 648	Application date	18/01/02
LEVIN	Overseer	STEPHEN STRADLING

Project

Description	Alterations, Repairs or Extensions Being Stage 1 of an intended 1 Stages ADDS TO DWELLING & INSTALL F/S FIRE
Intended Life	Indefinite, but not less than 50 years
Intended Use	RESIDENTIAL
Estimated Value	\$18,000
Location	42 FIELD WAY, WAIKANA E
Legal Description	LOT 29 DP 22152
Valuation No.	1491029400

Charges

The Council's charges paid on uplifting this Building Consent, in accordance with the attached details are:

	\$	202.50
Building Research Levy	\$	0.00
Building Industry Authority Levy	\$	0.00
Total	\$	202.50

Since Paid
\$.....

This building consent is a consent under the Building Act 1991 to undertake building work in accordance with the attached plans and specifications so as to comply with the provisions of the building code. It is not a consent under the Resource Management Act and does not affect any duty or responsibility under any other Act nor permit any breach of any other Act.

Signed for and on behalf of the Council:

Name: 

Date: 17.05.02

1. LAPSE AND CANCELLATION OF BUILDING CONSENT. A building consent shall lapse and be of no effect if the building work concerned has not been commenced within 6 calendar months after the date of issue. Or within such further period as the territorial authority allows.

I have read the foregoing requirements, and the Owner/Builder/Authorised Person hereby agrees to comply with them.

**OWNER/BUILDER/
AUTHORISED PERSON**

Date: _____

Building Certifier's Inspection Report

(Section 57(3) (a), Building Act 1991)

Territorial Authority: Kapiti Coast District Council

Building Consent Number: 020043

Building Certificate Number: 10402

Building Consent Issued: 17/05/02

Project Information Memorandum Number: 011751

Resource Consent Number:

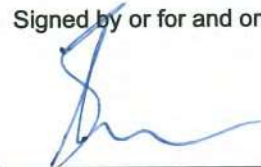
Project		Project Location	
Project Type:	Alteration	Owner:	Jane Patterson
Intended Use:	Dwelling / Fire	Street Address	42 Fieldway
Lifespan:	Specified as 50 Years		
Being Stag	1 of an Intended 1 Stages.		Waikanae
Builder	Hamish Sweetman	Legal Lot #	29
Plumber	N/A	Legal DP	22152
Drainlayer	N/A		
Other			

This Certificate does not apply to Electrical Wiring or Gas Fitting:

Assessment Detail

Date	Type	Pas	Comments	Notes
17/05/02	Site / Location	☒	Conforms with approved plan	
17/05/02	Slab Pre Pour	☒	Damp proof course in place	Mesh in place.
3/07/02	Framing / Bracing	☒	Framing / bracing / connections checked	
15/07/02	External Cladding	☒	Sheet material fixing / weatherproof	
11/08/02	Pre-lining	☒	Timber moisture measured - OK to line	Insulation in place
11/08/02	Heater	☒	Restraint/clearances/hearth checked	

Signed by or for and on behalf of the building certifier



S. P. Stradling

Thursday, 12 September 2002



Building Certificate Number: 10402

Building Certifier's Inspection Report

(Section 57(3) (a), Building Act 1991)

Territorial Authority: Kapiti Coast District Council

Building Consent Number: 020043

Building Certificate Number: 10402

Building Consent Issued: 17/05/02

Project Information Memorandum Number: 011751

Resource Consent Number:

Project		Project Location	
Project Type:	Alteration	Owner:	Jane Patterson
Intended Use:	Dwelling / Fire	Street Address	42 Fieldway
Lifespan:	Specified as 50 Years		
Being Stag	1 of an Intended 1 Stages.		Waikanae
Builder	Hamish Sweetman	Legal Lot #	29
Plumber	Ralph Plumbing	Legal DP	22152
Drainlayer	N/A		
Other			

This Certificate does not apply to Electrical Wiring or Gas Fitting:

Assessment Detail

Date	Type	Pas	Comments	Notes
17/05/02	Site / Location	☒	Conforms with approved plan	
17/05/02	Slab Pre Pour	☒	Damp proof course in place	Mesh in place.
3/07/02	Framing / Bracing	☒	Framing / bracing / connections checked	
15/07/02	External Cladding	☒	Sheet material fixing / weatherproof	
11/08/02	Pre-lining	☒	Timber moisture measured - OK to line	Insulation in place
11/08/02	Heater	☒	Restraint/clearances/hearth checked	
10/12/02	Final	☒	Issue CCC	

Signed by or for and on behalf of the building certifier



S. P. Stradling

Tuesday, 10 December 2002

COPY FOR YOUR
RECORDS

Building Certifier's Inspection Report

(Section 57(3) (a), Building Act 1991)

Territorial Authority:

Building Consent Number:

Building Certificate Number:

Building Consent Issued:

Project Information Memorandum Number:

Resource Consent Number:

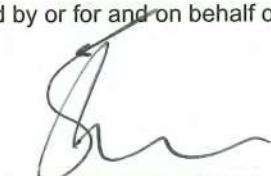
Project		Project Location	
Project Type:	Alteration	Owner:	Jane Patterson
Intended Use:	Dwelling / Fire	Street Address:	42 Fieldway
Lifespan:	Specified as 50 Years		Waikanae
Being Stage	1 of an Intended 1 Stages.	Legal Lot #	29
Builder	Hamish Sweetman	Legal DP	22152
Plumber	N/A		
Drainlayer	N/A		
Other			

This Certificate does not apply to Electrical Wiring or Gas Fitting:

Assessment Detail

Date	Type	Pass	Comments	Notes
17/05/02	Site / Location	☒	Conforms with approved plan	
17/05/02	Slab Pre Pour	☒	Damp proof course in place	Mesh in place.

Signed by or for and on behalf of the building certifier


S. P. Stradling

Tuesday, 18 June 2002



Building Certificate Number:

10402

(Section 56, Building Act 1991)

Issued By: Stephen Paul Stradling

Currently approved and registered as a building certifier in respect of the provisions of the Building Code listed in my scope of approval, with no general limitations.

To Kapiti Coast District Council

Building Consent Number:

Project Information Memorandum Number:

Resource Consent Number:

<u>Project</u>		<u>Project Location</u>	
Project Type:	Alteration	Owner:	Jane Patterson
Intended Use:	Dwelling / Fire	Street Address:	42 Fieldway
Lifespan:	Specified as 50 Years		Waikanae
Being Stage	1 of an Intended 1 Stages.	Legal Lot #	29
		Legal DP	22152

This Certificate does not apply to Electrical Wiring or Gas Fitting:

This is to certify that:

I have been engaged to inspect specified building work in relation to provisions of the building code.

The "Scope of Engagement" involves:

Certification of plans and specifications ☒

On site inspection at all stages of construction ☒

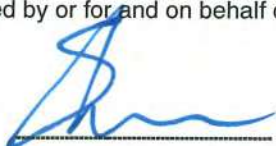
I am satisfied on reasonable grounds that:

The proposed building work would comply with the listed provisions of the building code if properly completed in accordance with the listed plans and specifications.

Specific exclusions (which are documented by Producer Statement and/or specific design):

None

Signed by or for and on behalf of the building certifier



S. P. Stradling

Friday, 18 January 2002

Warmington



ENVIRO+PLUS
10402
BUILDING CERTIFICATION

COPY FOR YOUR
RECORDS



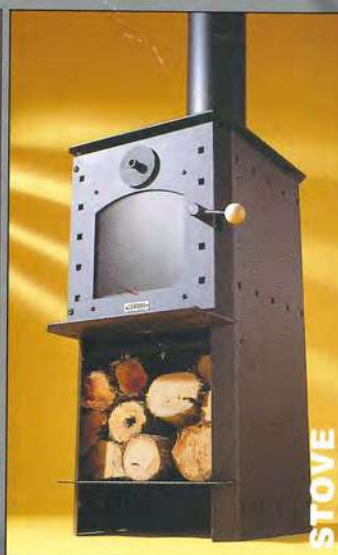
STUDIO FIRE S

BY PETER HAYTHORNTHWAITEDSIGN

Warmington

Inbuilt Technology

The STUDIO is a uniquely handsome stove designed to complement both contemporary and traditional interiors. In spite of its deceptively small size, the stove has a very high heat output. Its simplicity of shape expresses the logic of its design and inbuilt technology.



Double Skin

The STUDIO is mainly a convectional stove - it has an inner and outer skin whereby room air flows between the surfaces, thus becoming hot and efficiently heating the room. Because the outer skin stays relatively cooler this type of stove is safer than a full radiation stove (ie Pot Belly).

Solid Fuel Heating
Your Warmington Distributor
COMPANY LIMITED
248 Thorndon Quay
PO Box 3948
Wellington
Phone 04-4727054 Fax 04-4727053
SERVICE-INSTALLATION-MAINTENANCE-CHIMNEY SWEEPS

Studio Stove
\$1750 - matt black
\$1900 - coloured.
Oh-Ah Stove
\$2855
Studio Oven
\$3205
All above pricing incl.
a 3.6m standard flue
kit/Shield & GST

Heat Output

A maximum heat output of approximately 14kw, with normal operations output of 8kw to 10kw. The stove will heat an area of approximately 1500sq.ft. (150m²)

WETBACK On special order a wetback model can be supplied. This unit acts as a hot water booster producing approximately 2.5kw.

TESTING The stove meets the NZS 7421 : 1990 specification for solid fuel burning heaters.



Burn Twice

The STUDIO'S combustion chamber is very efficient - air and volatile gases mix together and are more fully burnt. Spent gases exit through the flue.

COOKING Because the top of the STUDIO Stove is in direct contact with the flame it offers a large cooking surface. Ideal for entertainment at home or cooking for holiday homes.

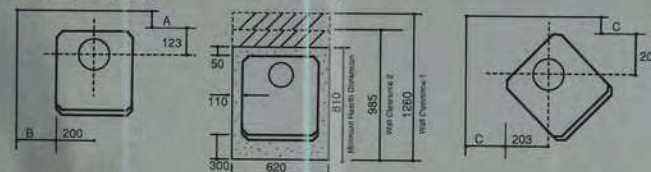
Food can be kept warm and electricity saved.

Installation

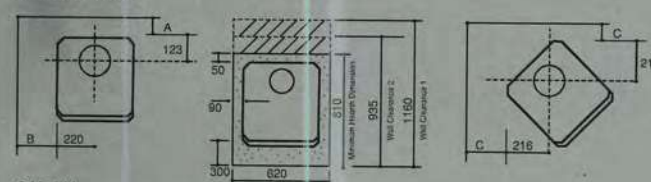
The STUDIO Stove can be fitted by any certified heating installer. The stove is to be placed on a flat non combustible surface having minimum dimensions as in the diagrams. Installation specifications have been established in accordance with the NZS7421 : 1990. The clearances tabled are the minimum acceptable.

WALL CLEARANCE

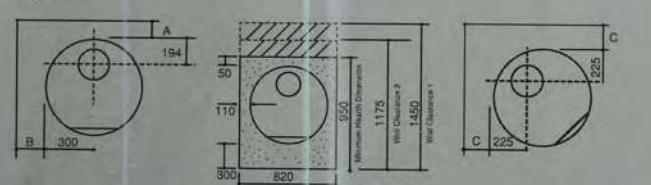
STUDIO STOVE



STUDIO OVEN



OH-AH



WALL CLEARANCES (in millimetres)	STOVES			OVENS			OH-AH		
	A	B	C	A	B	C	A	B	C
1. Combustible Surface without Flue Shields	500	525	450	400	330	350	500	525	450
2. Combustible Surface with Stainless Steel Reflective Flue Shield*	225	400	275	175	305	150	225	400	275
3. Mineral Board with 25mm Air Space and Stainless Steel Reflective Flue Shield*	115	200	140	60	105	55	115	200	140
4. Brick with 25mm Air Space and Stainless Steel Reflective Flue Shield*	45	80	55	35	65	30	45	80	55

*Construction of Flue Shield must be in accordance with NZS741:1990 (Minimum flue shield height is 900mm)

STUDIO FIRES

Manufactured by: Warmington Industries '94 Ltd, Greenmount Drive, East Tamaki, Auckland, Ph: (09) 273 9227 fax: (09) 273 92 41

Wall Bracing Calculation Sheet A**Job Details**

box 1

Name PATTERSON BACH ALTERATIONS

Street and Number 42 FIELDWAY

Lot and DP Number LOT 29 DP 22/52

City/Town/District WAIKANA E BEACH

Location of Storey: single/upper of two/lower of two Floor load: 2kPa/3kPa

Building height to apex 3.1 m Roof weight light/heavy

Roof height above eaves 0.7 m Cladding weights: light/medium/heavy

Stud height 2.7/2.1 m Subfloor light/medium/heavy

Average roof pitch 5° Lower Storey light/medium/heavy

Upper Storey light/medium/heavy

Room in Roof Space Yes/ No

Building length BL = 13.2 m Gross Building

Building width BW = 6.9 m Plan Area, GPA = 67.7 m²

Note: When the average roof pitch is over 25 degrees, use the eaves length and width to determine BL and BW.

Note: For heavy roofs use the roof plan at eaves level to determine GPA.

Wind Zone

box 2

Region: R1 0 _____ Terrain: Inland 0 _____ Exposure: Sheltered 0 _____ Topography: Gentle 0 _____

R2 1 _____ Coastal 1 _____ Exposed 1 _____ Moderate 1 _____

Extreme 3 _____

Total points _____

Wind Zone: _____ Low (0) _____ ☒ Very high (3)

_____ Medium (1) _____ Specific Design (4)

_____ High (2) _____

Earthquake Zone

box 3

From figure EQ1 select Earthquake Zone: (A) B C

BUs required Wind

box 4

From Table W1A/W1B

W along = 63 BUs/m

W across = 44 BUs/m

Total wind load,

W ALONG:

W along x BW = 434.7 BUs

W ACROSS

W across x BL = 580.8 BUs

BUs required Earthquake

box 5

From Table EQ1/EQ2/EQ3/EQ4/EQ5/EQ6

E = 3.6 BUs/m²

Note: For a room in the roof space use E + 3

Total earthquake load,

EQ ALONG and EQ ACROSS

E x GPA BUs = 243.7 BUs

Wall Bracing Calculation Sheet B**Along**

Wall or Bracing Line		Bracing Elements Provided			Wind		Earthquake	
1	2	3	4	5	6 W	7 W	6 E	7 E
Line Label	Minimum BUs Required	Bracing Element No.	Bracing Type	Length Element (m) L	Rating BU/m W	BUs Achieved (BU/m x L) W	Rating BU/m E	BUs Achieved (BU/m x L) E
A	132	A1	G1B1b	2.5	66.75	166.9	44.5	111.3
		A2	G1B1b	2.6	66.75	173.6	44.5	115.7
B	100	B1	G1B1b	3.9	75	292.5	50	195
		B2	G1B1b	2.4	75	180	50	120
C	60	C1	B25	1.2	115	138	85	102
		C2	B25	1.2	115	138	85	102
D								
E								

$$f_{JA} = \frac{2.4}{2.7}$$

$$= 0.89$$

Totals Achieved		W	1089	E	746
From Sheet A Totals Required		W	434.7	E	243.7
Wreq/Ereq =		1.18			

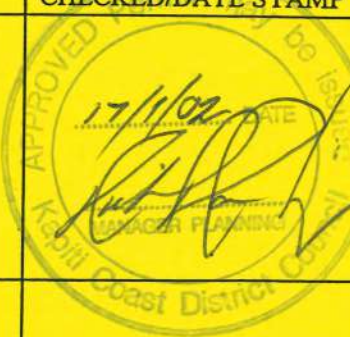
* If Wreq/Ereq is 1 or less complete E column only
If Wreq/Ereq is 1.5 or more complete W column only
Otherwise complete both W and E

Across

Wall or Bracing Line		Bracing Elements Provided			Wind		Earthquake	
1	2	3	4	5	6 W	7 W	6 E	7 E
Line Label	Minimum BUs Required	Bracing Element No.	Bracing Type	Length Element (m) L	Rating BU/m W	BUs Achieved (BU/m x L) W	Rating BU/m E	BUs Achieved (BU/m x L) E
M	70	M1	G1B2b	2.7	80	216	70	189
		M2	G1B3	1.3	65	84.5	60	78
		M3	G1B3	1.3	65	84.5	60	78
N	70	N1	B24	0.9	100	90	85	76.5
		N2	B24	0.9	100	90	85	76.5
O	36	O1	B29	0.6	110	66	95	57
		O2	B29	0.6	110	66	95	57
P								
Q								

Totals Achieved		W	697	E	612
From Sheet A Totals Required		W	580.8	E	243.7
Wreq/Ereq =		1.18			

TYPE OF BUILDING	Dwelling	Retail	Additions	Accessory
	New	Industrial	Alterations	Other

DEPARTMENT	REQUIREMENTS		COMMENTS	CHECKED/DATE STAMP
Town Planning		Yes	No	
	Zoning Confirms			
	Dispensation			
	Planning Consent			
	Special Floor Level			
Plumbing				
Drainage				
Stormwater	To Channel			
	To Drain			
	Confined to Lot			
Building				
Subdivisional Engineer				
	Earthworks Bylaw Conditions			

Notes:



175 Rimu Road
Private Bag 601
Paraparaumu
Phone: [04] 9045700
Fax: [04] 9045830



ENVIRO+PLUS
BUILDING CERTIFICATION

5 Hagley Street
P O Box 50218
Porirua City
Phone: [04] 237 5089
Fax: [04] 237 1439

PIM NO

011751

APPLICATION FOR PROJECT INFORMATION MEMORANDUM

Section 30, Building Act 1991

Issued by Kapiti Coast District Council

[Cross each applicable box and attach relevant documents in triplicate]

APPLICANT	PROJECT
Name: <u>J. Patterson</u>	Tick One
Mailing address: _____	New or relocated Building ☐
Contact [Print Name and position]: _____	Alteration ☒
ENVIRO+PLUS LIMITED	Intended use(s) [In detail]: <u>Alts to dwelling / Fire</u>
Phone: _____ Fax: <u>P.O. BOX 648</u>	Intended life:
<u>LEVIN</u>	Indefinite but not less than 50 years ☒
FOR COUNCIL USE	Specified as _____ years ☐
Received: <u>1 / 1 /</u>	Demolition ☐
Application fee: \$ _____	PROJECT LOCATION
Receipt No: _____	Street address (if any) <u>42 Fieldway,</u>
	<u>Waikanae Beach</u>
	Legal description (as shown on certificate of title or rates notice, if any): <u>lot 29 DP 22152</u>
	[For example: Lot _____ DP _____; or Section _____
	SO _____ Survey or Registration District _____; or Maori
	block number and name; or combination of those. If none
	apply, give whatever information is necessary to identify the
	location.]

PROJECT DETAILS

1491029400

The project involves the following matters [Tick each applicable box, if any, and attach relevant information in duplicate.]

- ☐ Location, in relation to legal boundaries, and external dimensions of new, relocated or altered building.
- ☐ New provisions to be made for vehicular access, including parking.
- ☐ Provision to be made in building over or adjacent to any road or public place.
- ☐ New provision to be made for disposing of stormwater and wastewater.
- ☐ Precautions to be taken where building work is to take place over existing drains or sewers or in close proximity to wells or water mains.
- ☐ New connections to public utilities.
- ☐ Provisions to be made in any demolition work for the protection of the public, suppression of dust, disposal of debris, disconnection from public utilities and suppression of noise.
- ☐ Any cultural heritage significant of the building or building site, including whether it is on a marae.

Signed for and on behalf of Applicant:

Name: [Signature]

Position: _____

Date: 17/12/01

PROJECT INFORMATION MEMORANDUM

Section 31, Building Act 1991

The project information memorandum is:

- ☐ Confirmation that the proposed building work may be undertaken, subject to the provisions of the Building Act 1991 and any requirements of the building consent.

Not yet applied for: ☐

No: _____ attached ☐

Not yet issued ☐

This project information memorandum includes *[Tick each applicable box, attach relevant documents, and send a copy to any relevant network utility operators and organisations having the power to classify land and buildings]*.

- ☐ Information identifying relevant special features to the land concerned.
- ☐ Information about the land or building concerned notified to the Council by any statutory organisation having the power to classify land or buildings.
- ☐ Details of relevant utility systems.
- ☐ Details of authorisations which have been granted.
- ☐ Notification of any other authorisations which must be obtained before the proposed building work may be undertaken.
- ☐ Details of authorisations which have been refused.

Signed for and on behalf of Council:

Name: _____

Position: _____ Date: / /

FOR OFFICE USE ONLY

FEES	APPLICATION FEE	\$.....
\$110.00	RECEIPT NO.	DATE
\$.....	INVOICE NO. 64818	DATE 22.1.02
\$.....	RECEIPT NO. 946985	DATE 23.5.02
SUBTOTAL		
\$110.00		
Less Deposit Paid		
\$.....		
TOTAL		
\$110.00		
GST INCLUDED		
\$.....		

Building Consent

Section 35, Building Act 1991

Application

JANE PATTERSON	No.	020043
C/- ENVIROPLUS LTD	Issue date	17/05/02
PO BOX 648	Application date	18/01/02
LEVIN	Overseer	STEPHEN STRADLING

Project

Description	Alterations, Repairs or Extensions
	Being Stage 1 of an intended 1 Stages
	ADDS TO DWELLING & INSTALL F/S FIRE
Intended Life	Indefinite, but not less than 50 years
Intended Use	RESIDENTIAL
Estimated Value	\$18,000
Location	42 FIELD WAY, WAIKANAE
Legal Description	LOT 29 DP 22152
Valuation No.	1491029400

Charges

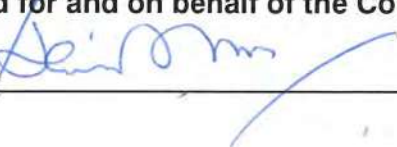
The Council's charges paid on uplifting this Building Consent, in accordance with the attached details are:

	\$	202.50
Building Research Levy	\$	0.00
Building Industry Authority Levy	\$	0.00
Total	\$	202.50

Since Paid
\$.....

This building consent is a consent under the Building Act 1991 to undertake building work in accordance with the attached plans and specifications so as to comply with the provisions of the building code. It is not a consent under the Resource Management Act and does not affect any duty or responsibility under any other Act nor permit any breach of any other Act.

Signed for and on behalf of the Council:

Name: 

Date: 17.05.02

CONSENT DATA INPUT REQUIREMENTS

REQUIRED INSPECTIONS	STANDARD ADDENDA			
14	32		21	
1	2		22	
17	3		23	
7	4		23A	
16	5		24	
2	6		25	
3	7		26	
18	8		27	
4	8A		28	
8	8B		29	
5	9		30	
10	10		31	
12	11		32	
6	12		33	
9	13		34	
11	14		35	
13	15		36	
15	16		37	
	17		38	
	18		39	
	19		40	
	20		41	

STANDARD CONDITIONS	
1	
2	
3	

NON STANDARD ADDENDA

[illegible]



Project Information Memorandum

Section 31, Building Act 1991

Application

J PATTERSON
C/- ENVIROPLUS LTD
PO BOX 648
LEVIN

No.	011751
Issue date	22/01/02
Application date	17/12/01
Overseer	STEPHEN STRADLING

Project

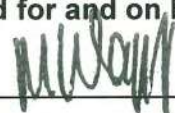
Description	Alterations, Repairs or Extensions Being Stage 1 of an intended 1 Stages ALTS TO DWG & INSTALL F/S FIRE (PIM ONLY)
Intended Life	Indefinite, but not less than 50 years
Intended Use	RESIDENTIAL
Estimated Value	\$0
Location	42 FIELD WAY, WAIKANAE
Legal Description	LOT 29 DP 22152
Valuation No.	1491029400

This project information memorandum is confirmation that the proposed building work may be undertaken, subject to the provisions of the Building Act 1991, and any requirements of the building consent.

This project information memorandum includes:

- ☐ Information identifying relevant special features of the land concerned
- ☐ Details of relevant utility systems
- ☐ Details of authorisations which have been granted

Signed for and on behalf of the Council:

Name: 

Date: 22.1.02

SPECIAL FEATURES OF THE ABOVE LAND

Information is attached identifying the following special features of the land concerned that are known to Council:

- Potential Erosion ☐
- Potential Avulsion ☐
- Potential Subsidence ☐
- Potential Slippage ☐
- Potential Alluvion ☐
- Potential Inundation ☐
- Presence of Hazardous Contaminants ☐

Other feature(s) or characteristic(s) likely to be relevant to the design or construction of the proposed buildings and not apparent from the District Scheme or District Plan:

(Plumbing & Drainage)

SEWER AVAILABLE/CONNECTED being charged on rates

WATER AVAILABLE/CONNECTED connected

SITE PLAN OF EXISTING SERVICES (IF ANY) no as built drainage record (connect to sewer if not already connected)

LOCATION OF SEWER LATERAL shown

LOCATION AND SIZE OF WATER TAP BY 15mm shown

LOCATION OF EASEMENTS (IF ANY) see Planners comments

LOCATION OF PUBLIC DRAINS (IF ANY) none

STORMWATER DISPOSAL TO	CHANNEL	☒
	DRAIN	☐
	ON SITE	☒

ADDITIONAL COMMENTS

1. LAPSE AND CANCELLATION OF BUILDING CONSENT. A building consent shall lapse and be of no effect if the building work concerned has not been commenced within 6 calendar months after the date of issue. Or within such further period as the territorial authority allows.

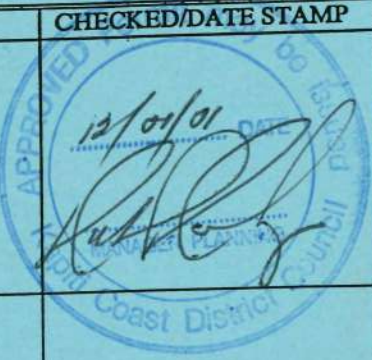
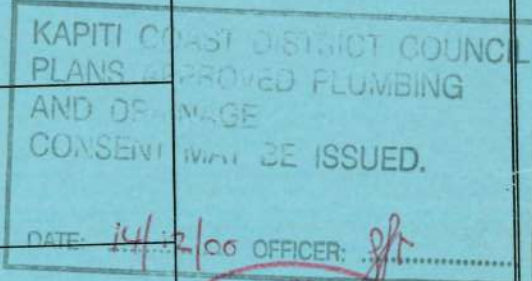
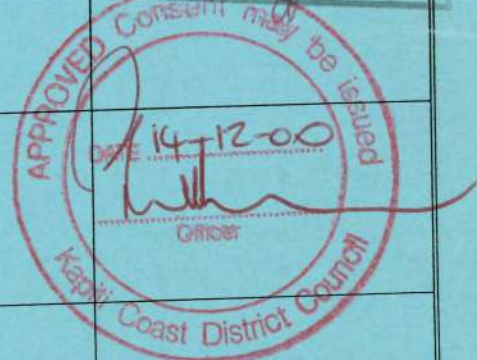
I have read the foregoing requirements, and the Owner/Builder/Authorised Person hereby agrees to comply with them.

OWNER/BUILDER/
AUTHORISED PERSON



Date: 16/5/02

FOR COUNCIL USE:

DEPARTMENT	REQUIREMENTS	Yes	No	COMMENTS	CHECKED/DATE STAMP
Town Planning				RM 000392	
	Zoning Confirms			approved 11/1/01	
	Dispensation				
	Planning Consent				
	Special Floor Level				
Plumbing					
Drainage					
Stormwater	To Channel				
	To Drain				
	Confined to Lot				
Building					
Structural	Specific Design				
	Foundation				
	Structure				
	Roof				
Subdivisional Engineer	Earthworks Bylaw				
	Conditions				
Environmental Health					
Site- Footpath & Entrance Conditions					
No Damage To existing V/c & footpath.				Soft Ground Provide raft foundation slab 11-12-2000	VBB
NOTES:					

Building



175 Rimu Road
Private Bag 601
Paraparaumu
Phone: [04] 9045700
Fax: [04] 9045830



5 Hagley Street
P O Box 50218
Porirua City
Phone: [04] 237 5089
Fax: [04] 237 1439



APPLICATION FOR BUILDING CONSENT

Section 33, Building Act 1991

To: Kapiti Coast District Council/Porirua City Council (delete one)
[Tick each applicable box and attach relevant documents in duplicate]

App. No. 001713

ANTICIPATED COMMENCEMENT DATE: 28-10-2000 FINISH DATE: 23-12-2000

Prop ID _____ Owner ID _____ Applicant ID _____

PART A : GENERAL

[Complete Part A in all Cases - Refer over for Part B, C and D, sign and date]

APPLICANT	PROJECT
Owner Name: Jane Lucille Patterson	New or Relocated Building ☒
Mailing Address: APARTMENT 4/20 42 ALPHA ST WELLINGTON.	Alterations or Additions ☐
Contact Name: RON SHARPE	Accessory Building or Fire ☐
VERSATILE BUILDINGS	Building demolition or Removal ☐
Phone: 04 239528 wk 9390871 hm	Intended use, e.g Dwelling, Carport, Garage etc SLEEPOUT OFFICE, GARAGE/WORKSHOP
Cellphone No: 02 5 510154 526140	Being stage 1 of an intended _____ stages.
Fax: 04 2339827	Estimated value (inclusive of GST) \$ 18,800-
*Under section 33 of the Building Act 1991, the applicant must be the owner of the land on which building work is contemplated or a person who or which has agreed in writing, whether conditionally or unconditionally, to purchase the land or any leasehold estate or interest in the land, or to take a lease of the land, while the agreement remains in force.	Intended life: (of building) Indefinite but not less than 50 years ☒ Specified as _____ years
FOR COUNCIL USE	PROJECT LOCATION
Received: 7 / 12 / 00	Street Address (if any) 42 FIELDWAY
Application Fee: \$ 250.00	WAIKANAHE
Receipt No: 870085	Legal description (as shown on certificate of title rates notice, if any)
Balance of Fees: \$	Lot 29 DP 22152
Receipt No: _____	Valuation No. 1491029400
Date: _____ / _____ / _____	
NOTE: Balance of fees are payable on consent approval	
This application is for:	
☐ Building Consent only, in accordance with Project Information Memorandum ☒ Both Building Consent and a project Information Memorandum	

PART B : BUILDING DETAILS

(Complete Part B in all cases)

This application is accompanied by (tick each applicable box, attach relevant documents in duplicate):

- ☐ The drawings, specifications and other documents according to which the building is proposed to be constructed to comply with the provisions of the building code, with supporting documents, if any, including:
- ☒ Building certificates
 - ☒ Producer statements
 - ☐ References to accreditation certificates issued by the Building Industry Authority
 - ☐ References to determinations issued by the Building Industry Authority
- ☐ Proposed procedures, if any, for inspection during construction

PART C : PROJECT DETAILS

(Complete Part C only if you have not applied separately for a project information memorandum)

- ☐ Location, in relation to legal boundaries, and external dimensions of new, relocated, or altered buildings
- ☐ New provisions to be made for vehicular access, including parking
- ☐ Provisions to be made in building over or adjacent to any road or public place
- ☐ New provisions to be made for disposing of stormwater and wastewater
- ☐ Precautions to be taken where building work is to take place over existing drains or sewers or in close proximity to wells or watermain
- ☐ New connections to public utilities
- ☐ Provisions to be made in any demolition work for the protection of the public, suppression of dust, disposal of debris, disconnection from public utilities and suppression of noise
- ☐ Any cultural heritage significance of the building or building site, including whether it is on a marae

PART D : KEY PERSONNEL

Designer(s): VERSATILE BUILDINGS 04 2339827 FAX
P.O. Box 54060 MANA 04 2339528 PH.

Building Certifier(s): CIANG-NAH N. X. LTD. 03 348 0314 FAX.
P.O. Box 8384 RICCARTON 03 348 8691 PH.

Builder/s: VERSATILE BUILDINGS
P.O. Box 54060 MANA

TBA Registered Drainlayer: _____ REG NO: _____

Craftsman Plumber: _____ REG NO: _____

Other: ELECTRICAL: CALISS ELECTRICAL 025 441 871
P.O. Box 51-186 2328248.
TAWA.

PLEASE NOTE

The information provided in support of this application is public and as such is freely available on request. However under Section 27(3) of the Building Act 1991 you may for security and/or copyright reasons request the plans and specifications pertaining to this application be marked as confidential by completing the following section

CONFIDENTIALITY**Plans and Specifications**

I/We require that my/our:

1. ☒ plans
 2. ☐ specifications
- be treated as confidential in order to protect either:
3. ☒ the security of the building; and/or
 4. ☐ copyright

Signed: Jane L Patterson**SIZE OF BUILDING**

Floor area m² 43.2

No of Stories 1

No of Units 1

Signed for and on behalf of the Applicant:

Name: Jane L PattersonPosition: OWNERDate: 21 / 9 / 2000**FOR OFFICE USE ONLY**

FEES		APPLICATION DEPOSIT	
Building	\$ <u>535</u>	RECEIPT NO	DATE <u>7.12.00</u>
Sewer Connection	\$	<u>870085</u>	
Water Connection	\$	INVOICE NO	DATE
Vehicle Crossing	\$	<u>52799</u>	<u>15.1.01</u>
Damage Deposit	\$	RECEIPT NO	DATE <u>18.1.01</u>
Structural Checking	\$	<u>871656</u>	
Building Research Levy	\$	FEES PAID BY:	
Development Levy	\$	<u>Jane L Patterson</u>	
BIA Levy	\$	<u>(Westpac Chg)</u>	
Compliance Schedule	\$	BUILDING CONSENT	DATE ISSUED
Digital Storage Fee	\$ <u>235.00</u>	NUMBER	
Certificate of Title Charge	\$	<u>001713</u>	<u>23.1.01</u>
Photocopying	\$	AUTHORISATION FOR REFUND OF DEPOSITS	
SUBTOTAL	\$ <u>535.00</u>	Deposit held =	\$
Less Deposit Paid	\$ <u>250.00</u>	Cost to Repair Damage Caused During	
TOTAL	\$ <u>285.00</u>	Construction =	\$
GST INCLUDED	\$	Total Balance to be Refunded	
		Authority Number:	
		Authorised:	DATE:

KAPITI COAST DISTRICT COUNCIL

7-12-00 12:22 Receipt no.870085

COPY *COPY* *COPY*

DR BC001713 250.00-
PATTERSON JANE L
JANE L PATTERSON::APARTMENT 4:20 ALPHA
CQ W
JANE L PATTERSON 250.00
UB

Received with thanks by 14/01
KAPITI COAST DISTRICT COUNCIL

18-01-01 10:08 Receipt no.871656

DR BC001713 INV 52799 285.00-
JANE L PATTERSON::C/- VERSATILE BUILDIN
CQ W
JANE L PATTERSON 285.00
UB



Building Consent

Section 35, Building Act 1991

Application

JANE L PATTERSON	No.	001713
C/- VERSATILE BUILDINGS	Issue date	23/01/01
PO BOX 54060	Application date	8/12/00
MANA	Overseer	Barrie McLennan

Project

Description	Alterations, Repairs or Extensions Being Stage 1 of an intended 1 Stage NEW GARAGE/SLEEP-OUT/WORKSHOP
Intended Life	Indefinite, but not less than 50 years
Intended Use	RESIDENTIAL
Estimated Value	\$18,800
Location	42 FIELD WAY, WAIKANA E
Legal Description	LOT 29 DP 22152
Valuation No.	1491029400

Charges

The Council's charges paid on uplifting this Building Consent, in accordance with the attached details are:

	\$	535.00
Building Research Levy	\$	0.00
Building Industry Authority Levy	\$	0.00
Total	\$	535.00

This building consent is a consent under the Building Act 1991 to undertake building work in accordance with the attached plans and specifications so as to comply with the provisions of the building code. It is not a consent under the Resource Management Act and does not affect any duty or responsibility under any other Act nor permit any breach of any other Act.

Signed for and on behalf of the Council:

Name:

[Signature]

Date:

23.1.01

Addenda to Application

Application

JANE L PATTERSON	No.	001713
C/- VERSATILE BUILDINGS		15/01/01
PO BOX 54060		
MANA	Overseer	Barrie McLennan

Project

Description	Alterations, Repairs or Extensions Being Stage 1 of an intended 1 Stage NEW GARAGE/SLEEPOUT/WORKSHOP
Intended Life	Indefinite, but not less than 50 years
Intended Use	RESIDENTIAL
Estimated Value	\$18,800
Location	42 FIELD WAY, WAIKANAЕ
Legal Description	LOT 29 DP 22152
Valuation No.	1491029400

Builder: VERSATILE BUILDINGS

General Requirements

- a) The District Inspector is to be given 24 hours' notice before carrying out the following inspections:
1. INITIAL INSPECTION - PREVIOUSLY COMPLETED
 2. FOUNDATION INSPECTION
 3. PRE-SLAB INSPECTION, CONCRETE FLOOR
 4. PRELINING INSPECTION, MOISTURE TEST, CHECK BRACING
 5. POST-LINING INSPECTION, LININGS, FIXED AS PER BRACE DESIGN
 6. FINAL INSPECTION BUILDING
- b) To arrange for any of the above required inspections by the District Inspector, please contact the building inspectorate on (04) 298 5139 between the hours of 8.00am and 4.30pm.

1. LAPSE AND CANCELLATION OF BUILDING CONSENT. A building consent shall lapse and be of no effect if the building work concerned has not been commenced within 6 calendar months after the date of issue. Or within such further period as the territorial authority allows.
2. Work to comply with NZS3604-1990 or 1999 as indicated on approved plans.
3. Note and comply with endorsements on approved plans.
4. Minimum heights of finished concrete slab-on-ground floors above adjoining finished ground level to comply with Fig E 1 NZS 3604 1990.
5. If cladding is to have pre-finished colour coating, that coating shall be appropriate for the designated coastal conditions of that site.

I have read the foregoing requirements, and the Owner/Builder/Authorised Person hereby agrees to comply with them.

OWNER/BUILDER/
AUTHORISED PERSON

(*Posted*)

Date: 23.1.01

CONSENT DATA INPUT REQUIREMENTS

REQUIRED INSPECTIONS		STANDARD ADDENDA		
14		32		21
1		2		22
17		3		23
7		4		24
16		5		25
2		6		26
3		7		27
18		8		28
4		8A		29
8		9		30
5		10		31
10		11		33
12		12		34
6		13		35
9		14		36
11		15		37
13		16		38
15		17		
		18		
		19		
		20		

STANDARD CONDITIONS

1
2
3

NON STANDARD ADDENDA

This image shows a single sheet of white paper with horizontal blue or grey ruling lines. The lines are evenly spaced and run across the width of the page. There are approximately 20 lines visible. The paper appears to be a standard notebook page.

SITE CHECK SHEET

BC001713

Applicant : JANE L PATTERSON
Site Address : 42 FIELD WAY, WAIKANAE
Legal Description : LOT 29 DP 22152
Project : NEW GARAGE/SLEEPOUT/OFFICE/W/S

Phone: 025526140

**WORK CANNOT PROCEED PAST EACH STEP UNTIL THAT STEP HAS BEEN INSPECTED,
APPROVED AND THIS FORM SIGNED BY THE RELEVANT INSPECTOR**

FOUNDATIONS

28
Date: 29/2/01 Officer: [Signature] Builder/Contractor/Owner: VERSATILE

12

Approved building consent documents on site: YES/NO

SITING:

Front yard ☒ Left hand side yard ☒ Conforms with approved plan YES/NO
Rear yard ☐ Right hand side yard ☐ If no, has new site plan been requested YES/NO

Minimum floor level ☒ Footing size ☒ Foundation wall reinforcing ☒
Pile hole size ☐ Footing reinforcing ☒ Foundation wall size ☒
Anchor pile size ☒ Subfloor vents ☐ Specific design ☒
Pile hole spacing ☒ Steps/stairs ☐ If yes, has Engineer inspected ☒

Has a Site Instruction been issued? Yes/No

Instruction No: _____

Is a reinspection required? Yes/No

Proposed date of follow up inspection _____

Labels in place? Yes/No

Producer Statement Yes/No/NA

COMMENTS

SINGLE POUR: FOUNDATION & SLAB, DPC & STEEL
IN PLACE AS REQUIRED
OK. TO CONTINUE.

PRE-SLAB

PLUMBING AND DRAINAGE:

Date: Officer: Builder/Contractor/Owner:

UNDERSLAB PLUMBING

Pipe sizes

Falls

Pipe protection

UNDERSLAB DRAINAGE

Pipe sizes

Falls

Pipe protection

Has a **Site Instruction** been issued?

Yes/No

Instruction No:

Is a reinspection required?

Yes/No

Proposed date of
follow up inspection

Labels in place?

Yes/No

Producer Statement

Yes/No/NA

COMMENTS

BUILDING

Date: Officer: Builder/Contractor/Owner:

Minimum floor level

DPC

Joints taped

Penetrations

Specific design

If yes, has Engineer inspected

Yes / No

Yes / No

Mesh

Mesh chairs

Slab thickening

Bottom plate fixings

Has a **Site Instruction** been issued?

Yes/No

Instruction No:

Is a reinspection required?

Yes/No

Proposed date of
follow up inspection

COMMENTS

SUBFLOOR

Date: Officer: Builder/Contractor/Owner:

Ord pile fixings
Anchor pile bolts
Brace pile bolts and washers
Timber treatment
Subfloor framing
Subfloor beams/bearers

Subfloor bracing
Joists - size/spacing/fixing
Cant. Joists - lth/size/spc
Solid blocking - spacing
Notching, holes etc
Proprietary connections

Has a **Site Instruction** been issued? Yes/No

Instruction No:

Is a reinspection required? Yes/No

Proposed date of
follow up
inspection.....

Labels in place?

Yes/No

Producer Statement

Yes/No/NA

COMMENTS

EXTERIOR CLADDING

Solid Plaster/Textured Finish

Date: Officer: Builder/Contractor/Owner:

Rigid backing
Non rigid backing
Building paper
Battens (non rigid)
Cavity (non rigid)
Sheet set out (Hardies)

Reinforcement
Spacers
Nailing (Hardies)
Flashings
Control joints

Has a **Site Instruction** been issued? Yes/No

Instruction No:

Is a reinspection required?

Yes/No

Proposed date of

COMMENTS

POSTLINE

Date: Officer: Builder/Contractor/Owner:

Sheets nailed as per your schedule

☐

Insulation to walls

☐

Has a **Site Instruction** been issued?

Yes/No

Instruction No:

Is a reinspection required?

Yes/No

Proposed date of
follow up inspection
.....

Postline Label in place?

Yes/No

COMMENTS

DRAINS

Drainlayer

Date: Officer: Builder/Contractor/Owner:

Drain depth

☐

Subsoil drains

☐

Pipe material

☐

Disposal field

☐

Drains under building

☐

Connection to main

☐

Pipe supports

☐

Manhole - structure

☐

Lamp holes

☐

Drain test

☐

Gully traps

☐

Granular bedding

☐

Terminal vents

☐

Even gradient/line

☐

Soil stack

☐

Manhole - haunching

☐

Inspection/bends

☐

SW to kerb

☐

Sumps

☐

Has a **Site Instruction** been issued?

Yes/No

Instruction No:

Is a reinspection required?

Yes/No

Proposed date of

COMMENTS

MISCELLANEOUS INSPECTIONS

Blockfill:

Date: Officer: Builder/Contractor/Owner:

Reinforcing

☐

Cavities cleared

☐

Engineers design

Yes/No

If yes, has engineer checked

Yes/No

Has a **Site Instruction** been issued? Yes/No

Instruction No:

Is a reinspection required?

Yes/No

Proposed date of
follow up inspection

Producer Statement

Yes/No/NA

COMMENTS

Retaining Walls

Siting

☐

Subsoil drainage

☐

Stretchers

☐

Post Holes

☐

Deadmen

☐

Retaining components

☐

Poles/posts

☐

Tie bars

☐

Footing

☐

Headers

☐

Engineers design/supervision

☐

Has a **Site Instruction** been issued? Yes/No

Instruction No:

Is a reinspection required?

Yes/No

Proposed date of
follow up inspection

Producer Statement

Yes/No/NA

COMMENTS

Solid Fuel Heaters

Chimney Check

☐

Flue height

☐

Seismic fixing

☐

Hearth

☐

Flue flashing

☐

Clearances

☐

COMMENTS

FINAL INSPECTION

Building Exterior

CHECK PLANS

Subfloor - ventilation	☐	Flashings - roof penet	☐	Gulley dishes
Decks - structure	☐	hips	☐	Wastes to gullys
Balustrades - design	☐	valleys	☐	Terminals vents
height	☐	gables	☐	Spouting - Downpipes
Steps/Stairs - design	☐	flues	☒	Landscaping & ground levels
handrail	☐	Cladding (ground clearance)	☐	Texture Coating Warranty
Flashings - windows	☐	Roofing & Fixings	☐	
		(roofing warranty)		

Building Interior

CHECK FITTINGS

Service area floors & walls	☐	Food storage	☐	Water temperature
Stair design	☐	Nat. ventilation	☐	Solid fuel heater
Handrails	☐	Mech. Ventilation	☐	Supply tank
Barriers	☐	Insulation	☐	Trap seals & AA Valves
Lightings	☐	Hot water cylinder flues	☐	Cistern flushing
Laundering	☐	Hot water cylinder valves	☐	WC pan connection
Cooking facilities	☐	Hot water cylinder rest	☐	Septic Tank
		Tempering valve	☐	(engineers inspc report)
				Windows - labels
				Safety glass

Footpath crossing installed? Yes/No Berm damaged Yes/No
 Refund crossing deposit Yes/No Engineering site reports required Yes/No
 Stormwater & site drainage Yes/No Engineering site reports received Yes/No
 appear satisfactory

Has a Site Instruction been issued? Yes/No NTR Instruction No.

Producer Statement Yes/No/NA

OK to issue final code compliance certificate. Yes/No

If an interim certificate is issued please list proposed conditions on the reverse of this form.

Is a reinspection required? Yes/No Proposed date of follow up inspection

Comments:

Paint Handrails under porch
 sub not finished
 for 2 weeks before 20/01/2001
 20/01/2001 3rd day

7. NOTICE OF WRITTEN APPROVAL

APPROVAL OF A PERSON AFFECTED BY AN APPLICATION FOR A RESOURCE CONSENT

To be completed by the person requesting approval:

APPLICANT: Jane Patterson

TYPE OF CONSENT: Resource Consent

PROPOSED ACTIVITY: Extension to dwelling

LOCATION: 42 Fieldway, Waikanae

PLAN REFERENCE NO: _____

To be completed by the person giving his or her approval:

I am an owner/~~shareholder~~/occupier of the following property:

Street/Road Address 42 Fieldway

Legal Description _____

Phone Number 04 3862350

- I/we have inspected and signed the attached plans and information for the above activity ☒
- I/we understand that, if I give my approval, the District Council shall not take into account any effects that the proposed activity may have on me, when considering the application ☒
- I/we hereby do give approval for it to proceed as presented ☒
- I/we hereby do not give approval for it to proceed as presented ☐

Note: If you do not understand what this form is for, do not sign it

N Chadwick
(Signature)

NOREEN CHADWICK
Alan CHADWICK
(Print Name)

18-10-01
18 10, 01
(Date)

If you have any queries about this form or the reason it is required please contact the Resource Consents Department of Kapiti Coast District Council, (04) 904 57000.

NORTH

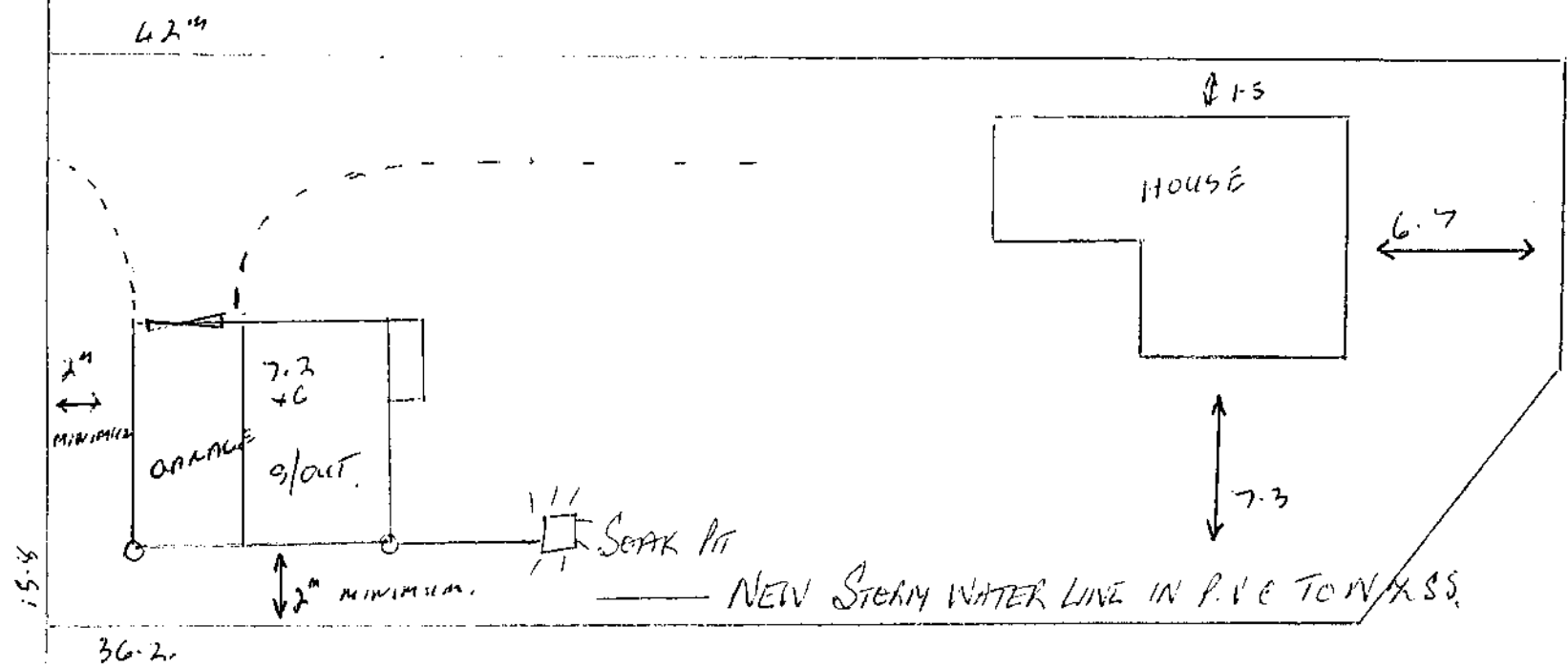
- Sewer Pump
- Sewer Rising Main
- Sewer Pipe
- ⊗ Sewer Manhole
- Stormwater Pipe
- ⊗ Stormwater Soak Hole
- ⊗ Stormwater Pump
- ⊗ Stormwater Manhole
- Stormwater Sump
- ◆ Stormwater Outlet
- Stormwater Rising Main
- ▲ Stormwater Inlet
- Water Hydrant
- + Water Valve
- Water Pipe
- ⊗ Water Toby

44

42

40

RM 000392
FINAL APPROVED PLANS
11/1/01



NAME
CHADWICK
SHERRINE
[Signature]

ADDRESS
A - N...
44 Fieldway
140 Fieldway
60 Fieldway

SIGNATURE
[Signature]
M.C.J.

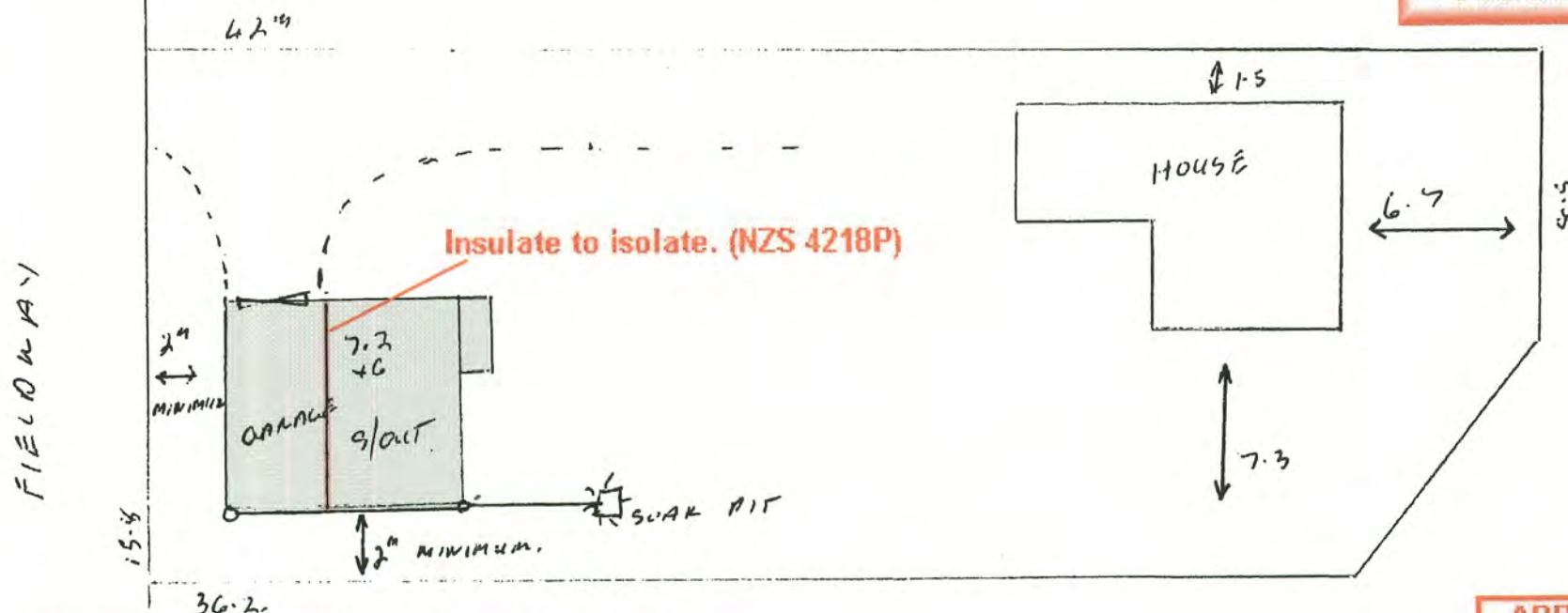
DATE
10 10 00
20 11-00
02/12/00

NORTH

Versatile Buildings Ltd	Proposal: 6 x 7.2 x 2.4 GARAGE/SLEEPOUT	Scale: 1:200	Lot:
P.O Box 54-060	Name: JANE PATERSON		DP:
MANA	Address: 12 FIELDWAY	Drawn: R.J.S.	Area:
Ph 04 233 9528 Fax 04 233 9827	Location: WAIKANAHE BEACH	Date: 4.10.2000	Sheet:

VERY HIGH WIND ZONE

SEVERE COASTAL ZONE
All proprietary or bolted
fixings exposed to air plus
cladding fixings to be
STAINLESS STEEL



TAKE CARE 50MM PUMPED SEWER LINE RUNS UNDERNEATH THE BUILDING. CHECK ASBUILT RECORD ATTACHED.

APPROVED
BY PLUMBING
& DRAINAGE

simon.copp 14/12/00
Officer

NEW STORM WATER LINE IN P.V.C TO N.X.S.S.

APPROVED
BY BUILDING

P. Wilkinson
Officer

APPROVED 14/12/00



Versatile Buildings Ltd	Proposal: 6 x 4.2 x 2.4 GARAGE / SLEEPOUT	Scale: 1:200	Lot:
P.O Box 54-060	Name: JANE PATTERSON		DP:
MANA	Address: 42 FELDWAY	Drawn: R.J.S	Area:
Ph 04 233 9528 Fax 04 233 9827	Location: WAIKANA BEACH	Date: 4.10.2000	Sheet:

VERSATILE BUILDINGS LTD.

PHONE 04 2339528

FAX 04 2339827

P. O. BOX 54060 MANA



OWNER *JANE PATTERSON*

ADDRESS *42 FELDWAY*
WAIKANA



LOT NO.

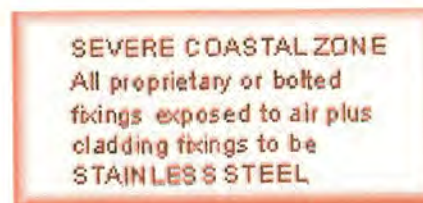
D.P. NO.

IMPORTANT:

ALL DOCUMENTATION PLEASE MAIL DIRECT TO:
VERSATILE BUILDINGS
P.O. BOX 54060, MANA
ATTN: RON SHARPE

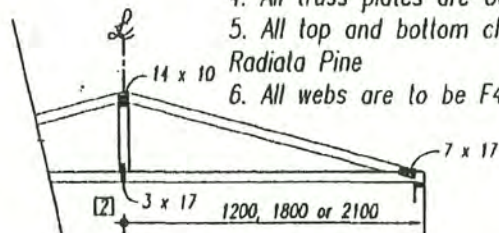


APPROVED 14/12/00

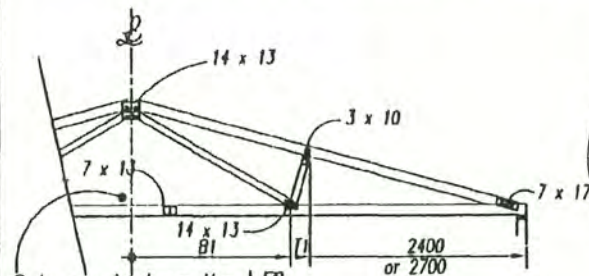


NOTE:

1. Truss top chord pitch range is 15°, 20°, 25° & 30°
2. • Indicates location of Bottom Chord Brace
3. [6] Indicates the Truss Camber (typical)
4. All truss plates are Gang Nail CN10 type
5. All top and bottom chords are to be MGP10 90 x 35 Radiata Pine
6. All webs are to be F4 70 x 35 Radiata Pine

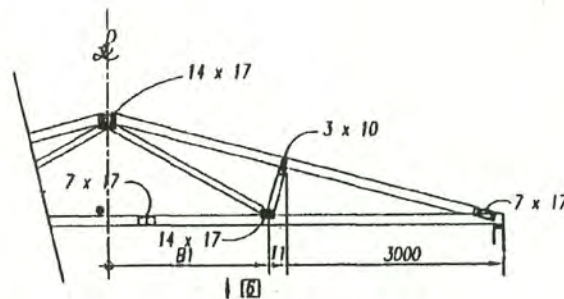


2400 to 4200 SPAN INCLUSIVE

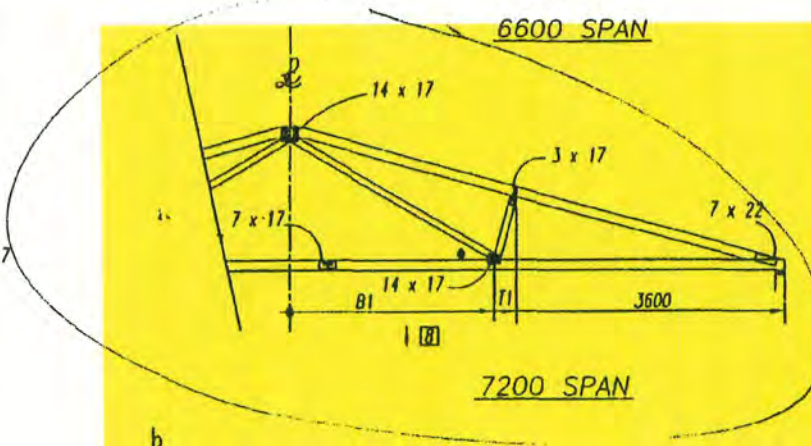


Only required on the 1 [6]
5400 span

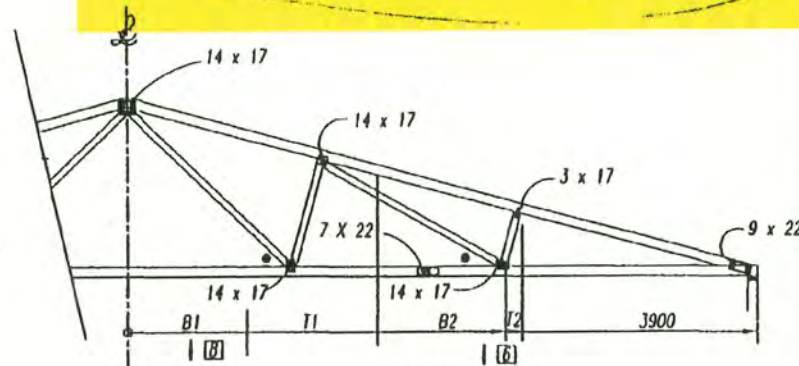
4800 & 5400 SPAN



6000 SPAN



7200 SPAN



7800 SPAN

SPAN AND LOAD CHART

Live Load = 0.25kPa (Distr)

1.0kPa (Conc)

Dead Load = 0.15 kPa (top chord)
0.20 kPa (bottom chord)
on 900 & 1200crs only

Wind Load Cpi = 0.50 max

Cpe = 0.80 max

Purlin Spacing = 1500 max

TRUSS CENTRES	WIND LOAD	SNOW LOAD (Kpa)
1800	Very High	0.60
1200	Very High	1.00
900	Very High	1.20

TIMBER:

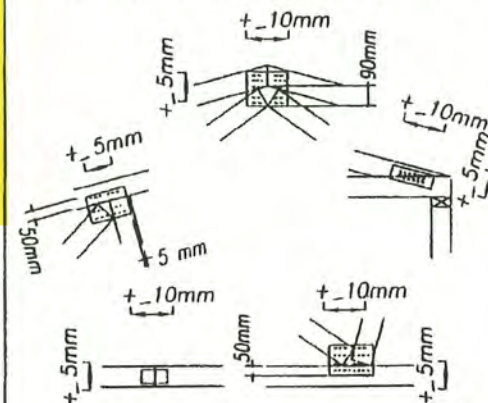
The specification of timber shall be as follows:

Grading: MSC Radiata Pine to F4 or MGP10 grade as noted.

Treatment: To NZMP 3640 : 1992

Moisture Content: Dry

MANUFACTURING TOLERANCES.



Typical positioning tolerances for plates

NOTE:

1. Plates are to be fully pressed home on both sides of joints.

The plate axis must be located in the specified or indicated direction.



GANG NAIL GROUP LTD

3-8 Tulamahi Drive, East Tamaki,
P.O. Box 88-014, Greenmount,
Auckland
Tel: 09 374 1700 Fax: 09 374 7100
20 Kaitiaki Place, Sackville,
P.O. Box 8347, Riccarton,
Christchurch
Tel: 03 346 8881 Fax: 03 348 0314

**VERSATILE BUILDINGS LTD
STANDARD GARAGE DETAILS**

A Truss pitches modified 4/11/98

DRAWING

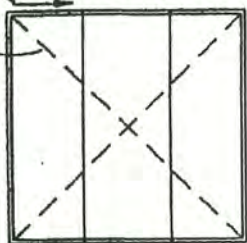
TRUSS DETAILS

DESIGN & DRAWN:
S.A. Coll & D.L.I. Williamson
DATE:
March 1998

DRAWING NO.
CH3900 - 98
SHEET No
101 A

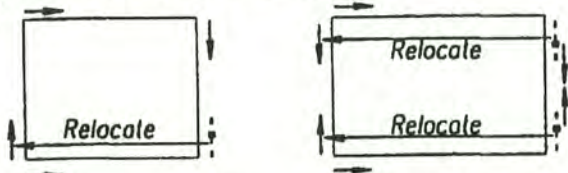
BRACING NOTES

1. The bracing effect of a single angle brace can be substituted by a 2400mm panel of weatherboard as detailed on Sheet No 105
2. Indicates a single row of Lumberlok Strip Brace tensioned up and laid over the top of purlins. Fix each end with 3 x 30 x 3.15 nails. (typical)
Indicates a single length of Angle Brace in wall set at approx 45°. Fix each end with 3 x 60 x 3.15 nails and at each stud crossing with 2 x 60 x 3.15 nails (typical)

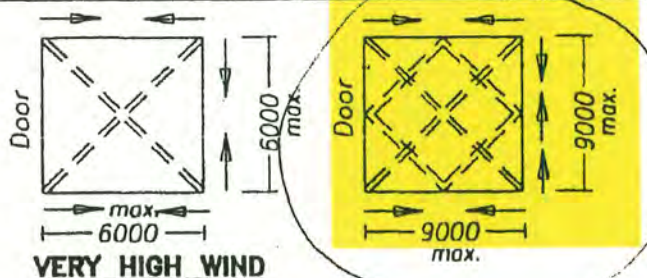


BRACING KEY

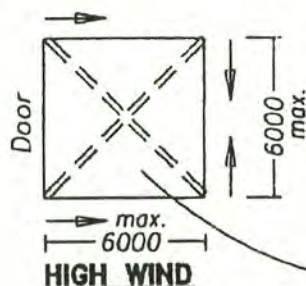
3. Building Dimension Ratios:
 - (a) For Very High Wind the ratio of side Wall to End Wall must not exceed 1 to 1.5.
 - (b) For High, Medium and Low wind, the ratio of End Wall to Side Wall must not exceed 1 to 2.
4. Maximum Stud height of Building is 2.450m Refer sht 106 for 2.7m & 3.0m stud heights.
5. Where it is possible to install wall bracing in all 4 walls, locate the bracing elements evenly.
eg:



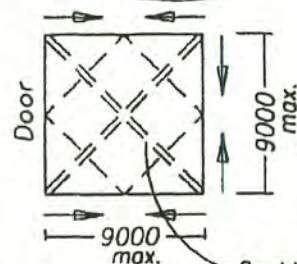
6. Where there is insufficient room to install 2 Angle Braces on one face of the braced wall, substitute with a pair of crossed Stripbrace.



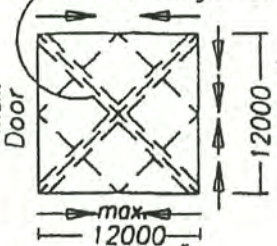
VERY HIGH WIND



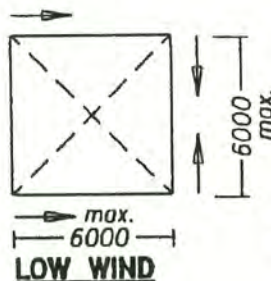
HIGH WIND



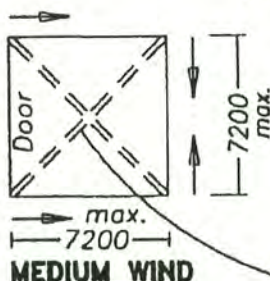
HIGH WIND



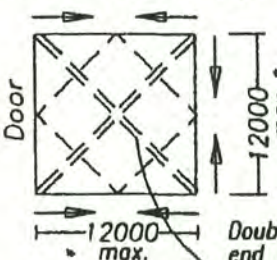
Double row required only where wall ratio is between 1 to 1.5 & 1 to 2
Otherwise all rows as single



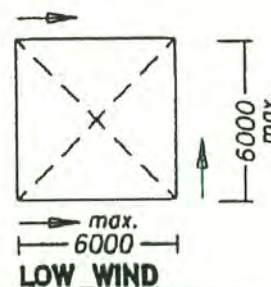
LOW WIND



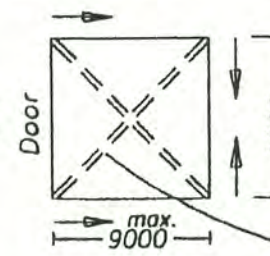
MEDIUM WIND



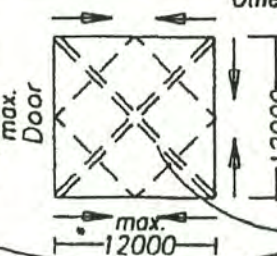
Double row only required only where end wall to side wall ratio is between 1 to 1.5 & 1 to 2
Otherwise all rows as single



LOW WIND



MEDIUM WIND



Double row required only where wall ratio is between 1 to 1.5 & 1 to 2
Otherwise all rows as single

NB Double row of strip bracing required in all buildings in Very High Wind Zone
Building ratio of End Wall to Side Wall must not exceed 1 to 1.5

NOTE:

* 12000 length refers to the building dimensions opposite the truss span. Max. truss span for these designs is 10200.



GANG NAIL

3-5 Sullivan Drive, East Tamworth, P.O. Box 58-014, Greenfield, Auckland
Tel: 09 274 1700 Fax: 09 274 1100
38 Havelock Place, Southview, P.O. Box 8387, Auckland, Auckland
Tel: 09 348 9991 Fax: 09 348 9314

VERSATILE BUILDINGS LTD
STANDARD GARAGES

DRAWING **WINDLOAD BRACING REQUIREMENTS**
MAX WALL HEIGHT 2450
DESIGN & DRAWN: S.A. COLL
DATE: 10/01/98
CHECKED: CH3900-98

WALL FRAMING OPTIONS

OPTION 1 - VISUALLY GRADED DRY FRAME TIMBER

All combinations of loading conditions and geometric layouts will consist of 90 x 35 mm Number 1 Dry Frame.

OPTION 2 - MACHINE STRESS GRADED DRY FRAME TIMBER

		(Stud Heights)			
		2.1	2.4	2.7	3.0
Wall (90x35mm)	Low	F4	F4	F4	F5
	Medium	F4	F4	F5	F7
	High	F4	F7	F8	F11
	Very High	F5	F8	F11	F11 (90x45)

Wall framing Option 2 is covered by a separate Producer Statement.

TOP PLATE ONLY		
Truss Spacings		
Height	1800	
2.1	F4	F4
2.4	F4	F5
2.7	F4	F5
3	F5	F5

OPTION 3 - VISUALLY GRADED WET FRAME TIMBER

All combinations of loading conditions and geometric layouts will consist of 94 x 47 mm Number 2 Wet Frame.

A4
PrimeCed



GANG-NAIL
GROUP LTD

3-5 Zetland Drive, East Tamaki
P.O. Box 58-014, Christchurch
Auckland
Tel: 09 274 7109 Fax: 09 274 7100 Tel: 03 348 8091 Fax: 03 348 0314

Job Title :

VERSATILE BUILDINGS LTD
STANDARD GARAGE DETAILS

Sheet Title

WALL DETAILS

Date: 24/3/98
Scale: N/A

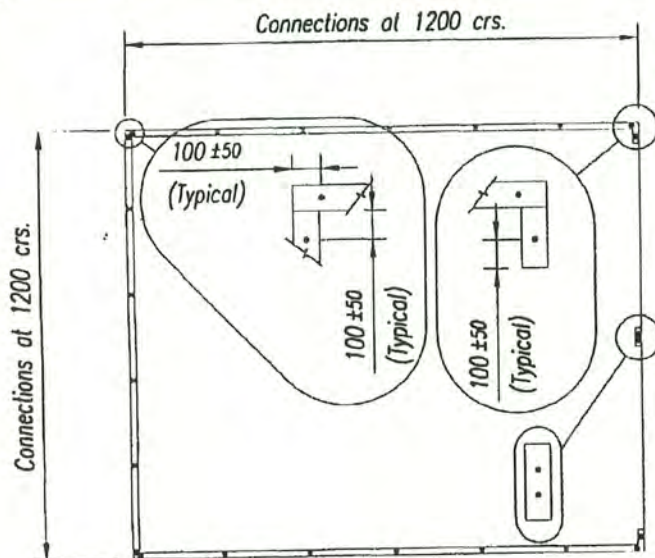
Designed: S COLL
Drawn: D WILLIAMSON

Checked:
Noted:

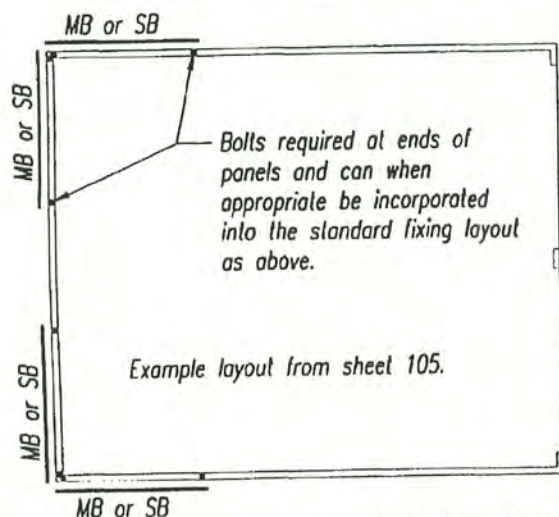
Drawing Number

CH3900 - 98

Sheet 107



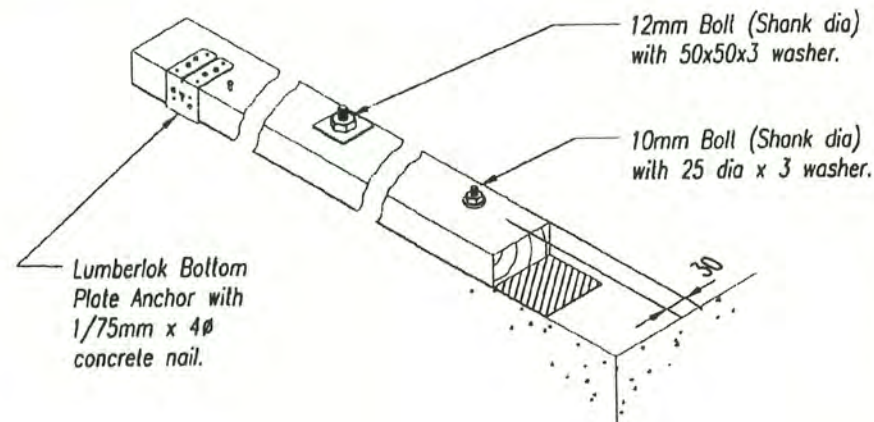
STANDARD FIXING LAYOUT



SPECIFIC FIXING REQUIREMENTS ON THE EXTRA HEIGHT BUILDINGS (AS SHEET 105)

NOTES:

1. Where the Versacloak sheeting is used for bracing, the 10mm bolt as specified is acceptable, otherwise refer to the Bottom plate fixing options across.
2. Connections must be applied at all corners and door opening shown and then spaced, as per layout adjacent, between these points.



	Max. Truss Span or Building Width		
Wind Load	Bottom Plate Anchor	12mm Bolt	10mm Bolt
Low	12000	12000	9600
Medium	10600	10600	7800
High	9600	9600	6600
Very High	8400	8400	5400

BOTTOM PLATE FIXING OPTIONS

(Located at 1200 crs.)

NOTE: For bolt spacing of 900 crs, truss spans or building width can be increased by 25%.



GANG-NAIL

GROUP LTD
3-5 Zeteman Drive, East Tamaki, P.O. Box 98-014, Greenmount, Auckland
Tel: 09 274 1709 Fax: 09 274 1100
20 Kaitiaki Place, Sackburn, P.O. Box 8367, Riccarton, Christchurch
Tel: 03 348 6891 Fax: 03 348 0314

VERSATILE BUILDINGS LTD
STANDARD GARAGES

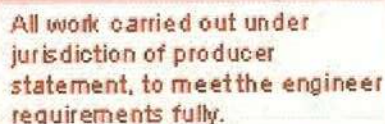
DRAWING
BOTTOM PLATE FIXING DETAILS

DESIGN & DRAWN:
S.A. Coll & A.J. West

DATE: 7/7/99

DRAWING No
CH3900-98

SHEET No 110



FOR LIGHT CONSTRUCTION - SINGLE
STORY - GRANULAR SOIL CONDITIONS
E.G. SAND

VERSATILE BUILDINGS LTD.

PHONE 04 2339528

FAX 04 2339827

P. O. BOX 54060 MANA

OWNER JANE PATTERSON

ADDRESS 42 FIELDWAY
..... WAIKANA
.....

LOT NO.

D.P. NO.

IMPORTANT:

ALL DOCUMENTATION PLEASE MAIL DIRECT TO:
VERSATILE BUILDINGS
P.O. BOX 54060, MANA
ATTN: RON SHARPE

BC 001713

O'Loughlin Taylor Spence Ltd
CONSULTING ENGINEERS

St Elmo Courts
47 Hereford Street
Christchurch 1
P.O. Box 2373
Telephone 379-2734
Fax 379-1642

J.S. O'Loughlin BSc BE (Hons) MIPENZ
J.S. Spence BE (Hons) MIPENZ

PRODUCER STATEMENT

for

WALL FRAMING

for

VERSATILE STANDARD GARAGES

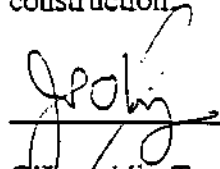
Issued by O'Loughlin Taylor Spence Ltd in respect of the wall framing as described on Standard Versatile Garages drawings File CH3900 Sheet 107 dated 25th June 1996.

We certify that the design has been carried out in accordance with the standards listed in Section B1/VM1 of the approved documents issued by the Building Industry Authority.

We believe as an independent professional design practice, covered by a current policy of Professional Indemnity insurance to a value of \$200,000, that subject to the exclusions noted below, the buildings as proposed to be constructed, comply with the relevant provisions of the building code.

1. This consulting practice has not been engaged to determine the foundations conditions which are excluded from this certification.
2. This consulting practice has not been engaged for engineering inspection procedures during construction.

Signed:


O'Loughlin Taylor Spence Ltd
J S O'Loughlin Director

Registered Engineer
Registration No. 5032

Dated 4 July 1996

GANG-NAIL

GROUP LTD

PRODUCER STATEMENT - DESIGN GANG-NAIL GROUP LIMITED

CH3900 - 98 GANG-NAIL DESIGN

The building design CH3900 - 98 sheets 101a, 102a, 103b, 104a, 105, 106, 107, 108a, 109a, 110, 111 & 112 have been compiled using sound and widely accepted engineering principles and in accordance with NZS4203:1992 and NZS3603:1993 as verification methods and acceptable solutions of the approved documents issued by the Building Industry Authority to satisfy the requirements of Clause B1:Structure of the Building Regulations 1992.

As independent design professionals covered by a current policy of Professional Indemnity Insurance to a minimum value of \$200,000
I BELIEVE ON REASONABLE GROUNDS that subject to:

1. The verification of all design assumptions detailed in the drawings and
2. All proprietary products meeting the performance specification requirements,

the drawings, specifications and other documents according to which the building is proposed to be constructed, comply with the relevant provisions of the Building Code.

Stephen Anthony COLL

T.M. IPENZ, MNZIOB



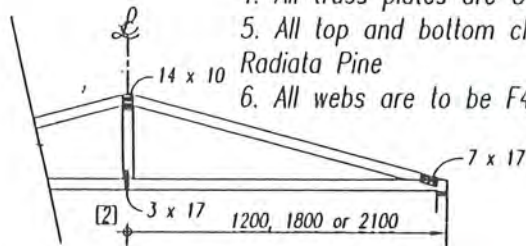
for GANG-NAIL GROUP LIMITED
20 KOTZIKAS PLACE
CHRISTCHURCH
NEW ZEALAND

Date: 12 July, 1999

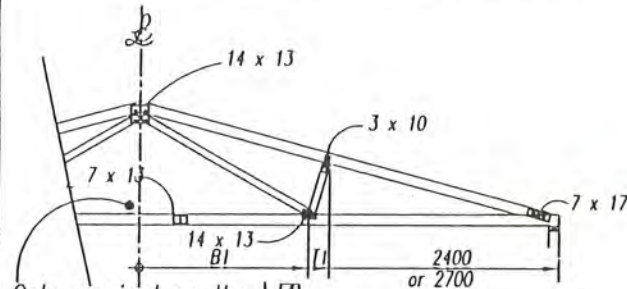


NOTE:

1. Truss top chord pitch range is 15°, 20°, 25° & 30°
2. • Indicates location of Bottom Chord Brace
3. [G] Indicates the Truss Camber (typical)
4. All truss plates are Gang Nail GN10 type
5. All top and bottom chords are to be MGP10 90 x 35 Radiata Pine
6. All webs are to be F4 70 x 35 Radiata Pine

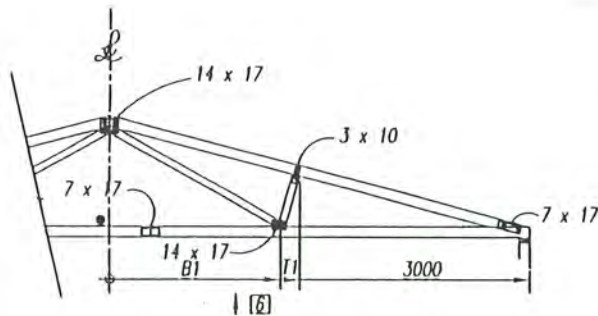


2400 to 4200 SPAN INCLUSIVE

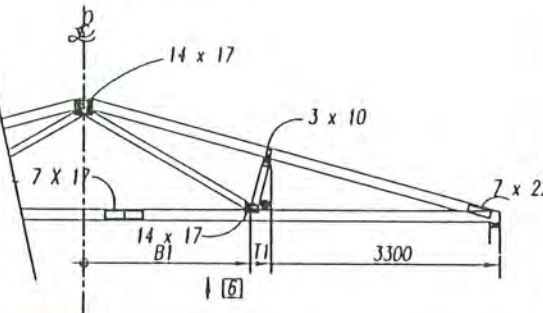


Only required on the 1 [G]
5400 span

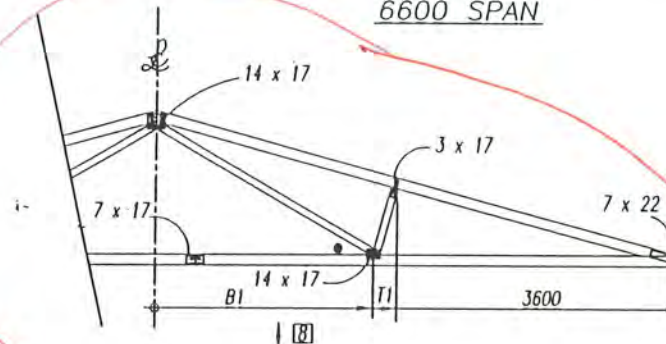
4800 & 5400 SPAN



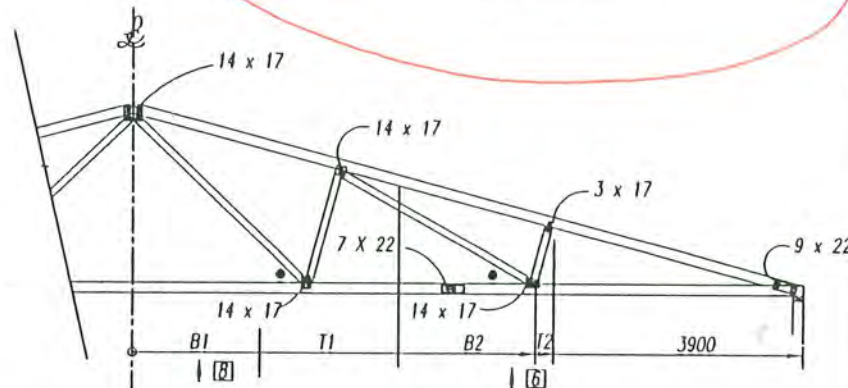
6000 SPAN



6600 SPAN



7200 SPAN



7800 SPAN

SPAN AND LOAD CHART

Live Load = 0.25kPa (Distr)
1.0kPa (Conc)
Dead Load = 0.15 kPa (top chord)
0.20 kPa (bottom chord)
on 900 & 1200crs only
Wind Load Cpi = 0.50 max
Cpe = 0.80 max
Purlin Spacing = 1500 max

TRUSS CENTRES	WIND LOAD	SNOW LOAD (Kpa)
1800	Very High	0.60
1200	Very High	1.00
900	Very High	1.20

TIMBER:

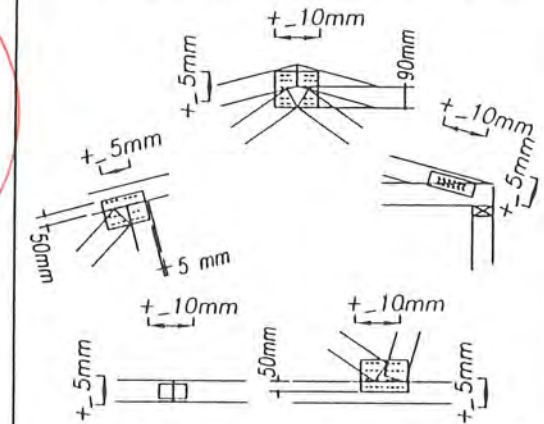
The specification of timber shall be as follows:

Grading: MSG Radiata Pine to F4 or
MGP10 grade as noted.

Treatment: To NZMP 3640 : 1992

Moisture Content: Dry

MANUFACTURING TOLERANCES.



Typical positioning tolerances for plates

NOTE:

1. Plates are to be fully pressed home on both sides of joints.
The plate axis must be located in the specified or indicated direction.



GANG NAIL

GROUP LTD
3-5 Zalanian Drive, East Tamaki,
P.O. Box 58-014, Greenmount,
Auckland
Tel: 09 274 1709 Fax: 09 274 7100
20 Kaitiaki Place, Sockburn,
P.O. Box 8347, Riccarton,
Christchurch
Tel: 03 348 8881 Fax: 03 348 0314

VERSATILE BUILDINGS LTD
STANDARD GARAGE DETAILS

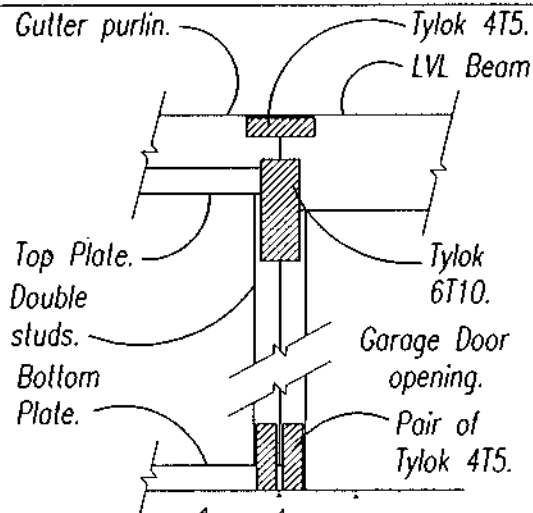
A Truss pitches modified 4/11/98

DRAWING

TRUSS DETAILS

DESIGN & DRAWN:
S.A. Coll & D.L.I. Williamson
DATE: March 1998

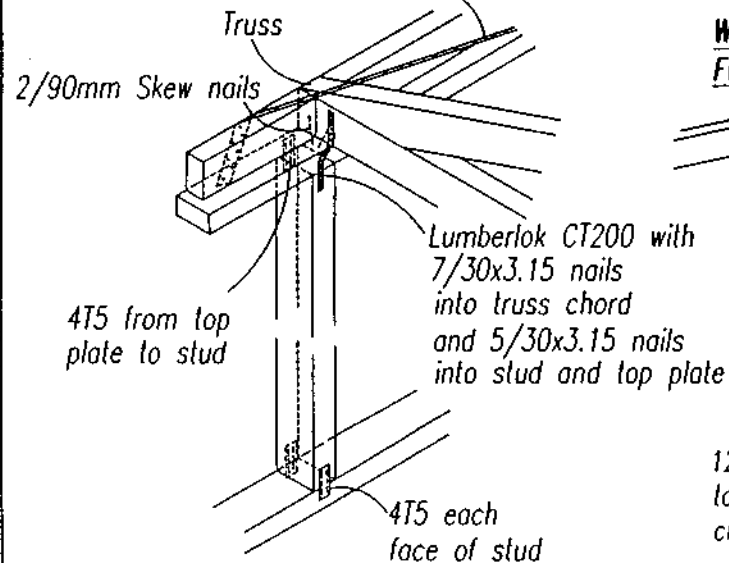
DRAWING No
CH3900 - 98
SHEET No 101 A



(Note: Plates on inside face only)

LVL BEAM END CONNECTION

Multi-brace or Strip Brace as required (see across)



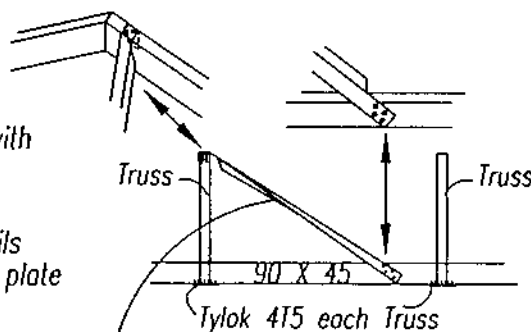
TRUSS/STUD WALL FIXING

30x3.15 nails into purlin and top plate as per brace requirements

Strip brace or Multi-brace as required. Fix into Gutter Purlin and top plate

Tensioned Multi-brace or strap brace

WALL BRACE INSTALLATION FOR MULTI-BRACE & STRIP BRACE



1200 long Angle brace cropped at each end to allow nailing to truss chord and bottom chord runner. 4x30x3.15 nails each end.

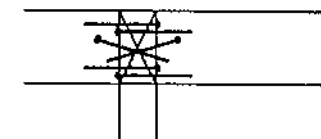
BOTTOM CHORD BRACE DETAIL

2 x 90mm nails into end of purlin through the truss plus

1 x 90mm skew nail

Pair of Tylok 4T5's placed centrally over join on upper face of top plate. Required on sidewall top only only.

TYPICAL PURLIN FIXING



TYPICAL PURLIN FIXING CROSS-SECTION

200 long 90x35 block required where Multi-brace is used to fit 6/30x3.15 nails in brace end

4T5 Tylok Plate nailed from bottom chord of truss to stud at every corner.

Tylok 4T5 on end stud face

4T5 as across

4T5 Tylok Plate to top face of bottom plate only. (Typical)

END WALL TRUSS FIXING

B	Timber Bottom Chord Brace Removed	29/6/99
A	Alternative bottom chord brace detail added	2/11/98

DRAWING FIXING DETAILS

DESIGN & DRAWN: S.A. Coll

DATE: March 1998

DRAWING No CH3900-98

SHEET No 103 B



GANG NAIL

3-5 Zetland Drive, East Tamaki, P.O. Box 58-014, Greenmount, Auckland Tel:09 274 1709 Fax:09 274 7100

20 Kaitake Place, Seckburn, P.O. Box 8387, Riccarton, Christchurch Tel:03 348 8881 Fax:03 348 0314

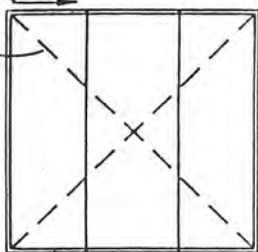
**VERSATILE BUILDINGS LTD
STANDARD GARAGES**

BRACING NOTES

1. The bracing effect of a single angle brace can be substituted by a 2400mm panel of weatherboard as detailed on Sheet No 105

2. Indicates a single row of Lumberlok Strip Brace tensioned up and laid over the top of purlins. Fix each end with 3 x 30 x 3.15 nails. (typical)

Indicates a single length of Angle Brace in wall set at approx 45°. Fix each end with 3 x 60 x 3.15 nails and at each stud crossing with 2 x 60 x 3.15 nails (typical)



BRACING KEY

3. Building Dimension Ratios:

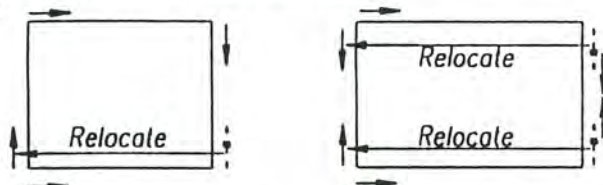
(a) For Very High Wind the ratio of side Wall to End Wall must not exceed 1 to 1.5.

(b) For High, Medium and Low wind, the ratio of End Wall to Side Wall must not exceed 1 to 2.

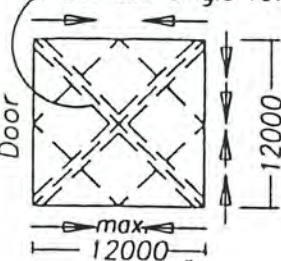
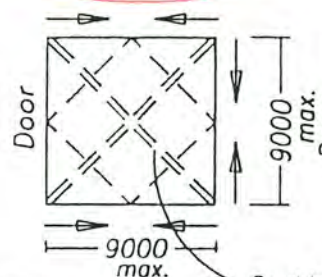
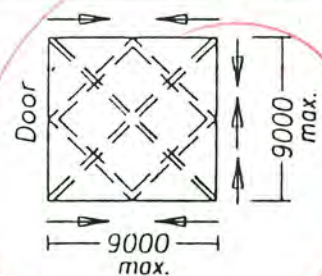
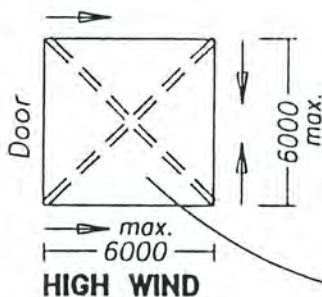
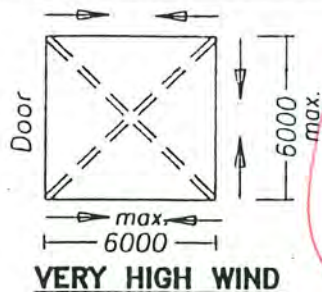
4. Maximum Stud height of Building is 2.450m Refer sht 106 for 2.7m & 3.0m stud heights.

5. Where it is possible to install wall bracing in all 4 walls, locate the bracing elements evenly.

eg:



6. Where there is insufficient room to install 2 Angle Braces on one face of the braced wall, substitute with a pair of crossed Stripbrace.



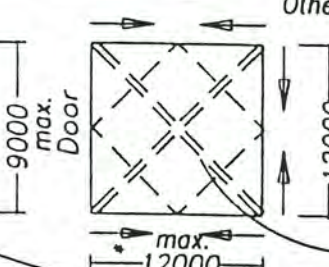
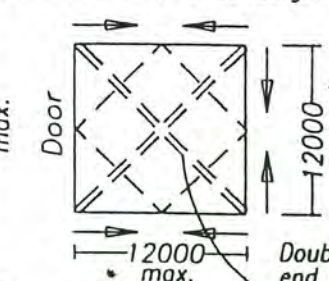
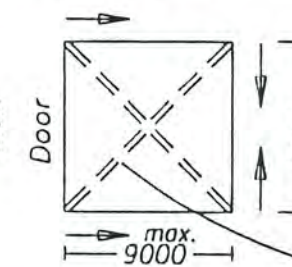
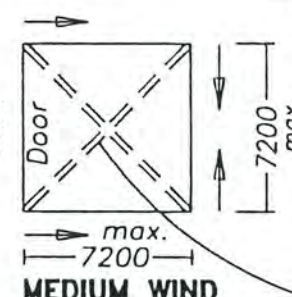
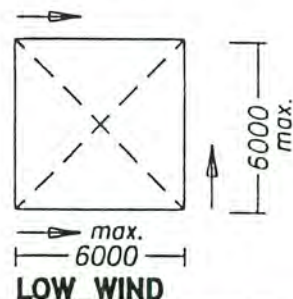
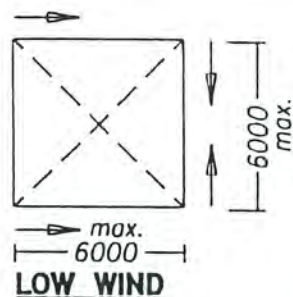
NB Double row of strip bracing required in all buildings in Very High Wind Zone
Building ratio of End Wall to Side Wall must not exceed 1 to 1.5

Triple row required only where wall ratio is between 1 to 1.5 & 1 to 2.
Otherwise brace as pattern shown but use single rows

Double row required only where wall ratio is between 1 to 1.5 & 1 to 2
Otherwise all rows as single

NOTE:

* 12000 length refers to the building dimensions opposite the truss span. Max. truss span for these designs is 10200.



Double row only required only where end wall to side wall ratio is between 1 to 1.5 & 1 to 2
Otherwise all rows as single

Double row required only where wall ratio is between 1 to 1.5 & 1 to 2
Otherwise all rows as single.

VERSATILE BUILDINGS LTD
STANDARD GARAGES

DRAWING WINDLOAD BRACING REQUIREMENTS
MAX WALL HEIGHT 2450

DESIGN & DRAWN
S.A. COLL

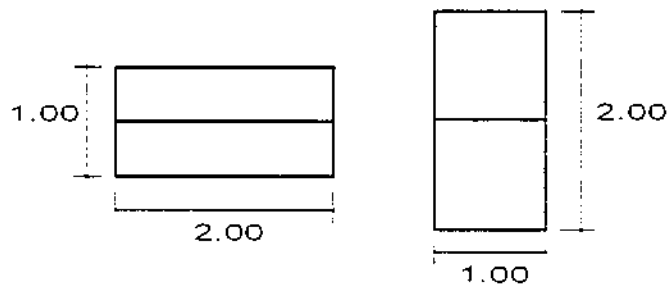
DRAWING No
CH3900-98



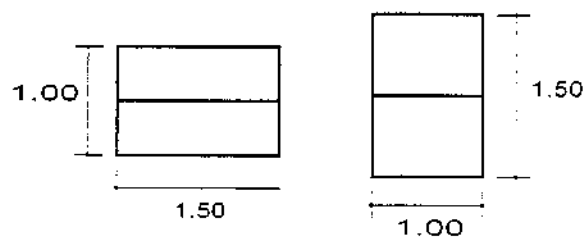
GANG NAIL GROUP LTD
3-5 Zetland Drive, East Tamaki, Auckland
P.O. Box 58-014, Greenmount, Auckland
Tel: 09 274 1708 Fax: 09 274 7100
20 Kaitiaki Place, Seaburn, Christchurch
P.O. Box 8367, Riccarton, Christchurch
Tel: 03 348 8081 Fax: 03 348 0314

CLARIFICATION OF BUILDING SIZE RATIOS FOR
CH3900 - 98 SHEET 104 & 105

1. The designs as shown on Sheet 104-cannot have the building ratios of side wall to end wall of more than 1 to 2. In other words any one of these walls cannot be more than twice the length of the adjacent wall.
e.g.



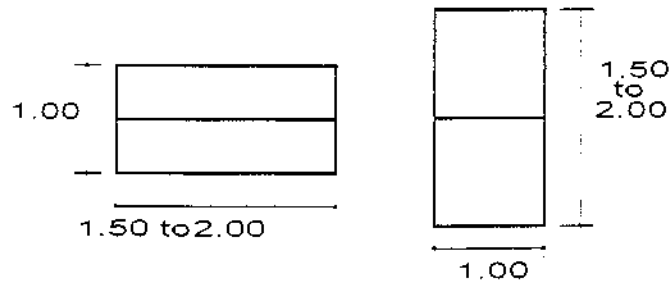
2. In the case of Very High wind load this ratio cannot exceed 1 to 1.5.
e.g.



and the bracing as shown applies.

cont...

3. In the case of the High, Medium and Low wind loads there is an additional bracing requirement as noted (ie double rows as shown) where this ratio is between the 1 to 1.5 and 1 to 2.
e.g.

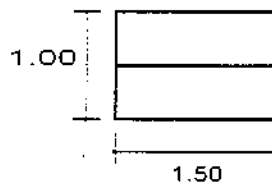


4. Where a building dimension is exactly on the 1 to 2 or 1 to 1.5 ratio the lesser bracing ratio can apply.

e.g.

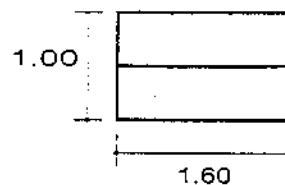
High Wind

The requirement for a double of is unnecessary



High Wind

Double row is required as shown.



WALL FRAMING OPTIONS

OPTION 1 - VISUALLY GRADED DRY FRAME TIMBER

All combinations of loading conditions and geometric layouts will consist of 90 x 35 mm Number 1 Dry Frame.

OPTION 2 - MACHINE STRESS GRADED DRY FRAME TIMBER

		(Stud Heights)			
		2.1	2.4	2.7	3.0
Wall (90x35mm)	Low	F4	F4	F4	F5
	Medium	F4	F4	F5	F7
	High	F4	F7	F8	F11
	Very High	F5	F8	F11	F11 (90x45)

Wall framing Option 2 is covered by a separate Producer Statement.

TOP PLATE ONLY		
Truss Spacings		
Height	1800	
2.1	F4	F4
2.4	F4	
2.7	F4	F5
3	F5	F5

OPTION 3 - VISUALLY GRADED WET FRAME TIMBER

All combinations of loading conditions and geometric layouts will consist of 94 x 47 mm Number 2 Wet Frame.



GANG-NAIL
GROUP LTD

3-5 Zealand Drive, East Tamaki
P.O. Box 58-014, Greenmount
Auckland
Tel: 09 274 7109 Fax: 09 274 7100
20 Kaitiaki Place, Bockhorn
P.O. Box 8387, Riccarton
Christchurch
Tel: 03 348 6591 Fax: 03 348 0314

Job Title :

VERSATILE BUILDINGS LTD
STANDARD GARAGE DETAILS

Sheet Title :

WALL DETAILS

Date: 24/3/98

Designed: S COLL

Checked:

Scale: N/A

Drawn: D WILLIAMSON

Drawing Number :

CH3900 - 98

Sheet: 107

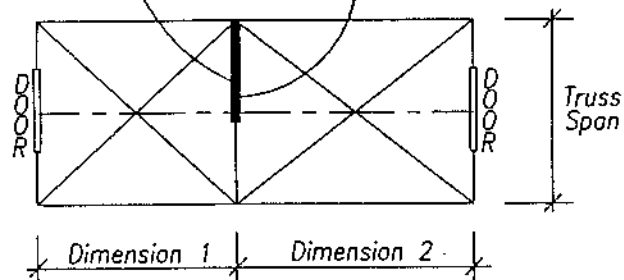
A4
PrimeCad

BRACING STEPS

1. Consider the building as two separate constructions.
2. Compare the separate building dimensions, ie: Dimension 1 and truss span to the respective bracing sheets on sheets 104 and 105.
3. Apply the bracing elements in the roof and walls as per these sheets apart from the bracing requirements of the wall opposite the Garage door. (ie: In this case the partition wall as drawn below).
4. Brace the partition wall as across and all other bracing as defined in Step 3 above.
5. All other details as per the CH3900-98 drawings apply.

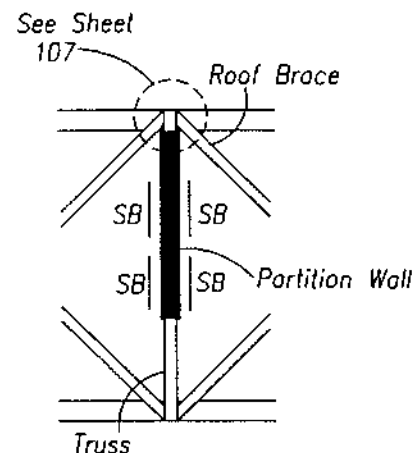
Note: Truss required over partition wall and all roof bracing to generate from this wall.

Partition wall, see across for bracing requirements.

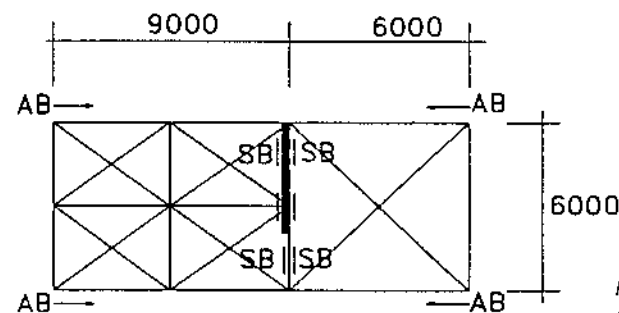


EXAMPLE LAYOUT

PARTITION WALL - BRACING SETUP



1. Use only Strap Brace or Multibrace. Angle Brace is not acceptable.
2. Brace each wall face with the bracing that is required for that section of the construction. See example below.
3. When selecting from the 2450 height garages, replace the Angle Brace required with a single crossed Strip Brace.



EXAMPLE SELECTION

Note that there are 4xSB panels in the partition wall replacing the required 4x Angle Braces as Sheet 104-A



GANG-NAIL

3-5 Zeehan Drive, Cool Tarnah,
P.O. Box 58-014, Greenmount,
Auckland
Tel:09 274 1709 Fax:09 274 7100

20 Kaitiaki Place, Seaburn,
P.O. Box 6387, Riccarton,
Christchurch
Tel:03 348 8891 Fax:03 348 0314

VERSATILE BUILDINGS LTD
STANDARD GARAGES

DRAWING

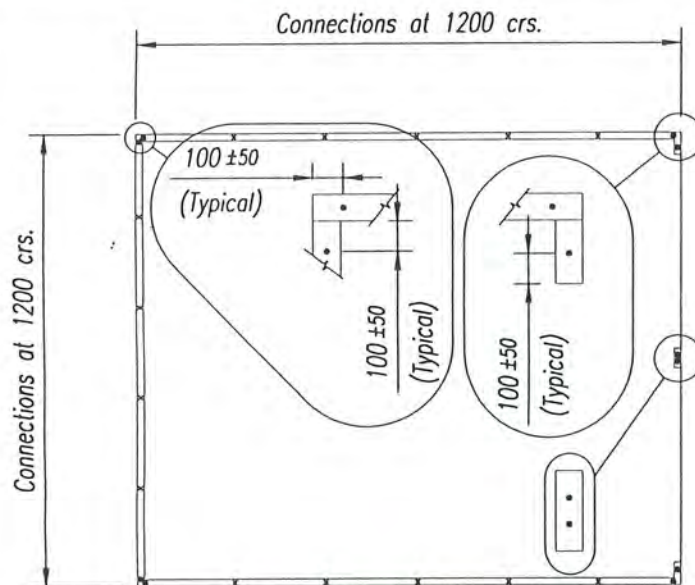
PARTITION WALL BRACING OPTIONS

DESIGN & DRAWN:
S.A. COLL

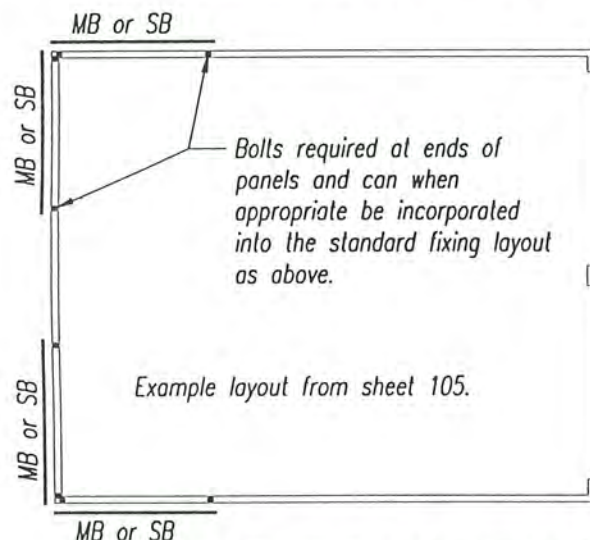
DRAWING No **CH3900-98**

DATE: March 1998

SHEET No **108 A**



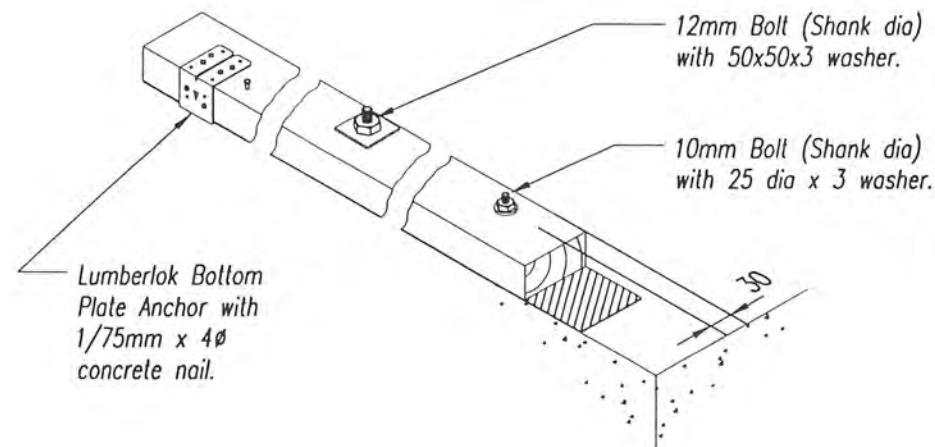
STANDARD FIXING LAYOUT



SPECIFIC FIXING REQUIREMENTS ON THE EXTRA HEIGHT BUILDINGS (AS SHEET 105)

NOTES:

1. Where the Versaclad sheeling is used for bracing, the 10mm bolt as specified is acceptable, otherwise refer to the Bottom plate fixing options across.
2. Connections must be applied at all corners and door opening shown • and then spaced, as per layout adjacent, between these points.



	Max. Truss Span or Building Width		
Wind Load	Bottom Plate Anchor	12mm Bolt	10mm Bolt
Low	12000	12000	9600
Medium	10600	10600	7800
High	9600	9600	6600
Very High	8400	8400	5400

BOTTOM PLATE FIXING OPTIONS

(Located at 1200 crs.)

NOTE: For bolt spacing of 900 crs, truss spans or building width can be increased by 25%.



GANG-NAIL GROUP LTD
3-5 Zelanian Drive, East Tamaki, P.O. Box 58-014, Greenmount, Auckland
Tel: 09 274 1709 Fax: 09 274 7100
20 Kotikias Place, Sackburn, P.O. Box 8387, Riccarton, Christchurch
Tel: 03 348 8691 Fax: 03 348 0314

VERSATILE BUILDINGS LTD
STANDARD GARAGES

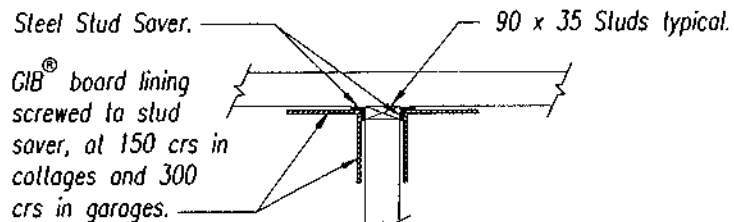
DRAWING
BOTTOM PLATE FIXING DETAILS

DESIGN & DRAWN:
S.A. Coll & A.J. West

DATE:
7/7/99

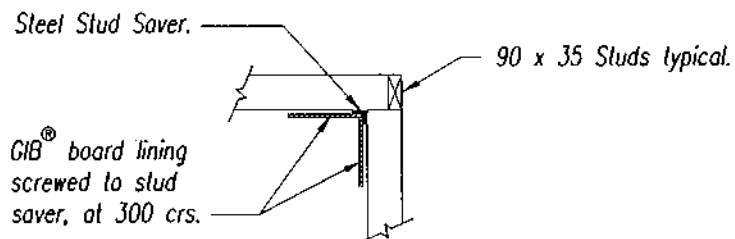
DRAWING No
CH3900-98

SHEET No
110



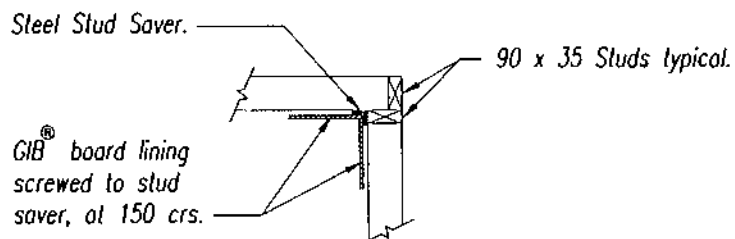
SECTION - GARAGES & COTTAGES INTERNAL PARTITIONS ARRANGEMENT

SCALE 1:20



SECTION - GARAGE CORNER ARRANGEMENT

SCALE 1:20



SECTION - COTTAGE CORNER ARRANGEMENT

SCALE 1:20

NOTE:

- Fix the Steel Stud Saver to the adjacent stud with 30x2.5 GIB® Clouts at 300mm c/s. and 1/30x2.5 GIB® Clout to each nog and plate.

NOTES:

• NON BRACED SITUATION:

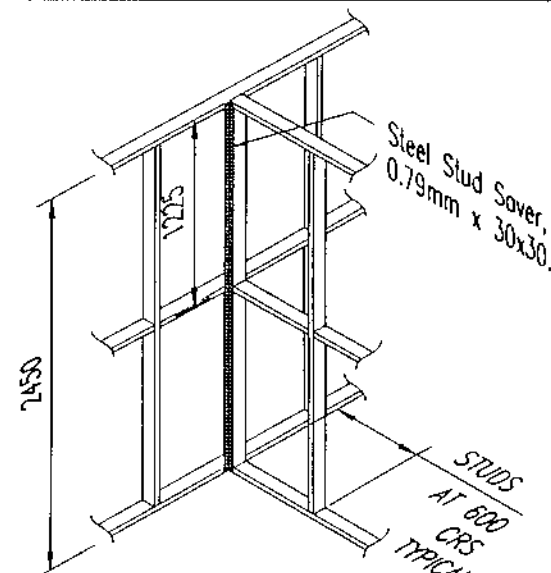
The standard garage construction has its own bracing system through Angle Brace, Strip Brace and or Versaclad and the addition of Plaster Board internal lining, although adds significantly to the building stiffness, is not required for stability or bracing.

• BRACED SITUATION:

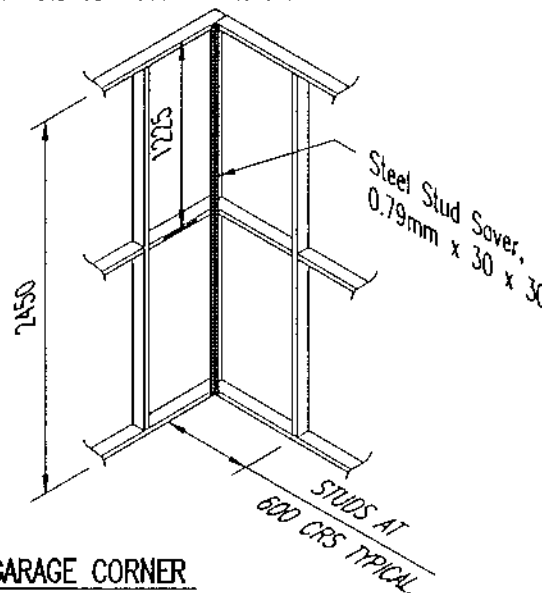
The cottage construction details use the GIB® Board lining as an integral part of the building bracing. The corner and internal partition arrangements as detailed are to be used in conjunction with the standard fixing details as for the 'GIB® Bracing Systems' publication 1999.

• TEST RESULTS:

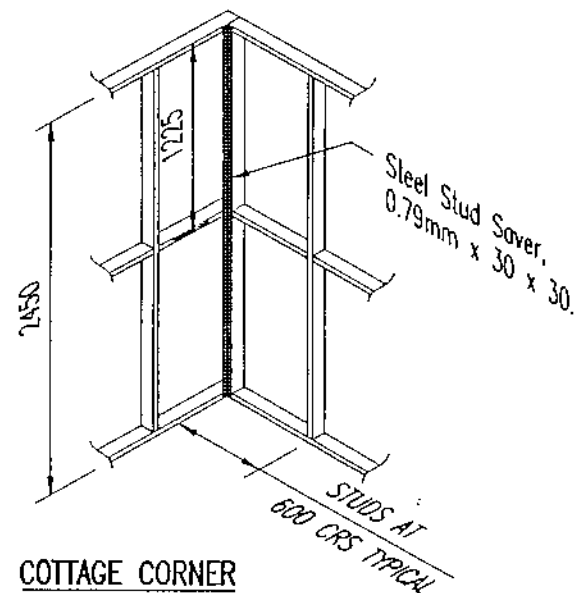
Testing of the STEEL STUD SAVER using the fixing arrangements as detailed on this sheet, has been carried out by BRANZ and their opinion verifies the acceptable performance of the system. This opinion dated 5 May 1999 is available for inspection from Gang-Nail Group Ltd, 20 Koltzika Place Christchurch.



GARAGES (NON BRACED SITUATION) & COTTAGES (BRACED SITUATION) INTERNAL PARTITIONS ARRANGEMENT



GARAGE CORNER ARRANGEMENT (NON BRACED SITUATION)



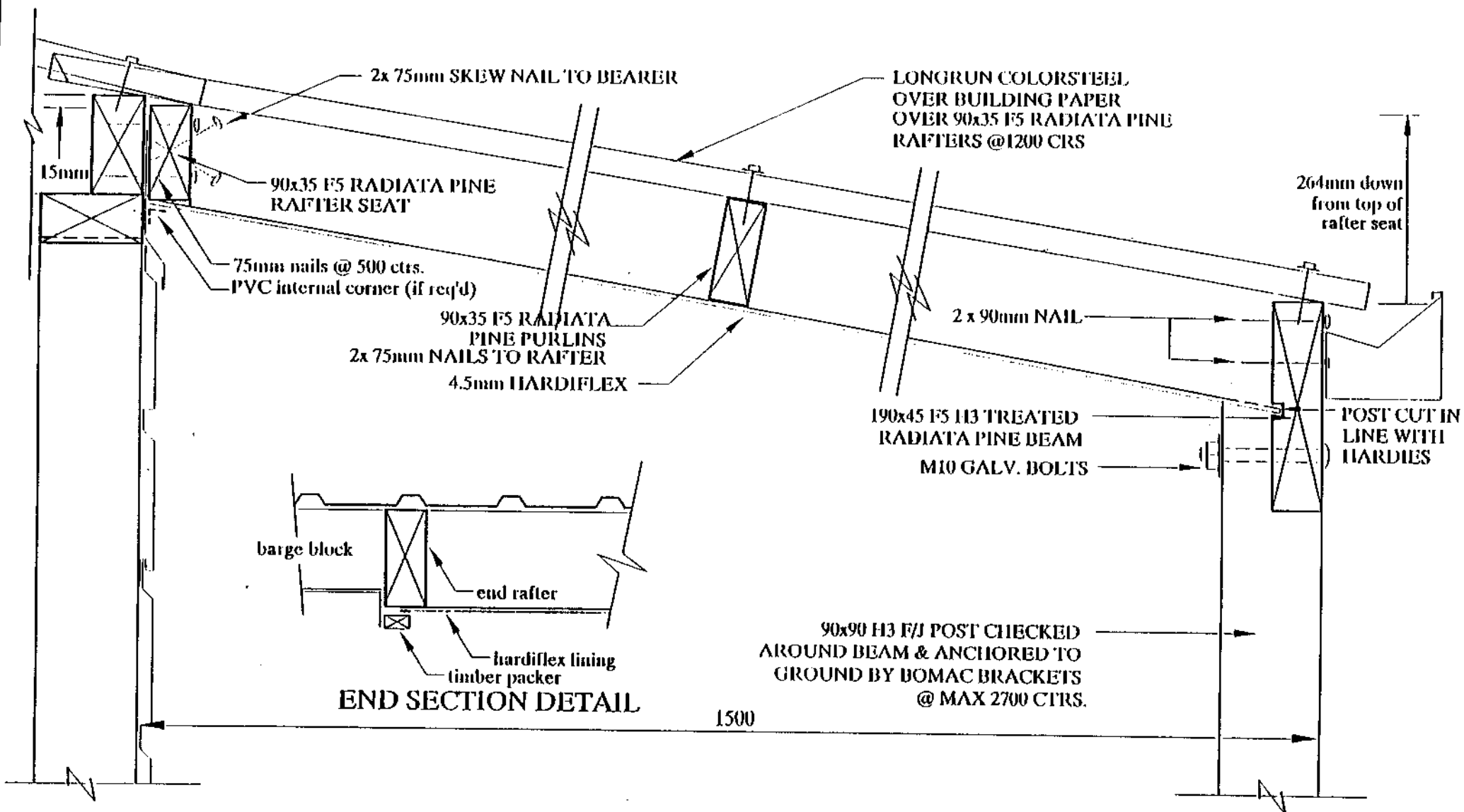
COTTAGE CORNER ARRANGEMENT (BRACED SITUATION)



GANG-NAIL GROUP LTD
3-5 Zelman Drive, East Tamaki, P.O. Box 50-014, Greenmount, Auckland
Tel: 09 274 1709 Fax: 09 274 7100
20 Koltzika Place, Sackburn, P.O. Box 8387, Riccarton, Christchurch
Tel: 03 348 8891 Fax: 03 348 0314

**VERSATILE BUILDINGS LTD
STANDARD GARAGES**

DRAWING
STUD SAVER CONSTRUCTION DETAILS
DESIGN & DRAWN: S.A. Coll & A.J. West
DATE: 7/7/99
DRAWING No: CH3900-98
SHEET No: 111



VERSATILE
BUILDINGS

HEAD OFFICE:
112 WATERLOO ROAD

TEL: (03) 948 8704
FAX: (03) 948 9093

PROJECT REF

DRAWING REF

**HABITABLE & GARAGE
VERANDAH DETAIL**

1:50 DETAIL S:
Wind - 11kph Gref - 0.01 Gref - 0.01 Sref - 0.517kPa
Ref - 1.5k Weir (0.2517k) Ceiling - 1.5k Weir (0.2517k)

Note: Construction to comply with NZS 5400 (1991) and the New Zealand Building Code 1997

SCALE: 1:50 DATE: NOV '97
DRAWN: B.O'Connor C17053

SHEET: 1
OF: 1

27 NOV 1998

GANG-NAIL

GROUP LTD

PRODUCER STATEMENT - DESIGN
GANG-NAIL GROUP LIMITED

Verandah Detail

CH7053
GANG-NAIL DESIGN

The building design CH7053 has been compiled using sound and widely accepted engineering principles and in accordance with NZS4203:1992 and NZS3603:1993 as verification methods and acceptable solutions of the approved documents issued by the Building Industry Authority to satisfy the requirements of Clause B1:Structure of the Building Regulations 1992.

As independent design professionals covered by a current policy of Professional Indemnity Insurance to a minimum value of \$200,000
I BELIEVE ON REASONABLE GROUNDS that subject to:

1. The verification of all design assumptions detailed in the drawings and
2. All proprietary products meeting the performance specification requirements,

the drawings, specifications and other documents according to which the building is proposed to be constructed, comply with the relevant provisions of the Building Code.



Stephen Anthony COLL

T.M. IPENZ, MNZIOB

for GANG-NAIL GROUP LIMITED
20 KOTZIKAS PLACE
CHRISTCHURCH
NEW ZEALAND

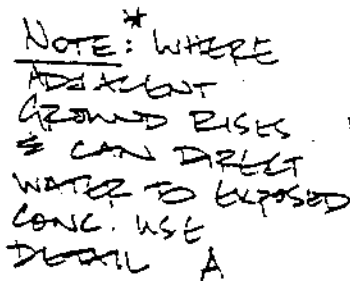
Date: 10 November, 1997

Correspondence from Christchurch Office

Auckland Office: 5 Zelmanian Drive, East Tamaki, P.O. Box 58-014
Greenmount, New Zealand. Phone 0-9-274 7109. Fax 0-9-274 7100

Christchurch Office: 20 Kotzikas Place, Sockburn, P.O. Box 8387
Riccarton, New Zealand. Phone 0-3-348 8691, Fax 0-3-348 0314





FOR LIGHT CONSTRUCTION - SINGLE

STORY - GRANULAR SOIL CONDITIONS

E.G. SAND

7th June 2001

Ms J Patterson
Apartment 4
20 Alpha Street
WELLINGTON

Dear Jane

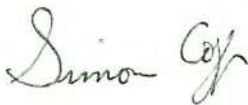
BUILDING CONSENT 001713 - 42 FIELDWAY, WAIKANAE

The following items require completion or change to comply with the above building consent documents:

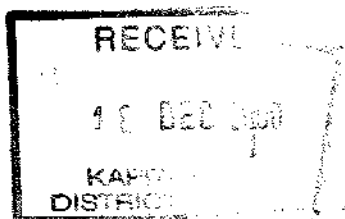
1. Seal, ie paint, the soffit lining on the porch to the sleepout. ✓ 27/6/01

When the above work is complete, please arrange for re-inspection.

Yours faithfully



Simon Copp
BUILDING CONTROL OFFICER



4/20 Alpha Street
Te Aro
WELLINGTON 1

14 December 2000

Mr Mike Mawby
Building Control Officer
Kapiti Coast District Council
Private Bag 601
PARAPARAUMU

Dear Mr Mawby

PROPOSED GARAGE 42 FIELDWAY WAIKANAE

Thank you for your letter of 12 December.

The application for a resource consent was lodged at the same time as the building consent application. The file number assigned to it is RM 000392 and Tineke Kolff is the staff member who will be assessing it. I am assuming that you will be able to liaise with her and that no further action on my part is required at this stage.

Yours sincerely

Jane Patterson

Cc Ron Sharpe
Versatile
PO Box 54060
Mana



BC 001713

12 December 2000

Jane Patterson
4/20 Alpha Street
WELLINGTON

Dear Miss Patterson

PROPOSED GARAGE 42 FIELDWAY WAIKANAE

I refer to your building consent application that is currently being processed.

The plans for your building consent application show the garage is to be sited 2.0 metres from the front boundary. In terms of the district plan the garage is required to be 4.5 metres from the front boundary.

You must either amend the plans so that the proposal will comply with the district plan; or make application for resource consent (land use) pursuant to Section 87 (a) of the Resource Management Act 1991.

Your building consent will not be issued until you have either amended the site plan or obtained approval for the resource consent.

Yours faithfully

Mike Mawby
BUILDING CONTROL OFFICER

Copy to
Versatile Building
PO Box 54060
Mana.



Project Information Memorandum

Section 31, Building Act 1991

Application

JANE L PATTERSON	No.	001713
C/- VERSATILE BUILDINGS	Issue date	15/01/01
PO BOX 54060	Application date	8/12/00
MANA	Overseer	Barrie McLennan

Project

Description	Alterations, Repairs or Extensions Being Stage 1 of an intended 1 Stage NEW GARAGE/SLEEPOUT/WORKSHOP
Intended Life	Indefinite, but not less than 50 years
Intended Use	RESIDENTIAL
Estimated Value	\$18,800
Location	42 FIELD WAY, WAIKANA E
Legal Description	LOT 29 DP 22152
Valuation No.	1491029400

This project information memorandum is confirmation that the proposed building work may be undertaken, subject to the provisions of the Building Act 1991, and any requirements of the building consent.

This project information memorandum includes:

- ☐ Information identifying relevant special features of the land concerned
- ☐ Details of relevant utility systems
- ☐ Details of authorisations which have been granted

Signed for and on behalf of the Council:

Name:

Date: 12 JAN 2001

PROJECT INFORMATION MEMORANDUM

Planning Requirements

Applicant : JANE L PATTERSON

Mailing Address : APARTMENT 4
20 ALPHA STREET
WELLINGTON

Site Address : 42 FIELD WAY, WAIKANAE

Legal Description : LOT 29 DP 22152

Project : NEW
GARAGE/SLEEPOUT/OFFICE/W/SHOP

Proposed Use : RESIDENTIAL

Zone :

Use permitted : Discretionary activity

Resource Consent granted : Yes : RM 000392

Designations on property : None listed

Easements : None listed

Site subject to inundation : Not known to be

Coastal building line restriction : N/A

Relocatable zone : N/A

Minimum floor level (50 year event) : N/A

Recommended minimum :

Floor level (100 year event) : N/A

Yard and height requirements : Front yard encroachment

Tree/building preservation : None listed

Other comments :

Note: Minimum floor levels must use Mean Sea Level Wellington Datum 1953. Certification that the floor level complies with the minimum floor level will be required from a registered surveyor prior to foundation inspection.

SPECIAL FEATURES OF THE LAND

Potential erosion :	/
Potential avulsion :	/
Potential subsidence :	/
Potential slippage :	/
Potential alluvion :	/
Potential inundation :	/
Presence of hazardous contaminants :	/

Other feature(s) or characteristic(s) likely to be relevant to the design or construction of the proposed buildings and not apparent from the District Scheme or District Plan :

/

PLUMBING AND DRAINAGE

Sewer available / connected :	Connected
Water available / connected :	Connected
Site plan of existing services (if any) :	See attached
Location of sewer lateral :	shown
Location and size of water toby :	15mm shown
Location of easments (if any) :	No easements
Location of public drains (if any) :	N/A
Stormwater disposal to :	Soak pit

11th January 2001

Jane Lucille Patterson
Apartment 4
20 Alpha Street
WELLINGTON

Dear Ms Patterson

**RM000392: LAND USE CONSENT TO CONSTRUCT A GARAGE, AT 42
FIELDWAY, WAIKANAE**

We are pleased to enclose your Resource Consent for the above planning application.

As you will see from the Resource Consent there are a number of conditions that need to be complied with.

If you do not agree with the conditions of your consent you may object and have the matter considered by Hearing Commissioners. This is done by lodging a written objection in accordance with Section 357 of the Resource Management Act 1991. Please note that, if you do wish to object, you must advise the Resource Consents Manager within 15 working days from the date of receiving this consent.

The deposit for an objection is \$370 (including GST) plus an extra \$90 if Council's Subdivisional Engineer will be involved. Other staff time and costs will also be charged unless waived by the Hearing Commissioners. If an objection is upheld the deposit will be refunded in full; if upheld in part then half the deposit will be refunded.

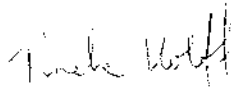
Please note also that this consent will expire unless you give effect to the consent within 2 years (unless a longer period is specified in the consent conditions). Alternatively, you have until 3 months after the expiry of the consent to apply for an extension of the consent. Council may grant an extension if it is satisfied that the criteria set out in Section 125 of the Resource Management Act 1991 are met.

You are also advised that you will need to obtain all other necessary consents and permits, including those under the Building Act 1991, and comply with all relevant Council Bylaws.

Thank you for dealing with the Kapiti Coast District Council.

If you have any concerns or enquiries about the conditions please do not hesitate to contact the writer on ext 814.

Yours faithfully

A handwritten signature in dark ink, appearing to read 'Tineke Kolff', with a stylized flourish at the end.

Tineke Kolff
RESOURCE CONSENTS PLANNER



RESOURCE CONSENT NUMBER: RM000392

That pursuant to section 105 of the Resource Management Act 1991, the Kapiti Coast District Council (hereinafter called "the Council") does hereby grant a Land use Resource Consent to:

JANE LUCILLE PATTERSON, APARTMENT 4, 20 ALPHA STREET, WELLINGTON

to construct a garage which will encroach the front yard by up to 2.5 metres, at 42 Field Way, Waikanae, as shown on the plans and as described within other information which accompanied the resource consent application RM 000392 subject to the following conditions:

1. The garage design, location and appearance shall be in accordance with the plans and other information submitted with resource consent application RM000392.
2. The macrocarpas along the front boundary are to be replaced by plants that are capable of eventually meeting a height of at least 3 metres that will provide screening to the proposed garage/studio.

REASONS FOR DECISION:

Pursuant to Section 113 of the Resource Management Act 1991, the reasons for this non-notified discretionary activity consent decision are as set out in the assessment above and can be summarised as follows:

1. The effects of the encroachment on the residential amenity of the neighbourhood are considered to be minimal, and hence acceptable in terms of the provisions in the District Plan.
2. The parties who may be adversely affected by the encroachment have given their approval to the proposal.
3. Granting of the consent will not contravene the Act's focus of sustainable management of natural and physical resources.

ADVICE NOTES

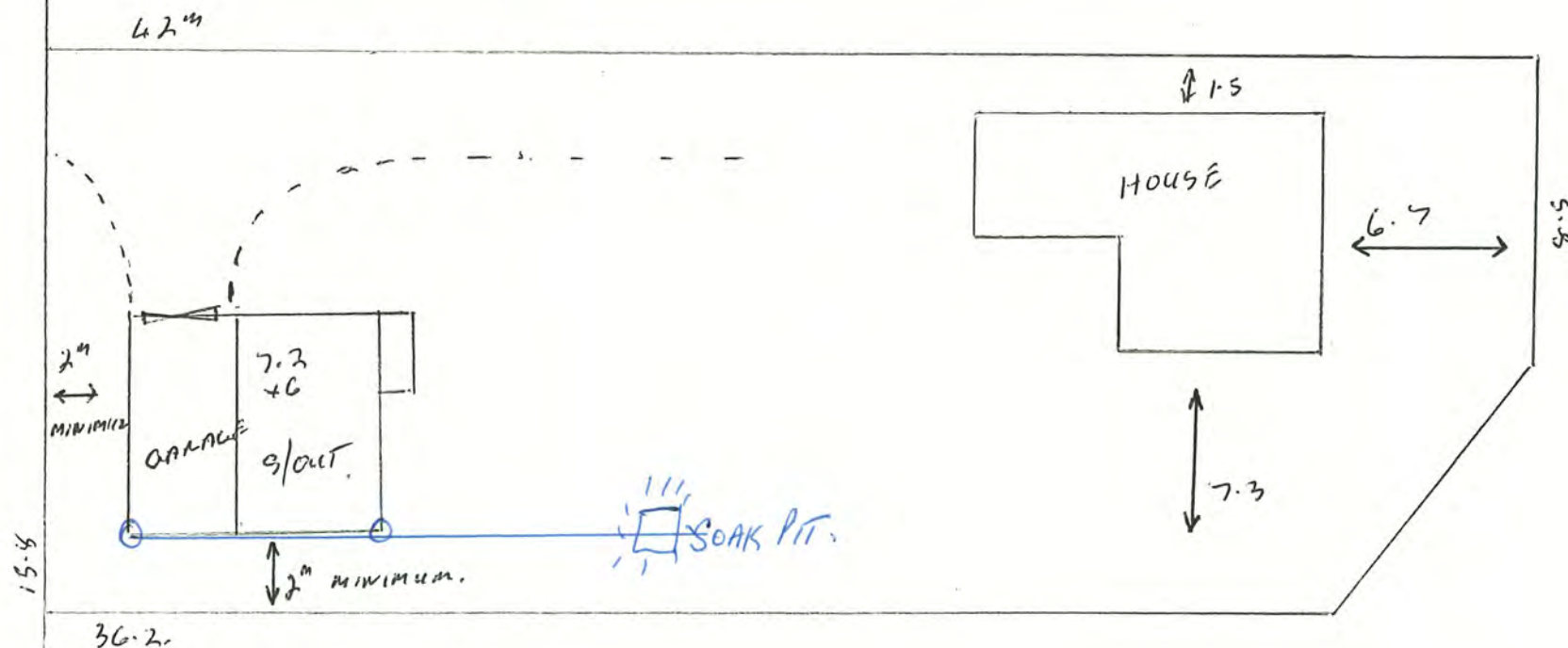
1. The applicant needs to obtain all other necessary consents and permits, including those under the Building Act 1991, and comply with all relevant Council Bylaws.

ISSUED: 11th January 2001

Tineke Kolff
RESOURCE CONSENTS PLANNER



FIELDWAY

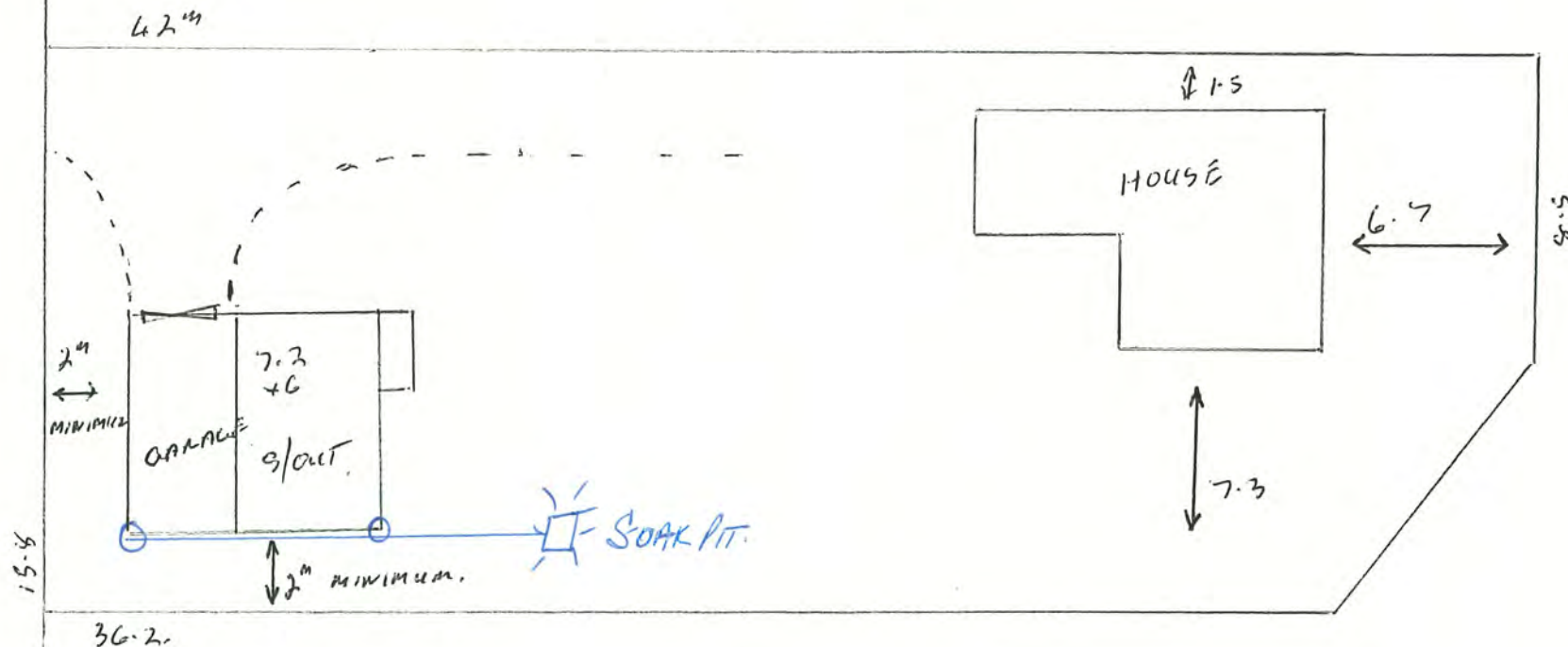


NEW STORMWATER LINE IN P.V.C TO N.X.S.S.

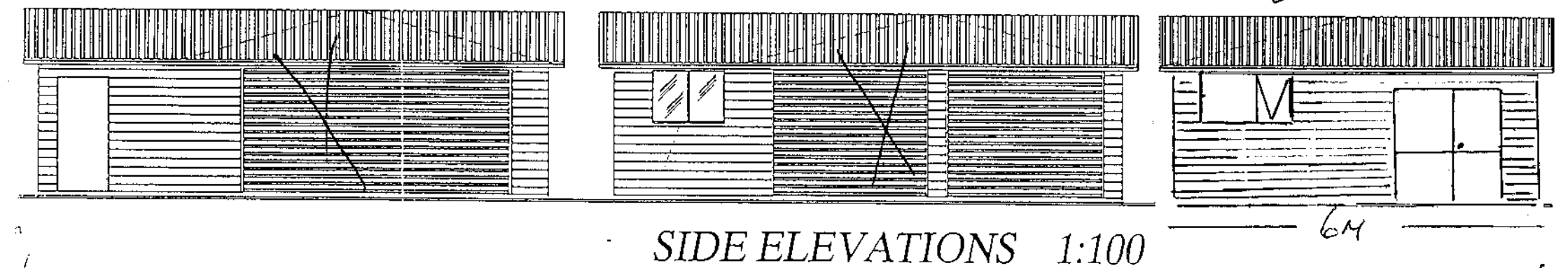
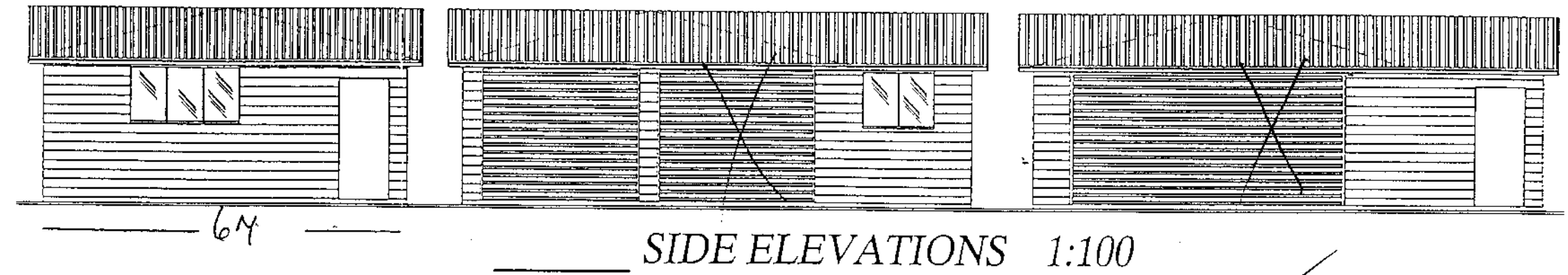
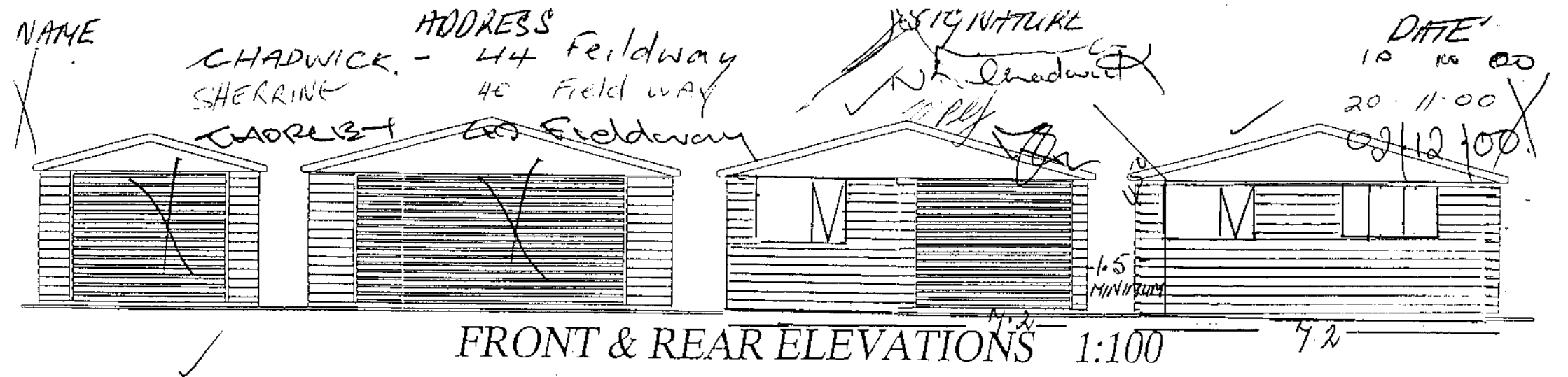


Versatile Buildings Ltd	Proposal: 6.8 x 7.2 x 2.4 GARAGE / SLEEPOUT.	Scale: 1:200	Lot:
P.O Box 54-060	Name: JANE PATERSON		DP:
MANA	Address: 42 FIELDWAY	Drawn: R.J.S.	Area:
Ph 04 233 9528 Fax 04 233 9827	Location: WAIKANA BEACH	Date: 4-10-2000	Sheet:

FIELDWAY

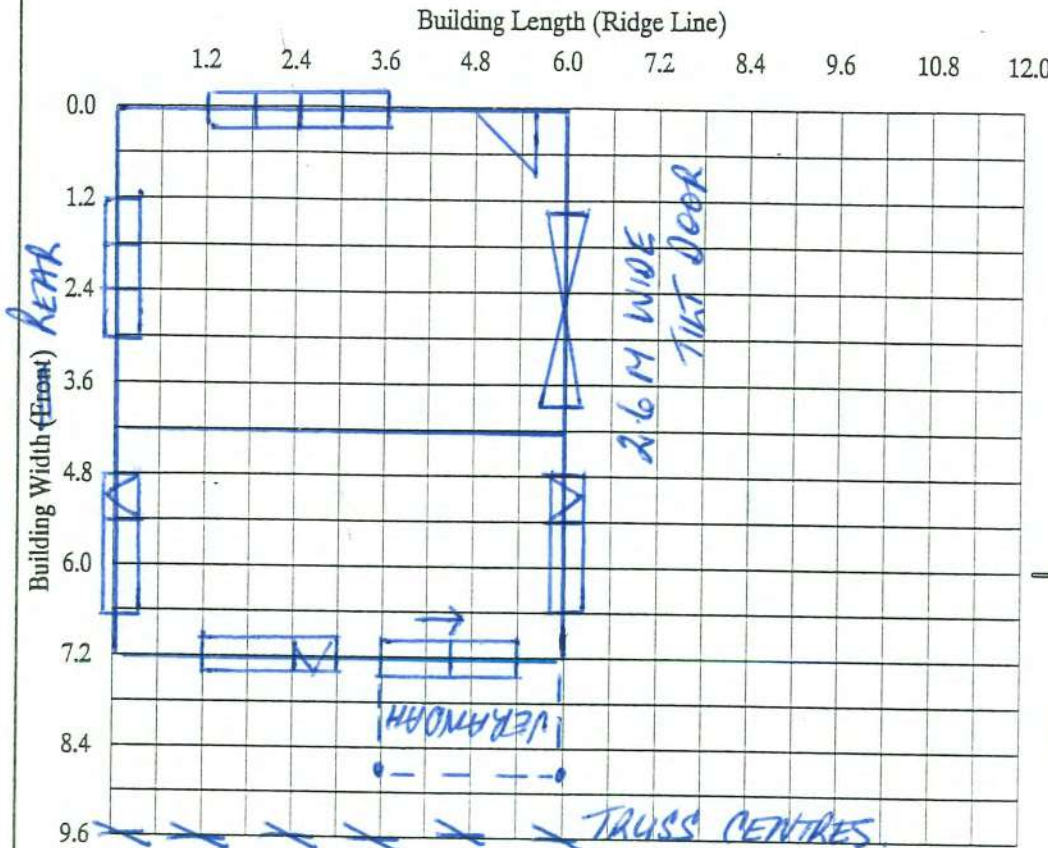


Versatile Buildings Ltd	Proposal: 6 x 7.2 x 2.4 GARAGE/SLEEPOUT	Scale: 1:200	Lot:
P.O Box 54-060	Name: JANE PATTERSON		DP:
MANA	Address: 42 FIELDWAY	Drawn: R.J.S	Area:
Ph 04 233 9528 Fax 04 233 9827	Location: WAIKANA E BEACH	Date: 4.10.2000	Sheet:



RM000392.....
 FINAL APPROVED PLANS
 11 / 1 / 01

CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO STARTING • ALL DIMENSIONS IN MM UNLESS STATED



FLOOR PLAN 1:100 FLOOR AREA: 43.2 m²

GENERAL

All work to comply with the New Zealand Building Code. This specification and drawings shall be read in conjunction with Gangnail Producer Statement for Design, dated 19 March, 1998.

FOUNDATIONS

Concrete floor shall be 17.5 MPA, 100mm thick. Footing as detailed.

WALL FRAMING

All timber shall be machine gauged and treated to T.P.A. specification H1 or Chemical Free Dry frame. Studs shall be 90x35 dry frame at 600 c/s and housed into plates with dwangs housed into studs. Lay two ply malthoid d.p.c. under all plates. Refer Gangnail Producer Statement CH3900/107 for timber grade options and specification.

ROOF FRAMING

Purlins shall be 90mm x 45mm on edge at 1500 max c/s fixed to Gangnail 15 degree trusses at centres shown below. Fix purlins and trusses as detailed in Gangnail Producer Statement for Design.

SIDE ENTRY OPENING LINTELS

Refer Soon Loo Consultants Ltd Producer Statement for Design, dated February 1997, for side entry lintels table below relates to Low Wind, up to 0.3 Snow (Kpa), Refer Producer Statement for others.

Clear Span	Truss Span: 6000	Truss Span: 6600 & 7200	Truss Span: 7800-9000
Max. span 2.7	170 x 45 LVL Lintel	170 x 45 LVL Lintel	200 x 45 LVL Lintel
Max. span 3.0	240 x 45 LVL Lintel	240 x 45 LVL Lintel	240 x 45 LVL Lintel
Max. span 4.5	240 x 45 LVL Lintel	240 x 45 LVL Lintel	240 x 63 LVL Lintel
Max. span 4.8	240 x 45 LVL Lintel	240 x 63 LVL Lintel	300 x 45 LVL Lintel

Trusses butted to lintel with 90 x 35 lumberlock joist hanger.

ROOFING

Shall be 0.44 B.M.T. steel longrun rib roofing, fixed with 65/75mm weatherseal spiral shank nails, over building paper on Ultra-Violet fast lashing.

WALL CLADDING

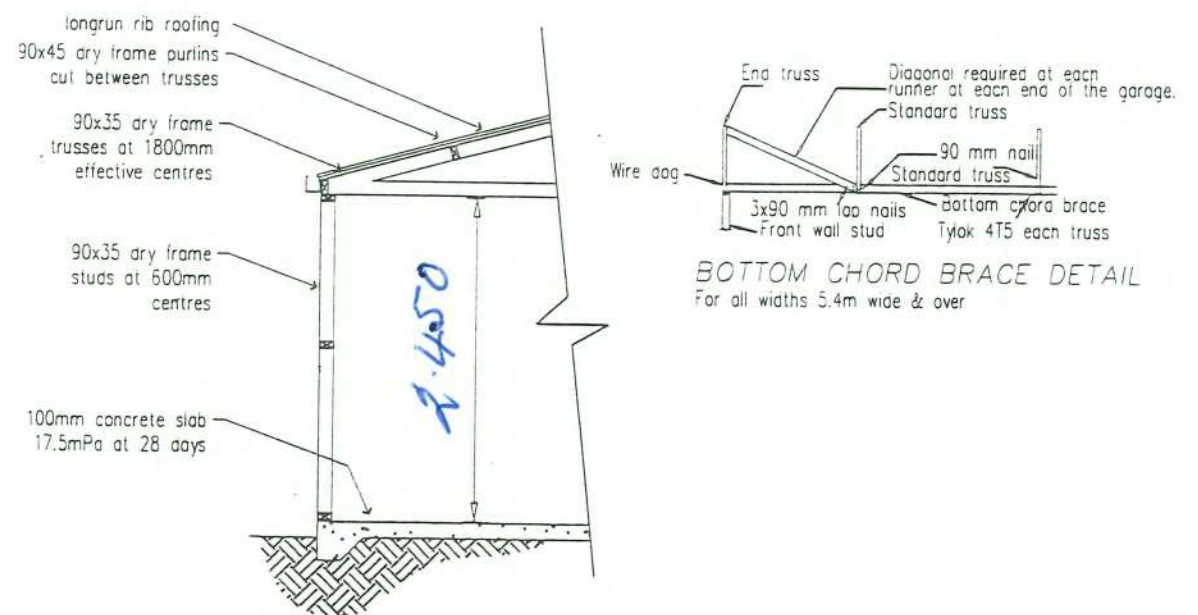
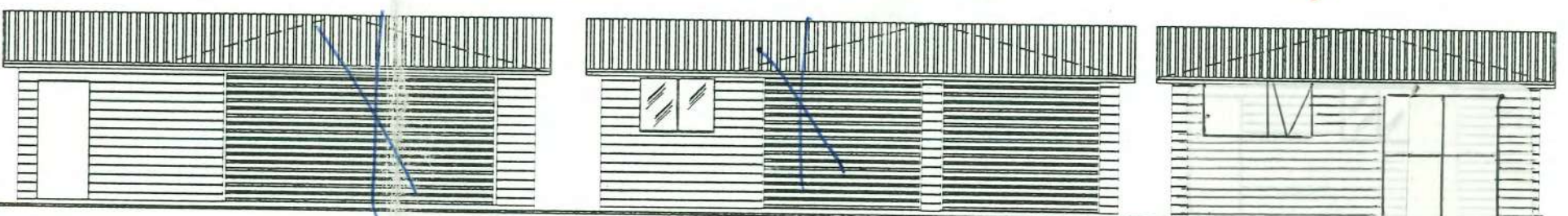
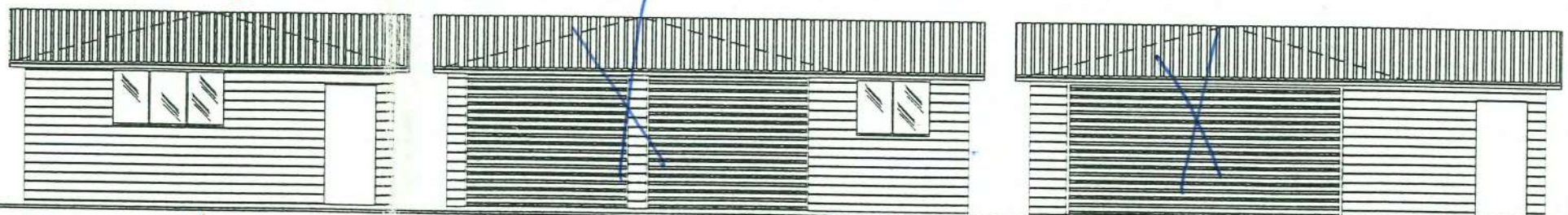
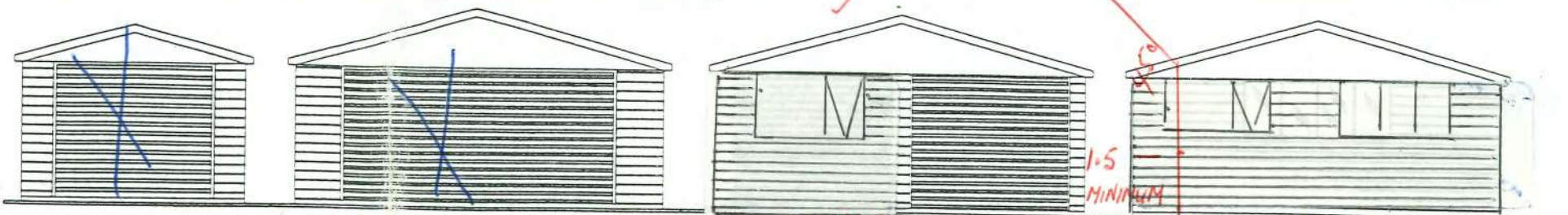
Shall be SUPERCLAD COLORSTEEL
Fix in accordance with Gangnail Producer Statement for Design.

ROOF BRACING

For all buildings fix Lumberlock roof plane strap bracing in accordance with Gangnail Producer Statement for Design.

WALL BRACING

For Superclad 300 horizontal weatherboard fix 22 x 22 x 1.2 metal angle bracing in accordance with NZS 3604. For steel sheet weatherboard cladding no metal angle bracing is required, refer Gangnail producer statement.



FOUNDATION DETAIL
ON ATTACHED SHEET

TYPICAL SECTION
DETAILS

VERSATILE
BUILDINGS

HEAD OFFICE:
112 WATERLOO ROAD

PH: (03) 348-8704
FAX: (03) 348-9093

PROJECT TITLE

PATTERSON

Proposed Garage For:

42 FELDWAY WAIKANA

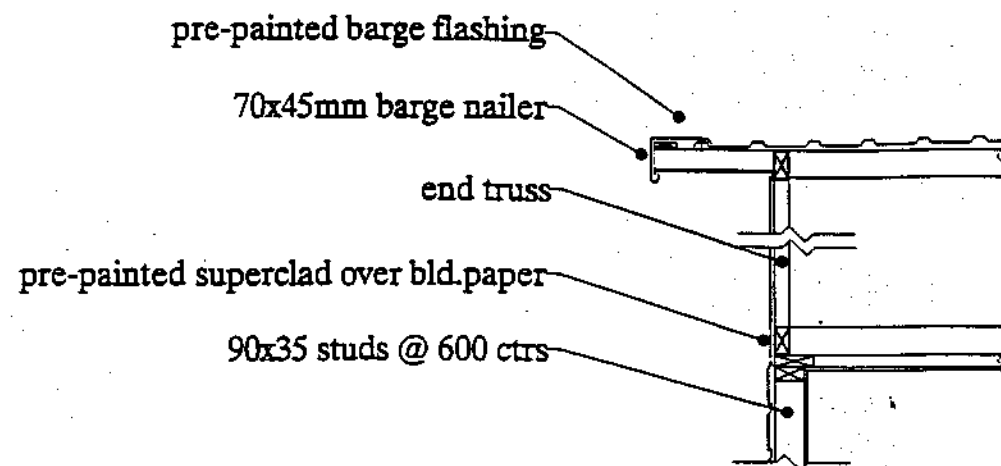
DRAWING TITLE

VERSATILE GARAGE

Note: Construction to comply with
the New Zealand Building Code 1992
REFER TO PRODUCER STATEMENT

SCALE: 1:100 DATE: Sep '97
DRAWN: B.O'Connor FILE: VG-1301A

SHEET: 1
OF:



GABLE DETAIL 1:20

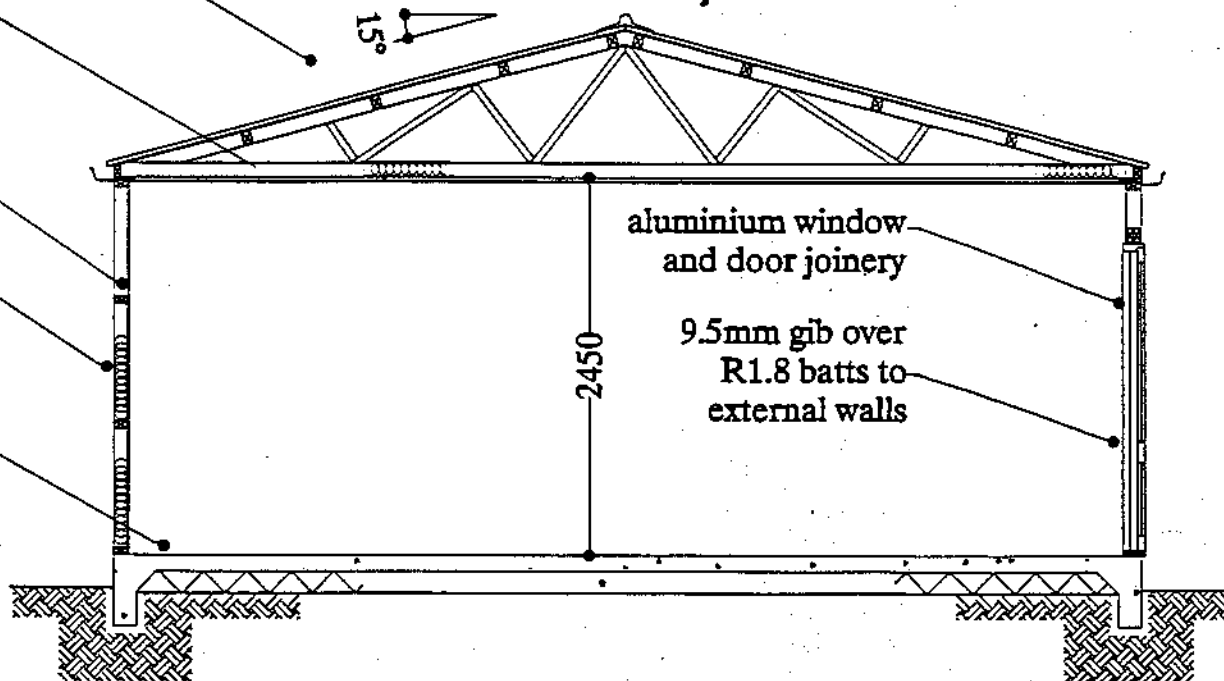
pre-painted roofing on building paper on UV treated string on 90x45 purlins @ 1500 max. centres cut between gang-nail approved trusses @ 1200mm ctrs

70x40 battens 400mm ctrs

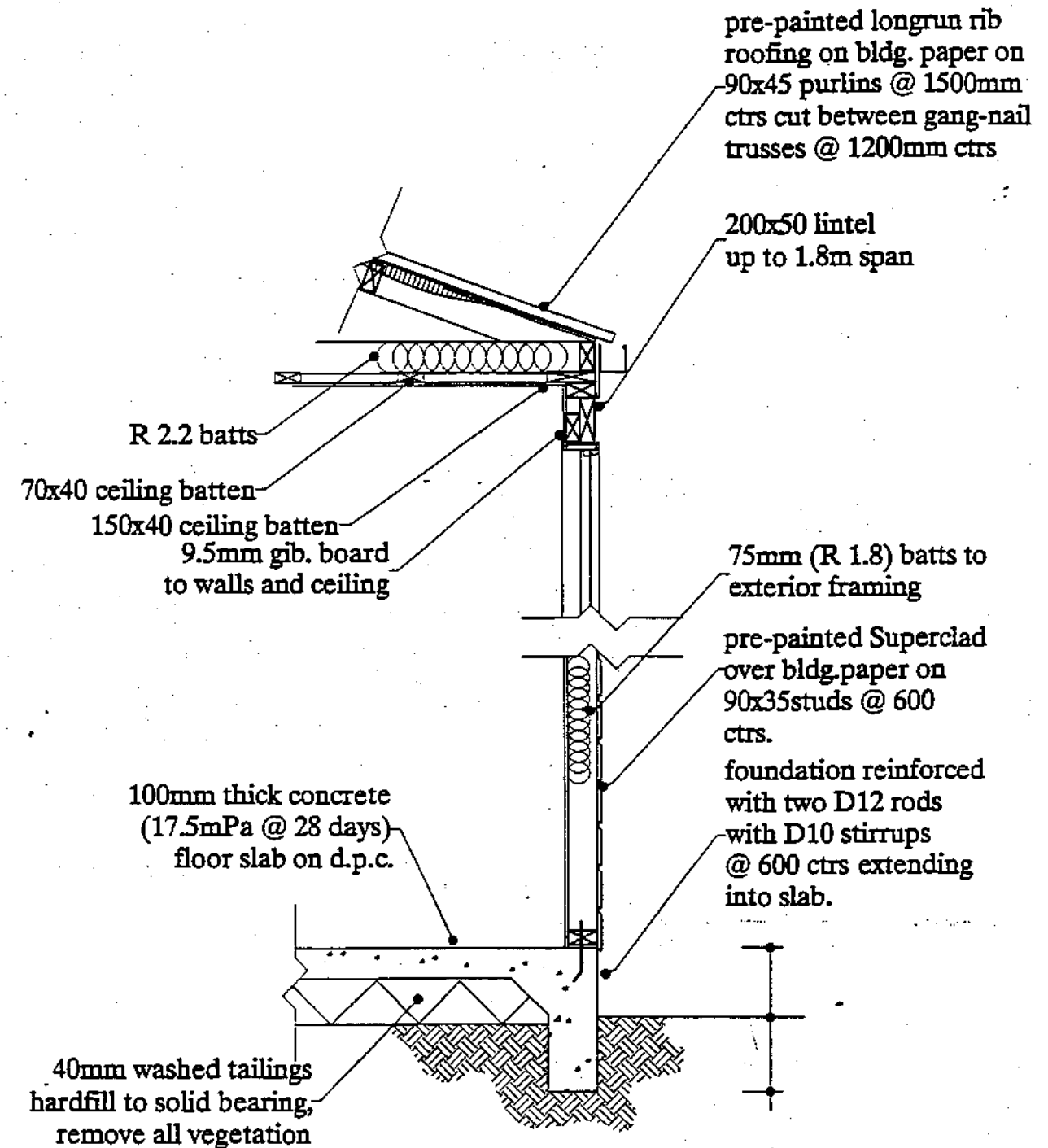
90x35 studs @ 600 ctrs

pre-painted superclad over building paper to all exterior walls

100mm concrete slab (17.5 mPa @ 28 days) over d.p.c. over 150mm of 40mm washed tailings to solid bearing



SECTION A-A 1:50



STRIP SECTION 1:20

VERSATILE
BUILDINGS

HEAD OFFICE:
112 WATERLOO ROAD

PH: (03) 348-8704
FAX: (03) 348-8083

PROJECT TITLE

DRAWING TITLE

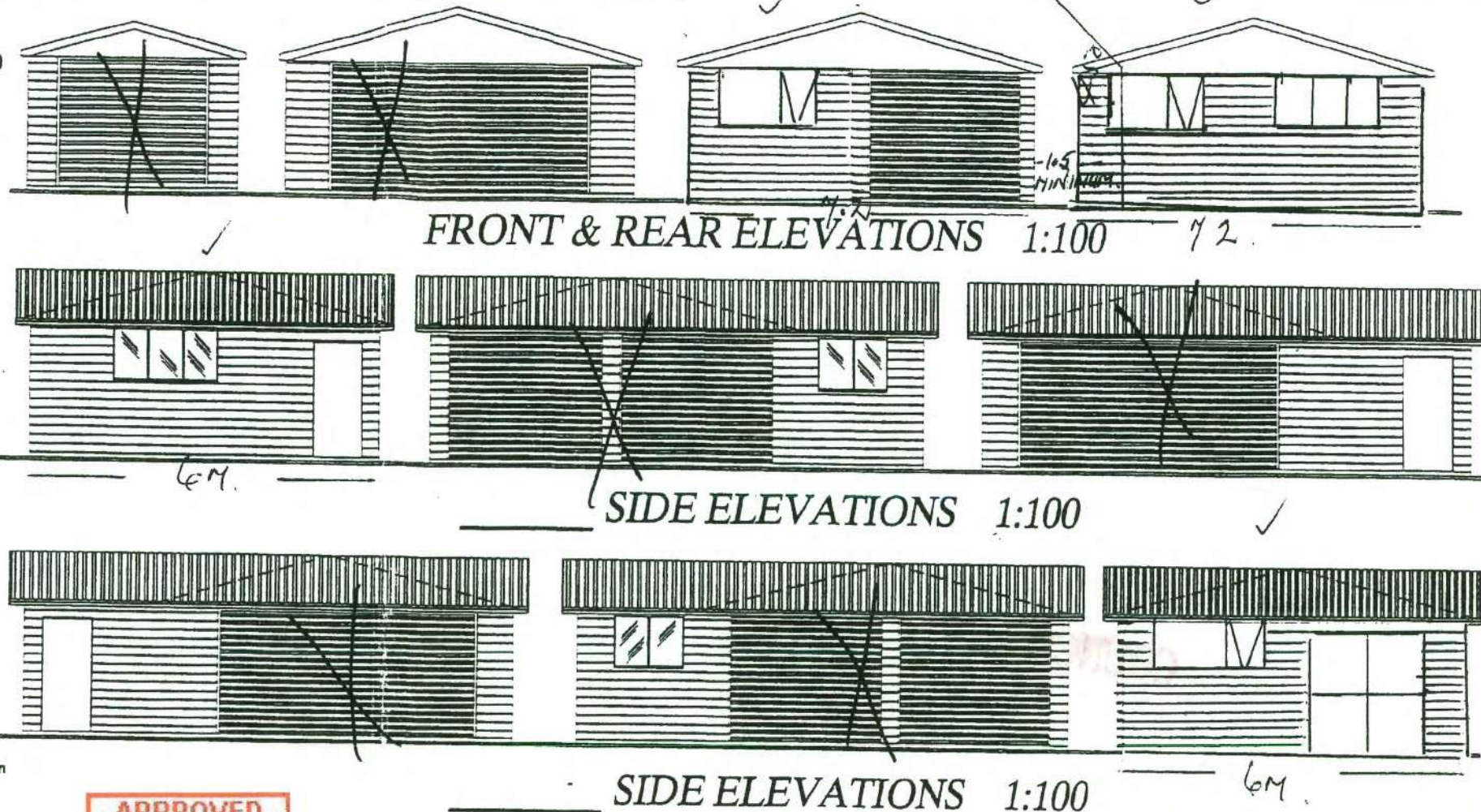
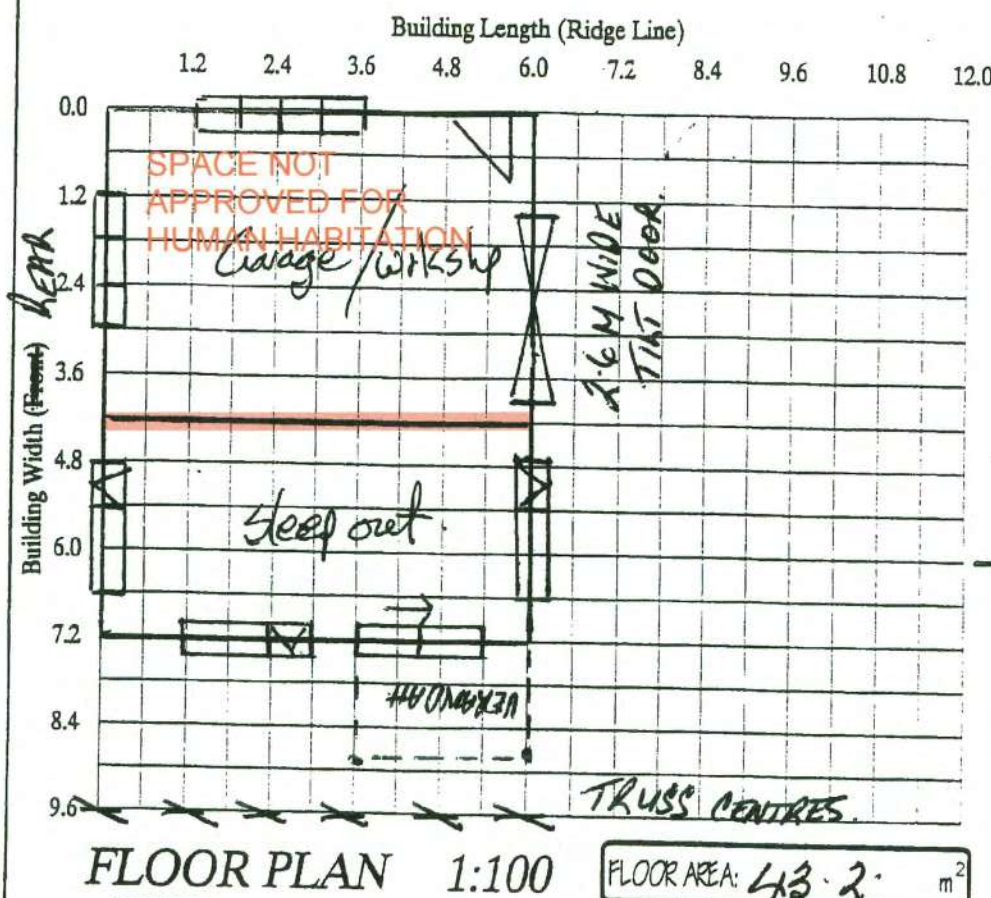
Cottage Series- Concrete Floor Section

Note: Construction to comply with NZS 3604 (1990) and the New Zealand Building Code 1992
WINDOW SIZES INDICATE ROUGH OPENING

SCALE: 1:50
DATE: FEB '98
DRAWN: B.O'Connor
FILE: 3200

SHEET: 2
OF: 2

CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO STARTING • ALL DIMENSIONS IN MM UNLESS STATED



SPECIFICATIONS

GENERAL

All work to comply with the New Zealand Building Code. This specification and drawings shall be read in conjunction with Gangnail Producer Statement for Design, dated 19 March, 1998.

FOUNDATIONS

Concrete floor shall be 17.5 MPA, 100mm thick. Footing as detailed.

WALL FRAMING

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Max. span 4.8	240 x 45 LVL Lintel	240 x 63 LVL Lintel	300 x 45 LVL Lintel

Trusses butted to lintel with 90 x 35 lumberlock joist hanger.

ROOFING

Shall be 0.44 B.M.T. steel longrun rib roofing, fixed with 65/75mm weathertight spiral shank nails, over building paper on Ultra-Violet fast lashing.

WALL CLADDING

Shall be **SUPERCLAD COLORSTEEL**.
Fix in accordance with Gangnail Producer Statement for Design.

ROOF BRACING

For all buildings fix Lumberlock roof plane strap bracing in accordance with Gangnail Producer Statement for Design.

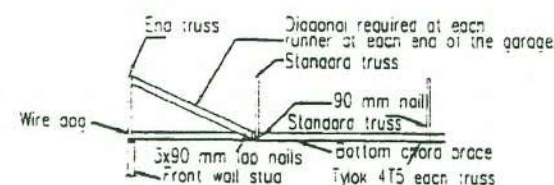
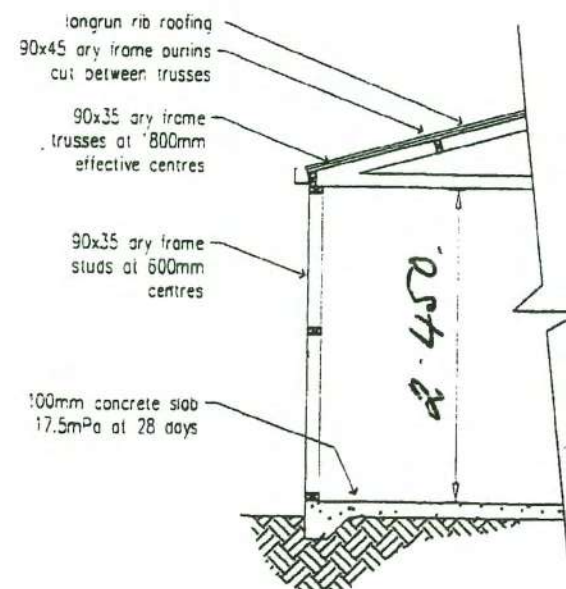
WALL BRACING

For Superclad 300 horizontal weatherboard fix 22 x 22 x 1.2 metal angle bracing in accordance with NZS 3604. For steel sheet weatherboard cladding no metal angle bracing is required, refer Gangnail producer statement.

APPROVED
BY PLUMBING
& DRAINAGE
simon copp 14/12/00
Officer

APPROVED
BY BUILDING
P. Wilkinson
Officer

APPROVED 14/12/00



BOTTOM CHORD BRACE DETAIL
For all widths 3.4m wide & over

FOUNDATION DETAIL

ON ATTACHED SHEET

TYPICAL SECTION

DETAILS

VERSATILE
BUILDINGS

HEAD OFFICE:
112 WATERLOO ROAD

PH: (03) 348-8704
FAX: (03) 348-9093

PROJECT TITLE

PATERSON

Proposed Garage For:

42 FELDWAY WAIKANA

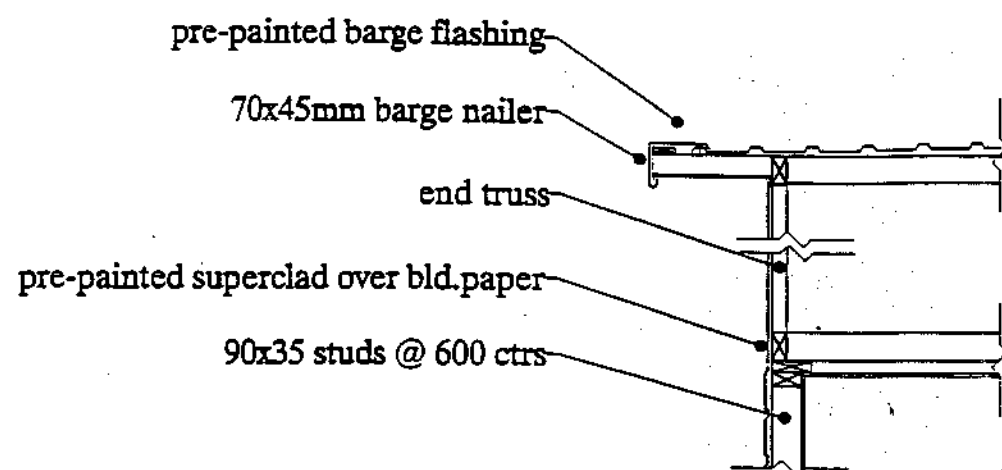
DRAWING TITLE

VERSATILE GARAGE

Note: Construction to comply with
the New Zealand Building Code 1992
REFER TO PRODUCER STATEMENT

SCALE: 1:100
DATE: Sep '97
DRAWN: B.O'Connor
FILE: VG-1301A

SHEET: 1
OF:



GABLE DETAIL 1:20

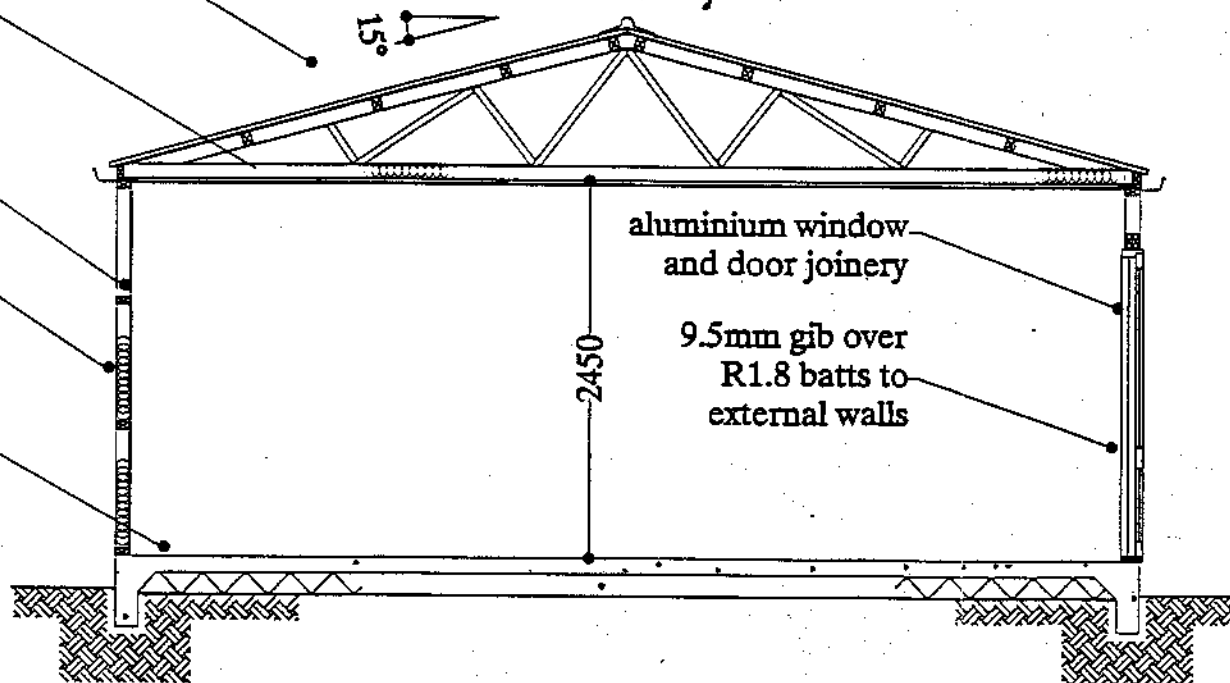
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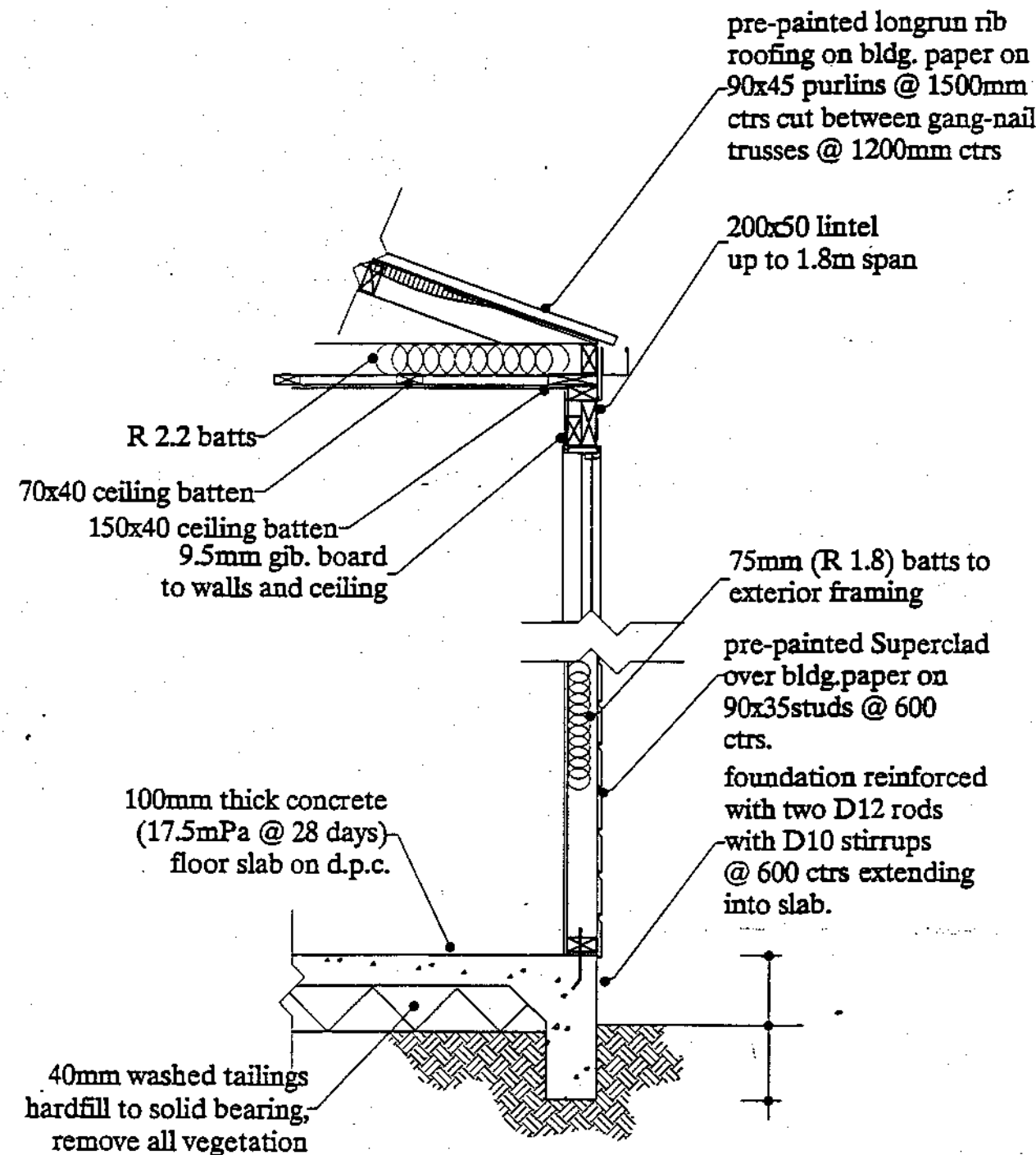
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SECTION A-A 1:50



STRIP SECTION 1:20

VERSATILE
BUILDINGS

HEAD OFFICE:
112 WATERLOO ROAD

PH: (03) 348-8704
FAX: (03) 348-9083

PROJECT TITLE

DRAWING TITLE

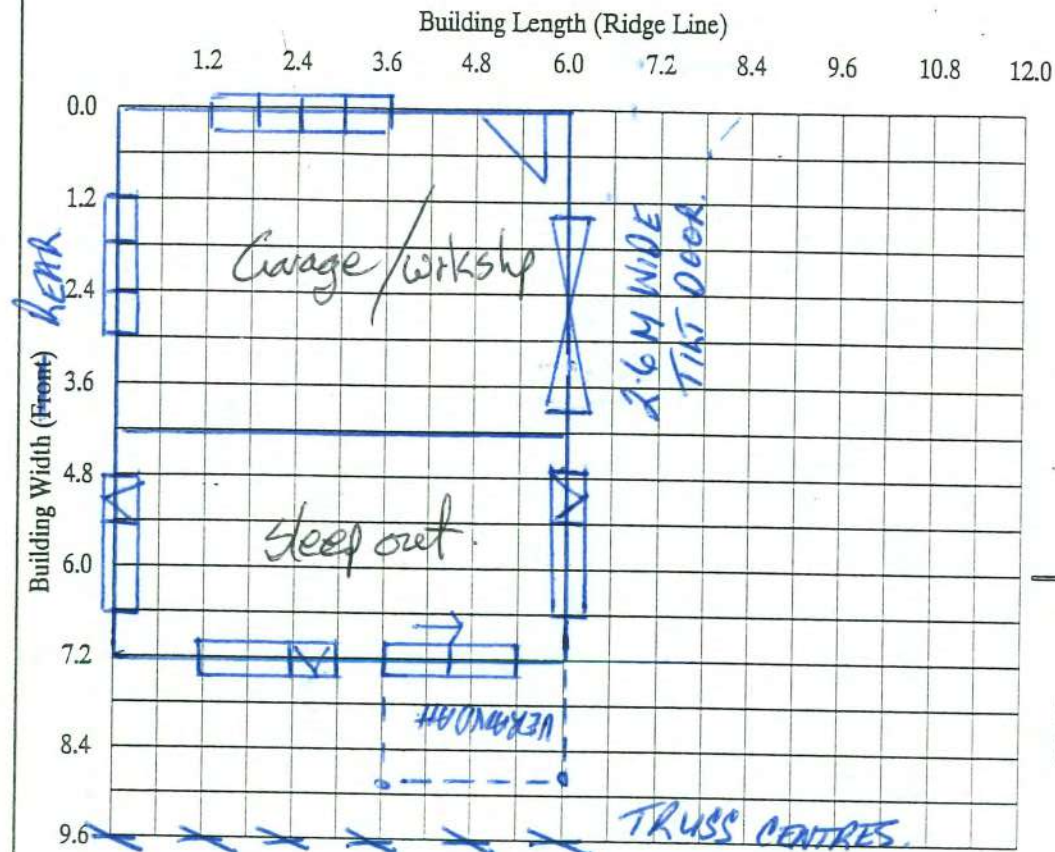
Cottage Series- Concrete Floor Section

Note: Construction to comply with NZS 3604 (1990) and the New Zealand Building Code 1992
WINDOW SIZES INDICATE ROUGH OPENING

SCALE: 1:50 DATE: FEB '98
DRAWN: B.O'Connor FILE: 3200

SHEET: 2
OF: 2

CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO STARTING • ALL DIMENSIONS IN MM UNLESS STATED



FLOOR PLAN 1:100

FLOOR AREA: 43.2 m²

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WALL CLADDING

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Fix in accordance with Gangnail Producer Statement for Design.

ROOF BRACING

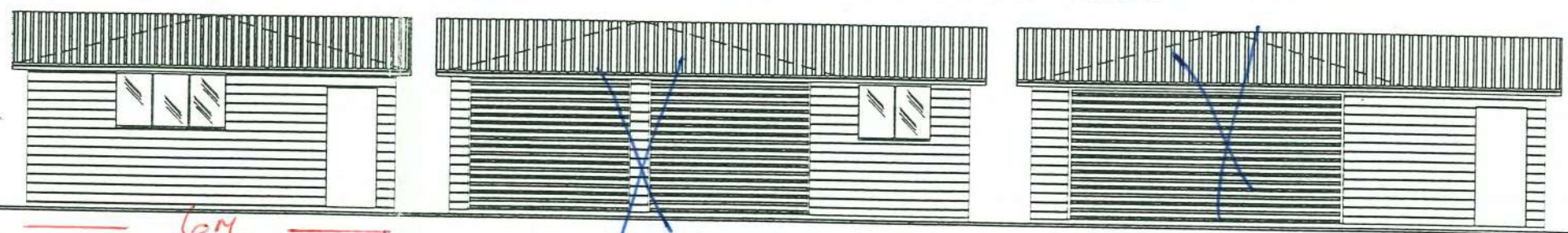
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WALL BRACING

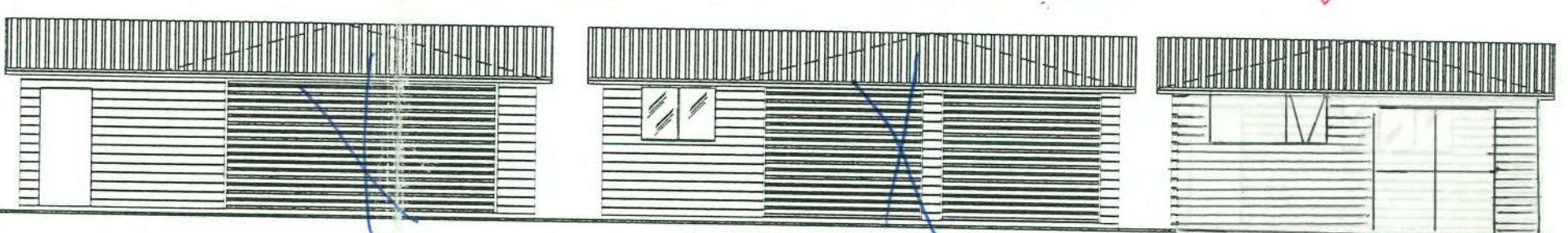
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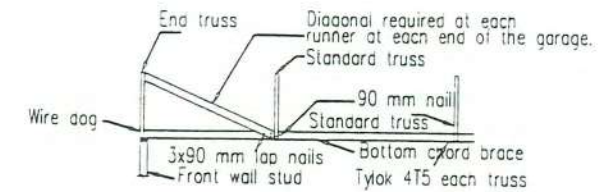
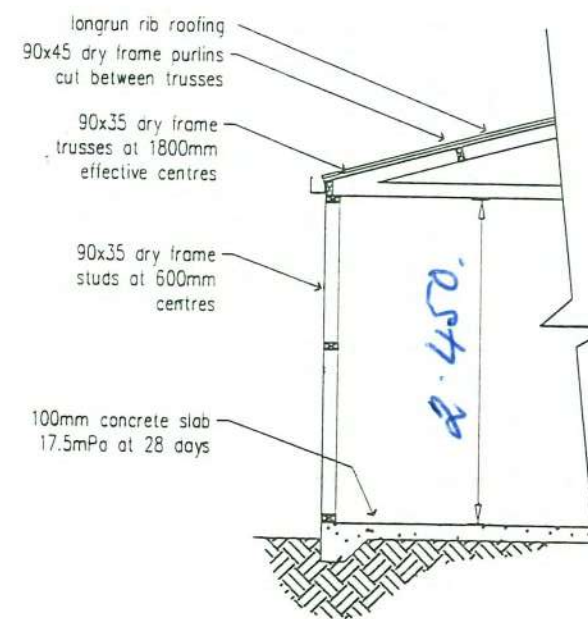
FRONT & REAR ELEVATIONS 1:100



SIDE ELEVATIONS 1:100



SIDE ELEVATIONS 1:100



BOTTOM CHORD BRACE DETAIL
For all widths 5.4m wide & over

FOUNDATION DETAIL

ON ATTACHED SHEET

TYPICAL SECTION

DETAILS

VERSATILE BUILDINGS

HEAD OFFICE:
112 WATERLOO ROAD

PH: (03) 348-8704
FAX: (03) 348-9093

PROJECT TITLE

PATERSON

Proposed Garage For:

42 FELDWAY WAIKANA

DRAWING TITLE

VERSATILE GARAGE

Note: Construction to comply with the New Zealand Building Code 1992 REFER TO PRODUCER STATEMENT

SCALE: 1:100 DATE: Sep '97

DRAWN: B.O'Connor FILE: VG-1301A

SHEET: 1

OF:

Mr. M. MOWAT
5th Clyde St
Victoria, British Columbia

REC-1

Horowhenua County Council

PERMIT No. (A 015218)

LOCALITY Wairarapa

DATE RECEIVED 27.10.67

DATE ISSUED 10.11.67

APPLICATION FOR BUILDING PERMIT

OWNER'S NAME MALCOLM I. MOWAT

FOR OFFICE USE ONLY

REMARKS:

3. for building of 1st floor

APPROVED
B. T. [Signature]
DATE 30-10-67

HOROWHENUA COUNTY COUNCIL
NOTE: This application is
approved on condition that
the building is not used for
human habitation.

NOTE—

1. All Plans and Specifications must be in ink.

20-42

Valuation Book No. 1493/323/16 Date

19

Application for Building Permit

TO THE BUILDING INSPECTOR
Horoehua County Council,
Bath Street,
Levin.

Postal Address: Horoehua County Council,
P.O. Box 17,
Levin.

I, the undersigned, do hereby apply for a PERMIT to erect BUILDINGS in accordance with the undermentioned particulars in: WAIKAWAE RDING

1. Type of Building: GARAGE + CAA FORT
Erections, etc., additions or alterations.

Particulars of Building: Foundations: CONCRETE Walls: ASBESTOS Roof: IRON
Total floor area: 24.0 sq. ft.

2. Allotment: Lot: 29 n.p. 22152 Section:
Area: 32 p. Block: V. KAIMIWA RD. Locality: NGARARA WEST A36

3. Owner's Full Name: MALCOLM REGINALD IVAN HOWAT
Address: 56 HYDE ST. WAIKAWAE

4. Previous Owner: MR + MRS. PIRIE
If Section has been recently subdivided

5. Frontage (length): 68' Name of Street or Road: FIELD WAY

6. Estimated Value of Building: \$500
Plumbing and Drainage: 1 Total: \$500

7. Fees: 10.00 No. of Receipt: 51

See scales of Fees on Back Page.

All work will be carried out in accordance with Horoehua County Council's By-laws.

NOTE:—The following MUST accompany this Application:—

Plans and Specifications in Duplicate, including:—

- Ground Plans of Proposed Work showing position of all sanitary fittings and number of various rooms.
- Where the building is on a sloping site the correct height of foundations must be shown.
- Front, Rear and Side Elevations.
- Cross section showing framing with bracing.
- Where a building requires Plumbing and Drainage Work, a Separate Application Form must be filled in and Permit obtained before commencing any such work.

Signature of Applicant

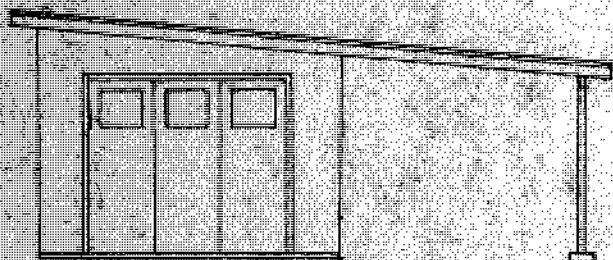
M. Howat

32 BUILDER or
OWNER

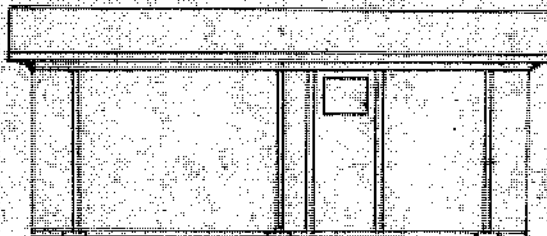
Address: 56 HYDE ST. WAIKAWAE

Builder's Name
and Address

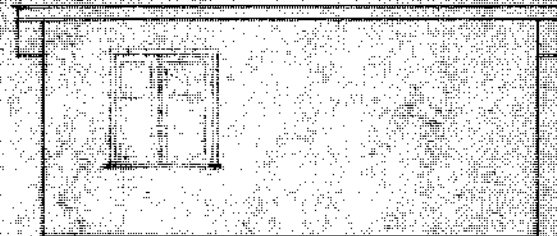
If not
the
applicant



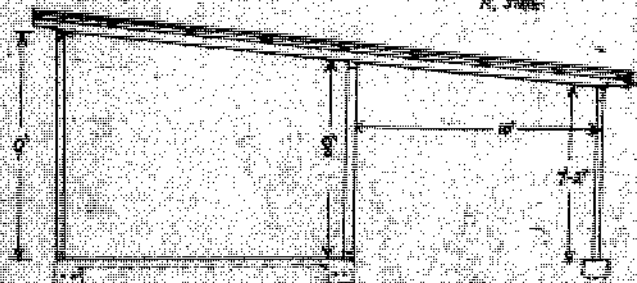
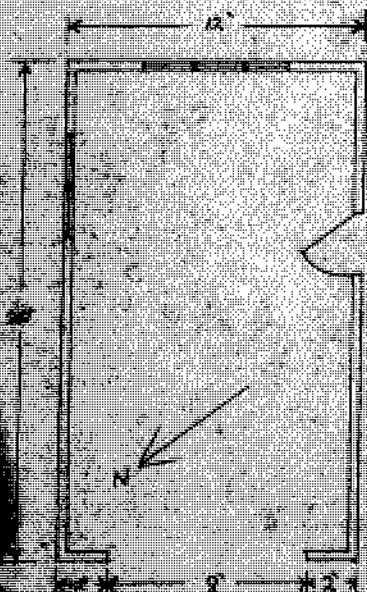
FRONT



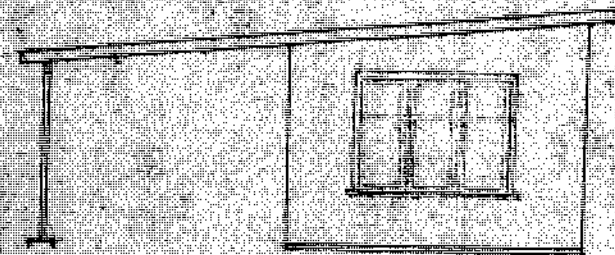
R. SIDE



L. SIDE

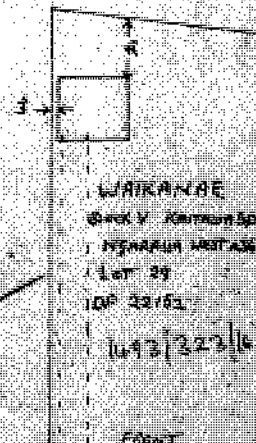


SCALE 1/2" TO 1'



REAR

CARPORT AND
GARAGE FOR M. HOWAT
26 GAUGE GAL IRON ROOF
1" ASBESTOS ON BUILDING PAPER
4x4" STUDS AT 12" CENTRES
6x2" RAFTERS AT 2' CENTRES
3x2" FUSING AT 3' CENTRES



WATERMAN
BANK & CREDIT CO.
MEMPHIS, MISSISSIPPI
LOT 39
100 32182
11493/322/6

N

5' 10"

DATE *JH* 20-42

J. R. M. HOWAT.
56 Hyde St
Warranah, N.S.W.

HCC-111

Horowhenua County Council

PERMIT No. 3278

17/5/67

LOCALITY Warranah

DATE RECEIVED 10 11 65

DATE ISSUED 17 5 67

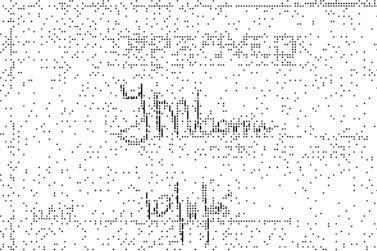
APPLICATION FOR BUILDING PERMIT

OWNER'S NAME

M. Howat

FOR OFFICE USE ONLY

REMARKS



NOTE—

1. Buildings must NOT be erected within 5000 feet of aerodrome.
2. All Plans and Specifications must be in ink.

20-42

Valuation Book No. 1023/313/11

Date

11

Application for Building PermitTO THE BUILDING INSPECTOR
Hawke's Bay County Council,
P.O. Box 17,
Levin.Postal Address: Hawke's Bay County Council,
P.O. Box 17,
Levin.I, the undersigned, do hereby apply for PERMISSION to erect BUILDINGS in accordance with the undermentioned particulars in WAIKANA RIDGE1. Type of Building: ADDITION

Description, etc.: addition of alterations

Particulars of Building: Foundations CONCRETE Walls 4" ASBESTOS Roof ALUMINUM IRONTotal floor area 65 sq ft.2. Purpose for which each part of Building is to be used or occupied. Describing separately each part intended for use or occupation for a separate purpose: TOO LUSHED3. Allotment: lot 29 of 22152 sectionarea 32.8 cont. V. KAITAWA facing WAIKANA4. Owner's Full Name MALCOLM REGINALD IVAN HEDDATAddress 56 HYDE ST WAINUIOMATAPrevious
owner (if not
owner)
(if not owner)5. Frontage (feet): 70' Name of Street or Road FIELDWAY6. Estimated Value of Building: \$200.00

Building and fixtures

Total

\$2007. Fees 2.00 No. of Receipts 6133

See Back of Form for Each Part

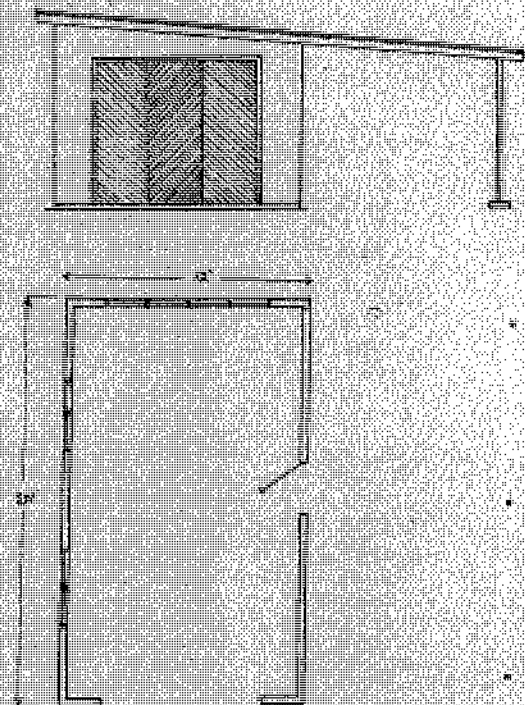
All work will be carried out in accordance with the Hawke's Bay County Council's By-laws.

NOTE: The following MUST accompany this application:—

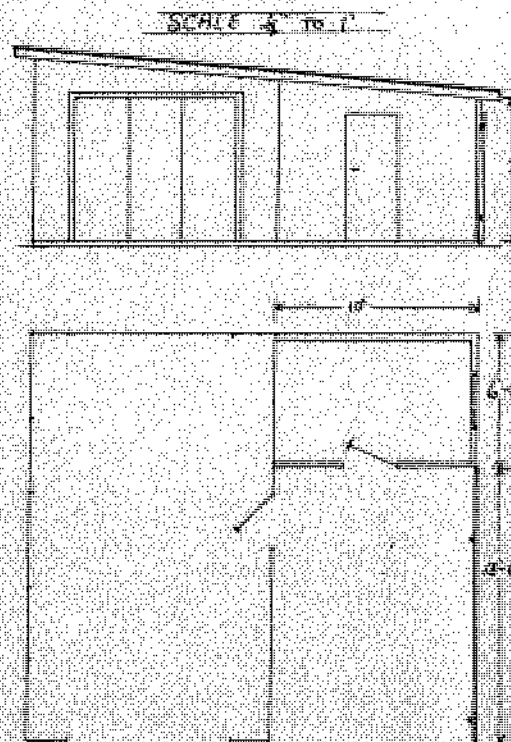
Plans and Specifications in Duplicate, including:—

- Ground Plans of Proposed Work showing position of all proposed fittings and layout of water drains.
- Where the building is on a slope the proposed layout of foundations must be shown.
- The front, rear and side elevations.
- Cross section showing foundation with details.
- Where a building requires Planning and Drainage Work, a separate Application Form must be filed to and Permit obtained before commencing any such work.

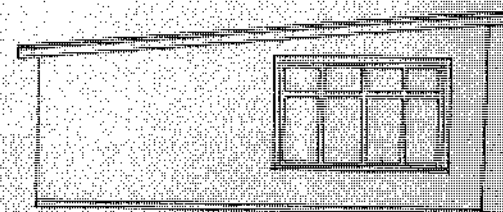
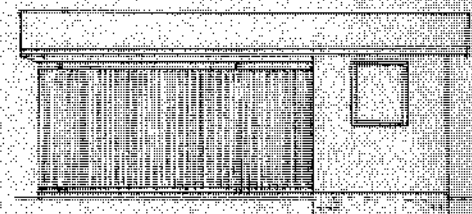
Signature of Applicant M. HeddatTO BUILDING or
OWNERAddress 56 HYDE ST WAINUIBuilder's Name
and AddressIf not
the
applicant



EXISTING GARAGE AND CAR PORT



ADDITION OF FINISHED AND INSULATED SIDE TO CARPORT
FOR M. ROUST LOT 29 FIELDRAY WILSON
CONSTRUCTED IN BRICK MATERIAL AS GARAGE



HERKIMER COUNTY COUNCIL

APPROVED

IN ACCORDANCE WITH PERMIT NO. _____

NOTE: TWO COPIES MUST BE KEPT ON THE SITE OF THE WORK DURING CONSTRUCTION.

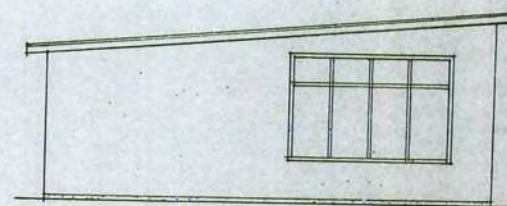
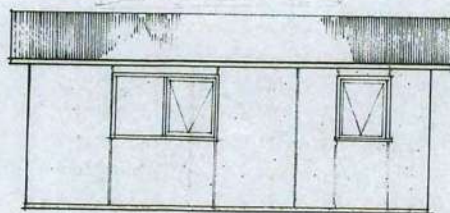
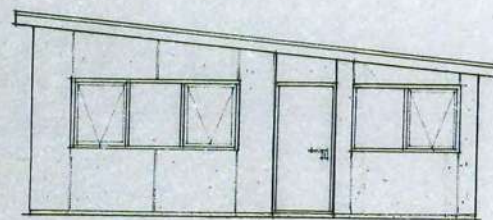
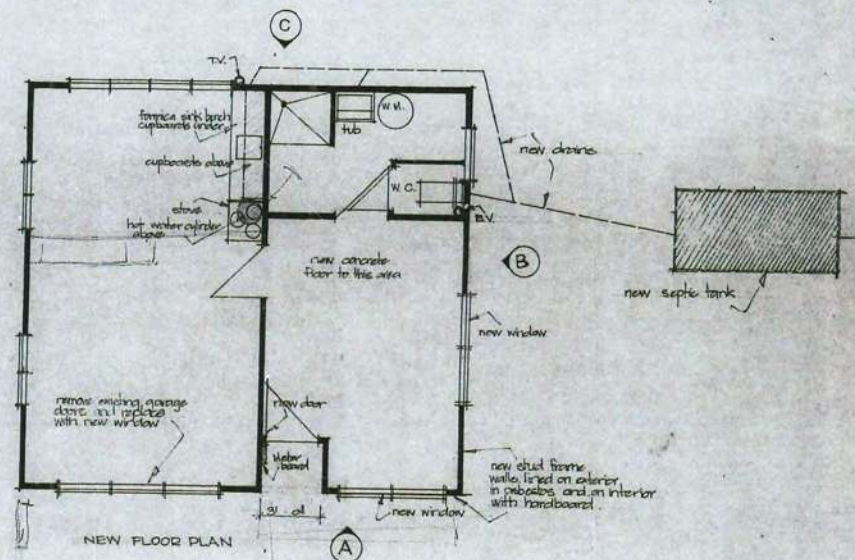
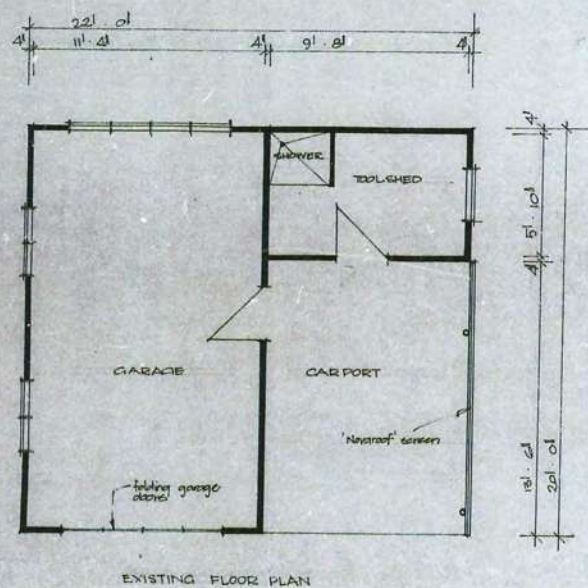
DATE: 1/1/67

Engineer: *[Signature]*

HERKIMER COUNTY COUNCIL

NOTE: This application is approved on condition that the building is not used for human habitation.

20-42



PROPOSED ALTERATIONS FOR MRS. S. TAIT
AT LOT 29, FIELDWAY, WAIKANAĒ

20-42

SCALE	$p_4^t = 11.0^t$
-------	------------------

DRAWN

L. F. TUCKER

DATE _____

14	6	7
----	---	---

HCC-391
Horowhenua County Council

PERMIT No. *W 7110*

LOCALITY *Waharua*

DATE RECEIVED

DATE ISSUED *18/11/72*

**APPLICATION
FOR PLUMBING AND DRAINAGE PERMIT**

OWNER'S NAME

Mrs S. M. Tait

FOR OFFICE USE ONLY

REMARKS

20-42
J. M. Tait
28/7/72

NOTE—In all cases where septic tanks are installed the site and position must be first approved by the County Health Inspector.

20-42

Valuation Book No.

Date

19

Application For Plumbing and Drainage Permit

TO THE COUNTY HEALTH INSPECTOR,
Horowhenua County Council,
Bath Street,
Levin.

Postal Address:
Horowhenua County Council,
P.O. Box 17,
Levin.

I, the undersigned, do hereby apply for a permit to carry out DRAINAGE and PLUMBING work in accordance with the undermentioned particulars.

Description of Drainage and Plumbing Work

Drains to suit. Septic tank - W.C.

Allotment.

Lot:

29

D.P.:

Section:

Area:

Block:

S.D.:

Locality:

Fieldway Waiakana

Previous Owner

If Section has been recently transferred

Frontage (Length)

67 ft.

(Name of Street or Road)

Fieldway

Water Supply (Description)

H.P.

Town

supply

Estimated Value of Plumbing Work

\$25.00

Estimated Value of Septic Tank

\$300.00

Estimated Value of Drainage Work

\$525.00

Total *\$525.00*

All work will be carried out in accordance with Horowhenua County Council's By-laws and the Drainage and Plumbing Regulations 1959 and Amendments.

Permit Fees \$ *5.00*

(For Scale of Fees see Back Page.)

Receipt No.: *10106*

Full Name and Address of Owner:

Susanne Mary Tait
17 Hereford St. Porirua

NOTE—The following MUST accompany this Application:—

(a) Ground Plan of Building showing all drains, vents, sumps, septic tanks and sanitary fittings to be plotted on opposite page.

(b) Detailed drawings of septic tank — 1/4 in to one foot.

(c) Specifications of work and materials to be used.

Plan showing drains should be drawn to scale of 1/4 in to one foot for large premises — in DUPLICATE

Stormwater drains should be shown (if any) in dotted lines.

Signature of Applicant:

S. M. Tait

Address:

17

Hereford St Porirua

Plumber's Name, Address and Registered No.

If not the applicant

Ray Walker, Lewene St, Waiakana
Greenway

Drains: W.T. Rowleigh Rd. Waiakana

254.

TNC/JHE

18 October 1971

Mrs S. Tait,
17 Barendse Street,
POHINUA.

Dear Mrs Tait,

Further to our correspondence concerning your property at Waikanae,
and your letter dated 6 October 1971.

Items one, two and three can be attended to as you suggest, and it
will be necessary for you to apply for both building and plumbing and
drainage permits. The application will be to convert a garage carport
to a dwelling, and your plans should show what you propose.

In respect of the siting of the proposal, and dispensation, you will
need the consent in writing of adjoining property owners to the rear,
shown upon our records as M.V. Bardsley and A.C. Duncan, C/- P.O. Box 7035,
Wellington, in addition to Council approval.

Your application to the Council should state your reasons for requir-
ing dispensation, which would be similar to the last couple of paragraphs
of your letter.

Yours faithfully,

B. Todd,
COUNTY BUILDING INSPECTOR.

20-42

42 Field Way

xx 259,

TH/12

M. Hall

24 June 1971

Mrs S. Tait,
17 Hereford Street,
Aldershot.

Dear Mrs Tait,

In reply to your letter concerning proposed alterations to a garage and carport upon your property, Lot 20 D.P. 22152 Field Way, Aldershot.

Your proposal converts the building from a garage-carport to a dwelling, which creates the following problems:

- (1) The proposal does not comply with the minimum standards for a dwelling as set out in the requirements in enclosed.
- (2) The floor to ceiling height for any bedroom, living room or kitchen must be at least 7 ft. The entire carport area is below this required height.
- (3) The floor of the building has not been adequately dampproofed.
- (4) A minimum distance of 25 ft. is necessary between the rear of any dwelling and the rear boundary of the property. At present this distance is 19 ft.

Since changed
now OK
21/6/71

I would therefore advise you that your proposal cannot be approved.

Yours faithfully,

BT

B. Todd,
COUNTY BUILDING INSPECTOR

ENC.

20-42

HOROWHENUA COUNTY COUNCIL

WAIKAMAE WATER SUPPLY

Application for Permit for Water Supply Work

TO: The County Engineer,
Horowhenua County Council,
P.O. Box 17,
LEVIN

I, MALCOLM REGINALD IVAN HOWAT (Full name)
of 56 HYDE ST WAIKAMAE (Postal address)

do hereby apply for permission to have the following plumbing work carried out in accordance with the undermentioned particulars and the plan attached hereto—

Description of work: Hand pipe to garage

Allotment: Lot 29 O.P. 22132 Section _____ Area 33 P

Block V S.D. KAITAWA

Street FIELDWAY

House No. 48

The licensed plumber who will carry out the said work is

Anthony Terence Green (Full name)

of Te Moana Rd, Waikanae (Address)

Estimated value of plumbing work \$12.00

Present source of supply, e.g. bore, road tanks, private supply, Retractable

Signature of Applicant M. Howat

(Owner or Lessee)

FOR OFFICE USE

Connection Fee \$12.00

Permit Fee \$5.00

TOTAL \$17.00

Receipt No. 11293/4296

Date Paid 11/11/66

Application No. 417

Date 14/11/66

Valuation Roll No. 1493/323/16

Permit No. 480

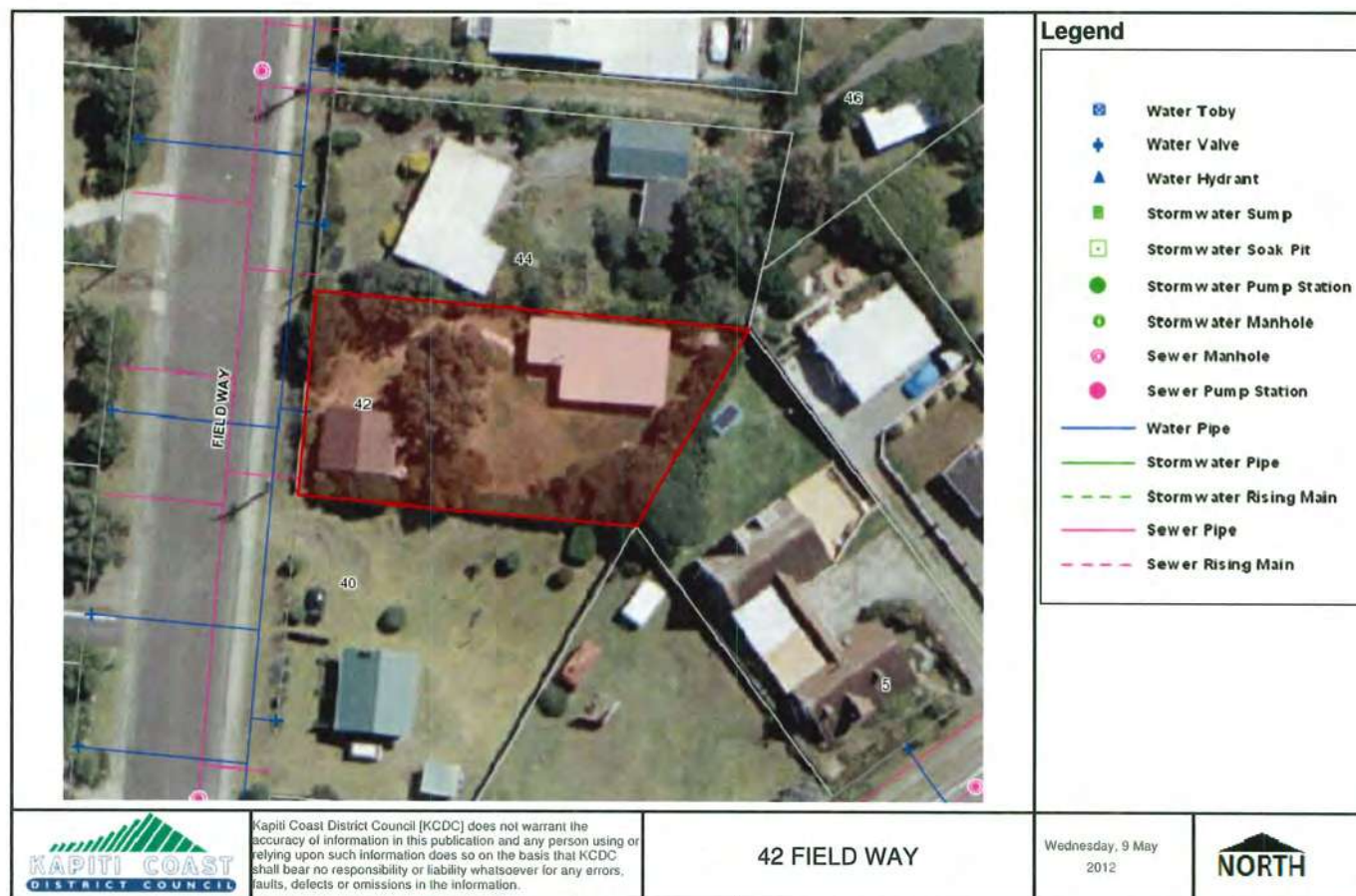
Date 14/11/66

Work completed

Plan noted

Date

20-42



RECEIVED
11 MAY 2012
BY:

	Legend General Details Parcel Area in hectares 0.0809 Postcode 5036 Police Area KAPITI Rubbish Collection Waikanae - Monday Ward Waikanae Property Valuation No 1491029400 Location 42 Field Way, Waikanae Beach Certificate of Title 939/65 Legal LOT 29 DP 22152			
	<table border="1"> <tr> <td data-bbox="450 1145 689 1236">  Kapiti Coast District Council [KCDC] does not warrant the accuracy of information in this publication and any person using or relying upon such information does so on the basis that KCDC shall bear no responsibility or liability whatsoever for any errors, faults, defects or omissions in the information. </td> <td data-bbox="689 1145 1480 1236"> 42 FIELD WAY </td> <td data-bbox="1480 1145 1644 1236"> Wednesday, 9 May 2012 </td> <td data-bbox="1644 1145 1816 1236">  NORTH </td> </tr> </table>	 Kapiti Coast District Council [KCDC] does not warrant the accuracy of information in this publication and any person using or relying upon such information does so on the basis that KCDC shall bear no responsibility or liability whatsoever for any errors, faults, defects or omissions in the information.	42 FIELD WAY	Wednesday, 9 May 2012
 Kapiti Coast District Council [KCDC] does not warrant the accuracy of information in this publication and any person using or relying upon such information does so on the basis that KCDC shall bear no responsibility or liability whatsoever for any errors, faults, defects or omissions in the information.	42 FIELD WAY	Wednesday, 9 May 2012	 NORTH	





KAPITI COAST DISTRICT COUNCIL
PRIVATE BAG, PARAPARAUMU

1090

2-12-19 91

PLUMBING AND DRAINAGE PERMIT

Mr. Mark Jones
63 Huia St
Waikanae

is hereby authorised to carry on the work described herein as set forth in the plan deposited with me, on the premises.

Situated 42 Fieldway
Being Lot 29 D.P. 22152
Owner N. Dudley & B. Lillias
Builder N/A

Such work is to be carried out in strict accordance with the DRAINAGE and PLUMBING REGULATIONS 1978 under the HEALTH ACT, 1956, AND NOTICE GIVEN WHEN THE WORK IS COMPLETED AND READY FOR INSPECTION.

Tradesman's Signature Posted

Estimated Value of:

Plumbing \$

Drainage \$ 300-

Fee Paid:

Plumbing \$

Drainage \$ 105-

Sewer \$

Water \$

DESCRIPTION OF WORK AS PER PLAN AND SPECIFICATION

Drainage Permit Only

PP & S Ltd

A. G. Ball Engineer
(or other officer authorised by the local authority)

PROPERTY ADDRESS DATE RECEIVED

TYPE OF BUILDING	Dwelling		Retail		Additions		Accessory	
	New		Industrial		Alterations		Other	

DEPARTMENT	REQUIREMENTS			COMMENTS	CHECKED/DATE STAMP
Town Planning		Yes	No		
	Zoning Conforms				
	Dispensation				
	Planning Consent				
Plumbing					
Drainage					
Stormwater	To Channel				
	To Drain				
	Confined to Lot				
Building					
General					
Commercial					
Egress	To NZS 4121				
Structural	Specific Design				
	Foundation				
	Structure				
	Roof				
	Special Floor Level				
	Earthworks Bylaw Conditions				
Site					



File

APPLICATION FOR PERMIT

I/We Mark Jones (Print)
of 63 Huio Street Wokha (postal address) 04 2935568 (Telephone) hereby make
application for permission to have the work described herein, and set out in the plans and specifications attached, carried out on
the premises situated : (Please ensure this portion is fully completed).

SITE ADDRESS	
Street No.	42
Street Name	Fieldway
Town	Wolke Beach

LEGAL DESCRIPTION	
Valuation No.	14910-29400
Lot	29 DP 22152
Section	Block
Survey District	

OWNER

Name Neil Dudley & Barbara Lilla

Address Anderson
36 Beauchamps St Koroirewellington

Phone Home Bus

Land Area	Ha/sqm
..... 28.11.91 SIGNATURE OF APPLICANT DATE	

BUILDING

DESCRIPTION OF PROPOSED WORK	
	FLOOR AREA square metres

BUILDER	
Name	
Address	
Phone Home Bus	

ESTIMATED VALUES (inc GST)	
Building	\$
Plumbing	\$
Drainage	\$ 4375
TOTAL	\$ 4375

DOCUMENTS SUBMITTED WITH THIS APPLICATION (please tick box) IN DUPLICATE AND TO SCALE			
Site and/or Drainage Plans		Wall Bracing Calculations	
Floor Plans		Specifications	
Cross-sections and details		Structural Calculations	
All elevations		Other	

IMPORTANT - No work to be commenced before permit is issued.

PLUMBING & BUILDING PTO

PLUMBING & DRAINAGE

CONSTRUCTION OF VEHICULAR CROSSINGS

SITE ADDRESS Street No Name Town

BOUNDARY	BOUNDARY	BOUNDARY
←----- INDICATES CENTRE LINE OF CROSSING -----> v Kerb Face v		

FOR OFFICE USE ONLY

Operational Services Manager

KAPITI COAST DISTRICT COUNCIL Please arrange for the construction of the vehicle crossing as detailed below.

Distance to Centre of V.C. from right/left boundary (when viewed from road)	Type A, B, C, D, E or F		Sealed Access	Extra Concrete				Stormwater Outlet Required Cost (\$)	Total Cost (\$)
	Type	Cost (\$)		Extra Width (m)	Extra or Reduced Length (m)	Total Extra (+) or Reduced (-) area (sqm)	Cost (+/-)		

SKETCH OF DAMAGE TO FOOTPATH

Also required :

1. Distance from footpath to kerb face 2. Distance from footpath to boundary

Date of Completion	Building Permit No	\$
	Receipt No	\$
	Date Paid	\$

AUTHORISATION FOR REFUND OF DEPOSITS

Item	OK	Repair Required	Cost	TO : ACCOUNTS CLERK	DATE
Road				Deposit held = \$ Cost to Repair Damage Cuased During Construction = \$ Balance to be Refunded = \$ =====	
Kerb					
Path					
Crossing					
Stormwater					
Berm					
Other					
Works CompletedTotal Amount				Authorised	DATE

DESCRIPTION OF PROPOSED PLUMBING AND DRAINAGE WORK

To connect property to council sewer
 Install pump in existing septic tank and
 pump via 50mm PVC pipeline to sewer.

PLUMBER

Name
 Address
 Reg No.
 Phone Home Bus
 Signature Date

DRAINLAYER

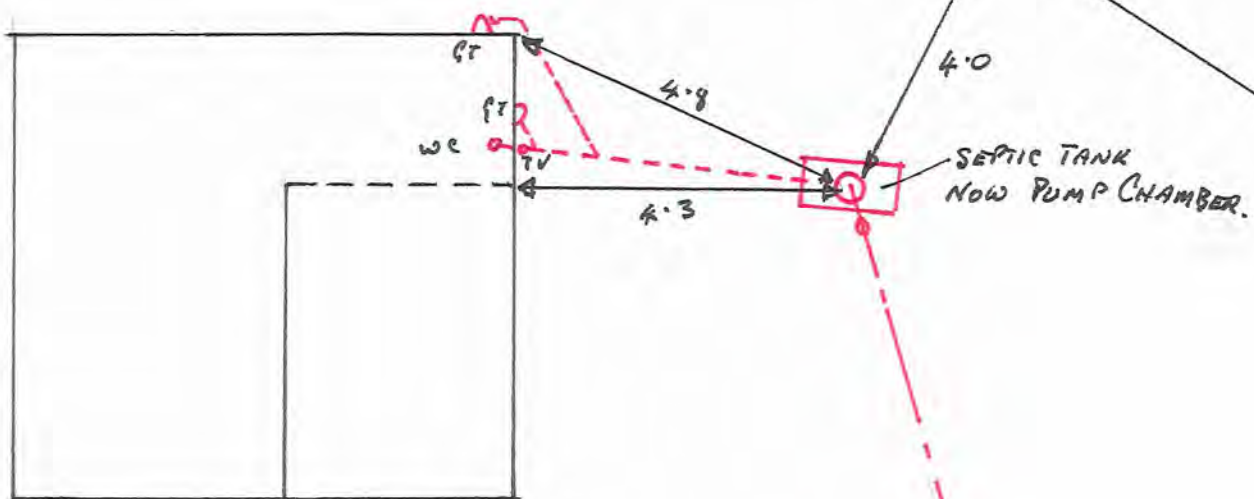
Name Mark Jones
 Address 63 Huiu St
Wairarapa Reg No. 3215
 Phone 042935588 Home Bus
 Signature [Signature] Date 28-11-91

ESTIMATED VALUES

Total Value Plumbing Work	\$	Total Value Drainage Work	\$ <u>4375</u>
Labour Value Plumbing Work	\$	Labour Value Drainage Work	\$ <u>300</u>
Fees	\$	Fees	\$ <u>65.00</u>

FOR OFFICE USE ONLY

FEES		PLAN EXAMINATION FEE	
Building	\$	\$	
Plumbing	\$	RECEIPT NO	DATE
Drainage	\$ 65.00		
Sewer Connection	\$	INVOICE NO	DATE 29-11-91
Water Connection	\$		
Vehicle Crossing	\$	698	DATE 29-11-98
Damage Deposit	\$		
Structural Checking	\$	RECEIPT NO	DATE 29-11-98
Building Research Levy	\$		
Development Levy	\$	216008	BUILDING PERMIT NO
	\$		
	\$	DATE ISSUED	
	\$	PLUMBING PERMIT NO	DATE ISSUED
SUBTOTAL	\$		
Less Deposit Paid	\$	DRAINAGE PERMIT NO	DATE ISSUED
TOTAL	\$ 65.00		
GST INCLUDED	\$ 7.22	1090	2-12-91



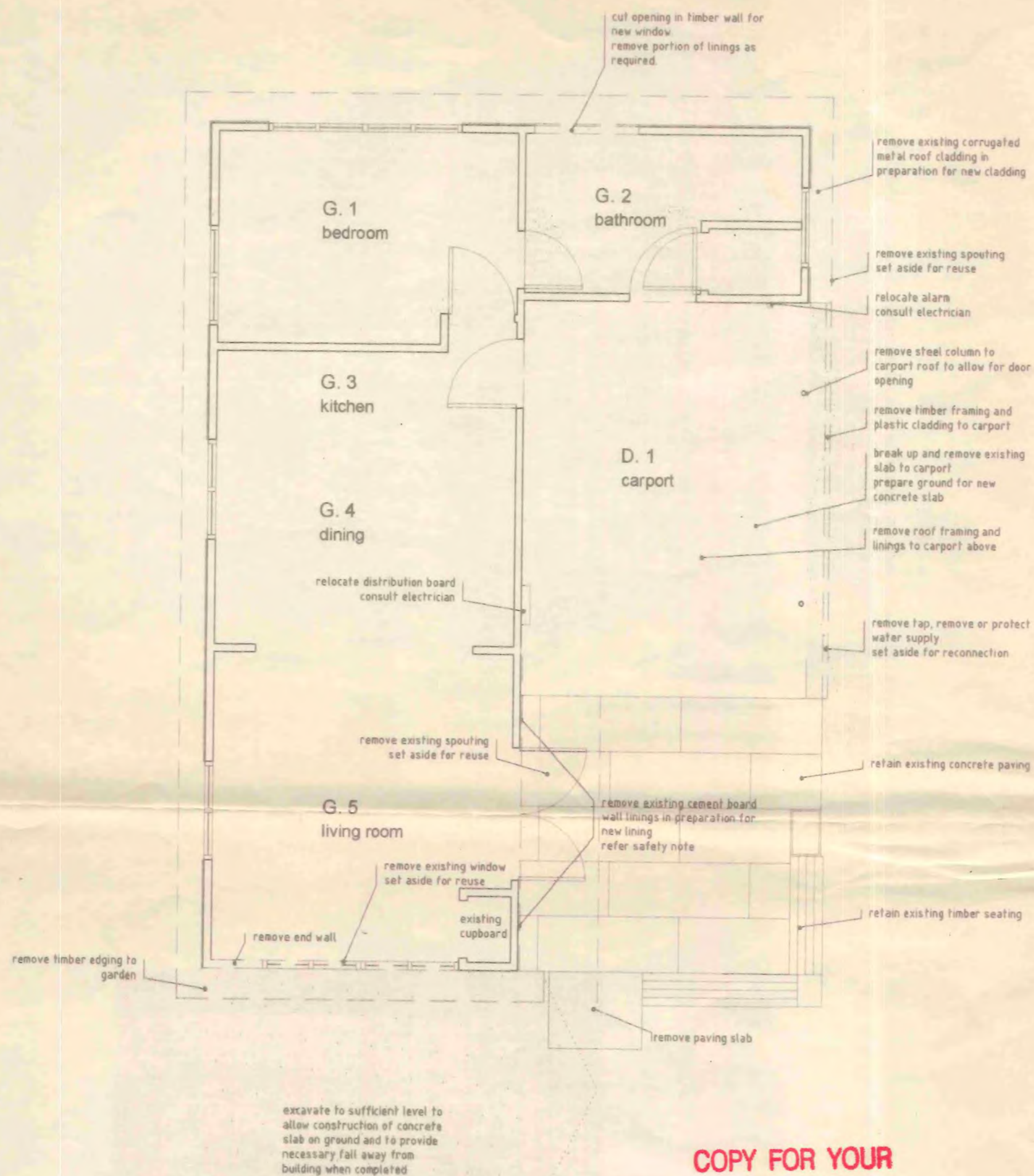
42 FIELDWAY.
 LOT. 29 D.P. 22/52.
 D/L M. JONES
 10.12.91 AH.

50mm P.V.C.
 PUMPED LINE

1.0 DEEP.

2.6

300



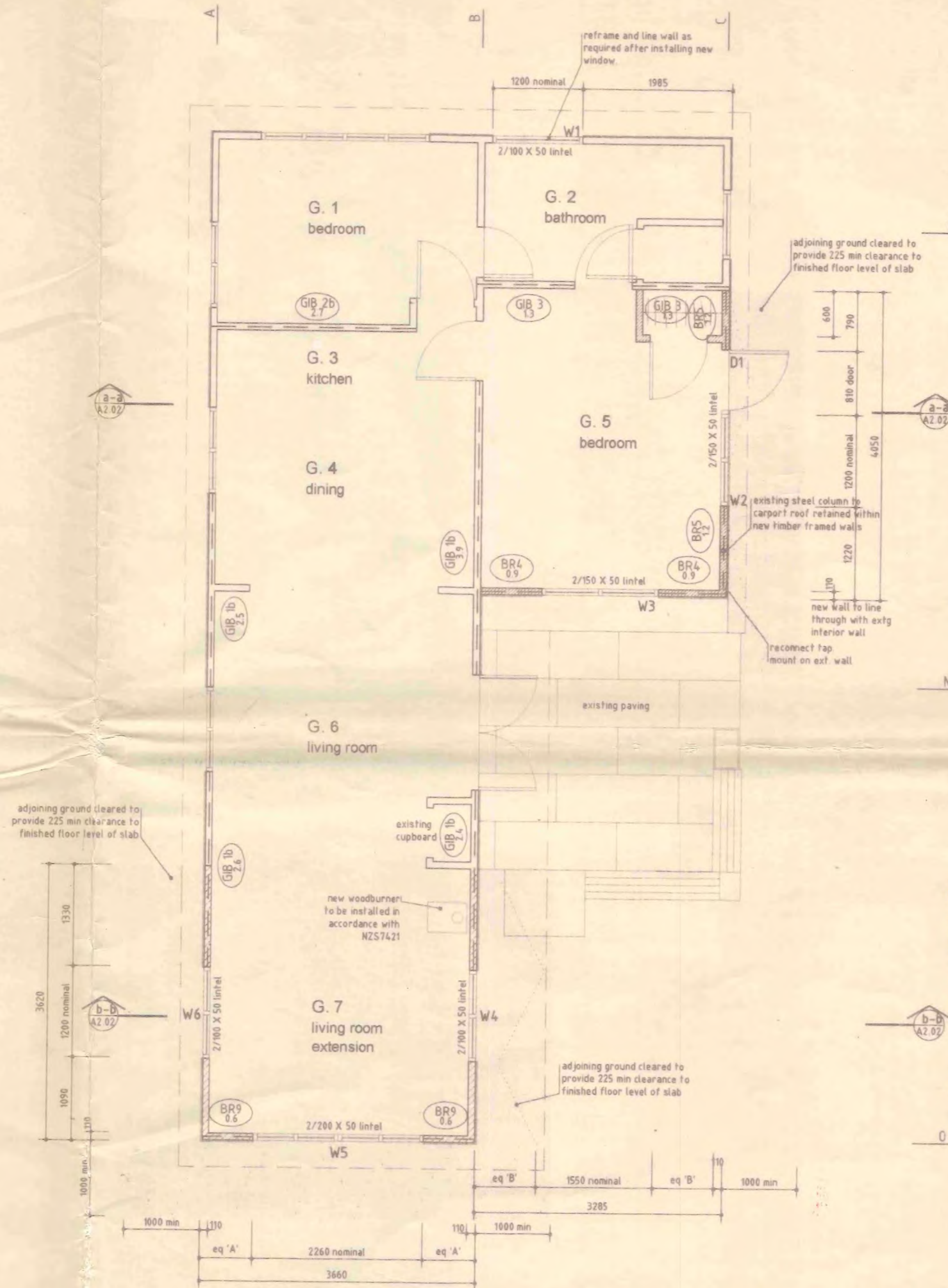
COPY FOR YOUR RECORDS

ENVIRO+PLUS
10402
BUILDING CERTIFICATION

safety note

before commencing demolition check existing cement board exterior wall lining for asbestos if containing asbestos, remove and dispose in accordance with local authority requirements and guidelines

existing floor plan / demolition plan
scale 1 : 50



floor plan
scale 1 : 50

WINDOWS & DOORS

W1, W2, W3, W4 & W6
new second hand windows to be supplied by owner contractor to install
W5
existing windows relocated
D1
new second hand door to be supplied by owner contractor to install

notes

Contractor shall verify all dimensions and conditions before commencing work.

Do not scale drawings.

general

all new work to NZS3604 and to local authority requirements

U/H Wind Zone
S/S Zone
ENVIRO+PLUS

patterson bach alteration

42 fieldway, waikanae beach

existing floor plan / demolition plan + floor plan

scale 1:50

date 14 february 2001

dwg 00 076

on A1.01 R0

architecture +

architecture + ltd

46 tory street

wellington

PO box 6219

phone 04 801 9990

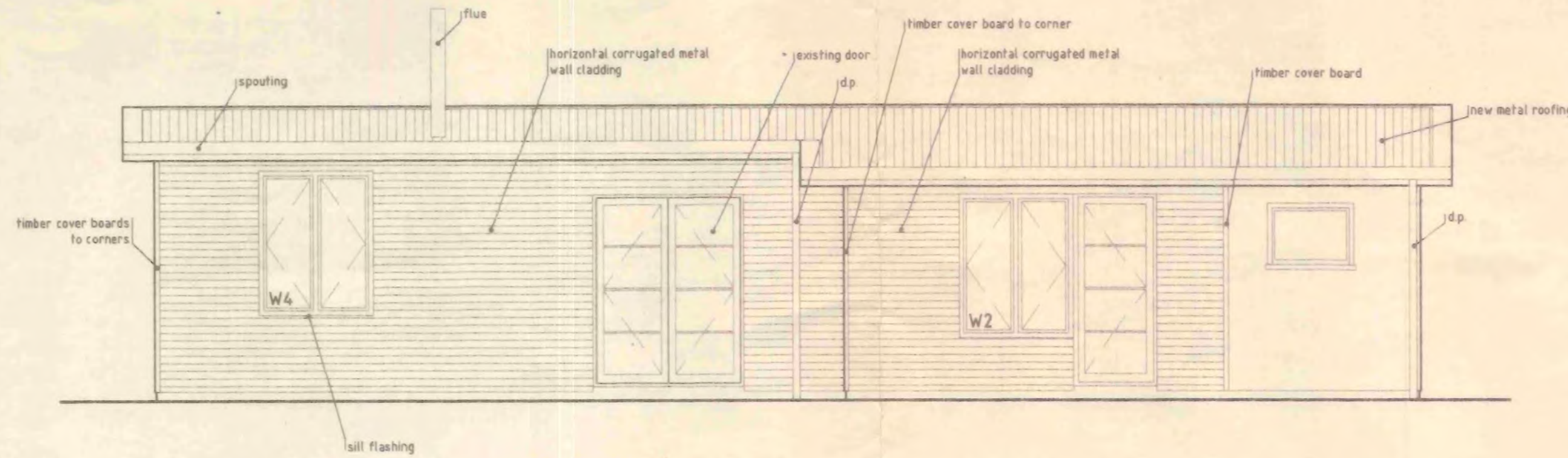
fax 04 801 9991

AC
NC

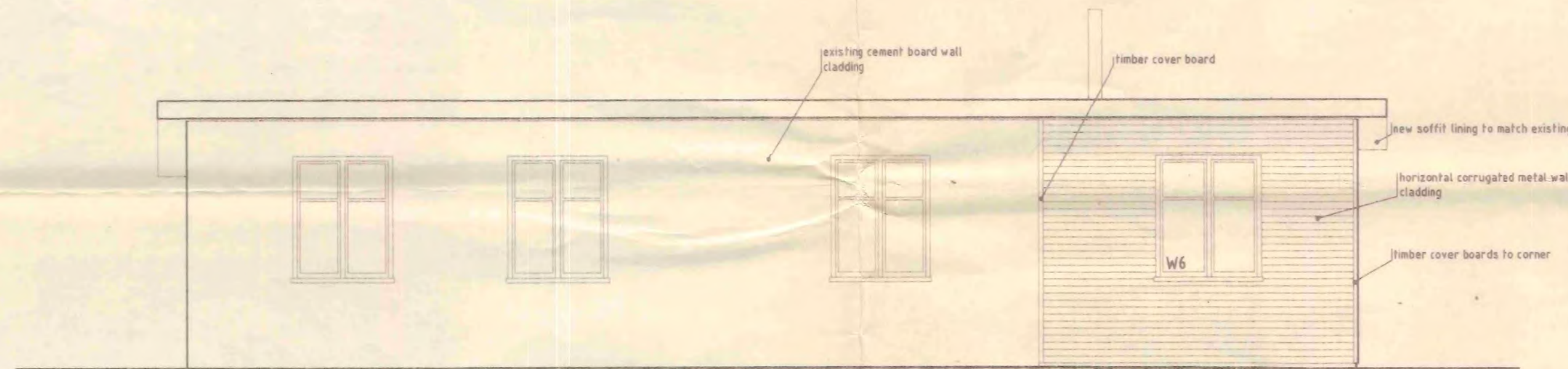
to all new windows include:
cover boards to head and sides to
match existing profile.
head flashing.
sill tray flashing.

notes
Contractor shall verify all
dimensions and conditions before
commencing work.
Do not scale drawings.

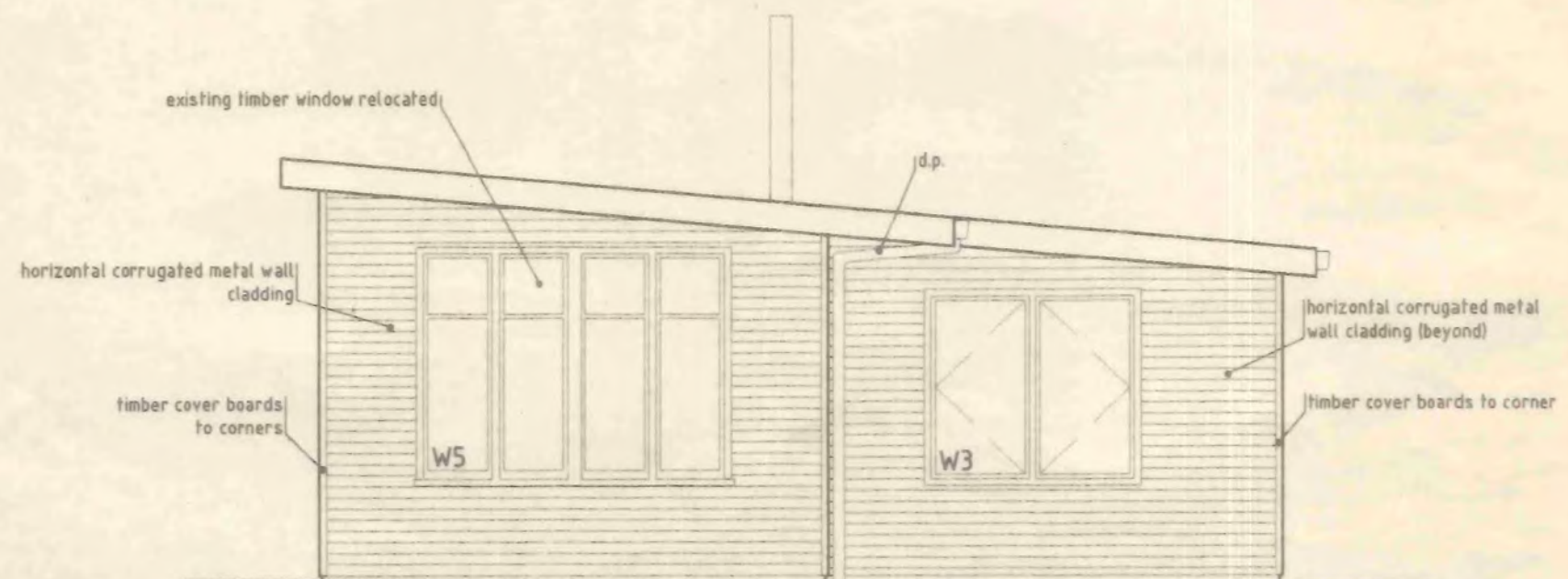
general
all new work to NZS3604 and to
local authority requirements



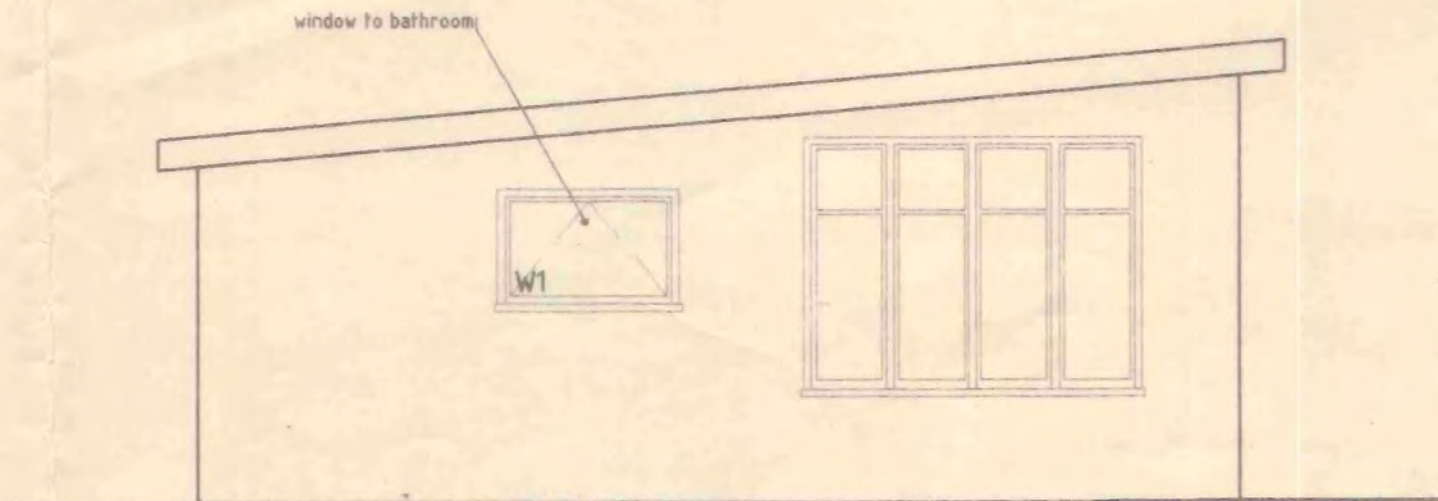
○ south elevation
scale 1 : 50



○ north elevation
scale 1 : 50



○ west elevation
scale 1 : 50



○ east elevation
scale 1 : 50

ENVIRO+PLUS
BUILDING CERTIFICATION

patterson bach alteration

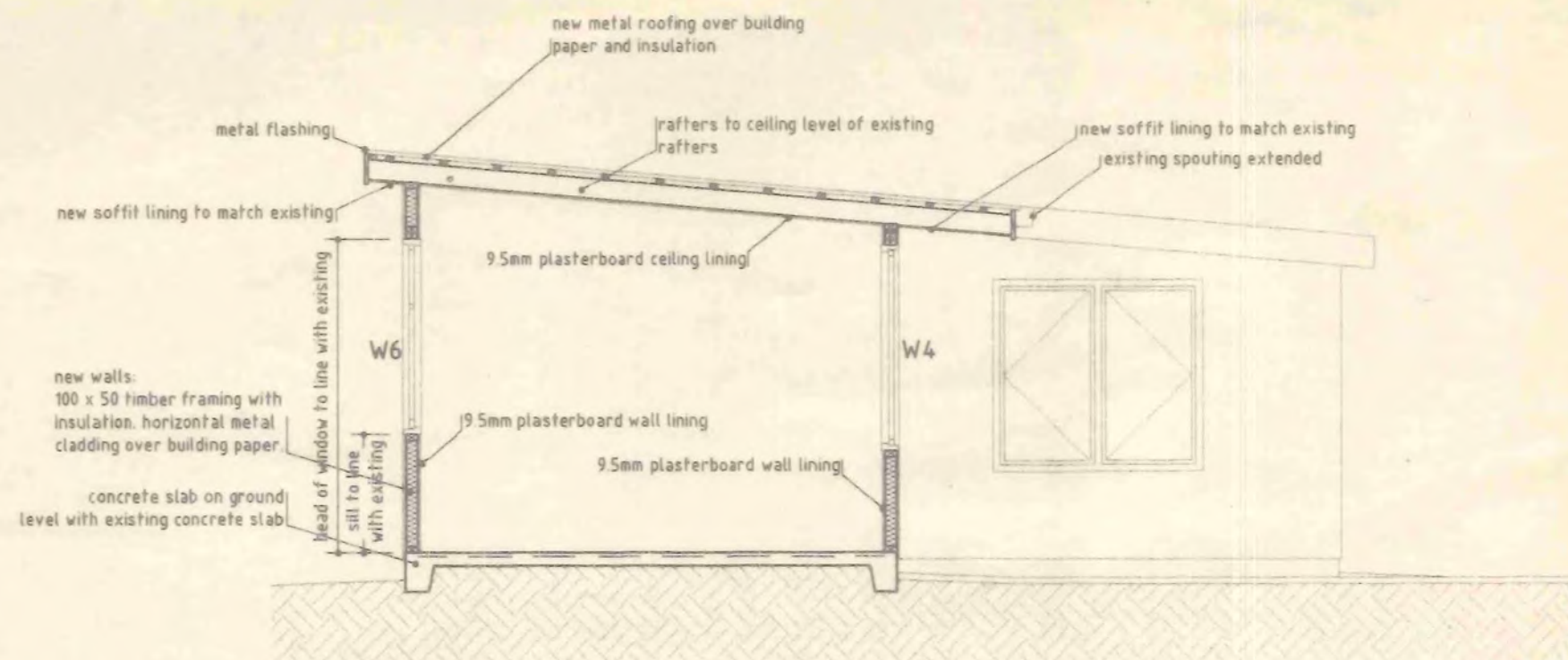
42 fieldway, waikanae beach

elevations
scale 1:50
date 14 february 2001
cn 00.076
dwg A2.01 R0



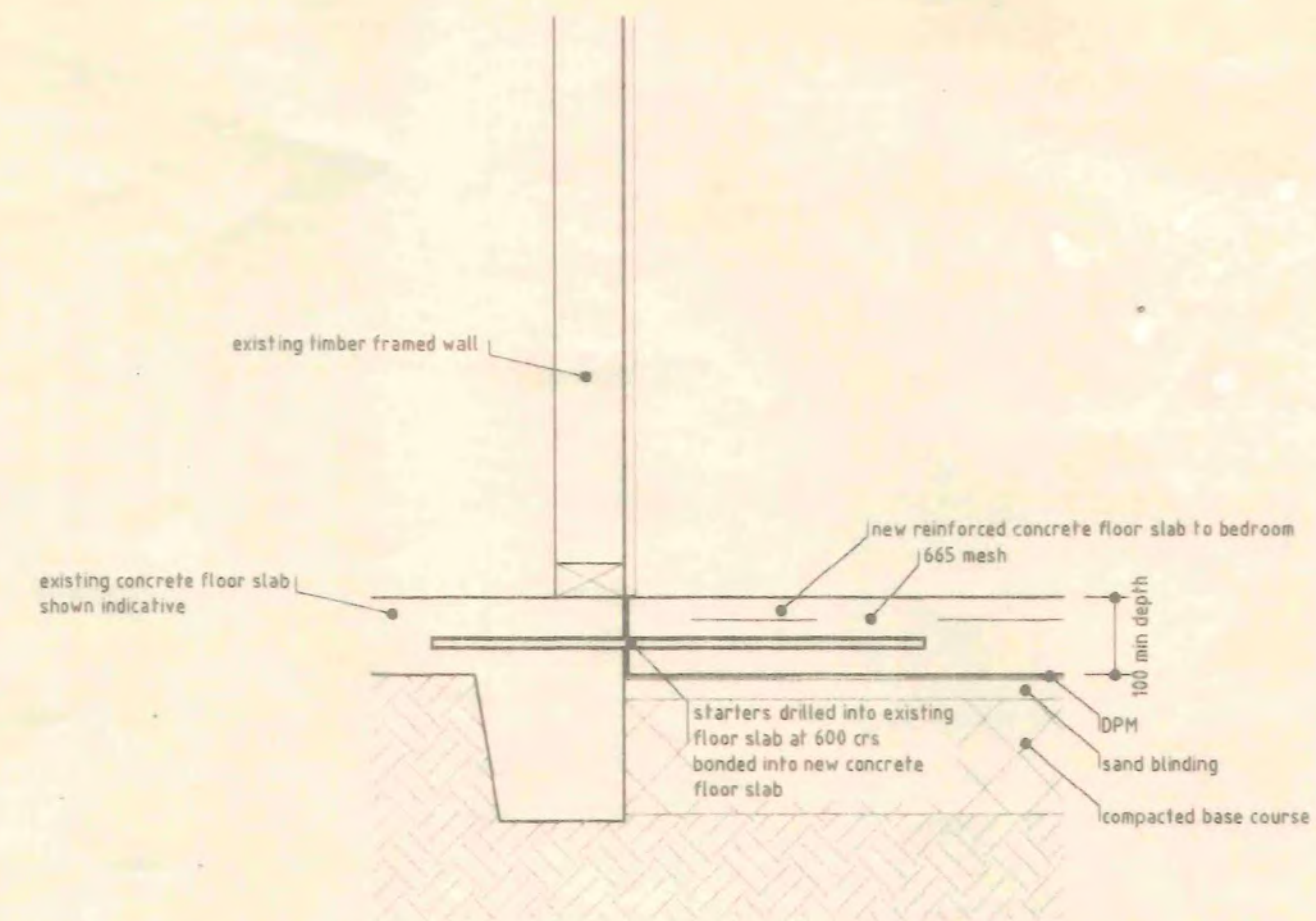
architecture + ltd
46 tory street
wellington
PO box 6219
phone 04 801 9990
fax 04 801 9991

Handwritten initials 'Ac' and 'NC'.

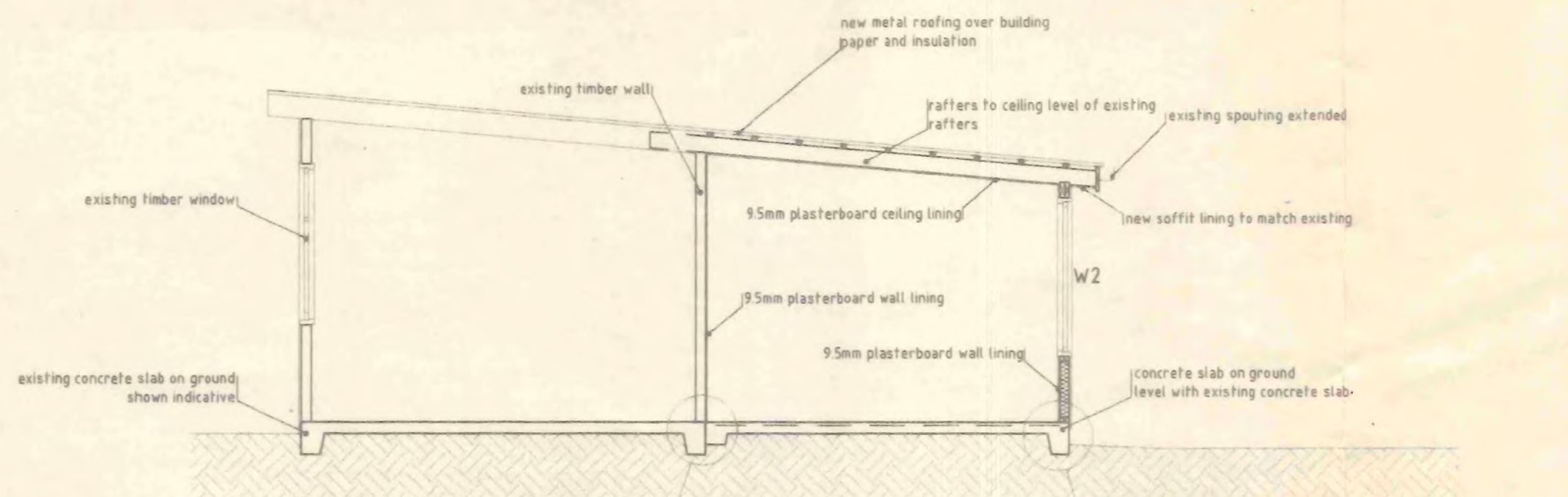


section a-a
scale 1 : 50

NOTE
adjoining ground cleared to provide 225 min clearance to
finished floor level of slab
formed to min 1 in 25 fall away from dwelling in accordance
with NZS3604

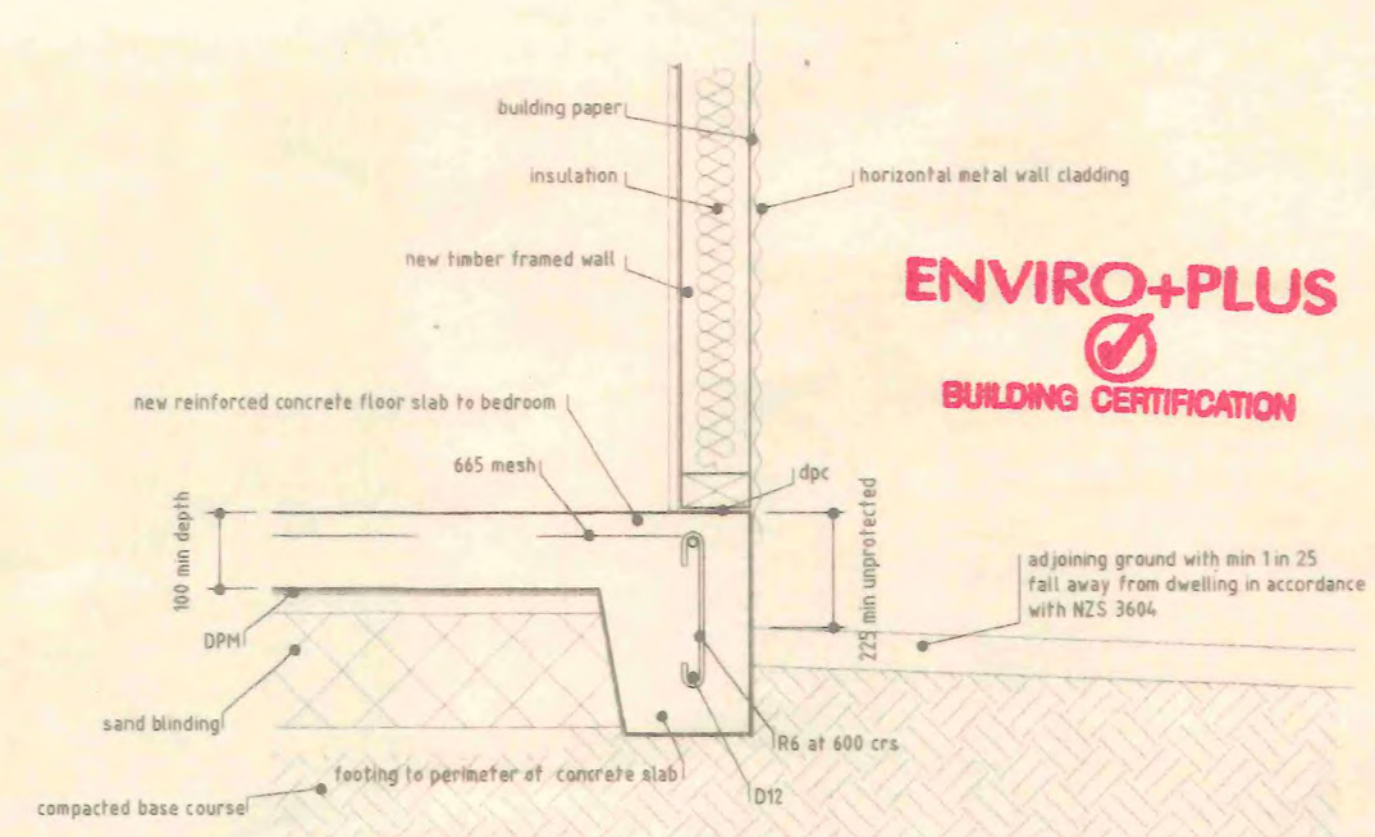


1 concrete slab adjoining existing slab
scale 1 : 10



section b-b
scale 1 : 50

NOTE
adjoining ground cleared to provide 225 min clearance to
finished floor level of slab
formed to min 1 in 25 fall away from dwelling in accordance
with NZS3604



2 concrete slab edge foundation
scale 1 : 10

notes

Contractor shall verify all
dimensions and conditions before
commencing work.

Do not scale drawings.

general

all new work to NZS3604 and to
local authority requirements

patterson bach alteration

42 fieldway, waikanae beach

sections
scale as indicated
date 14 february 2001
cn 00.076
dwg A2.02 R0

ENVIRO+PLUS
BUILDING CERTIFICATION

architecture +

architecture + ltd

46 tory street

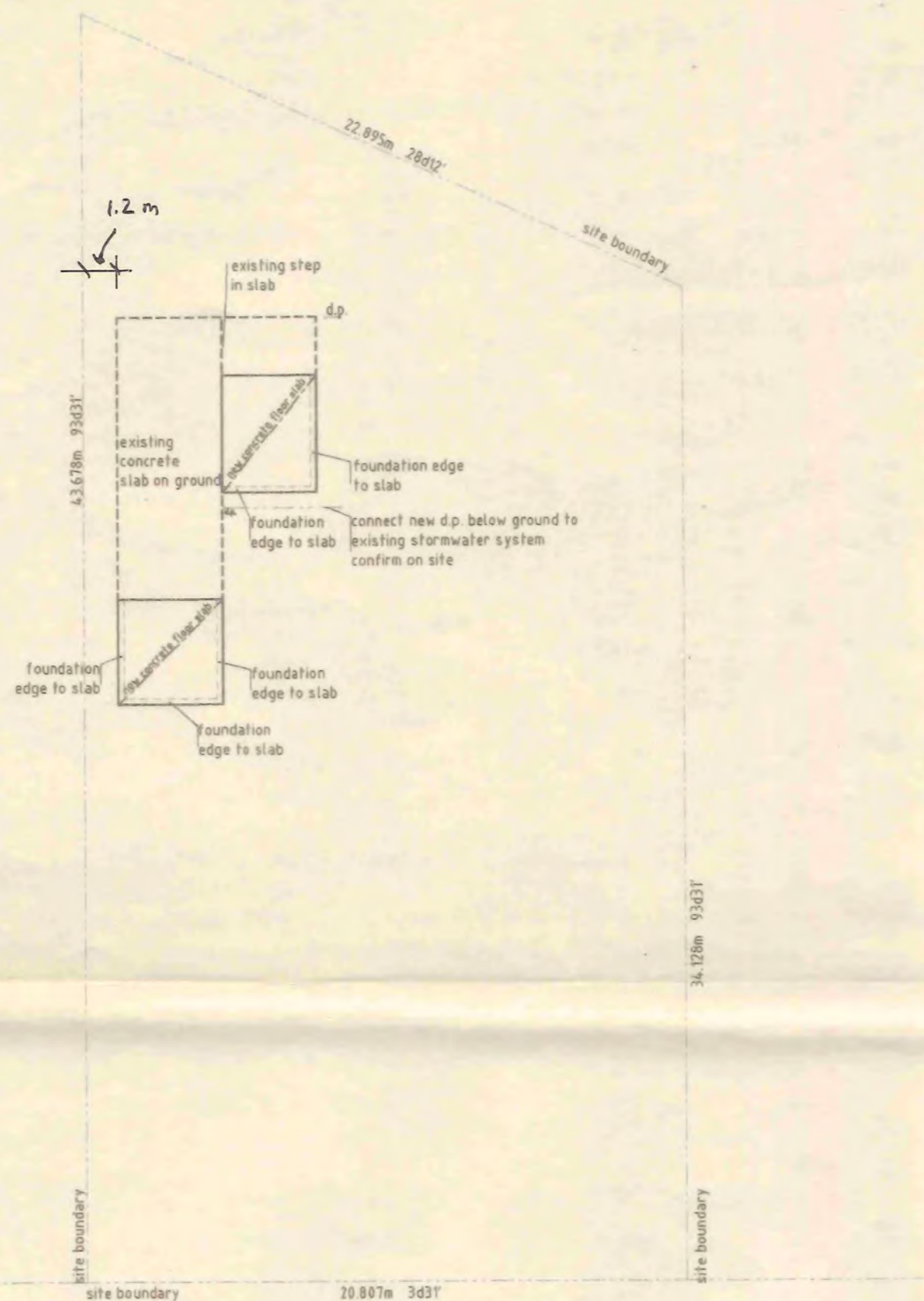
wellington

PO box 6219

phone 04 801 9990

fax 04 801 9991

AC.
Nc



foundation plan / site plan
scale 1 : 200

NOTES

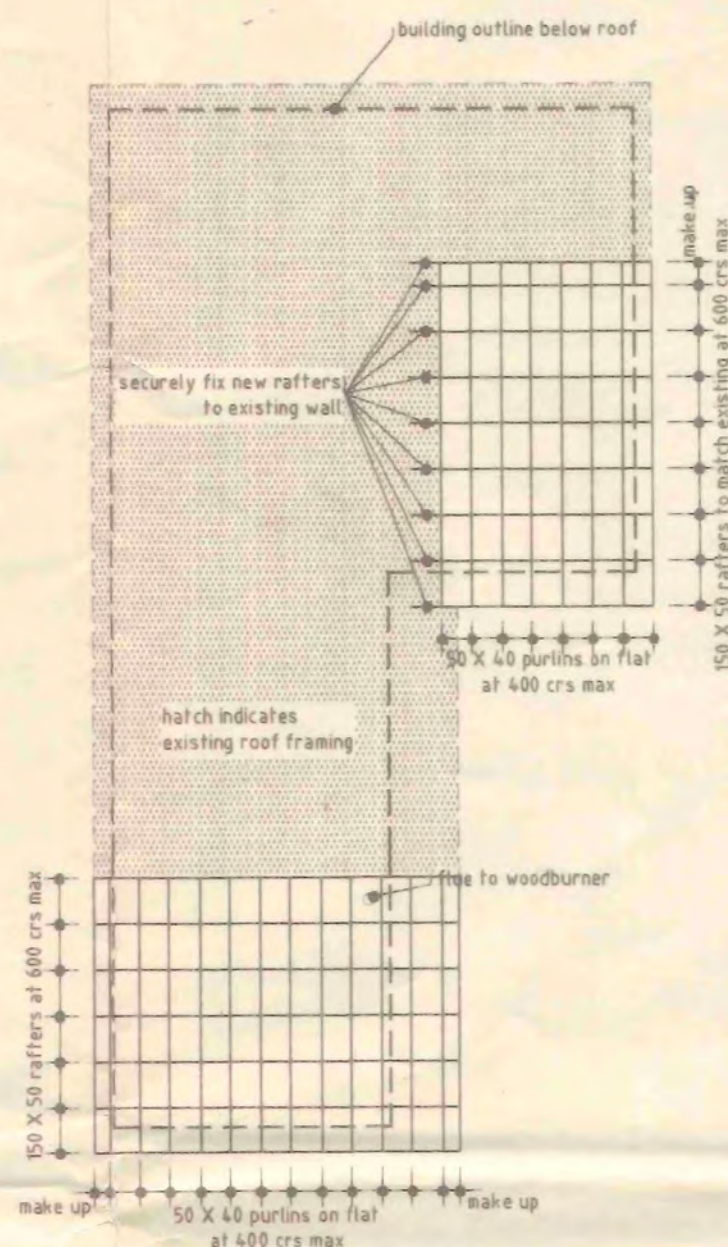
new concrete slab(s):
100mm thick concrete slab over
665 mesh over vapour barrier over
sand blinding over compacted base
course

finished floor level of new
concrete slab(s) on ground to be
laid to finished floor level of
existing concrete slab

drill starters into existing slab
adjoining new slab at 600 c/s to
bond slabs

NOTE

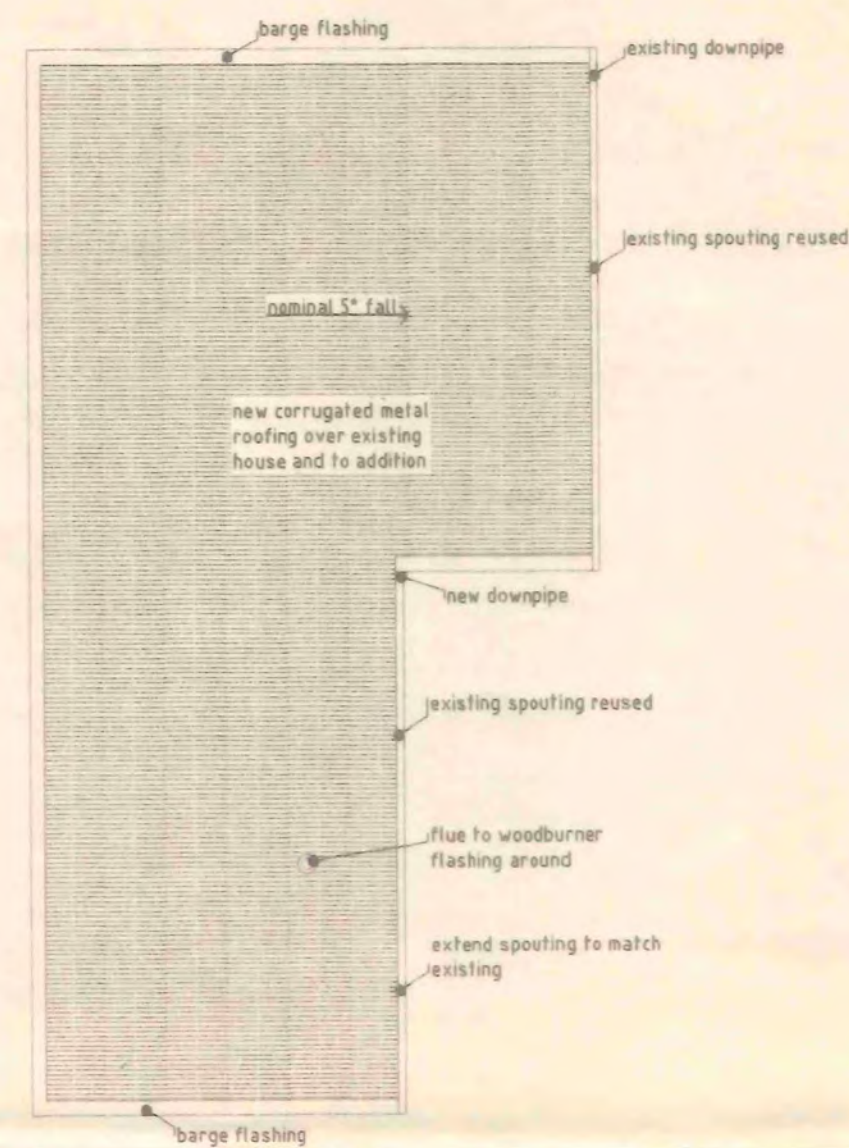
overall depth of roof
framing to match existing
consult with architect if
depth is different



roof framing plan
scale 1 : 100

ROOF

BHP colorsteel 'trimline' profile to suit pitch
owner to specify colour
flashings to be of matching material and colour



roof plan
scale 1 : 100

notes

Contractor shall verify all
dimensions and conditions before
commencing work.

Do not scale drawings.

general

all new work to NZS3604 and to
local authority requirements

patterson bach alteration

42 fieldway, waikanae beach
foundation plan / site plan, roof and roof framing plan

scale 1:100

date 14 february 2001

on 00.076

dwg A1.02 R0

architecture +

architecture + ltd

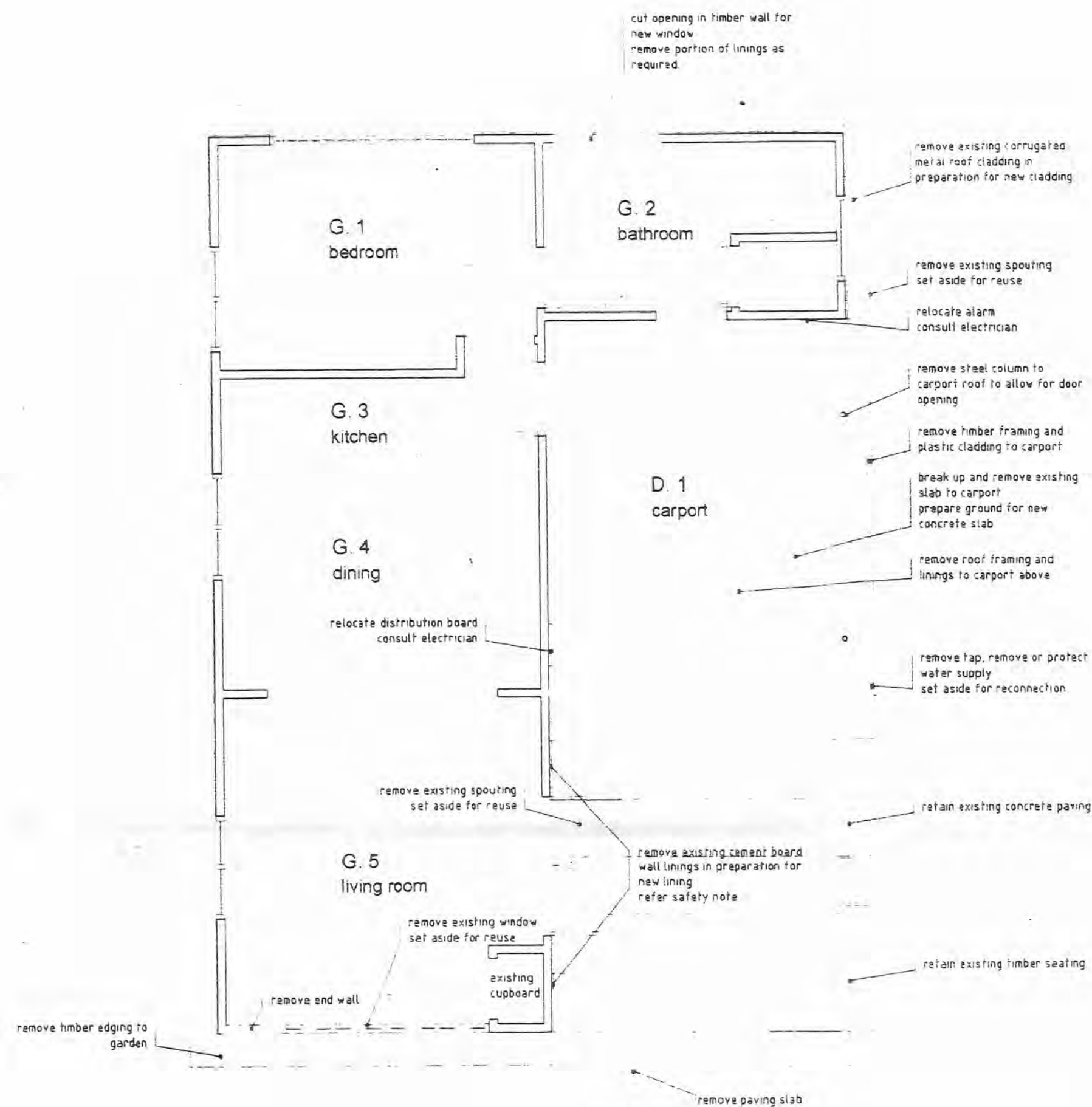
46 tory street

wellington

PO box 6219

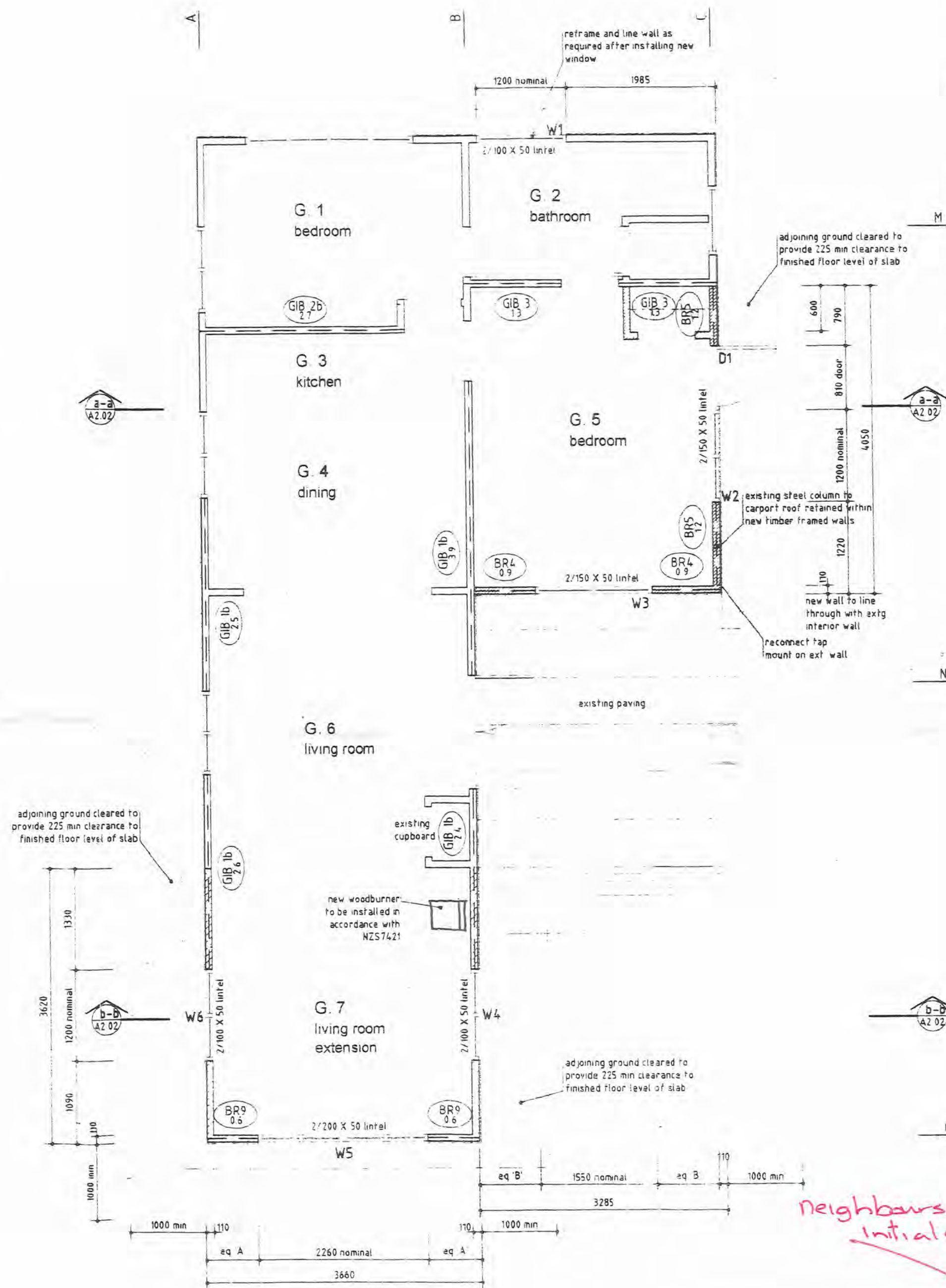
phone 04 801 9990

fax 04 801 9991



existing floor plan / demolition plan
scale 1 : 50

safety note
before commencing demolition
check existing cement board
exterior wall lining for asbestos
if containing asbestos remove and
dispose in accordance with local
authority requirements and
guidelines



floor plan
scale 1 : 50

WINDOWS & DOORS
W1, W2, W3, W4 & W5
new second hand windows to be supplied by owner
contractor to install
W5
existing windows relocated
D1
new second hand door to be supplied by owner
contractor to install

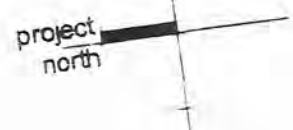
architecture + ltd
46 tory street
wellington
PO box 6219
phone 04 801 9990
fax 04 801 9991

patterson bach alteration

42 fieldway, waikanae beach
existing floor plan / demolition plan + floor plan

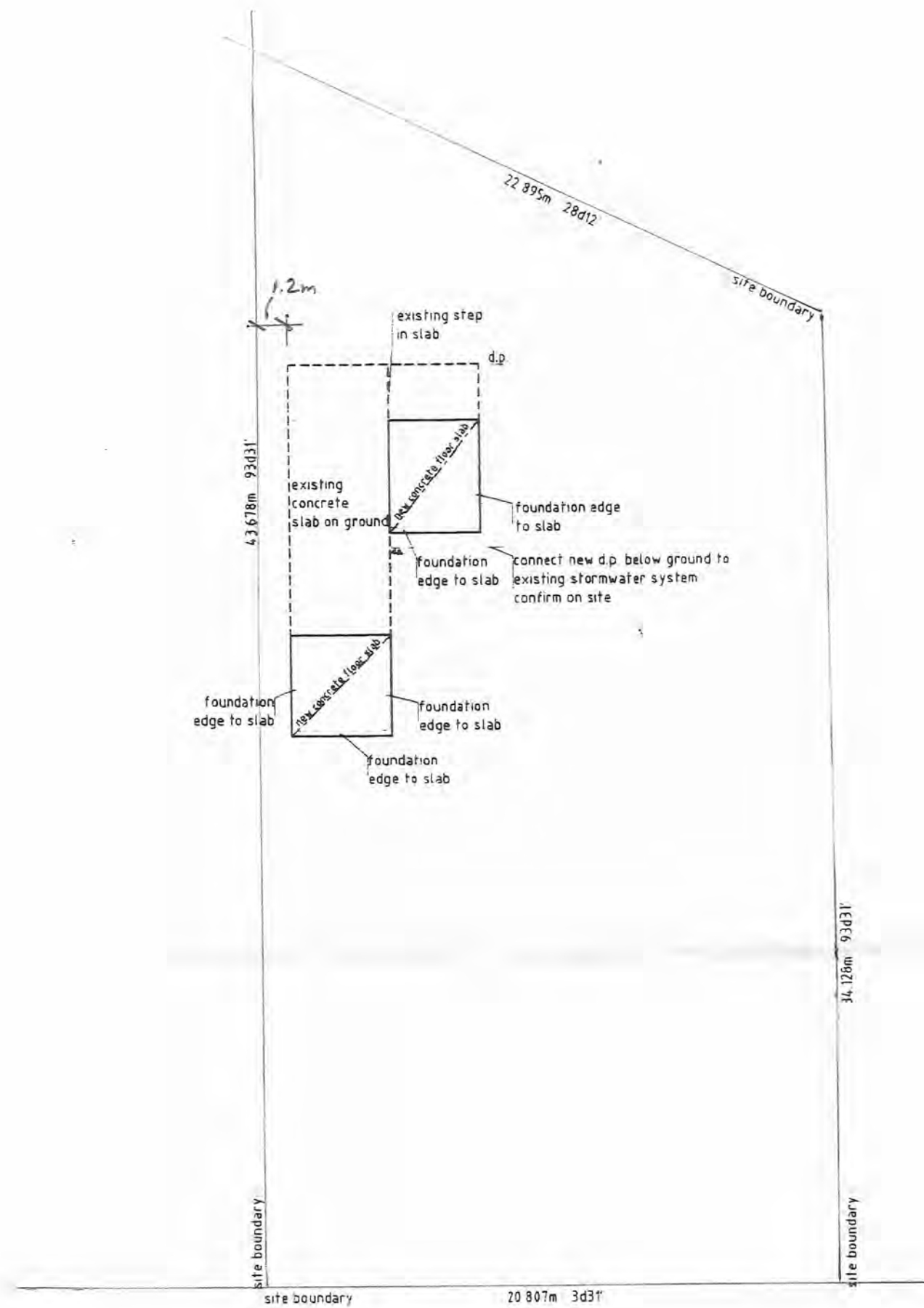
scale 1 : 50
date 14 february 2001
dwg A1 01 RO

notes
Contractor shall verify all
dimensions and conditions before
commencing work
Do not scale drawings
general
all new work to NZS3604 and to
local authority requirements



neighbours
initials

Ac.
NC



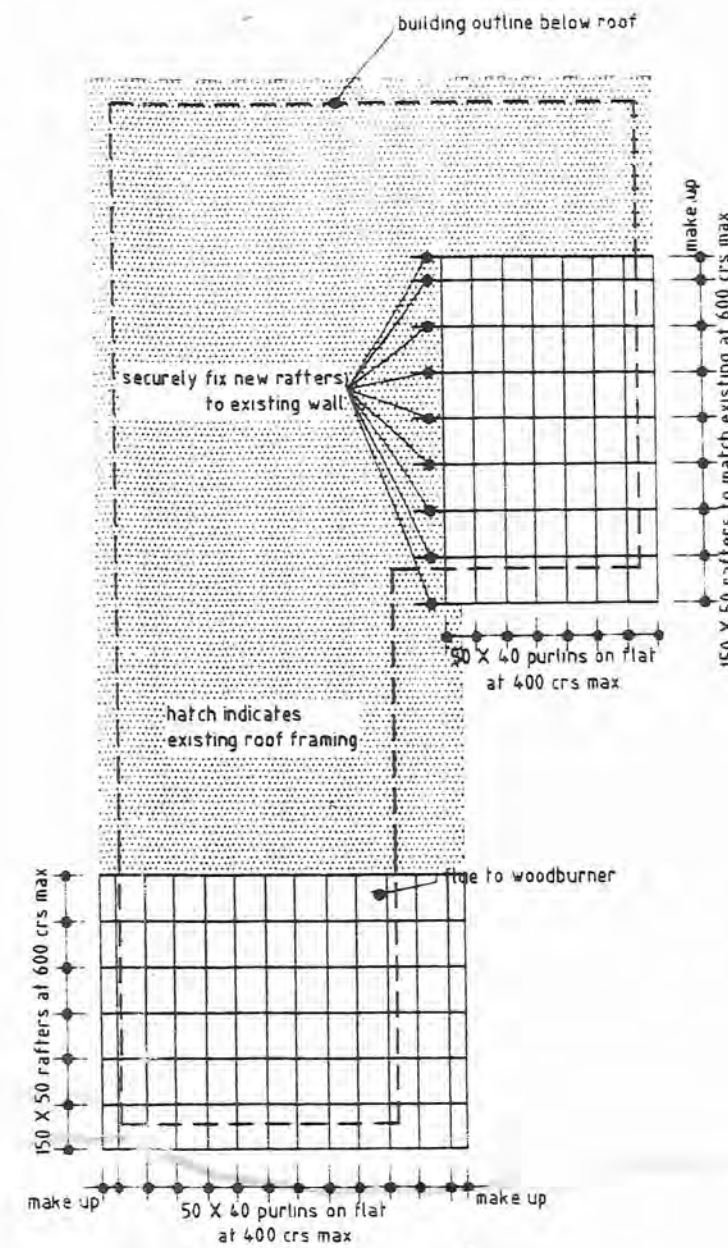
foundation plan / site plan
scale 1 : 200

NOTES

- new concrete slabs:
100mm thick concrete slab over
665 mesh over vapour barrier over
sand blinding over compacted base
course
- finished floor level of new
concrete slab(s) on ground to be
laid to finished floor level of
existing concrete slab
- drill starters into existing slab
adjoining new slab at 600 c/s to
bond slabs

NOTE

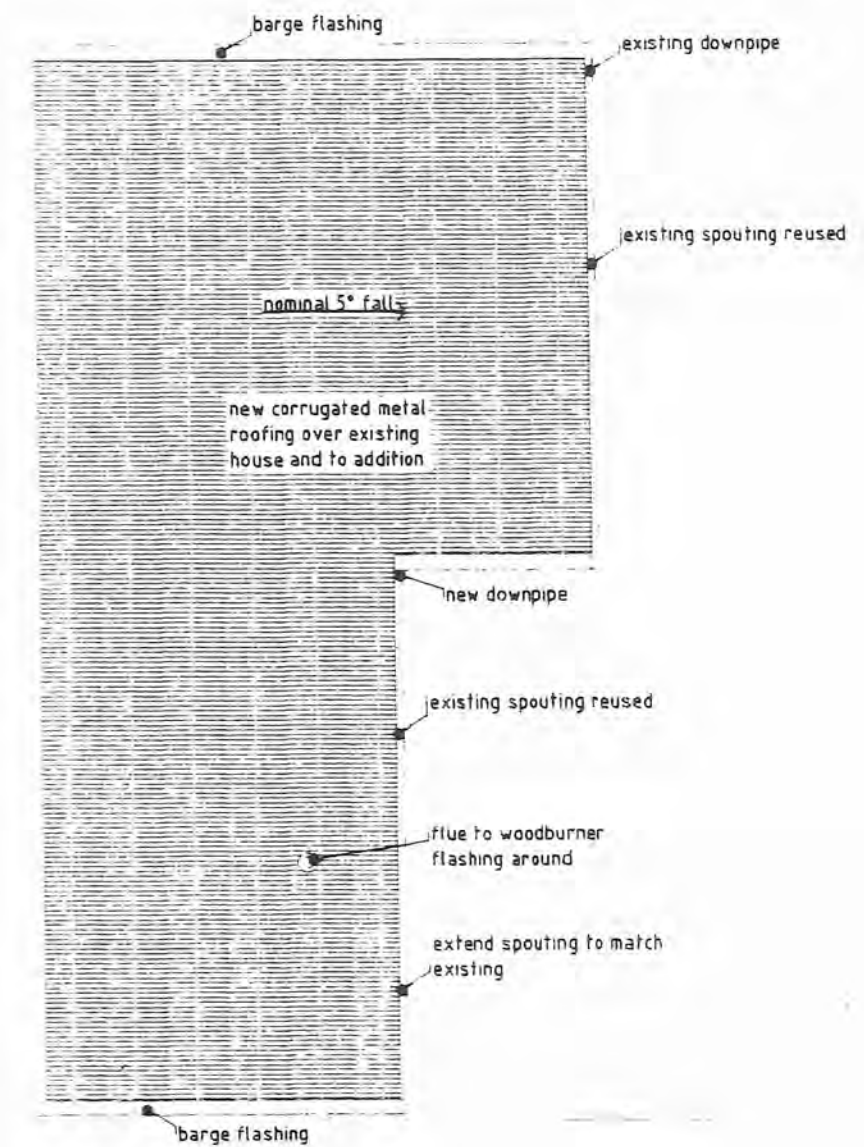
- overall depth of roof
framing to match existing
consult with architect if
depth is different



roof framing plan
scale 1 : 100

ROOF

- BHP colorsteel trimline profile to suit pitch
owner to specify colour
- flashings to be of matching material and colour



roof plan
scale 1 : 100

notes

Contractor shall verify all
dimensions and conditions before
commencing work.

Do not scale drawings.

general

all new work to NZS3604 and to
local authority requirements

patterson bach alteration

42 fieldway, waikanae beach
foundation plan / site plan, roof and roof framing plan

scale 1:100
date 14 february 2001
dwg 00 076
A1 02 R0

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architecture + ltd

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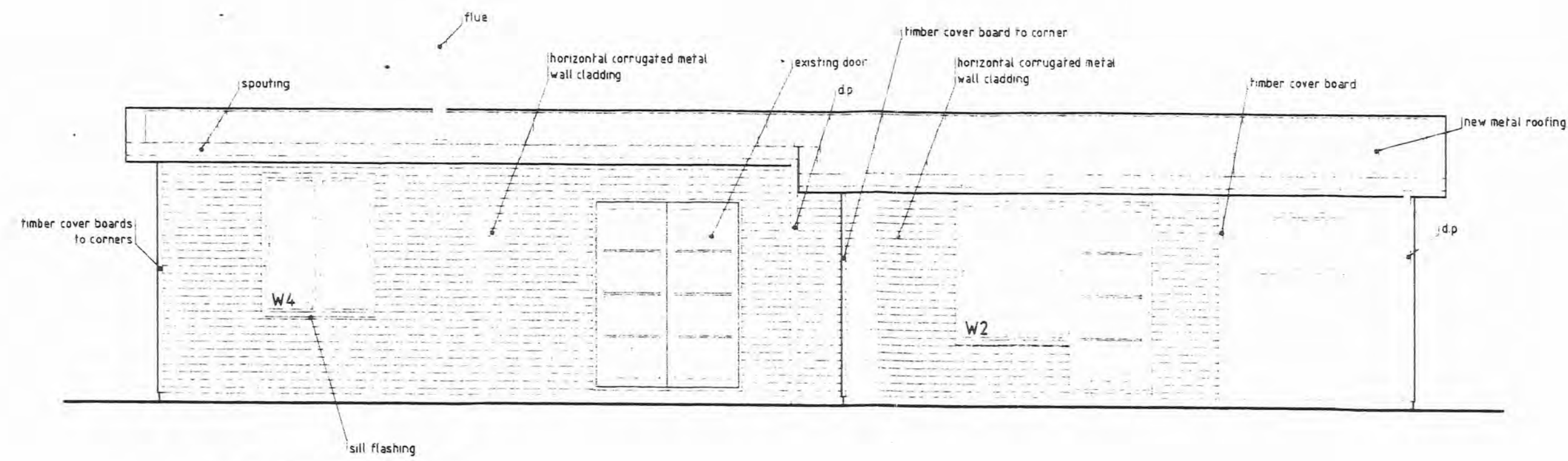
fax 04 801 9991

AC
NC

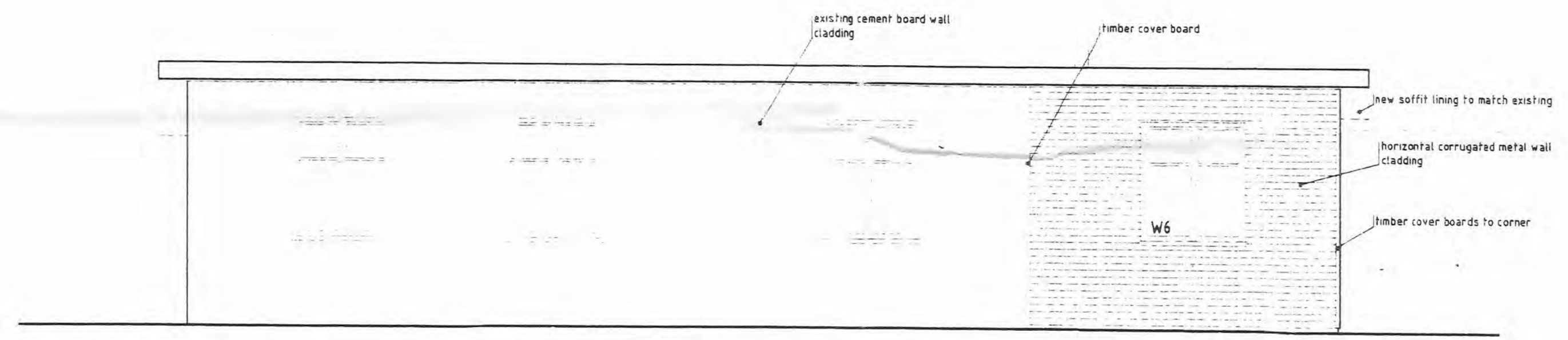
to all new windows include:
cover boards to head and sides to
match existing profile
head flashing
sill tray flashing

notes
Contractor shall verify all
dimensions and conditions before
commencing work
Do not scale drawings

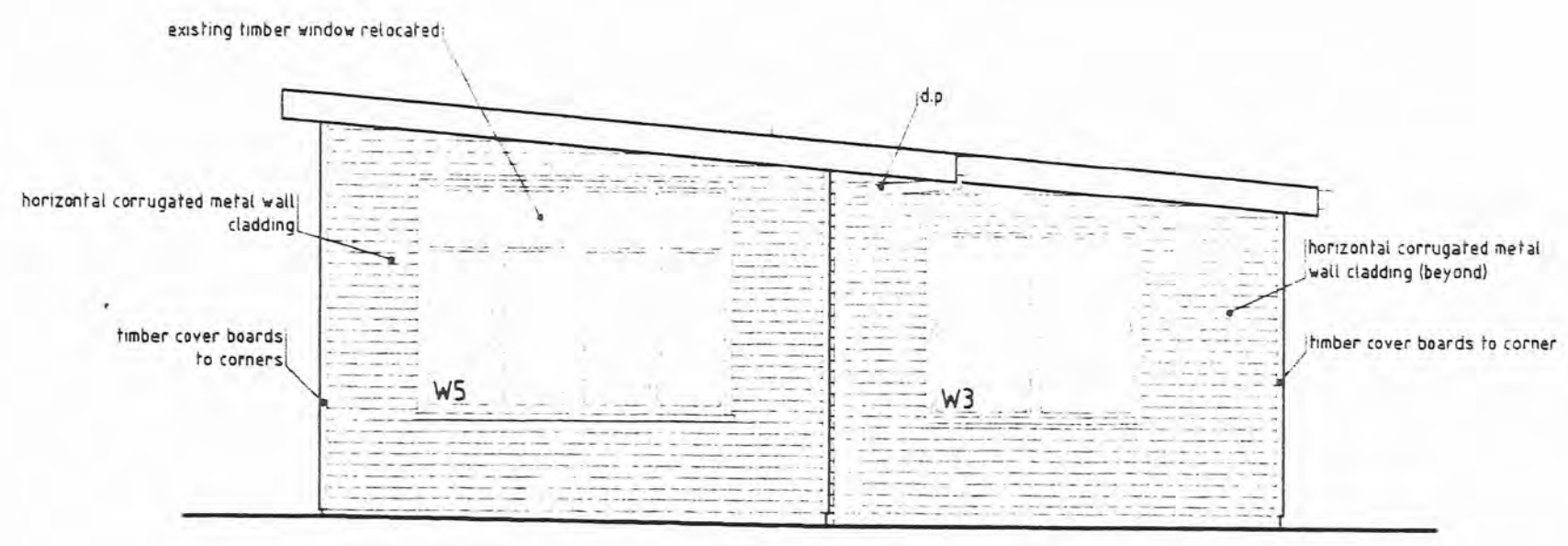
general
all new work to NZS3604 and to
local authority requirements



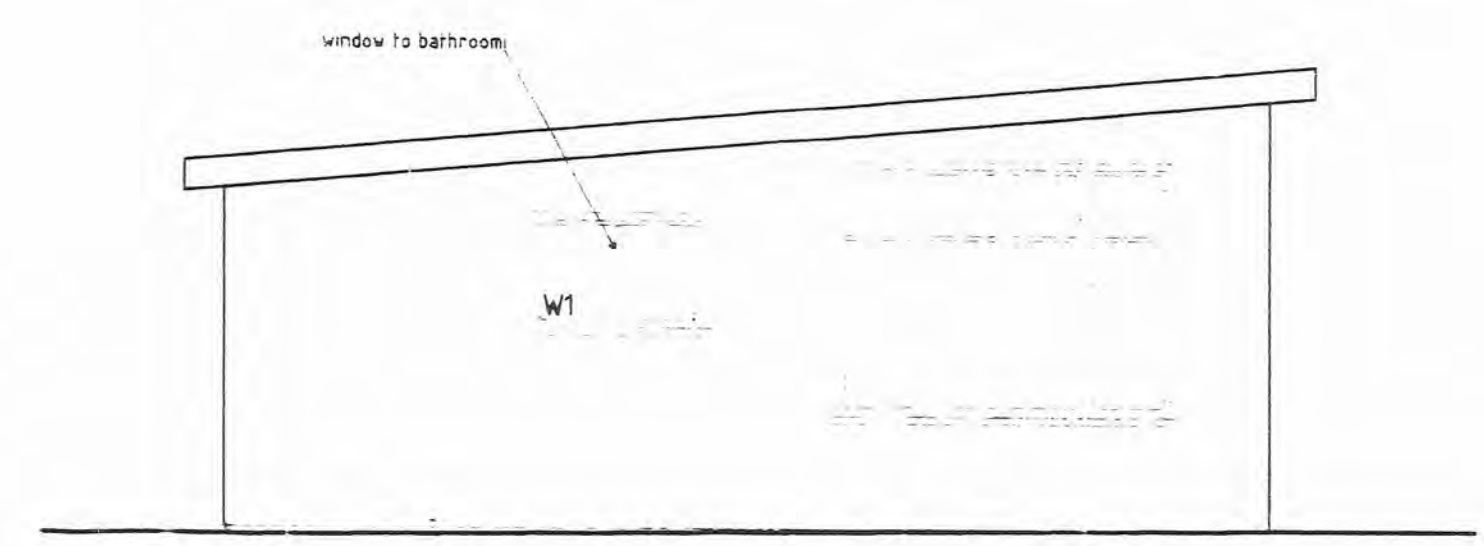
south elevation
scale 1 : 50



north elevation
scale 1 : 50



west elevation
scale 1 : 50



east elevation
scale 1 : 50

patterson bach alteration

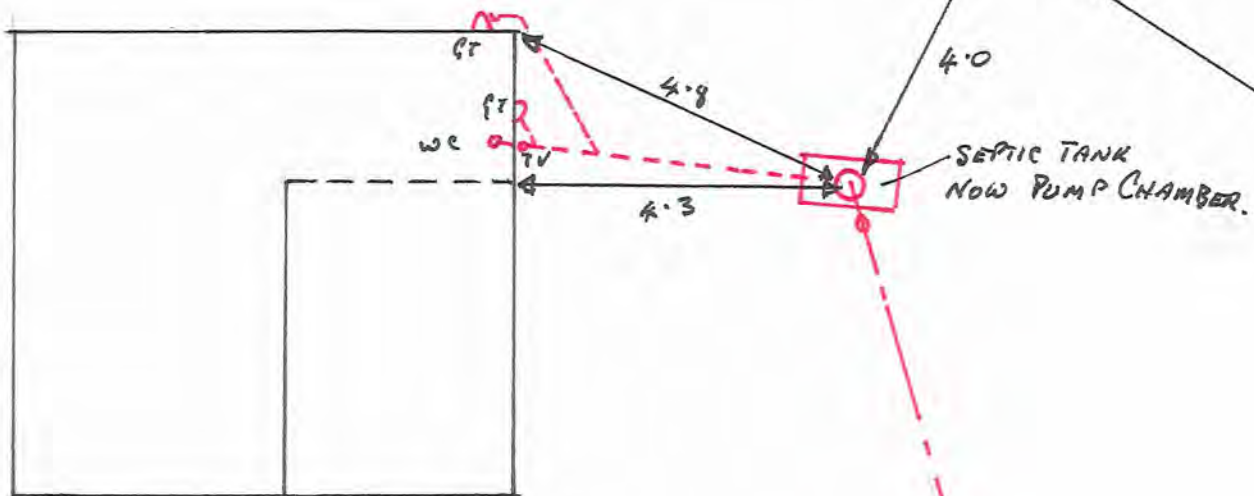
42 fieldway, waikanae beach

elevations
scale 1 : 50
date 14 february 2001
cn 00.076
dwg A2.01 R0



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phone 04 801 9990
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Handwritten initials: 'Ac' and 'NC'.



42 FIELDWAY.
 LOT. 29 D.P. 22/52.
 D/L M. JONES
 10.12.91 AH.

50mm P.V.C.
 PUMPED LINE

1.0 DEEP.

2.6

300

