

move.

council records

**13 cargill street
frankleigh park**

2 of 2

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BUILDING FILE

Code No. 97 / 13

Subject Drwg. Const. Addn. Addn

No. Sheets

~~11~~
7922
8321
9056
9771

Permit No

5. 2. 81
7. 8. 81
8. 8. 83

Date

TARANAKI COUNTY COUNCIL

BUILDING PERMIT APPLICATION FORM

PERMIT NO: 7932

To the County Engineer,
P.O. Box 56
NEW PLYMOUTH.

97/13

Sir,

I hereby apply for permission to ERECT A DWELLING
at (House No. and Street) CARGILL PL. for (Owner) MR & MRS V. WILKINSON
of (Address) MR & MRS V. WILKINSON according to locality plan
and detailed plans, elevations, cross-sections and specifications of building
deposited herewith IN DUPLICATE.

SITE: Lot No: 17 D.P. No: 11700 Section No: 048
Block No: IX Survey District: PARTIAL Area: 917 m²

PROPOSED BUILDING: Use - describe proposed purpose for which every part is used
or occupied:

RESIDENTIAL BUILDING ONLY

Area of Ground Floor 92.70 m²

Estimated value of completed building \$ 27,092 (For assessment of Building
Research Levy)

Less value of Plumbing and Drainage \$ 3,100

Balance \$ 23,992 (For assessment of Building
Permit Fee)

Yours faithfully,

399
37

[Signature]
BUILDER

Address: FURZE BUILDERS
P.O. BOX 117 NP.

Date: 4.7.01

Phone No: 057112 147

Note: Fees according to the scale on back hereof must accompany application for
permit. Special plumbing and drainage application forms are required and where
applicable, separate permits must be obtained by the Plumber or Drainlayer before
a building permit will be issued

FOR OFFICE USE

Date received 5-2-81

Fee paid (a) Building Permit. \$ 110-00

(b) Building Research
Levy \$ 38-00

(c) Water Conn. \$

(d) Sewer Conn. \$

(e) Kerb Crossing \$ 160-00

Val. Roll 11671-244-6

Receipt No: 57843

Check

Ordinances

P. & D. Regs

Building Regs

Fire Code

Structural Content

Water Connection

Kerb & Footpath Crossing

Regn. Cert (Blgs over \$20,000)

Remarks

Initials

24D 4722 K. Gaffney

Wilkinson. V.

Large.

Dwg

7922

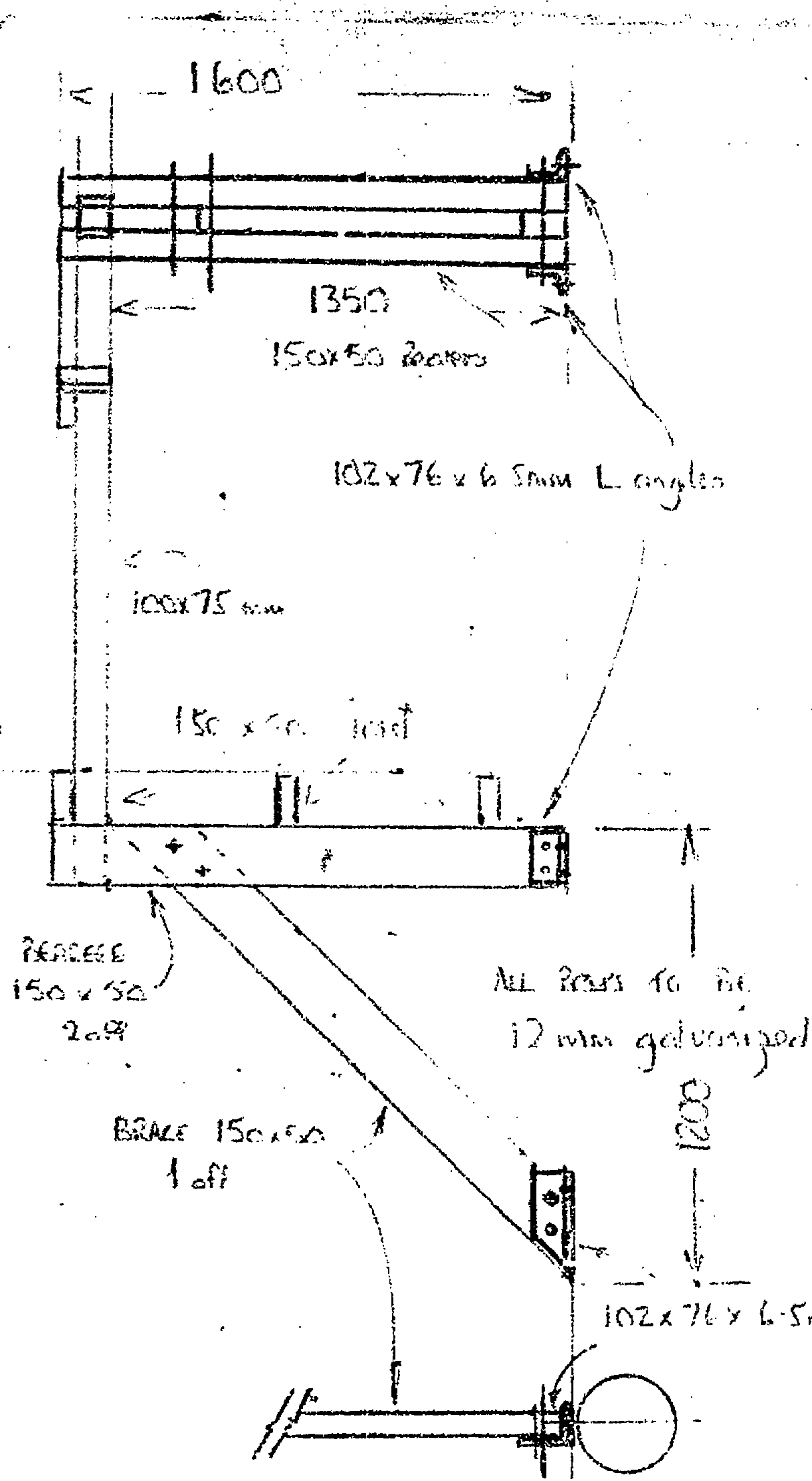
47/13

Cargill,

• Terrace deck to be repaired
from house to allow me
to run off terrace.

- 25/2 Pile holes OK.
3/3 Tiles in beams in place just
17/3 Lockwood of Roof ready to go
30/3. Mastic finished except for kerb
footpath Damage 800 to front.
37/4? Asked Lockwood for Belts to do
50x50 mm washers.
5/5/ washers being put in terrace to

97/13



1m

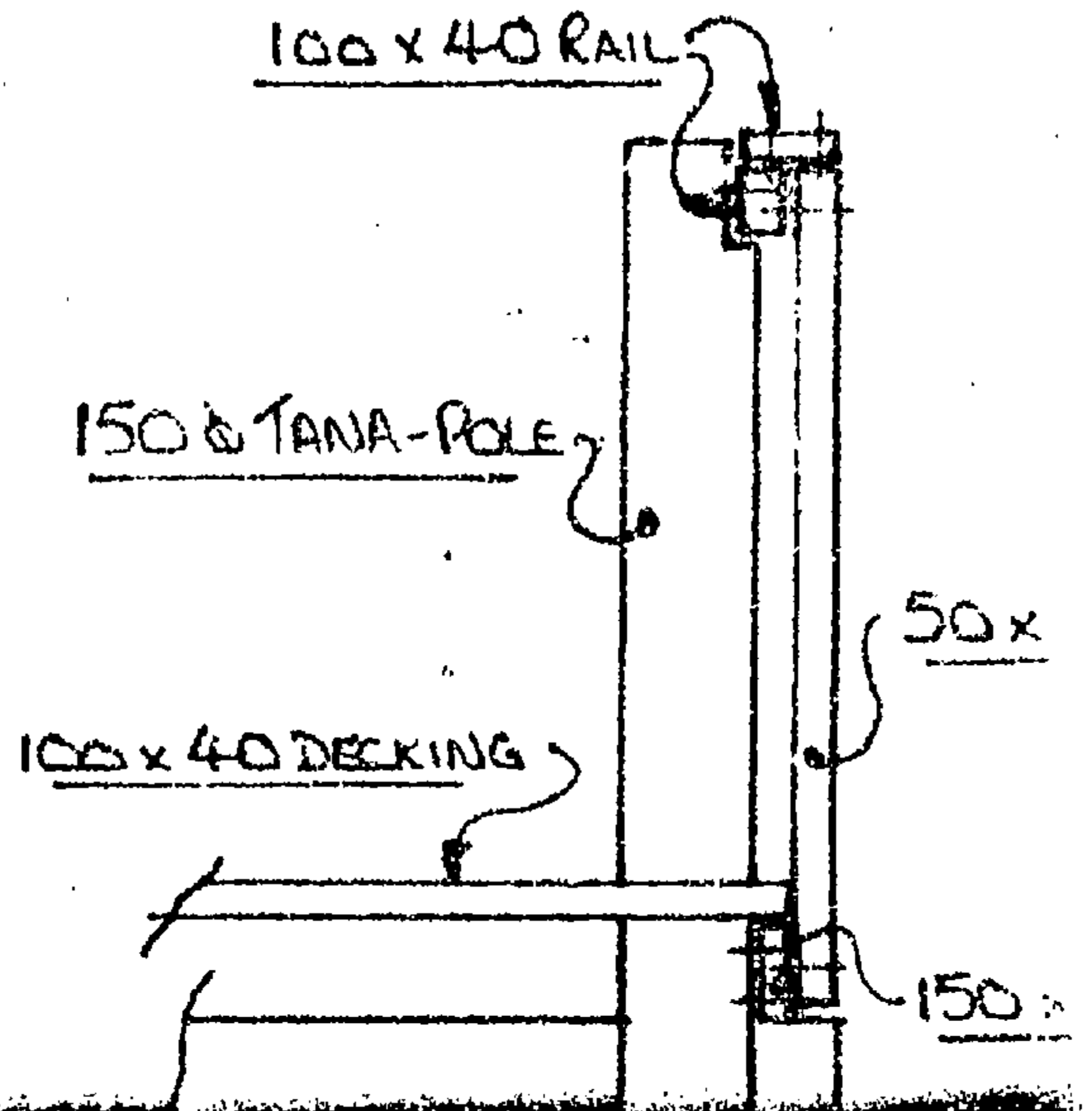
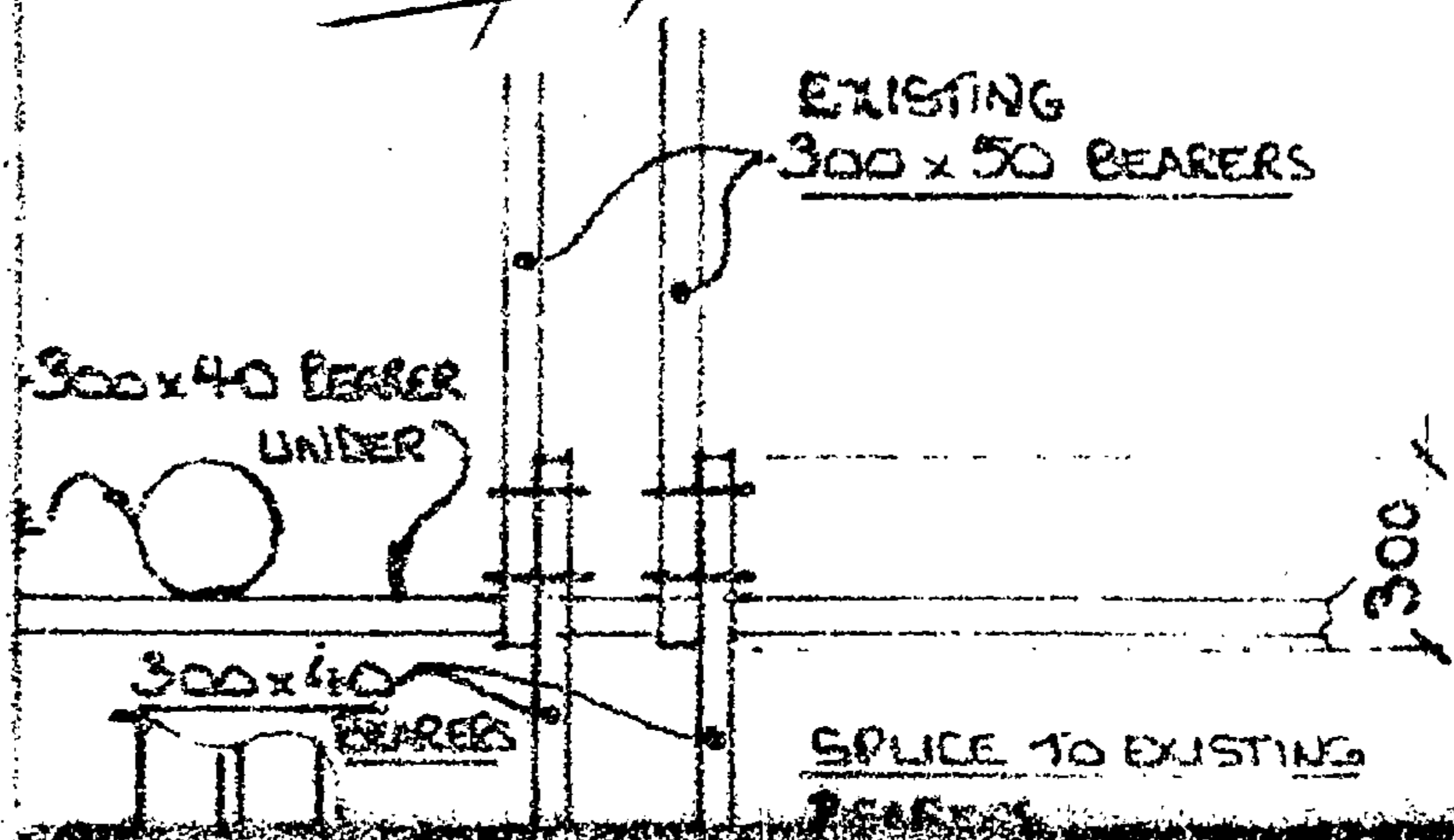
50x40 Post @ 250 centres

100x75 Post x 1 off

12mm Bolts TYPICAL

GATE DETAIL REVISION 1

Mr P. Daw
15/7/81



7922

13

19-5-81

97/13

XXXXXXXXXXXX

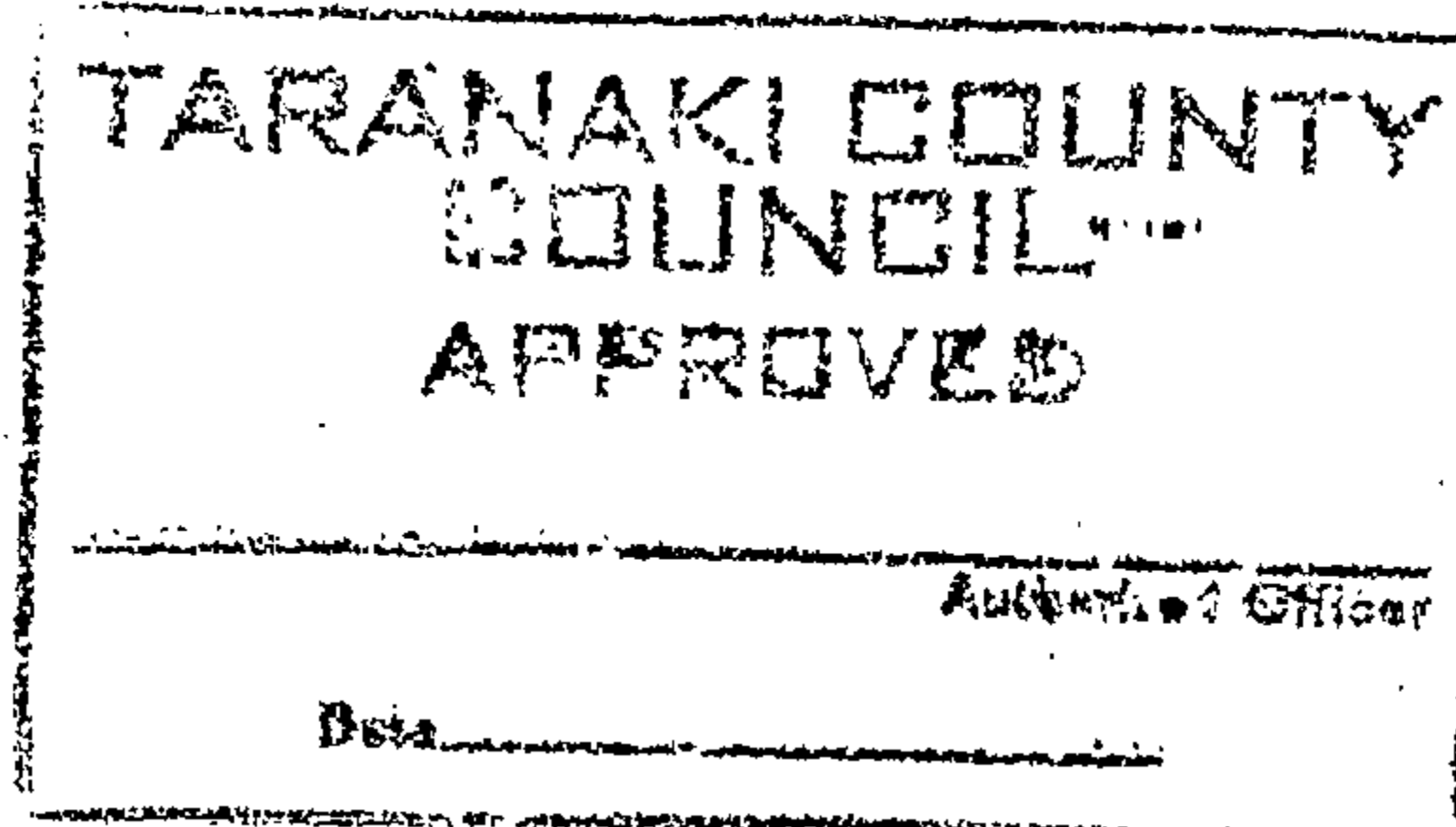
V. WILKONSON

CARGILL PLACE, N.P.

DATE 5-2-81 PRIVATE WORK ACCOUNT NO. 4225
KERB & FOOTPATH CROSSING \$ 160-00 RECEIPT NO. 578148
BUILDING PERMIT 4922 WORKS ORDER NO. 2665
INSPECTED FOR FOOTPATH DAMAGE.

BEFORE BUILDING: DATE N DAMAGE Nil m
AFTER BUILDING : DATE DAMAGE Nil m

LOT 13
D.P. 11768



S P E C I F I C A T I O N

OF

**WORK TO BE DONE AND MATERIALS TO BE USED
IN THE ERECTION AND COMPLETION OF A
LOCKWOOD HOUSE.**

FOR MR & MRS V. Wilkinson

ON LOT 13 D.P. 11768

**ADDRESS: Cargill Place,
NEW PLYMOUTH**

The whole of the works to be carried out by

FURZE BUILDERS LTD:

**CNR HOBSON & DEVON STS.
NEW PLYMOUTH**

TELEPHONE NO: 85316.

—————

PRELIMINARY AND GENERAL:

The Contractor shall provide all labour and materials - supply and maintain the required tools, plant, scaffolding, etc. and generally complete the residence in the best trade manner in accordance with the true intent and meaning of the accompanying drawing and this specification taken separately or collectively.

SUB-CONTRACTORS:

This specification is subdivided into trade sections for the convenience of reference only and it shall not be construed that each trade section is an entire and separate contract. Every trade jointly and separately shall collaborate, wait on, assist and render all necessary assistance to complementary trades.

INSURANCE:

Before commencing this contract, the Contractor will effect an insurance with an approved Company to cover any liability of the Owner for accidents or workmen's compensation for any accidental injury to any worker or death of same in the course of his employment, and the Contractor will maintain such insurance until the completion of the job. The Contractor will also insure the works and keep them similarly insured until they are delivered up, against loss or damage by fire in the joint names of the Owner and Contractor for the full insurable value of the works executed.

COST INCREASES:

Arbitration Court Award increases and/or basic material cost increases in all trades mentioned herein and which are beyond the control of the building contractor, shall be agreed upon as extras to this contract and will be met by the Owner.

PROGRESS PAYMENTS:

Progress payments (unless otherwise agreed upon) shall be as written in the Agreement between Furze Builders Ltd and the Owner.

BY-LAWS, PERMITS, ETC:

The Contractor shall give all usual notices to the Local Authority, arrange for the inspection and testing of all work, apply for building permits and comply with the requirements of all local body by-laws; and N.Z.S.S. 3604. The cost of all building and other permits are included in the contract price. ~~Where a road crossing is called for by the local authority, then any fees arising shall be the responsibility of the Owner, and do not form part of the building contract, this also applies to sewer and water main connections.~~

TRANSPORT:

The cost of transporting Lockwood components and other materials to the site is included in the quotation.

MATERIALS:

Should any of the materials specified for this contract be unprocureable at the time of purchase, negotiations shall be made for the provision of substitutes to allow for work to proceed without delay. Before any such substitutes are included in the contract, the approval of the Owner will be obtained. The price of difference resulting from the inclusion of the substitutes must be agreed upon before the respective work is commenced. All materials placed by the Contractor upon the site of the proposed dwelling; house and works are not incorporated in the said dwelling house and works and all waste materials shall be the property of the Contractor and shall be removed by him within fourteen days after the completion of the said dwelling

SETTING OUT:

The Owner will be responsible for showing the boundary pegs to the Contractor to assist him in siting the building. Siting will be approved by Owner before work commences.

PLAN DIMENSIONS:

Figured dimensions on the contract plans are to be read as indicative only. These dimensions to be superseded at all times by Lockwood Buildings Ltd. detailed cutting drawings which determine dimensions for the practical manufacture of the building. However, any dimension changes by Lockwood Buildings Ltd shall not alter the designed concept of the structure as set out in the contract plans. The right is reserved to alter without prior notice any component parts deemed by Lockwood Buildings Ltd to be structurally inadequate. Any substitutes must, however, conform in overall appearance and design concept to the original component part.

EXTRA WORK:

No extra work may be carried out without the authority of the Owner in writing.

P.C. (PRIME COST) AMOUNTS:

The Owner is reserved the right to select or purchase some items under a P.C. (Prime Cost) sum and the account will be adjusted accordingly on completion. Items thus affected in this Contract are as follows:

Shower Linings P.C. \$140.00

SITE ACCESS:

Metalling of site access suitable for heavy vehicles shall be the responsibility of the Owner if required by Contractor.

CLEARING OF SITE:

The site shall be cleared as required for the building work by the Owner.

GROUND CONDITIONS:

This contract and quotation is based on solid, satisfactory ground conditions, giving adequate bearing qualities exposed down to a depth of 600mm only, at lowest ground level of given house siting. Any alterations from this are to be given in writing to the Contractor before foundations are commenced.

EXCAVATION OF SITE:

The site shall be excavated as required for the building work by the Contractor for which a P.C. sum of \$140.00 has been allowed.

Back filling as required, scoria and/or topsoil shall be the responsibility of the Owner. Scoria and field tile drains shall be the responsibility of the Owner. Any material required for backfilling, and not available on site, shall be supplied by the Owner.

EXTRA ITEMS:

The following works have not been included in the building contract unless specially requested by the client and allowed for in quotation:-

(1) Painting to galvanised roofing.

(2) Painting to all sub floor blockwork, scoria and field tile drains.

C O N C R E T O R

CONCRETE:

All concrete to be composed of 6 parts of approved aggregate to 1 part of cement.

FOUNDATIONS: (Timber floors)

PILES: Foundation shall be pre-cast piles 200 x 200 x 600 set on 300 x 300 x 150 concrete pads, spaced at 1,350cra in rows not more than 1,800 apart to a minimum depth of 450 below ground level.

CONCRETE FLOORS:

Foundation footings shall be continuous concrete - 450 x 300 with 1-16mm rod top and bottom tied at 900cra.

Compacted hardfill blinded with sand over to receive continuous welded polythene sheet D.P.C. concrete floor to be 150mm above lowest ground level at given house sitting poured 100mm thick on D.P.C. 668 H.R.C. reinforcing placed 25mm clear of D.P.C. in floor.

B L O C K L A Y E R

MATERIALS:

Shall be as specified in N.Z.S.S. CHAPTER 6. DIV. 6.2

WORKMANSHIP:

The whole of the blockwork to be properly built and bonded in the best possible manner.

JOINTS:

Block joints are to be neatly struck on each side.

BLOCKWORK:

FOOTINGS for blocks shall be 450 x 300 poured with 2-12mm rods top and bottom or 1-16mm rod top and bottom with stirrups at 900cra. 12mm starters shall be spaced at 800cra and bent at one end and placed in centre of footing and lapped with bottom rods.

BOND BEAMS: Lay 400 x 200 bond beam block on top courses and place 2-12mm rods top and bottom or 1-20mm rod top and bottom and tie at 600cra, or 300cra over lintels. Where needed lay intermediate 200x 200 bond beam in wall and place 1-12mm rod in centre of block. Where joints are required over lap rods by a minimum of 40 diameters and fill blocks with 17.5MPa strength concrete at 28 days.

BLOCKS to be of first quality 200 series as manufactured by Firth Industries or similar quality, to be laid on footings with well mixed mortar, 3 parts sand to 1 part cement.

PAINTING:

Painting of all blockwork is not included in this contract, unless specifically requested by client and included in quote.

CARPENTER & JOINER

Erect in good and workmanlike manner all Lockwood components supplied to the specification of Lockwood Buildings Ltd which are to be read with and form part of this specification. Refer Lockwood Schedule attached for Timber specification.

KITCHEN FITTINGS:

Install and fit to schedule below.

WARDROBE DOORS:

Sliding doors, where indicated on plan, to be flush type ply faced.

Hung wardrobe doors, if applicable, to be framed hardboard faced - paint finish, or ply faced - stain finish to owner's choice.

FURNITURE:

Supply and fit standard Lockwood door and window furniture.

FLOOR SANDING: (Timber Floors Only)

The floors will be given one cut with an electric sander, to joints and rough surfaces only to suitable finish for floor coverings. Fine sanding and varnishing is not included in contract unless specially requested by the client, and allowed for in quotation.

VISOR FIREPLACE:

~~When requested by owner and where allowed for in quotation, install Visor fireplace to manufacturer's specification on fire slab.~~

VISOR FIRESLAB:

A P.C. sum of, has been allowed for the supply and laying of hearth and/or slab to above fireplace. Type and extent of which to be outlined by client when required.

D.P.C.

Place a strip of 3 ply malthoid between all timber and concrete bearing surfaces.

BASE:

Fit 4mm fibrolite to base of house, joined with aluminium or P.V.C.

TIMBER FLOOR:

To be 18mm T.W.P. High Density particle board sheets, securely fixed with 60mm galvanised brads well punched.

INTERIOR JOINERY: Duckett & Marsden - Iaint Quality with turned wooden knobs.

~~Door and drawer fronts to kitchen, bathroom and laundry are to be plain ply faced with black PVC edges, with turned wooden knobs for drawer and door pulls.~~

~~Special type doors and drawer fronts or fittings shall be charged as an extra to the Contract.~~

HARDWARE:

Items such as towel rails, soap holders, toilet roll holders, mirrors etc., are allowed for by way of a P.C. sum of in this Contract. By Owner

SHELVING:

KITCHEN & LAUNDRY CUPBOARDS: One full depth solid fixed centre shelf is allowed for in all over cupboards and under bench cupboards.

PANTRY: ~~Ex 200 x 25 loose laid shelving at approx. 800 cms vertically is allowed for.~~

LINEN CUPBOARDS AND STORE CUPBOARDS: As for pantry but with bottom shelf 800mm from floor level, and intermediate shelves at 400 cms.

WARDROBE: Ex 200 x 25 loose laid shelf boards at 1.700 from floor level. Special shelving requested by client shall be charged as an extra to the contract.

SCHEDULE OF KITCHEN FITTINGS:

- 1 bar back sink unit 2.100 long with 1500 formica sink top with 300mm wide formica bar top, 2 doors, 4 drawers.
- 2 450mm wide stove return dressers with formica tops and 1 door each.
- 1 1400 long dresser unit, formica top, 3 doors,
- 1 standard tub cupboard
- 1 overcupboard 2.100 long x .600 high with 4 doors.
- 1 vanity unit .450 deep x .800 long, 2 doors, formica top

SCHEDULE OF OTHER INCLUSIONS:

- 100mm fibreglass blanket to total roof area
- sisalation to underfloor area
- Rear deck only as plan.

E L E C T R I C I A N

GENERAL:

All installations shall be made in a sound, safe, practical and workmanlike manner in conformity with modern practice, in accordance with the Wiring Regulations, 1935, and to the satisfaction of the Local Authority wherever possible, all switches and plugs shall be flush type, and all cables shall be C.M.A. brand or similar quality.

MAINS:

Install service mains to switchboard as directed. Allowance only has been made in this contract for P.C. sum \$75 for underground mains.

SWITCHBOARD:

Fix switchboard where directed by local authority, complete with all necessary fittings and enclosed in metal.

FUSE BOARD:

~~No interior fuse board is allowed for in this contract. However, where it is required, either by client or lending authority, it shall be charged as an extra to the contract.~~

LIGHTS:

Provide light points complete with lamps and shades at positions as shown on electrical plan.

POWER POINTS:

Provide power points at positions as shown on electrical plan.
(for number of light and power points refer schedule attached)

ELECTRIC RANGE:

Install range to instructions with control switch within easy reach of range. Type as indicated on fitting schedule.

HOT WATER:

Provide and connect element and thermostat to hot water cylinder, where applicable.

LIGHT FITTINGS:

Are not included in the contract price. The contract allows for standard plastic bayonet fittings and shades, complete with bulb. If the client wishes to have the electrician connect their fittings, negotiations must be made with the contractor at an early stage. Payment for the same will be made separately and not form part of the contract.

ELECTRIC FAN, ETC:

Where listed on fitting schedule, provide and fix.

ELECTRIC HEATING:

Where listed on fitting schedule, provide and fix.

EXTRA POINTS:

When a client so desires, extra light and power outlets included above the number quoted for, shall be charged extra at the flat rate of \$22.00.. per power outlet, and \$22.50.... per lighting outlet.

TTING SCHEDULE:

13 light outlets
1 two-way switch set to passage
7 single power outlets
2 double power outlets
2 exterior water tight ball fittings 150mm
1 meter board
1 fuse board
Wire in H.W.C. and oven

Range supplied by owner.

DRAINAGE & ROOFER

The whole of the drainage work shall be carried out in accordance with the by-laws of the local authority, and to the satisfaction of its inspectors. Provide all fittings necessary to complete the work and lay all drains. Connect up vent pipes fixed by the Plumber.

A P.C. SUM. S.P.E. RATE. 10... is allowed for soak holes to a distance of 3m from house. All extra length shall be charged for at ruling rates.

A P.C. SUM. S.P.E. RATE. 10... is allowed for septic tank to a distance of 3m from house. All extra length shall be charged for at ruling rates.

ROOFING: Popes rib-line.

GALVANISED IRON - CORRUGATED-GALVANISED LONG-RUN:

Fit 26 gauge corrugated iron roofing, complete with all ridges, hips and verges. 200mm end laps and 1½ corrugation side laps. Paint all laps before fixing and fix roof with lead-headed roofing nails at top and bottom of sheets and at 800 centres. Fit 400mm lead-edged ridging with flashings beaten well down into corrugations and 150mm end laps.

OR-DECRAMASTIC-TILES:

Fix Decramastic tiles, barge capping and ridging with 60mm flathead galvanised nails to manufacturer's specification.

Colour to be.

TRAY SECTION IRON ROOFING:

Fix tray section roof clip or nail type including all necessary flashings, barge, ridging or metal fins all to manufacturer's specification.

P L U M B I N G

PLUMBER:

All work shall be carried out in accordance with the drawings, specifications, local authority and public health regulations. All materials shall be the best of their respective kinds. Approved New Zealand manufactured materials are to be used wherever possible. Water pipes and tubes shall be set out in straight runs of even gradients, avoiding all places where air locks are likely to occur. Copper tubing is to be secured in position by copper straps.

ROOFS:

Flash ends of ridging. Flash and over flash all vents, chimneys and other upstands through roof with lead. Valleys shall be 300mm wide, with raised edges, 150mm end laps finished well down into spouting.

SPOUTING AND DOWNPIPES:

Fix galvanised spouting, to drain to outlets, with 100mm lapped, soldered joints and all necessary stop ends, mitred returns and outlets. Support spouting on galvanised brackets at 1m centres. Downpipes shall be 75mm diameter 24 gauge g.i. seamed and welled with slipped joints, angles and shoes strapped to walls with 24 gauge galvanised iron straps fixed with galvanised screws.

OR: Fix P.V.C. Marley spoutings and downpipes to manufacturers recommendations.

WASTES:

Join W.C. pan to drain above the level of the floor with a spun yarn ring sealed with mastic or other approved material which will provide a non-rigid gas tight joint. Fit all basins with 31mm P.V.C. traps and waste pipe to floor level. All other traps and wastes shall be copper or P.V.C.

COLD WATER SUPPLY:

Lay cold water supply from the supply point in Alkathene pipe buried in ground with cemented joints.

HOT WATER:

Provide and fix....180.....litre.....standard.....pressure hot water cylinder, complete with lagging and g.i. casing and lagged copper supply to bath, sink, tubs, basin and shower.

TAPS:

All taps shall be chromium plated brass streamlined pattern of approved manufacture, as listed in schedule, marked 'Hot and cold' except polished brass cocks with screw ruff for hose connections. Faucett over kitchen sink, and any other special taps not allowed for unless specially requested and allowed for in quotation.

SANITARY FITTINGS:

Sanitary drainage to be complete with all necessary drains and septic tank, if necessary, and allowed for in quotation.

PLUMBING SCHEDULE:

Marley P.V.C. spouting and downpipes
1 dux W.C. with double flap seat - white
180L standard electric H.W.C.
1 white Pacific clearlite bath
1 white clearlite VB9 basin
Narrow s/s tub
Feltonmix shower mixer over bath
Harmony taps to kitchen and bathroom
2 hose taps
2 soakholes to a distance of 3m from house connected to
downpipes with novaflow
standard taps over tub.
Sewage and water main to bedroom 3 corner of house.
From there to point of connection at ruling rates.

P A I N T E R

PRELIMINARY:

All materials shall be the best of their type available. Workman-
ship shall be to a good standard. Colours to Owners choice to be selected
from samples provided by the Painting Contractor.

PREPARATION:

All reasonable care shall be taken to clean down surfaces to be
varnished and stained, so that all dirt marks, and imperfections are re-
moved to a reasonable standard.

INTERIOR WORK:

Varnishing - 1st Coat. All interior wall and ceiling surfaces to
receive 1 coat flat varnish Polyurethane. Any thinning of varnish is
allowable only to a workable consistency, otherwise straight from the tin
application is approved.

Stopping - Stop with Linseed oil putty, tinted to appropriate
shade, all open knots or other imperfections.

Varnishing - 2nd Coat. All surfaces as above to receive coat of
satin..... finish Polyurethane.

Varnishing - 3rd Coat. Applicable only to service rooms satin.....
finish Polyurethane.

Other Surfaces - Interior doors - 1st and 2nd coat of varnish as
above - (optional alternative - two coats satin enamel paint to Owners
choice). Door frames, windows - two coats as above (colour to Owners
selection).

Kitchen and Other Joinery Units - varnished areas to be 3 coat
work as interior wall surfaces. Painted surfaces - seal with 'all seal'
or sealer/undercoat, stop imperfections with putty and follow with 2nd and
3rd coats of satin enamel (colours to Owners selection.)

Note: Polyurethaning interiors of all joinery units, cupboards and wardrobes
are not allowed for in this contract.

Staining. If requested by the Owner, walls and door st is to be discussed with the Building Supervisor in respect of additional costs. Method - mix with 1st coat varnish, Resene tinters.

Beams Resene oil-stain may be applied to these depending on the depth of stain required.

OIL-STAIN WALLS.

First coat is to be Resene oil-stain, any open knot holes are to be stopped with Linseed oil putty. (N.B. Large or loose knots are removed at the factory and an epoxy filler is applied). Final coat is to be Resene oil-stain.

Sarking Soffits, Carports, or unsheathed Porch walls.

Apply 3 coats of clear Anti-fungus varnish.

Feature Entrance Doors (Panelled or Solid Flush)

If a varnished effect is required, apply on hanging door 1 coat Resene oil (clear or stained) 2nd coat at end of Painting Contract.

Decks, Porches, Screens, Baseboards, Posts.

Decking floors, deck sub timbers, handrails, screens, baseboards, (all Tanalith Treated Timbers) to receive 1 coat of Resene oil-stain during erection and 1 coat at completion of Painting Contract. (N.B. When required, handrail top rail only may be finished with white).

EXTRA ITEMS NOT INCLUDED IN BUILDING CONTRACT UNLESS STATED SO IN THE QUOTATION, AND REQUESTED BY CLIENT IN WRITING.

Structural Steelwork

After fabrication and before erection, prime with 'Rust Anode' - after erection apply 2nd and final coat as exterior work.

Galvanised Roofs, Spouting and Downpipes.

Recommended time for painting, approx. 6 weeks after erection.

Method. Hose roof well to remove Zinc salts (Handling greases will have dissipated in 6 weeks) and apply 'Aquaproof' Acrylic metal etch paint, a greater protection is obtained by Aquaproof with Micaceous iron oxide content. Inside spoutings apply two coats 'Aquaproof' Micaceous iron oxide.

Timber Floors

Fine sand floor, apply 1 coat Resene floor varnish (pure Polyurethane, moisture catalyst). Stop nail holes with appropriately tinted putty, and apply two further coats.

SCHEDULE OF MATERIALS:

<u>Interior Varnishes</u>	-	Resene polyurethane, satin, gloss, flat.
<u>Interior Stains</u>	-	Resene colour wood or timber stain.
<u>Interior Paints</u>	-	Resene super gloss interior/exterior enamel.
<u>Exterior Paints</u>	-	As above.
<u>Exterior Oil</u>	-	Resene timber stain.

TYPE 62

STANDARD SPECIFICATION FOR LOCKWOOD COMPONENTS 1-16

97/13

1. BEARERS: Ex 100mm x 75mm BORIC treated Radiata Pine (No. 1 framing grade)
2. FLOOR JOISTS: Gauged ex 150 x 50mm BORIC treated Radiata Pine (No. 1 framing grade)
3. FLOORING: 21mm thick, high density particle board, treated for weather resistance. If particle board is unavailable, other suitable materials shall be supplied as a substitute.
4. ALUMINIUM ALLOY INTERLOCKING EXTRUSIONS (refer to diagram), incorporating P.V.C. "Thermo-joint" and finished with "White thermo-setting" polyester resin coating, electrostatically applied.
5. EXTERIOR WALL PLANKS:
 - (a) SUPERLAMINA ALUMINIUM SHEATHED 62mm thick constructed from two 200mm x 38mm or one 200mm x 50mm and one 200mm x 25mm Lockwood grade, BORIC treated, kiln dried, Radiata Pine Boards finger jointed where necessary to eliminate major timber defects, laminated with UREA-FORMALDEHYDE, water resistant adhesive or Crosslinked P.V.A. waterproof adhesive then sheathed with aluminium with a white baked Acrylic gloss finish, consistency of colour subject to manufacturing processes, guaranteed for 10 years against chipping, peeling and blistering. The interior of the board is sealed with a water-repellent solution.
 - (b) SUPERLAMINA REDWOOD. 62mm thick constructed from one 200 x 40 BORIC treated and one 200 x 25 Lockwood grade boards, Tanalith treated kiln dried Radiata Pine, finger jointed where necessary to eliminate major timber defects, with Urea-Formaldehyde water resistant adhesive, and one 200 x 10 California Redwood clear heart grade, kiln dried, laminated with Resorcinol waterproof adhesive. The board is dipped in a water repellent solution after dressing and pre-cutting.
 - (c) SUPERLAMINA PINE: 62mm thick constructed from one 200 x 40mm BORIC treated and one 200 x 40mm TANALITH treated Kiln Dried Lockwood grade Radiata Pine boards, finger jointed where necessary to eliminate major timber defects, laminated with urea-Formaldehyde water resistant adhesive.
6. INTERIOR WALLS: Ex 200mm x 50mm (43mm) thick Lockwood grade Radiata Pine, BORIC treated, finger jointed where necessary to eliminate major timber defects, dipped after dressing in a water repellent solution. Where interior walls are exposed to the outside, they shall be lined with an approved material such as vertical shiplap TANALITH treated timber.
7. JOINERY: Aluminium joinery coated with thermo-setting polyester resin with added Olive pigmentation electrostatically applied to a minimum specification of 40 microns on all visible surfaces, complete with timber sub-frame of ex 100mm x 50mm finger jointed TANALITH treated, kiln dried, Radiata Pine, weather primed. Double glazing optional. All window glass 4mm thick. Doors glass 5.5mm thick drawn plate.
 - (a) Aluminium awning hung sashes glazed with a vinyl glazing strip.
 - (b) Exterior outward hanging doors: Aluminium door and frame complete with hardware.
 - (c) Exterior sliding doors: either panel sliding. Available with window combinations as illustrated, complete with hardware.
 - (d) Exterior outward hanging doors: Cedar or TANALITH treated finger jointed pine primed complete with hardware pre-hung in timber sub-frame ex 150mm x 50mm TANALITH treated, kiln dried, Radiata Pine, weather primed.
 - (e) Interior doors: Flush, varnish quality, ready hung in a 100mm x 50mm BORIC treated, Radiata Pine, finger jointed, weather primed frame. Hardware and furniture fitted.
 - (f) Wardrobe doors (where indicated on plan):-
Hanging: Pine framed core sheathed with tempered hardboard hung in an ex 100mm x 50mm kiln dried Radiata Pine frame.
Sliding: As in (e) above. Fitted to approved track.
8. ROOF SUPPORTING BEAMS:
 - Type A: Finished 301 x 88 being 7 laminate ex 100mm x 50mm BORIC treated finger jointed Radiata Pine. Spans up to 6.2m with lightweight roofing.
 - Type B: Finished 258 x 88 being 6 laminate ex 100mm x 50mm BORIC treated finger jointed Radiata Pine. Spans up to 5.4m with lightweight roofing.
 - Type C: Finished 215 x 88 being 5 laminate ex 100mm x 50mm BORIC treated finger jointed Radiata Pine. Spans up to 4.2m with lightweight roofing.
 - Type H: Finished 185 x 88 being 3 vertical laminates ex 200 x 40 BORIC treated finger jointed Radiata Pine spans up to 3.4 metres with lightweight roofings.
9. FULL ROOF SARKING (decking): Same as interior walls (refer to No. 6) or when Pinus Radiata species is not available, Douglas Fir or other suitable substitute will be used, correctly treated, kiln dried, dipped after dressing in a water repellent solution.
10. BARGE BOARDS: Ex 200mm x 40mm or 250mm x 40mm merchant grade TANALITH treated kiln dried Radiata Pine (finger jointed where necessary to eliminate major timber defects).
11. SPOUTING BOARDS: Ex 150mm x 25mm or 200mm x 25mm Rimu or Pine TANALITH treated finger jointed and 75mm x 50mm dressing grade TANALITH dried Radiata Pine finger jointed.
12. BUILDING PAPER:
13. (a) ROOF BATTENS: 50mm x 40mm TANALITH or BORIC treated Radiata Pine (random lengths.)
(b) UNDERPURLINS: 50mm x 40mm TANALITH or BORIC treated Radiata Pine (random lengths.)
14. FINISHING MATERIALS: Scotia and skirting kiln dried Radiata Pine or O.B. Rimu finger jointed, depending on timber availability, cappings kiln dried Radiata Pine, flashing baseboards kiln dried, dressing grade, TANALITH treated Radiata Pine, or B type Rimu, or other approved finger jointed material depending upon availability. Shelving kiln dried Radiata Pine finger jointed. Wardrobe rails 19mm galvanised pipe.
15. PILLARS & STIFFENERS: Finished 86mm x 86mm square, 3 ex 100mm x 40mm or 5 ex 100mm x 25mm finger jointed laminates, BORON, BOLIDEN or TANALITH treated Radiata Pine.
16. TIE RODS & CAULKING COMPOUNDS.

For concrete floor construction, delete Components 1, 2 and 3.

Specification and design subject to alteration without notice



Lockwood Buildings Ltd

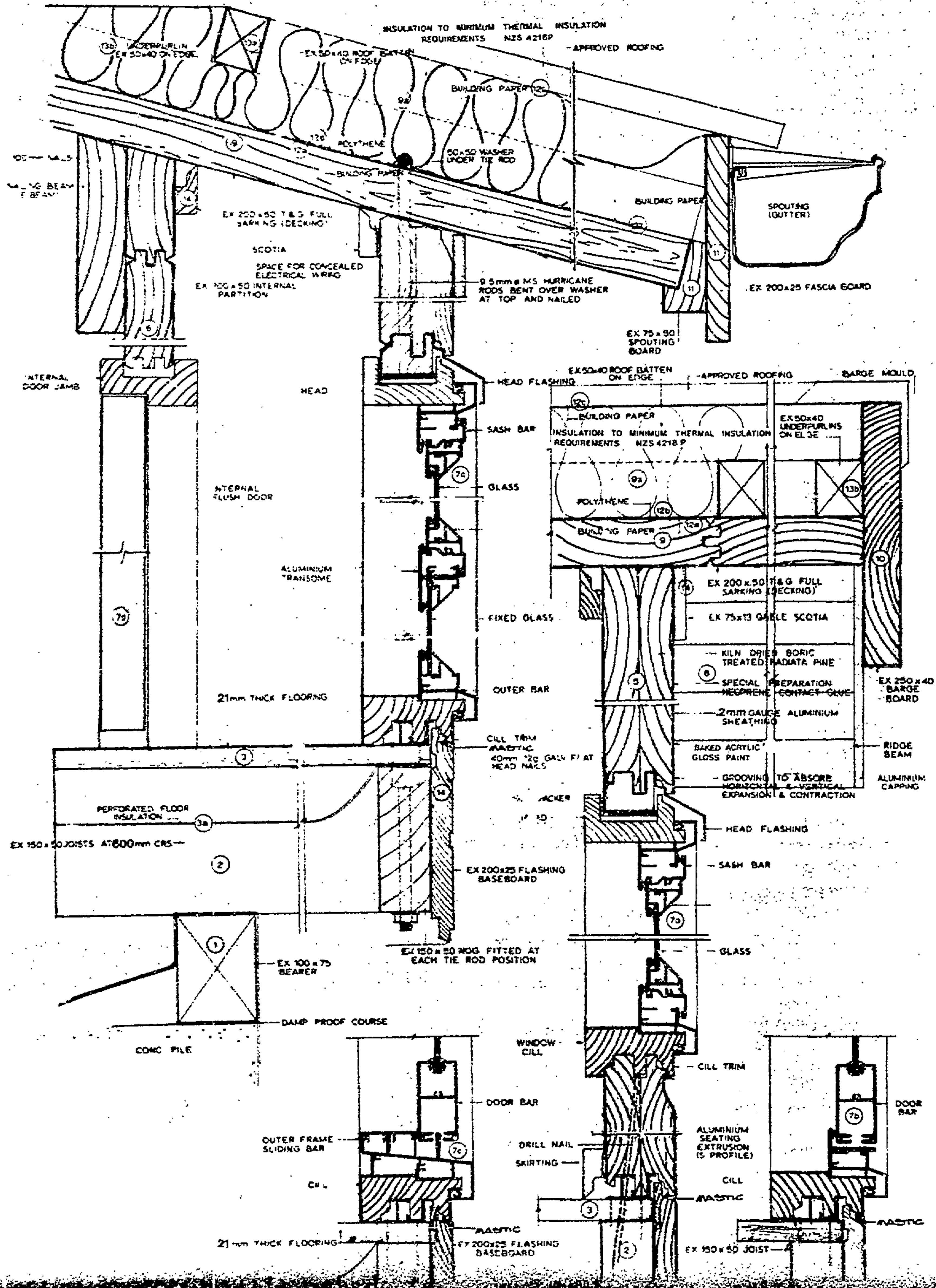
Russell Rd. Rotorua, N.Z. P.O. Box 1349 Phone 85 184 Telegrams: "Lockwall" Telex "Lockwal N.Z. 21838"

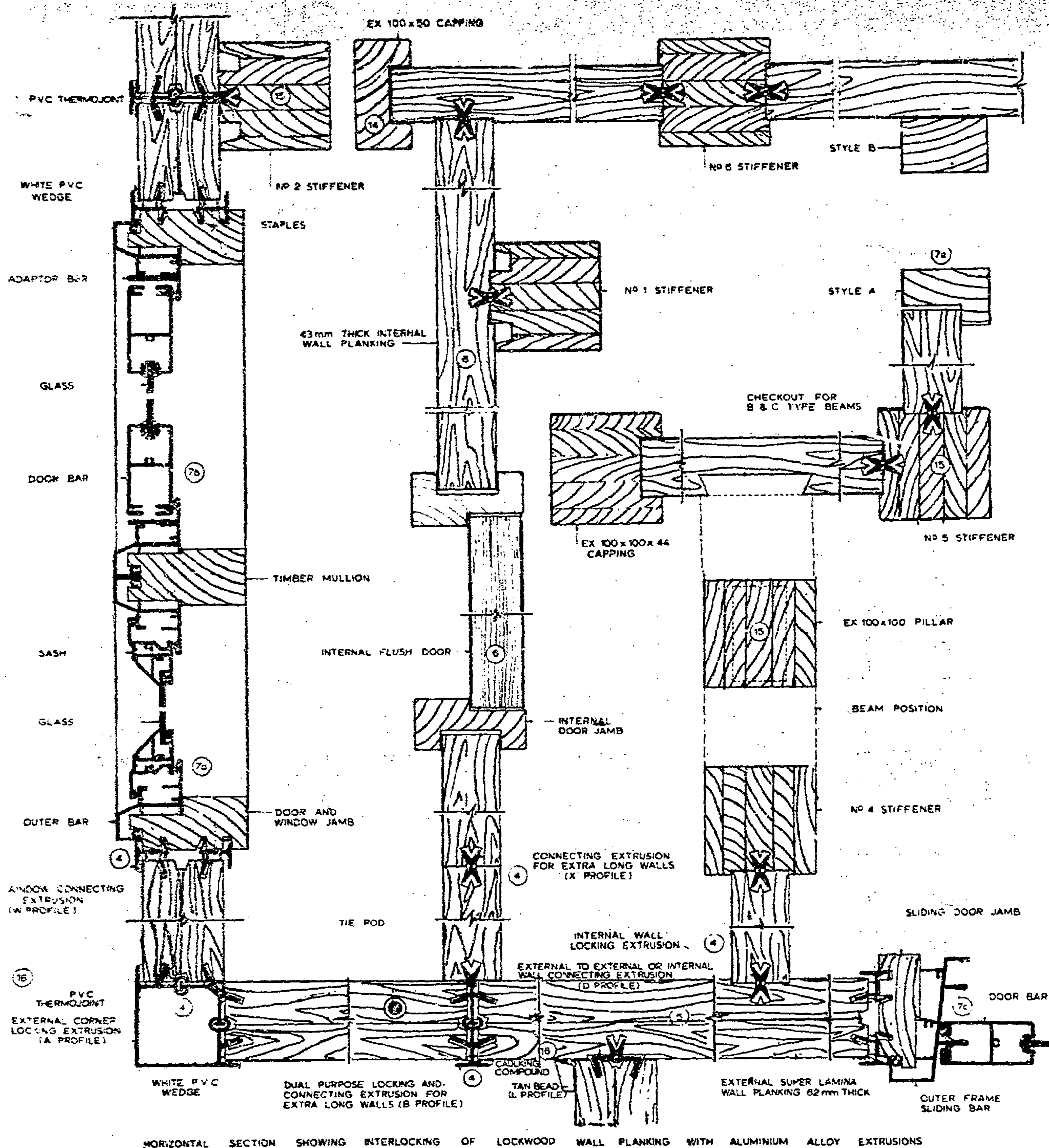
BORIC Treatment is a method of timber preservation, applied by the Diffusion process containing Boron Compounds to the New Zealand Timber Preservation Authority Classification C8. This method of timber preservation is a protection against timber destroying fungus and insect attack in areas other than the Tropical countries where white ants are found.

TANALITH Treatment is a multi-sale timber preservative, applied under pressure to the timbers to comply with the New Zealand Timber Preservation Authority Specification C7. This method of treatment, besides preventing fungal decay, protects the timbers against attacks of white ant and timber destroying insects as found in Tropical countries.

In general, the quality of material and standard finish for Lockwood components will be within the limits of the Specification. Lockwood Buildings Ltd as manufacturers, do not deal directly with the public but distribute to appointed contractors on a vendor to purchaser basis. Lockwood Buildings Limited's areas of responsibility for structural soundness and performance is limited to the components incorporated in the building. Due to changes in atmospheric conditions movement could occur after erection; this has been allowed for in the design of the system.

Please ask to see details on our full range of products "Type 43," "Type 62," "Type 96" and "Vertical Partitioning."





HORIZONTAL SECTION SHOWING INTERLOCKING OF LOCKWOOD WALL PLANKING WITH ALUMINIUM ALLOY EXTRUSIONS

These are benefits normally included in total contract prices for "Lockwood" buildings, at no extra cost:

1. Lockwood solid wall construction;
2. Aluminium sheathing of external walls (for maximum durability): Paint film guaranteed for 10 years against chipping, peeling and blistering.*
3. Reduced construction time.
4. Internal walls of natural timber with synthetic varnish finish with expected durability of 25 years
5. Sloping or flat ceilings with exposed beams and "spacious living" design;
6. Earthquake / Cyclone Tested (Test results available on request).
7. Special Lockwood gable frame with glazing to ceiling height.

Use the Lockwood method for any building. The Lockwood system is ideally suited for all kinds and sizes of buildings.

DOMESTIC: New homes (including holiday houses, farm cottages, etc.) from 20 to 90 sq. metres and over. **COMMERCIAL:** Flats, motels, offices, shops, tea-rooms, restaurants, etc. **INSTITUTIONAL:** Halls, school classrooms, club rooms, churches, ski lodges, etc. **VERTICAL PARTITIONING:**

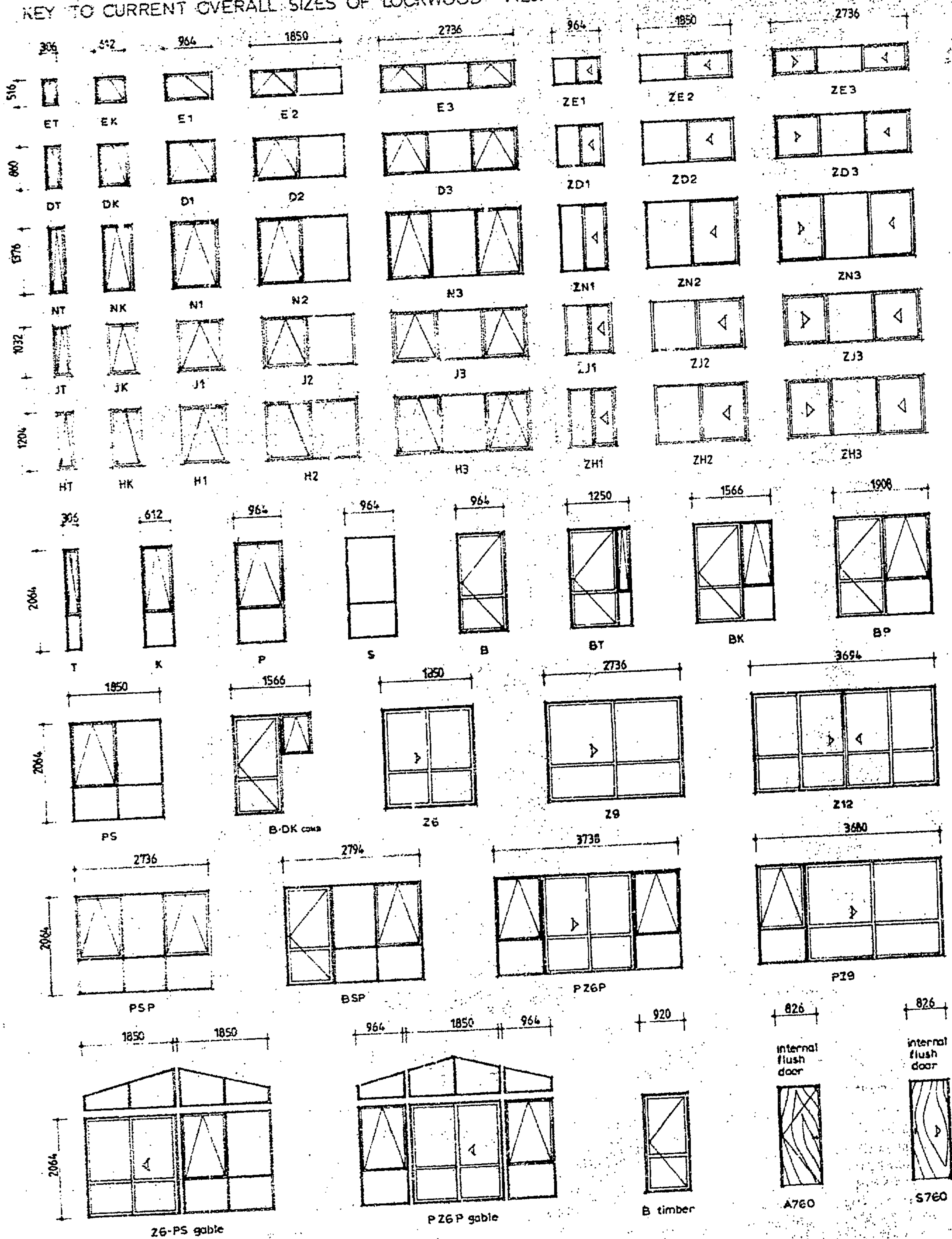
Non-modular for commercial use - Lockwood finger jointed grade Radiata Pine, Boric treated.

* Conditional on washing down at least twice yearly.

"PATENTED OR PATENT APPLICATIONS PENDING AS FOLLOWS"

New Zealand No. 147111 (1974) 164265-164268-164269-127724-184453-184995-187344-187445-187758 Sweden No. 7812657 Canada No. 517501-842461-963463-240775 Great Britain No. 46113/76-1115645 United States No. 3,802,463-3,802,464-3,802,465-3,802,466 Australia No. 47214-419774 (3280275 Vertical Partitioning) Japan No. 154578/78 Germany No. P28543604-G78372697 Norway No. 784209 Belgium No. 154578/78

KEY TO CURRENT OVERALL SIZES OF LOCKWOOD ALUMINIUM JOINERY



When coding door and window requirements:

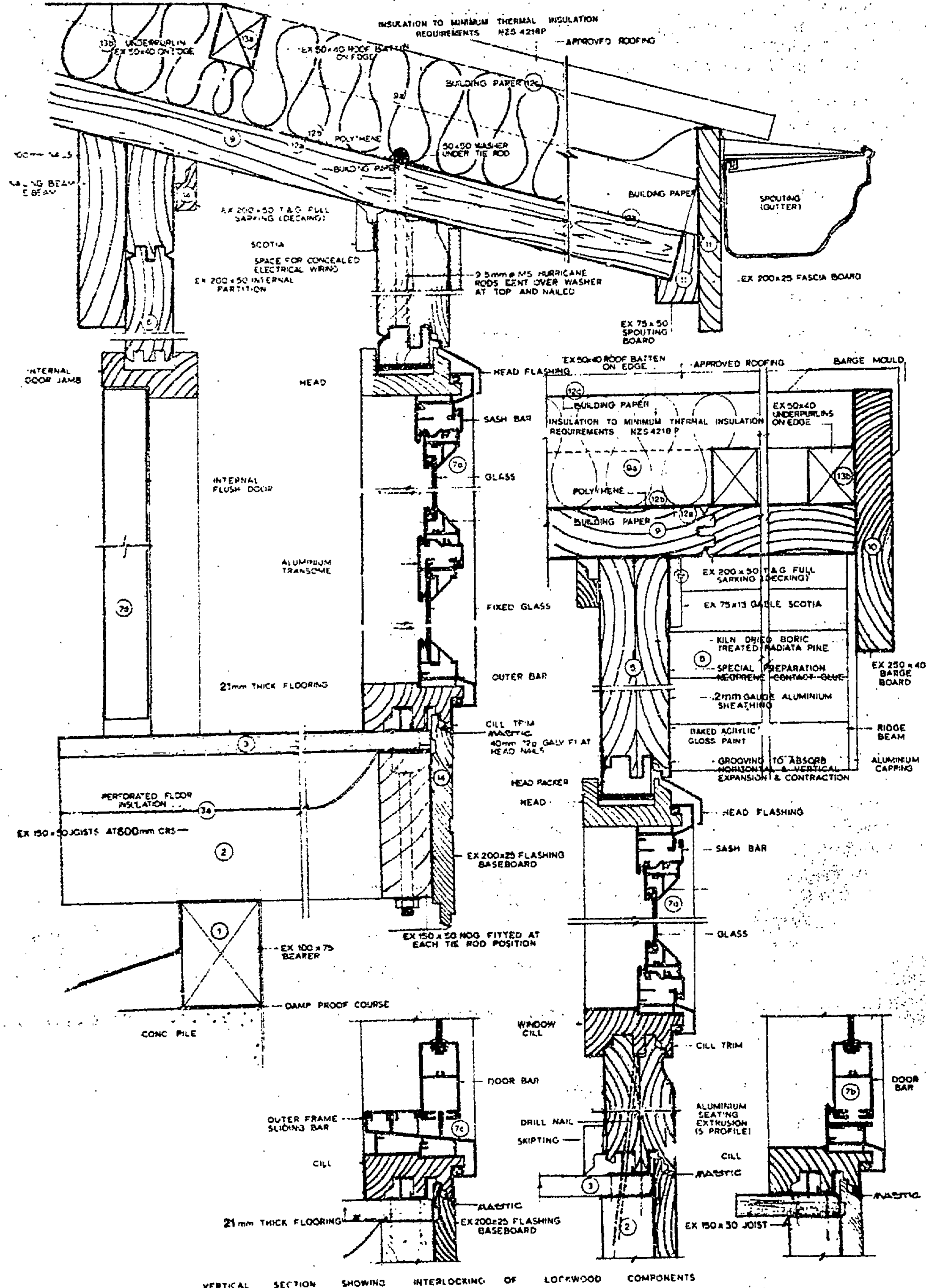
1. View from outside.
2. The '2064' range is completely flexible and may be combined in any order.
3. Any window may be obtained with fixed glass or opening sash.
4. Dimensions show overall subframe sizes.
5. (a) Aluminium doors open out only.
(b) Timber doors can open in or out and can combine with aluminium joinery.
6. Slider doors available with or without crash rail.
7. Flyscreens are an optional extra.

BORIC Treatment is a method of timber preservation, applied by the Diffusion process containing Boron Compounds to the New Zealand Timber Preservation Authority Classification C8. This method of timber preservation is a protection against timber destroying fungus and insect attack in areas other than the Tropical countries where white ants are found.

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Please ask to see details on our full range of products "Type 43," "Type 62," "Type 96" and "Vertical Partitioning."



TARANAKI COUNTY COUNCIL

BUILDING PERMIT APPLICATION FORM

PERMIT NO: 8321

To the County Engineer,
P.O. Box 56
NEW PLYMOUTH

47/13

Sir,

I hereby apply for permission to EREN A. CARPORA
at (House No. and Street) 13 CARGILL PL for (Owner) V. WILKINSON
of (Address) FRANKLEIGH PARK N.P. according to locality plan
and detailed plans, elevations, cross-sections and specifications of building
deposited herewith IN DUPLICATE.

SITE: Lot No: 13 D.P. No: 11768 Section No: 898 GREY DISK 1
Block No: 1X Survey District: PAPAKURA Area: _____

PROPOSED BUILDING: Use - Describe proposed purpose for which every part is used
or occupied:

CARPORT

Area of Ground Floor 18²m

Estimated value of completed building \$ 1000.00 (For assessment of Building
Research Levy)

Less value of Plumbing and Drainage \$ 200.00

Balance \$ 800.00 (For assessment of Building
Permit Fee)

Yours faithfully,

V. Wilkinson
BUILDER

Address: 13 CARGILL PL
FRANKLEIGH PARK N.P.

Date: 7.8.81

Phone No: 39705

Note: Fees according to the scale on back hereof must accompany application for
permit. Special plumbing and drainage application forms are required and where
applicable, separate permits must be obtained by the Plumber or Drainlayer before
a building permit will be issued

FOR OFFICE USE

Date Received 12/8/81 Fee paid (a) Building Permit \$ 10.00
(b) Building Research
Levy \$ _____
(c) Water Conn. \$ _____
(d) Sewer Conn. \$ _____
(e) Kerb Crossing \$ _____
Receipt No: 6368F Val. Roll 11621-246-6

Check	Remarks	Initials
Ordinances		<u>Geo</u> 19/8/81
P. & D. Regs		
Building Regs		<u>Mr & Mrs</u> 17-8-81
Fire Code		
Structural Content		
Water Connection		
Kerb & Footpath Crossing		
Regn. Cert (Bldg over \$20,000)		

TARANAKI COUNTY COUNCIL

BUILDING PERMIT APPLICATION FORM

PERMIT NO: 9056

To the County Engineer,
P.O. Box 55,
NEW PLYMOUTH.

97/13

Sir,

I hereby apply for permission to ERECT A FAMILY ROOM UNDER EXISTING HOUSE
at (House No. and Street) 13 CARROLL ST. for (Owner) B. WILLIAMS
of (Address) 13 CARROLL ST. according to locality plan and
detailed plans, elevations, cross-sections and specifications of building deposited
herewith IN DUPLICATE.

SITE: Lot No: 13 D.P. NO: 11768 Section No: _____
Block No: _____ Survey District: _____ Area: _____

PROPOSED BUILDING: Use - describe proposed purpose for which every part is used or
occupied.

Family Room

Total Floor Area 3500 SQ FT.

Estimated value of completed building \$ 2500.00 (For assessment of Building
Research Levy)

Less value of Plumbing and Drainage \$ —

Balance \$ 2500.00 (For assessment of Building
Permit Fee)

Yours faithfully,

ASH COOK
BUILDER

Address 111 AWAUNUI ST.
NEW PLYMOUTH

Date: 12/7/82

Phone No: 77201

Notes: Fees according to the scale on back hereof must accompany application for
permit. Special plumbing and drainage application forms are required and where
applicable, separate permits must be obtained by the Plumber or Drainlayer before
a building permit will be issued.

FOP OFFICE USE

Date Received 12/7/82 Fee paid (a) Building Permit \$ 20.00
(b) Building Research Levy \$ —
(c) Water Conn. \$ —
(d) Sewer Conn. \$ —
(e) Kerb Crossing \$ —
Val. Roll 11621/24606

Receipt No: 7607E

Check	Remarks	Initials
Ordinances		
P. & D. Regs		<u>✓ Cook 15/7/82</u>
Building Regs		
Fire Code		<u>13/7/82</u>
Structural Content		
Water Connection		
Kerb & Footpath Crossing		
Regn. Cert (Blgs over \$20,000)		

BUILDING INSPECTOR'S
FIELD SHEET

AUTHORITY

Stats. No. A

40106

No.

9056

Inspector: M

Receipt No.

OWNER

Name E. Cook

Address 13 Cargill St.
New Plymouth

BUILDER

Name A. Cook

Mailing Address 11 Aerial St
New Plymouth

PROPERTY ON WHICH BUILDING IS TO BE ERECTED/DEMOLISHED

SITE

Street No. 13

Street Name Cargill Street

Town/District New Plymouth

Riding _____

LEGAL DESCRIPTION

Valuation Roll No. 11-21/11-06

Lot 13 D.P. 11/168

Section 47/13 Block _____

Survey District _____

DESCRIPTION OF PROPOSED WORK AND MAIN PURPOSE OF USE

Family Room - Addition

Date Inspected

REMARKS (e.g. stage reached with work)

23-8/82 Subfloor in place. I asked for bracing to the end wall to be replaced and for ground to be lowered 225 below strings also for large washers to be used.

Asked Mrs W to tell her husband that the fly sheet brace was required to the S. W. corner. And said if they were unsure to ring me.

Dave

COMPLETED (Signature)

Date

/ /

BC/MP/01A

9056

TARANAKI COUNTY COUNCIL
BUILDING PERMIT APPLICATION FORM

PERMIT No: 9771

To The County Engineer
PO Box 56
NEW PLYMOUTH

Sir

I hereby apply for permission to EXTEND RESIDANCE
at (House No and Street) 13 CARGILL PLACE for (Owner) B M & B A WILLETS
of (Address) 13 CARGILL PLACE according to locality plan and
detailed plans, elevations, cross-sections and specifications of building deposited herewith IN DUPLICATE.

SITE: Lot No: 13 DP No: 11768 Section No: _____
Block no: _____ Survey District: _____ Area: _____

PROPOSED BUILDING: Use - describe proposed purpose for which every part is used or occupied.

FAMILY ROOM + GARAGE

Total Floor Area: _____

Estimated value of completed building \$ 15,000 (For assessment of Building Research Levy)

Less value of Plumbing and Drainage \$ _____

Balance \$ _____ (For assessment of Building Permit Fee)

Yours faithfully

ASH COOK Address _____
BUILDER

Date: 5/8/83

Phone No: 34552

Note: Fees according to the scale on back hereof must accompany application for permit. Special plumbing and drainage application forms are required and where applicable, separate permits must be obtained by the Plumber or Drainlayer before a building permit will be issued.

FOR OFFICE USE

Date Received 5/8/83

8/8/83

Fee paid (a) Building Permit \$ 70-00
(b) Building Research Levy \$ 15-00
(c) Water Connection \$ _____
(d) Sewer Connection \$ _____
(e) Kerb Crossing \$ _____

Receipt No: 8997A

Val Roll 11621/246/6

	Remarks	Initials
Check		✓ <u>CWB</u> <u>12/8/83</u>
Ordinances		
P & D Regs		✓
Building Regs		
Fire Code		✓
Structural Content		
Water Connection		
Kerb & Footpath Crossing		
Regn Cert (Bigs over \$20,000)		

BUILDING INSPECTOR'S
FIELD SHEET

AUTHORITY

Stats. No. B 054171

No. 12-11

Inspector: M

File No.

Receipt No. 12-11

Date Permit Issued 1 / 1

OWNER	
Name	M. J. Williams
Mailing Address	13. Parnall St. New Plymouth

BUILDER	
Name	A. H. Cook
Mailing Address	111. Dorman Street New Plymouth

PROPERTY ON WHICH BUILDING IS TO BE ERECTED/DEMOLISHED

SITE	
Street No.	13
Street Name	Parnall Street
Town/District	New Plymouth
Riding	Ormerod

LEGAL DESCRIPTION	
Valuation Roll No.	1152/246/0
Lot	13
D.P.	11768
Section	47/13
Survey District	Block

DESCRIPTION OF PROPOSED WORK AND MAIN PURPOSE OF USE

Garage Building

FLOOR AREA		DWELLING UNITS	
Whole Sq. Metres		Number Erected	

ESTIMATED VALUES \$	Building		TOTAL
	Plumbing	3300.00	
Drainage			

NATURE OF PERMIT (TICK BOX)	
☐	NEW BUILDING - include dwelling added, exclude domestic garages
☐	FOUNDATIONS ONLY
☒	ALTERED, REPAIRED, EXTENDED - include conversions and resited buildings
☐	NEW CONSTRUCTION OTHER THAN BUILDINGS - include demolitions
☐	DOMESTIC GARAGES AND DOMESTIC OUTBUILDINGS

FEES APPLICABLE			
Building Permit	\$	Water Connection	\$
Street Damage Deposit	\$	Vehicle Crossing Levy	\$
Building Research Levy	\$ 2.00	M.S. Plumbing	\$
Plumbing	\$		\$
Drainage	\$		\$
Sewer Connection	\$		\$
TOTAL:			\$ 22.00

Receipt No.

Date of Payment 12 / 1 / 12

Authorised Officer

Special Conditions:

1. All work to be done to the satisfaction of the Council.

2. All work to be done in accordance with the Building Code.

Inspection 22/8/83 Looking - steel - Told Builder to dig to level of steel on S.W corner of gge with 200x200 tube

29/8 Pole holes on black wall up to 2nd band beam steel in

Bracing OK moisture OK

Date Inspected REMARKS (e.g. stage reached with work)

No. 13 Sec. Lot 13 D.P. 11768

Address Cargill Pl, NP

DRAINAGE AND PLUMBING REGISTER

OWNER Wilkonson

ADDRESS

BUILDER

PLUMBER Cattely K

DRAINLAYER

CONSENT No. 4722

P/LINE

PLUMBING

DRAINAGE

FINAL

NATURE OF WORK

DRAIN SATISFACTORY 12 / 02 / 81 PLUMBING SATISFACTORY / /

FALL AND DESCRIPTION

TNL P&G - 39083

A. Cheyne
Inspector

CARROLL
PLACE





Te Kaunihera-ā-Rohe o Ngāmotu

NEW PLYMOUTH DISTRICT COUNCIL

newplymouthnz.com

Code Compliance Certificate
Form 7, Section 95, Building Act 2004

The Building

Street Address of building: 13 Cargill Place NEW PLYMOUTH 4310

Legal Description of land where building is located: LOT 13 DP 11768

Current, lawfully established use: Dwelling

Year first constructed: Circa 1980s

The Owner

Name of owner: Elizabeth Ann Maclean,
Neil Duncan Maclean

Phone number: (Bus.) 06 216 4903

Applicant: Owen Mccluggage

Mail Address: Elizabeth Maclean
13 Cargill Place
NEW PLYMOUTH 4310

Building Work

Building Consent number:

BC16/120679

Description of work:

**Bedroom extension, addition of two ensuites
and deck**

Issued by:

New Plymouth District Council

Code Compliance

The building consent authority named below is satisfied, on reasonable grounds, that –

(a) The building work complies with the building consent.

This is a final code compliance certificate issued in respect of all of the building work under the above building consent.

CODE COMPLIANCE CERTIFICATE

Building Administration Officer
On behalf of: New Plymouth District Council
Date Issued: 22 August 2017

BUILDING CONSENT

XMT 110012A

PROPERTY ID

021621

 **110012A**



Registration of Exempt Building Work No: XMT09/110012

Issued: 8 May 2009

APPLICANT

Elizabeth Ann MACLEAN
13 Cargill Place
NEW PLYMOUTH 4310

Phone: 06 753 4471
Mobile: 027 440 4480

Application received: 6/05/2009

PROJECT LOCATION

Street address: 13 Cargill Place NEW PLYMOUTH 4310
Property ID: 21621
Legal: LOT 13 DP 11768

Council charges

The Council's total charges payable on the uplifting of this application in accordance with the attached details are
Amount: \$0.00

-
1. This registration of exempt building & building work is a means of providing a report on file for future reference & property enquiries.

Items considered by this registration include:

Timber facing wall adjacent to deck stairs on south side of dwelling.

Building structures and building work recognised by NPDC that fall within the criteria set out in Schedule 1 of the Building Act 2004.

2. We confirm that the proposed work falls within the scope of Schedule 1 of the Building Act 2004.

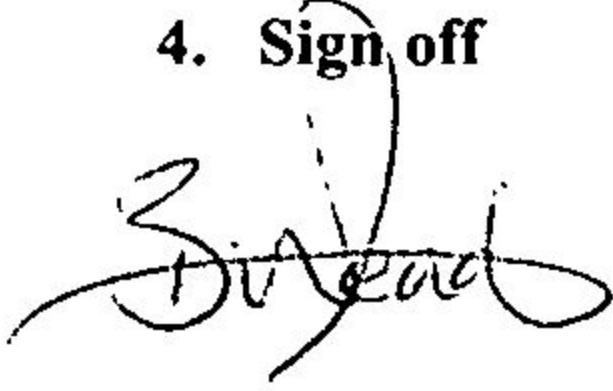
A building consent shall not be required in respect of this work however all building work must be carried out in accordance with the New Zealand Building Code.

3. Compliance with the District Plan

This exemption is limited to the matters addressed under the Building Act 2004 only and does not exempt the work from compliance with the provisions of the Resource Management Act 1991 as detailed in the operative District Plan.

It is recommended that you check the status of your intended work under the provisions of the District Plan. A copy of the District Plan is on the council's website (www.newplymouth.com) or from the council's Customer Support area at the Civic Centre. Alternatively, you may wish to refer the matter to your designer.

4. Sign off

A handwritten signature in black ink, appearing to read 'Barry Read', written over a horizontal line.

Barry Read
Team Leader Building Consents

On behalf of: New Plymouth District Council

Date: 8 May 2009

NPDC EXEMPT WORKS
This Exempt Works is approved under the Building Act and is limited to new work only as shown on these plans and related specifications.
Approved *[Signature]* Date *8/5/09*

X MTC9/110012
06/05/09

NPDC Approved
08 MAY 2009

NCIL
nz.com

GISBOOST™ Service

Screen Plot



Map Printed On {2009-05-06 15:57}

0 0.008km

PLANS

BC16/120679

Prepared by: TF



ADDITIONS TO EXISTING HOUSE 13 CARGILL PLACE NEW PLYMOUTH

JOB No.334 -795



DRAWING INDEX

A1-01	SITE PLAN
A2-01a	BASEMENT PLAN
A2-02	GROUND FLOOR PLAN
A3-01	ELEVATIONS
A4-01	CROSS SECTIONS A-A to D-D
A4-02	CROSS SECTIONS E-E to G-G
A5-01	LOWER DECK DETAILS
A6-01	WINDOW FLASHING DETAILS
A6-02	CLADDING DETAILS
B1-01	BRACING PLANS
E1-01	ELECTRICAL PLANS



Owen McCluggage Design

O.P. McCluggage NZCD(ARCH) ADNZ MNZID

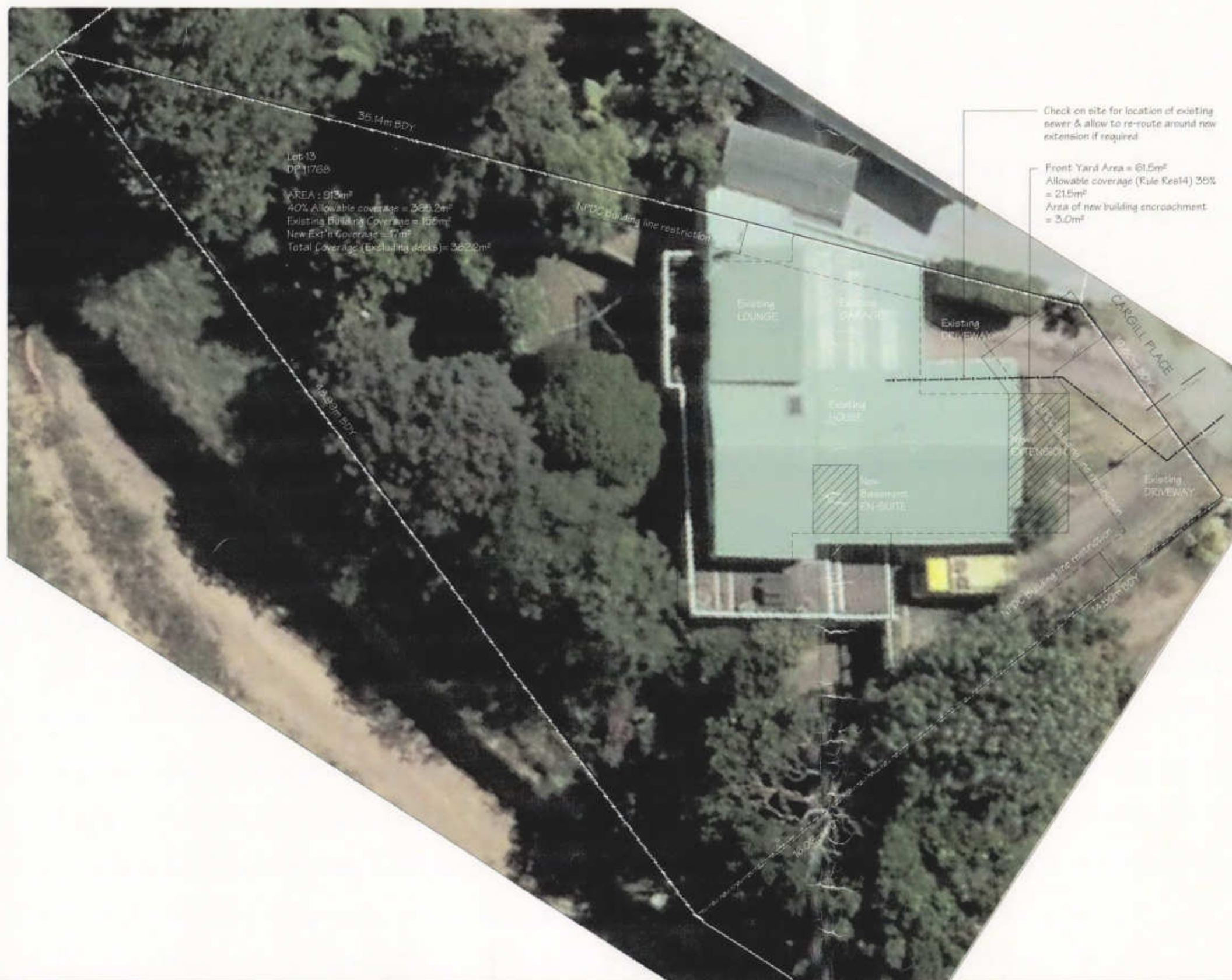
11 Young Street Dean House
New Plymouth Ph/Fax (06) 758 6008



NPDC Approved for
28 OCT 2016
Building Consent

GENERAL NOTES:

1. All new construction where not specifically designed shall comply with the NZ Building Code Handbook and shall conform to NZS 3604:2011
2. Builder to check all dimensions prior to construction, manufacture or fixing in of any part and shall allow to adjust for fitting tolerances. Dimensional errors shall not be the responsibility of the designer or the design firm or his agents.
3. All exposed metal fasteners and plates shall be either stainless steel or galvanneal painted in accordance with NZS 3604:2011 Section 4 Durability Table 4.1
4. All timber in near contact to concrete, steel or cement based products shall be separated with a malthold strip DPC of sufficient width to prevent contact between the two.
5. All framing timber to be H4 or H1.2 treated or where within 150 of ground level H4 treated. Exposed timber to be min H3.1 treated. Timber in ground to be min H5 treated. All timber framing shall be SCGB grade unless specified otherwise.
6. All plumbing to conform to AS/NZS 3500.5:2012 Part 5 Housing installations
7. Electrician to confirm all electrical fittings with owner prior to wiring out.
8. C.O.S. means "Check on site".
9. Windows and glazing shall be in accordance with NZS 4211 and NZS 4223
10. Contractor to check on site & replace or add additional Battery operated smoke detectors as necessary to bring residence up to New Zealand Building Code Standards. Smoke alarms to be within 3m max of bedroom door openings.



Lot 13
DP 11768

AREA: 913m²
40% Allowable coverage = 365.2m²
Existing Building Coverage = 156m²
New Ext'n Coverage = 17m²
Total Coverage (Excluding decks) = 362.2m²

Check on site for location of existing sewer & allow to re-route around new extension if required

Front Yard Area = 61.5m²
Allowable coverage (Rule Res14) 35% = 21.5m²
Area of new building encroachment = 3.0m²



Owen McCluggage Design
O.P. McCluggage
11 Young Street New Plymouth
Dean House
Ph/Fax (06) 756 6008



Project Title

EXTENSION & ALTERATION TO EXISTING
TO EXISTING HOUSE
13 CARGILL PLACE, NEW PLYMOUTH

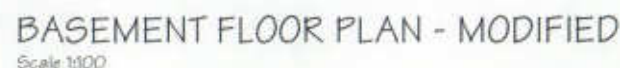
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CONTRACTORS TO:
Verify all dimensions on site before commencing any work.
Check all levels on site before commencing any work.
Refer to figures dimensions - do not scale off drawing (larger scale drawings take preference over smaller scale drawings).
Refer all discrepancies to Drawing Office.

Drawing Title		Sheet
SITE PLAN		A1-01
Drawn	OM	Date 04.07.16
Checked		Scale 1:200 on A3
		Ext. 334-795

DO NOT SCALE

CHECK ALL DIMENSIONS

ORIGINAL SIZE = A3



STORMWATER DRAIN	
SEWER DRAINS	
WASTE PIPES	
IB	INSPECTION BEND
WC	WC PAN
WHB	WASH HAND BASIN
SHR	SHOWER

ALL DRAINAGE SHOWN AS
DIAGRAMMATIC ONLY. PLUMBER
TO ENSURE ALL FOUL WATER
SANITARY PLUMBING,
STORMWATER DRAINAGE &
WATER SUPPLY SHALL COMPLY
WITH AS/NZS 3500.5:2012
PLUMBING & DRAINAGE -
HOUSING INSTALLATIONS

ALL DRAINS SHALL BE PVC
ALL WATER SUPPLY PIPES SHALL
BE COPPER

ALL FITTINGS WITH BRANCH DRAINS EXCEEDING CODE LENGTHS SHALL BE FITTED WITH AIR ADMITTANCE VALVES.

MINIMUM GRADE OF DISCHARGE PIPES	
SIZE OF GRADED SECTION OF PIPE DN	MINIMUM GRADE %
40DN	2.50 (1 in 40)
50DN	2.50 (1 in 40)
65DN	2.50 (1 in 40)
80DN	1.65 (1 in 60)
100DN	1.65 (1 in 60)

C	Conc block retaining walls added	12.01.17	0
B	Note amended & additional soakhole added	27.10.16	0
A	Existing Soakhole, drainage & note added Foundation note added	13.10.16	0
Revision	Revision Detail	Date	Rev

Drawing Title BASEMENT PLAN		Sheet A2-01a
Design OM	Date 04.07.16	Revision C
Checked	Scale 1:100 on A3	Ref. 334-795



Owen McCluggage Design
O.P. McCluggage NCCD(Arch) ADP/MNZD
 11 Young Street Dean House
 New Plymouth Pst/Fax (06) 758 6008



Project Title
EXTENSION & ALTERATION TO EXISTING
TO EXISTING HOUSE
13 CARGILL PLACE, NEW PLYMOUTH

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CONTRACTORS DO
Verify all dimensions on site before commencing any work.
Check all details on site before commencing any work.
Refer to Figure 1 dimensions - do not scale off drawing (larger scale drawings take preference over
smaller scale drawings).
Refer all discrepancies to Shawna Office

DO NOT SCALE

CHECK ALL DIMENSIONS

ORIGINAL SIZE = A3

MINIMUM GRADE OF DISCHARGE PIPES	
SIZE OF GRADED SECTION OF PIPE DN	MINIMUM GRADE %
40DN	2.50 (1 in 40)
50DN	2.50 (1 in 40)
65DN	2.50 (1 in 40)
80DN	1.65 (1 in 60)
100DN	1.65 (1 in 60)

PLUMBING & DRAINAGE KEY

- SEWER DRAINS
- WASTE PIPES
- ORG OVERFLOW RELIEF GULLY
- U INSPECTION JUNCTION
- IB INSPECTION BEND
- WC WC PAN
- WHB WASH HAND BASIN
- SHR SHOWER

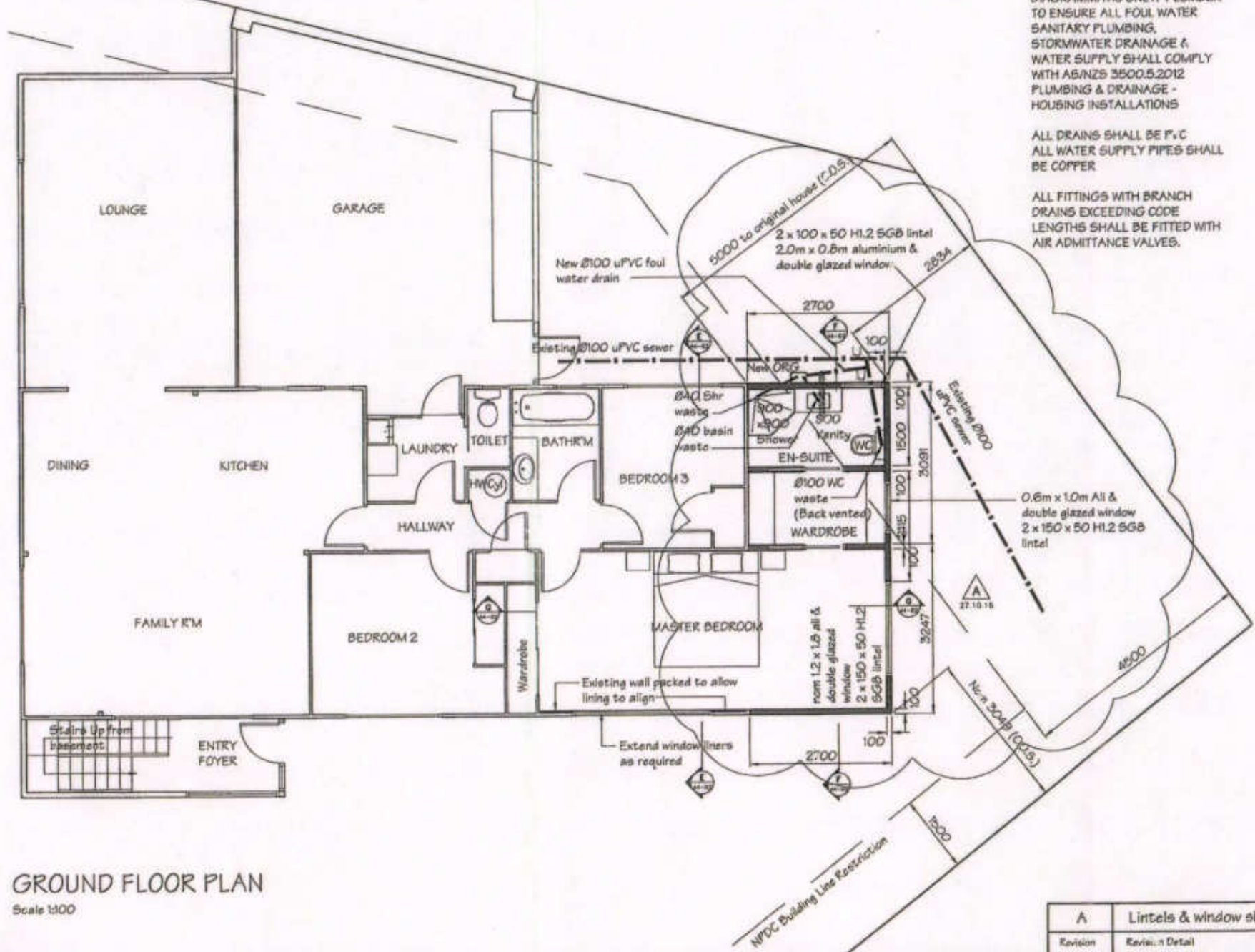
NOTES

ALL DRAINAGE SHOWN AS DIAGRAMMATIC ONLY. PLUMBER TO ENSURE ALL FOUL WATER SANITARY PLUMBING, STORMWATER DRAINAGE & WATER SUPPLY SHALL COMPLY WITH AS/NZS 3500.5.2012 PLUMBING & DRAINAGE - HOUSING INSTALLATIONS

ALL DRAINS SHALL BE P.V.C ALL WATER SUPPLY PIPES SHALL BE COPPER

ALL FITTINGS WITH BRANCH DRAINS EXCEEDING CODE LENGTHS SHALL BE FITTED WITH AIR ADMITTANCE VALVES.

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GROUND FLOOR PLAN
Scale 1:100

A	Lintels & window sizes added	27.10.16	OM
Revision	Revision Detail	Date	Rev By
	Drawing Title	Short	
	GROUND FLOOR PLAN - MODIFIED	A2-02	
Drawn	OM	Date	04.07.16
Checked		Scale	1:100 on A3
		Ref.	334-795

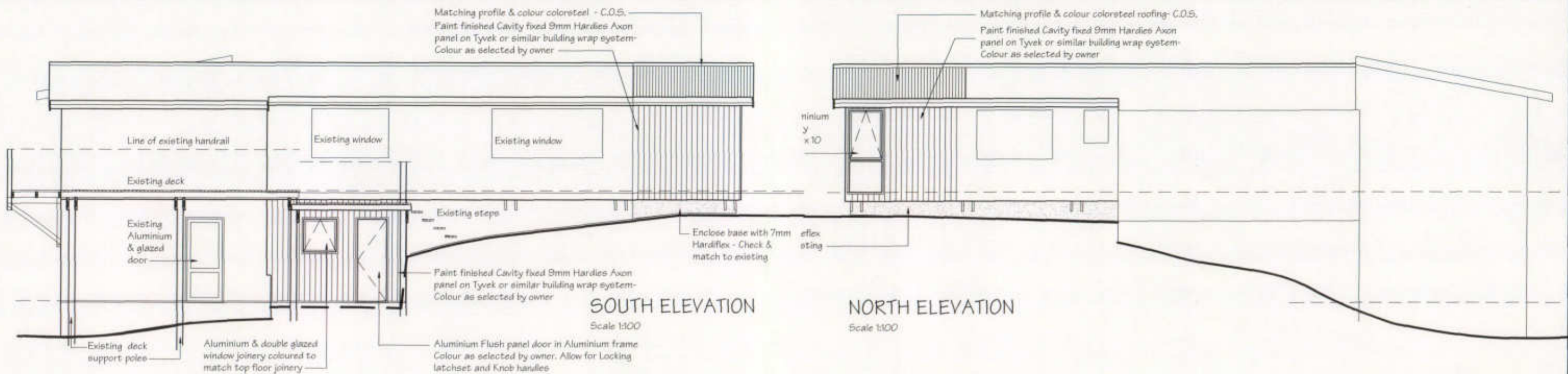
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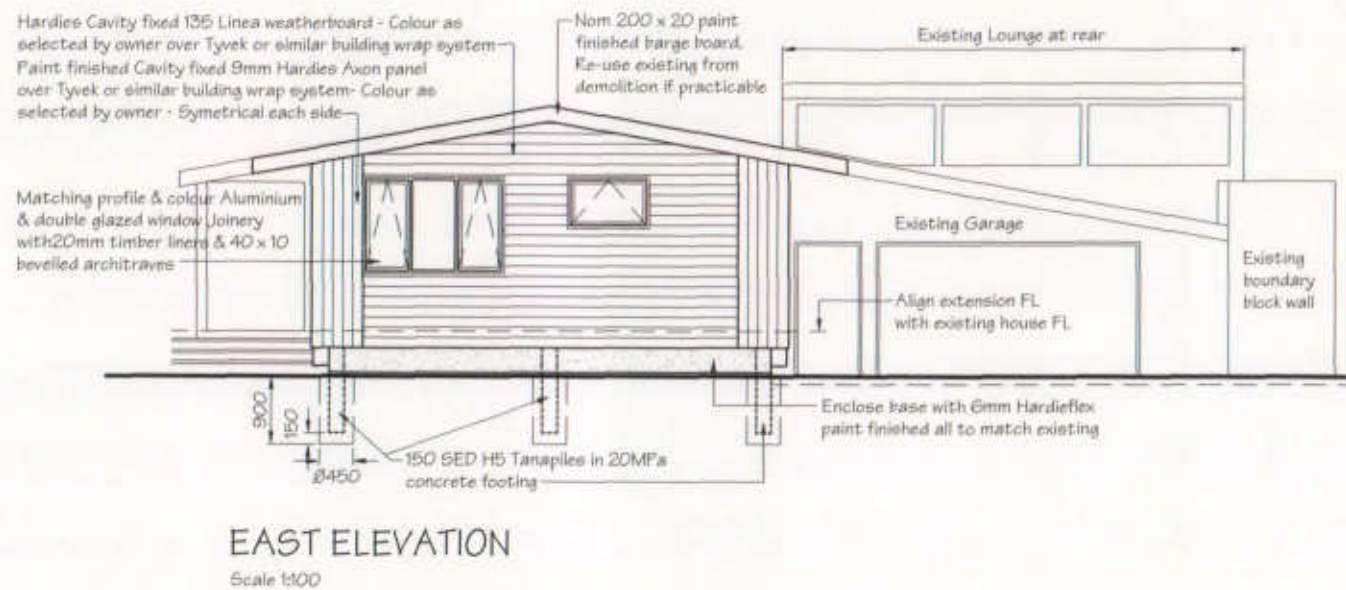
Owen McCluggage Design
O.P. McCluggage NOT A REGISTERED ARCHITECT
11 Young Street
New Plymouth
Dean House
Ph/Fax (06) 756 6008



Project Title
**EXTENSION & ALTERATION TO EXISTING
TO EXISTING HOUSE
13 CARGILL PLACE, NEW PLYMOUTH**



NPDC Approved for
28 OCT 2016
Building Consent



Owen McCluggage Design
O.P. McCluggage NZCA(ARCH) AINZ(MNZD)
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Ph/Fax (06) 758 6008



Project Title

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Drawing Title		Sheet
ELEVATIONS		A3-01
Drawn	OM	Date 04.07.16
Checked		Scale 1:100 on A3
		Ref. 334-795

DO NOT SCALE

CHECK ALL DIMENSIONS

ORIGINAL SIZE = A3



Taken at 9:05 AM on Thursday 20/07/2017



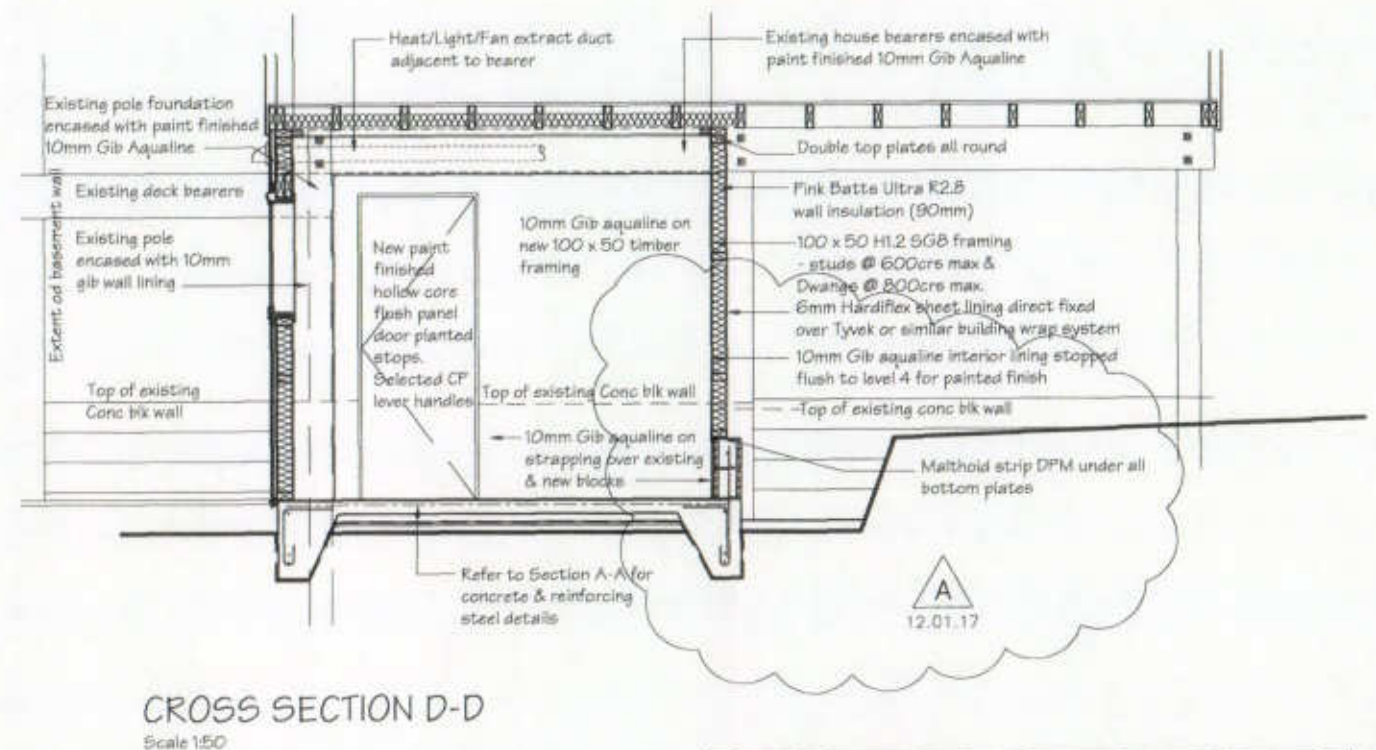
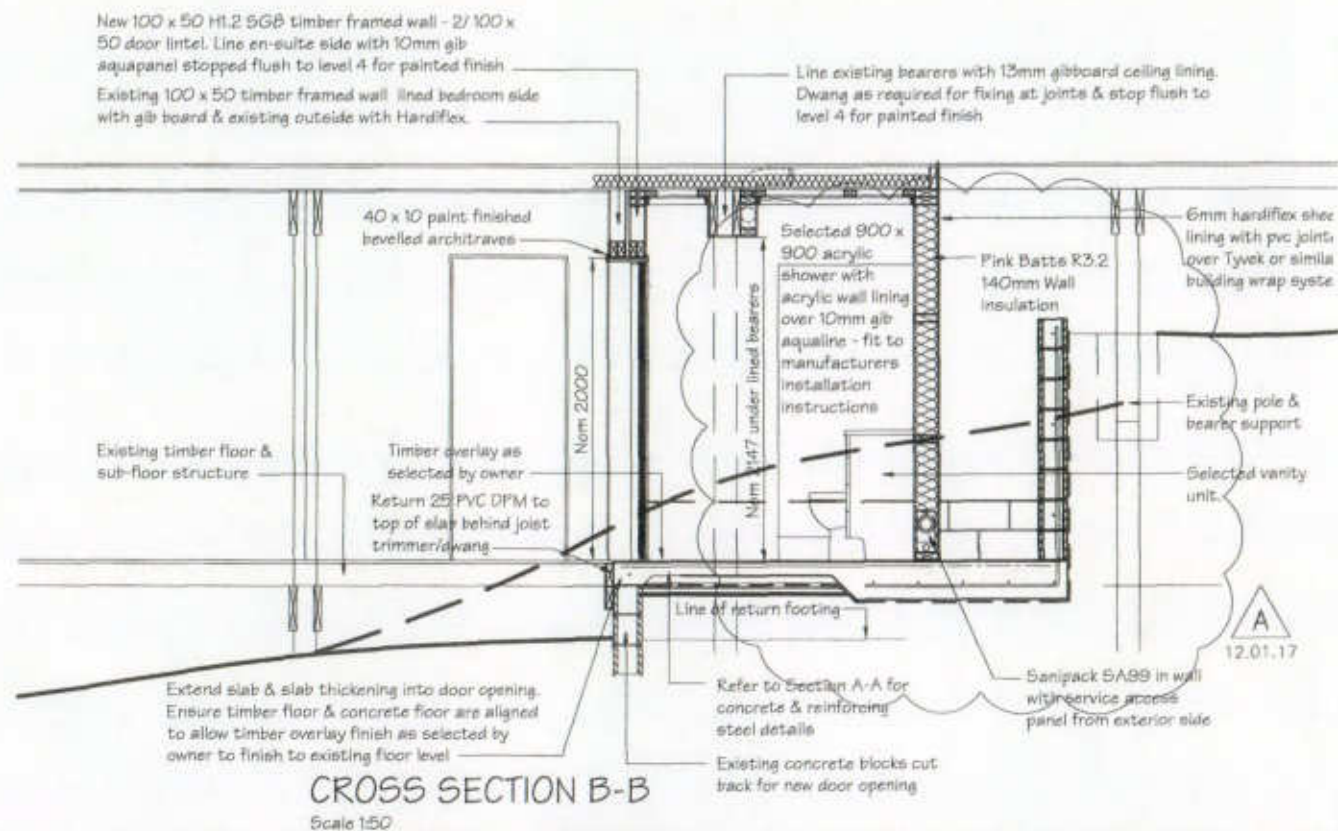
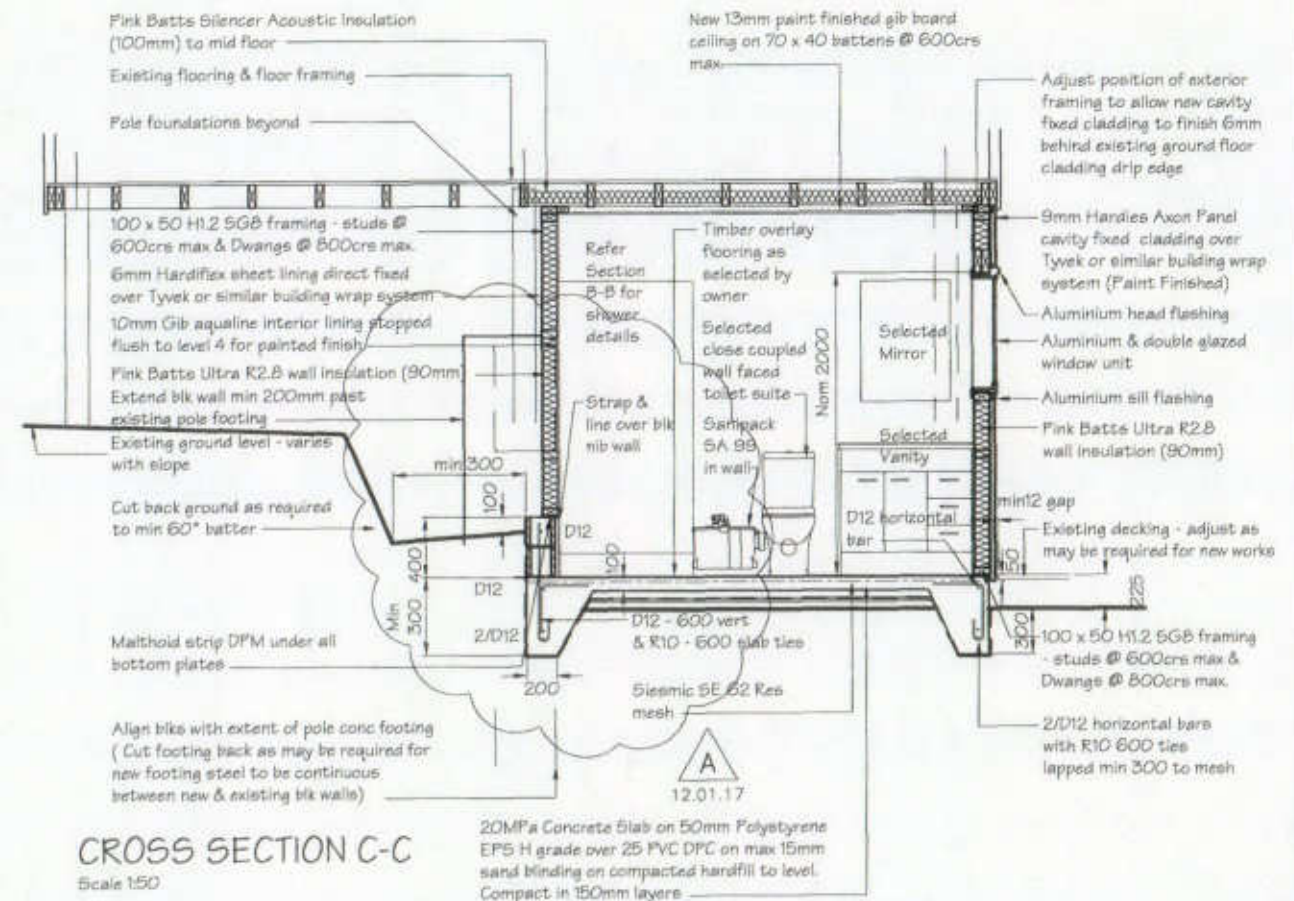
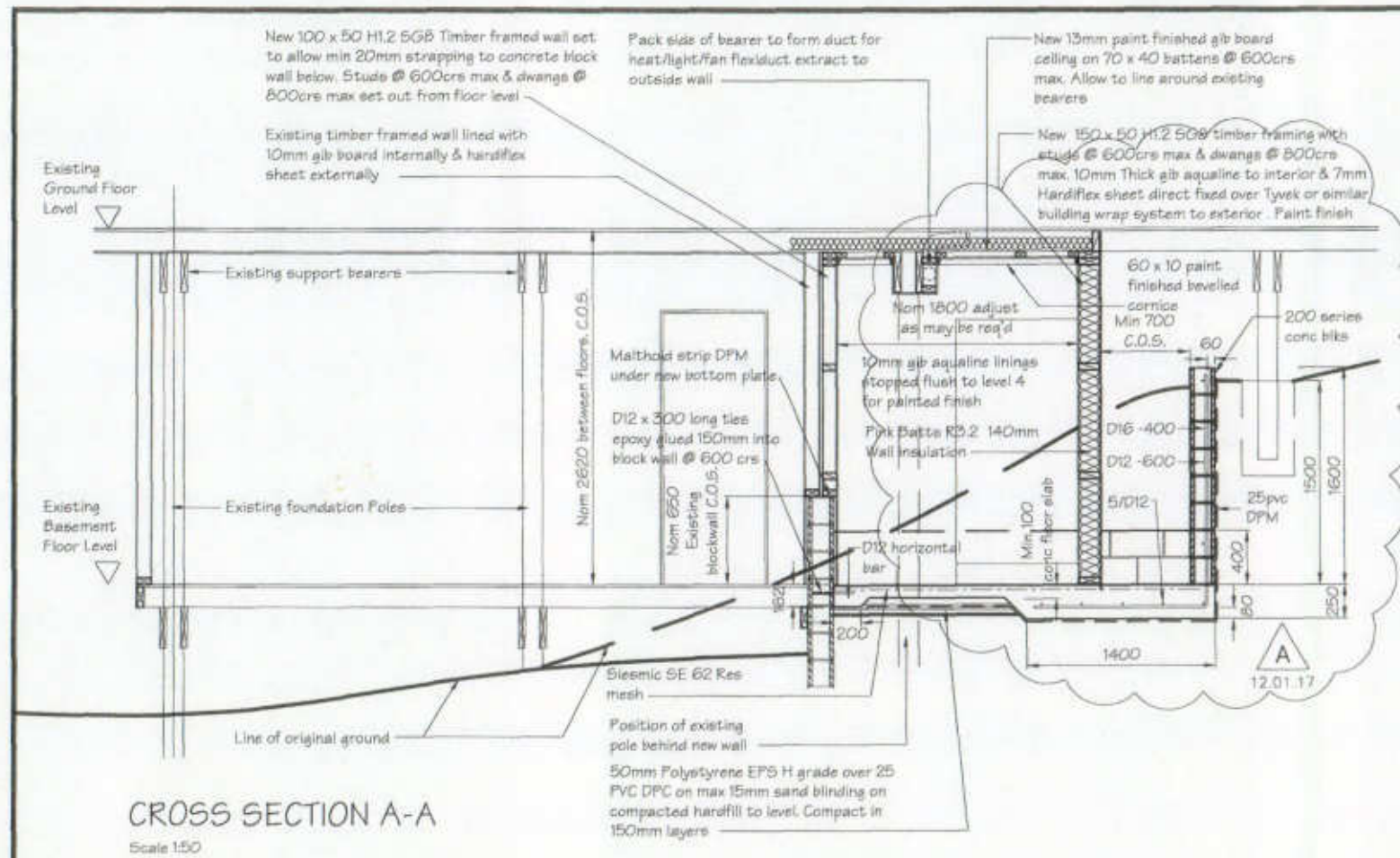
Taken at 9:06 AM on Thursday 20/07/2017



Taken at 9:18 AM on Thursday 20/07/2017



Taken at 9:19 AM on Thursday 20/07/2017



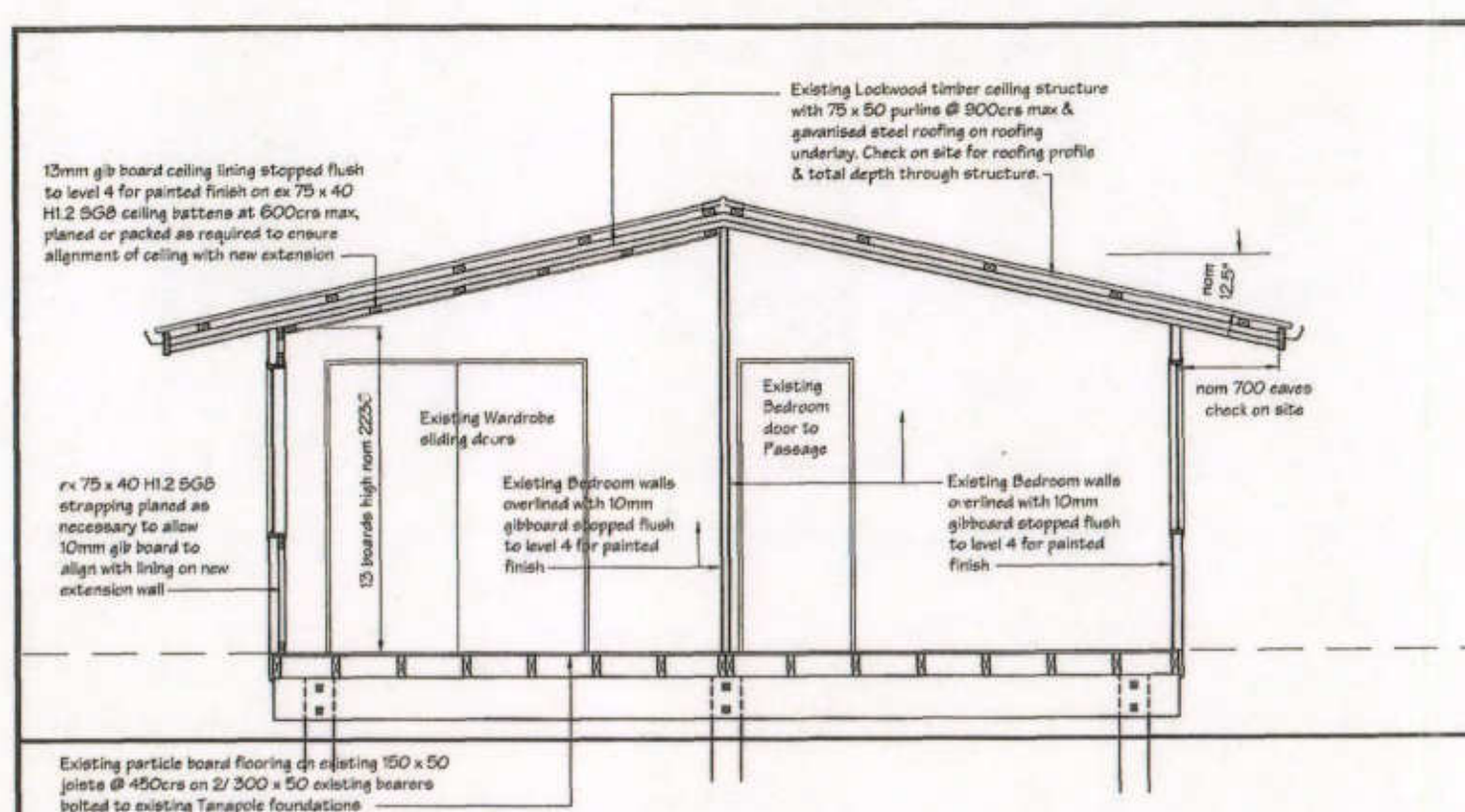
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O.P. McCluggage
11 Young Street
New Plymouth
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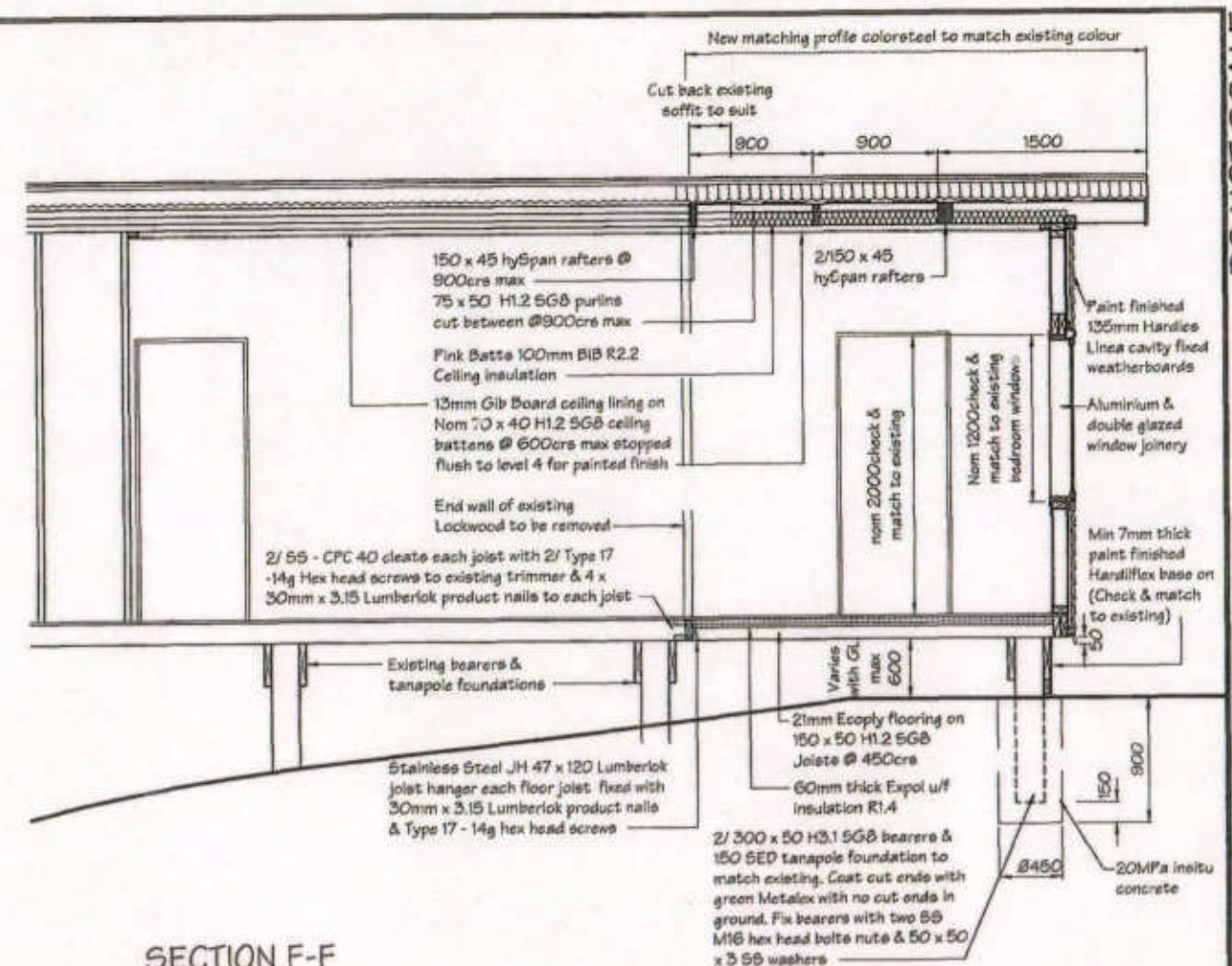
Project Title
EXTENSION & ALTERATION TO EXISTING TO EXISTING HOUSE
13 CARGILL PLACE, NEW PLYMOUTH

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A	Retaining wall added	12.01.17	OM
Revision	Revision Detail	Date	Rev By
	Drawing Title		Sheet
	SECTIONS A-A, B-B, C-C & D-D		A4-01
Drawn	OM	Date 04.07.16	Revision A
Checked		Scale 1:50 on A3	Ref. 334-795

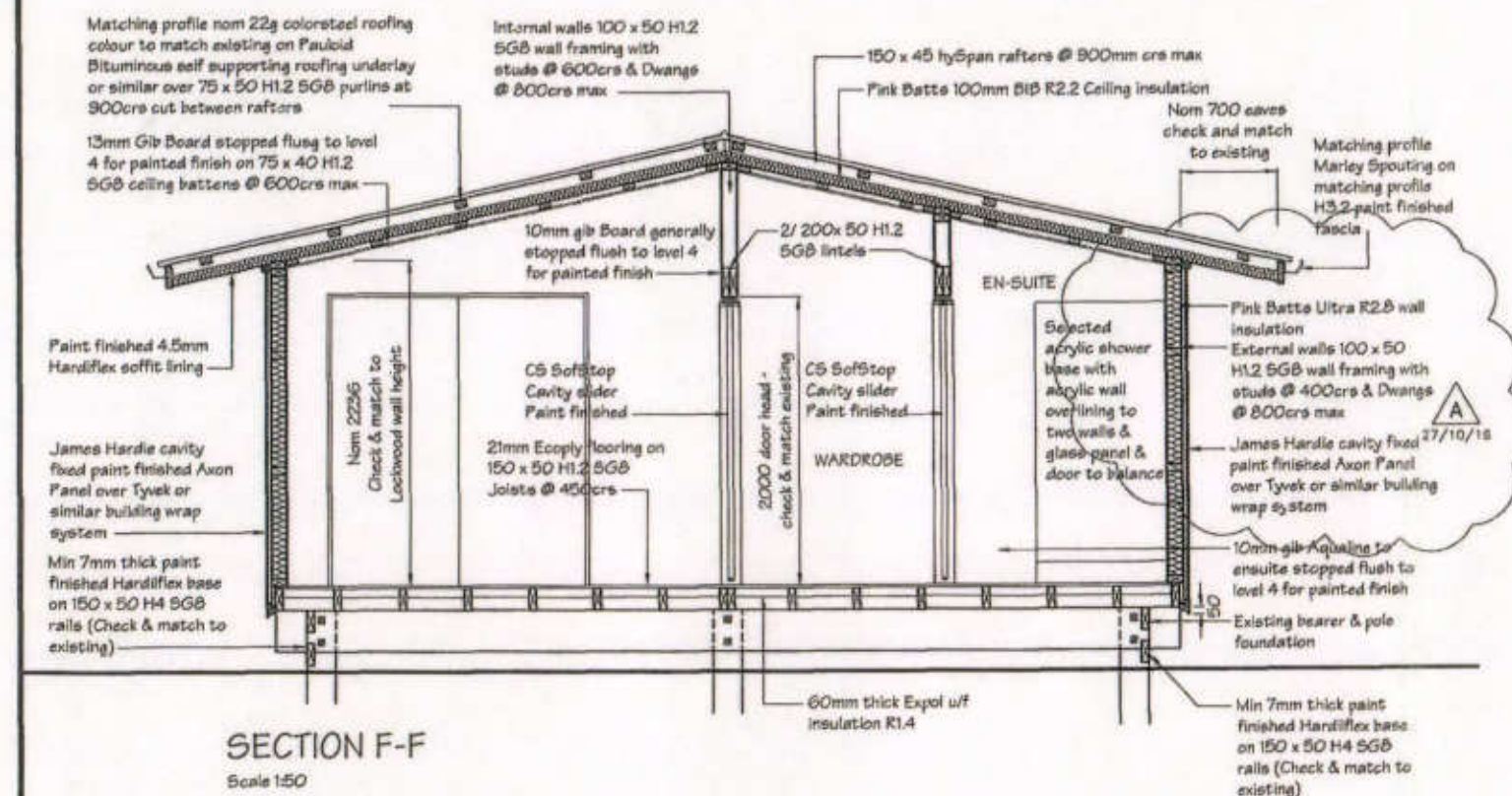


SECTION E-E
Scale 1:50



SECTION F-F
Scale 1:50

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SECTION F-F
Scale 1:50



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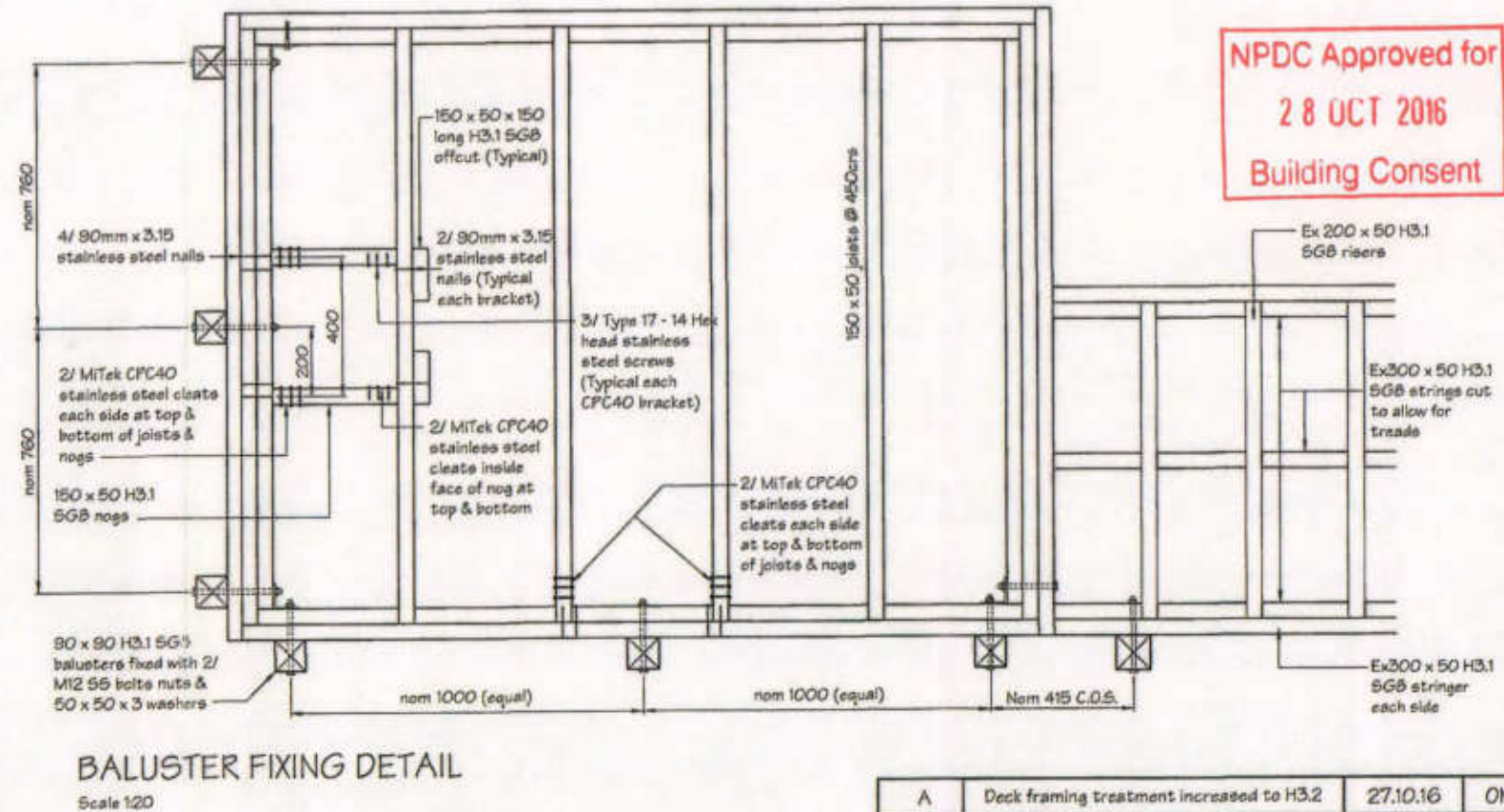
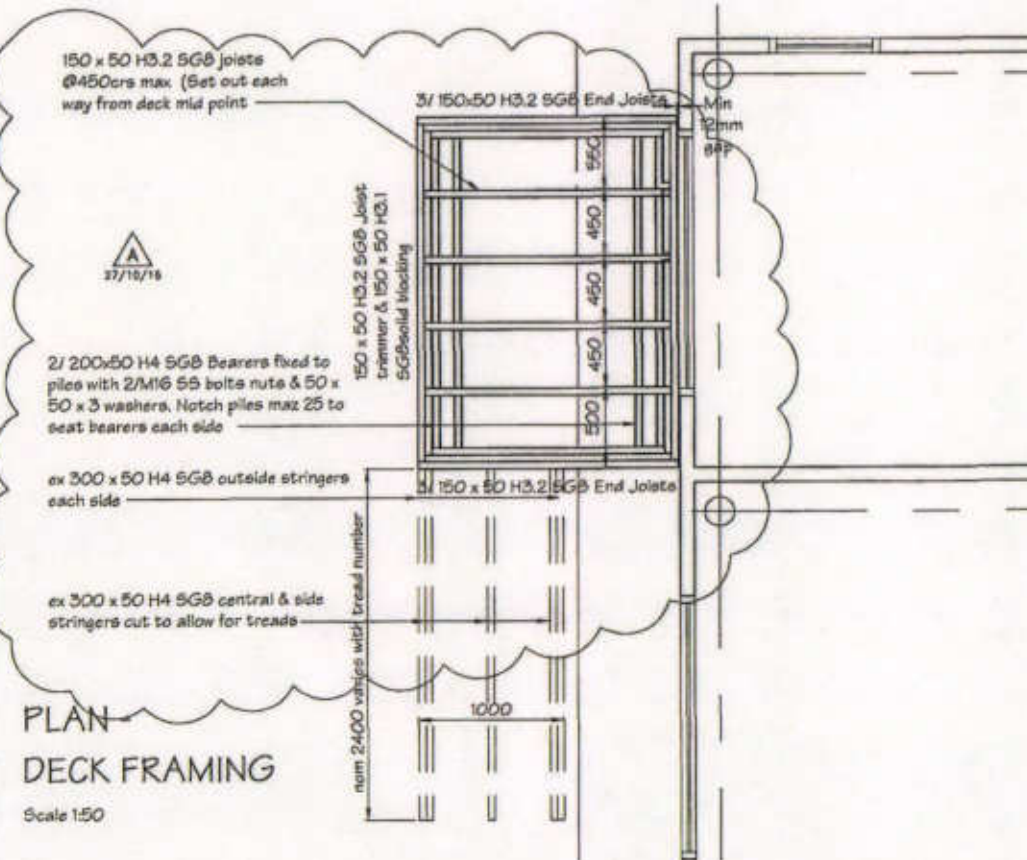
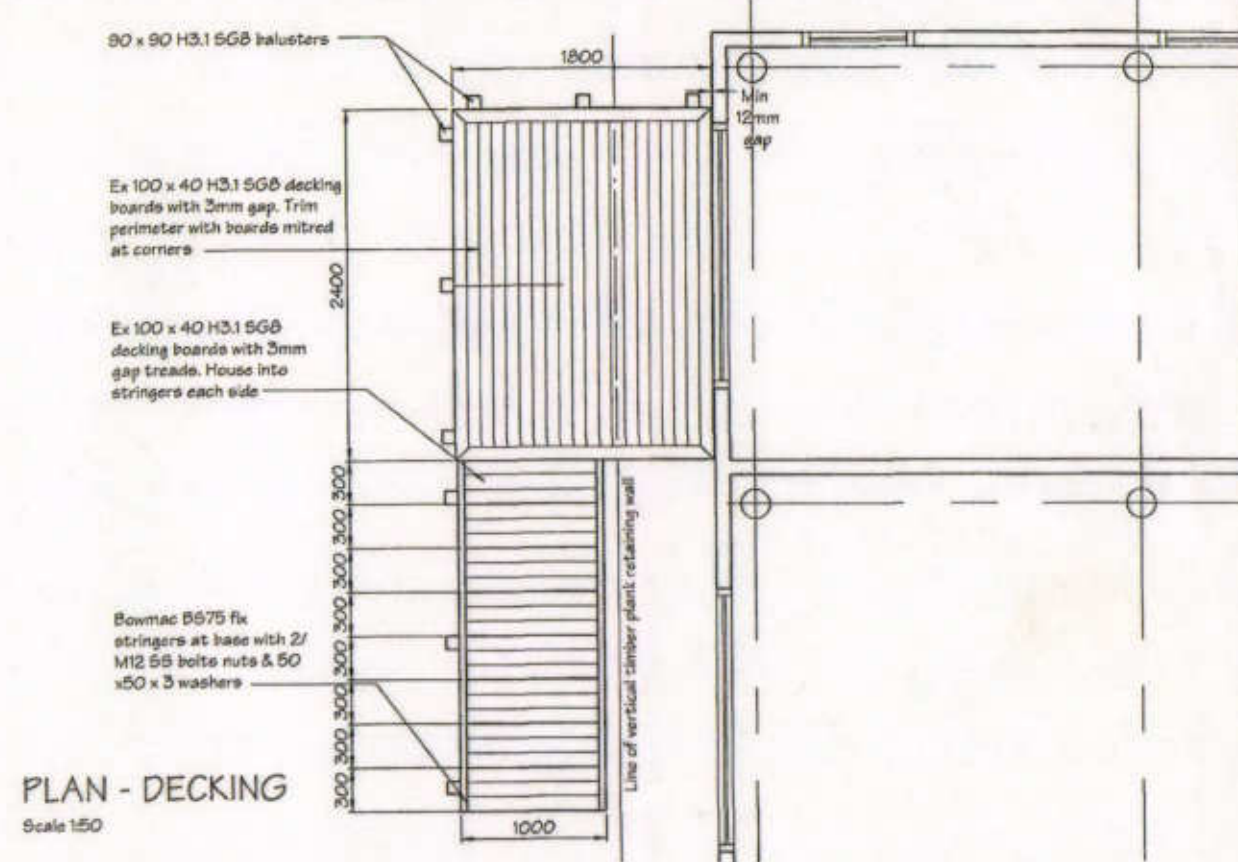
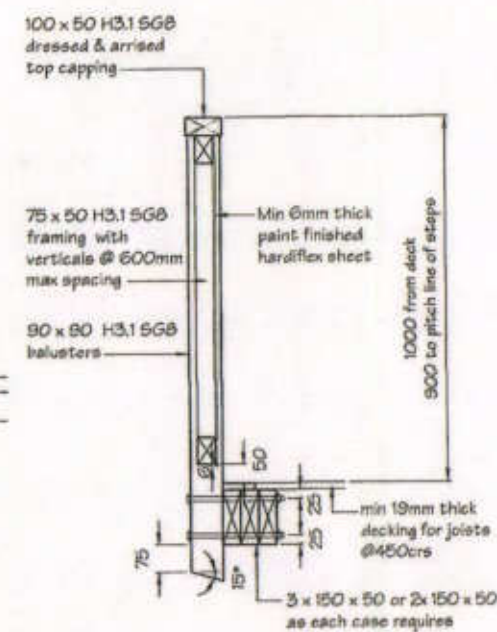
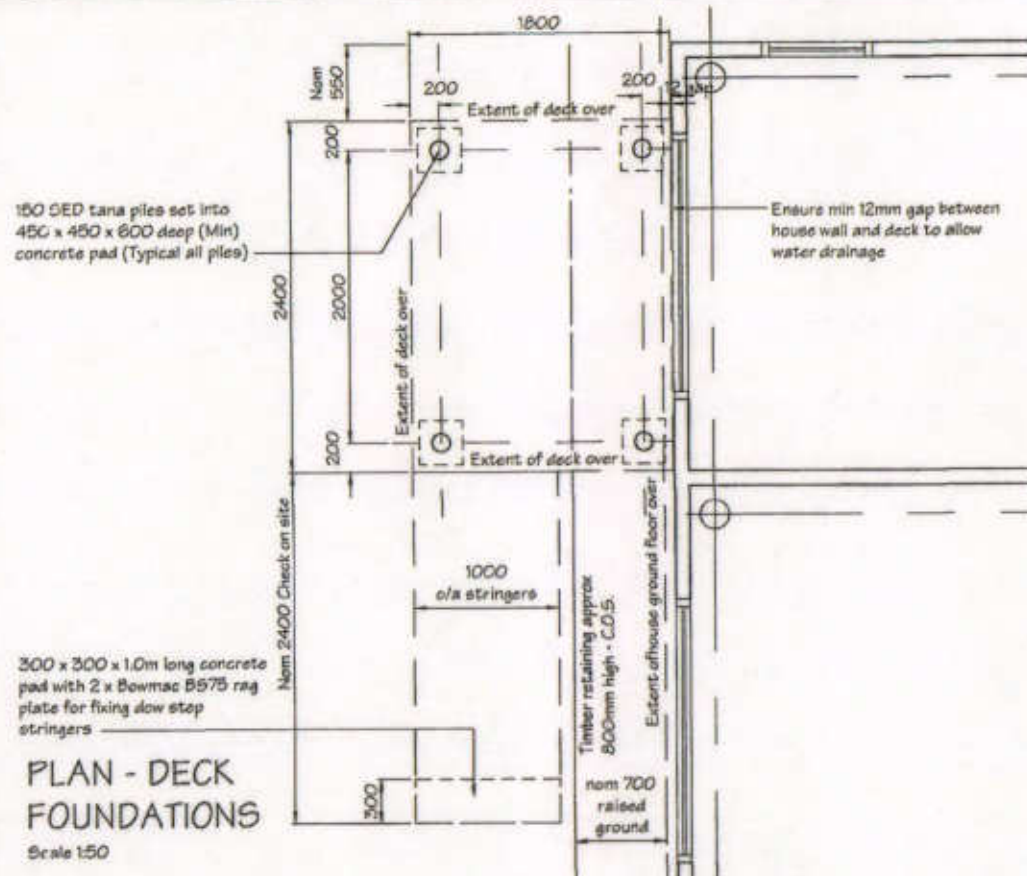
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Revision	Revision Detail	Date	Rev By
A	Stud spacing amended to 400mm for high wind zone	27.10.16	OM
Revision	Revision Detail	Date	Rev By
OM	04.07.16		
Checked	Scale 1:50 on A3		Ref 334-795

DO NOT SCALE

CHECK ALL DIMENSIONS

ORIGINAL SIZE = A3



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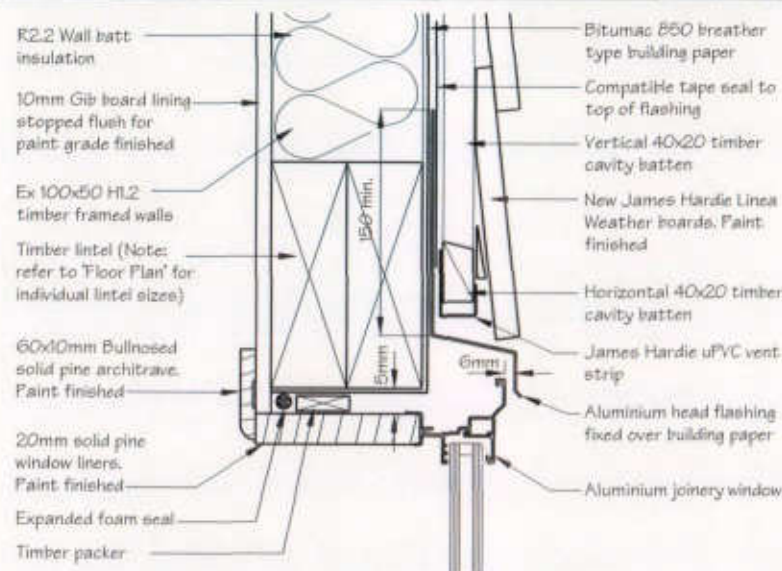
Revision	Revision Detail	Date	Rev By
A	Deck framing treatment increased to H3.2	27.10.16	OM
Drawing Title: NEW LOWER DECK DETAILS			
Drawn: OM		Date: 04.07.16	Sheet: A5-01
Checked:		Scale: 1:50 & 1:20 on A3	Ref: 334-795

DO NOT SCALE

CHECK ALL DIMENSIONS

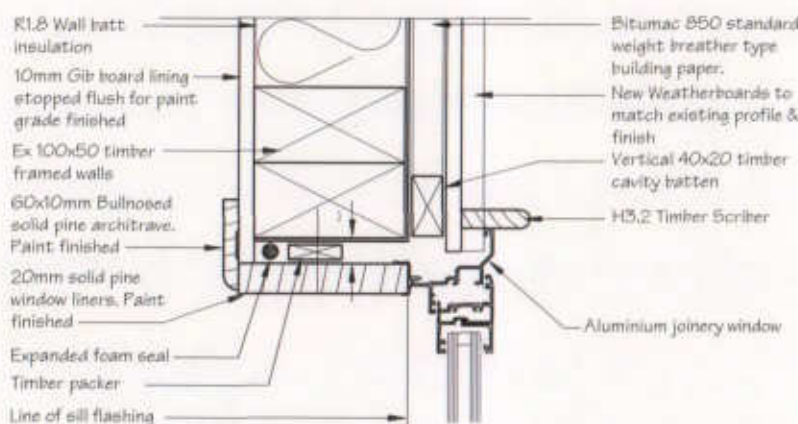
ORIGINAL SIZE = A3

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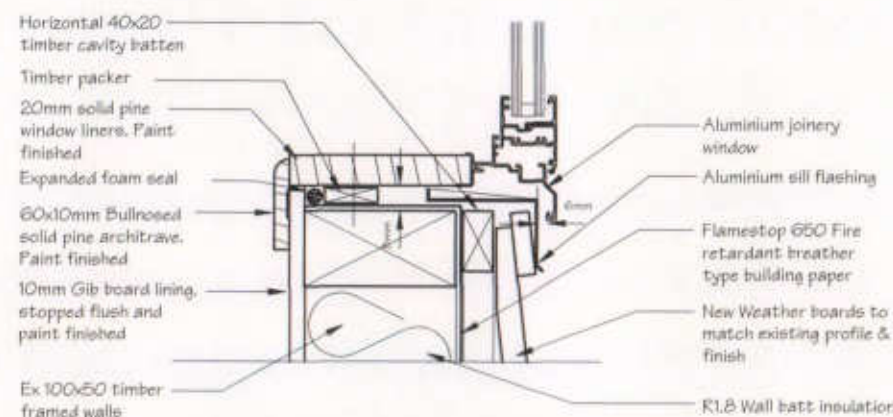
TYPICAL WINDOW HEAD FLASHING
(Linea Weatherboards)

SCALE 1:5

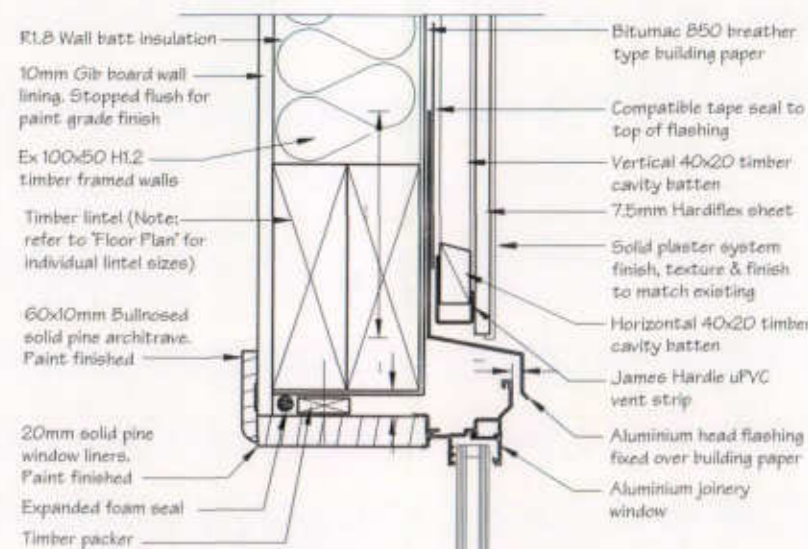


TYPICAL WINDOW JAMB FLASHING
(Linea Weatherboards)

SCALE 1:5

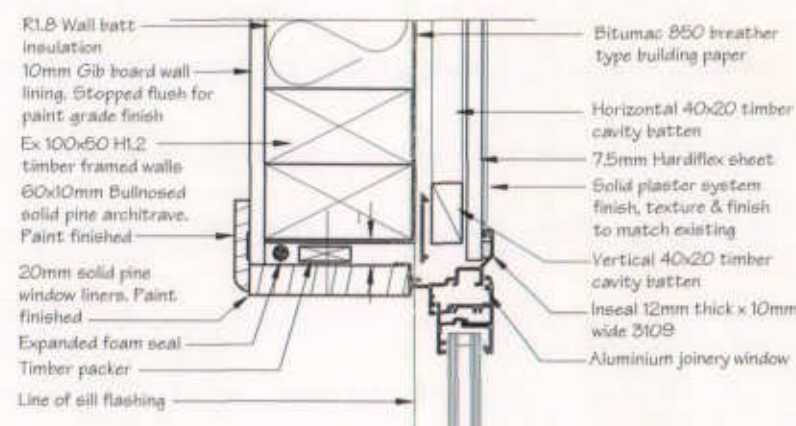


TYPICAL WINDOW SILL FLASHING
(Linea Weatherboards)



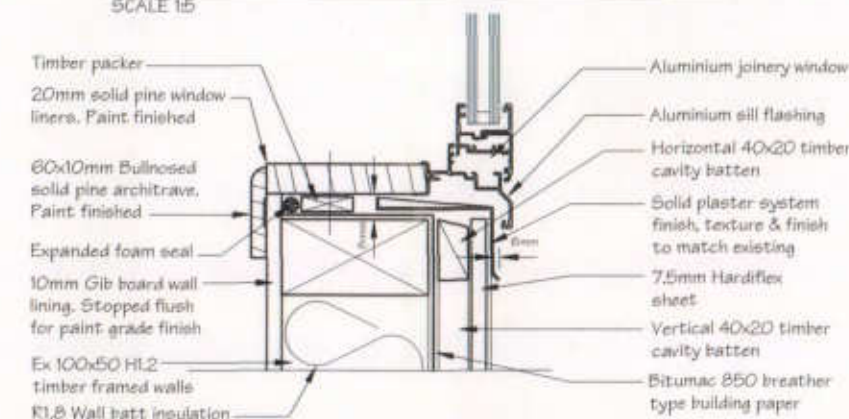
TYPICAL WINDOW HEAD FLASHING
(Axon sheet)

SCALE 1:5



TYPICAL WINDOW JAMB FLASHING
(Axon sheet)

SCALE 1:5



TYPICAL WINDOW SILL FLASHING
(Axon sheet)

SCALE 1:5



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Drawing Title

FLASHING DETAILS - WINDOWS

Sheet

A6-01

Drawn
OM

Date
04.07.16

Revision
-

Checked

Scale
1:200 on A3

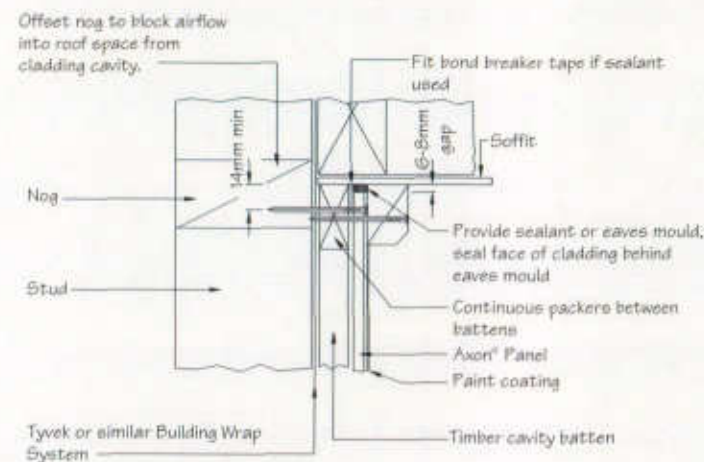
Ref.
334-795

DO NOT SCALE

CHECK ALL DIMENSIONS

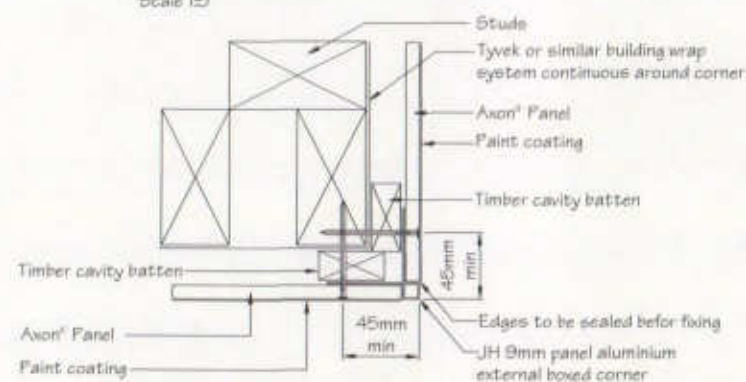
ORIGINAL SIZE = A3

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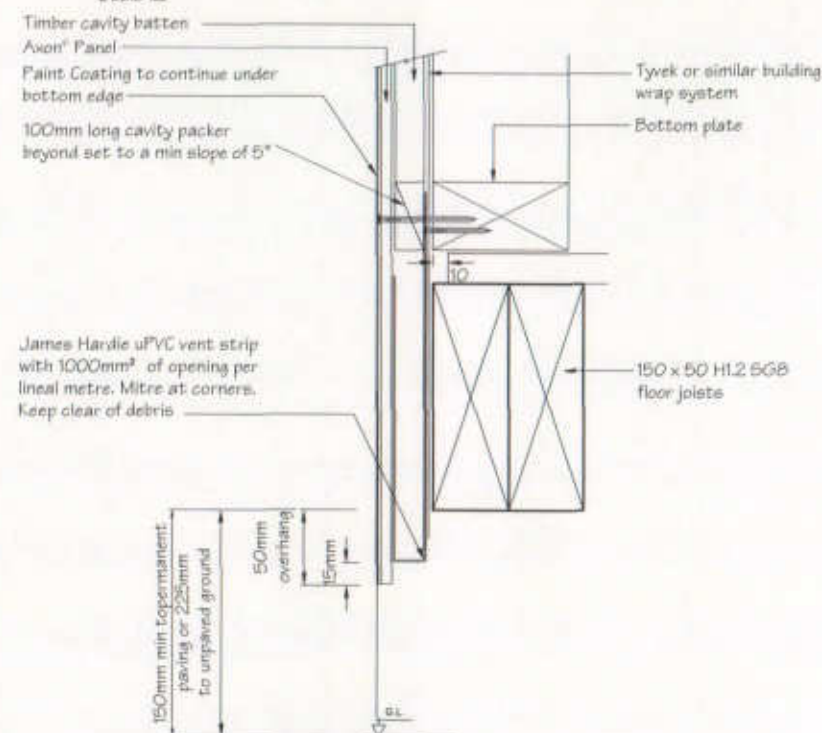
SOFFIT DETAIL

Scale 1:5



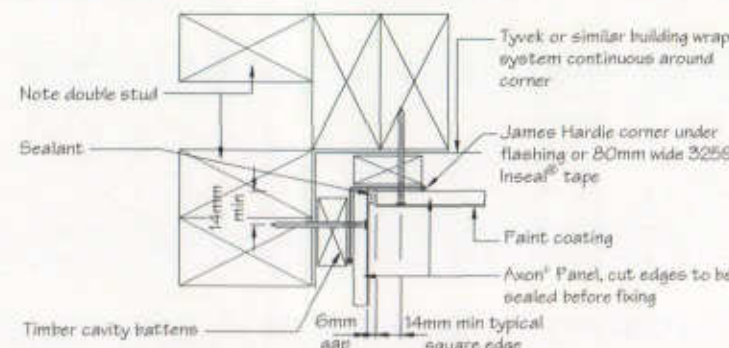
EXTERNAL CORNER DETAIL

Scale 1:5



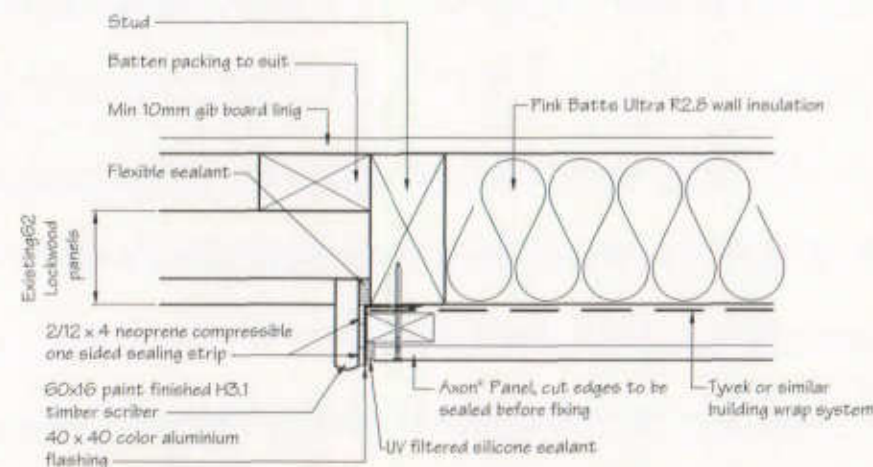
FOUNDATION DETAIL

Scale 1:5



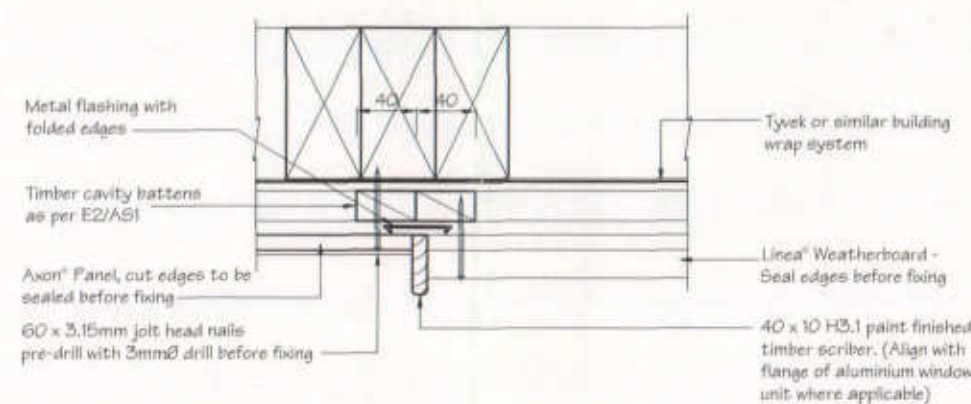
INTERNAL CORNER DETAIL

Scale 1:5



EXISTING LOCKWOOD TO NEW FRAMING DETAIL

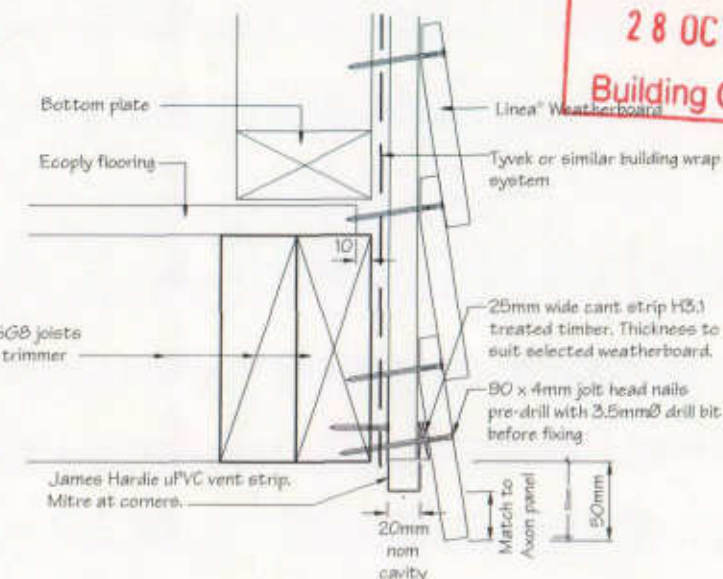
Scale 1:5



NOTE: Site cut edges to be primed prior to installation

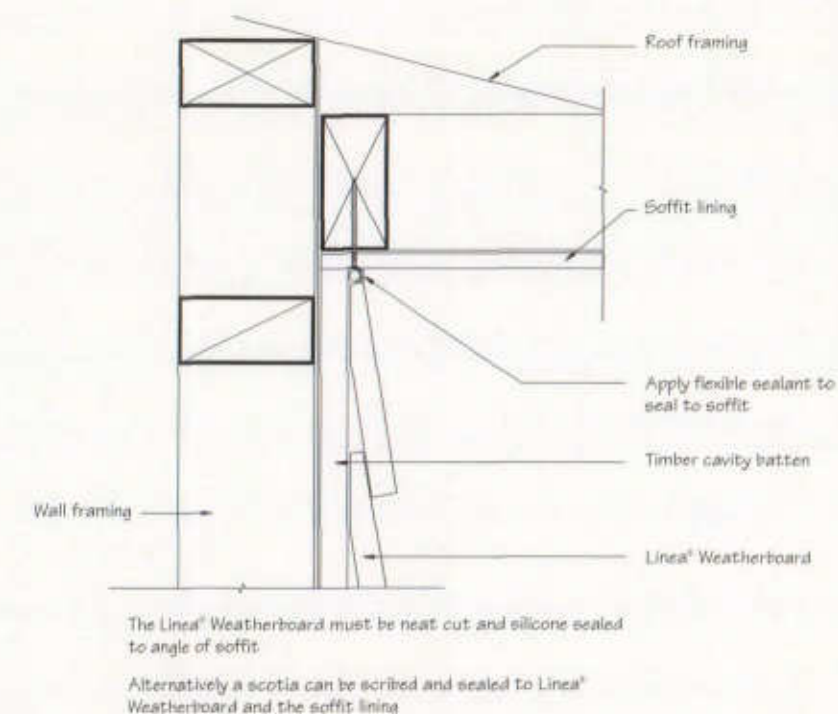
JUNCTION BETWEEN LINEA® WEATHERBOARD AND AXON® PANEL

Scale 1:5



LINEA® WEATHERBOARD ON TIMBER CAVITY BASE DETAIL

Scale 1:5



LINEA® WEATHERBOARD JUNCTION CAVITY TO GABLE

Scale 1:5



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O.P. McCluggage NZCIB (A) (C) (S) (M) (N) (Z)
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Drawing Title

CLADDING DETAILS

Drawn

OM

Date

04.07.16

Checked

Scale

1:200 on A3

Sheet

A6-02

Revision

-

Ref.

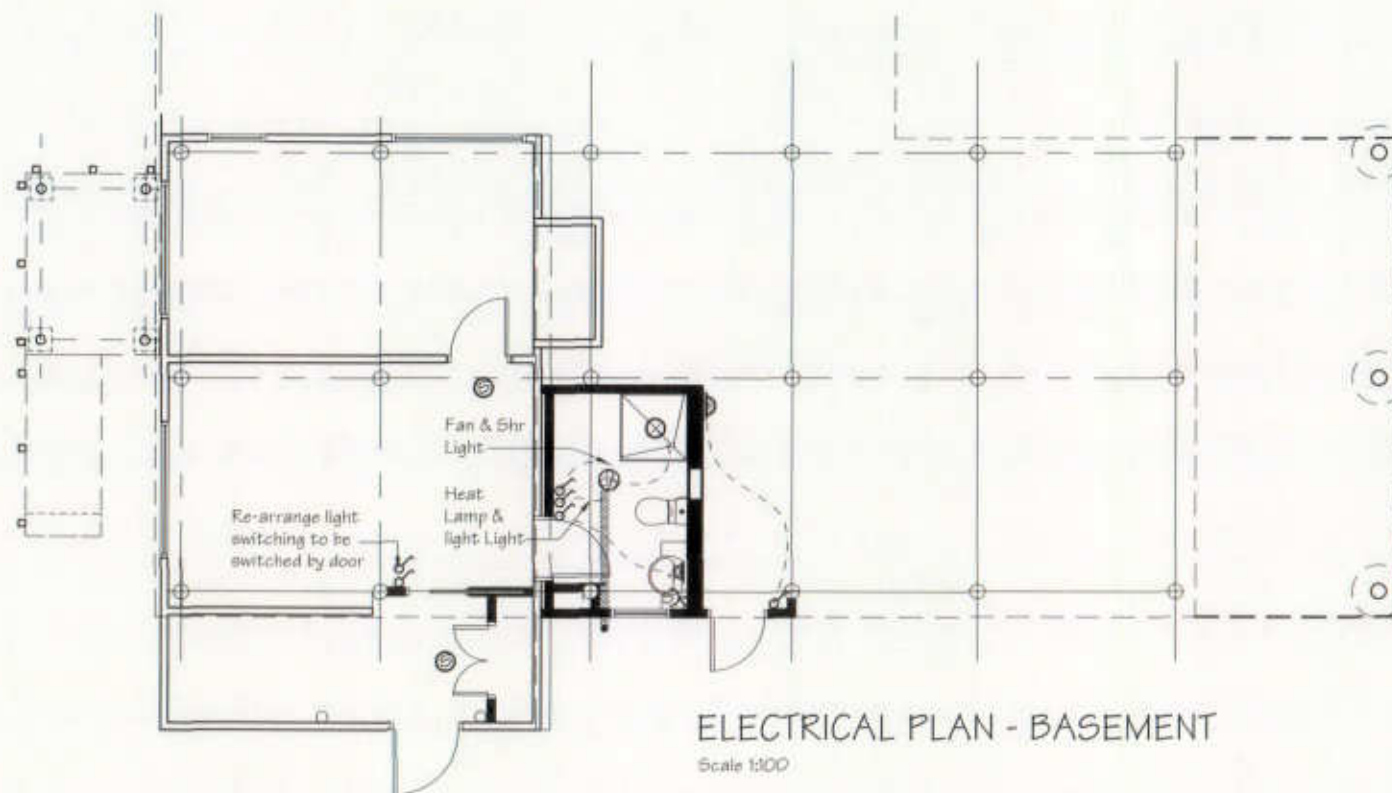
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DO NOT SCALE

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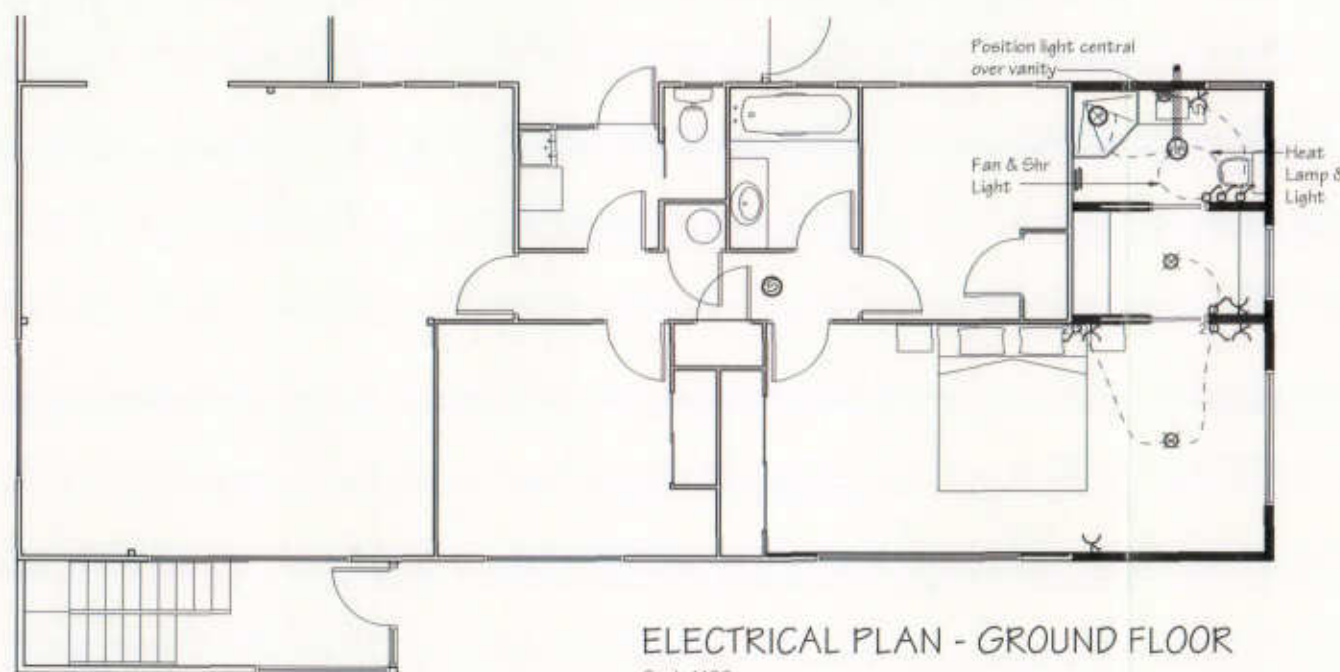
ORIGINAL SIZE = A3

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ELECTRICAL PLAN - BASEMENT

Scale 1:100



ELECTRICAL PLAN - GROUND FLOOR

Scale 1:100

ELECTRICAL KEY

- ⊠ INCANDESCENT WALL FITTING
- ⊞ INCANDESCENT CEILING FITTING
- ⊙ HEAT, LIGHT, FAN FITTING, FAN SWITCHED SEPARATELY
- Outlet in soffit
- ⊗ OVER SHOWER LED LIGHT
- ⌞ EXTERIOR WALL LIGHT
- ⌘ SWITCHED POWER SOCKET
- ⌚ SHAVER POWER SOCKET
- ⌚ ONE WAY SWITCH
- ⌚ TWO WAY SWITCH
- ⊙ SMOKE DETECTOR
- ≡ HEATED TOWEL RAIL, HARD WIRED

ALL POWER POINTS SHALL BE DOUBLES UNLESS STATED OTHERWISE

MOUNT ALL POWER POINTS min 300mm ABOVE FLOOR LEVEL, EXCEPT WHERE OVER BENCHES OR WHERE OTHERWISE INDICATED - CHECK & MATCH TO EXISTING

MOUNT ALL LIGHT SWITCHES 1200mm ABOVE FLOOR LEVEL, UNLESS OTHERWISE INDICATED - CHECK & MATCH TO EXISTING

POSITIONS OF ELECTRICAL FITTINGS ARE SHOWN AS INDICATIVE ONLY. LIAISE WITH OWNER FOR FINAL LOCATIONS AND FITTING SELECTIONS PRIOR TO WIRING OUT

LIGHT CIRCUITS TO BE SEPARATE FROM POWER POINT CIRCUITS

CONTRACTOR TO CHECK ON SITE & REPLACE OR ADD ADDITIONAL BATTERY OPERATED SMOKE DETECTORS AS NECESSARY TO BRING RESIDENCE UP TO NEW ZEALAND BUILDING CODE STANDARDS. SMOKE ALARMS TO BE WITHIN 3M MAX OF BEDROOM DOOR OPENINGS.

DO NOT SCALE

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Drawing Title		Sheet
ELECTRICAL PLANS		E1-01
Drawn	OM	Date 04.07.16
Checked		Scale 1:200 on A3
		Ref. 334-795

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BRACING NOTES:-

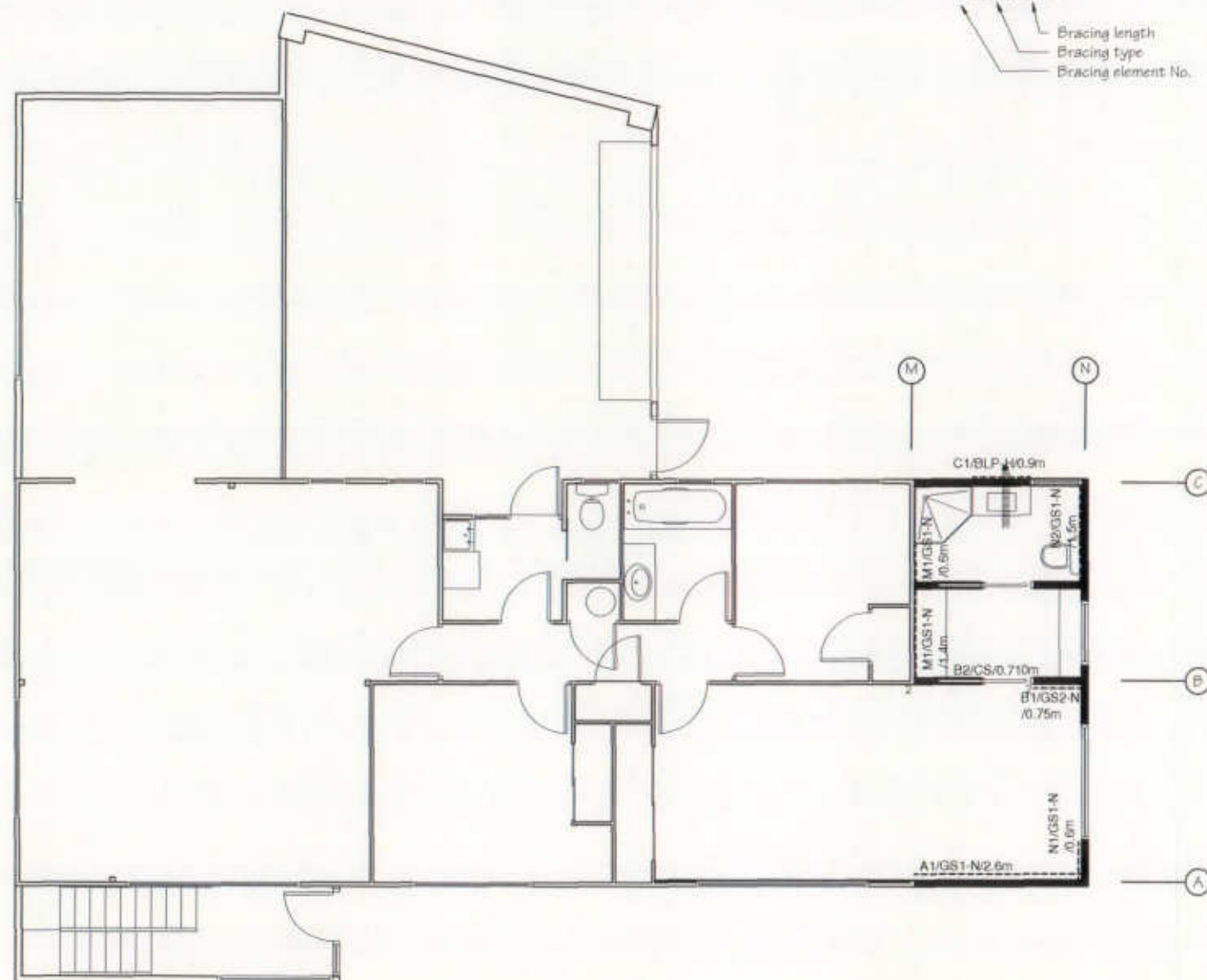
C1/GS1-N/1.2m
Bracing length
Bracing type
Bracing element No.

GS1-N
10mm Gib Standard (0.4m or longer)
to one side only

GS2-N
10mm Gib Standard (0.4m or longer)
to both sides of wall framing

BLP-H
13mm Braceline to one side off the
frame plus minimum 7mm Ecoply to
the other side - with holdowns

CS 710
710 wide Cavity Slider braced unit.



DO NOT SCALE

CHECK ALL DIMENSIONS

ORIGINAL SIZE = A3



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New Plymouth Ph/Fax (06) 758 6008



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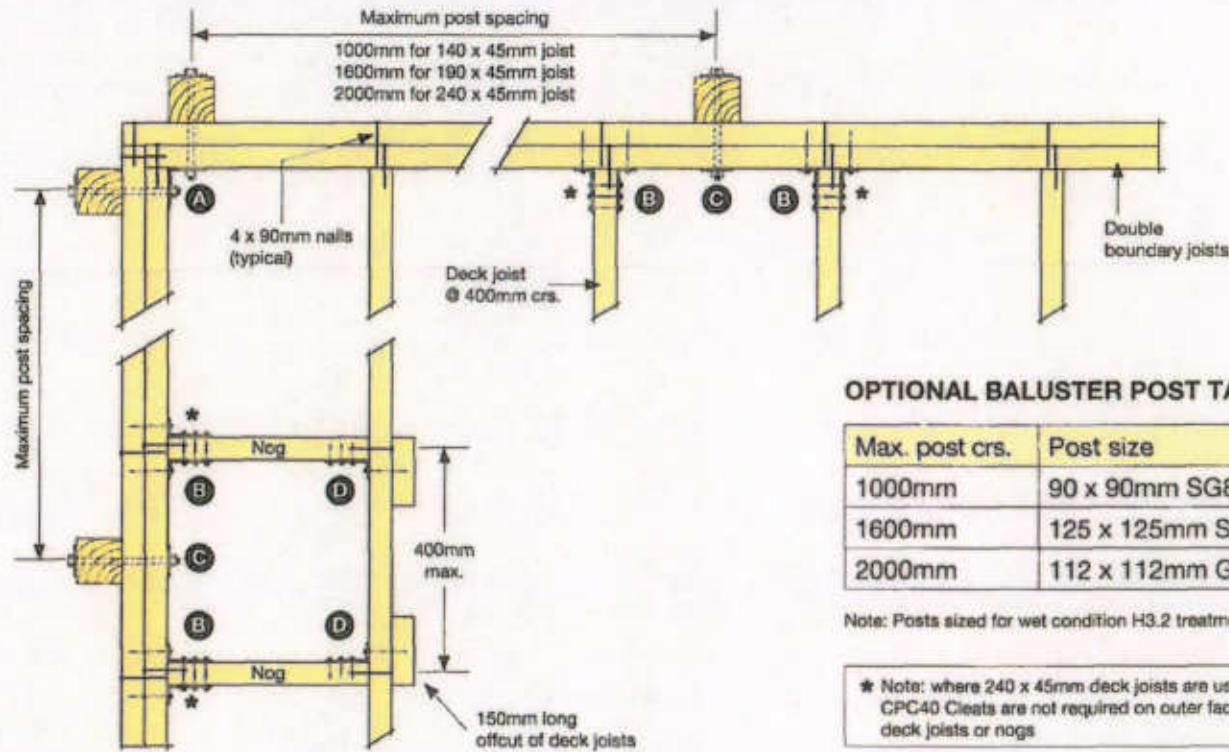
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Drawing Title		Sheet
BRACING PLAN		B1-01
Drawn	OM	Date
		04.07.16
Checked		Scale
		1:100 on A3
		Ref.
		334-795

FACE FIXED BALUSTER POSTS



- Assumes a maximum deck live load of 2.0 kPa
- Complies with Table 3.3 AS/NZS 1170.1:2002 for horizontal load of 0.75 kN/m on handrail
- All fixings are designed to provide adequate rotational stability to the deck system to resist the horizontal load at top of baluster post
- Assumes an approved post and balustrade system is used



OPTIONAL BALUSTER POST TABLE

Max. post crs.	Post size
1000mm	90 x 90mm SG8
1600mm	125 x 125mm SG8
2000mm	112 x 112mm GL8

Note: Posts sized for wet condition H3.2 treatment

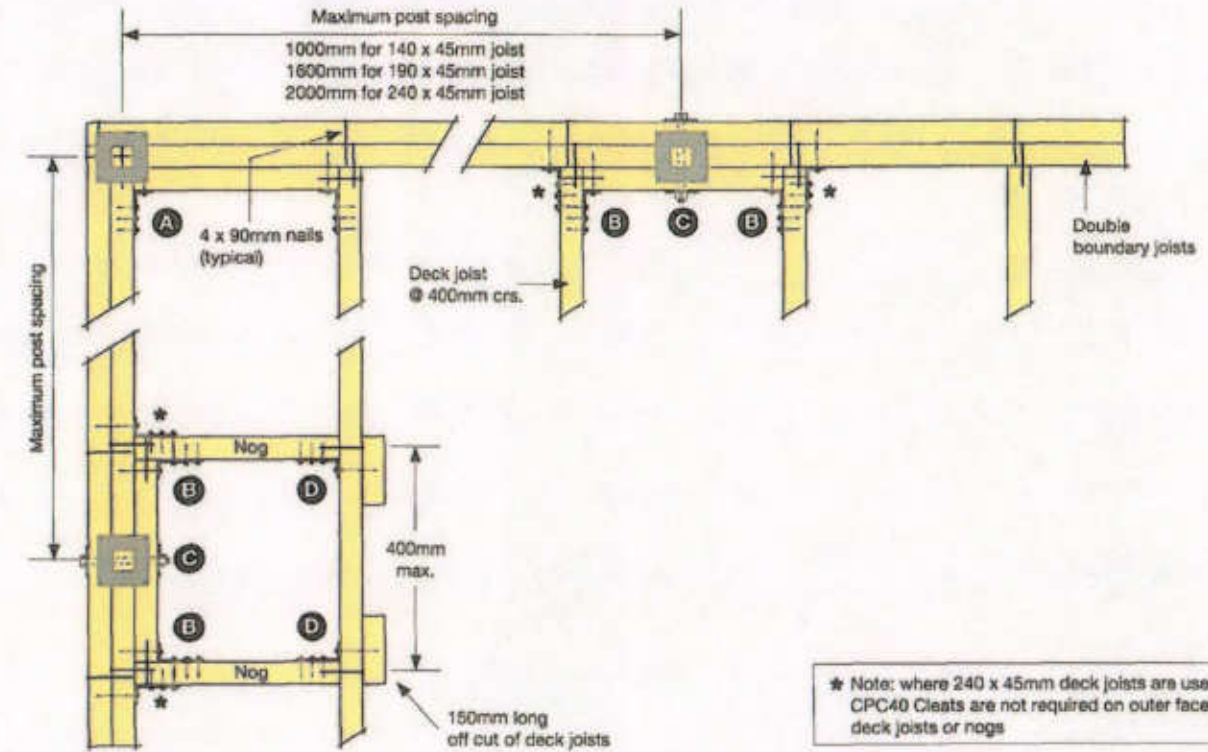
★ Note: where 240 x 45mm deck joists are used, CPC40 Cleats are not required on outer face of deck joists or nogs

TOP FIXED BALUSTER POSTS

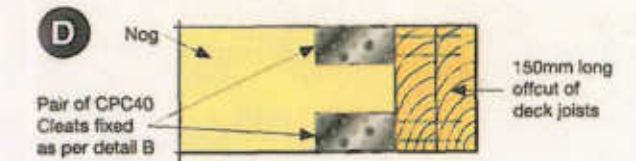
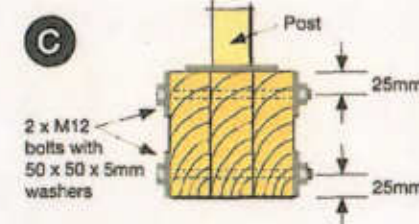
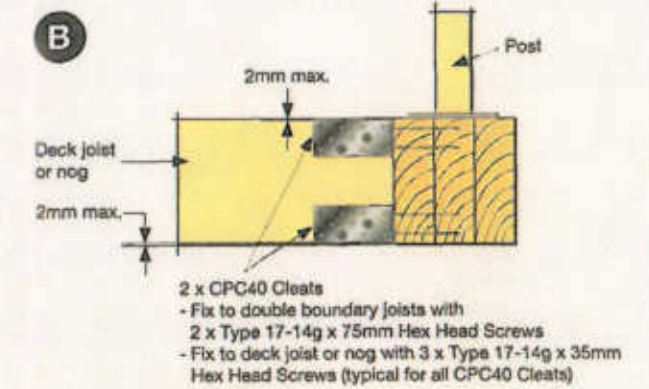
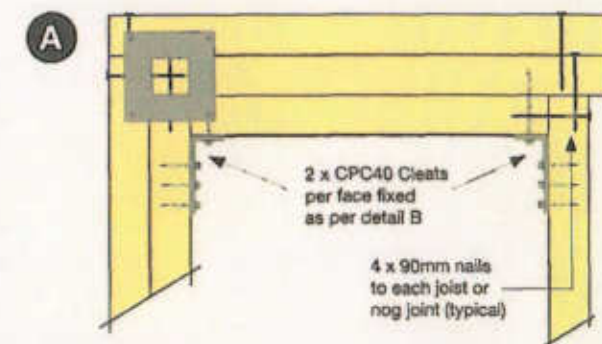
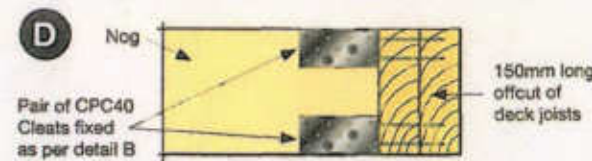
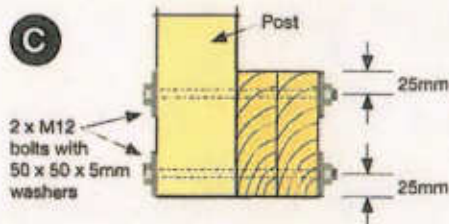
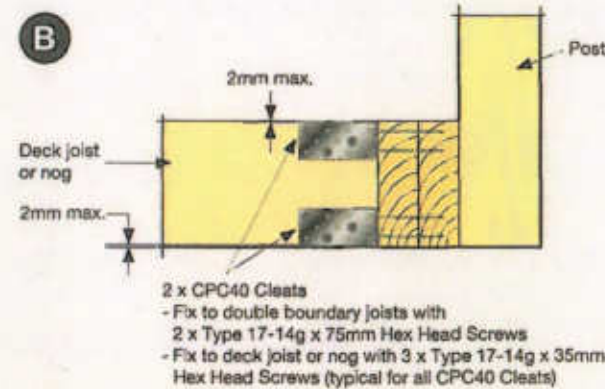
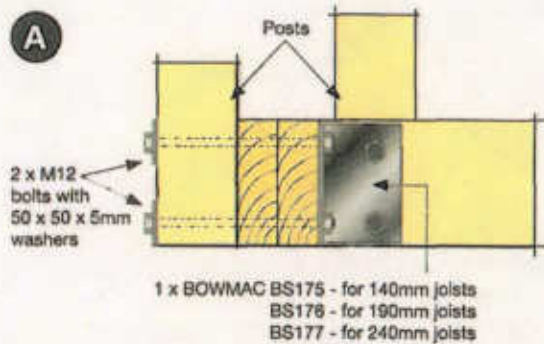
NPDC Approved for
28 OCT 2016
Building Consent



- Assumes a maximum deck live load of 2.0 kPa
- Complies with Table 3.3 AS/NZS 1170.1:2002 for horizontal load of 0.75 kN/m on handrail
- All fixings are designed to provide adequate rotational stability to the deck system to resist the horizontal load at top of baluster post
- Assumes an approved post and balustrade system is used

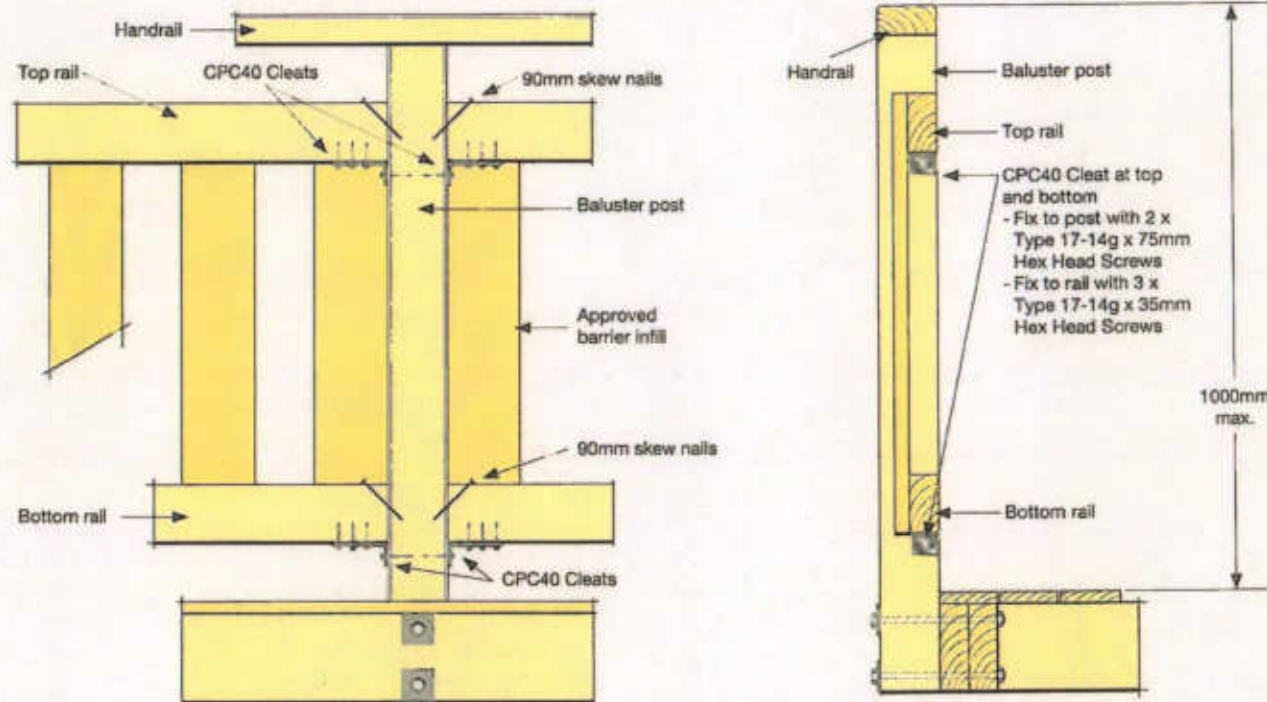
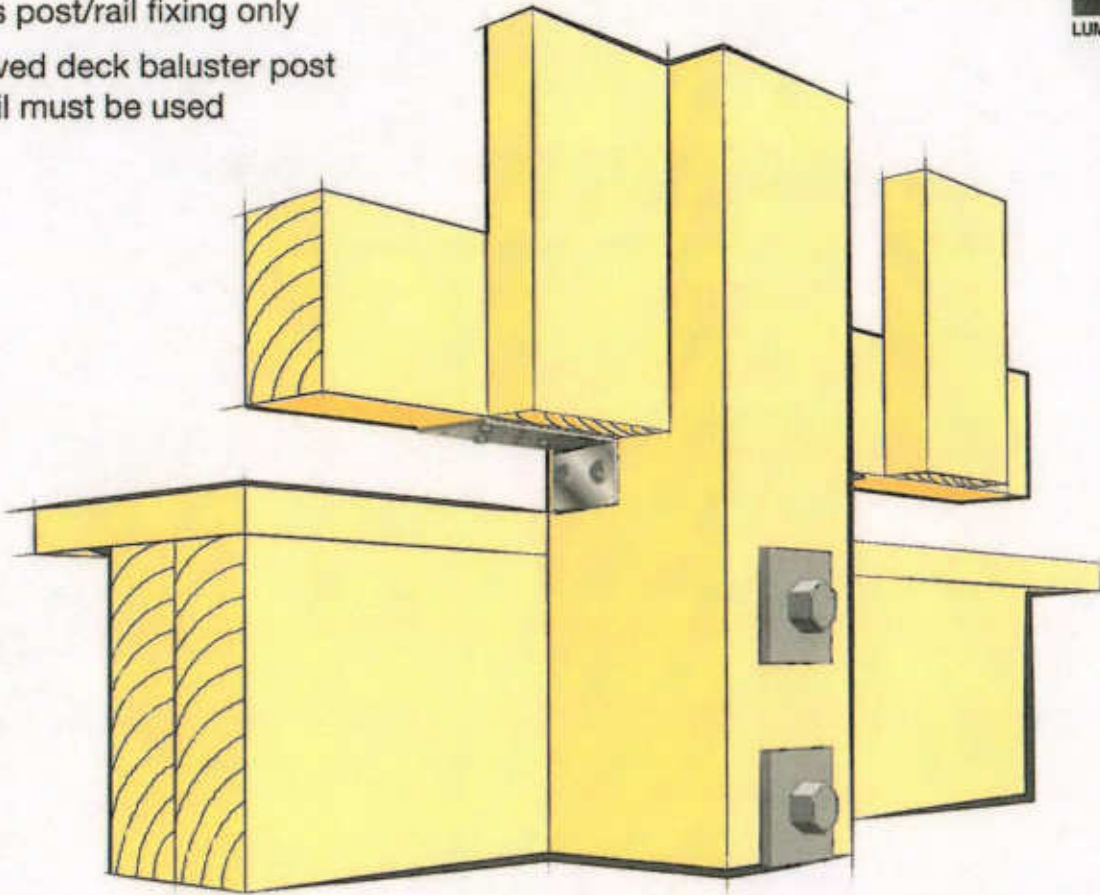


★ Note: where 240 x 45mm deck joists are used, CPC40 Cleats are not required on outer face of deck joists or nogs



BALUSTER POST TO RAIL FIXING

- Covers post/rail fixing only
- Approved deck baluster post and rail must be used

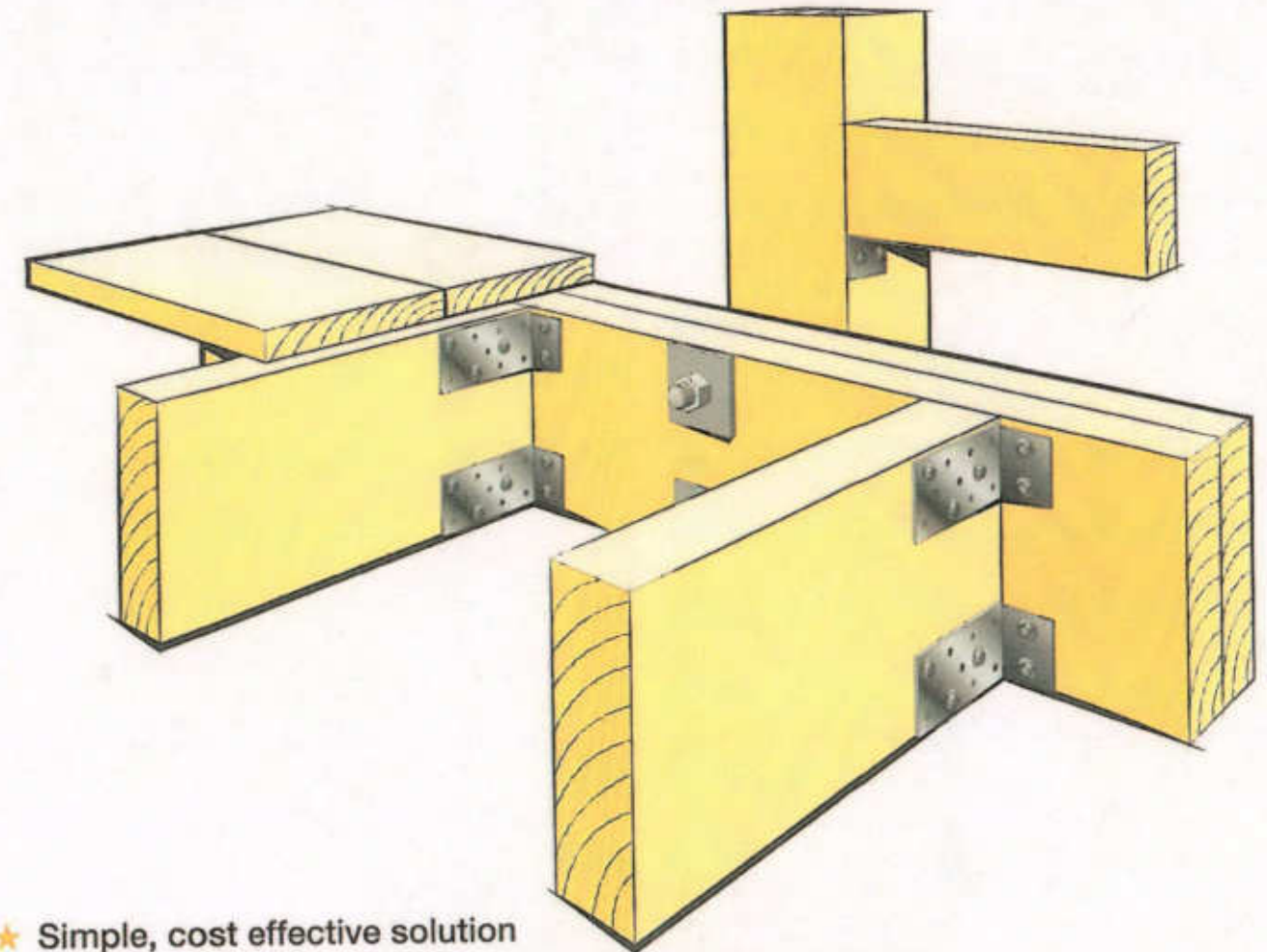


09/2015
NPDC Approved for
28 OCT 2016
Building Consent

DECK JOIST FIXING

ALTERNATIVE SOLUTION TO CLAUSE 7.4.1.3 NZS 3604:2011

Provides the required fixing between the deck joist and boundary joist to suit a cantilever baluster system



- ★ Simple, cost effective solution
- ★ Uses internal connections to allow easy fixing of decking
- ★ For face fixed and top fixed baluster posts
- ★ Provides solution for 140 x 45, 190 x 45 and 240 x 45mm joists
- ★ Packed: Carton of 50 Stainless Steel (Grade 304) CPC40 Cleats and corresponding screw sizes



SCAN FOR
INSTALLATION
VIDEO
<https://vimeo.com/157949237>



MiTek New Zealand Limited

AUCKLAND
PO Box 58-014, Botany 2163
Phone: 09-274 7109
Fax: 09-274 7100

CHRISTCHURCH
PO Box 8387, Riccarton 8440
Phone: 03-348 8691
Fax: 03-348 0314

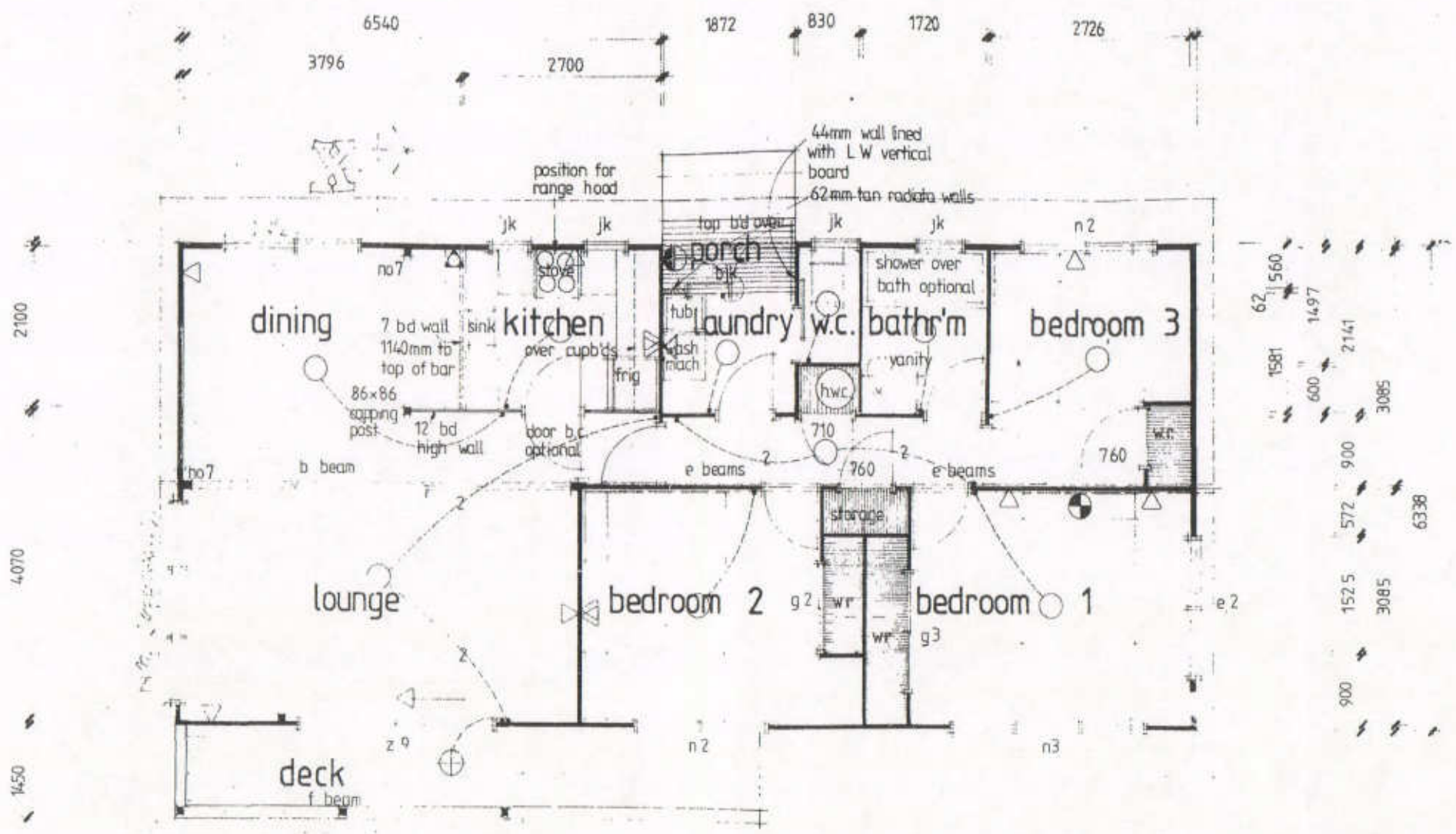
www.mitek.co.nz

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47/13

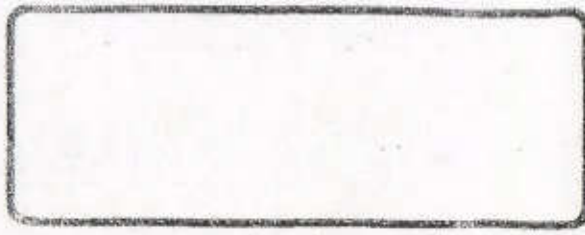


electrical key	
	int. ceiling light
	int. wall "
	fluorescent "
	ext. ceiling "
	ext. wall "
	double power point
	single power point
	telephone
	switch

15-2-91

c
d b
a

floor plan



denver mk 2

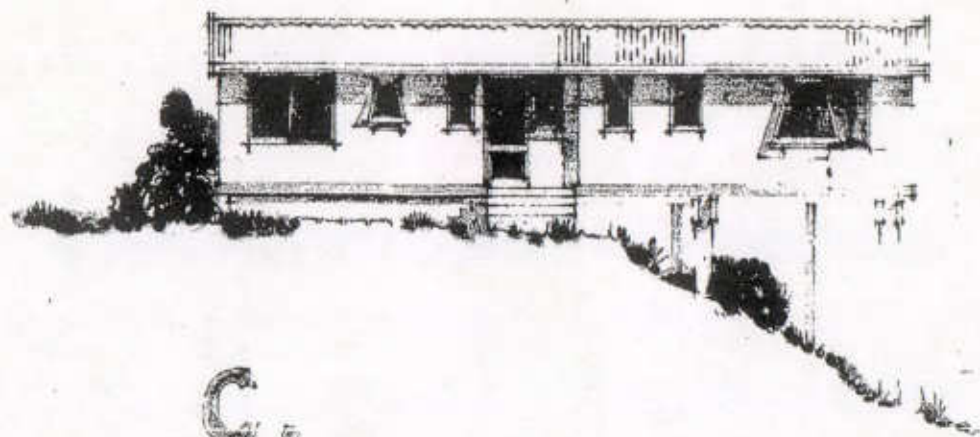
998 sq ft
92.78

DESIGNED	DRAWN	CHECKED	DATE
	C. Jones		
SCALE 1-50		1	

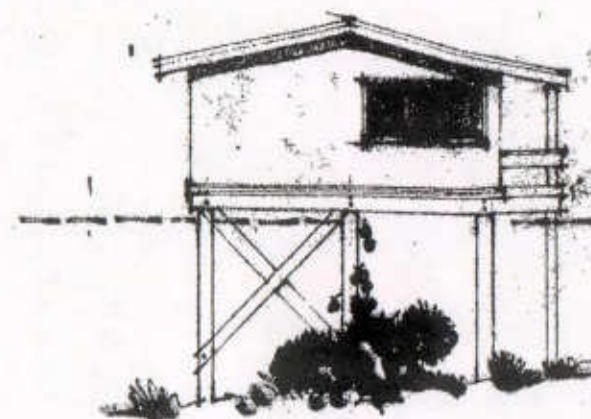
A black and white photograph of a two-story building with a balcony, situated on a hillside. The building has a flat roof and a balcony with a railing. There are some plants and trees in the foreground and background.



B.



C. 5



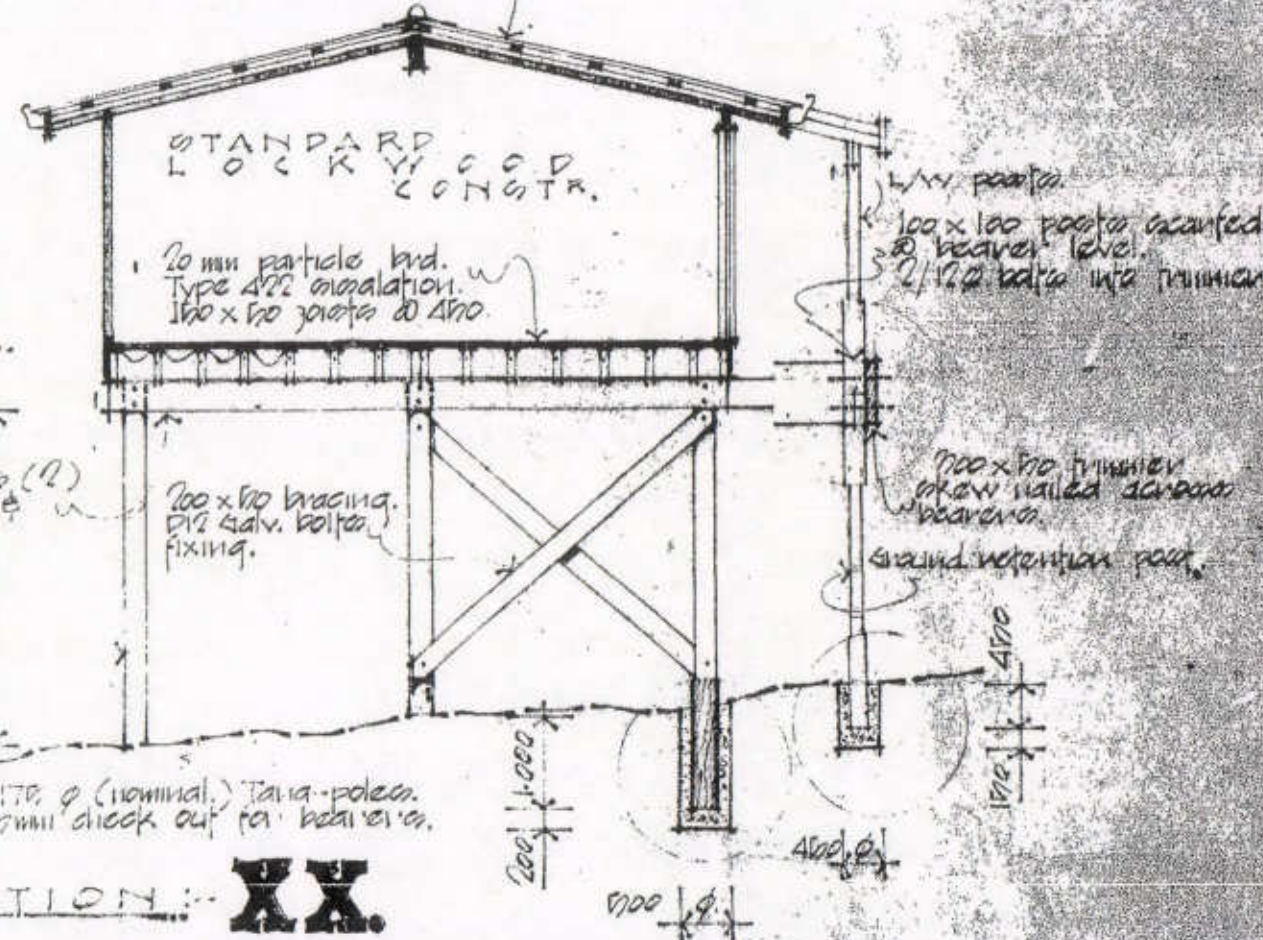
The handrailing & decking
is the original neoclassical.

D.

NOTE:-

All workmanship & materials shall comply with NZS 3604:1978.

200 g. corr. galv. iron.
70 x 100 purlines @ 900.



SECTION:-



LOCKWOOD

Lockwood Buildings Ltd
Russell Rd, Rosara, N.Z.
P.O. Box 1349 Phone 85-184
Telegrams: "Lockwood"
Telex No. NZI F.I.C.O. Lockwood
NZ 21401

Lockwood is manufactured under licence to the Rotom
Company Inc. is exported to AUSTRALIA, JAPAN
MALAYSIA, PERU, SINGAPORE, SOUTH AFRICA,
CALIFORNIA, HONGKONG, NEW ZEALAND, WESTERN
AMERICAN SAHARA, BRITISH SOLOMONS, NEW
HEBRIDES, FIJI, UNITED ARAB EMIRATES & INDIA.

PATENTS & COPYRIGHTS RESERVED

CLIENT

CONTRACTOR

DRAWING TYPE

FLOOR AREA:
Equal to orthodox construction of

REVISIONS: 4281
DATE: 11-11-2004

DESIGNATION:

— 151 —

CAVA

1000

100

WIKI-ONE

1998

1999

1000

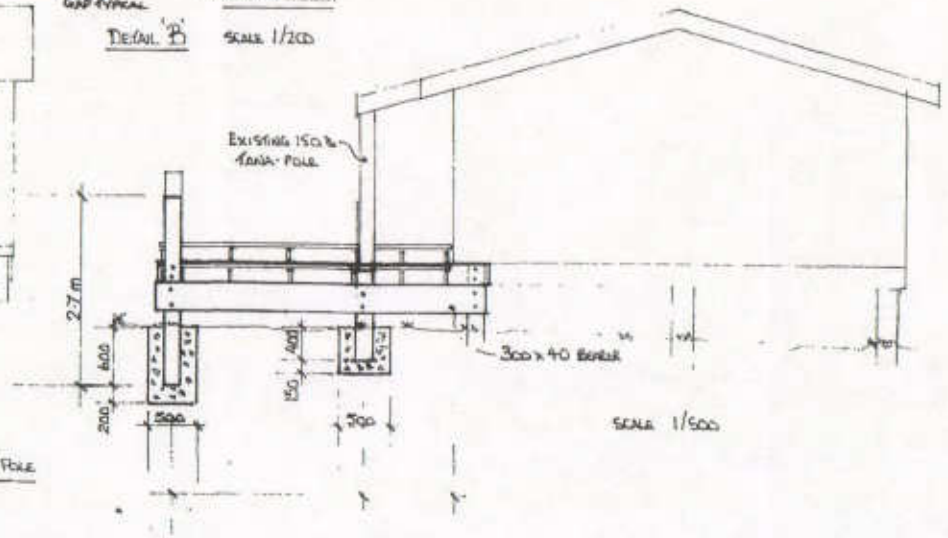
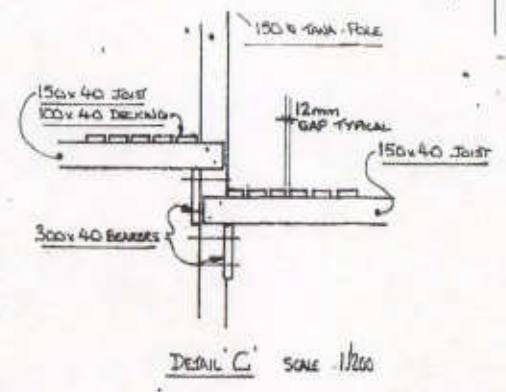
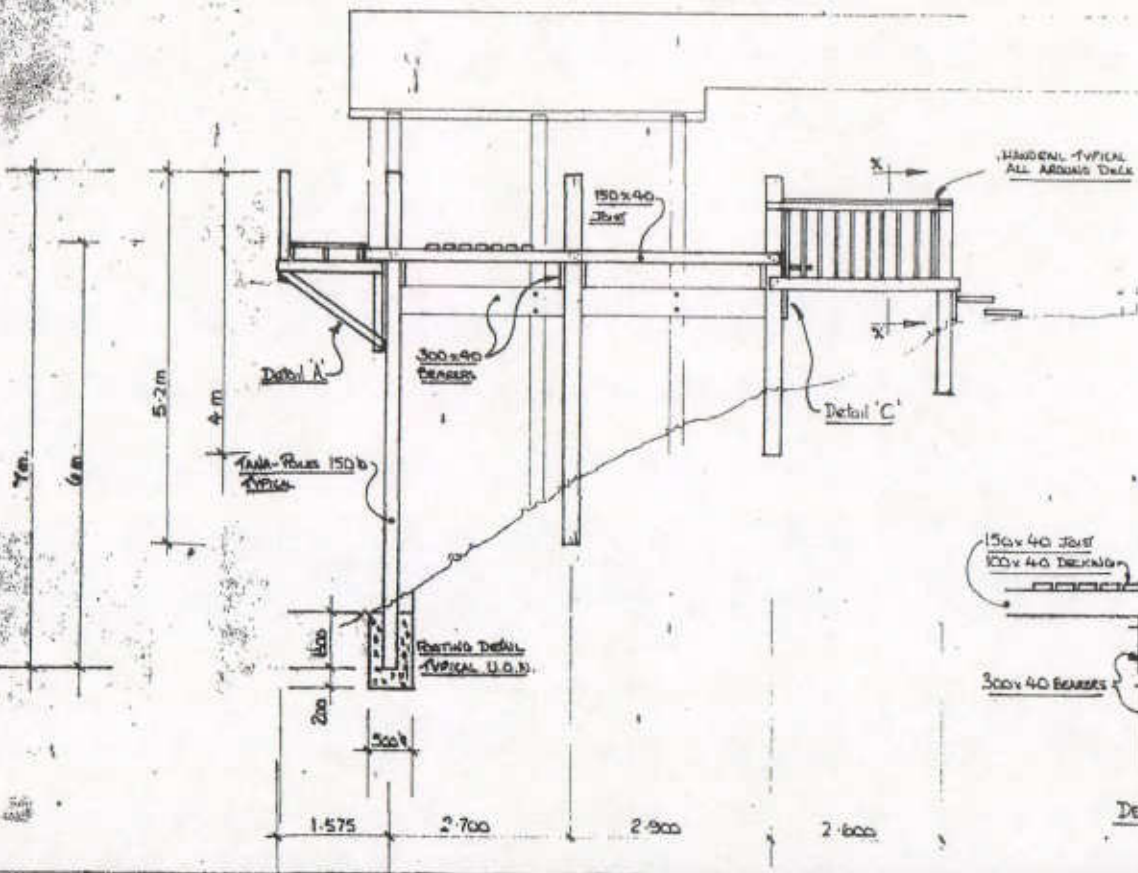
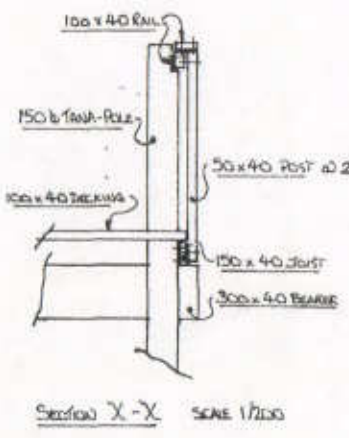
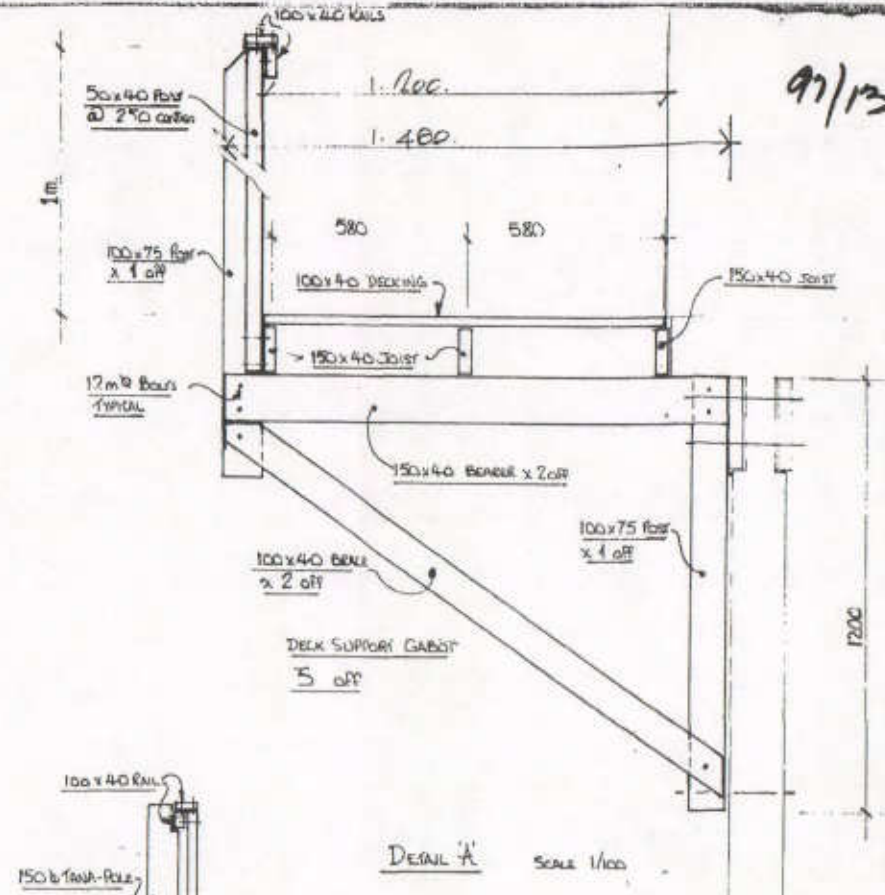
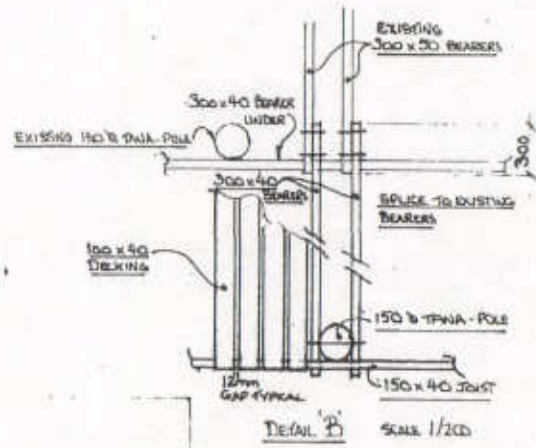
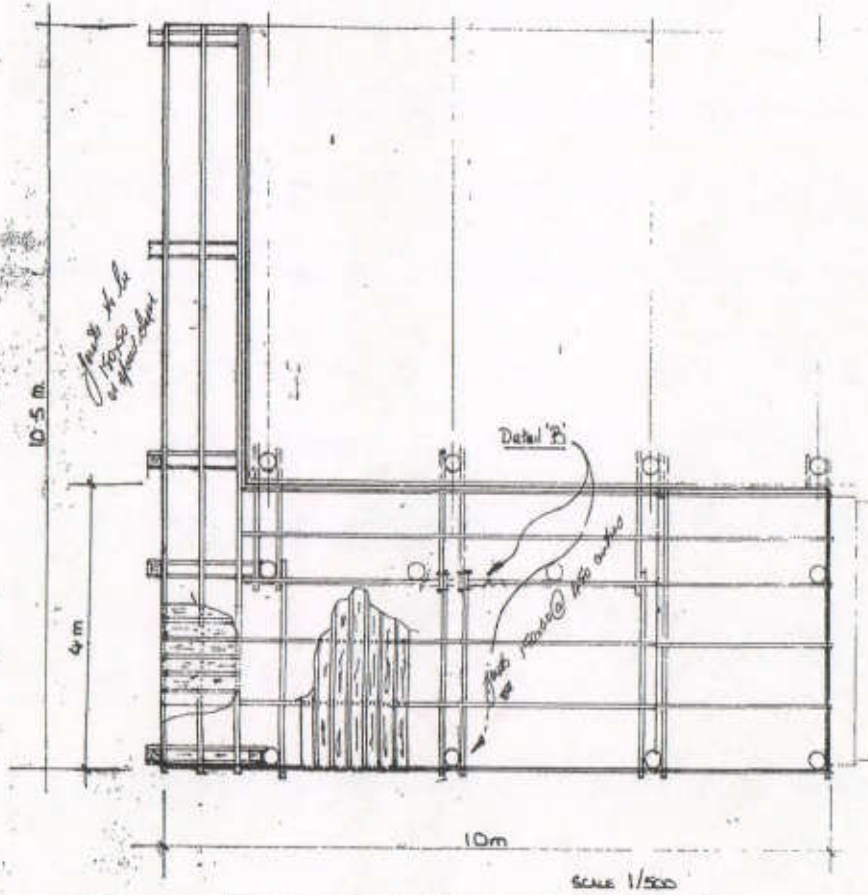
2

100

100

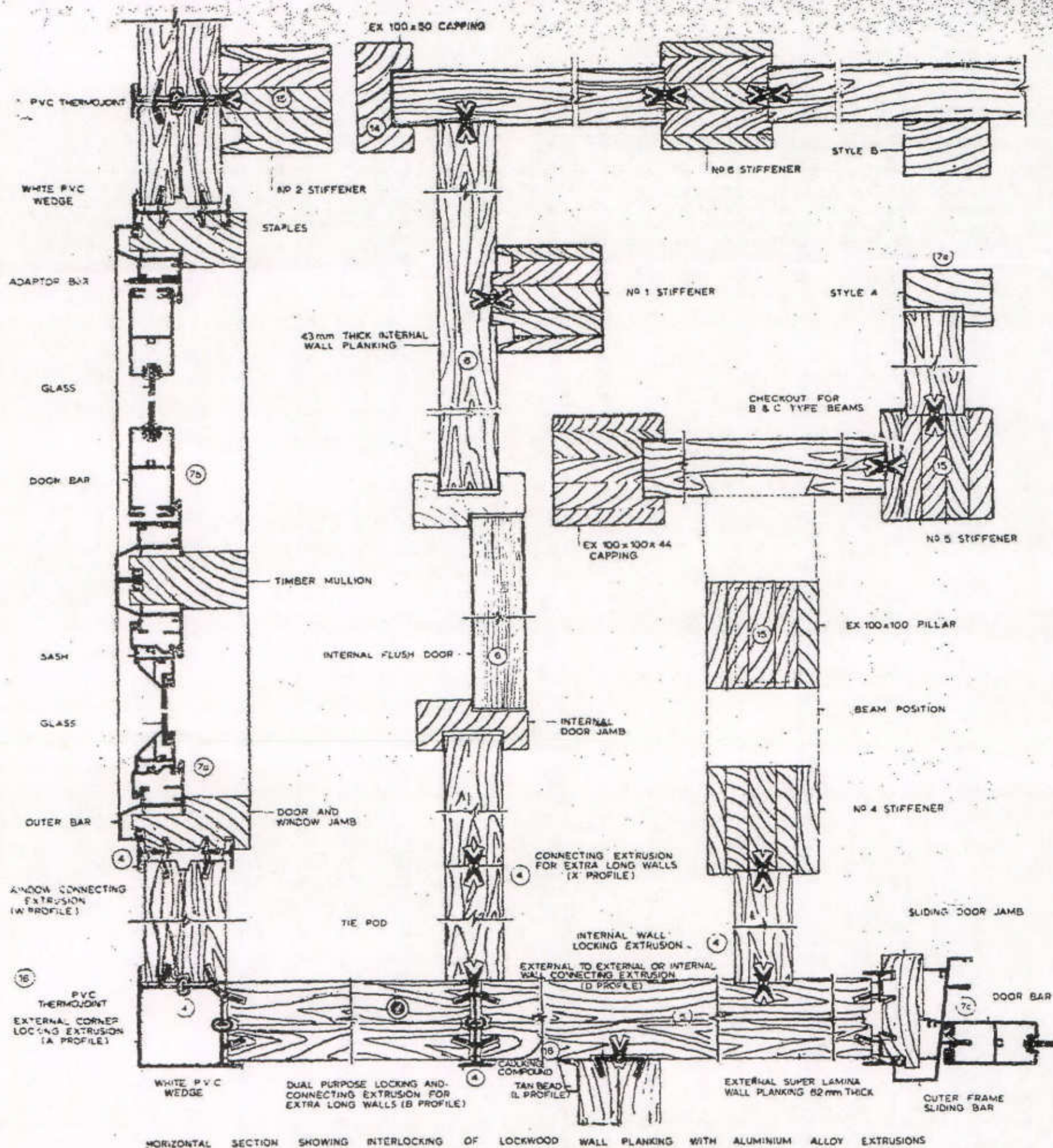
Notes to plan 24/1/19

9/1/19



PROPOSED ADDITIONAL DECKING FOR THE WILKINSON RESIDENCE
13 CARGILL PLACE FRANKLEY PARK.

Plan 511692 \$ 87609 Canva 8/85
Vandl Wilkinson



HORIZONTAL SECTION SHOWING INTERLOCKING OF LOCKWOOD WALL PLANKING WITH ALUMINIUM ALLOY EXTRUSIONS

These are benefits normally included in total contract prices for "Lockwood" buildings, at no extra cost:

1. Lockwood solid wall construction;
2. Aluminium sheathing of external walls (for maximum durability): Paint film guaranteed for 10 years against chipping, peeling and blistering.*
3. Reduced construction time.
4. Internal walls of natural timber with synthetic varnish finish with expected durability of 25 years
5. Sloping or flat ceilings with exposed beams and "spacious living" design;
6. Earthquake / Cyclone Tested (Test results available on request).
7. Special Lockwood gable frame with glazing to ceiling height.

Use the Lockwood method for any building. The Lockwood system is ideally suited for all kinds and sizes of buildings.

DOMESTIC: New homes (including holiday houses, farm cottages, etc.) from 20 to 90 sq. metres and over. COMMERCIAL: Flats, motels, offices, shops, tea-rooms, restaurants, etc. INSTITUTIONAL: Halls, school classrooms, club rooms, churches, ski lodges, etc. VERTICAL PARTITIONING: Non-modular for commercial use - Lockwood finger jointed grade Radiata Pine, Boric treated.

* Conditional on washing down at least twice yearly.

"PATENTED OR PATENT APPLICATIONS PENDING AS FOLLOWS"

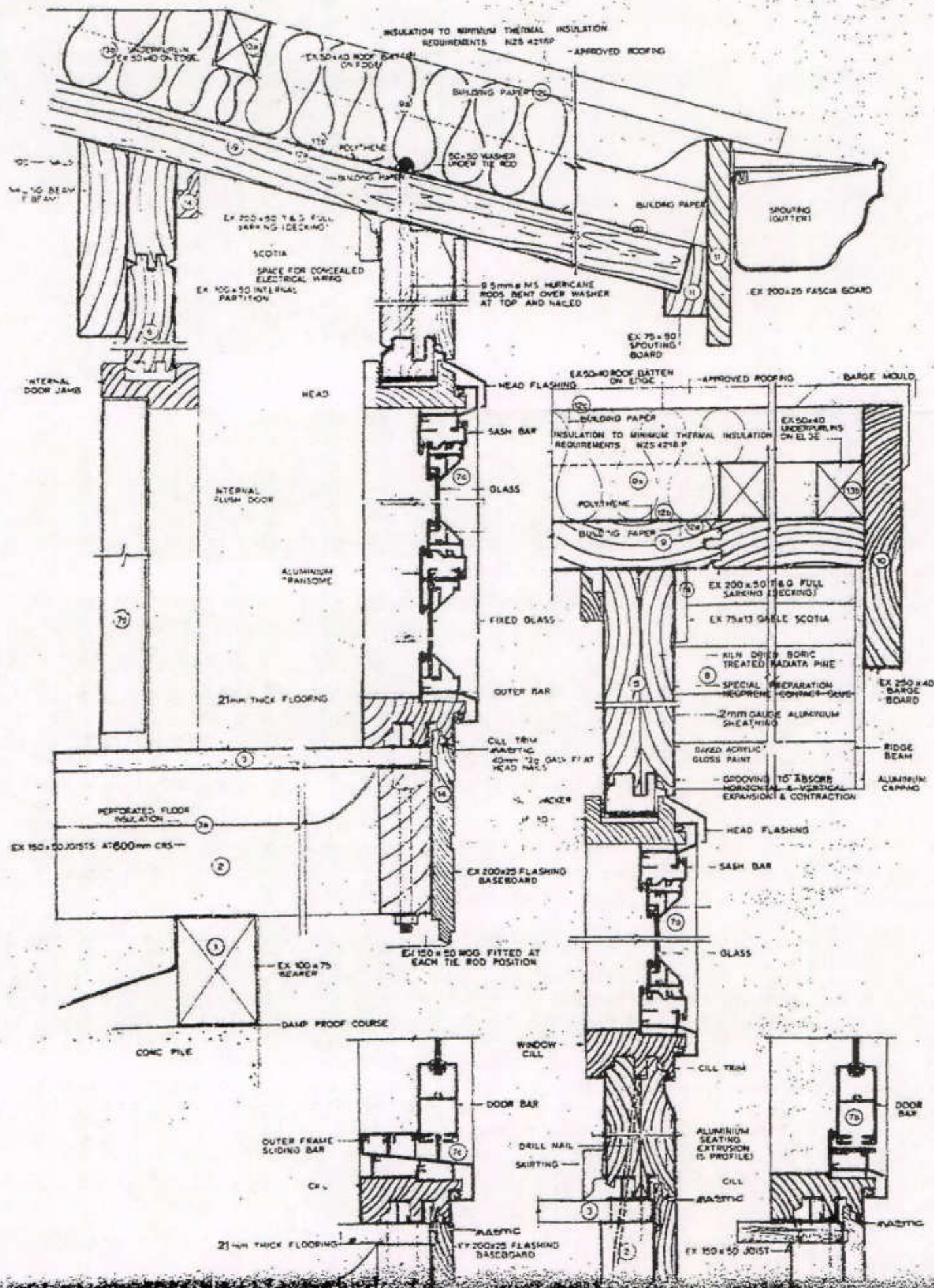
New Zealand No. 14711-15311 164265-164278-164280-127726-184453-185295-187344-187345-187355 Sweden No. 7812657 Canada No. 517501-542461-963463-240753 Great Britain No. 45113/76-1113645 United States No. 4,011,111-4,011,112-4,011,113-4,011,114-4,011,115-4,011,116-4,011,117-4,011,118-4,011,119-4,011,120-4,011,121-4,011,122-4,011,123-4,011,124-4,011,125-4,011,126-4,011,127-4,011,128-4,011,129-4,011,130-4,011,131-4,011,132-4,011,133-4,011,134-4,011,135-4,011,136-4,011,137-4,011,138-4,011,139-4,011,140-4,011,141-4,011,142-4,011,143-4,011,144-4,011,145-4,011,146-4,011,147-4,011,148-4,011,149-4,011,150-4,011,151-4,011,152-4,011,153-4,011,154-4,011,155-4,011,156-4,011,157-4,011,158-4,011,159-4,011,160-4,011,161-4,011,162-4,011,163-4,011,164-4,011,165-4,011,166-4,011,167-4,011,168-4,011,169-4,011,170-4,011,171-4,011,172-4,011,173-4,011,174-4,011,175-4,011,176-4,011,177-4,011,178-4,011,179-4,011,180-4,011,181-4,011,182-4,011,183-4,011,184-4,011,185-4,011,186-4,011,187-4,011,188-4,011,189-4,011,190-4,011,191-4,011,192-4,011,193-4,011,194-4,011,195-4,011,196-4,011,197-4,011,198-4,011,199-4,011,200-4,011,201-4,011,202-4,011,203-4,011,204-4,011,205-4,011,206-4,011,207-4,011,208-4,011,209-4,011,210-4,011,211-4,011,212-4,011,213-4,011,214-4,011,215-4,011,216-4,011,217-4,011,218-4,011,219-4,011,220-4,011,221-4,011,222-4,011,223-4,011,224-4,011,225-4,011,226-4,011,227-4,011,228-4,011,229-4,011,230-4,011,231-4,011,232-4,011,233-4,011,234-4,011,235-4,011,236-4,011,237-4,011,238-4,011,239-4,011,240-4,011,241-4,011,242-4,011,243-4,011,244-4,011,245-4,011,246-4,011,247-4,011,248-4,011,249-4,011,250-4,011,251-4,011,252-4,011,253-4,011,254-4,011,255-4,011,256-4,011,257-4,011,258-4,011,259-4,011,260-4,011,261-4,011,262-4,011,263-4,011,264-4,011,265-4,011,266-4,011,267-4,011,268-4,011,269-4,011,270-4,011,271-4,011,272-4,011,273-4,011,274-4,011,275-4,011,276-4,011,277-4,011,278-4,011,279-4,011,280-4,011,281-4,011,282-4,011,283-4,011,284-4,011,285-4,011,286-4,011,287-4,011,288-4,011,289-4,011,290-4,011,291-4,011,292-4,011,293-4,011,294-4,011,295-4,011,296-4,011,297-4,011,298-4,011,299-4,011,300-4,011,301-4,011,302-4,011,303-4,011,304-4,011,305-4,011,306-4,011,307-4,011,308-4,011,309-4,011,310-4,011,311-4,011,312-4,011,313-4,011,314-4,011,315-4,011,316-4,011,317-4,011,318-4,011,319-4,011,320-4,011,321-4,011,322-4,011,323-4,011,324-4,011,325-4,011,326-4,011,327-4,011,328-4,011,329-4,011,330-4,011,331-4,011,332-4,011,333-4,011,334-4,011,335-4,011,336-4,011,337-4,011,338-4,011,339-4,011,340-4,011,341-4,011,342-4,011,343-4,011,344-4,011,345-4,011,346-4,011,347-4,011,348-4,011,349-4,011,350-4,011,351-4,011,352-4,011,353-4,011,354-4,011,355-4,011,356-4,011,357-4,011,358-4,011,359-4,011,360-4,011,361-4,011,362-4,011,363-4,011,364-4,011,365-4,011,366-4,011,367-4,011,368-4,011,369-4,011,370-4,011,371-4,011,372-4,011,373-4,011,374-4,011,375-4,011,376-4,011,377-4,011,378-4,011,379-4,011,380-4,011,381-4,011,382-4,011,383-4,011,384-4,011,385-4,011,386-4,011,387-4,011,388-4,011,389-4,011,390-4,011,391-4,011,392-4,011,393-4,011,394-4,011,395-4,011,396-4,011,397-4,011,398-4,011,399-4,011,400-4,011,401-4,011,402-4,011,403-4,011,404-4,011,405-4,011,406-4,011,407-4,011,408-4,011,409-4,011,410-4,011,411-4,011,412-4,011,413-4,011,414-4,011,415-4,011,416-4,011,417-4,011,418-4,011,419-4,011,420-4,011,421-4,011,422-4,011,423-4,011,424-4,011,425-4,011,426-4,011,427-4,011,428-4,011,429-4,011,430-4,011,431-4,011,432-4,011,433-4,011,434-4,011,435-4,011,436-4,011,437-4,011,438-4,011,439-4,011,440-4,011,441-4,011,442-4,011,443-4,011,444-4,011,445-4,011,446-4,011,447-4,011,448-4,011,449-4,011,450-4,011,451-4,011,452-4,011,453-4,011,454-4,011,455-4,011,456-4,011,457-4,011,458-4,011,459-4,011,460-4,011,461-4,011,462-4,011,463-4,011,464-4,011,465-4,011,466-4,011,467-4,011,468-4,011,469-4,011,470-4,011,471-4,011,472-4,011,473-4,011,474-4,011,475-4,011,476-4,011,477-4,011,478-4,011,479-4,011,480-4,011,481-4,011,482-4,011,483-4,011,484-4,011,485-4,011,486-4,011,487-4,011,488-4,011,489-4,011,490-4,011,491-4,011,492-4,011,493-4,011,494-4,011,495-4,011,496-4,011,497-4,011,498-4,011,499-4,011,500-4,011,501-4,011,502-4,011,503-4,011,504-4,011,505-4,011,506-4,011,507-4,011,508-4,011,509-4,011,510-4,011,511-4,011,512-4,011,513-4,011,514-4,011,515-4,011,516-4,011,517-4,011,518-4,011,519-4,011,520-4,011,521-4,011,522-4,011,523-4,011,524-4,011,525-4,011,526-4,011,527-4,011,528-4,011,529-4,011,530-4,011,531-4,011,532-4,011,533-4,011,534-4,011,535-4,011,536-4,011,537-4,011,538-4,011,539-4,011,540-4,011,541-4,011,542-4,011,543-4,011,544-4,011,545-4,011,546-4,011,547-4,011,548-4,011,549-4,011,550-4,011,551-4,011,552-4,011,553-4,011,554-4,011,555-4,011,556-4,011,557-4,011,558-4,011,559-4,011,560-4,011,561-4,011,562-4,011,563-4,011,564-4,011,565-4,011,566-4,011,567-4,011,568-4,011,569-4,011,570-4,011,571-4,011,572-4,011,573-4,011,574-4,011,575-4,011,576-4,011,577-4,011,578-4,011,579-4,011,580-4,011,581-4,011,582-4,011,583-4,011,584-4,011,585-4,011,586-4,011,587-4,011,588-4,011,589-4,011,590-4,011,591-4,011,592-4,011,593-4,011,594-4,011,595-4,011,596-4,011,597-4,011,598-4,011,599-4,011,600-4,011,601-4,011,602-4,011,603-4,011,604-4,011,605-4,011,606-4,011,607-4,011,608-4,011,609-4,011,610-4,011,611-4,011,612-4,011,613-4,011,614-4,011,615-4,011,616-4,011,617-4,011,618-4,011,619-4,011,620-4,011,621-4,011,622-4,011,623-4,011,624-4,011,625-4,011,626-4,011,627-4,011,628-4,011,629-4,011,630-4,011,631-4,011,632-4,011,633-4,011,634-4,011,635-4,011,636-4,011,637-4,011,638-4,011,639-4,011,640-4,011,641-4,011,642-4,011,643-4,011,644-4,011,645-4,011,646-4,011,647-4,011,648-4,011,649-4,011,650-4,011,651-4,011,652-4,011,653-4,011,654-4,011,655-4,011,656-4,011,657-4,011,658-4,011,659-4,011,660-4,011,661-4,011,662-4,011,663-4,011,664-4,011,665-4,011,666-4,011,667-4,011,668-4,011,669-4,011,670-4,011,671-4,011,672-4,011,673-4,011,674-4,011,675-4,011,676-4,011,677-4,011,678-4,011,679-4,011,680-4,011,681-4,011,682-4,011,683-4,011,684-4,011,685-4,011,686-4,011,687-4,011,688-4,011,689-4,011,690-4,011,691-4,011,692-4,011,693-4,011,694-4,011,695-4,011,696-4,011,697-4,011,698-4,011,699-4,011,700-4,011,701-4,011,702-4,011,703-4,011,704-4,011,705-4,011,706-4,011,707-4,011,708-4,011,709-4,011,710-4,011,711-4,011,712-4,011,713-4,011,714-4,011,715-4,011,716-4,011,717-4,011,718-4,011,719-4,011,720-4,011,721-4,011,722-4,011,723-4,011,724-4,011,725-4,011,726-4,011,727-4,011,728-4,011,729-4,011,730-4,011,731-4,011,732-4,011,733-4,011,734-4,011,735-4,011,736-4,011,737-4,011,738-4,011,739-4,011,740-4,011,741-4,011,742-4,011,743-4,011,744-4,011,745-4,011,746-4,011,747-4,011,748-4,011,749-4,011,750-4,011,751-4,011,752-4,011,753-4,011,754-4,011,755-4,011,756-4,011,757-4,011,758-4,011,759-4,011,760-4,011,761-4,011,762-4,011,763-4,011,764-4,011,765-4,011,766-4,011,767-4,011,768-4,011,769-4,011,770-4,011,771-4,011,772-4,011,773-4,011,774-4,011,775-4,011,776-4,011,777-4,011,778-4,011,779-4,011,780-4,011,781-4,011,782-4,011,783-4,011,784-4,011,785-4,011,786-4,011,787-4,011,788-4,011,789-4,011,790-4,011,791-4,011,792-4,011,793-4,011,794-4,011,795-4,011,796-4,011,797-4,011,798-4,011,799-4,011,800-4,011,801-4,011,802-4,011,803-4,011,804-4,011,805-4,011,806-4,011,807-4,011,808-4,011,809-4,011,810-4,011,811-4,011,812-4,011,813-4,011,814-4,011,815-4,011,816-4,011,817-4,011,818-4,011,819-4,011,820-4,011,821-4,011,822-4,011,823-4,011,824-4,011,825-4,011,826-4,011,827-4,011,828-4,011,829-4,011,830-4,011,831-4,011,832-4,011,833-4,011,834-4,011,835-4,011,836-4,011,837-4,011,838-4,011,839-4,011,840-4,011,841-4,011,842-4,011,843-4,011,844-4,011,845-4,011,846-4,011,847-4,011,848-4,011,849-4,011,850-4,011,851-4,011,852-4,011,853-4,011,854-4,011,855-4,011,856-4,011,857-4,011,858-4,011,859-4,011,860-4,011,861-4,011,862-4,011,863-4,011,864-4,011,865-4,011,866-4,011,867-4,011,868-4,011,869-4,011,870-4,011,871-4,011,872-4,011,873-4,011,874-4,011,875-4,011,876-4,011,877-4,011,878-4,011,879-4,011,880-4,011,881-4,011,882-4,011,883-4,011,884-4,011,885-4,011,886-4,011,887-4,011,888-4,011,889-4,011,890-4,011,891-4,011,892-4,011,893-4,011,894-4,011,895-4,011,896-4,011,897-4,011,898-4,011,899-4,011,900-4,011,901-4,011,902-4,011,903-4,011,904-4,011,905-4,011,906-4,011,907-4,011,908-4,011,909-4,011,910-4,011,911-4,011,912-4,011,913-4,011,914-4,011,915-4,011,916-4,011,917-4,011,918-4,011,919-4,011,920-4,011,921-4,011,922-4,011,923-4,011,924-4,011,925-4,011,926-4,011,927-4,011,928-4,011,929-4,011,930-4,011,931-4,011,932-4,011,933-4,011,934-4,011,935-4,011,936-4,011,937-4,011,938-4,011,939-4,011,940-4,011,941-4,011,942-4,011,943-4,011,944-4,011,945-4,011,946-4,011,947-4,011,948-4,011,949-4,011,950-4,011,951-4,011,952-4,011,953-4,011,954-4,011,955-4,011,956-4,011,957-4,011,958-4,011,959-4,011,960-4,011,961-4,011,962-4,011,963-4,011,964-4,011,965-4,011,966-4,011,967-4,011,968-4,011,969-4,011,970-4,011,971-4,011,972-4,011,973-4,011,974-4,011,975-4,011,976-4,011,977-4,011,978-4,011,979-4,011,980-4,011,981-4,011,982-4,011,983-4,011,984-4,011,985-4,011,986-4,011,987-4,011,988-4,011,989-4,011,990-4,011,991-4,011,992-4,011,993-4,011,994-4,011,995-4,011,996-4,011,997-4,011,998-4,011,999-4,011,1000-4,011,1001-4,011,1002-4,011,1003-4,011,1004-4,011,1005-4,011,1006-4,011,1007-4,011,1008-4,011,1009-4,011,1010-4,011,1011-4,011,1012-4,011,1013-4,011,1014-4,011,1015-4,011,1016-4,011,1017-4,011,1018-4,011,1019-4,011,1020-4,011,1021-4,011,1022-4,011,1023-4,011,1024-4,011,1025-4,011,1026-4,011,1027-4,011,1028-4,011,1029-4,011,1030-4,011,1031-4,011,1032-4,011,1033-4,011,1034-4,011,1035-4,011,1036-4,011,1037-4,011,1038-4,011,1039-4,011,1040-4,011,1041-4,011,1042-4,011,1043-4,011,1044-4,011,1045-4,011,1046-4,011,1047-4,011,1048-4,011,1049-4,011,1050-4,011,1051-4,011,1052-4,011,1053-4,011,1054-4,011,1055-4,011,1056-4,011,1057-4,011,1058-4,011,1059-4,011,1060-4,011,1061-4,011,1062-4,011,1063-4,011,1064-4,011,1065-4,011,1066-4,011,1067-4,011,1068-4,011,1069-4,011,1070-4,011,1071-4,011,1072-4,011,1073-4,011,1074-4,011,1075-4,011,1076-4,011,1077-4,011,1078-4,011,1079-4,011,1080-4,011,1081-4,011,1082-4,011,1083-4,011,1084-4,011,1085-4,011,1086-4,011,1087-4,011,1088-4,011,1089-4,011,1090-4,011,1091-4,011,1092-4,011,1093-4,011,1094-4,011,1095-4,011,1096-4,011,1097-4,011,1098-4,011,1099-4,011,1100-4,011,1101-4,011,1102-4,011,1103-4,011,1104-4,011,1105-4,011,1106-4,011,1107-4,011,1108-4,011,1109-4,011,1110-4,011,1111-4,011,1112-4,011,1113-4,011,1114-4,011,1115-4,011,1116-4,011,1117-4,011,1118-4,011,1119-4,011,1120-4,011,1121-4,011,1122-4,011,1123-4,011,1124-4,011,1125-4,011,1126-4,011,1127-4,011,1128-4,011,1129-4,011,1130-4,011,1131-4,011,1132-4,011,1133-4,011,1134-4,011,1135-4,011,1136-4,011,1137-4,011,1138-4,011,1139-4,011,1140-4,011,1141-4,011,1142-4,011,1143-4,011,1144-4,011,1145-4,011,1146-4,011,1147-4,011,1148-4,011,1149-4,011,1150-4,011,1151-4,011,1152-4,011,1153-4,011,1154-4,011,1155-4,011,1156-4,011,1157-4,011,1158-4,011,1159-4,011,1160-4,011,1161-4,011,1162-4,011,1163-4,011,1164-4,011,1165-4,011,1166-4,011,1167-4,011,1168-4,011,1169-4,011,1170-4,011,1171-4,011,1172-4,011,1173-4,011,1174-4,011,1175-4,011,1176-4,011,1177-4,011,1178-4,011,1179-4,011,1180-4,011,1181-4,011,1182-4,011,1183-4,011,1184-4,011,1185-4,011,1186-4,011,1187-4,011,1188-4,011,1189-4,011,1190-4,011,1191-4,011,1192-4,011,1193-4,011,1194-4,011,1195-4,011,1196-4,011,1197-4,011,1198-4,011,1199-4,011,1200-4,011,1201-4,011,1202-4,011,1203-4,011,1204-4,011,1205-4,011,1206-4,011,1207-4,011,1208-4,011,1209-4,011,1210-

BORIC Treatment is a method of timber preservation, applied by the Diffusion process containing Boron Compounds to the New Zealand Timber Preservation Authority Classification C8. This method of timber preservation is a protection against timber destroying fungus and insect attack in areas other than the Tropical countries where white ants are found.

TANALITH Treatment is a multi-salt timber preservative, applied under pressure to the timbers to comply with the New Zealand Timber Preservation Authority Specification C7. This method of treatment, besides preventing fungal decay, protects the timbers against attacks of white ant and timber destroying insects as found in Tropical countries.

In general, the quality of material and standard finish for Lockwood components will be within the limits of the Specification. Lockwood Buildings Ltd as manufacturers, do not deal directly with the public but distribute to appointed contractors on a vendor to purchaser basis. Lockwood Buildings Limited's areas of responsibility for structural soundness and performance is limited to the components incorporated in the building. Due to changes in atmospheric conditions movement could occur after erection; this has been allowed for in the design of the system.

Please ask to see details on our full range of products "Type 43," "Type 62," "Type 96" and "Vertical Partitioning."



THESE PLANS HAVE BEEN

SUPERSEDED

REPLACEMENT PLANS WILL BE IN
THE APPROVED OFFICE COPY.

BC: 120679 ADDRESS: 13 C2511 Rd.

Amendment No & Date of Amendments that these superseded plans relates to are:

1. **AMENDMENT**

6.

2. **01 - 130117**

7.

3.

8.

4.

9.

5.

10.

THESE ARE TO BE **KEPT AND
SCANNED** AT THE END OF THE
PROJECT FOR FUTURE REFERENCE

DO NOT SCALE

SUPERSEDED
NPDC

STORMWATER DRAIN	
SEWER DRAIN	
WASTE PIPES	
IB	INSPECTION BEND
WC	WC PAN
WHB	WASH HAND BASIN
SHR	SHOWER

ALL DRAINAGE SHOWN AS
DIAGRAMMATIC ONLY. PLUMBER
TO ENSURE ALL FOUL WATER
SANITARY PLUMBING,
STORMWATER DRAINAGE &
WATER SUPPLY SHALL COMPLY
WITH AS/NZS 3500.5:2012
PLUMBING & DRAINAGE -
HOUSING INSTALLATIONS

ALL DRAINS SHALL BE PVC
ALL WATER SUPPLY PIPES SHALL
BE COPPER

ALL FITTINGS WITH BRANCH DRAINS EXCEEDING CODE LENGTHS SHALL BE FITTED WITH AIR ADMITTANCE VALVES.

MINIMUM GRADE OF DISCHARGE PIPES	
SIZE OF GRADED SECTION OF PIPE DN	MINIMUM GRADE %
40DN	2.50 (1 in 40)
50DN	2.50 (1 in 40)
60DN	2.50 (1 in 40)
80DN	1.65 (1 in 60)
100DN	1.65 (1 in 60)

Drainlayer to locate existing
soakhole on site & shall allow to fill
in with sand and relocated 2 x new
soakholes if required.
Check SW drains from existing
downpipes and re-route if necessary

NOTE : Ground area where En-suite is indicated is already benched but may need some final shaping. Pole pile foundations in near location shall be checked by Structural Engineer prior to further excavation and as may be necessary rebuild pile footings to Engineers instructions & details.

B	Note amended & additional soakhole added	27.10.16	ON
A	Existing Soakhole, drainage & note added Foundation note added	13.10.16	ON
Revision	Revision Detail	Date	Rev by



Owen McCluggage Design
O.P. McCluggage REGISTERED ARCHITECT
 11 Young Street Dean House
 New Plymouth PTH/Fax (05) 758 6008



Project Title
EXTENSION & ALTERATION TO EXISTING
TO EXISTING HOUSE
13 CARGILL PLACE, NEW PLYMOUTH

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CLIENTS TO
Verify all dimensions on site before commencing any work.
Once all is clear to go before commencing any work.
Refer 1. Figured dimensions - do not scale off drawing (larger scale drawings - take preference).
Larger scale drawings -
Sketch all dimensions in - Drawings Office

Drawing Title BASEMENT PLAN		Sheet A2-01a
Drawn OM	Date 04.07.16	Revision -
Checked	Scale 1:100 on A3	Ref. 334-795

CHECK ALL DIMENSIONS

ORIGINAL SIZE = A3

CROSS SECTION A-A
Scale 1:50

CROSS SECTION C-C
Scale 1:50

SUPERSEDED
NPDC

CROSS SECTION B-B
Scale 150

CROSS SECTION D-D
Scale 1/50

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