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SOLD ON KĀPITI
real estate



Code Compliance Certificate

Section 43(3), Building Act 1991

Application

Mr Ian & Ms Annie Mackie & Reeve	No.	031976
4 Nuhaka Place	Issue date	22/10/04
PARAPARAUMU BEACH 6010	Application date	7/01/04

Project

Description	Dwellings - Alterations & additions Being Stage 1 of an intended 1 Stages Dwelling adds & alts: new beams and garage door.
Intended Life	Indefinite, but not less than 50 years
Intended Use	Residential.
Estimated Value	\$3,845
Location	4 NUHAKA PL, PARAPARAUMU
Legal Description	LOT 9 DP 35028 CT 12A/96
Valuation No.	1527104600

This is a final Code Compliance Certificate issued in respect of all the building work under the above building consent.

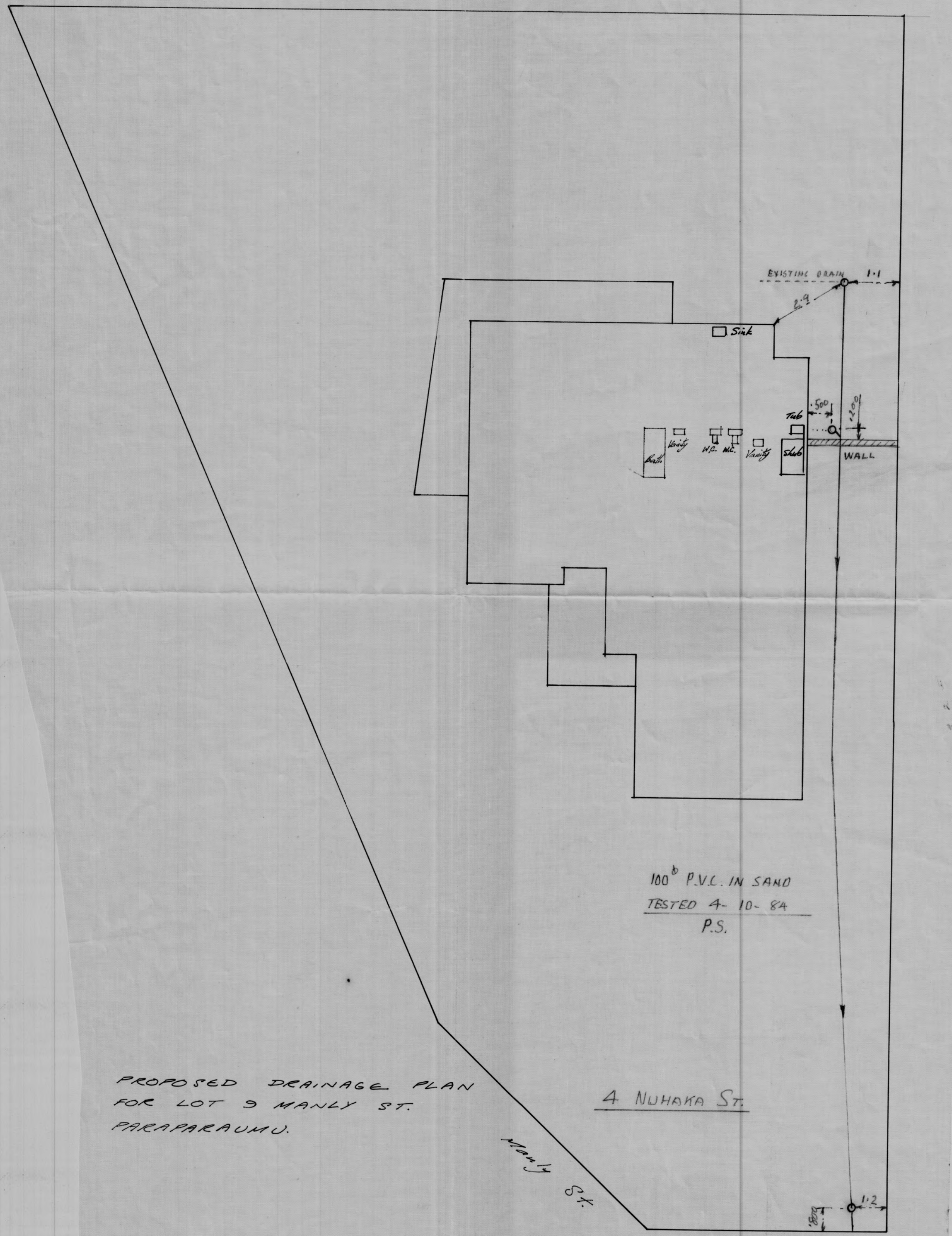
The property owner must follow and carry out the manufacturers prescribed maintenance procedures.

Signed for and on behalf of the Kapiti Coast District Council:

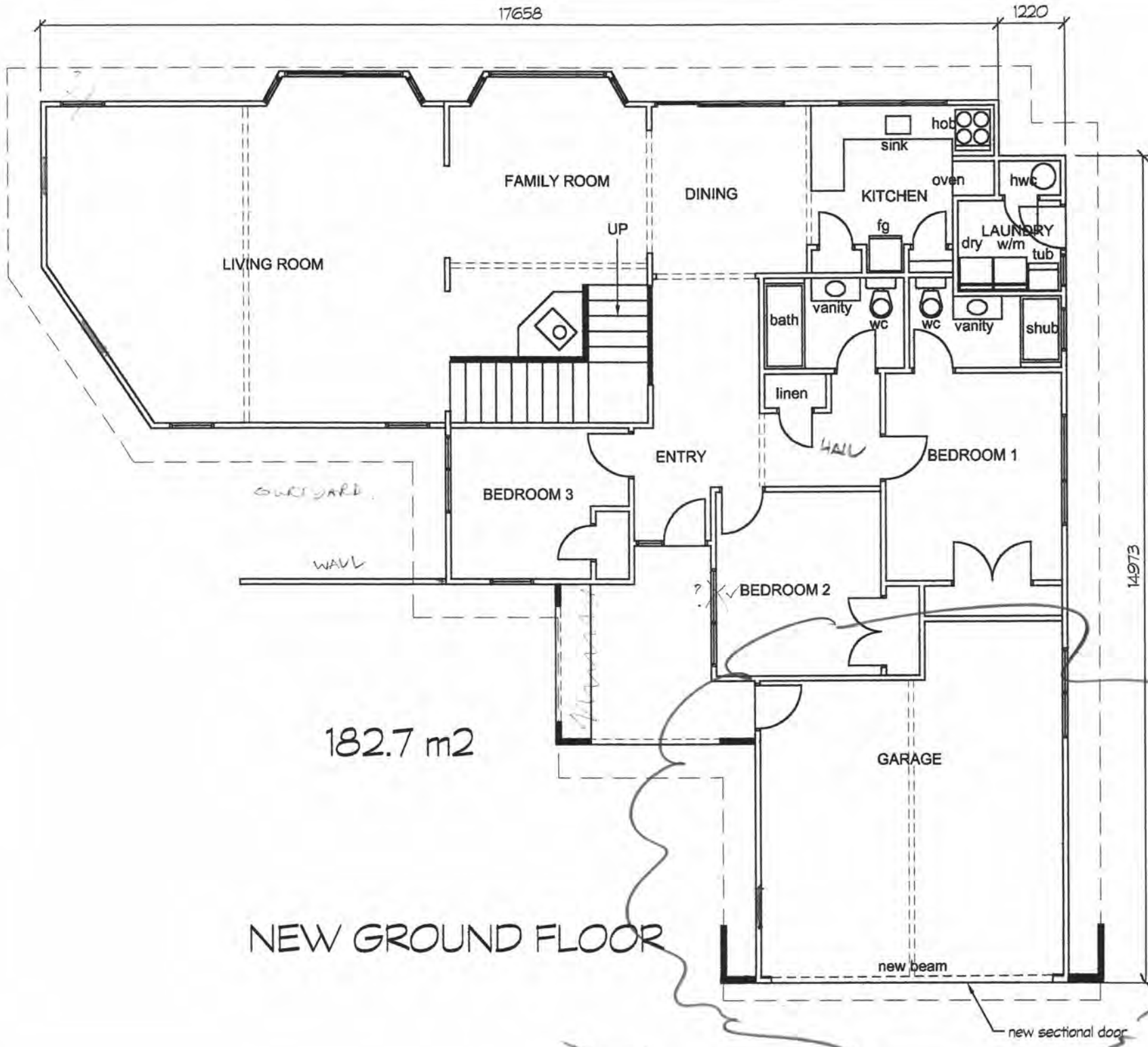
Name:

Date:

22/10/2004



PROPOSED DRAINAGE PLAN
FOR LOT 9 MANLY ST.
PARAPARAUMU.



KAPITI BOROUGH COUNCIL
APPLICATION FOR SEWER CONNECTION AND PERMIT

The Borough Engineer
Private Bag
PARAPARAUMU



I, D. H. Sando

(Full name)

PLEASE PRINT

4. NUHAKA PL. PARAPARAUMU BEACH.

(Postal Address)

hereby apply for an ordinary connection to the Kapiti Borough Sewer from the premises owned by me at

(PROPERTY Address in full
if different from above)

4. NUHAKA PL. PARAPARAUMU BEACH.

Lot

9

DP

35028

15271-046-00

Fees Payable (on application)

Inspection \$ 20.00

Connection \$ 120.00

Total \$ 150.00

Note: All dwelling units to pay full inspection fees.

The connection fee to be divided equally between dwelling units situated on the same lot sharing a common lateral.

[Signature]
Owners Signature

22/9/84
Date

THIS PART TO BE COMPLETED BY DRAINLAYER

I, Dennis Sidney Marsh (full name)

7 Waiare Rd Raumate Beach (address)

being a licensed Drainlayer apply for permission to connect the premises mentioned above to the Kapiti Borough Sewer.

N.B. Connection NOT permitted until permit obtained.

[Signature]
(Signature)

02765
(License No.)

22 Oct 84
(Date)

OFFICE USE ONLY

Permit No. <u>2266</u>	Job Inspected <u>4-10-84</u>	Building Register Entry
Date Issued <u>4-10-84</u>	Connection Recorded <u>OCT 84</u>	<u>OCT-35 4563 A 0150.00 T</u>

KAPITI BOROUGH COUNCIL

APPLICATION FOR WATER SUPPLY AND CONNECTION PERMIT

The Borough Engineer
Private Bag
PARAPARAUMU



I, D. & H. SONDRO (full name)

PLEASE PRINT

4 NIHOAKA PLACE

(Postal address)

hereby apply for an "ORDINARY" service to be laid from the Kapiti Borough Water Supply to the premises owned by me at:

(PROPERTY Address in full if different from above) AS ABOVE

Lot 9 DP 35028

11271-046-00

Fees Payable (on application)

Inspection \$ 25.00
Connection \$ 100.00
Total \$ 125.00

Note: All dwelling units to pay full inspection fees.

The connection fee to be divided equally between dwelling units situated on the same lot sharing a common lateral.

Owners Signature [Signature]

Date 22/9/84

THIS PART TO BE COMPLETED BY PLUMBER

I, D.H. KINGI (full name)

of 186 Matai Rd RAUMATI BEACH (address)

being a Licensed Craftsman Plumber apply for permission to connect the above premises to the Kapiti Borough Water Supply. I agree to comply in every respect with the Kapiti Borough Water Supply By-laws. N.B. Connection NOT permitted until permit obtained.

(Signature) [Signature]

(Craftsman Licence No.)

(Date) 8/10/84

- Existing Water Supply COPPER
- Pressure: high/low
- H/W Cylinder Type
- Approximate Age of Water Piping 10 YRS
- If premises have swimming pool what capacity
- State precisely how it is proposed to make the new connection:

To be retained/dismantled

"Header Tank"/Pressure Reducing Valve

Exhaust Pipe/Pressure Relief Valve

Copper/PVC/Alkathene

Filter plant Yes/No

W/MAN DIRECT TO EXISTING SUPPLY & MAINS PRESSURE
H.W. CYLINDER

OFFICE USE ONLY

Permit No. <u>574</u>	Job Inspected <u>[Signature]</u>	Building Register Entry
Date Issued	Connection Recorded <u>9/8/84</u>	60T-35 4562 A- 0.125.00T

HUTT COUNTY COUNCIL

Valuation No.

Date Received:

Application for Building Permit

To: The Building Inspector,
P.O. Box 8012, Govt. Blds.,
WELLINGTON.

I (the undersigned), CRAIGWIN DEVELOPMENTS LTD (Full Name)
of P.O. BOX 6001, WELLINGTON (Address)

ERECT
ADD
ALTER
REINSTATE

hereby make application for permission to 1350
with a floor area of 1350 sq. ft. as prescribed herein and set out in the plans and specifications attached
hereto, in premises at: NUHAKA

No. 4 MANLEY ST EXT Street or Road PARAPARUMU Township

Lot No. 9 D.P. 35028 Riding

The owner of the premises is (Name)

..... (Address)

Previous owner { If Section
has been
recently
transferred }

Estimated value of: Building only \$ 16800.00

Plumbing and Drainage \$ 1200.00

Total \$ 18000.00

Signature of Applicant [Signature] (As Builder or Owner) 25/6/73 (Date)

Builder's Name and Address: 47570 4247 If not the applicant

FOR OFFICE USE ONLY

Receipt No. 4356 Road Deposit No. A/c. No. 3287/12081

Fees:

22/122 Building Permit \$ 52 : BLK 56
Kerb Crossing \$ 53 :
Road Deposit \$ 38 :
\$ 175 :

Date 29-10-73 1-4-78
Permit No. 63567
Date Issued 16.4.74

TOWN PLANNING DISTRICT
Conforms/Non-Conforming.

Checked by District Engineer. 19-10-73 (Date) [Signature] (Initials)

Remarks:

HUTT COUNTY COUNCIL

Valuation No.

Date Received

Application for Plumbing and Drainage Permit

To: The County Health Inspector,
P.O. Box 8012, Govt. Blds.,
WELLINGTON.

I, the undersigned CRAIGWIN DEVELOPMENTS LTD. (full name)
P.O. BOX 6001, WELLINGTON. (address)
hereby make application for permission to have the work prescribed herein set out in the plans attached hereto
carried out in the premises situated at—

No. MANLEY ST EXT Street PARAPARUMU Township

Lot 9 D.P. Riding

The owner of the premises is (Name)

of CRAIGWIN DEVELOPMENTS LTD. (Address)
P.O. BOX 6001, WELLINGTON.

I hereby nominate these Registered Tradesmen to carry out the said work:

of S NEALE (Registered Plumber)

of KIRI R. RAUMATI BLACH (Address)

..... (Registered Drainlayer)

of (Address)

Type of water supply Capacity of storage tanks gals.

Description of Work: Cross out any of the following which do not apply:
Install bath, basin, sink, tubs, shower, W.C. hot/cold water supply.
Drainage to grease trap/septic tank/sewer/field drain/soak pit.
Stormwater drainage to street/channel/soak pit.

Other Work

Value of Proposed Work (including Materials):

Estimated cost of: (a) Plumbing \$ 900 : 00
(b) Drainage \$ 300 : 00
TOTAL \$ 1200 : 00

CRAIGWIN DEVELOPMENTS LTD.
P.O. BOX 6001, WELLINGTON.

Signature of Applicant Date

For Office Use Only

Fees:

Plumbing \$ 14 :
Drainage \$ 6 :
Sewer connection \$:
Total \$ 20 :

Acct. No. 3965 4246
Date 29.10.23 1.4.24
Permit No. 29811
Date Issued 16.4.24
Receipt No. 24356

Remarks : DW to Sh Chang

KAPITI BOROUGH COUNCIL

Valuation No. 1527/21/29

Date Received 5-2-76

Application for Building Permit



To: The Building Inspector,
P.O. Box 121,
PARAPARAUMU.

I (the undersigned) BEREND KRAMER (full name)
of 4 NUHAKA PLACE PARAPARAUMU BEACH (address)

ERECT
ADD
ALTER

hereby make application for permission to REINSTATE ADD ADDITION
with a floor area of 210 sq. ft./sq. m. as prescribed herein and set out in the plans and specifications attached hereto, in premises at:

No. 4 NUHAKA PLACE Street or Road Paraparaumu District

Lot No. 9 D.P. 35028

The owner of the premises is B & D. KRAMER (name)

4 NUHAKA PLACE P'P'ram (address)

Previous owner (if section has been recently transferred):

Estimated value of:	Building only	\$	<u>2,000:—</u>
	Plumbing and Drainage	\$	<u>:</u>
	TOTAL	\$	<u>2,000:00.</u>

Signature of Applicant [Signature] (as Builder or Owner) 5-2-76 Date

Builder's name and address (if not the applicant):

FOR OFFICE USE ONLY

Account No. <u>328</u>	Date <u>10. 2. 76</u>
Fees:	
Building Permit \$ <u>10</u>	Receipt No. <u>6842</u> <u>10/2/76</u> Permit No. <u>151/18</u>
Kerb Crossing \$	
S.W. & Road Deposit \$	Receipt No. Date Issued
B.R.L. \$	<u>11. 2. 76</u>
\$ <u>10</u>	

TOWN PLANNING DISTRICT

Conforms/Non-Conforming

Operative

Undisclosed

Checked by District Engineer 1276 (Date) [Signature] (Initials)

Remarks: Owner Alter copy of plans



KAPITI BOROUGH COUNCIL

Application for Permit

Valuation No.

1 5 2 7 0 0 4 6 0 0

Date Rec'd

Day Book

Initial

3.7.86

Page 73

MLW

To: The Borough Engineer

PRIVATE BAG, PARAPARAUMU

I/WE Helen David Sando Phone 70484(Postal Address) 4 Nuhaka Pl, Paraparaumu
hereby make application for permission to have the work described herein,
and set out in the plans and specifications attached hereto, carried out in the
premises situated at —No. 4 Street or Road Nuhaka Pl.Lot No. 9 D.P. 35028 District ParaparaumuThe owner of the premises is Do it Sando(Postal Address) 4 Nuhaka Pl, P'ram BeachSignature of Applicant Helen J Sando Date 1.7.86

OFFICE USE ONLY



OFFICE USE ONLY

Building - Plumbing - Drainage

Description of proposed work: Extension of pool room
+ addition of skylights in loungewith a floor area of 41.4 sq. metresEstimated cost of BUILDING incl. materials \$ 15000

Estimated labour content of PLUMBING only \$

Estimated labour content of DRAINAGE only \$

TOTAL estimated value of proposed work \$

Builder's name and address John McDonald, 16 Olive Tce, P'ram Beach

Type of water supply _____ Capacity of storage tanks _____ cubic metres

Plumber's name and address _____

Drainlayer's name and address _____

FOR OFFICE USE ONLY

Account No. 2615 Date 4.7.86 Receipt No. 9116 Date 8.8.86.

Fees:

Building Permit	\$	1	3	0
Plumbing Permit	\$			
Drainage Permit	\$			
Sewer Connection	\$			
Water Connection	\$			
Kerb Crossing	\$			
Damage Deposit	\$			
Bldg Research Levy	\$		1	5
TOTAL	\$	1	4	5

Permit No. 5343 Date Issued 11.8.86.

Permit No. _____ Date Issued _____

Permit No. _____ Date Issued _____

Register Entry

Order No. _____

Refund _____

Checked _____

Date _____

Permit Endorsement: _____

KAPITI BOROUGH COUNCIL

Application for Permit

HUTT COUNTY COUNCIL

BUILDING OFFICE.

For Office use only:

Application No. : _____

Date: _____

Contractor advised: _____

Name: _____

Date: _____

Work completed: _____

Date: _____

Initials: _____

The Chief Building Inspector,
Hutt County Council,
P.O. Box 8012,
WELLINGTON.

Application for Crossing over Kerb and Channel
by Hutt County Council Contractor

I, (full name)
of (postal address)
hereby apply for a *single/~~double~~ crossing over kerb and channel at
the premises situate in (state house
number, street, township, etc.) Lot D.P. to be
constructed in the position indicated by sketch plan which I have drawn
on the reverse side of this application.

I am *owner/occupier of the above property.

I enclose herewith *cheque/money order/cash for the sum of \$.
in accordance with the list set out hereunder.

*delete where not applicable.

Signature: _____

Date: _____

26/6/73

Set Charges:

C o s t t o O w n e r s

	Sealed Footpath		Concrete Footpath	
	Single Crossing	Double Crossing	Single Crossing	Double Crossing
Paraparaumu } Paremata }	\$28	\$52	\$38	\$64
Rimutaka } Epuni }	\$33	\$57	\$39	\$65
Wainuiomata	\$34	\$59	\$40	\$59

Account No.:

Receipt No. :

Inspector: M _____ File No. _____

Receipt No. 9031

Date Permit Issued 31 / 5 / 84

OWNER	
Name	<u>D J & H J Lamb</u>
Mailing Address	<u>4 Nuhaka Place</u> <u>Paraparaumu Beach</u>

BUILDER	
Name	<u>Self</u>
Mailing Address	_____ _____

PROPERTY ON WHICH BUILDING IS TO BE ERECTED/DEMOLISHED

SITE	
Street No.	<u>4</u>
Street Name	<u>Nuhaka Place</u>
Town/District	<u>Paraparaumu Beach</u>
Riding	_____

LEGAL DESCRIPTION	
Valuation Roll No.	<u>15271 046 00</u>
Lot	<u>9</u>
D.P.	<u>35028</u>
Section	_____
Block	_____
Survey District	_____

DESCRIPTION OF PROPOSED WORK AND MAIN PURPOSE OF USE

<u>Free Standing Fire</u>

FLOOR AREA		DWELLING UNITS	
Whole Sq. Metres	_____	Number Erected	_____

ESTIMATED VALUES \$		
	Building	<u>300</u>
Plumbing	_____	
Drainage	_____	
TOTAL	<u>300</u>	

NATURE OF PERMIT (TICK BOX)	
☐	NEW BUILDING - include dwelling added, exclude domestic garages
☐	FOUNDATIONS ONLY
☒	ALTERED, REPAIRED, EXTENDED - include conversions and resited buildings
☐	NEW CONSTRUCTION OTHER THAN BUILDINGS - include demolitions
☐	DOMESTIC GARAGES AND DOMESTIC OUTBUILDINGS

FEES APPLICABLE

Building Permit	\$ <u>15</u>	Water Connection	\$ _____	Receipt No.	<u>9031</u>
Street Damage Deposit	\$ _____	Vehicle Crossing Levy	\$ _____	Date of Payment	<u>30 / 5 / 84</u>
Building Research Levy	\$ _____	M.S. Plumbing	\$ _____	Authorised Officer	<u>[Signature]</u>
Plumbing	\$ _____		\$ _____		
Drainage	\$ _____		\$ _____		
Sewer Connection	\$ _____		\$ _____		
TOTAL:		\$ <u>15</u>			

Special Conditions: _____

Date Inspected _____ REMARKS (e.g. stage reached with work)

Date Inspected

21-5-84

OK

COMPLETED (Signature)

RAN

Date

21 / 5 / 84

Inspector: M _____

File No. _____

Receipt No. 9116

Date Permit Issued 11/8/86

OWNER

Name D. & H. Sando

Mailing Address 4, Nuhaka Place
Paraparaumu.

BUILDER

Name J. Mc. Donald.

Mailing Address 16, Olive Tree
Paraparaumu Beach.

PROPERTY ON WHICH BUILDING IS TO BE ERECTED/DEMOLISHED

SITE

Street No. 4

Street Name Nuhaka Place

Town/District Paraparaumu.

Riding _____

LEGAL DESCRIPTION

Valuation Roll No. 15271 046 00

Lot 9 D.P. 35028.

Section _____ Block _____

Survey District _____

DESCRIPTION OF PROPOSED WORK AND MAIN PURPOSE OF USE

Additions.

FLOOR AREA

DWELLING UNITS

Whole
Sq. Metres

41

Number
Erected

ESTIMATED
VALUES
\$Building
Plumbing
Drainage
TOTAL

15,000

15,000

NATURE OF PERMIT (TICK BOX)

☐NEW BUILDING
- exclude domestic garages and domestic outbuildings☐

FOUNDATIONS ONLY

☒ALTERED, REPAIRED, EXTENDED, CONVERTED, RESITED
- include installation of heating appliances☐NEW CONSTRUCTION
OTHER THAN BUILDINGS - include demolitions☐DOMESTIC GARAGES
AND DOMESTIC OUTBUILDINGS

FEES APPLICABLE

Building Permit \$ 130 -
Street Damage Deposit .. \$ _____
Building Research Levy .. \$ 15
Plumbing \$ _____
Drainage \$ _____
Sewer Connection \$ _____Water Connection \$ _____
Vehicle Crossing Levy ... \$ _____
M.S. Plumbing \$ _____
TOTAL: \$ 145 -

Receipt No. 9116

Date of Payment 11/8/86

Authorised Officer J. Lee

Special Conditions: _____

Date Inspected

REMARKS (e.g. stage reached with work)

[illegible]

COMPLETED (Signature) _____ Date ____/____/____

KCDC Building Services,
P.O. Box 601,
Paraparaumu

4 Nuhaka Place,
Paraparaumu Beach
Kapiti Coast

Tuesday 14th September, 2004

Dear Madam/Sir,

Re: Building Consent No. 031976 – Mackie & Reeve – 4 Nuhaka Place

Our original structural drawings called for existing longitudinal beam in our garage to be cut down and for a new steel beam to be coach screwed underneath this for support.

The installation of this new steel beam was to replace the existing supporting column under the existing timber longitudinal beam.

As we decided not to replace the existing column, therefore, there was no need for the new steel beam either.

The existing column will be retained and will be strengthened by the addition of supporting brackets to either side of the beam.

The only new beam now installed is the one traversing the garage opening.

Please make a note of this on your files for your future reference.

Thank you for this.

Yours faithfully,



Annie Reeve



Ian Mackie



SITE INSPECTIONS - BC 031976

Application Details

Applicant Name :	Mr Ian & Ms Annie Mackie & Reeve
Contact Address :	4 Nuhaka Place PARAPARAUMU BEACH 6010
Location :	4 NUHAKA PL, PARAPARAUMU
Legal Description :	LOT 9 DP 35028 CT 12A/96 Status history Deadline
Proposal :	Dwelling adds & alts: new beams and garage door.

031976

PRELINE**PLUMBING AND DRAINAGE:** Plumber:

Date: Officer: Builder/Contractor/Owner:

Pressure test ☐

Visual leak check ☐

Pipe support/clips ☐

Pipe size ☐

Pipe material ☐

Joint strain ☐

Pipe insulation ☐

Stacks ☐

Wastes ☐

Supply tank ☐

Has a **Site Instruction** been issued? Yes/No Instruction No:

Is a reinspection required? Yes/No Proposed date of follow up inspection

Preline Labels in place? Yes/No Producer Statement Yes/No/NA

COMMENTS

BUILDINGDate: 25/6/2004 Officer: RFL Builder/Contractor/Owner:

Timber treatment ☐

Ceiling diaphragm ☐

Dragon ties ☐

Studs - size/spacing ☐

Wall insulation ☐

Posts - size/fixing ☐

Lintels/bms - size/fixings ☐

Ext joinery - labels ☐

Ceiling runners ☐

Wall bracing ☐

Mech ventilation ☐

Moisture Content Walls ☐ %

Bracing straps ☐

Timber grade ☐

Wall dwangs ☐

Trimming studs ☐

Truss/rafter - fix/space ☐

Ceiling joists ☐

Plate fixings ☐

Ventilation ☐

Ceiling battens ☐

Check exterior claddings ☐

Ceiling ☐ %

Has a **Site Instruction** been issued? Yes/No Instruction No:

Is a reinspection required? Yes/No Proposed date of follow up inspection

Preline Labels in place? Yes/No Producer Statement Yes/No/NA

COMMENTS

Beam over Door instead of. Builder to Discuss

Centre Beam post with engineer + owner

Do not removing post & strengthening of existing.

Tick (✓) approved inspections

Cross (x) inspections not approved

Strike out inspections not applicable

FINAL INSPECTION

Building Exterior	CHECK PLANS	
Subfloor - ventilation	Flashings - roof penet	Gulley dishes
Decks - structure	hips	Wastes to gullys
Balustrades - design	valleys	Terminals vents
height	gables	Spouting - Downpipes
Steps/Stairs - design	flues	Landscaping & ground levels
handrail	Cladding (ground clearance)	Texture Coating Warranty
Flashings - windows	Roofing & Fixings (roofing warranty)	

Building Interior	CHECK FITTINGS	
Service area floors & walls	Food storage	Water temperature
Stair design	Nat. ventilation	Solid fuel heater
Handrails	Mech. Ventilation	Supply tank
Barriers	Insulation	Trap seals & AA Valves
Lightings	Hot water cylinder flues	Cistern flushing
Laundering	Hot water cylinder valves	WC pan connection
Cooking facilities	Hot water cylinder rest	Septic Tank
	Tempering valve	(engineers inspc report)
		Windows - labels
		Safety glass

Footpath crossing installed Yes/No Berm damaged Yes/No
 Refund crossing deposit Yes/No Engineering site reports required Yes/No
 Stormwater & site drainage Yes/No Engineering site reports received Yes/No
 appear satisfactory

Has a Site Instruction been issued? Yes/No NTR Instruction No.

Producer Statement Yes/No/NA

OK to issue final code compliance certificate. Yes/No

If an interim certificate is issued please list proposed conditions on the reverse of this form.

Is a reinspection required? Yes/No Proposed date of follow up inspection

Comments:

Addenda to Application

Application

Mr Ian & Ms Annie Mackie & Reeve	No.	031976
4 Nuhaka Place PARAPARAUMU BEACH 6010		

Project

Description	Alterations, Repairs or Extensions Being Stage 1 of an intended 1 Stages Dwelling adds & alts: new beams and garage door.
Intended Life	Indefinite, but not less than 50 years
Intended Use	Residential.
Estimated Value	\$3,845
Location	4 NUHAKA PL, PARAPARAUMU
Legal Description	LOT 9 DP 35028 CT 12A/96
Valuation No.	1527104600

General Requirements

- a) The District Inspector is to be given 24 hours' notice before carrying out the following inspections:
1. PRELINING INSPECTION, MOISTURE TEST, CHECK BRACING
 2. COMPLETION INSPECTION
- b) To arrange for any of the above required inspections by the District Inspector, please contact the building inspectorate on (04) 902 2845 between the hours of 8.00am and 4.30pm.

1. LAPSE AND CANCELLATION OF BUILDING CONSENT. A building consent shall lapse and be of no effect if the building work concerned has not been commenced within 6 calendar months after the date of issue. Or within such further period as the territorial authority allows.
2. The inspection of all specific design components of the building is the responsibility of the Design Engineer who is also required to supply a written report to Council.
3. Note and comply with endorsements on approved plans.
4. Section F7 of the New Zealand Building Code requires the installation of an approved smoke alarm system for detection and warning of fire. Alarms are to be of a type which include a reset and test buttons.
5. As this site is located in the Severe Coastal Corrosion Zone, all exposed fixings and cladding fixings need to be stainless steel.
- 6.

I have read the foregoing requirements, and the Owner/Builder/Authorised Person hereby agrees to comply with them.

**OWNER/BUILDER/
AUTHORISED PERSON**

Date: _____

Costing Sheet Minor Work & Residential New Dwellings

Application No: <u>031976</u>	Admin = \$45 per hour	Engineering
Date: <u>9/1/04</u>	Plan Vetting = \$70 per hour	Technical Assessment/Peer Review
Site Address: <u>4 NUHARA PLACE</u>	Inspections = \$65	Cost + 10%

	Classification	Plan Vetting				Consultants			Inspections				Set Fee Portion of Consent Fee	PIM Portion Of Consent Fee	Total Fee Excluding BRANZ, BIA Levies & Refundable Damage Deposits	Total (A) Plus
		Plumbing	Drainage	Building	E health	District Plan	Fire	Engineering	Site	Plumbing	Drainage	Building	E Health			
1	Solid Fuel Heater												\$45	Nil	\$110	
2	Plumbing Work												\$45	\$68	\$175	
3	Drainage Work												\$45	\$68	\$175	
4	Sheds/Retaining Walls/Carports												\$144	\$130	\$307	
5	Decks/Swimming & Spa Pools Conservatories/Pergolas & Other Minor Works												\$144	\$130	\$298	
															$298 - 130 = 139.50$ $- 28.50$	
6	Minor Farm Buildings												\$144	\$130	\$372	
7	Proprietary Garages, Standard												\$189	\$130	\$482	
8	Proprietary Garages, with Firewall												\$189	\$130	\$549	
9	Garages, Custom Design												\$189	\$130	\$617	
	Residential New Dwellings															
10	Single Story Brick Veneer												\$420	\$165	\$1378	
11	Single Story Weatherboard												\$420	\$165	\$1443	
12	Single Story Stucco/Texture Coating/Ply/Steel/Block												\$420	\$165	\$1573	
13	Multi Story Brick Veneer												\$740	\$165	\$1838	
14	Multi Story Weatherboard												\$740	\$165	\$1903	
15	Multi Story Stucco/Texture Coating/Ply/Steel/Block												\$740	\$165	\$2033	
30	Relocated Residential Dwellings												\$281	\$165	\$749	

Note. Double Units charged at Single Unit Rate plus 50%

Dwellings with Multiple Cladding Types Charged at Stucco/Texture Coating/Ply/Steel/Block rate

CONSENT DATA INPUT REQUIREMENTS

REQUIRED INSPECTIONS	STANDARD ADDENDA			
14	32	✓	21	
1	2	✓	22	
17	3		23	
7	4		23A	
16	5		24	
2	6		24A	✓
3	7		25	
22	8		26	
20	8A		27	
18	8B		28	
19	9	✓	29	
4	10		30	✓
8	11		31	✓
5	12		33	
15	13		34	
	14		38	
	15		39	
	16		40	
	17		41	
	18		42	
	19		43	
	20		44	

STANDARD CONSENT CONDITIONS

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36
37

NON STANDARD ADDENDA

This image shows a single sheet of white paper with horizontal blue or grey ruling lines. The lines are evenly spaced and run across the width of the page. There is no handwriting or other markings on the paper.



Building Consent

Section 35, Building Act 1991

Application

Mr Ian & Ms Annie Mackie & Reeve
4 Nuhaka Place
PARAPARAUMU BEACH 6010

No. 031976
Issue date 23/01/04
Application date 7/01/04

Project

Description	Alterations, Repairs or Extensions Being Stage 1 of an intended 1 Stages Dwelling adds & alts: new beams and garage door.
Intended Life	Indefinite, but not less than 50 years
Intended Use	Residential.
Estimated Value	\$3,845
Location	4 NUHAKA PL, PARAPARAUMU
Legal Description	LOT 9 DP 35028 CT 12A/96
Valuation No.	1527104600

Charges

The Council's charges paid on uplifting this Building Consent, in accordance with the attached details are:

	\$	168.00
Building Research Levy	\$	0.00
Building Industry Authority Levy	\$	0.00
Total	\$	168.00

PAID

This building consent is a consent under the Building Act 1991 to undertake building work in accordance with the attached plans and specifications so as to comply with the provisions of the building code. It is not a consent under the Resource Management Act and does not affect any duty or responsibility under any other Act nor permit any breach of any other Act.

Signed for and on behalf of the Council:

Name:

Kapiti Coast District Council

Date: 23-1-04

Phone (04) 904 5700, Fax (04) 904 5830 175 Rimu Road, Private Bag 601, Paraparaumu. Website www.kcdc.govt.nz



Project Information Memorandum

Section 31, Building Act 1991

Application

Mr Ian & Ms Annie Mackie & Reeve	No.	031976
4 Nuhaka Place	Issue date	20/01/04
PARAPARAUMU BEACH 6010	Application date	7/01/04

Project

Description	Alterations, Repairs or Extensions Being Stage 1 of an intended 1 Stages Dwelling adds & alts: new beams and garage door.
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Valuation No.	1527104600

This project information memorandum is confirmation that the proposed building work may be undertaken, subject to the provisions of the Building Act 1991, and any requirements of the building consent.

This project information memorandum includes:

- ☐ Information identifying relevant special features of the land concerned
- ☐ Details of relevant utility systems
- ☐ Details of authorisations which have been granted

Signed for and on behalf of the Council:

Name:

Kapiti Coast District Council

Date: 20-1-04

Phone (04) 904 5700, Fax (04) 904 5830 175 Rimu Road, Private Bag 601, Paraparaumu. Website www.kcdc.govt.nz

Addenda to Application

Application

Mr Ian & Ms Annie Mackie & Reeve	No.	031976
4 Nuhaka Place		
PARAPARAUMU BEACH 6010		

Project

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Estimated Value	\$3,845
Location	4 NUHAKA PL, PARAPARAUMU
Legal Description	LOT 9 DP 35028 CT 12A/96
Valuation No.	1527104600

General Requirements

- a) The District Inspector is to be given 24 hours' notice before carrying out the following inspections:
 - 1. PRELINING INSPECTION, MOISTURE TEST, CHECK BRACING
 - 2. COMPLETION INSPECTION
- b) To arrange for any of the above required inspections by the District Inspector, please contact the building inspectorate on (04) 902 2845 between the hours of 8.00am and 4.30pm.

1. LAPSE AND CANCELLATION OF BUILDING CONSENT. A building consent shall lapse and be of no effect if the building work concerned has not been commenced within 6 calendar months after the date of issue. Or within such further period as the territorial authority allows.
2. The inspection of all specific design components of the building is the responsibility of the Design Engineer who is also required to supply a written report to Council.
3. Note and comply with endorsements on approved plans.
4. Section F7 of the New Zealand Building Code requires the installation of an approved smoke alarm system for detection and warning of fire. Alarms are to be of a type which include a reset and test buttons.
5. As this site is located in the Severe Coastal Corrosion Zone, all exposed fixings and cladding fixings need to be stainless steel.
- 6.

I have read the foregoing requirements, and the Owner/Builder/Authorised Person hereby agrees to comply with them.

OWNER/BUILDER/
AUTHORISED PERSON

Ream 'd' Ore

Date: 23.01.04.



PROJECT INFORMATION MEMORANDUM - BC 031976

Application Details

Applicant Name :	Mr Ian & Ms Annie Mackie & Reeve
Contact Address :	4 Nuhaka Place PARAPARAUMU BEACH 6010
Location :	4 NUHAKA PL, PARAPARAUMU
Legal Description :	LOT 9 DP 35028 CT 12A/96 Status history Deadline
Proposal :	Dwelling adds & alts: new beams and garage door.

Application Details

Use Permitted :
Resource consent granted :
Designations on property :
Easements :
Site subject to inundation :
Relocatable zone :
Coastal building line restriction :
Minimum floor level (50 year event) :
Floor level (100 year event) :
Yard and height requirements :
Tree/building preservation :

Comments

Note: Minimum floor levels must use Mean Sea Level Wellington Datum 1953. Certification that the floor level complies with the minimum floor level will be required from a registered surveyor prior to foundation inspection.

Special Features of the Land

Potential erosion :
Potential avulsion :
Potential subsidence :
Potential slippage :
Potential alluvion :
Potential inundation :
Presence of hazardous contaminants :

Other features

Plumbing and Drainage Details

Sewer available / connected :
Water available / connected :
Site plan of existing services :
Location of sewer lateral :
Location and size of water toby :
Location of public drains (if any) :
Location of easments (if any) :
Stormwater disposal to :

Plumbing and drainage notes

COUNCIL COPY



Building Control Services

Thank you for choosing KCDC Building Control Services to process and inspect your building project.

It is our aim to provide you with timely and professional building control services. We welcome any suggestions for improvements to the services we provide.

Ken Smith
Building Control Manager
Ph (04) 904 5855
Cell 027 4501509

COUNCIL COPY

Building Consent Number : 031976

Applicant Name : Mr Ian & Ms Annie Mackie & Reeve

Proposal : Dwelling adds & alts: new beams and garage

Location : 4 NUHAKA PL, PARAPARAUMU

Legal Description : LOT 9 DP 35028 CT 12A/96 Statu

Please note the list below which identifies the inspections required for this project. Whenever possible allow sufficient time to notify KCDC Building Control Services to enable those inspections to be carried out. You will notice some additional inspections which are extra to those commonly required. These are to ensure Compliance with the NZ Building Code and have benefits for you. They will be provided at no additional cost to you or your contractor.

Inspection	Required	Sign off	Date
Initial (previously completed)	No		
Foundation	No		
Sub floor pre b-boards (reloc)	No		
Pre slab plumbing	No		
Pre block fill	No		
Pre slab	No		
Sub floor	No		
Exterior cladding (general)	No		
Pre texture coating	No		
Pre stucco	No		
Brick veneer	No		
Pre lining	Yes	<i>[Signature]</i>	25/8/2004
Post lining	No		
Drain test	No		
Completion	Yes	<i>[Signature]</i>	22/10/2004

9/01/2004

APPROVED
BY BUILDING
Mark Fitzpatrick
Officer

LIVING ROOM

FAMILY ROOM

DINING

KITCHEN

hob

sink

oven

hwc

fg

LAUNDRY

dry w/m

tub

bath

vanity

wc

wc

vanity

shub

linen

HALL

ENTRY

BEDROOM 1

BEDROOM 3

BEDROOM 2

GARAGE

COURTYARD

WALL

CAUTION

Plans have been digitally
reproduced and may not
be to scale.

182.7 m²

Section F7 of the New Zealand Building Code
requires the installation of an approved smoke
alarm system for detection and warning of fire.

NEW GROUND FLOOR

All references to standards
and codes etc shall be taken
as reference to latest version
including amendments.

SEVERE COASTAL ZONE

All proprietary or bolted
fixings exposed to air plus
cladding fixings to be
stainless steel.

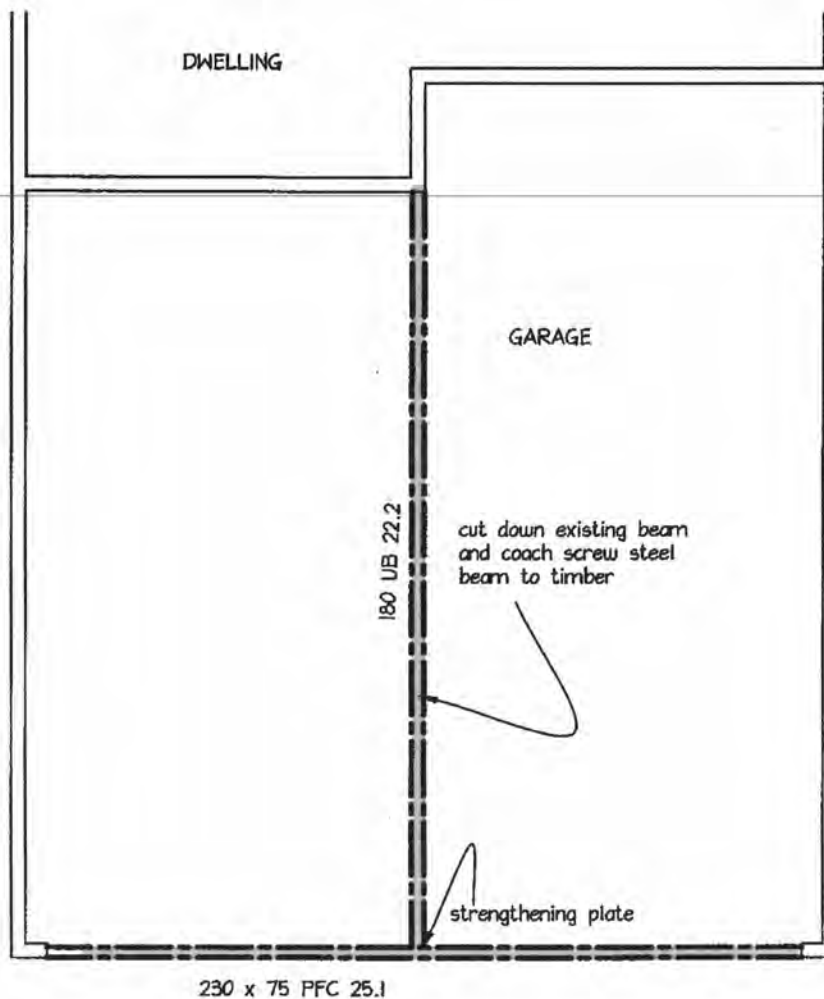
14973

NEW
SINGLE
DOOR
ONLY!

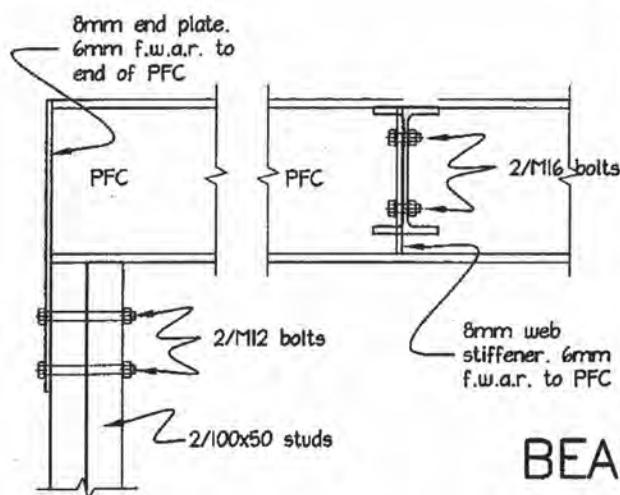
new beam

new sectional door

9/01/2004



LOCATION PLAN



All work carried out under jurisdiction of producer statement to meet the engineer requirements fully.

BEAM CONNECTION

the contractor shall check and verify dimensions before construction

designscape
shark bait ltd

Civil, Structural and Building design
<http://www.designscape.net.nz> email
info@designscape.net.nz

Structural Replacement Beams
4 Nuhaka Street

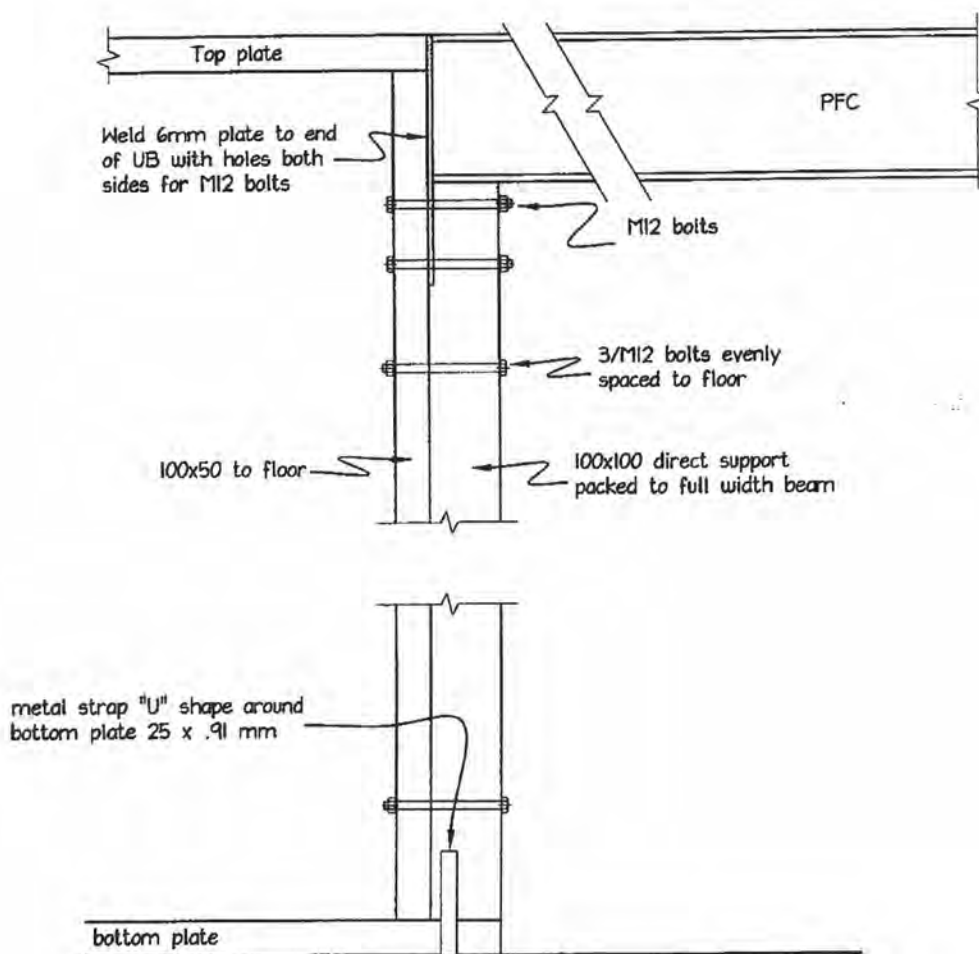
Allan Pullenger rea, a.ipenz
298 Rosetta Road - Raumati
phone & fax 04 902-8528
Mob 025 420-486

scale 1 : 100 : 1:10
date november 2003
drawn Allan Pullenger
survey Allan Pullenger

plan number 1830
Sht 1 of 2

9/01/2004

All work carried out under jurisdiction of producer statement to meet the engineer requirements fully.



SUPPORT DETAIL

the contractor shall check and verify dimensions before construction

designscape
shark ball ltd

Civil, Structural and Building design
<http://www.designscape.net.nz> email
info@designscape.net.nz

Structural Replacement Beams
4 Nuhaka Street

Allan Pullenger rea, a.ipenz
298 Rosetta Road - Raumati
phone & fax 04 902-8528
Mob 025 420-486

scale 1 : 10
date november 2003
drawn Allan Pullenger
survey Allan Pullenger

plan number
1830
Sht 2 of 2

Addenda to Application

Application

Mr Ian & Ms Annie Mackie & Reeve 4 Nuhaka Place PARAPARAUMU BEACH 6010	No.	031976
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Project

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Legal Description	LOT 9 DP 35028 CT 12A/96
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General Requirements

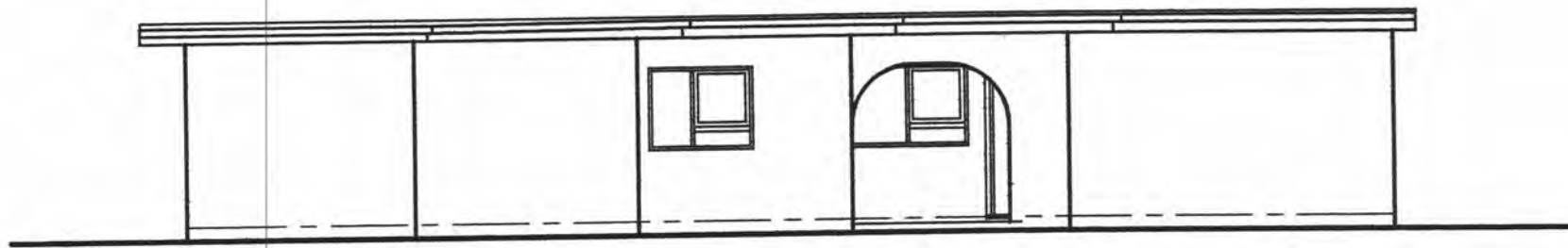
- a) The District Inspector is to be given 24 hours' notice before carrying out the following inspections:
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- 6.

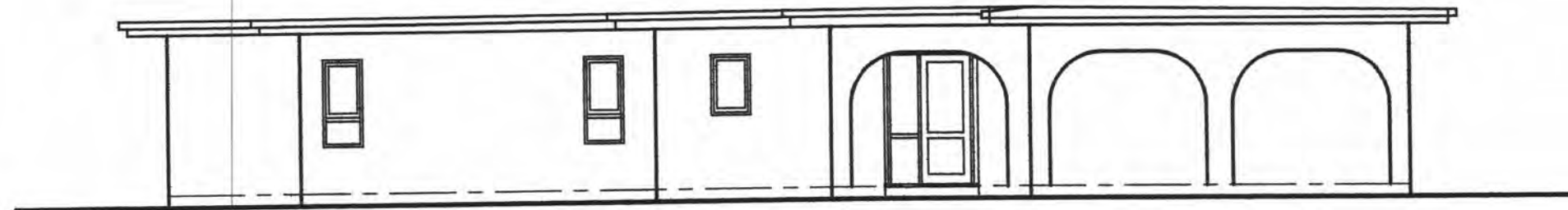
I have read the foregoing requirements, and the Owner/Builder/Authorised Person hereby agrees to comply with them.

**OWNER/BUILDER/
AUTHORISED PERSON**

Date:

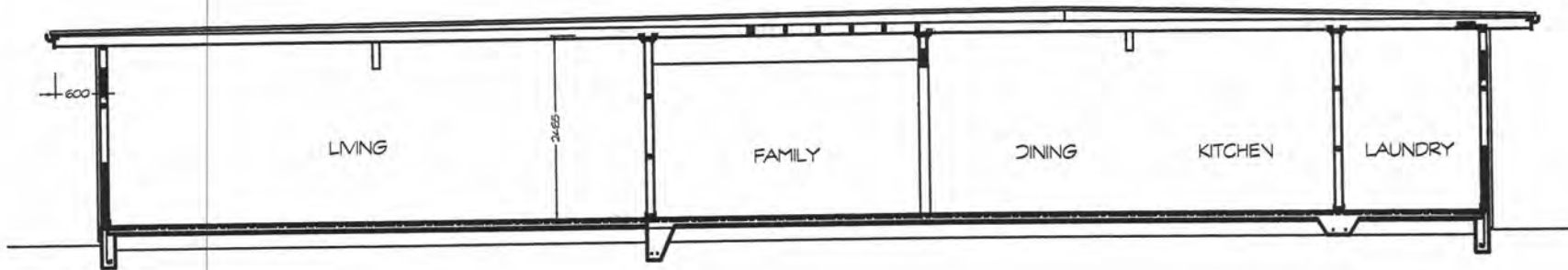


WEST ELEVATION

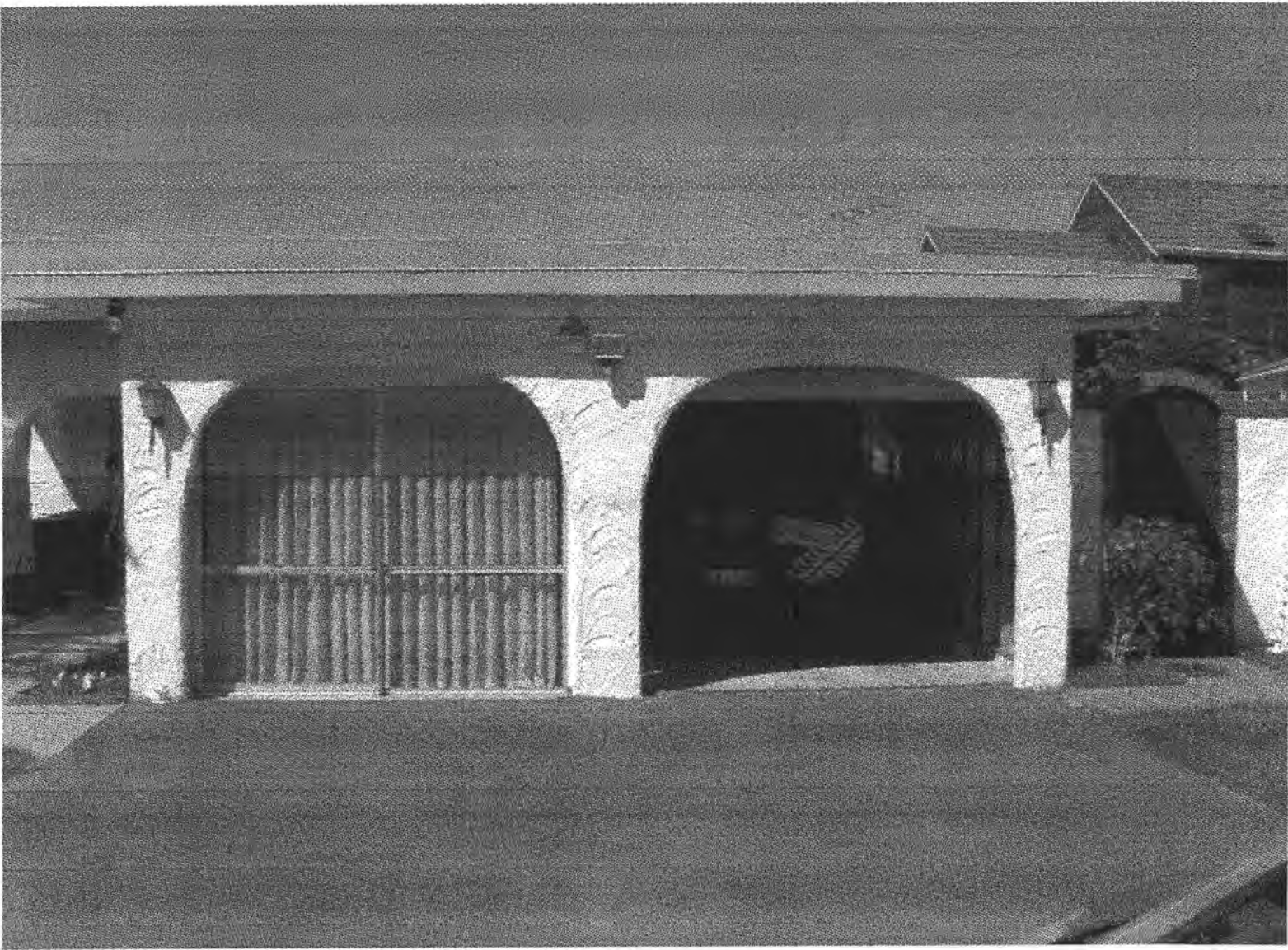


SOUTH ELEVATION





SECTION





BC 031976

Base Consulting Engineers Limited

RECEIVED

20 SEP 2004

KAPITI COAST
DISTRICT COUNCIL

- ☐ Structural Design
- ☐ Foundation Design
- ☐ Geotechnical Investigations
- ☐ Contract Administration

279 Oxford Street
P.O. Box 434
Levin

Telephone Levin 06 367 0088
Paraparaumu 04 297 0088
Fax 06 367 0058
Mobile 027 44 44 080

DOCUMENT TRANSFER FORM

To: Mr. Mackie Date: 24/09/04

Attention: Job No: 44194

Job Description: Mackie Beam, 4 Nuhaka Place, Paraparaumu

Please find enclosed:

- ☐ Drawings:
- ☒ Design:
- ☐ Letter of Recommendation:

A copy is enclosed for your distribution to:

- ☐ Client
- ☐ Designer / Contractor
- ☒ KCDC / HDC
- ☐

SCANNED

In addition we have supplied a copy to:

- | | | | | |
|--|---------------------------------|------------------------------|-------------------------------|------------------------------------|
| ☐ Client | ☐ E-mail | ☐ Fax | ☐ Post | ☐ Delivered |
| ☐ Designer / Contractor | ☐ | ☐ | ☐ | ☐ |
| ☐ KCDC / HDC | ☐ | ☐ | ☐ | ☐ |
| ☐ | ☐ | ☐ | ☐ | ☐ |

Instructions:

Peter Bolton
Base Consulting Engineers Ltd

Your plans enclosed
PB



Base Consulting Engineers Limited

- ☐ Structural Design
- ☐ Foundation Design
- ☐ Geotechnical Investigations
- ☐ Contract Administration

279 Oxford Street
P.O. Box 434
Levin

Telephone Levin 06 367 0088
Paraparaumu 04 297 0088
Fax 06 367 0058
Mobile 027 44 44 080

To: Kaiti Coast District Council
Rimu Road Paraparaumu

DESIGN CERTIFICATE

Mackie Beam

4 Nuhaka R Paraparaumu

I, Peter Bolton, being a Registered Engineer, and holding a current Annual Practising Certificate, hereby certify that: -

- * This Consulting Practice has been engaged to design the appropriate engineering

calculations for: dining room / family roof beam

Proposed to be constructed for: I Mackie

The accompanying design and drawings titled and numbered 44194
and dated 22-9-04 adequately illustrate the design of the structure.

- * I have exercised reasonable control over the design processes for the works defined which have been designed in accordance with the sound and widely accepted engineering principals to support the loads specified in NZS 4203 and various aspects of the design are in accordance with: NZS 3404
- * Unless specifically noted compliance of the drawings to non-specific codes such as NZS 3604 and NZS 4229 have not been checked by this practice.
- * I believe the stresses in the various materials of construction and force resisting elements of the structure are such as to ensure the safety and stability of the structure if the works are constructed in accordance with the above described drawings and specifications. This Certificate does not cover stability or suitability of the site unless accompanied by a separate report.

Signature: P. Bolton Date: 22 Sept 04

Peter Bolton **BE MIEPNZ NZCE**
Director

Registration 8837

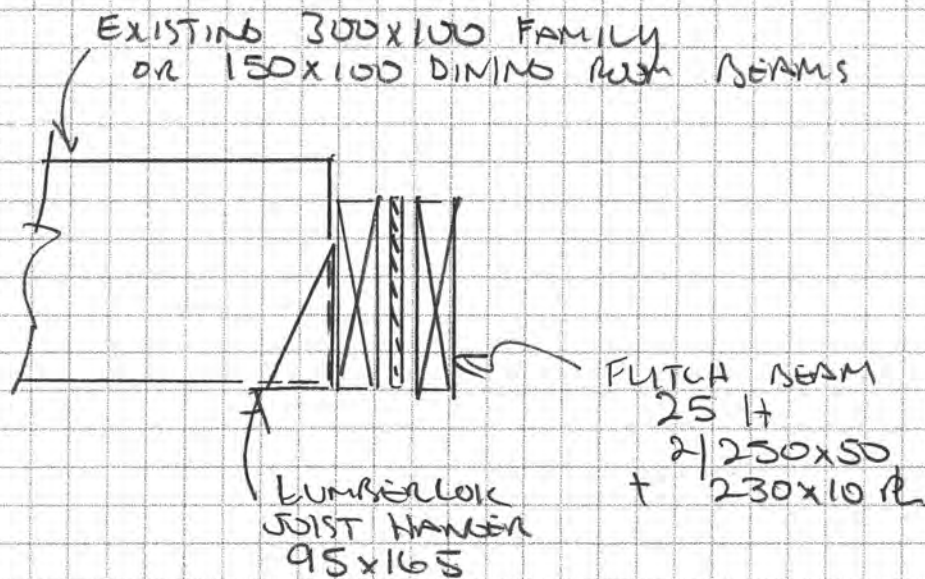
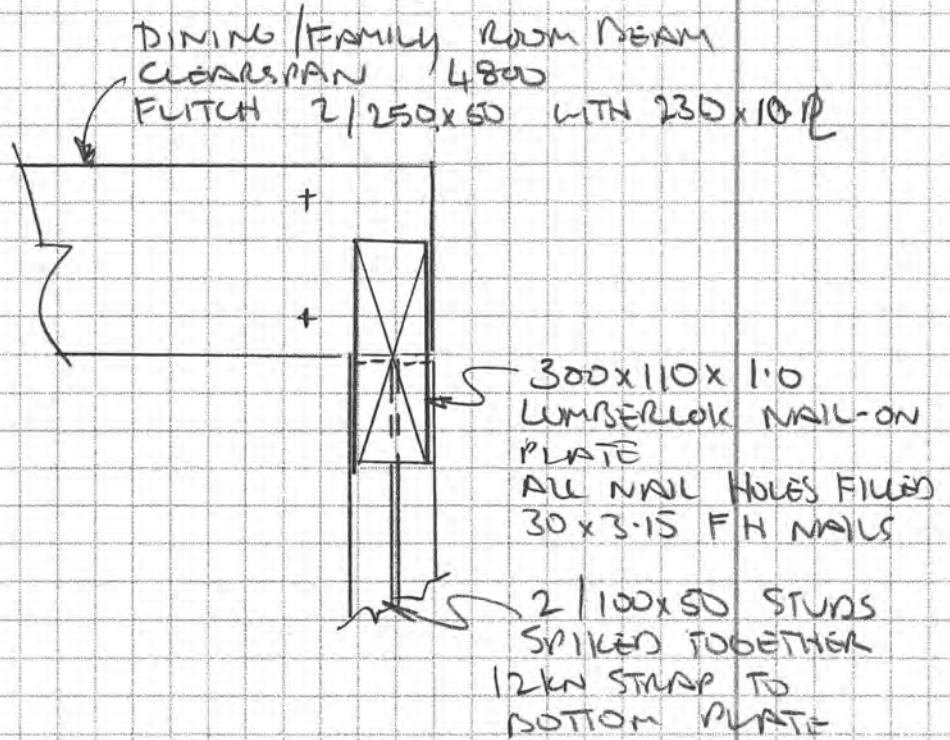


Job MACKIE BEAM.

By P BOUTON

4 NUHAKA PL. PARANAPARU

Date 22-9-04





Job MACHINE BEAM

By P. BOUTON

4 NUTRICA R PARAPARANUMU

Date 21-9-04

PREMISE

To provide the structural design for Family/Dining Rooms.

Design to be in accordance with
NZS 4203 Loadings Code
NZS 3404 Steel Code

LOADINGS

Roof gable dead G 0.40 kN/m²
live Q 0.25 kN/m²

WIND

$V_z = 50$ m/s ult

$$q = 0.6 V_z^2$$

≈ 1.5 kN/ult

0.98 kN (serv)

CONSIDER BEAM

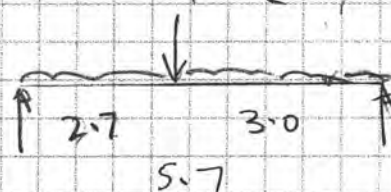
R_1 = family beam

R_2 = dining room beam

W = UDL

Span = 5.7 m

$R_1 + R_2$



$$1.26 + 1.6 Q$$

$$w_{ult} = 1.2(0.4) + 1.6(0.25) = 0.88 \text{ kN/m}$$

$$W = 0.88 \times 1.0 = 0.9 \text{ kN/m}$$

$$R_1 = 0.88 \times 6\frac{1}{2} \times 3.8\frac{1}{2} = 5.1 \text{ kN}$$

$$R_2 = 0.88 \times 3\frac{1}{2} \times 3.2\frac{1}{2} = 2.2 \text{ kN}$$

Design Moment M^x

$$M^x = R_1 \frac{a \cdot b}{l} + W \frac{l^2}{8}$$

$$= 7.3 \times \frac{2.7 \times 3.0}{5.7} + 0.9 \times \frac{5.7^2}{8}$$

$$= 14.0 \text{ kN.m}$$



Job _____

By P. R. R. R.

Date _____

Try 180 PFC

$$Z_{cx} = 182 \text{ cm}^3$$

Moment Capacity ϕM_n

$$\phi M_n = \alpha_s \alpha_m M_s$$

$$L_c = 1.09 L$$

$$= 5.2 \text{ m}$$

$$\alpha_s = 1.35 \text{ ptld.}$$

$$\alpha_s = 0.43$$

$$M_s = 47 \text{ kNm}$$

$$\phi M_n = 0.9 \times 0.43 \times 1.35 \times 47$$

$$= 24.6 \text{ kNm} > M^* \text{ OK}$$

For 150 PFC

$$\phi M_n = 0.9 \times 34 \times 1.35 \times 0.45$$

$$= 18.6 \text{ kNm} > M^* \text{ OK}$$

Deflection

G + Qs

$$R_1 + R_2 = 0.65 \times 6.1 \frac{1}{2} \times 3.8 \frac{1}{2} = 3.8 \text{ kN}$$

$$\delta = \frac{0.9 R L^3}{48 E I}$$

$$= \frac{0.9 \times 3.8 \times 5.7^3}{48 \times 200 \times 8.34}$$

$$= 8 \text{ mm OK}$$

Check Wind. G + Qs + Ws

$$W = [0.4 + 0.7(0.25) - 0.98 \times 1.2] = -0.60 \text{ kN}$$

$$R_f = 0.60 \times 6.1 \frac{1}{2} \times 3.8 \frac{1}{2} \times 1.25 = 4.3 \text{ kN}$$

$$\delta = \frac{0.9 \times 4.3 \times 5.7^3}{48 \times 200 \times 8.34}$$

$$= 9 \text{ mm OK}$$

Ref Beam
Spn 4500

150 PFC



Job _____

By _____

Date _____

For Pritch beam

try 2/250x50
250x6R



$$Z = 2255 \text{ cm}^3$$

$$I = 26588 \text{ cm}^4$$

$$\phi M_b = k_1 k_2 F_b Z$$

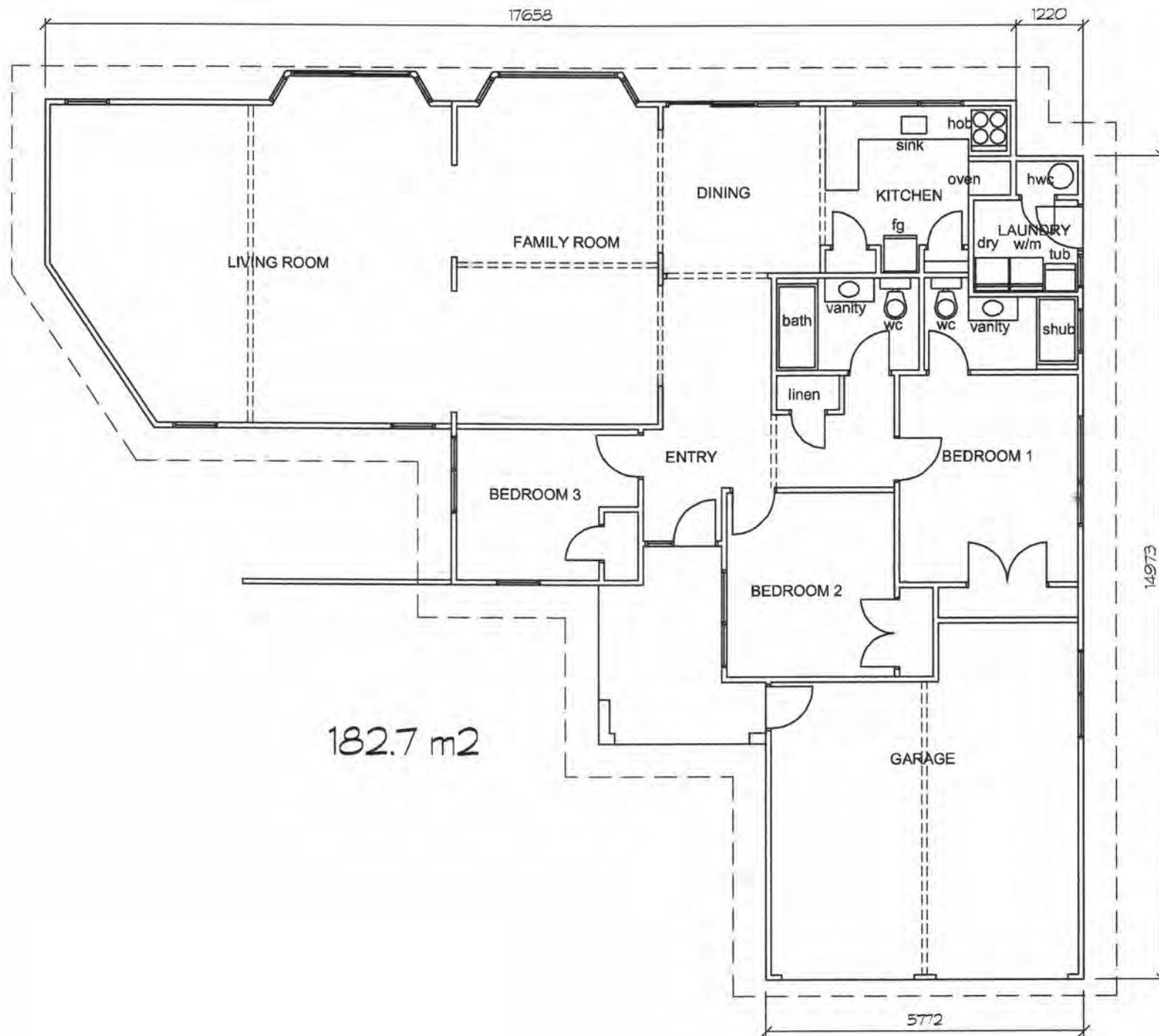
$$= 0.9 \times 0.6 \times 1.0 \times 17.7 \times 2255$$

$$= 21.6 \text{ kNm} > 14.0 \text{ OK}$$

$$\delta_{wind} = \frac{0.9 \times 4.3 \times 5.7^3}{48 \times 6.5 \times 265}$$

$\delta = 9 \text{ mm}$ Marginal - use 10R

option 2.
beam 5700
Pritch
2/250x50
250x10R



Issues/Considerations	Opportunities/Objectives	Additional Notes
Image & Identity - visual presence - collective image - signage and landscaping	- enhance collective image via distinctive landscape theme - improve visual integration with the Square and City Park via appropriate landscape design (re: City Heart project, “grand avenue” concept) - consider integrated approach to signage - express the individual identity of Rugby Museum within Te Manawa complex	Poor visual presence from the west, earth mounds obscuring views to the precinct Undefined public frontage along Main Street Building backs and service entrances facing the “gateway” area Inward-looking building facades along Church Street Gateway area needs enhancement (re: Council’s City Gateway project) Lack of a clearly defined main “public frontage” Inconsistent approach to landscaping and signage The presence of Rugby Museum at Te Manawa needs to be clearly indicated
Architectural Language -Existing buildings have been combined and extended to produce Te Manawa -Architectural vocabulary is not clear, differing styles to each façade -Building is not defined as a unique entity or place within our city	Relocation of the New Zealand Rugby Museum will -provide an opportunity to enhance the overall building profile of Te Manawa -define the New Zealand Rugby Museum at Te Manawa or the New Zealand Rugby Museum on the Te Manawa Complex	



Checksheets

Residential Additions and/or Alterations

Use this check sheet to assist you in lodging a complete building consent application and to avoid delays in processing. Please attach 1 copy of the following information (unless otherwise specified below) with your completed building consent application form. Tick each box which is relevant and ensure you attach the information. If it is not relevant, please write NA across the box.

- ☒ **Certificate of Title**
One copy of current certificate/s of title.
- ☒ **Site plan (1:100/1:200) showing:**
dimensions of all boundaries, north point, ground contours/levels existing and proposed. site area, street name and number, outline of dwelling with additions clearly indicated and distances to boundaries. Include points that height control planes are taken from.
- ☒ **Foundation plan (1:100/1:50) showing:**
- | | |
|---|---|
| ☐ if concrete slab - details of steel layout | ☐ if concrete - ring foundation, indicate ventilation. |
| ☐ footing details | ☐ timber sub-floor bracing |
| ☐ dimensions of external foundations | ☐ bracing schedule for sub-floor |
| ☐ Engineers structural details for walls etc | |
- ☒ **Drainage plan (1:500/1:100) showing:**
- | | |
|--|---|
| ☐ outline of dwelling with additions clearly indicated with location of all fixtures and fittings (1:100) | ☐ location of any Council main sewers and drains servicing the site (1:500) |
| | ☐ design of drain systems with all inspection bends and junctions (1:100) |
| ☐ if addition is 2 storeys or more - isometric layout of levels showing all waste pipes and falls (1:100) | ☐ On site effluent disposal. Provide specific design by qualified engineer showing compliance with Wellington Regional Council Regional Plan in respect to discharges to land. |

**For
office
use
only**



☒ **Floor plan (1:100/1:50) showing:**

- | | |
|---|--|
| ☐ Existing and proposed floor area, all framing dimensions and room sizes, all spaces designated, door and window sizes, sanitary fixtures and fixings, kitchen stove, food storage areas. | ☐ if the addition creates two storeys or more, additional floor plans are required showing upper floor area to the nearest square metre (m ²), all framing and room dimensions details of stairs, barriers and handrails, floor joist layout, support, beams, trimmer joists. |
|---|--|

☐ **Bracing plan (1:100/1:50) showing**

- | | |
|--|---|
| ☐ Location, type and number of bracing elements to indicate compliance with NZS 3604:1990 (include calculations). | ☐ if the bracing was specifically designed by an engineer attach a copy of the calculations with this application. |
| ☐ bracing schedule calculation sheet | |

☒ **Elevations (1:100/1:50) showing:**

accurate ground lines from boundary to boundary on each elevation, relevant District Plan daylight control lines, the maximum height on each elevation, location of door and window openings, fixed and opening sashes, floor levels in relation to ground levels, exterior cladding nominated to all elevations, down pipes and spouting, ventilators to sub-floor area (suspended floors only).

☐ **Sections and Details (1:100/1:50) showing:**

- | | |
|--|--|
| ☐ foundation detail - reinforcing steel | ☐ insulation systems and materials to floors, walls and roof |
| ☐ stud heights of rooms and total height from ground floor level to top of ridge (along and across) and details of all major connections. | ☐ details of fire rated partitions from floor to underside of floor above (if more than one fire cell) and noise control system). |
| ☐ roof cladding, eaves, faces, gutters, flashings to openings | ☐ fire rated systems on all walls closer than one metre to any boundary. |
| ☐ exterior cladding, including veneers | ☐ lintel beams and timber dimensions |

☒ **Structural and Calculations**

If any design work required the services of a registered engineer, attach a copy of the calculations with this application.

☐ **Heating**

If the plans show a solid fuel heating appliance (free standing or in-built), a copy of the manufacturers data and instructions for installing the heating appliance must be attached with this application.

☐ **Specifications**

Provide two sets of specifications with relevant section headings. Specification should be specific to the project and contain no irrelevant information. The basic information such as site address, legal description and owners name and address, should be clearly shown. Specification should also include details of all materials and fittings required for the project and indicate compliance with the Building Code.

☐ **Earthworks Consent (KCDC Bylaw)**

If the existing ground levels are to be altered 600mm vertically, or total of 50m³ of solid fill is moved, you will need to make a separate application for an earthworks consent (see note 1).

District Plan - land use consent, earthworks

A land use consent is required if the proposed earthworks extend more than 2.0 metres beyond the foundation, and if the earthworks involve the disturbance of more than 50m³ and alter the ground level by more than 1.0 metre measured vertically.

☒ **PLAN PAPER SIZE**

Plans are to be drawn on plain white paper, coloured or graph paper is not acceptable. Paper size should be in proportion to the size of the project being shown. Size A3 is preferred, plans drawn on A1 or A2 should have an additional copy reduced to A3 supplied with the application (with reduced scale key).

NOTE: As from 1 July 1998, Council will be commencing digital storage of all plans, if preferred, applicants may provide their documentation in digital form.

Note: If other Council approvals are required you can apply for them:

1. at the same time when lodging this application; OR
2. before lodging this application.

Acceptance of your building consent will be conditional upon you providing:

1. ***All the relevant information described in this form;***
2. ***A building consent application form;***
3. ***Payment of an application deposit.***

The Building Control Department reserves the right to not accept any application for building consent where the quality of the information is poor or inadequate.

Design of Beam

$$\text{Span} = 6.0 \text{ m}$$

$$\text{effective width of roof supported} = \frac{7}{2} = 3.5 \text{ m}$$

$$D = .25$$

$$L = .25$$

$$\therefore D+L = 3.5 (.25 + .25) \\ = 1.75 \text{ kN/m}$$

$$\therefore \text{Total load} = 1.75 \times 6 \\ = 10.5 \text{ kN}$$

from AISC tables for steel

200 UB 25 takes 26.4 kN over 6.0 m

for steel
use 200 UB
25.

W.L.

$$V = 50 \text{ m/s}$$

$$S_1 = 1$$

$$\therefore V_s = 1 \times 50 \times 6 \\ = 30 \text{ m/s}$$

$$S_2$$

$$GR = 3$$

class B

$$H < 3.0$$

$$\therefore S_2 = .6$$

$$\therefore q = .552 \text{ kPa}$$

$$C_{pe} = \pm 1.3$$

$$C_{pi} = -1.0$$

$$\therefore F = -1.3 \times .552$$

Sando House

27/9/85 (2)
85.111 148

$$= -0.72 \text{ kPa}$$

$$0.7D + WL = 0.7 \times 25 - 0.72$$

$$= -0.55 \text{ kPa. (F. of S of 1.55)}$$

ie D+L critical by inspection

For rad. pine

$$k F_b = 1.55 \times 6$$

$$= 8.1 \text{ MPa}$$

$$E = 8.0 \text{ GPa}$$

using TRADA Tables

for stress	280x90	takes	13.68 kN	over	6.0m @ 8.0 MPa
	230x90	"	8.09 "	"	" " " "
	280x65	"	9.86 "	"	" " " "

for defl"	280x90	"	11.25 "	"	" " " 8.0 GPa
-----------	--------	---	---------	---	---------------

use 300x100 beam

timber
beam

use

300x100

CALCULATIONS

FOR THE BEAMS

IN GARAGE

AT 4 NUHAKA STREET

FOR MACKIE

november 2003

job number 1830

prepared by DESIGNSCAPE *shark bait ltd*
298 rosetta road sunny raumati
allan pullenger rea, a.lpenz

GENERAL

These calculations are specific to the above contract, and shall not be used elsewhere. Footing sizes are shown on the plan, or on the attached calculation sheet.

All work will be carried out by, or under the control of, competent tradesman experienced in the type of work.

All material shall be of the best quality and condition.

WORKS

The proposed work is to change the existing double garage doors to a single door. The existing beams are being replaced in steel to accommodate this.

Note there is no change to bracing involved.

The centre garage beam may require changes in height to the new sectional garage door.

STRUCTURAL STEEL

Fabricate steel members as calculated and shown on the drawings. Cut, drill and assemble by means of welding, bolting or other suitable methods in accordance with sound trade practice.

All welding shall conform to the requirements of NZS 4701 : Metal-arc Welding of Steel Structures for Class A, Class S, Class B welds unless noted otherwise. All welds are to be full penetration fillet welds unless noted otherwise on the drawings. Preparatory work, procedure and sequence of welding shall be such as to obviate distortion and minimise shrinkage stresses. All welds shall be ground to a clean, smooth even surface in the shop, and all welded connections in tubular members shall be fully sealed.

Holes for screws or bolts shall be no larger than required. Dress cut edges to a neat finish free from distortions and remove burrs. All cleats, straps and holes shall be square and true in line and position. All steelwork exposed to view shall be neatly finished and where within reach shall present no rough or sharp edges.

All steelwork, unless galvanised, shall be factory cleaned down with power wire brushing to remove all rust and given a coat of non organic silicate primer before delivery to the site. Any areas damaged in construction shall be patch primed with the above primer.

All external steelwork shall be hot dip galvanised after fabrication. Allow to correct any deformations due to the galvanising process

designscape

298 rosetta road
telephone 04 902 8528

allan pullenger
rea a.ipenz

sharkbait ltd

Mrs Mackie STEEL BEAM CALCULATIONS

Job 1830

DATE

12/11/2003

BEAM NUMBER

Centre Garage Beam

LOADING

Span	L =	5.3	m
Load width (roof)		2.8	5.6 m
Load LL + DL		1.25	kpa
Load per metre	w =	3.50	kn/m

BENDING MOMENT

BM = $WL^2/8$	M =	12.29	knm
---------------	-----	-------	-----

BEAM SIZE

Steel 180 UB 22.2

E	200000000	m
I	0.0000153	

DEFLECTION

Deflection is $5WL^4/384EI$	0.012	m
Allowable L/360	0.015	m

PAD AREA TO ENDS

End Reaction is $L \times W / 2$	9.28	kn
Footing size required using soil 100 kpa	0.139	m ²
Each side	0.370	m

Use 370 mm square sides

BEAM NUMBER

Garage Door Lintel

LOADING

Floor load			
Span	L =	5.60	m
Load width (roof)		1.00	2 m
Load LL + DL		1.25	kpa
Load per metre	w =	1.25	kn/m

Point Load

Load width (roof)	0.00	0 m
Load LL + DL	0.00	kpa

Load per metre	W =	0.00	kn/m
Point Load		9.28	kn
Distance	a	2.80	m
	b	2.80	m

BENDING MOMENT

Bending moment is $WL^2 / 8 + Wab/L$

BM max 17.89 knm

BEAM SIZE

Steel 230 x 75 PFC 25.1

E 200000000 m

I 0.0000268

DEFLECTION

Deflection is $5WL^4 / 384EI +$

$PL^3 / 48EI [3a/L - 4(a/L)^3]$ 0.009 m

Allowable L/360 0.016 m

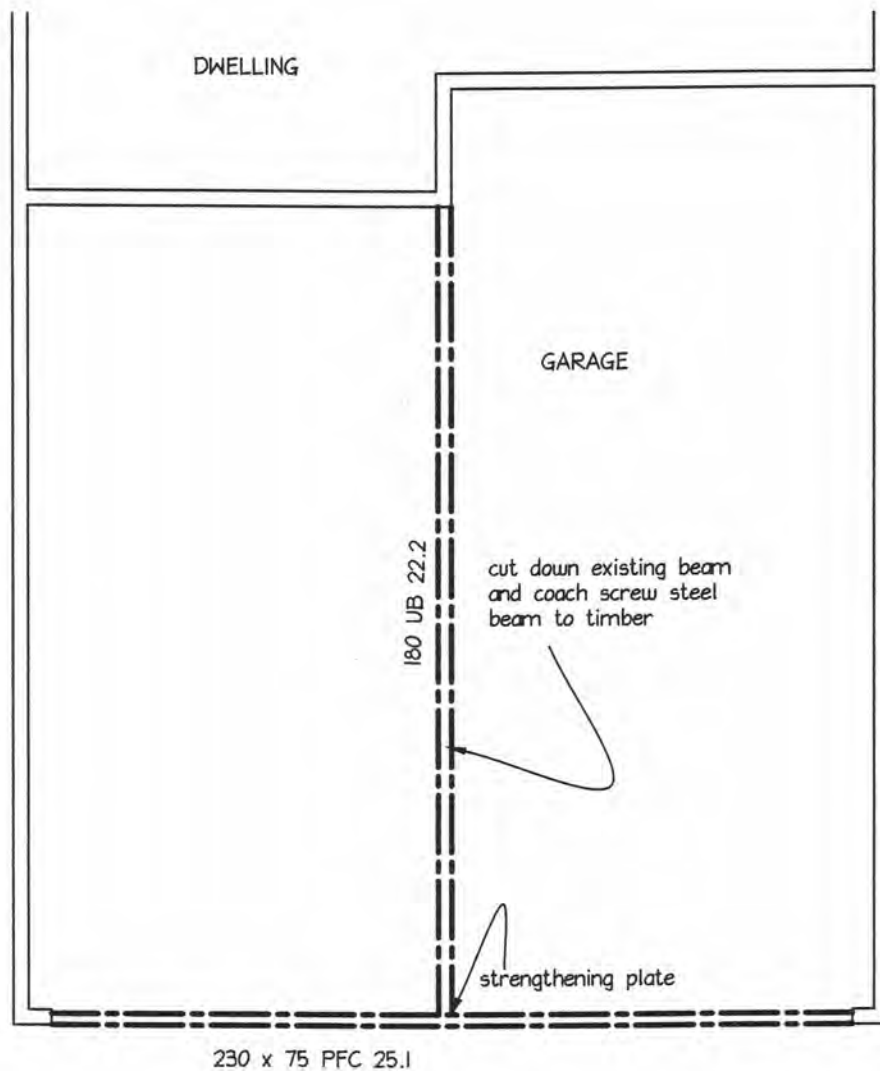
PAD AREA TO ENDS

load 8.14 kn

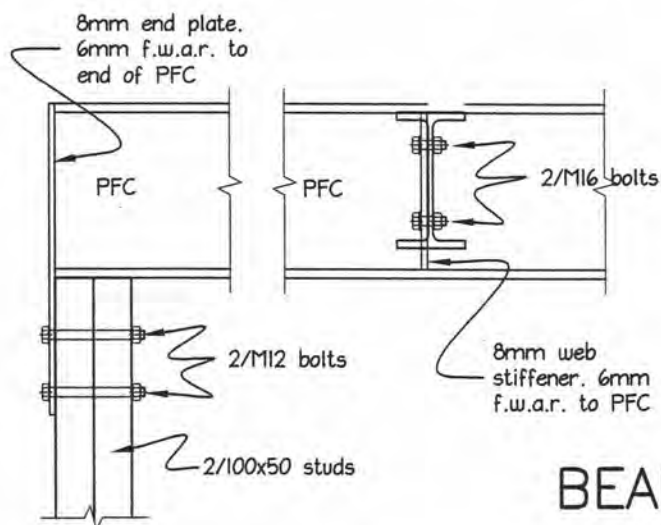
Footing Size at 100 kpa 0.122 m²

Each side 0.35 m

Use 350 mm square sides



LOCATION PLAN



BEAM CONNECTION

the contractor shall check and verify dimensions before construction

designscape

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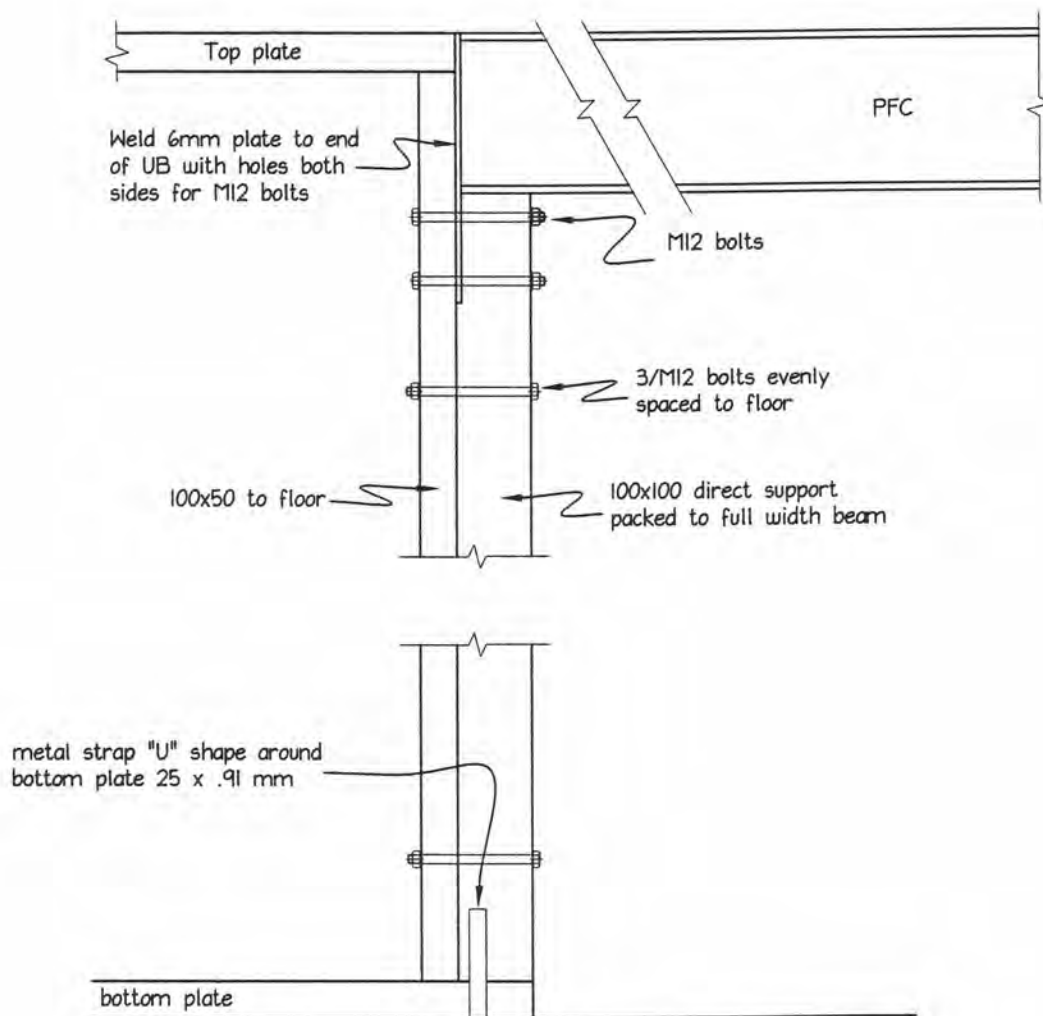
Civil, Structural and Building design
<http://www.designscape.net.nz> email
info@designscape.net.nz

Structural Replacement Beams
 4 Nuhaka Street

Allan Pullenger rea, a.ipenz
 298 Rosetta Road - Raumati
 phone & fax 04 902-8528
 Mob 025 420-486

scale 1 : 100 : 1:10
 date november 2003
 drawn Allan Pullenger
 survey Allan Pullenger

plan number 1830
 Sht 1 of 2



SUPPORT DETAIL

the contractor shall check and verify dimensions before construction

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Structural Replacement Beams
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 Mob 025 420-486

scale 1 : 10
 date november 2003
 drawn Allan Pullenger
 survey Allan Pullenger

plan number 1830
 Sht 2 of 2

STRUCTURAL CALCULATIONS
FOR
SANDO HOUSE
4 NUHAKA PLACE - PARAPARAUMU

Architect: Ardes Design Group

JOB No. 85-111

SEPTEMBER, 1985

Clendon Burns & Park Ltd.,
Consulting Engineers,
P.O.Box 27-245,
WELLINGTON.



MEMBER

ASSOCIATION OF CONSULTING ENGINEERS NEW ZEALAND

A DIVISION OF THE NEW ZEALAND INSTITUTION OF ENGINEERS

Set No.



SPECIFICATIONS

of work to be done
and materials to be used
in the erection of a residence for

.....
..... CRAIGWIN DEVELOPMENTS LTD.
LOT . 9. D. P.
..... MANLY STREET EXTENSION
..... PARAPARAUMU

CRAIGWIN
DEVELOPMENTS LTD.

PRELIMINARY AND GENERAL

SCOPE OF WORK:

This Contract comprises and refers to this specification to the work to be done and materials to be used in the construction and completion of the dwelling house in accordance with the specification and plan herewith and the usual conditions as applied to cottage construction.

INTERPRETATION:

This specification is to be read in conjunction with the plans and working drawings. All figured dimensions shall be taken in preference to scaling. All detail drawings shall supersede those in smaller scale. In the event of any difference between the drawings and specifications, this specification shall take precedence. Such differences to be referred to the contractor for interpretation.

CONDITIONS OF PAYMENT:

To be arranged with the owner or his representative, in accordance with the Building Agreement.

METHOD OF PAYMENT:

As arranged with owner or his representative.

PERIOD OF MAINTENANCE:

The scope of this contract shall include maintenance for a period of 32 days from the date of completion.

INSURANCE:

The contractor shall effect an insurance policy with an approved office. The policy shall insure the dwelling against fire under builders risk fire insurance to the full value of the building for the period of construction.

PERMITS:

The contractor shall obtain and pay for, Building, Plumbing and Drainage permits from Local Authorities before commencing any work covered by the contract.

(Note - Crossing Fees - Upgrading Rights of Way.

The Contractor shall pay necessary deposits or fees for sealing, vehicle crossings etc. as required by the Local Authority only to allow permits to be uplifted. All such amounts are the liability of the owner, and such amounts as required charged as an extra).

SITE:

The contract is based upon the site conforming with

(1) The levels and contours as drawn on plan.

(2) The sub soil of such nature as to require only the minimum foundations required by Local By-Laws or Lending Institutions policy, unless otherwise detailed in this specification or working drawings. Any variation in levels, additional excavations, or foundations requiring additional labour or material shall be treated as a variation to the contract and charged as an extra at completion of the Contract.

SETTING OUT THE WORK:

The responsibility for setting out work will rest with the contractor.

EXTRAS:

No work shall be considered an extra unless a separate estimate for it shall first have the written approval of the owner (foundation and crossing fees etc. excepted).

COMPLETION:

The Contractor shall remove all rubbish and equipment accumulated during the construction of the house, remove all temporary work and leave all services in good order, rake out all rubbish from under floor, and leave floors broom clean.

SITE EXCAVATION:

The entire scope of this work shall be ~~covered by P.C. Sum.~~ ^{allowed for}

PRIME COST (P.C.) SUMS:

The following sums are allowed in this contract:-

(1) Site Excavation	P.C. \$	as specified
(2) Hardware	P.C. \$ 100.00	" "
(3) Bench and Sink Top	P.C. \$	" "
(4) Fire Surround	P.C. \$	" "
(5) Electric Range	P.C. \$ 300.00	" "
(6) Wallpaper	P.C. \$ 2.00	per roll
(7) Wallpaper in Service room.	P.C. \$ 6.00	" "
(8) Water Tank.	P.C. \$ 350.00	
(9) Siteworks.	P.C. \$ 300.00	

A prime cost (P.C.) sum shall be varied by the substitution for the prime cost sum of the actual price paid by the contractor for the particular work or materials supplied and the contract price shall be increased or decreased (as the case may be) by the amount by which such sum is varied. There shall be added to or deducted as the case may be a sum representing such percentage as is normally charged by the contractor as its own profit margin in relation to the particular item of prime cost concerned but in no case shall such percentage exceed ten per centum of such variation.

EXCAVATOR AND CONCRETOR

EXCAVATOR:

Excavate for all foundation footings, chimney and pile pads, steps etc. as drawn and as required to a depth of 12". Trenches shall be neatly formed with vertical side walls and fair and even bottom. In the event of sloping ground the bottom shall be stepped with the minimum point at least 6" below ground line.

CONCRETOR: MATERIALS

The cement shall be new, dry, N.Z. made Portland cement conforming to the British Standard Specifications. It shall be stored in a dry place well off the ground until required for use. The sand shall be clean and sharp, free from deleterious matter and shall range from 1.1/4" down to 1/4". The reinforcing steel shall be mild steel conforming to the British Standard Specifications. It shall be free of dust and loose rust and shall be bent to the various shapes necessary. The boxing shall be neatly framed up and adequately braced to withstand displacement when the concrete is poured.

CONCRETE MIX

The concrete shall consist of 1 part of cement, 2 parts of sand, and 4 parts of aggregate thoroughly mixed in a batch mixer with the least amount of water consistent with workability. It shall be so made as to produce a good dense concrete and so placed and tamped that a minimum of voids occur. Care shall be taken to see that excessive water is not added. Concrete shall reach minimum strength of 2500 lb after 28 days.

FOUNDATION

All concrete foundations, piles etc. shall rest not less than 12" below permanent ground level. Foundation walls to be 5" thick with 12" x 6" footing. Footings reinforced as shown on plan. Walls to be reinforced with HRC 665 mesh. Walls over 6' in height to be 6" thick. Build in 12" long 3/8" dia. R.M.S. holding down rods at 4'6" c/c to hold down plates.

Note: Two storey dwellings (inc. basement garage) conc. walls 6" thick. Should dwelling be sheathed with Brick or Stone Veneer foundation walls shall be 6" thick.

Allow openings for 12 x 9 vents evenly spaced at not more than 6' centres and commencing at not more than 2'6" from each corner.

PILES

Either Box and pour concrete piles or supply concrete precast piles of min. cross section of 64 sq. inches. Footings to piles in each case shall be 12" x 12" x 6".

Maximum spacing for piles to be 4'6" with sleepers, and centres with joists in accordance with NZSS 1900 depending on joist depth.

PORCH FLOORS

Slabs shall be a minimum thickness of 4" laid with an even and consistent fall to drain stormwater and supported on base wall 4" thick. All concrete surfaces which are to be plastered shall be cross-combed to form a key for plaster. Form concrete steps with 11" treads and not more than 6.3/4" risers as shown. Reinforce with HRC mesh. 665.

GARAGE/~~CARPORT~~ FLOOR/TERRACE SLABS

Floors minimum thickness of 4" laid with an even and consistent fall.

to exterior. Entire area screeded level and wood float finished. When floor is sufficiently dry, floor shall be swept with a hard broom. Floor shall be laid on 005 Polythene film DPC lapped and taped at joints. Reinforcing 3/8" RMS rods at 12" c/c both ways or HRC 665 mesh.

BASE ACCESS

Allow to form access opening as required where shown on plan.

Note: All Excavation Boxing Steel and Concrete required to reach a solid bearing in excess of 12" in depth will be charged at the then ruling rate as an addition to the contract price.

PLASTERER

SCOPE OF WORK:

Foundation - All exposed exterior concrete is to be plastered.

CEMENT:

Cement shall be approved brand N. Z. Portland cement.

SAND:

Sand shall be sharp, clean riverbed sand with gritty hard grains of various sizes free from deleterious matter.

SURFACE PREPARATION:

Properly prepare all surfaces to be rendered or plastered. All concrete surfaces well picked, wetted and given a good slurry coat of 1 part cement to 2 parts sand prior to plastering. Apply 5/8" plaster in smooth and fair finish. Finish with textured dash coat.

PORCHES AND STEPS:

Porch and steps shall be finished 3/4" thick with wooden float. Steps to fall to shed water and to have neat coving 2" junction with all surfaces.

VENTS:

Supply and fix 12 x 9 precast concrete vents to openings, supplied under "Concretor".

WALLS:

All backing to exterior stucco work shall be fixed by the carpenter and shall consist of 'Cretex' type boarding securely fixed over an underlay of building paper and seated firmly on a rebate in the concrete perimeter wall. All joints in 'Cretex' board shall be over a solid timber dwang both horizontally and vertically. Netting with a 3/4" mesh shall be tightly stretched over the face of the 'Cretex' board and securely fixed by means of special clips and nails at joints at not more than 6" centres. Joints in reinforcing shall be lapped at least one mesh and shall not occur at angles. The reinforcing shall be doubled for 1' on each side of all angles and extra pieces at least 18" by 12". Shall be fixed diagonally on all corners of openings.

THICKNESS:

Stucco shall be applied in not less than two coats to a final thickness not exceeding 1" and shall cover all reinforcing not less than 5/8".

CARPENTER

GENERAL:

Frame up, erect and fit all Carpenter's work as indicated on the drawings and as required. Cut away for, attend upon and make good after all trades. Provide all moulds, templates, boxing and other temporary work. Leave all working parts in good order.

FRAMING:

Provide and fix patent roof damp-course under all timber in contact with concrete and brickwork. Frame building in accordance with the schedule of timber. All timber to be full length with plates secured to foundation piles by the wires set therein being bent over and securely stapled thereto. All joints in plates shall be halved at angles and scarved with 3" scarfs over a bearing. Partition plates dovetailed to outside plates. Braces shall be checked into studs and plates.

SCHEDULE OF TIMBERS:

Sleeper Plates	4" x 3" B. A. Ht. Rimu spaced as shown
Floor Joists Generally	5" x 2" B. A. Ht. " " " " at 18" crs. (note at 16" crs. for pycopine floor)
Floor Joists at basement area	as per N. Z. S. S. 1900 Chpt 6-1 and as drawn.
Jackstuds to basement	4" x 3" B. A. Ht. Rimu @ 18" crs.
Vermin Plates	4" x 2" " "
Exterior Wall Framing	4" x 2" B. A. Rimu Planer gauged with studs spaced 18" crs.
Main Partition Wall Framing	4" x 2" B. A. Rimu Planer gauged with studs spaced 18" crs.
Non Bearing Wall Partition	3" x 2" No. 2 Boric treated Radiata planer gauged studs at 18" crs.
Lintols over opening	as per NZSS 1900 Chpt 6-1.
Dwangs to Walls (3 rows)	3" x 2" and 4" x 2" No. 2 Boric treated Radiata planer gauged.
Wall Bracing	External 6" x 1" Internal 4" x 1" B. A. Rimu sawn checked flush at 45 degrees.
Ceiling Joists	4" x 2" B. A. Rimu planer gauged at 18" crs.
Ceiling Dwangs	2" x 2" No. 2 Boric treated Radiata (note - not required if 2" x 1" strapping specified)
Ceiling Stiffeners	4" x 2" B. A. Rimu sawn 7'6" span 6" x 2" " " " 11'6" " 8" x 2" " " " 14'0" "
Rafters	As specified under roofer.
Rafter-Beam Ceiling	As detailed on plan.
Purlins	)
Stringers under rafters	)
Roof Struts	)
Valley	)
Valley Boards	)
Collar Ties	)
Hips and Ridges	)
Soffit framing	3 x 1½ B. A. Rimu.
Fascia	Ex 1" by width shown on plans DA Ht. or DA Tan Timu D4S.
Scribers	2" x 5/8" DA Ht. Totara or Redwood.

CARPENTER CONTD.

Flooring: Plycopine $\frac{3}{4}$ " Flooring grade, or flooring grade
Note: B. A. Ht. and B. A. ^{Plywood} Rimu to read or No. 1 Boric treated Radiata.
Exterior finishing timbers not specifically mentioned to be D. A. Ht.
or treated D. A. Rimu or Matai. Interior finishing timbers to be
D. A. Rimu or dressing grade treated Pinus Radiata.

FOUNDATION AND FLOOR FRAMING:

Set sleeper plates on edge. Fully bed on exterior concrete foundations and fix by $\frac{3}{8}$ " diameter rods. Where sleepers are borne on foundation piles secure by wrapping the wire tightly around sleeper and stapling with $1\frac{1}{4}$ " x 10 gauge galv. staples. Gauge floor joists over stringers and sleeper plates to a uniform level spaced at not more than 18" centres with laps not less than 10" in length well spiked together. Provide two joists, blocked under all bearing partitions running parallel with floor joints.

WALL FRAMING:

Plates shall be gauged to a uniform thickness. Cut braces in flush with face of stud at an angle of approx. 45 degrees. Where this bracing is not possible on short sections of external walls cut 6" x 1" dog-leg bracing into studs where directed. Space studs at not more than 18" centres. Allow 3 horizontal rows of dwangs or nogging to all partition walls. Dwang for cupboards etc. as required.

VENTILATION:

Drill $\frac{3}{4}$ " dia holes in all rows of dwangs, and bottom plates to exterior walls where exterior sheathing is Stucco or Asbestos.

ROOFING:

Construct roof as detailed under carpentry section of "Roofer".

FLOORING:

~~Lay the floor in~~ Lay flooring grade Plywood or, $\frac{3}{4}$ " Plycopine flooring - 4" x 2" Dwangs required to suit sheet sizes - at completion nails pinched and entire area sanded as directed.

SOFFITS:

Construct to widths as shown on plan, lined with 3/16 asbestos joined with aluminium jointing moulding. Fix ex 1" dressed grooved fascia board. Finish soffit to external linings with $1\frac{1}{2}$ " scotia. Wide overhangs to be constructed as detailed on drawings.

BUILDING PAPER TO WALLS:

All walls to be sheathed with weather-boards and Asbestos cement sheets, shall be covered from top to bottom plates with an approved saturated building paper.

INTERIOR FINISH:

SHOWER BOX: To be Seratone linings with PVC corner mouldings.

WALL LININGS:

GIBRALTAR BOARD:

Unless otherwise specified allow for supply, fixing and stopping of Gibraltar Board to walls of bedrooms, lounge, dining, kitchen, laundry, bathroom, and toilet, garage and to all ceilings.

CARPENTER CONT'D

CEILING ACCESS DOOR:

Install 2'0" x 2'0" Access door in ceiling.

FINISH TO BATH:

Secure bath on cradle. Frame up front and ends where necessary with timber on flat. Front shall be lined as for walls. Finish walls at back and ends of bath with 8" x 1" Rimu splayed on top to shed moisture and bedded down into bath in thick white lead paste.

WARDROBES:

Frame wardrobes as shown and line inside and ceiling with Gibraltar Board. Provide each wardrobe with full length G. I. Metal hanging rail and shelf ex 12 x 1 fixed as detailed.

HOT WATER CUPBOARD:

Frame, line hot water cupboard as specified for wardrobe. Fill space shown above cylinder with shelves at 15" crs. built up of slats 1/2" apart. Fit hot water cylinder on stand if required.

CORNICE:

Fit 2" bevelled D. A. Rimu scotia to all ceilings.

SKIRTINGS:

Fix 3 x 1/2 D. A. Rimu Bevelled and backgrooved skirting to all rooms.

ARCHITRAVES:

"Slim Line" Jambs to windows and doors will be used, architraves shall not be required.

INTERIOR JOINERY:

As specified under joiner.

KITCHEN:

Install units as supplied by joiner in a workmanship manner. Fit formica tops and neatly finish junction of cabinets to walls with quarter round beading.

BATHROOM:

Where specified, in bathroom trim framing for shaving cabinet. Overall size 15" high x 36" wide. Take delivery from joiner and install cabinet.

METER BOARD:

In wall framing where indicated frame recess and line with Gibraltar Board. Recess to accommodate 18" x 18" switchboard supplied by Electrician.
(Note - where possible board to be in exterior porch and metal Hicks box used).

HARDWARE:

Allow P. C. Sum for the following hardware and fittings:- Sash and Fanlight stays, door locks and furniture latches, pulls for cupboard doors and drawers. Coat hooks, toilet paper holder, towel rails and soap and toilet holders. See P. C. Item. All items installed in a tradesmanlike manner and left in easy operating condition.

CARPENTER CONT'D

BASEMENT ACCESS DOOR:

Frame and install basement Access Door where shown on plan.

EXTERIOR SHEATHING:

WEATHERBOARD:

To be fixed with not less than 1.1/4" lap. Bore butts for nailing and gauge boards to show a uniform width. Joints are to be butted and staggered, internal angles scribed and external angles mitred. Set all joints together with thick red lead oil paint. Boards are to be primed before fixing.

STUCCO:

Refer to plastering specification.

EXTERIOR SHEATHING:

To be Fibrolite 'Highline' sheets securely nailed over building paper.

To be 3/16" flat asbestos with a sprayed finish.

JOINERY

WINDOWS: To be Aluminium anodised joinery.

All windows, frames and sashes shall be made in a workmanlike manner of thoroughly seasoned timber. All frames to be Ht. or treated timber with sills of 2" material, and heads and styles out of 2" material. Mullions out of 4 x 3. Sills shall be double-sunk, weathered and throated and shall be provided with tray of 26 gauge galv. iron. Sashes shall be made out of Cedar or Redwood, or other approved timber. The split rails to have fixed on the outside 1.1/4" x 1/2" weatherbar to act as further weather check. 1 1/4" cover batten, sashes and fanlights shall be hung by pair of 3" galv. steel butts. L.P. Sashes are to be of the sizes shown on drawings. Facing to be out of 3 x 1 Ht. or treated Totara or Rimu. For butt w/board construction folded flashing grooved into jambs and fixed to studs.

DOORS:

All to sizes shown on drawing. Front and rear doors as shown on plan. All interior doors shall be first class finish flush type, white Pine

Exterior door frames shall be 6" x 1.1/2" Ht. with weathered sill out of 8" x 2". Interior door jambs shall be out of 5" x 1 1/2" perfectly square and plumb.

DOOR HINGES:

Exterior doors hung on 1.1/2" pr. Galv. 4" butts L.P. Interior doors 1.1/2 pr 3.1/2" AC butts.

KITCHEN FITTINGS: All units to have selected veneer to door and drawer faces.

All to detailed drawings. Form kitchen fittings with 13/16" shot and glued ends and with muntins out of 3" x 1" glued and dowelled. Form 13/16" false floors with 3.1/2" toe recesses under all fittings. Doors to be flush hardboard covered or coreboard. Form drawers with 13/16" fronts locking to 1/2" checks and with 1/2" backs and 1/8" hardboard bottoms. Subdivide one drawer with 3/8" divisions for cutlery.

SINK & BENCH TOPS:

To be formica - colour to be selected by owner.

SHAVING CABINET:

Provide shaving cabinet 15" high and 36" wide and 5.1/2" deep overall. Door to be completed with mirror and cupboard to contain two shelves.

CORRUGATED GALVANISED IRON ROOF

CARPENTRY:

Construct roof as shown on drawings. Pitch as indicated.
(Not less than 1 in 6)

SCHEDULE OF TIMBERS:

	Rafters 4" x 2" treated radiata or B. A. Rimu @ 3'0" centres.
x	Hips and ridges 6" x 1" treated radiata or B. A. Rimu
	Underpurlins 4" x 2" " " " " " " on edge
	Struts 4" x 2" " " " " " " @ 6'0" centres
	Collar ties 6" x 1" " " " " " " " " max.
	Purlins 3" x 2" B. A. Rimu only @ 2'6" centres
x	Valley 6" x 2" Treated radiata or B. A. Rimu
x	Gables 4" x 2" Frame and line gable ends as shown on plan

Rafters to be birdsmouthed over plates and well nailed at ridges and plates. Rafters shall have an underpurlined support for every 8'0" of span and all underpurlins shall be strutted from plates. Collar ties shall be fixed to every second pair of rafters, where rafter length exceeds 10'. When collar ties are not required 6 x 1" connecting cleats fixed directly under ridge.

ROOFER:

Cover the whole of the roof with galvanised netting, Building Paper, 26g corrugated galvanised iron sheets. +(All laps primed before fixing by builder). Cover x Hips and ridges with 18" wide 26 gauge lead edge purpose made ridging. +(Prime corr. iron where covered by ridging). Fix either lead of 24g galv. caps to junctions of hips and ridges etc. x Valleys to be 24g 18" wide galvanised iron with folded edges. x Barges to be finished with 26g square edge moulding lapping the roof at least 2 corrugations.

x Note: Items required only if indicated on drawings.

+ Laps and corrugated iron covered by ridging to be primed with DULUX Primer for Galvanised Iron.

PLUMBER

GENERALLY:

The Plumber is to do all that appertains to his trade which is shown by the drawings or written or implied by the Specification and all his workmanship and materials are to be of the very best description and the work shall be carried out by a duly licensed Plumber in accordance with the Health Department and Local Body Regulations.

LOCAL AUTHORITY:

All plumbing perfectly watertight and in strict accordance to By-Laws.

FLASHING:

Flash tops of all exterior faces of door etc. with 26g galv. iron as required. Flash chimneys and valleys with 24g. galv. iron.

SPOUTING AND DOWNPIPES:

Provide and fix 24 gauge galv. spouting and downpipe.

COLD WATER SUPPLY:

Allow for 30 feet of 3/4" dia. plastic cold water supply from toby to house. Take branches to all fittings and to two exterior hose taps. Extra footage of main supply pipe will be charged under standard contract rates @ 40 cents per foot. Supply and fit 30 gal. Plastic supply tank and tray in Roof space or approved pressure reducing valve.

HOT WATER SYSTEM:

Provide and fix in drying cupboard a 40 gallon copper cylinder with approved electric heating thermostat control pipes. Cover cylinder with 3/4" thick hair felt encased in galv. iron to E.P.C. requirements. Lay hot water service in 3/4" dia. copper pipes to bath and 1/2" dia. copper pipes as directed to sink basin and tub. All hot water pipes to be copper and properly lagged. Install thermostat and element as supplied by Electrician.

TRAPS & WASTES:

Supply and fit as required plastic traps and wastes. Discharge over gully trap.

BATH:

Supply and fix in bathroom a standard quality Pressed steel enamelled white 5'6" built in bath complete. Taps 3/4" H. & C. C.P. Kowhai pillar cocks.

LAVATORY BASIN:

Provide and fix where shown a white lavatory basin with C.P. brass plugs. Provide and fix 1/2" H. & C. C.P. Kowhai pillar cocks.

SINK: & VANITIES

Supply and connect plug washer and waste to sink^{& vanities} supplied under "Carpenter".
Supply and fix 1/2" H. & C. C.P. Kowhai pillar cocks.

WASHING MACHINE:

Washing Machine to be supplied by owner. No taps allowed for.

TUB:

Supply and fix stainless steel tub in cupboard supplied by C.D.L. Supply and fit 1/2" H. & C. C.P. Pillar cocks. Supply chain and plug complete.

VENTS:

Supply and fix 3" diameter asbestos vents as required securely clipped to building with galvanised brackets and carried up the necessary height above eaves. Finish at top with bird-proof wire cowl.

WATER CLOSET:

• Provide and fix where shown latest pattern white glazed stoneware wash down closet and trap in one piece. Standard plastic seat and flap all fittings complete. Connect to water supply.

SHOWER/BATH.

~~SHOWER CABINET:~~

Provide and fix where shown ^{a shub.} ~~stainless steel shower tray without base.~~ Install 1 1/2" plastic waste and discharge over G.T. Provide and fit H. & C. Kowhai shower cocks and needle shower rose.

SHOWER OVER BATH.

Provide and fix where shown H. & C. Kowhai shower cocks and needle. Shower Rose to discharge over bath.

ELECTRICIAN

FIX POINTS:

The building to be wired for electric light and connected to mains. Include the supply and fittings of all necessary switches, fuses, etc., to the satisfaction of the Fire Underwriter's inspector and pass the 230 volt standard A. C. lamps as chosen by owner.

Switchboard to be set in wall as required by E. P. B.

Allow for Light Points. 16 No.

Allow for Heating Points. 13 No.

Switches to be silent flush type of English manufacture 4'6" above floor.

ELECTRIC RANGE:

Provide and fix electric range or other as selected complete with all appurtenances. See P. C. Items.

CYLINDER:

Hot water cylinder to have 1200 Watt element with thermostat.

DRAINLAYER

GENERAL:

All work to be carried out in strict accordance with the Plumbing and Drainage Regulations, and in good trade practice. All materials are to be the type specified and to be the best of their respective kind.

EXTENT OF WORK:

Work to include all excavation, supply of all material and labour necessary to complete the drainage work from traps to the connections provided by the local authority at the road boundary.

DRAINS:

Dig all trenches and lay sewerage and waste drains, where and as shown on drainage plan on section. Pipes to be 4" best quality glazed earthenware socketed with approved joints.

STORMWATER DRAINS:

Where required by local authority, stormwater drains to be laid.

PAINTER AND PAPERHANGER

PAINTING SYSTEM:

All paints, colours, varnishes, enamels, stains and primers shall be those brands manufactured or distributed by BALM Paints (N. Z.) Ltd and shall be used in accordance with the manufacturer's directions. Other materials may be used in substitution, provided specific permission to do so has been given in writing by the Building Contractor.

SUPERVISION:

The Building Contractor and any representative of the Paint Manufacturers designated by the Building Contractor, shall have access to the job and to materials being used during the progress of the work.

GENERAL:

The Painter shall inspect all surfaces prior to carrying out any work, and any unsuitable areas shall be rectified by the Builder to the Painter's satisfaction.

UNSUITABLE CONDITIONS:

No paint shall be applied to wet or uncured cement or plaster, or to surfaces that are not clean, smooth, dry and free from oil or grease, nor until the preceding coat is thoroughly dry, nor on metal or exposed work in wet, foggy or frosty weather, save plastic type paints, if specified, may be applied to wet cement, etc., as directed by the Manufacturer.

COLOUR SCHEDULES:

The Contractor will be supplied with a colour schedule. All work is to be completed without deviation from this unless written approval is received from the Building Contractor.

1. EXTERNAL WORK

Paint all external exposed woodwork usually painted, with three coats in accordance with the following :-

(a) Preprimed or/

Priming: Prime all exterior timbers, including all meeting surfaces, both faces of laps and ends of weatherboards, exposed surfaces of exterior door and window frames, sashes and doors to be primed all faces and edges, woodwork of eaves and all timber that comes into contact with concrete, brickwork, etc. with DULUX Wunderprime. Use DULUX Totara Primer on Totara, Matai and other difficult drying timbers.

(b) Stopping and Rubbing Down: After priming has set, stop all nail holes as detailed in General clauses, and rub down as required to obtain a satisfactory surface for undercoating.

(c) Undercoat: Apply DULUX Wundercoat as soon as possible after priming. Paint all glazing putties with, and tint undercoat to approximate colour of finished coat, but it shall be readily distinguishable from same. Paint to impinge slightly on to glass surfaces.

PAINTER AND PAPERHANGER

- (d) Finishing Coat: Apply one coat of DULUX Exterior Hi-Gloss in the colour selected, taking care to ensure that all undercoated areas receive a coat of paint. If 'Bright Red' is selected, then two coats must be applied. (DULUX Super Enamel).
- (e) Asbestos Cement Eave, Gable End and Porch Linings: Shall be painted with two coats of DULUX Spring Flat Paint, in accordance with the manufacturer's instructions for first class work.
N.B. Apart from painting these asbestos linings painting of all other Asbestos work does not form part of this contract.
- (f) Metalwork: All exterior metal work should be thoroughly cleaned and free from dirt, dust, grease or other surface imperfections. After thorough surface preparation has been completed apply one coat of DULUX Galvanised Iron Primer, taking care to ensure that Galvanised Iron flashings are coated on the underside of the metal.
- Iron & Steel - DULUX Seakrome Primer.
- Galvanised Corrugated Iron Roofing - As specified under Roofer.
- N.B. Apart from Lap priming, however, painting of any roofing material does not form part of the Contract.

2. INTERNAL WORK

Note: Painting interior of any kitchen, bathroom, laundry or other joinery cupboard is not included in the contract, nor Linen, Pantry or Hotwater Cupboard.

In all painted rooms, the contract allows for not more than three colours. Additional charge will be made for colours in excess of this number.

- (a) Painted Wood Surfaces: After surface preparation has been completed, apply one coat of appropriate DULUX Intermediate Primer Undercoat, second coat of DULUX intermediate Primer Undercoat and final coat of DULUX Super Enamel or DULUX Super Satin, tinted as directed.
- (b) Varnished Wood Surfaces: After thorough surface preparation has been completed, all interior woodwork, excepting that which is scheduled to be painted shall be stopped with tinted putty. Apply DUCO Sanding Sealer or DULUX Satin Clear as the first coat. Follow with two coats of DULUX Clear Gloss Varnish or DULUX Satin Clear Varnish.
- (c) Gibraltar Board Walls to Kitchen, Bathroom, W.C., and Laundry: After necessary stopping and sanding has been completed, coat with size and cover with an embossed lining paper, at \$1.00 per roll, and apply one coat of DULUX Super Seal, one coat of DULUX Intermediate Primer Undercoat and one coat of DULUX Super Enamel.
- (d) Gibraltar Board Walls to Wardrobes, Linen & Coat Cupboard: After necessary stopping and sanding has been completed, apply two coats of BALM Trade Formula P. V. A. Flat Plastic paint, tinted as specified.
- (e) Ceilings to all Service Rooms (Kitchen, Bathroom & Laundry): One coat of DULUX Super Seal, one coat of DULUX Intermediate Primer Undercoat and one coat of DULUX Super Enamel.
- (f) Ceilings to Lounge, Dining, Bedrooms & Hallways: After necessary stopping and sanding has been completed apply two coats of BALM Trade Formula Alkyd Flat, or DULUX Spring Plastic Paint. The use of DULUX Lo-Gloss is recommended on damp surfaces or areas subject to moisture problems.

3. PAPERHANGING: To Walls of Lounge, Dining, Bedrooms & Hallways: Wallpapers shall be selected to the owner's approval. See P. C. Item per roll.

PAINTER AND PAPERHANGER CONT'D

4. COMPLETION:

On completion, the Contractor shall remove all empty cans or other debris arising out of his work clean off all glass free from paint spots and smears, in addition to the other areas so affected.

INSTALLATION & OPERATING INSTRUCTIONS FOR

WOODSMAN LOG BURNER CONSOLE UNIT

SUPPLIED BY

Yapiti Road,
Christchurch.

Phone 86-553

THE HEATING CENTRE

Suppliers of Pot Bellies, Space Heaters, Chip Heaters,
Copper and Brassware and fireside accessories.
OPEN SATURDAY

W H HARRIS LTD

CHRISTCHURCH, NEW ZEALAND

INSTALLATION INSTRUCTIONS

Installation should be carried out by a qualified installer who will ensure:

- that any Local Body permit or requirement is complied with and is in accordance with NZS 7421:1972, titled 'Specification for the installation of Solid Fuel and Oil Burning Space Heaters'.
 - that the following minimum dimensions determined by the D.S.I.R. tests in accordance with NZS 7421:1972, Appendix B, are complied with to prevent overheating of nearby combustibles.
 - (a) side, minimum 330 mm
 - (b) rear, minimum 450 mm.
 - (c) at least one metre access clearance between building structure from the front face.
 - that the combination Ash and Insulating Hearth of incombustible material such as brick or concrete, 50mm thick, is provided extending not less than 300 mm in front from the firebox door.
1. Position the unit with regard to the foregoing minimum dimensions and in relation to a convenient outlet for the flue through the ceiling and roof.
 2. Where a factory fitted Wetback is installed, allow for plumbing.
 3. Re-position the unit and plumb for the flue outlets through ceiling and roof allowing for standard 125 mm stainless steel Flues and 247 mm Liners.
 4. Cut the holes for the Flue and trim back any timbers and ceiling material to allow for new liner support framing with fireproof sheeting. Re-frame timbers to equivalent strength where necessary.
 5. Join the required number of stainless steel Flues by inserting the bottom (smaller, swaged end) INTO the top of the one beneath. Drill and fix each joint with three stainless steel self-tapping screws or rivets.
 6. Similarly join the required number of galvanised liners notched end uppermost and assemble around the flues fixing the Top and Bottom flue spacers to the liner - See diagram.
 7. Position the assembly keeping the Bottom Liner slightly below ceiling level, and fix top and bottom to new framing.
 8. Screw the Ceiling Plate into position ensuring that it is centred over the flue leaving an even airgap for ventilation.
 9. Flash the galvanised Liner to the roof to make a weatherproof seal.
 10. Fit and fix the Flashing Cone and Raincap as per diagram.

CLEARANCE FOR SCREENS

Screen material	Back Clearance	Side Clearance
Asbestos, cement board, gypsum plaster, plaster board, 7 mm asbestos millboard, sheet metal in contact	450	330
Sheet metal or other approved sheet material		
(a) Over 12 mm asbestos millboard in contact	225	165
(b) Spaced out 12 mm	135	100
(c) Spaced out 25 mm	90	70
25 mm pumice concrete in contact	315	235
50 mm pumice concrete in contact	225	165
80 mm brick (on edge) in contact	225	165
110 mm brick (on flat) in contact	180	135

OPERATING INSTRUCTIONS

Turn the Damper Control to vertical (full open) and fully open the Air Intake Control on the door.
Place wood at the back of the firebox, kindling in front with paper or firelighter. Ignite and close door.

When fire is underway, adjust the Damper Control and the Air Intake Control to suit.

If the firebox becomes visibly red-hot adjust damper and air intake controls to a lower-heat position to avoid being unnecessarily harsh on the unit as well as wasting excessive heat up the flue.

The 'Woodsmen' should not be cleaned too often of ashes as they play a role in holding the fire.

Opening the Damper Control prior to opening the door will prevent any puff of smoke from a recently stoked fire.

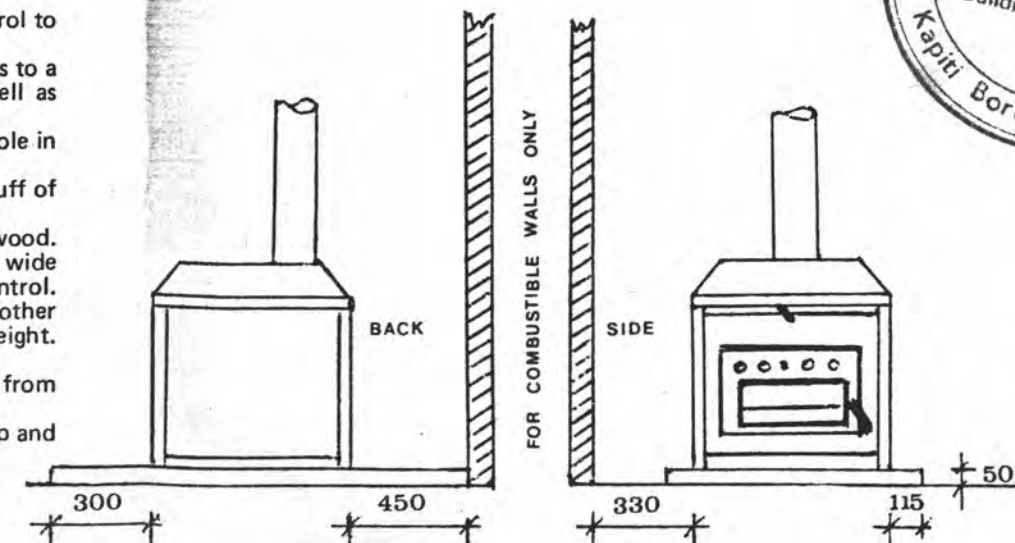
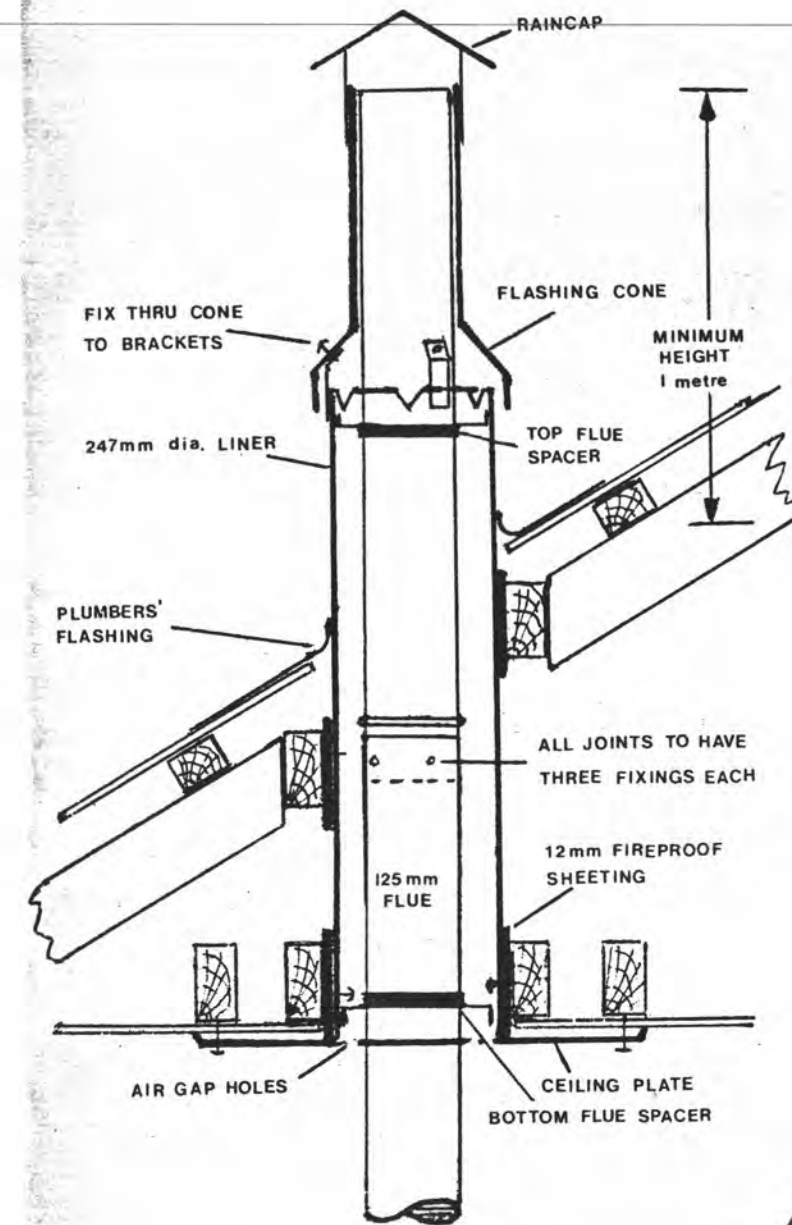
In overnight or longholding operation, level the ashes and load with wood. Operate for about five minutes with the Air Intake and Damper Control wide open, then fully close the Damper Control and near-close the Air Intake Control.

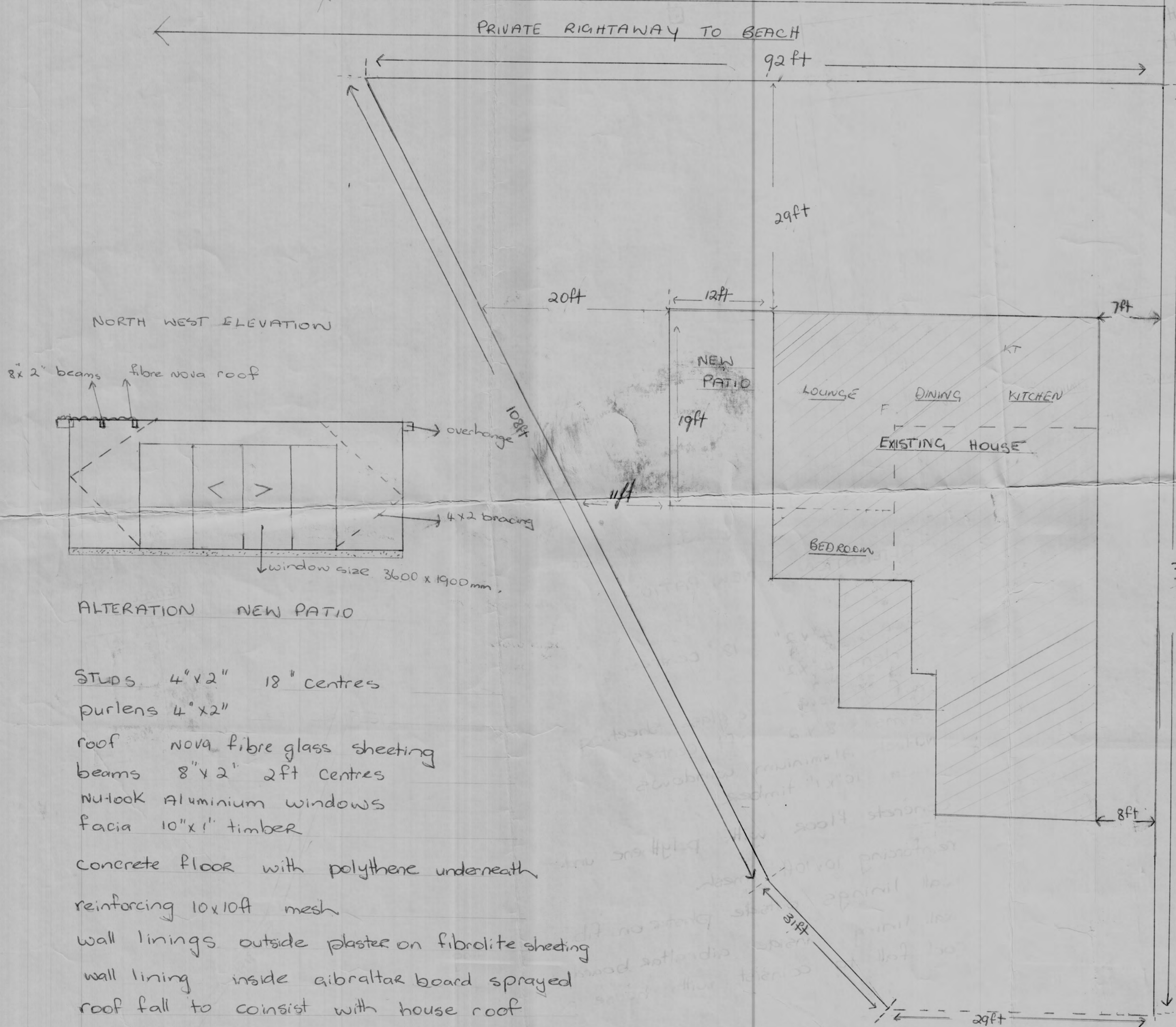
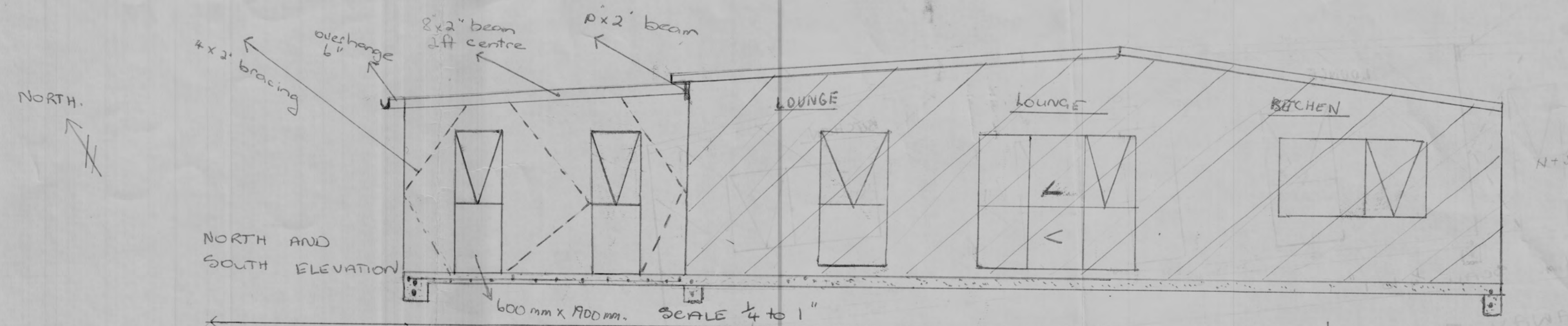
The fuel approved for use in Clean Air Zones in this appliance is any wood other than treated timbers, with a moisture content of less than 25% on wet weight. This usually means green timber left for at least three months to air-dry.

Your grade 321 Stainless Steel Firebox is unaffected by salt deposits from burning driftwoods.

When cleaning the flue, fully open the Damper Control, remove the Raincap and proceed by normal methods.

Your 'Woodsmen' will take logs up to 400 mm long.





ALTERATION NEW PATIO

STUDS 4"x2" 18" centres

purlens 4"x2"

roof nova fibre glass sheeting

beams 8"x2" 2ft centres

nutlook Aluminium windows

facia 10"x1" timber

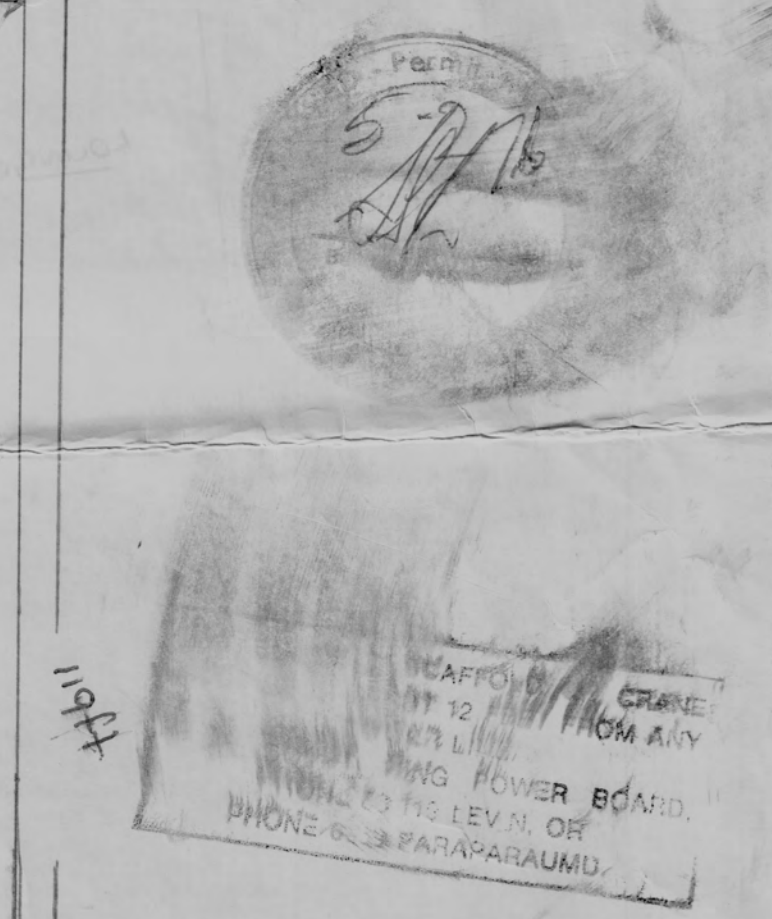
concrete floor with polythene underneath

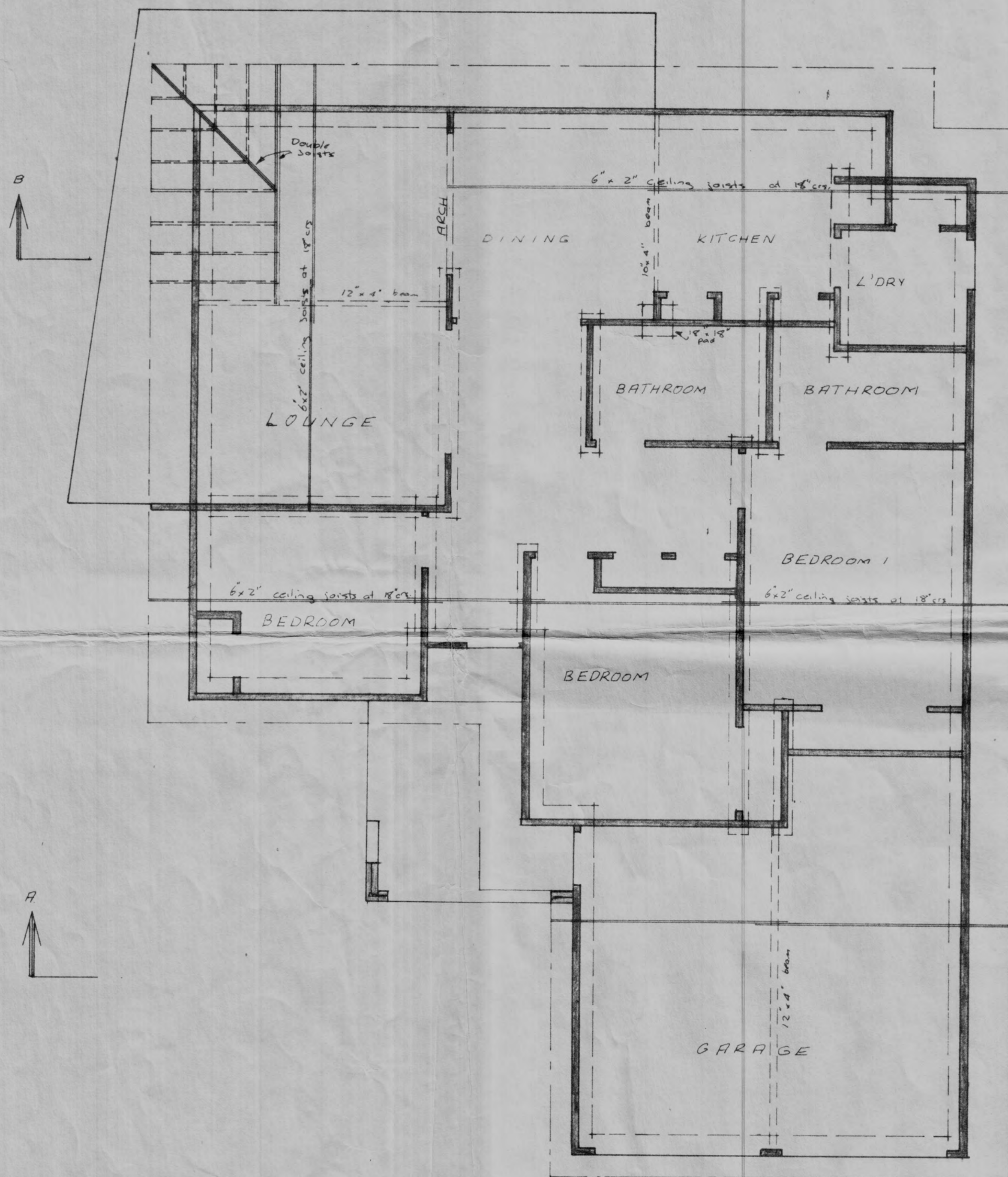
reinforcing 10x10ft mesh

wall linings outside plaster on fibrolite sheeting

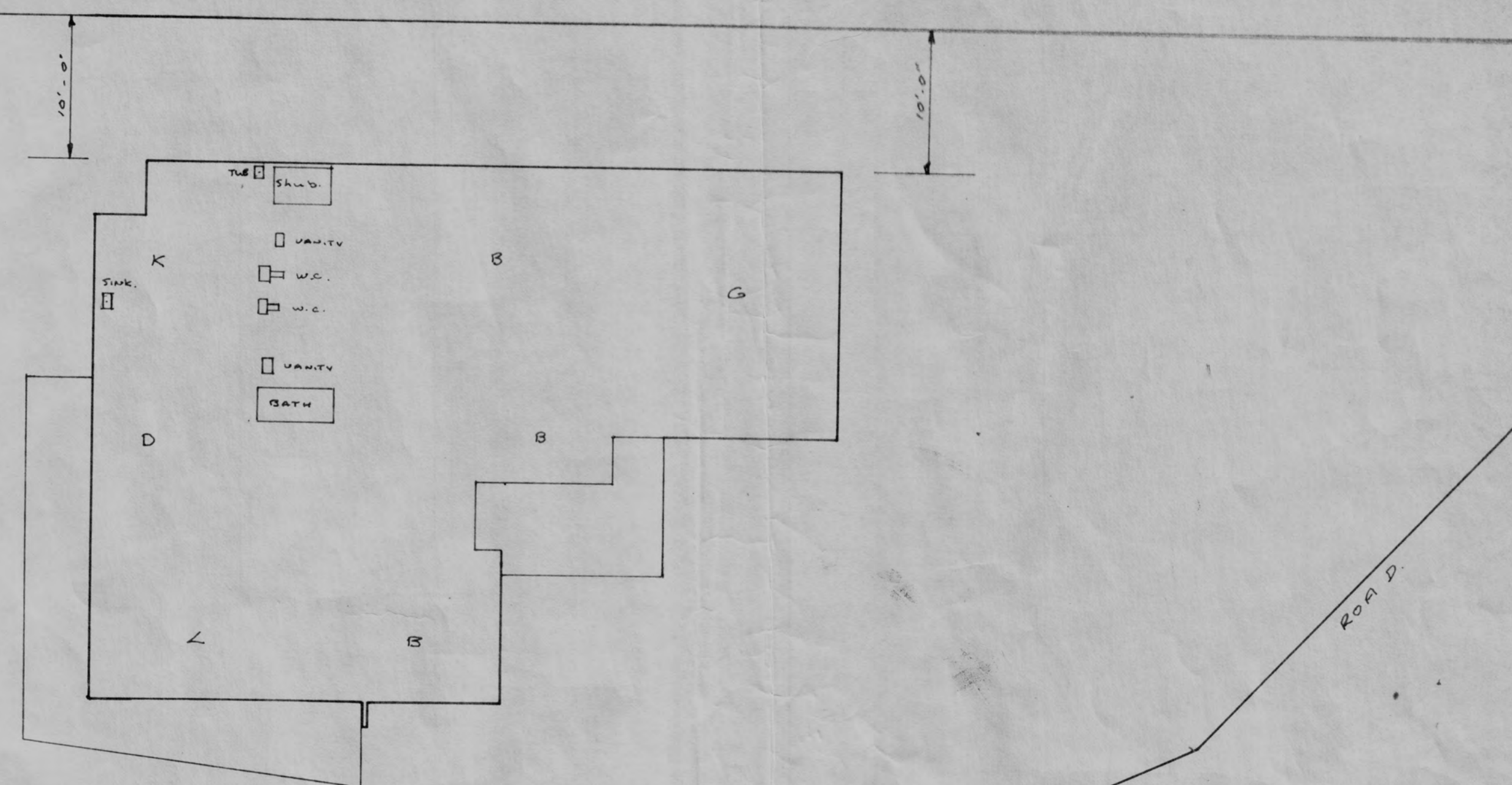
wall lining inside aibraltas board sprayed

roof fall to consist with house roof



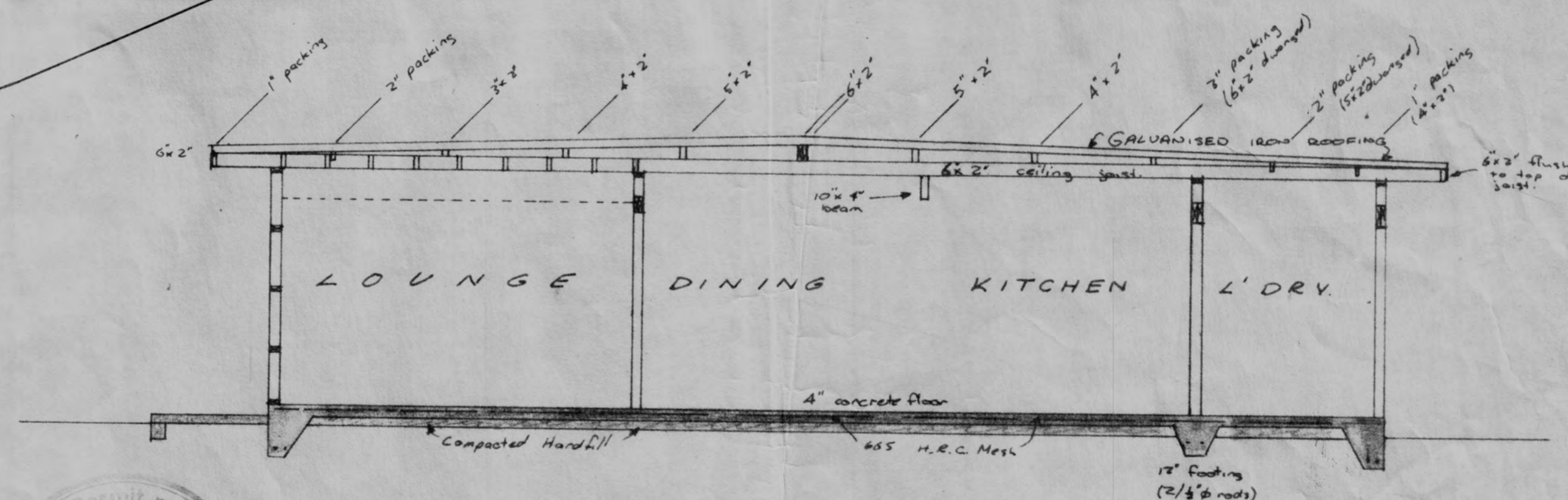


FOUNDATION & JOIST LAYOUT



Scale 1/8" = 1'-0"

SITE PLAN - 40'-0" = 1"



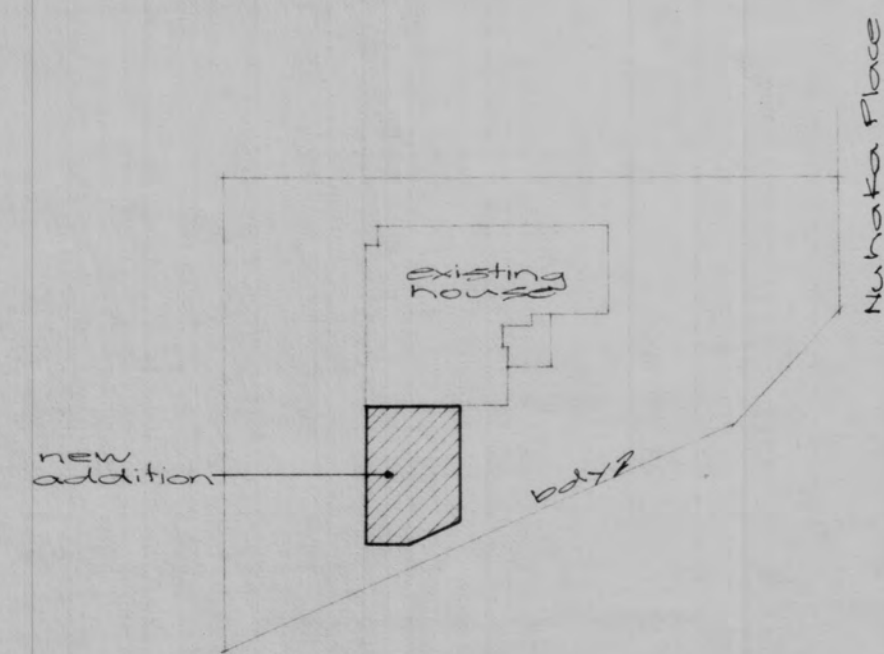
SECTION B - B



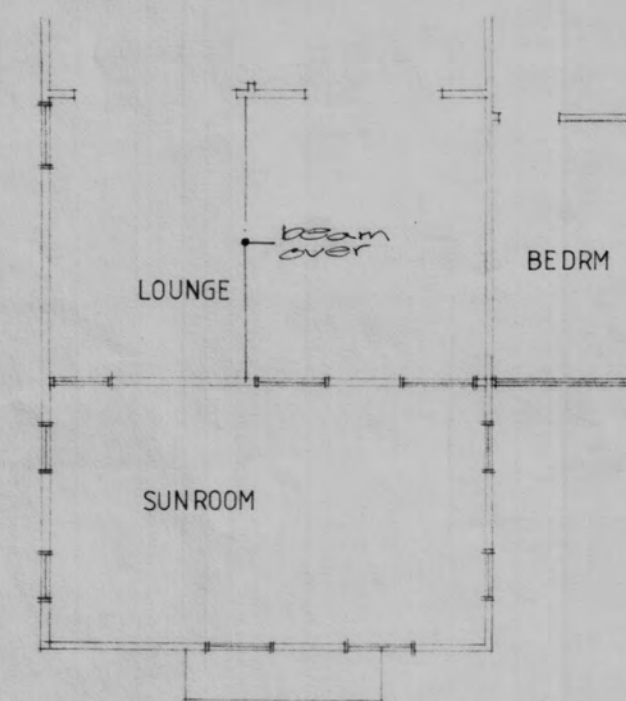
WARNING
If electric lines pass over the site — the
Inspectors — H.E.P.B., 229D.

These plans do not show sufficient
constructional details and the
Building Inspector reserves the
right to require alterations on the
job.

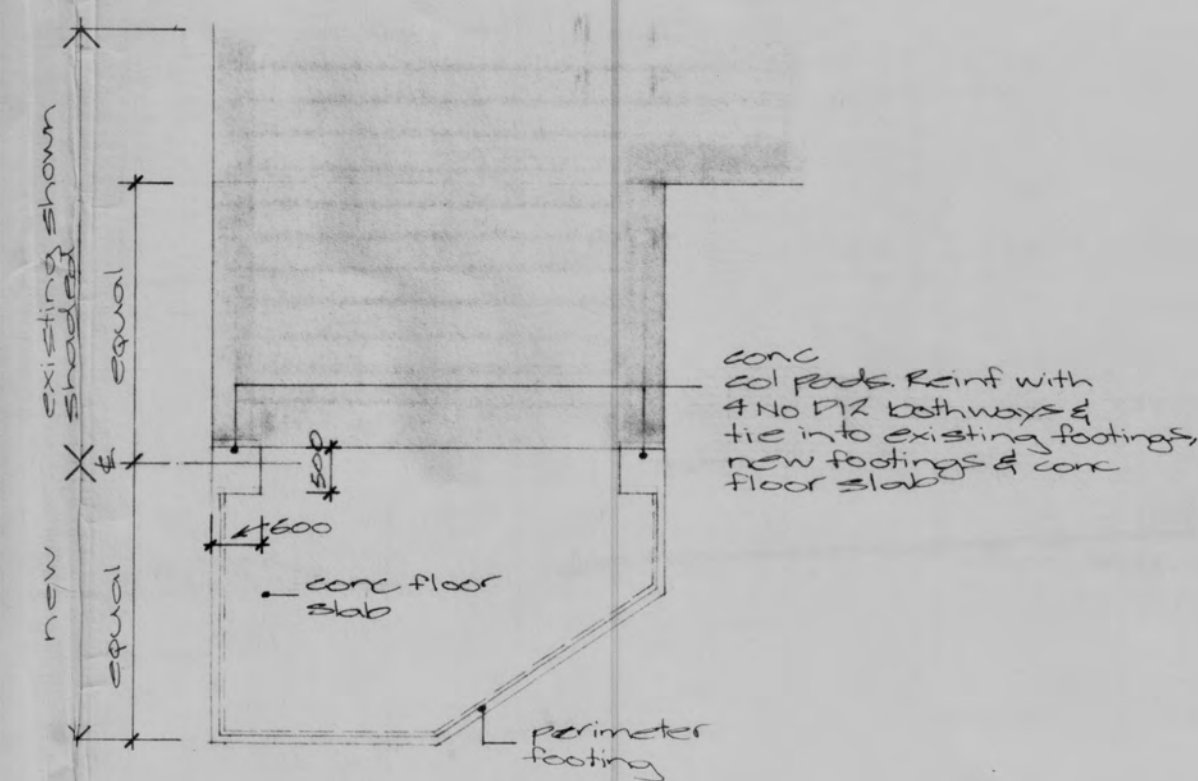
CRAIGWIN DEVELOPMENTS LTD.	Scale: 1/8" = 1'-0" 40'-0" = 1"
PROPOSED RESIDENCE FOR AT LOT 9 D.P. MANLY ST. EXTN. PARAPARAUMU.	DATE: 21-MAY-73 DRAWN: STEPHEN CURBINGTON CHECKED:



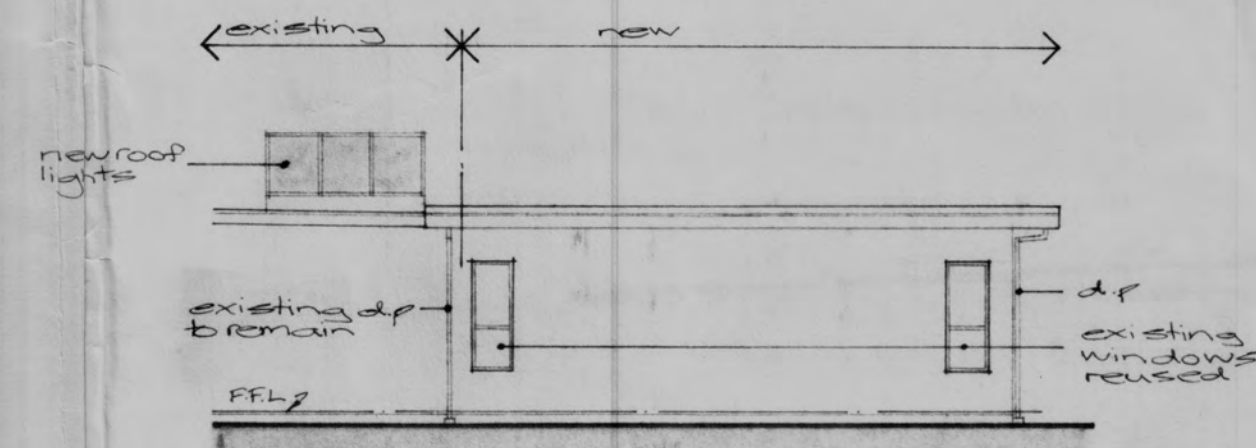
locality plan



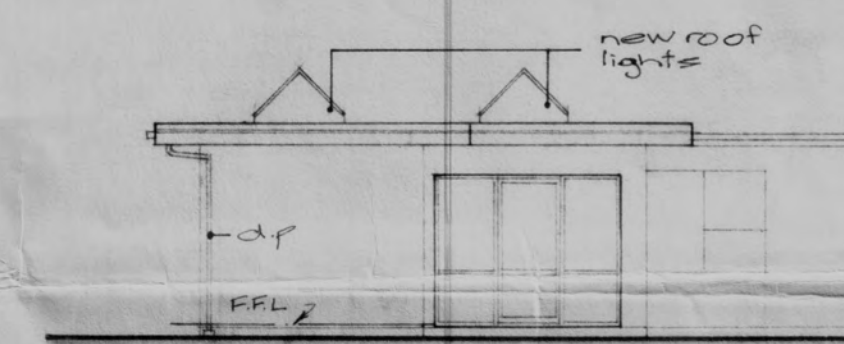
plan as existing



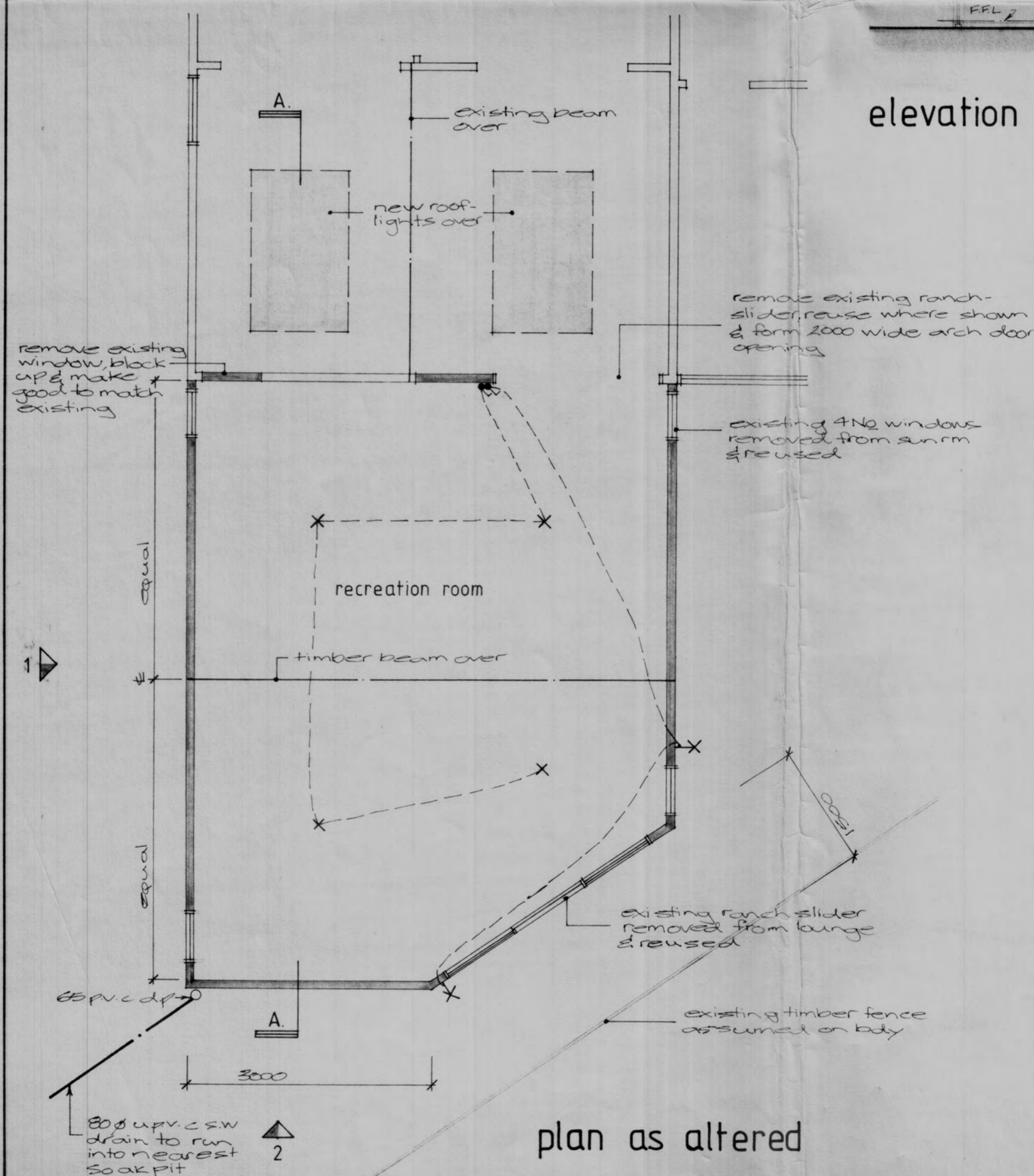
foundation plan



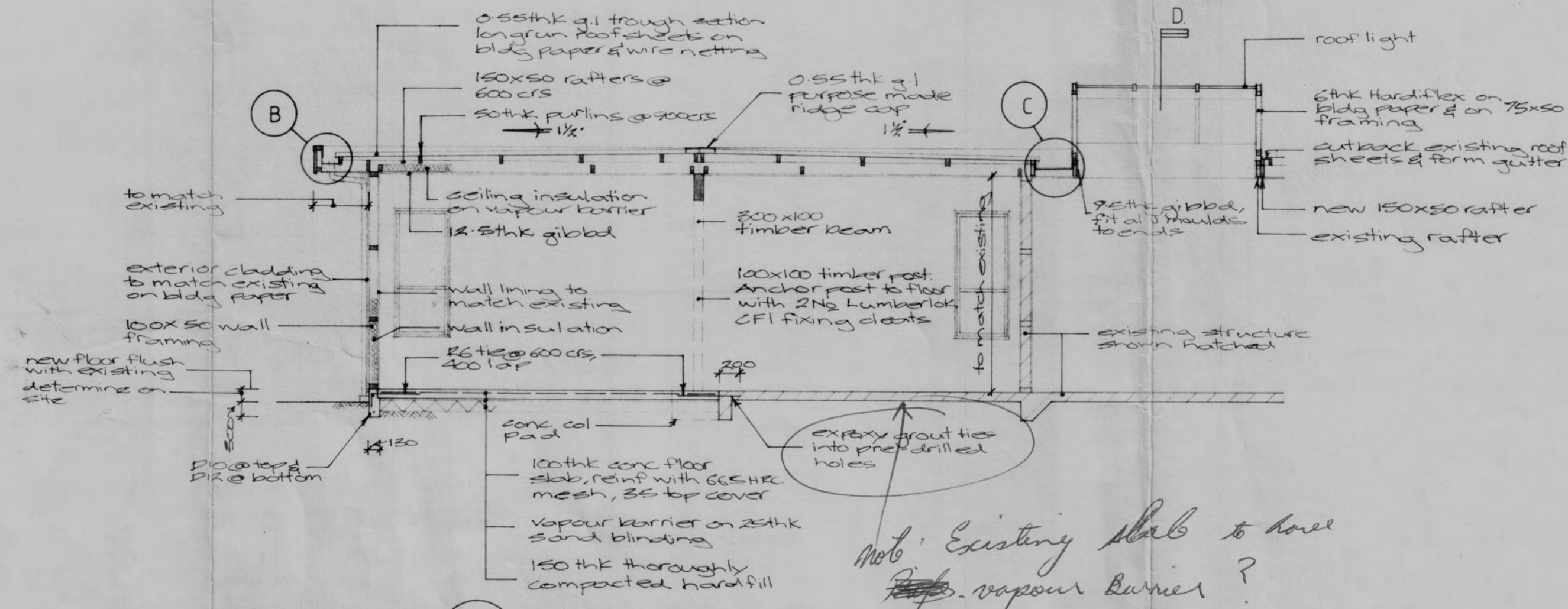
elevation 1.



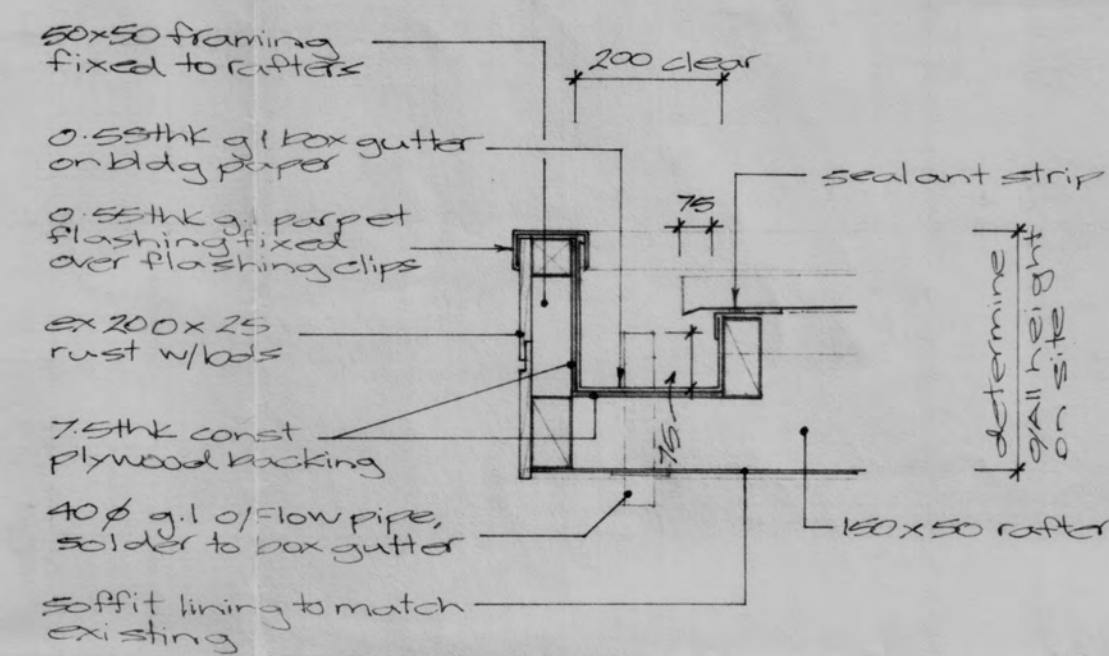
elevation 2.



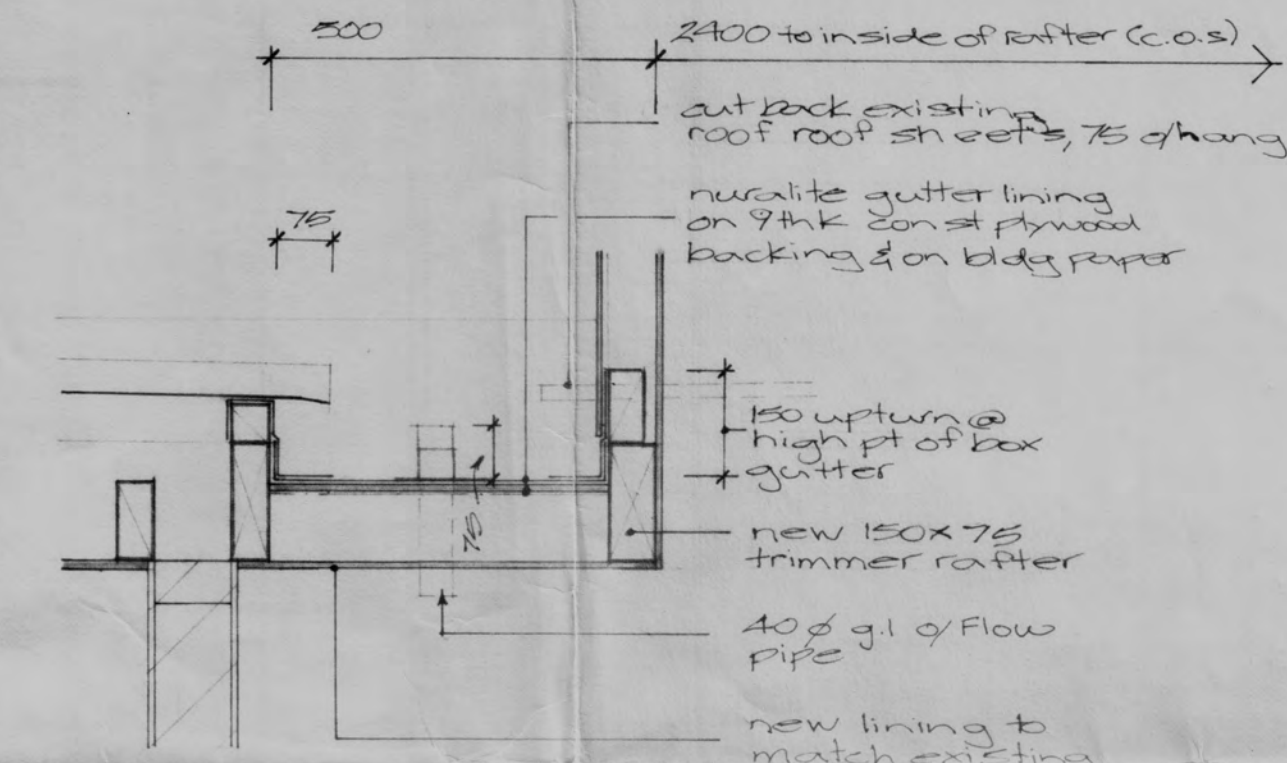
plan as altered



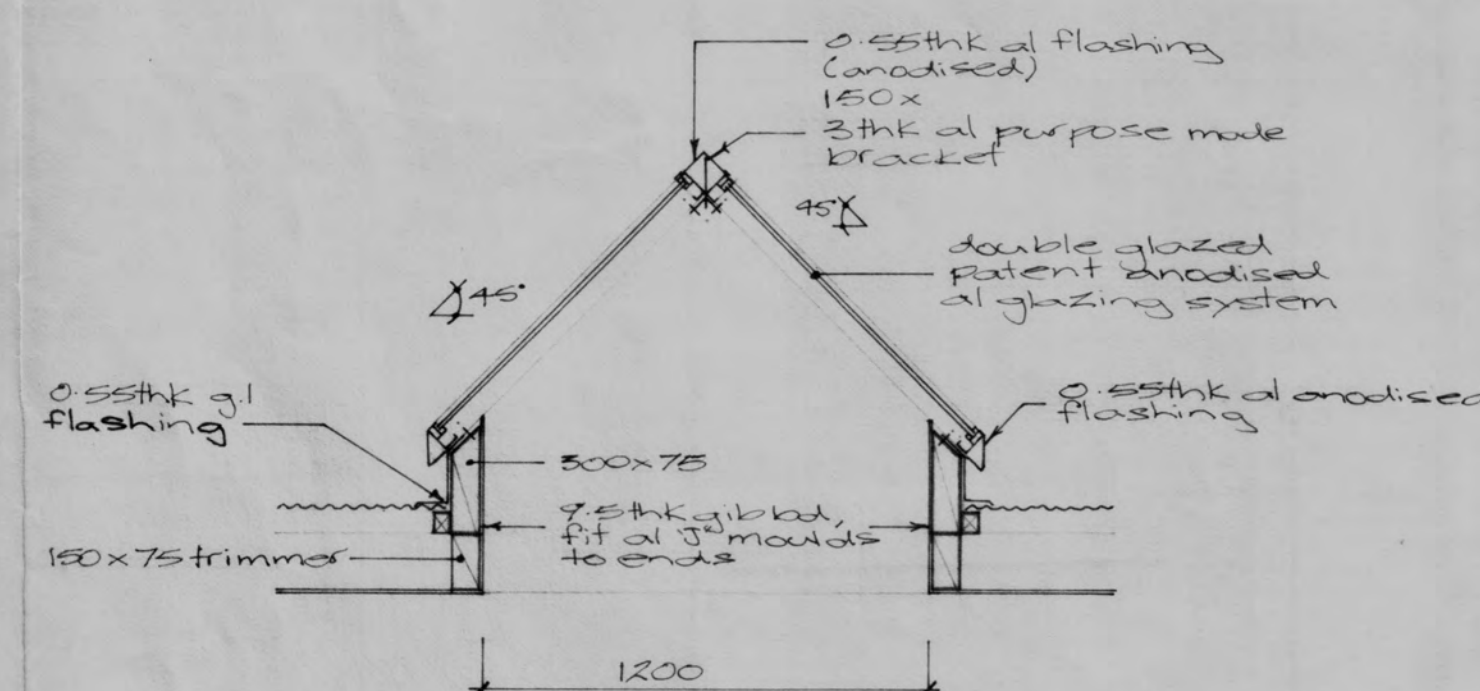
section A-A



detail B



detail C



section D

NOTES

1. Provide 40mm fall to new knee gutters. Provide & fit galv wire ballons over inlet of c.g.p.s.
2. All drainage to comply with the plumbing & drainage reg's 1978 and amendments thereto.
3. Provide & fit over reused windows & ranch slider 0.55thk aluminium flashings.
4. Securely fix each rafter to top plate with 1 pair of galv lumberlok wire dogs on each side of rafter.
5. Provide & fix in accordance with manufacturers instructions: Lumberlok strap bracing, load 45' diagonally in opposing pairs over rafters and tensioned.



No	REVISION DETAILS	BY	DATE
	DESIGNED T.H.		
	DRAWN T.H.		
	CHECKED		
	APPROVAL		
	DATE October 1978		

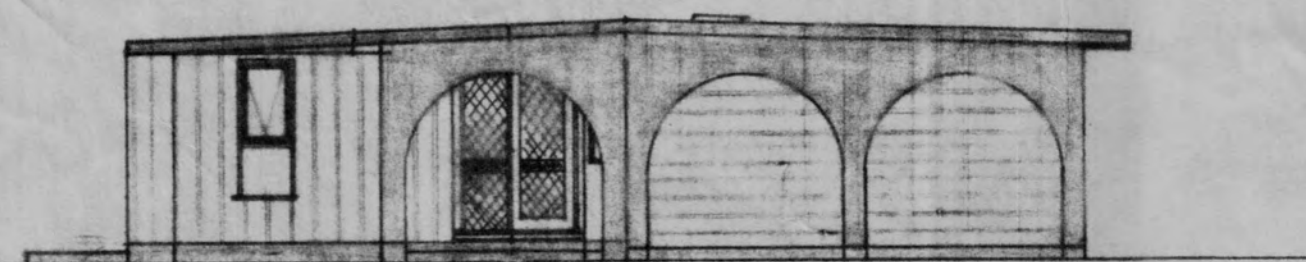
JOB TITLE
ADDITION and ALTERATIONS
AT 4 NUHAKA PLACE
PARAPARAUMU FOR
MR and MRS D. SANDO.

DWG TITLE
PLANS, ELEVATIONS
and SECTIONS.

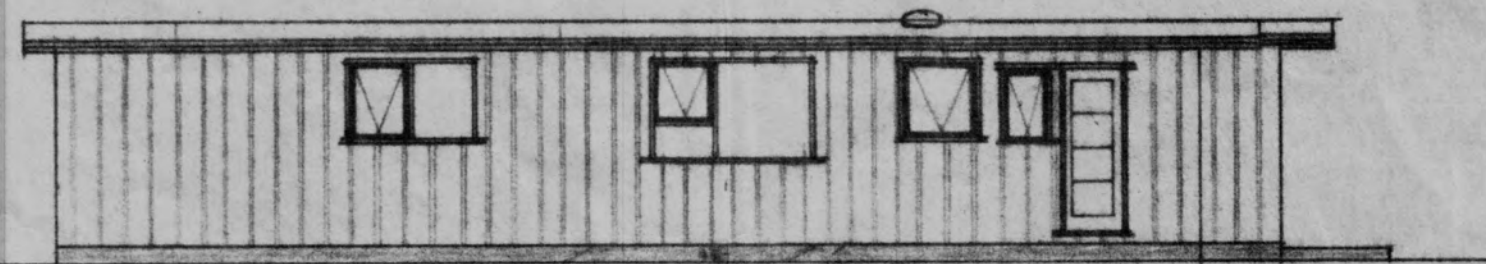
Ardes Design Group
architectural services

P.O. Box 38-568, Petone Phone (04) 686 791 686 7798

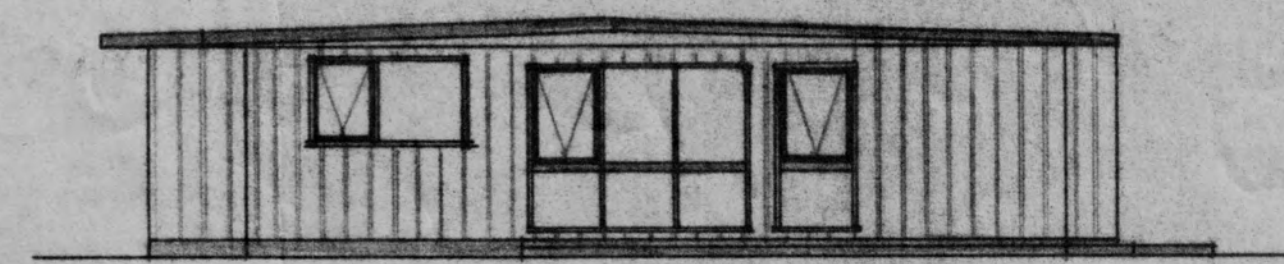
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JOB No 8564	CODE
DWG No A1	



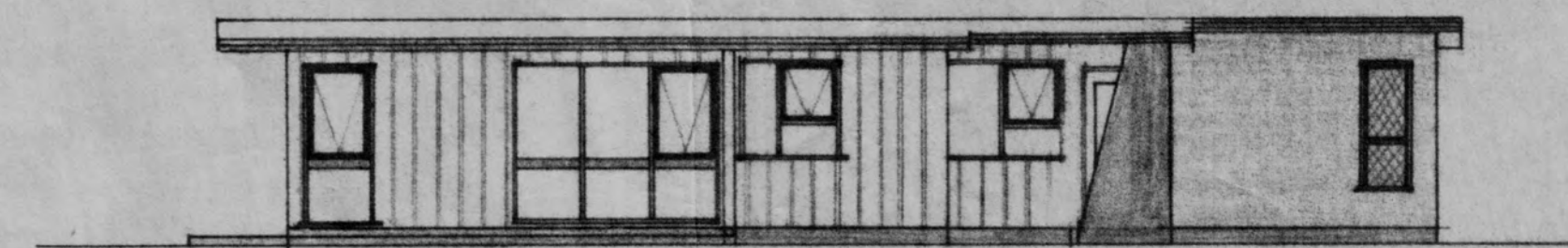
FRONT ELEVATION



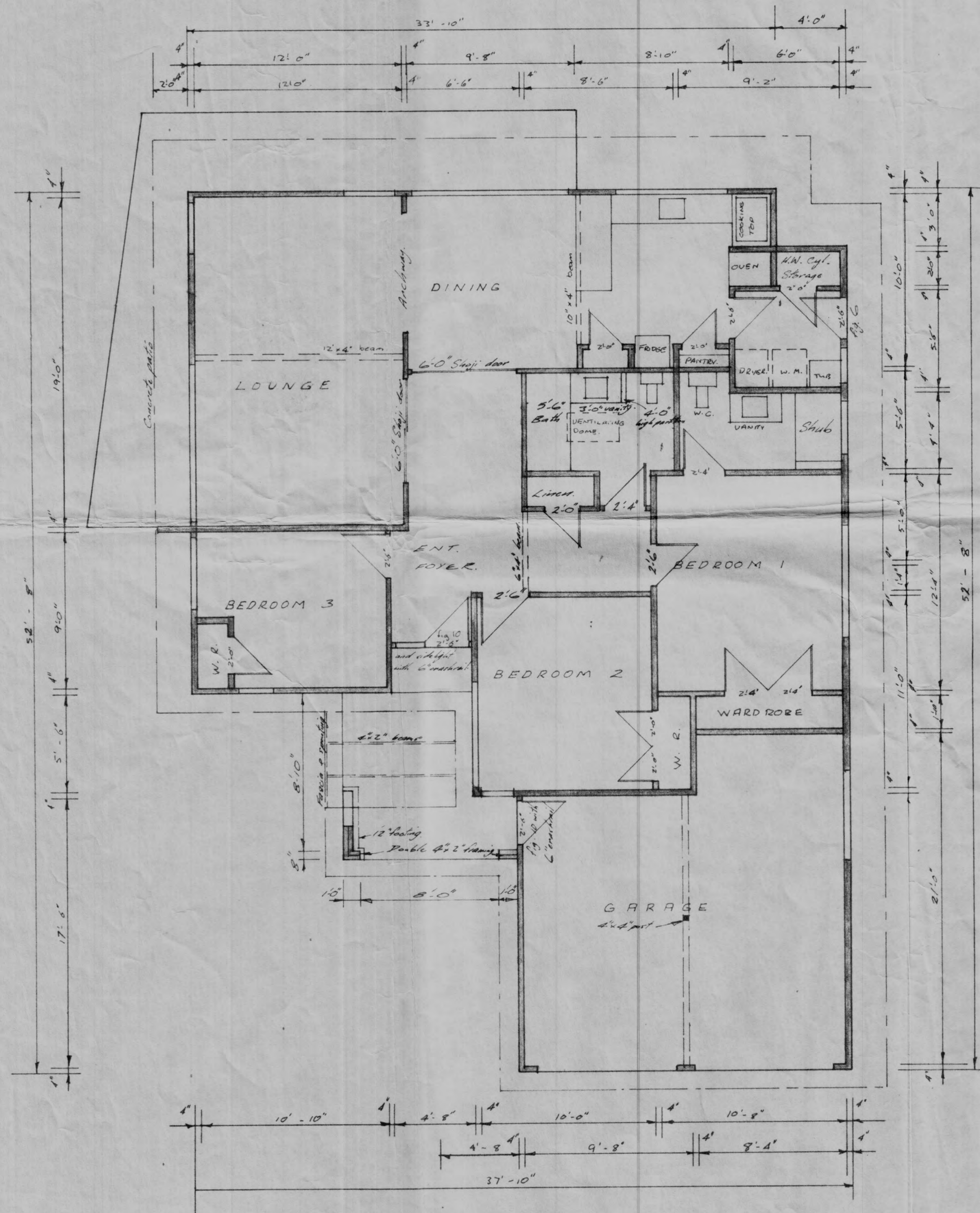
SIDE ELEVATION



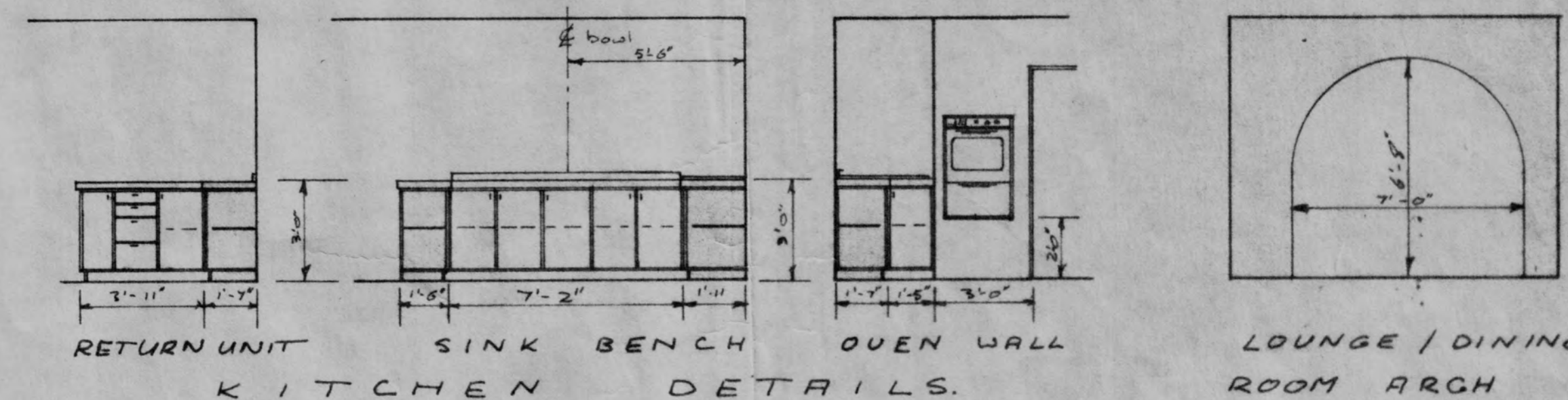
REAR ELEVATION



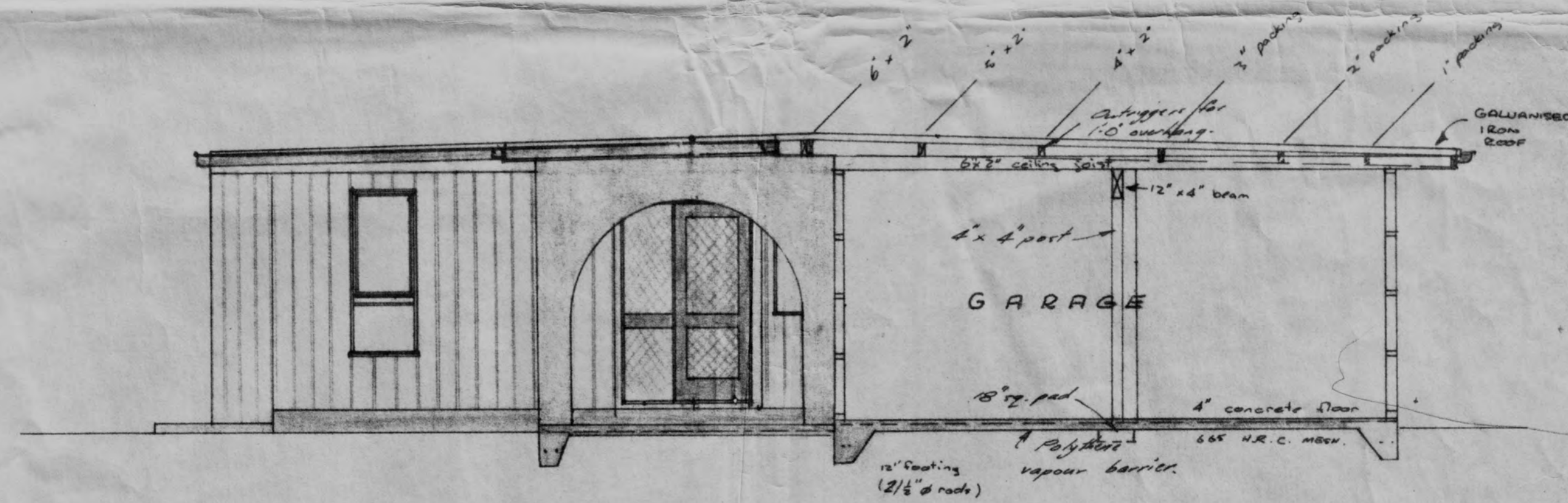
SIDE ELEVATION.



FLOOR PLAN.



KITCHEN DETAILS.



SECTION A-A.



WARNING
If electric lines pass over the site
Inspectors — H.E.P.D., 2011

WARNING
If electric lines pass over the site
Inspectors — H.E.P.D., 2011

These plans do not show sufficient
constructional details and the
Building Inspector reserves the
right to require alterations on the
job.

CRAIGWIN DEVELOPMENTS LTD.

PROPOSED RESIDENCE FOR
AT LOT 9 D.P. MANLY ST. EXTN. PARAPARAUMU.

Scale: 1/4" = 1'-0"

DATE: 21-MAY-12
DRAWN: STEPHEN CARRINGTON
CHECKED: