

BUILDING CONSENT

Form 5, Section 51 New Zealand Building Act 2004

Application No: 210047

Description of Project: New Dwelling with Attached Garage

Consent Issue Date:

The Building

Street Address: 0 Denby Road, Hawera 4610
Legal Description: Lot 2 DP 409490
Valuation Number: 1227052508
Location of building within site:
Building Name:
Level/Unit Number:

The Owner

Name: Tara Anne Waite
Contact Person:
Mailing Address: 3 Beech Place, Hawera 4610
Street Address/Registered Office:
Phone:
Mobile:
Email:

First point of contact for communications with the building consent authority

Name: Jared George McLeod
Mailing Address: 75 High Street, Hawera 4610
Street Address/Registered Office:
Phone:
Mobile: 021 141 5697
Email: jared@mcleodarch.com

Building Work

The following building work is authorised by this building consent and any associated amendments:

New Dwelling with Attached Garage

This building consent is issued under section 51 of the Building Act 2004. This building consent does not relieve the owner of the building (or proposed building) of any duty or responsibility under any other Act relating to or affecting the building (or proposed building).

This building consent also does not permit the construction, alteration, demolition, or removal of the building (or proposed building) if that construction, alteration, demolition or removal would be in breach of any other Act.

Subject to the following conditions:

Under section 90 of the Building Act 2004, agents authorised by the Council (acting as the Building Consent Authority) are entitled, at all times during normal working hours or while building work is being undertaken, to inspect -
land on which work is being or is proposed to be carried out; and
building work that has been or is being carried out on or off the building site; and
any building.

Compliance Schedule

A compliance schedule is not required for the building.

Attachments

Copies of the following documents are attached to this building consent:

- Advice notes for building consent
- Stamped approved consented plans

Signature:



Date: 8 April 2021

Position: Building Control Officer

On behalf of: The South Taranaki District Council

BUILDING CONSENT ADVICE NOTES

Application No: 210047

Description of Project: New Dwelling with Attached Garage

Commencement of Work

The owner or person undertaking the building work shall give at least 2 working days' notice of the intended commencement of building work.

Inspection Notification

The request for inspections is to be made at least 24 hours before any inspection is required.

The contact person is to ensure that someone is on site at the time of the inspection.

Compliance

This building consent confirms compliance with the New Zealand Building Code. It does not give approval to commence building work until all other approvals have been obtained.

Completion Advice

The owner shall as soon as practical after completion of the building work, notify the Hawera Administration Office that the work has been completed in accordance with this building consent by completing and returning the Application for Code Compliance Certificate (Form 6).

Lapsing of Consent

This Consent shall lapse and be of no effect if the building work has not started within 12 months from date of issue.

BUILDING CONSENT REQUIRED ITEMS

Application No: 210047

Description of Project: New Dwelling with Attached Garage

Required Inspections

24 hours' notice is required for all inspection bookings.

#	Inspection Name	Notes
1	Footings/Foundation/Slab	
1	Pre-Slab Building/Plumbing	
1	Pre-Wrap (Framing/Fixings)	
2	Cavity Battens (Flashings)	
1	Pre-Line Building/Plumbing	
1	Post Line Brace Fixings	
1	Drainage	
1	Final-Residential	
9	Total Inspections	

Required Documents

The following documents are to be supplied to the building authority (STDC) on completion of the building work:

Documentation Required	Notes
Application form for CCC	
Electrical certificate	
Gas certificate	
As-built drainage plan	
PS3 - Waterproofing membrane (internal)	



Building Consent - Form 2 - 210047

Submission Details

Submission Ref	STDC050069
Status	Inspections
Consent Number	210047
Submitter	mcLeodARCHITECTURE Ltd (Jared McLeod)
Date Issued	Thu 8 Apr 2021, 10:35 AM
Building Consent Authority	South Taranaki District Council
Site Address	0 Denby Road, Hawera 4610
Building Complexity	R2
Date Submitted	Thu 18 Feb 2021, 2:31 PM
Legal Description	Lot 2 DP 409490

Building Consent - Form 2

Application for project information memorandum and/or building consent – Form 2

[Section 33](#) or [section 45](#), Building Act 2004

What Are You Applying For

Select the appropriate box(es) to indicate what type of application you are submitting. You may need to select more than one box.

☒ Building Consent	☐ Project Information Memorandum (PIM)
☐ Building Consent using a National Multiproof Approval	☐ Staged Building Consent

What Building Work Are You Doing

What type of building work are you doing *

☒ Residential	☐ Multi-Residential	☐ Commercial / Industrial
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Residential *

☒ New detached dwelling	☐ Plumbing works	☐ Major alterations / additions - any work that includes altering or attaching to the exterior of a building
☐ Minor alterations - any internal work that does not include altering the exterior of the building	☐ Garage / detached carport	☐ Seismic strengthening
☐ Other		

Select all applicable boxes. If your building work is not listed, select Other and provide details.

Where Is The Building Work

What is the street address *

0 Denby Road, Hawera 4610

Legal Description *

LOT 2

Deposited Plan

DP 409490

Building Name

Location of building within site/block including near street access

Middle

Are you building in a zone that requires a land-use Resource Consent *

☐ Yes

☒ No

Is the subdivision of an existing site involved *

☐ Yes

☒ No

Does the building or site have any cultural or heritage significance, or is it a marae? *

☐ Yes

☒ No

Who Owns The Building Or Land

Owner name *

Tara Waite

Owner title

Mrs

Owner email address *

tara.hogan@fonterra.com

Owner contact number *

274236929

Owner mobile number

Owner mailing address *

c/o- Mcleod Architecture, 75 High Street, Hawera 4610

Proof of Ownership

The [Building \(Forms\) Regulations 2004](#) requires evidence of ownership to be provided, proof of ownership less than 3 months old ensures the ownership is current.

Proof of ownership *

☒ Record of Title

☐ Other

A Record of Title (RT) is the most common and preferred type of proof of ownership, however other forms of proof of ownership maybe able to be used. Please check with the Building Consent Authority (BCA) or Council you are applying to if other types of proof of ownership will be accepted, before selecting other and submitting the application.

Request a Record of Title (RT) from the Building Consent Authority (BCA) or Council *

☐ Yes

☒ No

Please check with the Building Consent Authority (BCA) or Council that you are applying to, if they provide this service before requesting a RT directly from them.

Who Is The Applicant

Is the application being made on behalf of the owner *

☒ Yes

☐ No

Agent Contact Information

Please note that the nominated first point of contact must be in New Zealand.

Who is the first point of contact for further correspondence *

☐ Owner

☒ Agent

☐ Other

Who should the invoice be sent to? *

☒ Owner

☐ Agent

☐ Other

Payee name for the invoice *

Tara Waite

Agent name *

Jared McLeod

Agent title

Agent email address *

jared@mcleodarch.com

Agent contact number *

211415697

Agent mobile number

211415697

Agent mailing address *

75 High street,
Hawera 4610,
New Zealand

Who's Involved In The Build

Select who's involved *

☒ Licensed Building Practitioner

☐ Other

If there are others involved in the build who aren't licensed building practitioners please provide their details by selecting the other option.

Licensed Building Practitioner/s

Name *

Jared McLeod

Email address

jared@mcleodarch.com

Contact number

0211415697

Mailing address

75 High street,
Hawera 4610,
New Zealand

Licensed Building Practitioner *

Designer

Other

If the licensed building practitioner type was not listed please provide details

License class *

- Design 1
- Design 2
- Design 3
- Site 1
- Site 2
- Site 3
- Carpentry
- Roofing
- External Plastering
- Brick and Block Laying

Select one or more licence classes in the list

Licensed Building Practitioner registration number *

BP129738

What Are The Specifics Of The Site

What is the wind zone *

☐ Low	☐ Medium	☒ High
☐ Very High	☐ Extra High	☐ Specific Design

What is the exposure zone *

☐ Low (B)	☐ Medium (C)	☒ High/Sea spray (D)
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Does the proposed building work cover two or more allotments *

☐ Yes	☒ No
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Are there public drains on the site *

☐ Yes	☒ No
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Is the site subject to natural or created hazards such as erosion, subsidence, flooding, slips, cut and fill or contamination *

☐ Yes	☒ No
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Are there any alterations to land contours (e.g. earthworks) *

☐ Yes	☒ No
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Are there new or altered connections to public utilities *

☐ Yes	☒ No
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Are there new or altered locations and/or external dimensions of buildings *

☒ Yes	☐ No
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Is there new or altered access for vehicles *

☐ Yes	☒ No
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Is the building work over or adjacent to any road or public place *

☐ Yes	☒ No
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Does the building work involve the disposal of storm-water or wastewater *

☒ Yes	☐ No
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Is the building work over any existing drains or sewers or in close proximity to wells or water mains *

☐ Yes	☒ No
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Are there any other matters known to the applicant that may require authorisation from the territorial authority *

☐ Yes	☒ No
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What Are The Details Of The Building Work

Provide a full description of the building work *

New single storey 3 bedroom dwelling with attached garage.
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Estimated value of the building work (including GST) *

\$	500000
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What is the intended life of the building *

☒ 50+ years	☐ Limited Life
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Proposed Use

You must select at least one of the following seven proposed use 'types'. Where you select Housing, Communal residential or Communal non-residential, you must also specify a proposed use 'sub type'

☒ **Housing**

Housing selections *

☒ Detached dwellings	☐ Multi-unit dwelling	☐ Group dwelling
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☐ **Outbuildings**

☐ **Ancillary**

Will the building work affect an existing building and/or parts of an existing building *

☐ Yes	☒ No
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Total number of floor levels *

Levels below ground (if applicable)

Total floor area *

203.22	m2
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Please provide measurements in square metres i.e. if the building is 220m2 please put 220

Is the building used for anything other than a single household unit? *

☐ Yes	☒ No
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Does the project include Restricted Building Work *

☒ Yes	☐ No
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Are you applying for Owner/Builder exemption to complete the Restricted Building Work *

☐ Yes	☒ No
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IMPORTANT – PLEASE READ

MEMORANDUM FROM LICENSED BUILDING PRACTITIONER: CERTIFICATE OF DESIGN WORK - FORM 2A

Is required to be submitted as part of your Building Consent application where restricted building work is part of the design.

To complete the Memorandum from Licensed Building Practitioner: Certificate of Design Work - Form 2A you can save and close this form at any stage before submitting, and add the form by clicking on the form Tab.

Alternatively, you can complete the form separately as a PDF document by clicking on the following link.

Please Note: you will need to attach the Memorandum from Licensed Building Practitioner: Certificate of Design Work - Form 2A to the **Architectural Specifications** document in the “**Have You Attached All Required Documentation**” section of this form.

[Link to – Memorandum from Licensed Building Practitioner: Certificate of Design Work - Form 2A – PDF Version](#)

Have you discussed this project with the Building Consent Authority prior to applying?

☐ Yes	☒ No
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Does the building work involve a swimming pool?

☐ Yes	☒ No
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Does the building work involve any Recladding?

☐ Yes	☒ No
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What Clauses Of The Building Code Does Your Work Comply With

☒ * I understand that this application is to be assessed against Acceptable Solutions, unless otherwise stated in this section.

Please tick to indicate your agreement

☒ **B - Building Code**



☒ **B1 - STRUCTURE**

Buildings will withstand likely loads, including wind, earthquake, live and dead loads (people and building contents).

Provide any additional information

Bracing as per GIB ezybrace,

Provide details of Verification Method/s being used

Include relevant code clauses and means of compliance

☒ **B2 - DURABILITY**

Confirming the use of materials that will remain functional for the minimum periods specified (5, 15 or >50 years).

Provide details of Alternative Solution/s being used

Include relevant code clauses and means of compliance or details of any waiver and modifications (including applicable code clauses)

☒ **C - Building Code**



☒ **C1 - OBJECTIVES OF CLAUSES C2 TO C6**

Safety objectives for people, other property and firefighting applied to clauses C2 to C6 of the Building Code.

☐ **C3 - FIRE AFFECTING AREAS BEYOND THE SOURCE**

Fire affecting areas beyond the source: vertical or horizontal fire spread, Material Group Numbers, surface finishes.

☐ **C5 - ACCESS AND SAFETY FOR FIREFIGHTING OPERATIONS**

Access and safety for firefighting operations: access, hazards information and unobstructed paths.

Provide any additional information

Provide details of Verification Method/s being used

Include relevant code clauses and means of compliance

☐ **C2 - PREVENTION OF FIRE OCCURRING**

Safe design and installation of fixed appliances using controlled combustion and other fixed equipment.

☐ **C4 - MOVEMENT TO A PLACE OF SAFETY**

Fire warnings, visibility of escape routes (smoke obscuration), automatic fire sprinkler systems, means of escape.

☐ **C6 - STRUCTURAL STABILITY**

Structural stability during fire: buildings remain stable during fire (likelihood of failure or collapse).

Provide details of Alternative Solution/s being used

Include relevant code clauses and means of compliance or details of any waiver and modifications (including applicable code clauses)

☒ **D - Building Code**



☒ **D1 - ACCESS ROUTES**

Safety of entry/exit to the building and the safety of any internal or external stairs.

Provide any additional information

Provide details of Verification Method/s being used

Include relevant code clauses and means of compliance

☐ **D2 - MECHANICAL INSTALLATION FOR ACCESS**

Safety provisions for people using or servicing mechanical installations in buildings, such as lifts or escalators.

Provide details of Alternative Solution/s being used

Include relevant code clauses and means of compliance or details of any waiver and modifications (including applicable code clauses)

☒ **E - Building Code**



☒ **E1 - SURFACE WATER**

Disposal of rainwater from external surfaces and confirmation surface water cannot enter the building.

☒ **E2 - EXTERNAL MOISTURE**

External roof, wall claddings and external openings will prevent external moisture from causing undue dampness or damage.

☒ **E3 - INTERNAL MOISTURE**

Surfaces in wet areas must be impervious, easily cleaned, and have ventilation to meet conditions for health and safety.

Provide any additional information

Provide details of Verification Method/s being used

Include relevant code clauses and means of compliance

Provide details of Alternative Solution/s being used

Include relevant code clauses and means of compliance or details of any waiver and modifications (including applicable code clauses)

☒ **F - Building Code**



☒ **F1 - HAZARDOUS AGENTS ON SITE**

Identifying and neutralising any hazardous agents or other contamination of the building site.

☐ **F2 - HAZARDOUS BUILDING MATERIALS**

Safety for glass and glazing methods, asbestos and materials that give off noxious fumes.

☐ **F3 - HAZARDOUS SUBSTANCES AND PROCESSES**

Safety from hazardous substances where stored, handled or used or where hazardous processes are undertaken.

☒ **F4 - SAFETY FROM FALLING**

Safe design of all barriers inside and outside the building.

☒ **F5 - CONSTRUCTION AND DEMOLITION HAZARDS**

Providing protection of people and other property during construction and demolition.

☐ **F6 - VISIBILITY IN ESCAPE ROUTES**

Safety features for escape routes during failure of the main lighting.

☒ **F7 - WARNING SYSTEMS**

Provides early warning systems to alert people to an emergency.

☐ **F8 - SIGNS**

Providing identification of escape routes, hazards, emergency-related safety features and accessible facilities.

☐ **F9 - RESTRICTING ACCESS TO RESIDENTIAL POOLS**

Restricting access by young children to residential pools.

Provide any additional information

Provide details of Verification Method/s being used

Include relevant code clauses and means of compliance

Provide details of Alternative Solution/s being used

Include relevant code clauses and means of compliance or details of any waiver and modifications (including applicable code clauses)

☒ **G - Building Code**



☒ **G1 - PERSONAL HYGIENE**

Providing sufficient sanitary fixtures (toilets, showers and basins) for sanitation.

☒ **G2 - LAUNDERING**

Providing sufficient laundry facilities.

☒ **G3 - FOOD PREPARATION AND PREVENTION OF CONTAMINATION**

Providing sufficient safe and hygienic facilities for food storage and preparation

☒ **G4 - VENTILATION**

Requires ventilation to all occupied spaces.

☐ **G5 - INTERIOR ENVIRONMENT**

Habitable spaces with sufficient space for activity, accessible facilities and controlled internal temperature.

☐ **G6 - AIRBORNE AND IMPACT SOUND**

Prevention of undue noise transmission in building elements between occupancies or common spaces in household units.

☒ **G7 - NATURAL LIGHT**

Providing sufficient natural light for occupied spaces and appropriate visual awareness of the outside for occupants.

☒ **G8 - ARTIFICIAL LIGHT**

Requires buildings to have sufficient artificial light to safeguard people from injury.

☒ **G9 - ELECTRICITY**

Requires the safe use and distribution of electricity.

☐ **G10 - PIPED SERVICES**

Requires the safe distribution of hot, cold or toxic substances.

☒ **G11 - GAS AS AN ENERGY SOURCE**

Requires the safe installation of gas-fueled appliances.

☒ **G12 - WATER SUPPLIES**

Requires the safe supply, storage, reticulation and delivery of hot and cold water.

☒ **G13 - FOUL WATER**

Requires the safe disposal of foul water to prevent illness and the loss of amenity due to odour and accumulated matter.

☐ **G14 - INDUSTRIAL LIQUID WASTE**

Requires the safe and hygienic collection, treatment and disposal of industrial liquid waste to avoid contamination.

☐ **G15 - SOLID WASTE**

Provides for the safe and hygienic collection, holding prior to disposal of solid waste.

Provide any additional information

Provide details of Verification Method/s being used

Include relevant code clauses and means of compliance

Provide details of Alternative Solution/s being used

Include relevant code clauses and means of compliance or details of any waiver and modifications (including applicable code clauses)

☒ **H - Building Code**



☒ **H1 - ENERGY EFFICIENCY**

Provides for the efficient use of energy and sets physical conditions for energy performance.

Provide any additional information

Provide details of Verification Method/s being used

Include relevant code clauses and means of compliance

Provide details of Alternative Solution/s being used

Include relevant code clauses and means of compliance or details of any waiver and modifications (including applicable code clauses)



What Specified Systems Are In The Building

Does your building work involve or affect any Specified Systems (SS)? *

☐ Yes

☒ No

Have You Attached All Required Documentation

Document Categories for Residential Applications

The following document categories are associated to a residential application:

- Architectural Plans
- Architectural Specifications

If you have selected that there are structural requirement/s for the application, the following document categories will also be displayed to upload a document against.

- Structural Plans
- Structural Specifications

You will only be able to upload a maximum of 4 documents for a residential application, please ensure you have combined the documents for the application into the correct categories. Your application may be rejected by the Building Consent Authority you are submitting the application to if the documents are not provided in the correct format.

☒ * I have the appropriate documentation prepared for a residential application and I have combined the documents into the appropriate categories

The document upload selections will be provided once you have ticked this selection.

I have structural engineering requirements associated to the application. *

☒ Yes

☐ No

If you have structural plans, specifications and supporting documents associated to your application please click 'Yes'.

Do you have supporting documentation associated to the application. *

☒ Yes

☐ No

If you have supporting documentation that can't be merged into the main categories please click "Yes" and you will be able to add additional documents.

Residential Document Upload

Residential Structural Document Upload

Residential Supporting Documentation

Submitter Declaration

Submitter Name

Jared McLeod

Date

18/02/2021

I understand that by ticking the following boxes, I am agreeing to the following statements:

☒ * As the agent I confirm that I am submitting this application on behalf of and with the authority of the owner and confirm that all the information within the application is, to the best of my knowledge, true and correct.

☒ * I request that you issue a building consent for the building work described in this application.

STRUCTURAL DRAWINGS

DENBY HOUSE

LOT2 300 DENBY ROAD, HAWERA

DRAWING REGISTER

DRAWING	SHEET	TITLE	DATE OF ISSUE / REVISION VERSION						
			13.11.20	13.01.21					
		DRAWING COVER AND REGISTER							
200911-03	S00	STRUCTURAL STANDARD NOTES	A	B					
200911-03	S01	GROUND FLOOR SLAB PLAN	A	B					
200911-03	S02	DETAILS	A	B					

- KEY
- A

B

C

O

AS

APPROVAL

CONSENTS

TENDER

CONSTRUCTION

AS-BUILT

TRANSMITTAL

TO	ATTENTION	DATE OF ISSUE / REVISION VERSION											
		13.11.20	13.01.21										
OWNER / DEVELOPER	.												
ARCHITECT / DESIGNER	Mc LEOD ARCHITECTURE	A	B										
QUANTITY SURVEYOR													
BUILDER / CONTRACTOR													
TERRITORIAL AUTHORITY	STDC		B										

1. CONTRACTORS ARE REQUIRED TO COMPLY WITH THE BUILDING ACT 2004 AND THE HEALTH AND SAFETY AT WORK ACT 2015 INCLUDING ALL CURRENT AMENDMENTS, TOGETHER WITH ANY REASONABLE REQUIREMENT BY THE OWNER AND THE ENGINEER/ARCHITECT.
2. THE BUILDER SHALL ONLY WORK TO THE CONSENT DOCUMENTS APPROVED BY THE TERRITORIAL AUTHORITY.
3. THE CONTRACTOR SHALL LOCATE ALL EXISTING SERVICES BOTH ABOVE AND UNDER GROUND, ENSURE ALL SERVICES ARE PROPERLY REMOVED, RELOCATED, OR ADEQUATELY PROTECTED AS NECESSARY.
4. ALL DIMENSIONS ARE IN MILLIMETRES UNLESS OTHERWISE NOTED.
5. ALL FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
6. COMPATIBILITY OF MATERIALS AND FIXINGS: ALL MATERIALS AND FIXINGS SHALL BE COMPATIBLE WITH OTHER MATERIALS IN CONTACT AND/OR SUBJECT TO WATER RUN-OFF. IF UNSURE, REFER TO NZ BUILDING CODE E2/AS1, TABLES 21 AND 22.

1. MILD STEEL PLAIN & DEFORMED REINFORCING BARS SHALL CONFORM TO AS/NZS 4671: STEEL REINFORCING MATERIALS.
2. ALL PLAIN (ROUND) BARS SHALL BE GRADE 300. ALL DEFORMED BARS NOMINATED AS 'D' SHALL BE GRADE 300E AND ALL DEFORMED BARS NOMINATED AS 'H' SHALL BE GRADE 500E, UNLESS NOTED OTHERWISE.
3. TAKE SPECIAL CARE TO ACHIEVE THE MINIMUM INSIDE DIAMETER OF BENDS AS SHOWN IN THE CHARTS BELOW. DO NOT ALLOW RE-BENDING OF GRADE 500E STEEL AND DO NOT CARRY OUT SITE WELDING, INCLUDING TACK WELDING.
4. REINFORCING LAP LENGTHS

	mm
D10	400
D12	500
D16	650
D20	800
D25	1000
D32	1300

	mm
H10	700
H12	850
H16	1150
H20	1400
H25	1750
H32	2250

5. MESH TO CONFORM TO AS 4671. MESH SHALL BE LAPPED 225mm MINIMUM UNLESS SPECIFIED OTHERWISE BY MANUFACTURER.
6. WHERE FLOOR SLAB HAS SAWCUTS, CUT EVERY SECOND BAR IN MESH 25mm EITHER SIDE OF SAWCUT.
7. SPIRAL OR HOOPS REINFORCING TO HAVE STANDARD 90° HOOKS AT EACH END. SPIRALS TO TERMINATE WITH FULL HOOP LAP. ALTERNATIVELY, WITH ENGINEER'S APPROVAL, TERMINATION CAN CONSIST OF A 6mm FILLET LAP $WELDX10d_b$ (BAR DIAMETERS) LONG.

GRADE	Bar diameter, d_b (mm)	Minimum diameter of bend, d_i (mm)
300 or 500E	6 - 20	5 d_b
	25 - 40	6 d_b

GRADE	Bar diameter, d_b (mm)	Minimum diameter of bend, d_i (mm)	
		Plain	Deformed
300 or 500E	6 - 20	2 d_b	4 d_b
	25	3 d_b	6 d_b

Figure 10.10 shows two details of reinforcement at a column face. Detail (a) shows a U-shaped reinforcement bar with diameter D_b and a hook length of $4b_p$ or 65mm . Detail (b) shows a vertical reinforcement bar with diameter D_b and a hook length of $4b_p$ or 65mm , with labels for H BARS, D BARS, and R BARS.

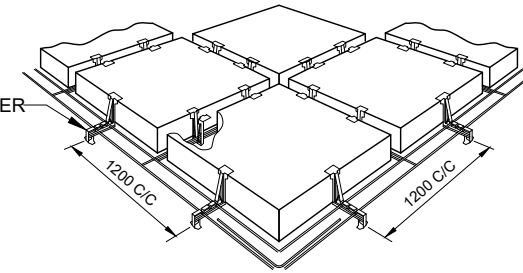
Diagram of a 90-degree bend in a pipe. The bend is defined by a 45-degree angle and a radius of 80b.

1. ALL CONCRETE WORK SHALL CONFORM TO NZS 3109 AND SHALL BE ORDINARY, HIGH OR SPECIAL GRADE.
2. COMPACTION OF HARDFILL TO BE CARRIED OUT IN MAXIMUM LAYERS OF 150mm.
3. LAY FLOOR SLAB ON 0.25mm POLYTHENE OR INZCO MOISTOP 737 DPM, 25mm SAND BLINDING, AND MINIMUM 150mm COMPACTED HARDFILL OR AS SPECIFIED IN DRAWINGS.
4. MINIMUM CONCRETE COVER TO STEEL REINFORCEMENT SHALL BE:

75mm	WHEN CONCRETE IS PLACED DIRECTLY ON OR AGAINST THE GROUND;
50mm	-IN ALL OTHER SITUATIONS WHERE THE CONCRETE IS PLACED IN FORMWORK (WITH COMPRESSIVE STRENGTH AS REQUIRED IN THE FOLLOWING NOTE); -FROM THE TOP OF ANY EXPOSED WALL OR FLOOR SLAB.
30mm	FROM THE TOP OF A WALL OR FLOOR SLAB WHICH IS IN A CLOSED AREA;

7. FINISHED FLOOR LEVEL OF FLOOR SLAB SHALL BE AS FOLLOWS:
ABOVE UNPROTECTED GROUND - 225mm FOR ALL CLADDINGS.
ABOVE PERMANENT PAVING - 150mm FOR ALL CLADDINGS.

100mm CHAIR SPACER
OR ALTERNATE

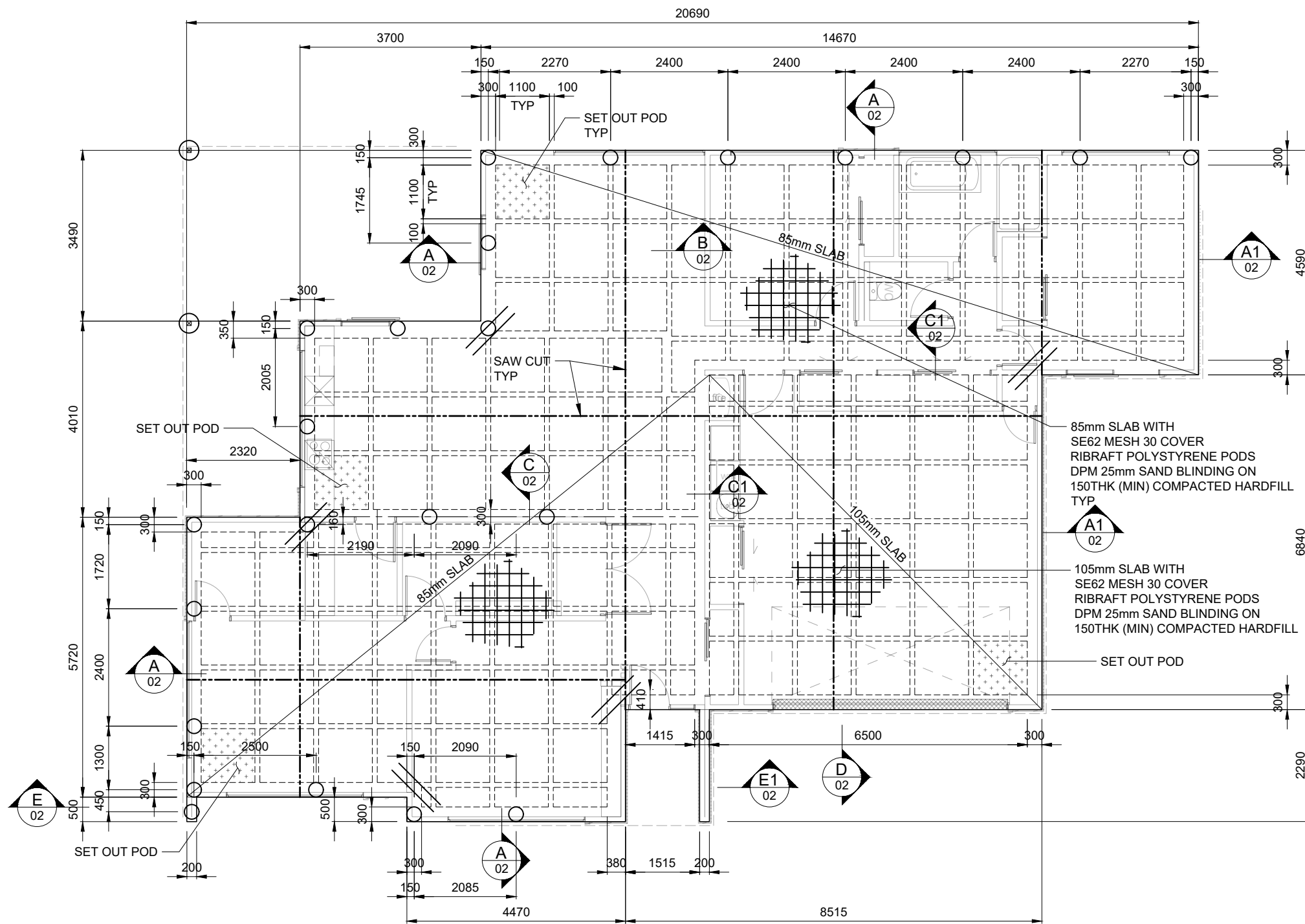


FOR CONSENT

[illegible]

LOCATION NEW PLYMOUTH			TITLE DENVY HOME LOT2 300 DENBY ROAD, HAWERA STRUCTURAL STANDARD NOTES			
PROJECT No. 200911						
A3 SCALE	N.T.S.		ORIGINAL SIZE A3 DRAWING No 200911-03 SHEET S00 REVISION B			
DESIGNED	J ICARO	10.20				
DRAWN	F LEPASANA	10.20				
CHECKED	J ICARO	10.20				

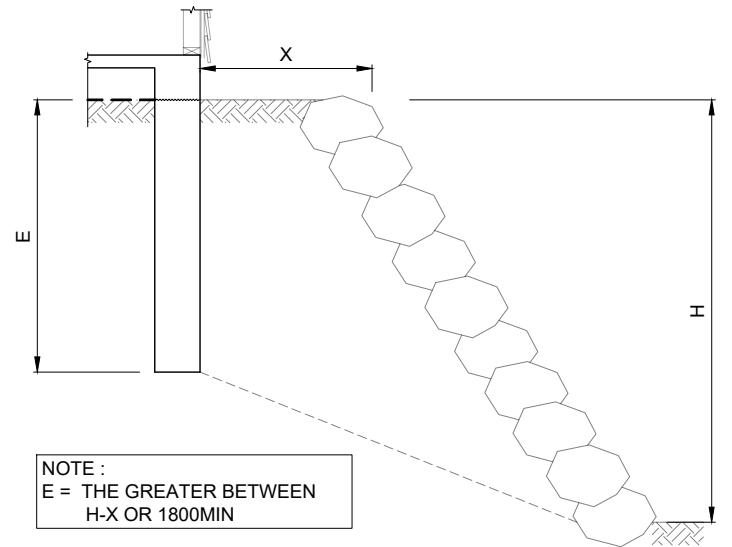
File Name: C:\12\data\BTW\200911_1918\07 Drawings\200911-03 - Lot2 300 Denby Road - Foundation.dwg - S01 Plot Date: 13/01/2021 Plot Time: 11:54



SLAB PLAN
SCALE 1:100

- LEGEND:
- 2/ HD12 x 1200 mm LONG BARS AT 200 mm CRS
 - 22mm SAWCUT
 - STANDARD RIB - 1/ HD12 BAR
 - 3000 x 1800 DEEP (MIN) PILES
 - 4000 x 1800 DEEP (MIN) POST FOUNDATION

POD SIZE:
1100x1100x200 (GARAGE)
1100x1100x220 (HOUSE)



NOTE:
E = THE GREATER BETWEEN
H-X OR 1800MIN

MINIMUM EMBEDMENT 'E' FOR PILES
CLOSE TO ROCK RETAINING WALL



FOR CONSENT

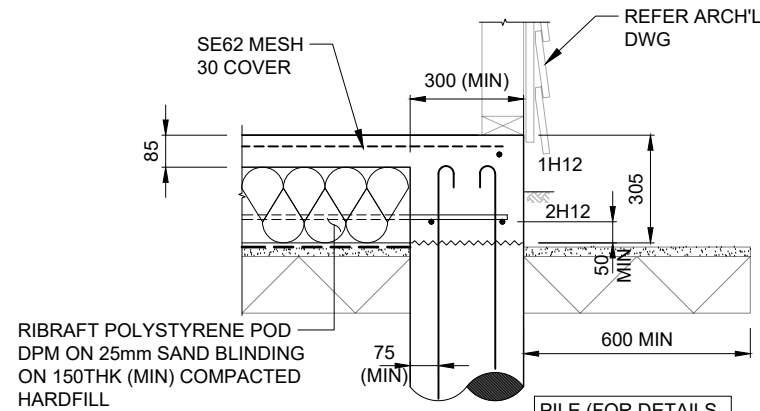
BTWCOMPANY
SURVEYING | ENGINEERING | PLANNING & ENVIRONMENT

NO	DATE	BY	CHKD	APPR	OPER	REVISIONS	DESCRIPTION	NUMBER	TITLE
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A	11.20	FL	JL				ISSUED FOR REVIEW		
REFERENCE DRAWINGS									

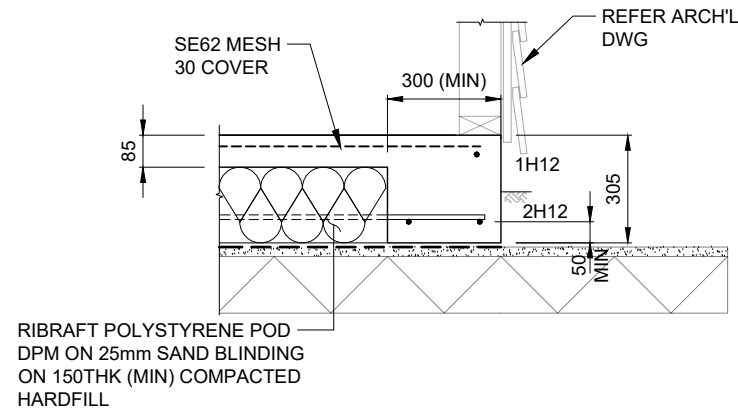
LOCATION	NEW PLYMOUTH		
PROJECT No.	200911		
A3 SCALE	N.T.S.		
DESIGNED	J ICARO	10.20	
DRAWN	F LEPASANA	10.20	
CHECKED	J ICARO	10.20	

TITLE	DENVY HOME LOT2 300 DENBY ROAD, HAWERA GROUND FLOOR SLAB PLAN
ORIGINAL SIZE	A3
DRAWING No	200911-03
SHEET	S01
REVISION	B

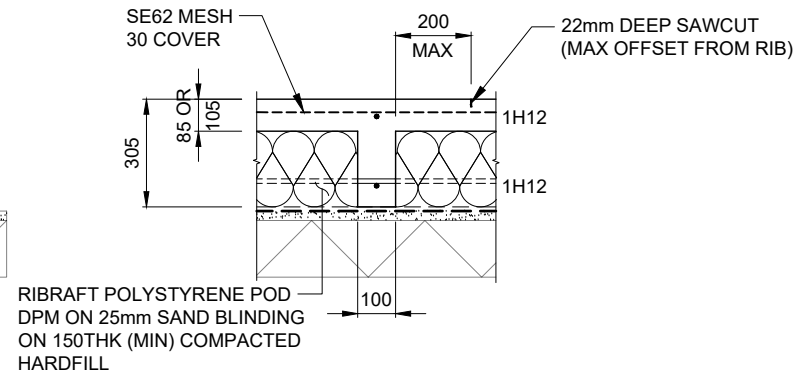
File Name: C:\12\data\BTW\20200911_1918\07 Drawings\200911-03 - Lot2 300 Denby Road - Foundation.dwg - S02 Plot Date: 13/01/2021 Plot Time: 11:54



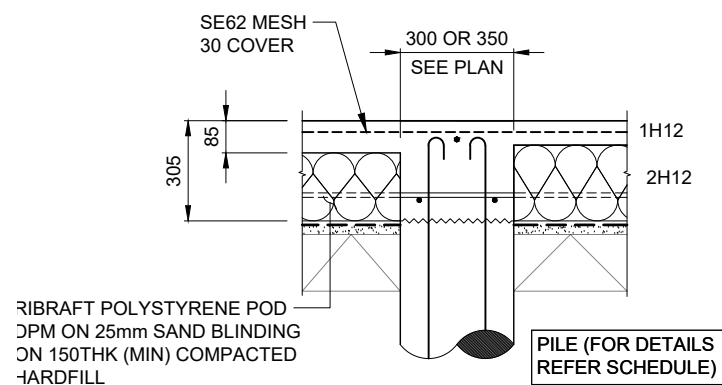
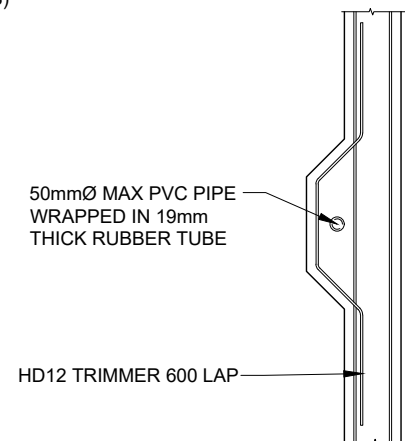
A SECTION
01 SCALE 1:20



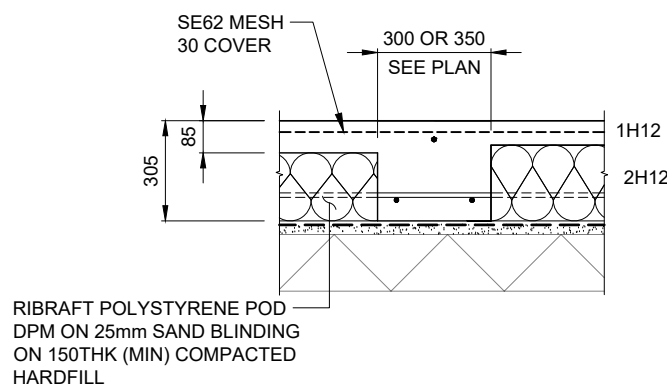
A1 SECTION
01 SCALE 1:20



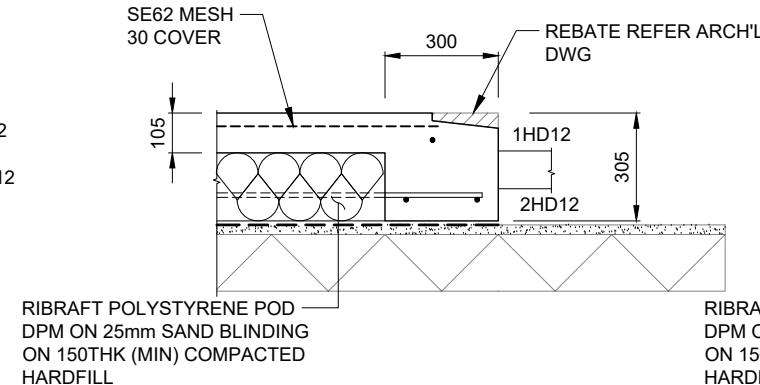
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01 SCALE 1:20



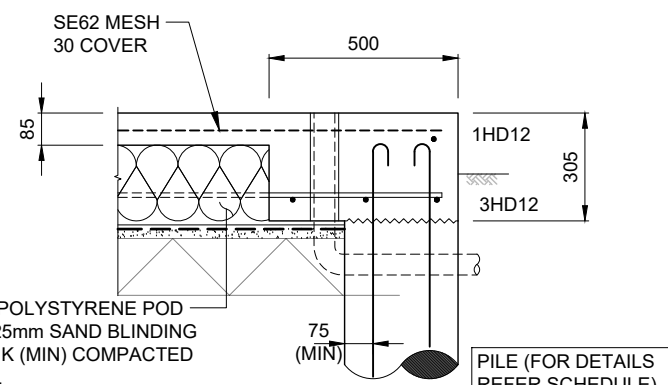
C SECTION
01 SCALE 1:20



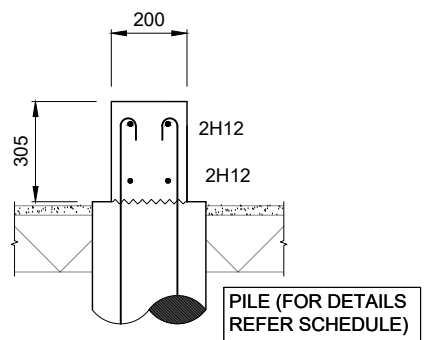
C1 SECTION
01 SCALE 1:20



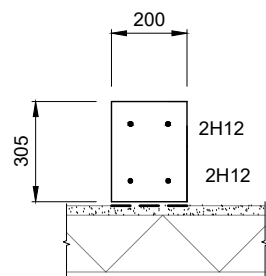
D SECTION
01 SCALE 1:20



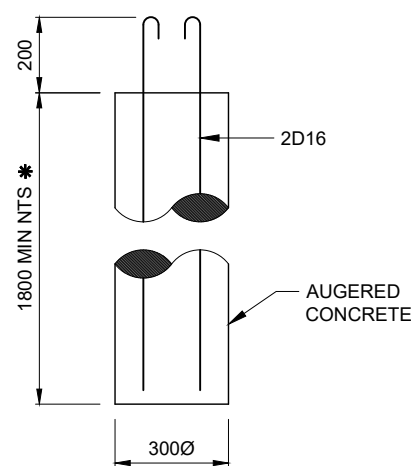
TYP DETAIL FOR PLUMBING PENETRATIONS
SCALE 1:20



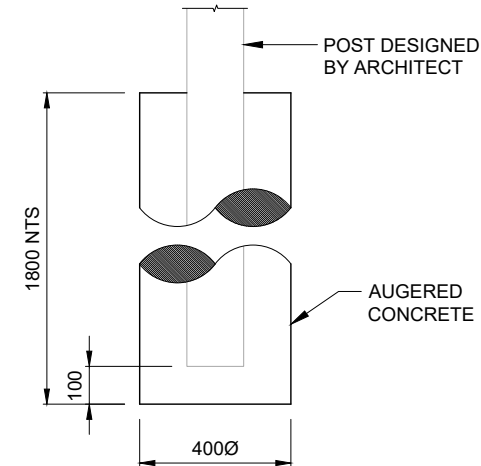
E SECTION
01 SCALE 1:20



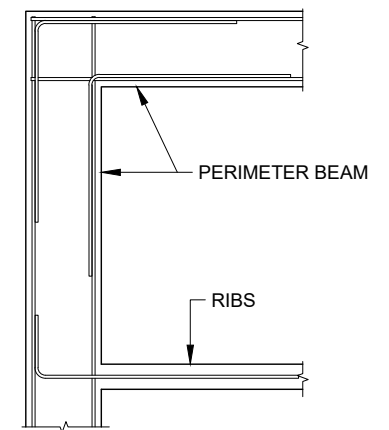
E1 SECTION
01 SCALE 1:20



TYP PILE ELEVATION
SCALE 1:20



TYP POST FOUNDATION - ELEVATION
SCALE 1:20



TYPICAL REINFORCING
ARRANGEMENT

NOTE:
* REFER TO SHEET S01 FOR THE
EMBEDMENT DEPTH OF PILES
CLOSE TO RETAINING WALL

20 0 20 40 60 80 100cm
SCALE 1 : 20

FOR CONSENT

BTWCOMPANY
SURVEYING | ENGINEERING | PLANNING & ENVIRONMENT

NO	DATE	BY	CHKD	APPR	OPER	DESCRIPTION	NUMBER	TITLE
B	01/21	FL	JL			ISSUED FOR CONSENT		
A	11/20	FL	JL			ISSUED FOR REVIEW		
REVISIONS								
REFERENCE DRAWINGS								

LOCATION	NEW PLYMOUTH		
PROJECT No.	200911		
A3 SCALE	N.T.S.		
DESIGNED	J ICARO	10/20	
DRAWN	F LEPASANA	10/20	
CHECKED	J ICARO	10/20	

TITLE
DENY HOME
LOT2 300 DENBY ROAD, HAWERA
GROUND FLOOR SLAB PLAN

ORIGINAL SIZE	DRAWING No	SHEET	REVISION
A3	200911-03	S02	B

CALCULATIONS

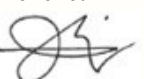
Foundation Design
Lot 2
300 Denby Road, Hawera

for
Mark Joblin

BTW Company Ltd
Cnr. Coutenay & Eliot Sts
P.O. Box 551, NEW PLYMOUTH 4310
Ph (06) 759 5040
Ph 0800 289787 Fax (06) 759 5049
Email survey@btw.nz
Web www.btw.nz

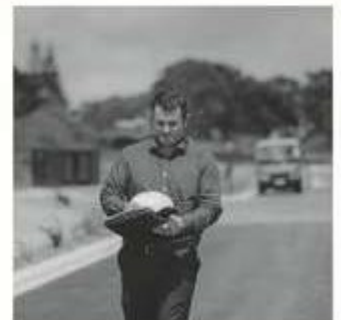
Quality Assurance Statement

BTW ref: 200911

Prepared	Revisions			
	No.	Description	By	Date
 J Icaro 14/01/2021				
 J Icaro 14/01/2021				

Circulation

To	Attention	Date	Issue No.	No. of Copies
Owner / Developer	Interlink			
Agent / Consultant				
Architect / Designer				
Builder / Contractor				
Territorial Authority				



CERTIFICATE OF DESIGN WORK

MEMORANDUM FROM LICENSED BUILDING PRACTITIONER

Section 30C and Section 45, Building Act 2004

The Building	
Street address	Lot 2, 300 Denby Road
Suburb	Town/city Hawera
Postcode	Building consent no.
The Owner	
Name(s)	Mark Joblin
Email	m_joblin@hotmail.com Phone 027 3077 946
Address	

Basis for providing this memorandum

I am providing this memorandum in my role as the **specialist** designer who carried out or supervised specific Primary structure elements of restricted building work (RBW) design work as described in this memorandum. Other designers will provide memoranda covering the remaining RBW design work. Refer also to the attached PSI.

Identification of restricted building work (RBW) design work

I, **Jesus Icaro** carried out or supervised the following RBW design work:

Primary structure: B1

Design work that is RBW	Description (as required) and reference to plans and specifications	Carried out or supervised
Foundations and subfloor framing ✓	Ribraft slab/foundation. BTW ref. 200911	Carried out
Retaining walls ✗	N/A	
Beams ✗	N/A	
Portal ✗	N/A	
Bracing ✗	N/A	
Other (primary) ✗	N/A	

Note: SED = Elements subject to Specific Engineering Design outside of the scope of NZS3604:2011, unless otherwise noted.

Initial  Date 13/01/2021

Waivers and modifications

Are waivers or modifications of the Building Code required?

No

If yes, please provide details of the waivers or modifications:

Building Code clause

Waiver/modification required

Issued by

Name	Jesus Icaro	Design entity/company	BTW Company Ltd
Chartered status	CPEng	Chartered no.	1016227
Email	jeck.icaro@btw.nz	Website	www.btw.nz
Phone (daytime)	0275582693	Phone (after hours)	0275582693
Mobile			
Postal address	PO Box 551, New Plymouth 4340		
Physical address	179-181 Courtenay Street, New Plymouth		

Declaration

I, Jesus Icaro, LBP state that I have applied the skills and care reasonably required of a competent design professional in carrying out or supervising the RBW described in this memorandum and that based on this, I certify that the RBW described in this memorandum:

- complies with the Building Code; or
- complies with the Building Code subject to any waiver or modification of the Building Code described in this memorandum.

Signature



Date 13/01/2021

PRODUCER STATEMENT – PS1 – DESIGN

(Guidance on use of Producer Statements (formerly page 2) is available at www.engineeringnz.org)

ISSUED BY: BTW Company Ltd
(Design Firm)

TO: Mark Joblin
(Owner/Developer)

TO BE SUPPLIED TO: South Taranaki District Council
(Building Consent Authority)

IN RESPECT OF: Foundations for Denby House
(Description of Building Work)

AT: Lot 2 - 300 Denby Road
(Address)

Town/City: Hawera **LOT** 2 **DP** 409490 **SO**
(Address)

We have been engaged by the owner/developer referred to above to provide:

structural engineering design for ribraft floor slab/foundation

(Extent of Engagement)

services in respect of the requirements of Clause(s)..... **B1, B2**.....of the Building Code for:

☐ All or ☒ Part only (as specified in the attachment to this statement), of the proposed building work.

The design carried out by us has been prepared in accordance with:

☒ Compliance Documents issued by the Ministry of Business, Innovation & Employment..... **B1/VM1, B1/VM4**.....or
(verification method/acceptable solution)

☐ Alternative solution as per the attached schedule.....

The proposed building work covered by this producer statement is described on the drawings titled:

Denby House, Lot 2, 300 Denby Road, Hawera.....and numbered 200911-03 sheets 00 to 02.....;
together with the specification, and other documents set out in the schedule attached to this statement.

On behalf of the Design Firm, and subject to:

- (i) Site verification of the following design assumptions Subsoil consistent with BTW Geotechnical Report ref. 200911
(ii) All proprietary products meeting their performance specification requirements;

I believe on reasonable grounds that a) the building, if constructed in accordance with the drawings, specifications, and other documents provided or listed in the attached schedule, will comply with the relevant provisions of the Building Code and that b), the persons who have undertaken the design have the necessary competency to do so. I also recommend the following level of construction monitoring/observation:

☐ CM1 ☒ CM2 ☐ CM3 ☐ CM4 ☐ CM5 (Engineering Categories) or ☐ as per agreement with owner/developer (Architectural)

I, Jesus Icaro..... am: ☒ CPEng 1016227 # ☐ Reg Arch #
(Name of Design Professional) BSc (Civil Eng), CPEng, CMEngNZ,

I am a member of: ☒ Engineering New Zealand ☐ NZIA and hold the following qualifications: IntPE(NZ), APEC Engineer

The Design Firm issuing this statement holds a current policy of Professional Indemnity Insurance no less than \$200,000*.

The Design Firm is a member of ACENZ: ☐

SIGNED BY: Jesus Icaro.....(Signature).....
(Name of Design Professional)

ON BEHALF OF BTW Company Ltd.....Date: 13/01/2021
(Design Firm)

Note: This statement shall only be relied upon by the Building Consent Authority named above. Liability under this statement accrues to the Design Firm only. The total maximum amount of damages payable arising from this statement and all other statements provided to the Building Consent Authority in relation to this building work, whether in contract, tort or otherwise (including negligence), is limited to the sum of \$200,000.*

This form is to accompany **Form 2 of the Building (Forms) Regulations 2004** for the application of a Building Consent.
THIS FORM AND ITS CONDITIONS ARE COPYRIGHT TO ACENZ, ENGINEERING NEW ZEALAND AND NZIA

Brief

Ribraft floor slab/foundation design for light timber framed dwelling

Scope

- Specific engineering design of ribraft floor slab foundation and gravity pile where required.

Soil conditions

- From BTW soil investigation report
- Softer ground encountered at test location A & B, good ground at 1400mm below existing ground level
- Test locations C, D & E complies with good ground

Soil Report

Client: Mark Joblin

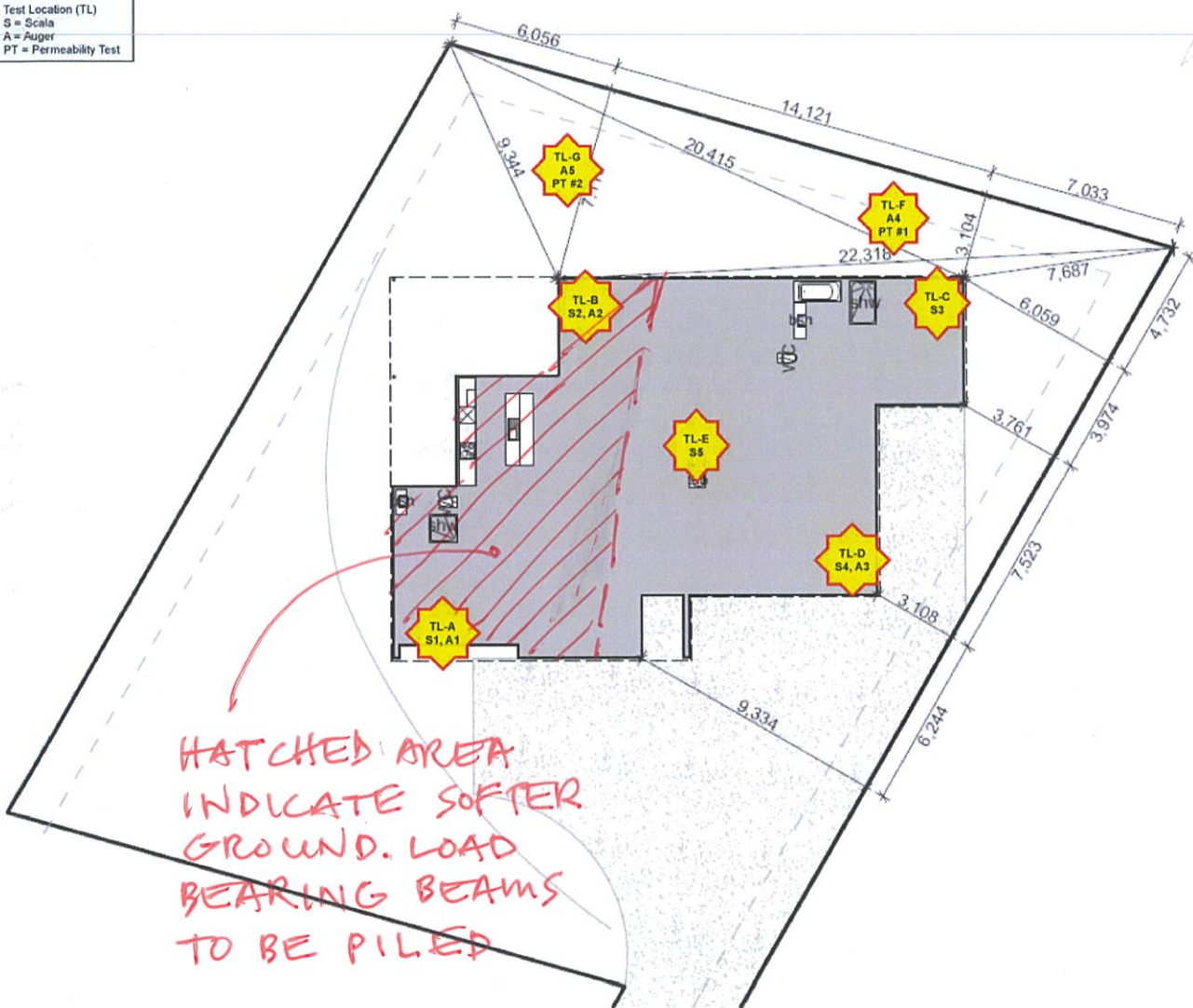
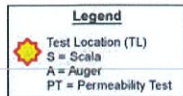
Location: Lot 2 Denby Rd, Hawera

Test Date: 17/09/2020

Description: Geotechnical testing for building platform and wastewater design.
Platform is a rockwall retained area majority of which is fill material

BTW Job No: 200911

Tested By: Calem Smart



Loads

- roof

$$G = 0.45 \text{ kPa}, Q = 0.25 \text{ kPa}$$

- wall

$$G = 0.60 \text{ kPa},$$

- Floor

$$G = 2.04 \text{ kPa}, Q = 1.50 \text{ kPa}$$

- Perimeter/internal load
bearing beam

$$G = 24(0.3)(0.22) = 1.58 \text{ kN/m}$$

- Rib = 0.53 kN/m

Foundation loads

(a) external beam

Gravity load

$$\text{Roof} = 0.45(3.36) = 1.52$$

$$\text{wall} = 0.60(2.5) = 1.50$$

$$\text{floor} = 2.04(1.20) = 2.45$$

$$\text{beam} = 1.58$$

$$G = 7.04 \text{ kN/m}$$

Imposed load

$$f_{\text{roof}} = (0.25)(3.36) = 0.84$$

$$f_{\text{floor}} = (1.50)(1.20) = 1.80$$

$$Q = 2.64 \text{ kN/m}$$

$$W^* = 1.2(7.04) + 1.5(2.64) \\ = 12.41 \text{ kN/m}$$

(b) Internal beam load

	G	Q
roof = $0.45(6.9) = 3.10$	1.72	
wall = $0.60(2.50) = 1.50$	-	
floor = $2.04(1.20) = 2.45$	1.80	
$G = 8.64$	$Q = 3.53$	

$$W^* = 1.2(8.64) + 1.5(3.53) \\ = 15.65 \text{ kN/m (governs)}$$

Bearing check

$$q_d = \frac{15.65}{0.30} = 52 \text{ kPa}$$

$$\phi Q_u = (0.50)(300) = 150 \text{ kPa ok} \checkmark$$

Foundation at Test locations
A & B and close to retaining
wall

→ provide gravity pile to
be founded $> 1400\text{mm}$ BEGL,
say assume 1800mm
minimum. Piles adjacent to
wall to be founded past
the influence line.

Pile load

$$W^* = 15.65 \text{ kN/m (max).}$$

$$\text{spacing} = 2.40\text{m (max)}$$

$$N_L^* = 15.65 (2.40) \\ = 38 \text{ kN}$$

Assume 1.80m long pile (nom.)

$$\text{wt of pile} = 24 \left(\frac{\pi}{4} \right) (0.3)^2 \times 1.80 \\ = 3.05 \text{ kN}$$

factored weight of

$$\text{pile} = (1.2)(3.05) = 3.66 \text{ kN}$$

$$\text{Revised } N_c^* = 38 + 3.66 \\ = 44 \text{ kN}$$

check vertical strength

$$\phi N = \phi (V_{bu} + V_{su}) \rightarrow \text{BI/vm4}$$

$$V_{bu} = (q_{su} + q)(A_b)$$

$$s_u = 80 \text{ kPa (min)}$$

$$q = \gamma L =$$

$$V_{bu} = [(q)(80) + (18)(1.80)] \frac{\pi}{4} (0.3)^2 \\ = 53 \text{ kN}$$

$$V_{su} = \alpha s_u \pi D L$$

$$\alpha = 0.60 \text{ for } s_u = 80 \text{ kPa}$$

$$V_{su} = (0.60)(80)(\pi)(0.30)(1.80) \\ = 72 \text{ kN}$$

$$\phi N = (0.5)(53 + 72) = 63 \text{ kN}$$

$$> N_c^* = 44 \text{ kN} \quad \text{ok } \checkmark$$

6 CONCLUSION AND RECOMMENDATIONS

6.1 Conclusion

The site investigation has concluded the following:

Building Platform Suitability

- It has been determined from the testing carried out that ground conditions meet the strength requirements of NZS3604:2011 / NZS4229:2013 definition of 'Good Ground' at a depth of 1400 mm Below Existing Ground Level (BEGL) – 'any soil or rock capable of permanently withstanding an ultimate bearing capacity of 300 kPa, (i.e. an allowable bearing pressure of 100 kPa using a factor of safety of 3.0)'. NOTE: The fill is not a certified engineered fill, so at depth below the testing done (below 1.7 m) the fill is untested. The suitability of the rock retaining wall has also not been assessed.
- The softer ground conditions encountered in test locations A and B (TL-A and TL-B) with the Scala penetrometer along the retaining wall (western) side of the proposed new dwelling. Due to the proximity of the proposed dwelling to the up to 3 m high rock retaining wall, a deepened foundation on this side of the building is necessary to prevent any surcharge on the wall. It is understood that the proposed dwelling is to move east 1 metre, away from the retaining wall. This is believed to be necessary for constructability and also moves the dwelling away from the zone of influence on the retaining wall.
- The proximity of the building platform to the proposed wastewater disposal field located along the northern boundary of Lot 2, and within 3 m of the proposed building will require that a deepened foundation be designed and constructed for the part of the building within 3 m of the disposal bed.
- The proposed building foundation will require specific engineering design. This may take the form of either a locally deepened concrete foundation within the site, to comply with NZS 4299:2013 / 3604:2011 (timber framed buildings), or potentially a Rib Raft style or similar foundation complying with NZS 4299:2013 / 3604:2011 may be suitable for the site.

Stormwater

- The location of the proposed building platform within Lot 2 has been created in a relatively elevated position by filling and retaining of a level platform near the head of a minor gully. The local topography generally slopes west, and away towards the coast. As the building platform is elevated, the risk of inundation by flooding is low. The proposed building platform is assessed as flood free for construction of a building as per the requirements of section E1 (Surface Water) of the New Zealand Building Code (NZBC) and NZS3604:2011 (timber framed buildings).
- Onsite stormwater from roof run-off will be collected for water supply needs. Any overflow will likely be discharged to ground in accordance with the STDC Infrastructure Development Standard, for onsite stormwater in rural areas. It is understood that the rain water collection tank will be located below the retaining wall. This area is likely to be original ground, therefore onsite soakage from tank overflows will likely be an option in this area. If required to meet the requirements of E1, in the New Zealand Building Code then any soakage holes must maintain a minimum distance of 1.5 metres from any boundaries, 3.0 metres from any structure and 1.0 metre from each other.

Soil Report

Client: Mark Joblin

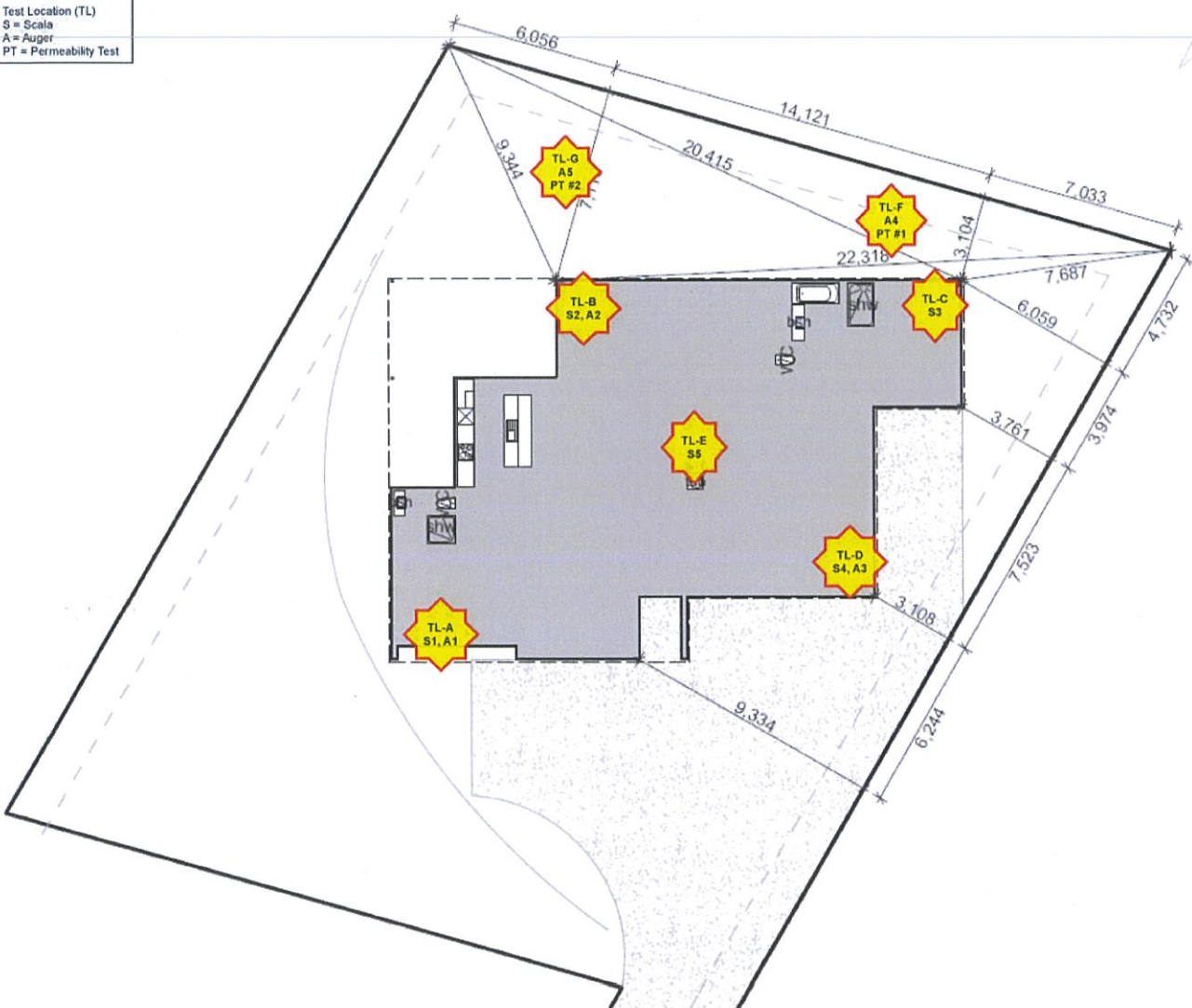
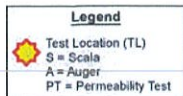
Location: Lot 2 Denby Rd, Hawera

Test Date: 17/09/2020

Description: Geotechnical testing for building platform and wastewater design.
Platform is a rockwall retained area majority of which is fill material

BTW Job No: 200911

Tested By: Calem Smart



Soil Report

Client: Mark Joblin
Location: Lot 2 Denby Rd, Hawera
Test Date: 17/09/2020

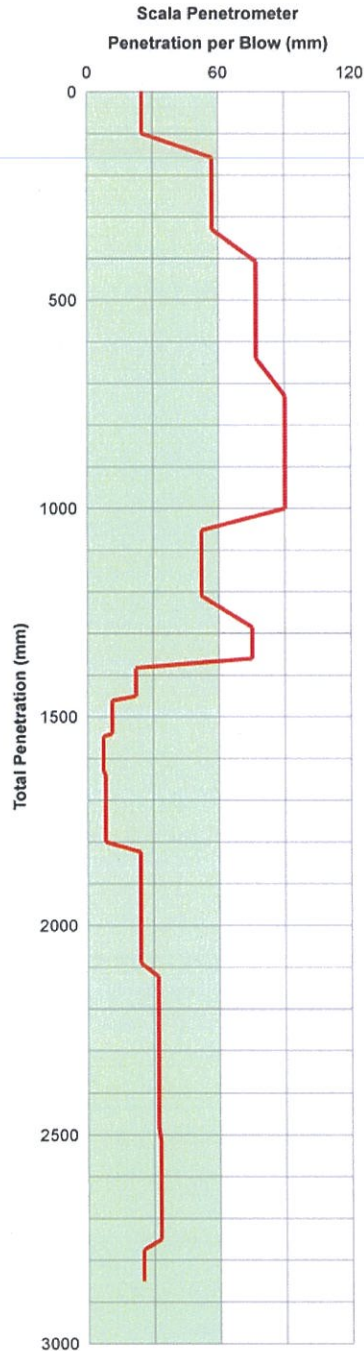
BTW Job No: 200911
Tested By: Calem Smart

Description: Geotechnical testing for building platform and wastewater design.
 Platform is a rockwall retained area majority of which is fill material

Test Location: TL-A
Scala: S1

Test Location: TL-A
Auger: A1

Desc: Water table not encountered, Refusal at 1700 mm



Depth (mm)	Description	Log	Shear Vane kPa
0	FILL, with dry friable light brown sandy silt, with minor fine gravel (Taranaki Ash with some gravels).		
400			
500	FILL, with moist friable light brown sandy silt, with minor fine gravel (Taranaki Ash with some gravels).		97.0
1000	Shear vane remoulded = 36 kPa		89.0
1500			208.0
1700	Refusal		

Soil Report

Client: Mark Joblin
Location: Lot 2 Denby Rd, Hawera
Test Date: 17/09/2020

BTW Job No: 200911
Tested By: Calem Smart

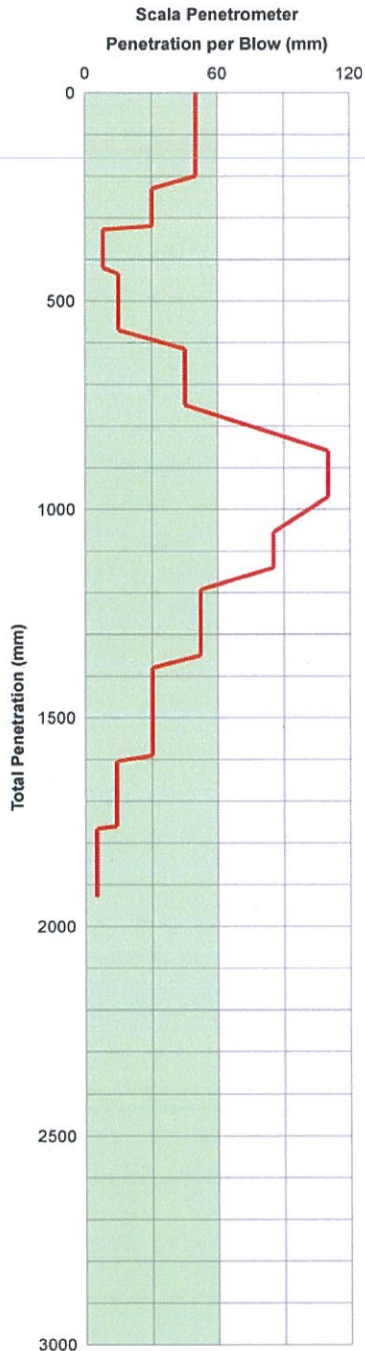
Description: Geotechnical testing for building platform and wastewater design.
 Platform is a rockwall retained area majority of which is fill material

Test Location: TL-B
Scala: S2

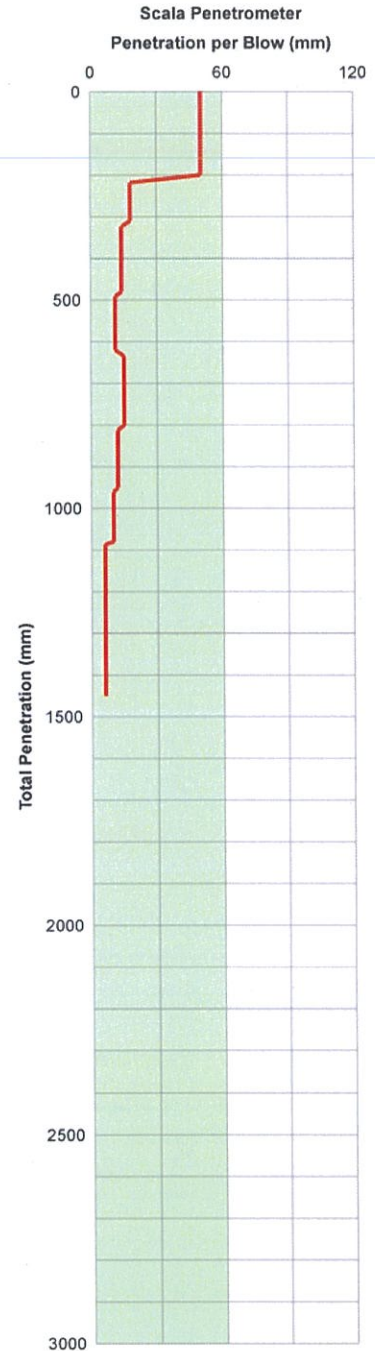
Test Location: TL-B
Auger: A2

Test Location: TL-C
Scala: S3

Desc: Water table not encountered, Refusal at 800 mm



Depth (mm)	Description	Log	Shear Vane kPa
0	FILL, with dry friable light brown sandy silt, with minor clay.		208.0
400	FILL, with dry friable light brown sandy silt, with minor fine gravel (Taranaki Ash with some gravels).		
500			
800	Refusal		



Soil Report

Client: Mark Joblin
Location: Lot 2 Denby Rd, Hawera
Test Date: 17/09/2020

BTW Job No: 200911
Tested By: Calem Smart

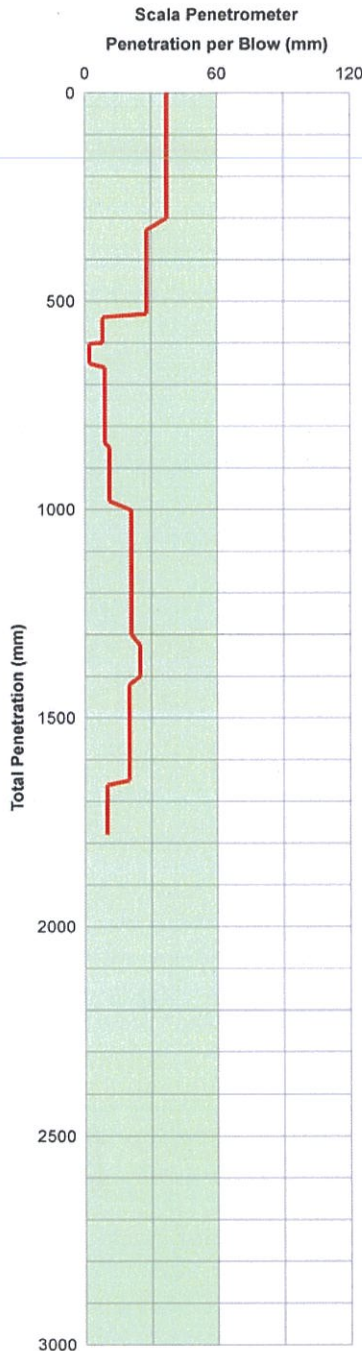
Description: Geotechnical testing for building platform and wastewater design.
 Platform is a rockwall retained area majority of which is fill material

Test Location: TL-D
Scala: S4

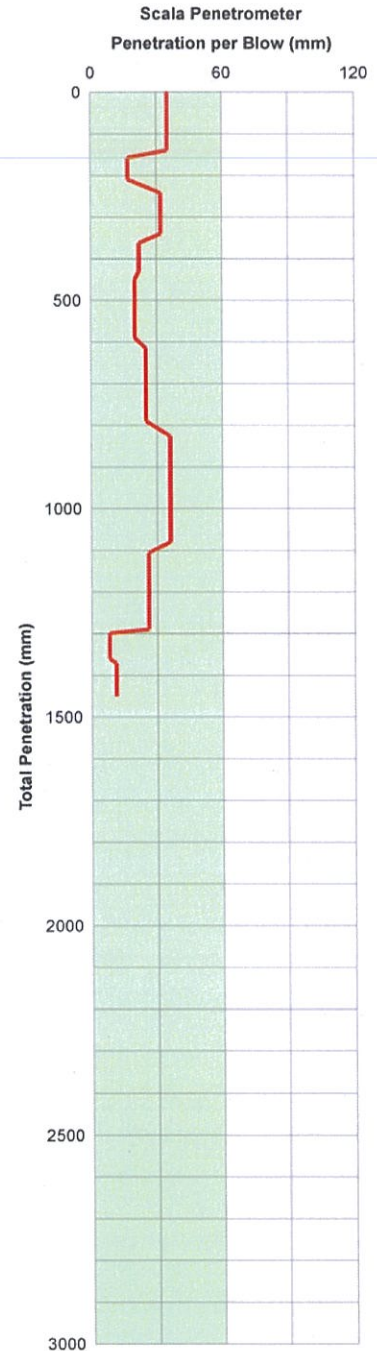
Test Location: TL-D
Auger: A3

Desc: Water table not encountered. Refusal at 800 mm

Test Location: TL-E
Scala: S5



Depth (mm)	Description	Log	Shear Vane kPa
0	FILL, with dry friable light brown clayey silt, with minor fine sand.		194.0
200	FILL, with dry friable greyish brown silty sand, with minor clay.		
500	FILL, with dry friable light brown silty sand, with some clay.		
800	Refusal		



MEMORANDUM FROM LICENSED BUILDING PRACTITIONER: CERTIFICATE OF DESIGN WORK (Form 2A)

Section 30C or 45, Building Act 2004.

1. Where is the building? *Complete all fields*

Street address of building:	
Building consent number:	

2. Who owns the building? *Complete all fields, using N/A where not applicable*

Owner name:		Title: e.g. Mr, Mrs, Ms, Dr	
Owner email address:			
Owner contact numbers:	Ph:	Cell:	
Owner mailing address:			

3. What work have you carried out / supervised? *Complete as appropriate*

I carried out/supervised the following design work that is restricted building work:								
	Design Work that is restricted building work <i>Tick as applicable or enter N/A</i>				Description of restricted building work <i>Complete these fields if the previous column is ticked</i>	Carried out / supervised	Reference to plans / specifications	
	☐	Yes	☐	No				
Primary structure	☐	Yes	☐	No				
Foundations / subfloor framing	☐	Yes	☐	No				
Walls	☐	Yes	☐	No				
Roof	☐	Yes	☐	No				
Columns / beams	☐	Yes	☐	No				
Bracing	☐	Yes	☐	No				
Other	☐	Yes	☐	No				
External moisture management systems	☐	Yes	☐	No				
Damp proofing	☐	Yes	☐	No				
Roof cladding or roof cladding system	☐	Yes	☐	No				
Ventilation system (for example, subfloor or cavity)	☐	Yes	☐	No				
Wall cladding or wall cladding system	☐	Yes	☐	No				
Waterproofing	☐	Yes	☐	No				
Other	☐	Yes	☐	No				
Fire safety systems	☐	Yes	☐	No				

Emergency warning systems, evacuation and fire service operation systems, suppression, control systems, or other	☐	Yes	☐	No					
<i>Note: The design of fire safety systems is only restricted building work when it involves small-to-medium apartment buildings as defined by the Building (Definition of Restricted Building Work) Order 2011.</i>									
Are waivers or modifications of the building code required?						☐	Yes	☐	No
If Yes, please provide details including relevant code clauses									
Clause:					Waiver/modification required:				

4. What are your details? *Complete all fields or enter N/A where not applicable*

Licensed Building Practitioner name:			Licensed Building Practitioner number:	
Registered Architect number:			Chartered Professional Engineer number:	
Mailing address:				
Street address or registered office:				
Contact numbers:	Ph:		Cell:	
Email address:				

5. Declaration

I, _____ [*name of Licensed Building Practitioner*], certify that the design work that is restricted building work recorded on this form—

- (a) complies with the building code; or
- (b) complies with the building code subject to any waiver or modification of the building code recorded on this form.

Signature:	Jared McLeod  Digitally signed by Jared McLeod DN: cn=Jared McLeod, o=McLeod Architecture, ou, email=jared@mcleodarch.com, c=NZ Date: 2020.10.29 23:11:47 +13'00'
Date:	

You can add a digital signature to this document, either using Adobe or your existing digital signature.

Once you have filled out the form, including signatures, please save the application to your computer. You can then submit the application with supporting documentation to your local council.

If you are unsure about what information to include in your application, a guidance document is available ([click here](#)).



RECORD OF TITLE
UNDER LAND TRANSFER ACT 2017
FREEHOLD
Search Copy




R.W. Muir
Registrar-General
of Land

Identifier **434754**
Land Registration District **Taranaki**
Date Issued 08 December 2008

Prior References
312914

Estate Fee Simple
Area 1000 square metres more or less
Legal Description Lot 2 Deposited Plan 409490
Registered Owners
Tara Anne Waite

Interests

Land Covenant in Transfer 7255882.2 - 1.3.2007 at 9:00 am
8019606.1 Consent Notice pursuant to Section 221 Resource Management Act 1991 - 8.12.2008 at 9:00 am
11735573.2 Mortgage to ASB Bank Limited - 28.4.2020 at 9:42 am

