

In reply, please quote

LIM1689/26

17 June 2026

Fusion Realty Limited
6 Waipapa Way
Te Kauwhata 3710

Postal Address
Private Bag 544, Ngaruawahia 3742
New Zealand

0800 492 452
www.waikatodistrict.govt.nz

Kia Ora,

LAND INFORMATION MEMORANDUM

Please find enclosed your Land Information Memorandum for 229 Waerenga Road TE KAUWHATA

If you have any questions regarding the information or content in the Land Information Memorandum, please contact the team responsible for the relevant section of the report.

Ngaa mihi

Lilivaine Tukutama

Lilivaine Tukutama
Land Information Officer

Land Information *Memorandum*

LOCAL GOVERNMENT OFFICIAL INFORMATION AND MEETINGS ACT 1987

The information supplied in this Land Information Memorandum is based on existing Waikato District Council records that may not be complete. The property has not been inspected or surveyed by the Council. It is the purchaser's responsibility to check the boundaries of the property.

It is assumed that any purchaser will search for the certificate of title that is not held by the Council and will personally inspect the property and its surrounds. This information deals solely with the property named below and does not disclose any relevant information that may affect adjacent properties.

It is the sole responsibility of any purchaser to ensure that the land is suitable for a particular purpose.

► Property Details:

Valuation Reference:	04390/476.03
Legal Description:	Lot 1 DP 357027
Area:	1.3790 hectares more or less
Property Location:	229 Waerenga Road TE KAUWHATA
Owners:	Ryan David Young, Jessica Lee Young

► Property Location:



■ Rates

Information regarding –
44A(2)

(c) information relating to any rates owing in relation to the land.

► Rates & Rating Valuation:

Information regarding –

44A(2)(c) information relating to any rates owing in relation to the land.

Annual rates for 2025/2026	\$ 3,815.40	Balance Owing: \$ 2942.65
Value of Improvements	\$ 520,000.00	
Land Value	\$ 580,000.00	
Capital Value	\$1,100,000.00	
Date of Valuation	1 October 2023	

Valuation

Properties in the Waikato District are re-valued every three years in accordance with the Rating and Valuations Act 1988.

New Rating Year (not yet calculated)

Please note that the rates in the table above and the attached rates assessment are for the previous rating year 2025/2026.

The annual rates for the 2026/2027 rating year have not been calculated to date and the rates assessments are yet to be generated. For further information regarding rates for the current rating year, please contact the Rates Team at the Waikato District Council.

Rates Capital Value

Please note that the rates reflected in this LIM were calculated based on the capital value of the property as at 1 July of the current rating year. Any changes to the capital value of the property that have taken place since 1 July will be reflected in the rating charges for this property in the next rating year. Please contact a member of the rating team on 0800 492 452 if you require further clarification or have any questions.

Regional Council: Waikato Regional Council

Waikato Regional Council sends their rates notices annually. You are able to get specific annual regional rates information at www.waikatoregion.govt.nz Search under address or valuation reference. Alternatively, contact them on freephone 0800 800 401

Information regarding –

44A(2)

- (f) information relating to the use to which that land may be put and conditions attached to that use;
 - (g) information which, in terms of any other Act, has been notified to the territorial authority by any statutory organisation having the power to classify land or buildings for any purpose;
 - (h) any information which has been notified to the territorial authority by any network utility operator pursuant to the Building Act 1991 or the Building Act 2004.
-

Operative Waikato District Plan (Waikato District Section)

This only applies where there are outstanding appeals on the provisions of the Proposed Waikato District Plan (appeals version), to the extent they are relevant to any proposed works or project.

Zone: Rural

Policy: Area A Waikato River Catchment

For further information please refer to the planning maps attached and the [Waikato District Plan](#)

Waikato District Plan – Operative in Part

Waikato District Council notified its decisions on Variation 3 on 30 October 2024, and the Plan became Partially Operative.

The zone of this property is: **General rural zone**

The following overlays apply to the property: **Area A Waikato River Catchment**

The provisions relevant to this property may be subject to appeal and any that are subject to appeal are not yet operative.

If the provisions relevant to this property are subject to an appeal, both the Waikato District Plan Operative in Part and the Operative Waikato District Plan will need to be considered.

■ Planning continued

Information regarding –
44A(2)

- (f) information relating to the use to which that land may be put and conditions attached to that use;
- (g) information which, in terms of any other Act, has been notified to the territorial authority by any statutory organisation having the power to classify land or buildings for any purpose;
- (h) any information which has been notified to the territorial authority by any network utility operator pursuant to the Building Act 1991 or the Building Act 2004

Development Contributions

Builders, developers and owners cannot presume that all development contributions have been paid at the time of subdivision.

The current [Development Contributions Policy](#) can be viewed here.

For any queries on specific properties please email info@waikato.govt.nz providing the specific property number and/or property address

The Development Contributions Estimator Tool provides an estimate only. A full development contributions assessment will be provided once a consent application has been lodged.

[Development contributions estimator tool](#)

Development contributions policies, capital works schedules, catchments and levies are subject to review and change.

Credits are given for any development contributions paid at the time of subdivision but additional development contributions may be required at time of building consent or service connection.

For any restrictions on the use of the property please refer to the Record/Certificate of Title.

► Resource Consents:

Application No	Description	Decision
	SUBDIVISION CONSENTS	GRANTED
70/90/149	Create one house Lot	12 February 1991
70/97/086	Create a rural house Lot	26 November 1996
SUB0270/05	Create 2 additional Lots	26 May 2005
	PERMITTED BOUNDARY ACTIVITY	GRANTED
PBA0095/19	Construct extension to dwelling	1 March 2019

Requisitions: No known planning requisitions to date.

Planning rules relating to this property are contained in the Waikato District Plan and are not outlined in this LIM report. The Waikato District Plan is available to view on Council's website at www.waikatodc.govt.nz.

■ Building

Information regarding –
44A(2)

- (d) information concerning any consent, certificate, notice, order, or requisition affecting the land or any building on the land previously issued by the territorial authority (whether under the Building Act 1991, the Building Act 2004, or any other Act);
- (e) information concerning any certificate issued by a building certifier pursuant to the Building Act 1991 or the Building Act 2004;
- (ea) information notified to the territorial authority under section 124 of the Weathertight Homes Resolution Services Act 2006;

It is recommended that a potential purchaser engage a building consultant to complete a pre-purchase inspection of buildings. Irrespective of code of compliance, structures are subject to deterioration over time and works may have been undertaken without building consent. If requested and supplied, a copy of this may be filed on council records for future references and Land Information Memoranda.

Architects and designers require wind & earthquake information to establish bracing requirements for building development.

► Building Consents/Permits:

Number	Description	Consent/Permit issued date	CCC Issued/ Completed Date
H123428	Shed	10 June 1978	* October 1978
D059441	Dwelling	23 June 1986	13 December 1988
K14077	Heater	23 June 1992	*
85524	Carport	23 February 1995	26 May 1995
FAST0055/04	Fast track heater	14 April 2004	21 April 2004
BLD1012/19	Extend/reconfigure existing dwelling	11 March 2019	25 November 2022

Requisitions: No known building requisitions to date.

*** No completed date recorded on historic County records.**

Prior to the Building Act 1991, whilst the Council issued building permits, there was no provision, nor requirement to issue Code of Compliance Certificates.

Code of Compliance Certificates are only applicable where a Building Consent has been issued under the Building Act 1991 (effective date 1st July 1992) and subsequently the Building Act 2004.

If you feel there has been unauthorised building work undertaken on this property, please note that Council has no authority to issue retrospective building consents. The current owner can, however, apply for a Certificate of Acceptance (COA).

- Please refer to the [BuildWaikato](https://www.buildwaikato.govt.nz) site for further information regarding COAs.

■ Water Supply

Information regarding –
44A(2)

- (ba) any information that has been notified to the territorial authority by a drinking-water supplier under section 69ZH of the Health Act 1956;
- (bb) information on—
 - (i) whether the land is supplied with drinking water and if so, whether the supplier is the owner of the land or a networked supplier;
 - (ii) if the land is supplied with drinking water by a networked supplier, any conditions that are applicable to that supply;
 - (iii) if the land is supplied with water by the owner of the land, any information the territorial authority has about the supply;

Council rate records indicate that the property is connected to the **Te Kauwhata** water supply and charged an annual targeted rate for domestic water supply.

The property is on a metered water supply and being charged on a volume basis for water supply.

Please contact the Customer Delivery Department at the Waikato District Council to arrange a final water meter reading prior to sale settlement.

■ Drinking Water (potable water supply)

The property is connected to the **Te Kauwhata** water supply; Councils urban water supply systems are full flow pressure systems.

The construction of a bore for the taking of ground water requires consent from the Waikato Regional Council, for further information contact Waikato Regional Council.

■ Council Utilities

Information regarding –
44A(2)

(b) information on private and public stormwater and sewerage drains as shown in the territorial authority's records:

■ Wastewater

The property is located outside an area currently served by a community system for wastewater disposal.

On-site wastewater disposal must comply with the Waikato Regional Plan and the AS/NZS standard for On-site Domestic Wastewater Management. New on-site effluent disposal systems must be designed and certified by an engineer or suitably qualified person.

Existing System

The property has an existing on-site wastewater disposal system. Wastewater disposal systems are sized in relation to the number of bedrooms of a dwelling and the potential occupancy.

Future building works that include additional bedrooms will require an assessment from an engineer or other suitably qualified person approved by the Council, of whether the existing on-site effluent treatment system is capable of adequately treating and disposing of the increased loadings. If upgrades are required, these shall be designed, supervised and certified by an engineer or other suitably qualified person to comply with AS/NZS 1547:2012 and the Waikato Regional Plan.

It is recommended that potential purchasers engage a contractor to inspect the septic tank prior to settlement. The Waikato District Council does not maintain or monitor private wastewater disposal systems and NZ standards indicate a septic tank should be cleaned/emptied every 3 years.

■ Stormwater

The property is located within a land drainage area administered by the Waikato Regional Council. For further information contact [Waikato Regional Council](#).

For any new development, Onsite Stormwater Disposal will be required under the Waikato District Plan & Waikato Regional Plan prior to connection to any public stormwater network or drains.

For further Information please contact a Project Planning & Engineering Officer at the Waikato District Council.

■ Natural Hazards

Information regarding –

- Whether the site is affected by potential erosion, avulsion, falling debris, subsidence, slippage, alluvion, inundation, peat, contamination or poor soakage.
- whether there is the likely presence of hazardous substances on the site and in particular whether the site has been recorded as being on the Regional Council's HAIL list of potentially contaminated sites.
- Refer to a copy of special features map.

LRI (Slope)

New Zealand Land Resource Inventory Maps indicate that the soils in this area may have poor bearing capacity for building foundations due to **Natural Sloping Topography**.

A geotechnical engineer may be required to investigate ground or sub-soil conditions to establish any specific requirements for building development.

Waikato Regional Council Hazards Portal contains information about the natural hazards that may be relevant to the site. Before exploring the Portal, please read the terms of use to understand the limitations of the information contained on the site. The recipient is advised to seek expert advice in terms of the applicability and accuracy of the information as it relates to the site.

Click here to access [Waikato Regional Hazards Portal | Waikato Regional Council](#)

Supporting Information Documents: [Waikato Regional Hazards Portal - Supporting information | Waikato Regional Council](#)

Climate change means long-term changes in the Earth's weather patterns and temperatures. These changes are mostly caused by human activities like burning coal, oil, and gas, which release gases that trap heat in the atmosphere. As a result, we're seeing more extreme weather, rising sea levels, and increased risks like flooding and drought. For further information regarding climate change please visit [Earth Sciences New Zealand](#)

Flood hazards across Aotearoa New Zealand

Earth Sciences New Zealand has released the country's first nationally consistent flood risk model, alongside a public flood hazard viewer that enables New Zealanders to assess their local flood exposure in the context of national trends. This national flood hazard viewer maps areas at risk from extreme rainfall events under current and future climate conditions. For further information please visit [Public Flood Hazard Viewer](#)

Under section 71-74 of the Building Act 2004, upon application for a building consent applicant must demonstrate that any proposed building work will be protected from hazards.

■ Additional Information

Information regarding –

44A(3) in addition to the information provided for under subsection (2), a territorial authority may provide in the memorandum such other information concerning the land as the authority considers, at its discretion, to be

■ Health

There are no outstanding Notices or Orders under the Health Act 1956 and related legislation in respect of the property.

■ Refuse

Waikato District Council's goal is to work towards a 'zero waste' target. On 1 July 2016 we introduced a pre-paid service to our refuse and recycling to help Waikato residents reduce the volume of waste they send to landfill. Less waste will save us all more in the long run.

Refuse & Recycling Service Collection Day for this property is **Friday**.

For further information please refer to [Rubbish and Recycling](#) page.

■ Utilities

The Waikato District Council does not hold records concerning utility systems it does not administer. For information concerning state highways (administered by NZ Transport Agency), electricity, telephone or gas, the relevant network operator should be contacted.

■ Telecommunication

This property may not have a physical connection to a telecommunications network.

Developer obligations are to demonstrate that a telecommunication network is available to serve the property, such network can be either physical or wireless.

Please contact the network utility supplier and/or service provider to confirm what telecommunication connection is available to the property.

Ngaa mihi

Lilivaine Tukutama

Lilivaine Tukutama
Land Information Officer

Land Information Memorandum



229 Waerenga Road TE KAUWHATA
Lot 1 DP 357027

[Home](#) > [Services and facilities](#) > [Rates](#) > Rates Information Database

Rates Information Database

Use the rates information database to find out rates information about property in the Waikato district.

If you would like your details made confidential, please complete the [Request to Suppress Personal Information](#) form and return to Waikato District Council. Please note that it is not necessary to complete the form if you have no objection to your name and postal address being published in the Complete Rating Information Database.

If you have a question about your rates, please contact the rates team on [0800 492 452](#) or complete our [online request form](#) for a staff member to contact you directly.

Property details

Property location	229 Waerenga Road TE KAUWHATA
Valuation number	04390/476.03
Legal description	Lot 1 DP 357027

Property charges (2025/2026)

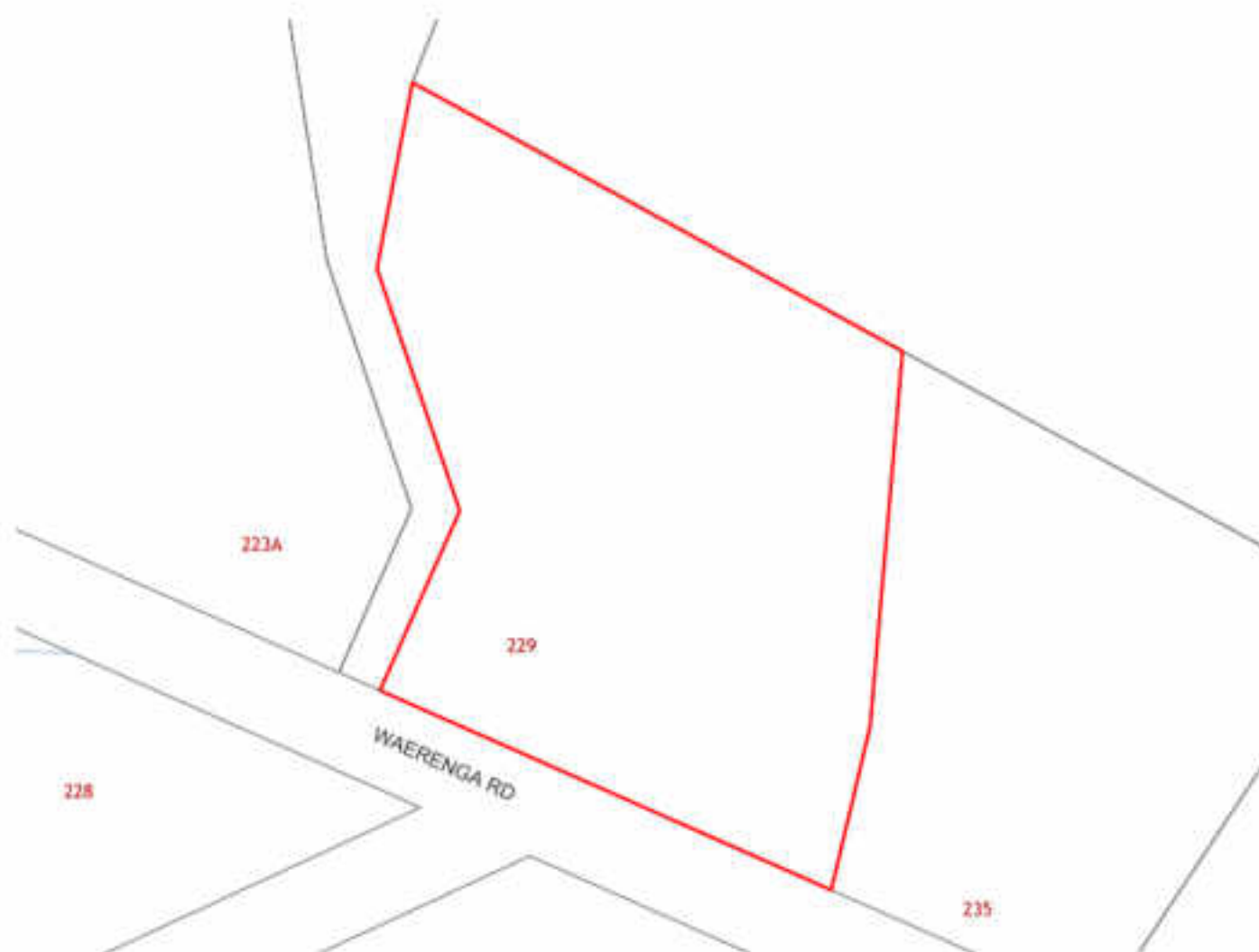
	Targeted rate factor	Factor applicable	Amount
District Wide Water Supply	per SUIP	1.00	\$562.52
Central District Rubbish and Recycling Collection	per dwelling	1.00	\$280.04
General Rate	0.0022040c/\$	1100000.00	\$2,424.35
Uniform Annual General Charge (UAGC)	Fixed Charge	1.00	\$548.49

Total rates payable \$3,815.40 incl. GST



Property valuation history

1 250k



⚠ If your property connects to any additional council services between now and the 30 June 2025, there will be additional charges added to your property in the following rating year. If you have any questions or queries with regards to your 2024/25 rates, please complete our online request form for a staff member to contact you directly.



**RECORD OF TITLE
UNDER LAND TRANSFER ACT 2017
FREEHOLD
Search Copy**




R. W. Muir
Registrar-General
of Land

Identifier 232182
Land Registration District South Auckland
Date Issued 12 September 2006
Prior References
SA61D/843

Estate Fee Simple
Area 1.3790 hectares more or less
Legal Description Lot 1 Deposited Plan 357027

Registered Owners

Ryan David Young as to a 1/2 share
Jessica Lee Kingsland as to a 1/2 share

Interests

Land Covenant in Easement Instrument 8098756.1 - 12.3.2009 at 9:00 am
13592553.2 Mortgage to Avanti Finance Limited - 28.4.2026 at 3:06 pm



1 Clarendon Street,
Private Bag 3068,
HAMILTON.

Telephone: (071) 563-199.
Facsimile: (071) 389-000.

Your Ref: 901859

Our Ref: 70/90/149

If calling, please ask for:

Kewwa Low

XLMP308:SS

FILE COPY

12 February 1991

Brian Foote & Associates
PO Box 466
PUKEKOHE

Dear Sir/Madam

SCHEME PLAN OF SUBDIVISION FOR G B C PLEASANTS

You are advised that pursuant to a delegated authority, the following is the decision on Scheme Plan 901859:

"That pursuant to Section 279 (1)(b) and 2(n) and in conjunction with Sections 283 of the Local Government Act 1974, the Waikato District Council, under delegated authority, grants Scheme Plan Approval to G B C Pleasants to subdivide land to create one house site on land located on Waerenga Road, legally described as Part Lot 394, DPS.23798, Parish of Whangamarino, Block XVI, Maramarua Survey District and subject to the following conditions:-

1) That a bulk service contribution of \$2656 + GST be paid to Council in respect of Water Supply Services (Te Kauwhata Urban Water Supply Scheme).

NK 17/3/92 (2) ✓ That the vehicle entrance to Lot 2 be upgraded to a heavy commercial vehicle entrance to the minimum standard and specifications set out in Appendix 7 of the Waikato District Scheme (Waikato Section - Rural Areas) and to the satisfaction of the District Engineer.

The reasons for this decision are -

- 1) The proposal complies with ordinance 8.3.4.4 (sites for houses).
- 2) The application gives effect to the policies of the Rural A zone in the creation of house sites."

This decision has been made under the authority delegated to staff by Council. You are advised that you have a right to apply for a review of this decision by the Council, within one month of the receipt of this decision, if you are in any way dissatisfied with this decision.

Service Centres at Hamilton, Huntly, Ngaruawahia and Raglan.

Should you wish for a review of this decision please fill in the attached form and return it to this office no later than one month from the receipt of this decision.

Yours faithfully

N G Wharton

MANAGER ENVIRONMENTAL ADMINISTRATION

Per:

S G Colson

DISTRICT PLANNER

Attachment

cc

A Pleasants
Waeranga Road
RD 1
TE KAUWHATA

<u>Scheme Plan No:</u>	70/90/149
<u>Applicant:</u>	B Pleasants
<u>Application:</u>	Review of Decision for Scheme Plan Approval
<u>Location:</u>	Waerenga Road - Te Kauwhata
<u>Zoning:</u>	Waikato District Scheme (Waikato Section Rural Areas) : Rural A
<u>Legal Description:</u>	Part Allotment 394, Parish of Whangamarino, Block XVI, Maramarua Survey District
<u>Area:</u>	Lot 1: 1.00 ha Balance Area: 15.85 ha Existing Part Allotment 394 - 16.85 ha

1.0 INTRODUCTION

The Scheme Plan of Subdivision was approved under delegated authority on 12 February 1991. The proposal involved subdividing of a 1.0 ha house site. Although there were two houses on the site, the planning assessment was restricted to Ordinance 8.3.4.4 "sites for houses" as the age of one of the houses does not qualify for the surplus house site provisions.

Subdivisional approval was subject to the following conditions.

- 1) That a bulk service contribution of \$2,656.00 + GST be paid to Council in respect of Water Supply Services (Te Kauwhata Urban Water Supply Scheme).
- 2) That the vehicle entrance to Lot 2 to be upgraded to a heavy commercial vehicle entrance to the minimum standard and specifications set out in Appendix 7 of the Waikato District Scheme (Waikato Section - Rural Areas) and to the satisfaction of the District Engineer.

2.0 SECTION 299 OBJECTION

The applicant has formally objected to Condition 2 of the Conditions approval and states that it is an "unwarranted expense to provide Heavy Commercial Vehicle entrance."

The requirement for a Heavy Commercial Vehicle entrance is to provide Lot 2 (the balance farm area) with a suitable access crossing to Waerenga Road. It is Council's policy that every property owner shall provide vehicle access to their property from the formed carriageway. In situations where subdivision occurs Council may require upgrading of access to the standards contained in Appendix 7 of the District Scheme (Waikato Section - Rural Areas).

The applicant gave a number of reasons why he considers the upgrading of the Heavy Commercial Vehicle crossing to be unreasonable. This is dealt with as follows:

"subdivision is only to provide myself with a retirement home."

This does not have any bearing on the issue because the balance area (Lot 2) has the potential to be used as a productive allotment and the associated infrastructure must be available to assist with the productive use of that lot. Furthermore, when separate certificate of titles are issued for each lot, Council will not be a party to any future dealings on the properties. This is all the more reason to ensure that such facilities are adequate and up to standard.

"property served by the entrance is 15.85 ha."

I presume the applicant is referring to the existing entrance. This entrance is located within the confines of Lot 1. Effectively, this means that Lot 1 will have the exclusive right to this entrance. The applicant may well allow Lot 2 to use this entrance, but for all intents and purposes, this right only exists at the whim of the owner of Lot 1 and is not acceptable.

"There is no Dairy Shed on the property and only occasional traffic enters the property."

I suspect that this is the present situation, but the fact remains that separate certificates will be issued. This suggests that Lot 2 can be traded and the use is capable of intensifying. This is all the more reason to upgrade the existing crossing.

"Present Entrance approaches road on a straight with at least 150 metres clear visibility either side."

The question of visibility is not at issue. The standard of construction and provision for safe turning to and from Waerenga Road is. Hence this reason can not be used to offset the minimum standard of construction for the Heavy Commercial Vehicle Entrance.

"Sealed carriageway near entrance is approximately 8 metres yet plan requires 10 metres metalled width where entrance crosses boundary line."

Again, the argument is what should be the minimum standard. Council's standard is based on the standard 90 percentile design two axled truck. It is Council policy that substandard crossings are not acceptable. It is my view that the existing access crossing to Lot 2 could be upgraded to comply with the standards stated.

"standard required by plan is above many entrances for Dairy Tankers serving sheds along Waerenga Road."

It is acknowledged this may well be the case. Many of these may have formed prior to existence of the District Scheme, and have existing use rights. Nonetheless, these entrances will be upgraded when further subdivision of those properties occur, just like the applicant's situation.

"At my request, present entrance was sealed by Council approximately two years ago so at that time it must have met requirements."

My understanding on this matter is Council's roading crew would restore the existing entrances to the same state as prior to any roading works carried out on Waerenga Road. Therefore, if any existing entrances were substandard they would remain substandard.

3.0 **CONCLUSION**

For the reasons outlined it is my view that the grounds for objection cannot be sustained. Council should require the upgrading of the entrance in accordance with the District Scheme standards.

4.0 **RECOMMENDATION**

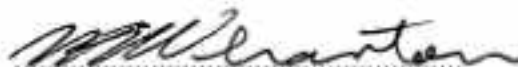
That pursuant to Section 299 of the Local Government Act 1974, the Waikato District Council dismisses the objection of B Pleasants to delete Condition 2 of the conditions of approval in respect of the Scheme Plan Application 70/90/149 on land fronting the Wacenga Road, legally described as Part Allotment 394, Parish of Whangamarino, Block XVI, Maramarua Survey District.

The reasons for this decision are:

- 1) Council has a policy in requiring the infrastructure to be in place for all new subdivisions, particularly where intensification of land use could result.
- 2) Council wishes to retain the control of development in this area by governing the standard of construction of the driveways in accordance with the Waikato District Scheme (Waikato Section - Rural Areas).

Kewwa Low
Planner

Approved for Agenda



N G Wharton
MANAGER ENVIRONMENTAL ADMINISTRATION

XKJL/DD/118

Note: Areas and measurements
subject to survey.



Pt Allot 394
Parish of Whangamarino

Pt Allot 394
Parish of Whangamarino

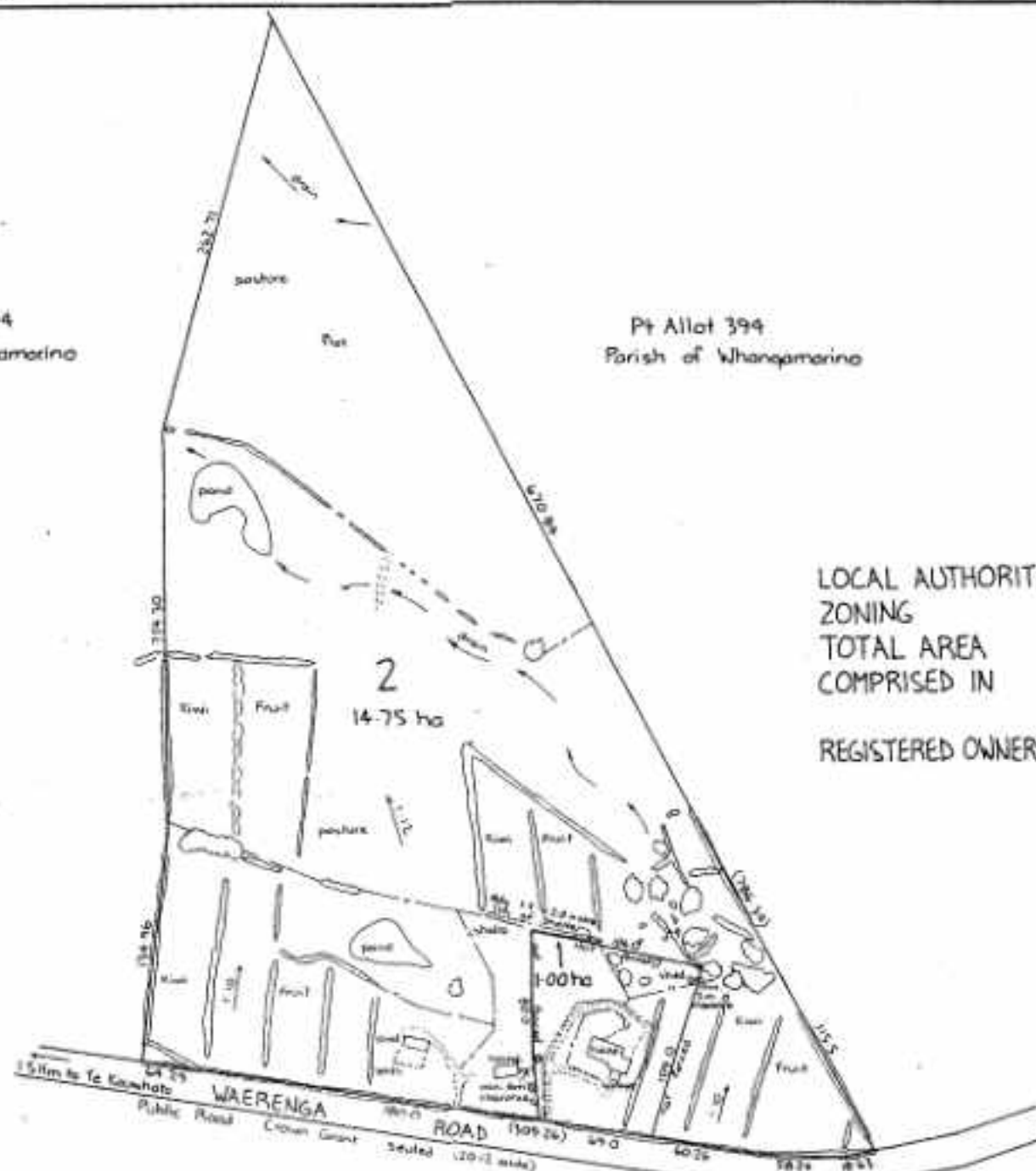
APPROVED

[Signature]
Registered Owners

I, John Makutu Gannon, Registered Surveyor,
hereby certify that this scheme plan was
prepared by me in accordance with the
provisions of Section 225 of the Local
Government Act 1974.

[Signature]
Registered Surveyor

LOCAL AUTHORITY : WAIKATO DISTRICT
ZONING : RURAL A
TOTAL AREA : 15.8508 ha
COMPRISED IN : C.T. 648/24 (All)
BLK XVI MARAMARUA S.D.
REGISTERED OWNERS : A. PLEASANTS &
D.S. SMITH.



JOAN FOOTE & ASSOCIATES

G.B.C. Pleasants

SCHEME PLAN

Document ID: 00000000 Land Consultants

Proposed Subdivision of Part land on DP 23798.

1:2000

AutoPrint Date: 17 June 2017 4:25 pm

Version: 1, Version Date: 28/06/2025



15 Galileo Street
Private Bag 544
NGARUAWAHIA

Telephone: 0-7-824 8633
Facsimile: 0-7-824 8091

Your Ref:

In reply please quote:
70 97 086

If calling, please ask for:
Peter Matich

26 November 1996

Brian Foote Associates
PO Box 466
PUKEKOHE

FILE COPY

Dear Sir/Madam

APPLICATION FOR RESOURCE CONSENT: P J & J A YOUNG

You are advised of the following decision on your application, which has been made pursuant to a delegated authority by the District Planner.

"That pursuant to Sections 34(4), 105(1)(c), 108 and 220 of the Resource Management Act 1991, the Waikato District Council under delegated authority grants subdivision consent for a non-complying activity to create a rural house lot and balance rural lot under the provisions of the Proposed Waikato District Plan on a site legally described as Pt Allot 394 Parish of Whangamarino (as comprised in Certificate of Title 50C/461 South Auckland Registry) subject to the following conditions:

- 1 The Survey Plan to give effect to this subdivision consent shall be consistent with the plan prepared by Brian Foote & Associates Ltd, Registered Surveyors, submitted on 7 November 1996, Brian Foote & Associates Ltd Ref. N°. 970841) for application number 70/97/086.
- 2 That pursuant to Section 407 of the Resource Management Act 1991, a reserve contribution be provided to Council in lieu of vesting of land, such contribution shall be calculated at an amount equivalent to the value of 130m² of Lot 1 but not exceeding 7.5% of the current market land value of Lot 1, or an amount of \$1,125.00 (incl. GST) whichever is the lesser, provided that the current market land value of Lot 1 shall be fixed by agreement between the applicant and the Council at the expense of the applicant.
- 3 That pursuant to section 409 of the Resource Management Act 1991, a capital contribution of \$2,200.00 inclusive of GST be paid to Council toward the provision of a trickle feed water supply to Lot 1.
- 4 That Lot 1 be provided with a water supply connection to the satisfaction of Waikato District Council.
- 5 That Lot 1 be provided with a standard residential vehicle entrance located in accordance with the subdivision plan submitted with the application on 7 November 1996, and constructed in accordance with WDC Plan No. TSG-E3 to the satisfaction of Waikato District Council.

- 6 That the trees to the east of the proposed Lot 1 entrance be removed as shown on the subdivision plan submitted with the application on 7 November 1996 to the satisfaction of Waikato District Council.
- 7 That the existing entrance to proposed Lot 2 be upgraded to a commercial entrance in accordance with WDC Plan No. TSG-E2 to the satisfaction of Waikato District Council.
- 8 That an area of land on proposed Lot 1 of a width of 40 metres from the lot boundary between proposed Lot 1 and Lot 1 DPS 62023 shall be protected within appropriate building restriction covenant. The terms of such covenant shall include a requirement that no building shall be constructed within this area. All documentation pertaining to the covenant shall be prepared by Council's solicitor and executed to the satisfaction of Waikato District Council at the expense of the applicant.
- 9 That power and telecommunication connections be provided to the boundary of proposed Lot 1.

Advisory Notes

- 1 The cost of providing water supply connections to each lot required by condition 4 of this subdivision consent is additional to capital contribution required by condition 3 of this subdivision consent.
- 2 The following matter will need to be assessed at the time of any application for Building Consent:
- a A Registered Engineer may be required to confirm that ground conditions are suitable for building due to land disturbance resulting from the existing orchard operation.

The reasons for this decision are:

- a The proposal satisfies the requirements of Rules 9S.2.3, 9S.2.6, 9S.2.7, and 42.5.6 of the Proposed Waikato District Plan, relating to the creation of rural house lots and rural lots, and does not conflict with any relevant objectives and policies of that proposed plan.
- b There are no persons who would be considered to be adversely affected by granting consent to the subject proposed subdivision.
- c Having regard to Section 104 (1)(a) of the Act, the actual and potential adverse effects on the environment of granting consent to subdivide will be able to be avoided, remedied, or mitigated by the imposition of the above conditions. The creation of Lot 1 is an allotment created solely or principally for residential purposes, and requiring a reserve contribution will enable the Council to mitigate the adverse cumulative effects of subdivision of rural zoned land for residential purposes.
- d Council has given full weight to the provisions of the Proposed Waikato District Plan where those provisions are beyond challenge under sections 75 and 76B of the Resource Management Amendment Act 1996.

- e No weight has been given to the Transitional Waikato District Plan.
- f A reference (appeal) by Greenhill Holdings requiring the insertion of additional assessment criteria relating to mineral resources, has some effect on the rural and rural residential zones. In this instance, there are no known sand quarries within 200 metres or rock quarries within 500 metres of the site."

This decision has been made under the authority delegated to staff by Council.

A Lapsing of Consents

Your attention is drawn to Section 125 of the Resource Management Act 1991. A summary of that section is that a resource consent lapses on the expiry of 2 years after the date of commencement of the consent, or after the expiry of such shorter or longer period as is expressly provided for in the consent, unless

- (a) The consent is given effect to, before the end of that period;
- or
- (b) An application is made to Council up to 3 months after the expiry of that period which meets the criteria specified in Section 125.

B Compliance with Conditions

Please note that unless a specific time limit is stated in the conditions imposed by the Council when granting this consent, all conditions must be complied with before the use to which the consent relates is established.

C Changes to Conditions

Your attention is drawn to Section 127 of the Resource Management Act 1991 which enables an application to be made at any time to Council to change or cancel any condition of this consent on the grounds that a change in circumstances has caused the condition to become inappropriate or unnecessary and the other specified criteria of Section 127 can be met.

D Review of Decision on non-notified application

Your attention is drawn to section 357(2) of the Resource Management Act 1991. This section provides that there is a right of objection to Council in respect of this decision. Section 357(5) requires:

Any such objection shall be made by notice in writing to the Council, setting out the reasons for the objection, within 15 working days after the decision or requirement being notified to that person, or within such further time as may in any case be allowed by the consent of the Council.



E Right of Appeal

Your attention is drawn to the Resource Management Act 1991 Sections 120 and 121 and also Resource Management Regulations 1991/170 Section 10 and Part VI. Some key provisions to note are as follows:

- i You may appeal against the decision of the Council by lodging a Notice of Appeal in the prescribed form with the Registrar of the Planning Tribunal and with the Council within 15 working days of the receipt by you, or the person who filed the application on your behalf, of the Council's decision. The address of the Planning Tribunal is as follows:

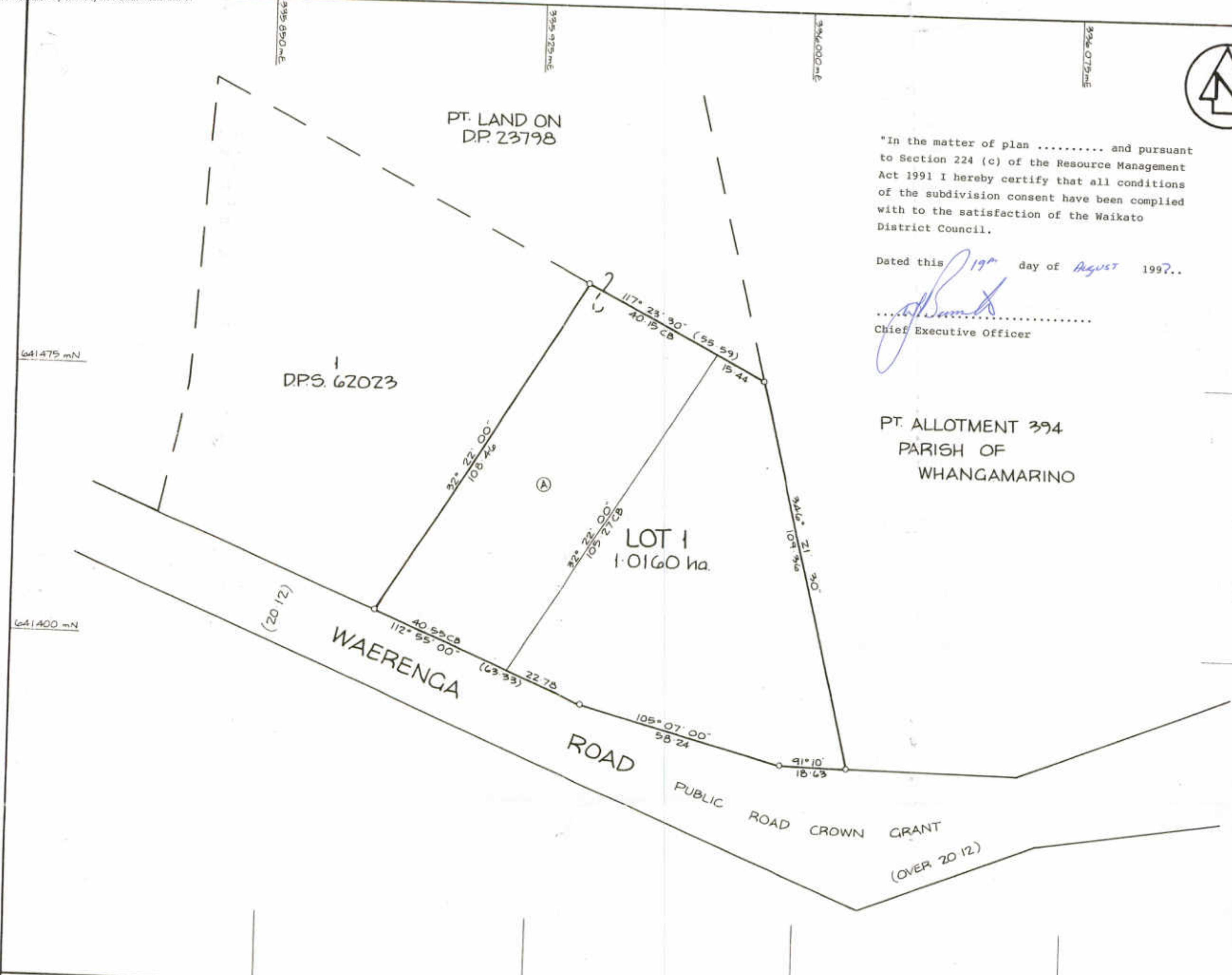
The Registrar
Planning Tribunal
P O Box 5027
Wellington
- ii The appeal must be in the form prescribed by the Resource Management (Forms) Regulations 1991/170 or to like effect. The regulations may be purchased from the Government Printing Office. The form is identified as Form '7' in the regulations.
- iii A filing fee of \$55.00 GST inclusive must accompany every document by which appeal proceedings are commenced.
- iv Regulation 11 of the Resource Management (Forms) Regulations 1991/170 sets out important information as to the persons upon whom the appeal must be served and the time when service must take place. It is essential that these provisions be adhered to. Failure to do so may result in your appeal being struck out.

If you are in any doubt as to the procedures to be followed it is strongly recommended that you consult a lawyer.

Yours faithfully
M Buttimore
MANAGER

A handwritten signature in dark ink, appearing to read 'S G Colson'.

S G Colson
DISTRICT PLANNER
ENVIRONMENTAL SERVICES



"In the matter of plan and pursuant to Section 224 (c) of the Resource Management Act 1991 I hereby certify that all conditions of the subdivision consent have been complied with to the satisfaction of the Waikato District Council.

Dated this 19th day of August 1997..

[Signature]
Chief Executive Officer

PT. ALLOTMENT 394
PARISH OF
WHANGAMARINO



Approvals		REGISTERED OWNERS	
P.J. YOUNG		J.A. YOUNG	
APPROVED PURSUANT TO SECTION 223 OF THE RESOURCE MANAGEMENT ACT 1991 ON THE <u>21st</u> DAY OF <u>MAY</u> 1997 THE COMMON SEAL OF THE WAIKATO DISTRICT COUNCIL IS AFFIXED HERETO IN THE PRESENCE			
<i>[Signature]</i> MAYOR		<i>[Signature]</i> CHIEF EXECUTIVE OFFICER	
AREA MARKED (A) TO BE SUBJECT TO A RESTRICTIVE COVENANT.			
NEW C.T. ALLOCATED			
Lot 1 C.T.			
Total Area <u>1.0160 ha.</u>			
Comprised in <u>CT. 50C/461 (Pt.)</u>			
I, <u>John Melville Casson of Auckland</u> Registered Surveyor and holder of an annual practising certificate for who may act as a registered surveyor pursuant to section 25 of the Survey Act 1986) hereby certify that this plan has been made from surveys executed by me or under my directions, that both plan and survey are correct and have been made in accordance with the Survey Regulations 1972 and any regulations made in substitution thereof. Dated at <u>Pukekohe</u> this <u>19</u> day of <u>19</u> Signature			
Field Book	p.	Traverse Book	p.
Reference Plans			
Examined		Correct	
Approved as to Survey			
...../...../.....		Chief Surveyor	
Deposited this day of 19			
		District Land Registrar	
File	Received	Instructions	

LAND DISTRICT SOUTH AUCKLAND
SURVEY BLK. & DIST. XVI MARAMARUA
NZMS 261 SHT RECORD MAP No

LOT 1 BEING SUBDIVISION OF
PART LAND ON DP. 23798

WDC 70/97/086 970841
TERRITORIAL AUTHORITY WAIKATO DISTRICT
Surveyed by Brian Foote Associates
Scale 1:750 Date MAY 1997

This plan has been prepared for the purpose of obtaining a Resource Consent pursuant to the provisions of the Resource Management Act 1991. No authorised copying or use of this plan for any other purpose is not permitted without the prior consent of Brian Foote and Associates. Areas and dimensions shown on this plan are approximate only and are subject to confirmation by survey.



PT. ALLOT. 394
PARISH OF WHANGAMARINO

PT. ALLOT. 394
PARISH OF WHANGAMARINO

Approved

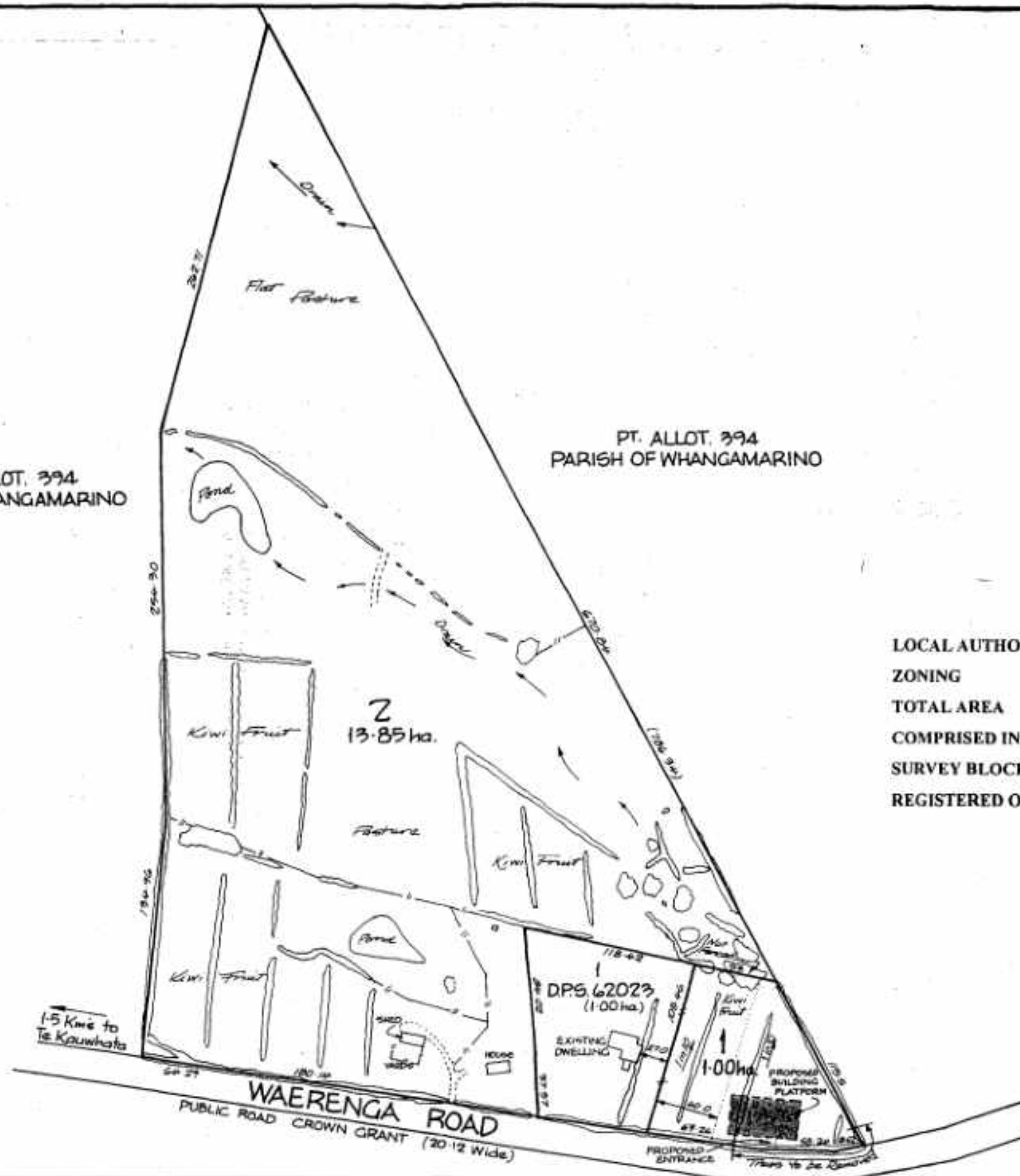
[Signature]

Registered Owner/s

I, John Melville Gasson, Registered Surveyor and holder of an Annual Practising Certificate hereby certify that this plan was prepared by me.

[Signature]
Registered Surveyor

LOCAL AUTHORITY : Waikato District
ZONING : Rural
TOTAL AREA : 14.8508 ha.
COMPRISED IN : C.T. 50C/461
SURVEY BLOCK & DISTRICT : XVI Maramarua
REGISTERED OWNERS : P.J. & J.A. Young



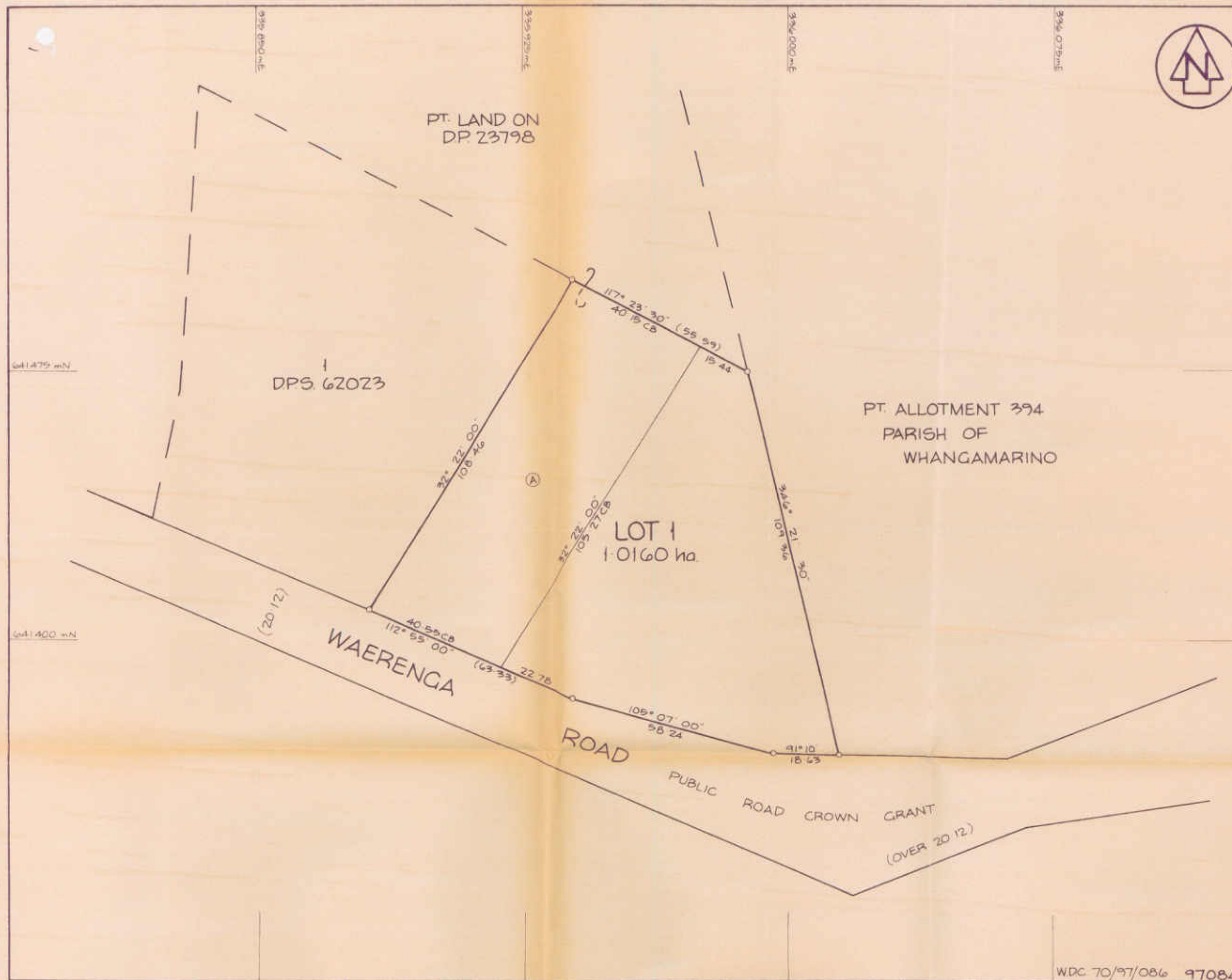
BRIAN FOOTE
A.S.S.O.C.I.A.T.E.S.

client **P.J. & J.A. YOUNG**

project **PROPOSED SUBDIVISION OF PART ALLOTMENT 394 PARISH OF WHANGAMARINO**

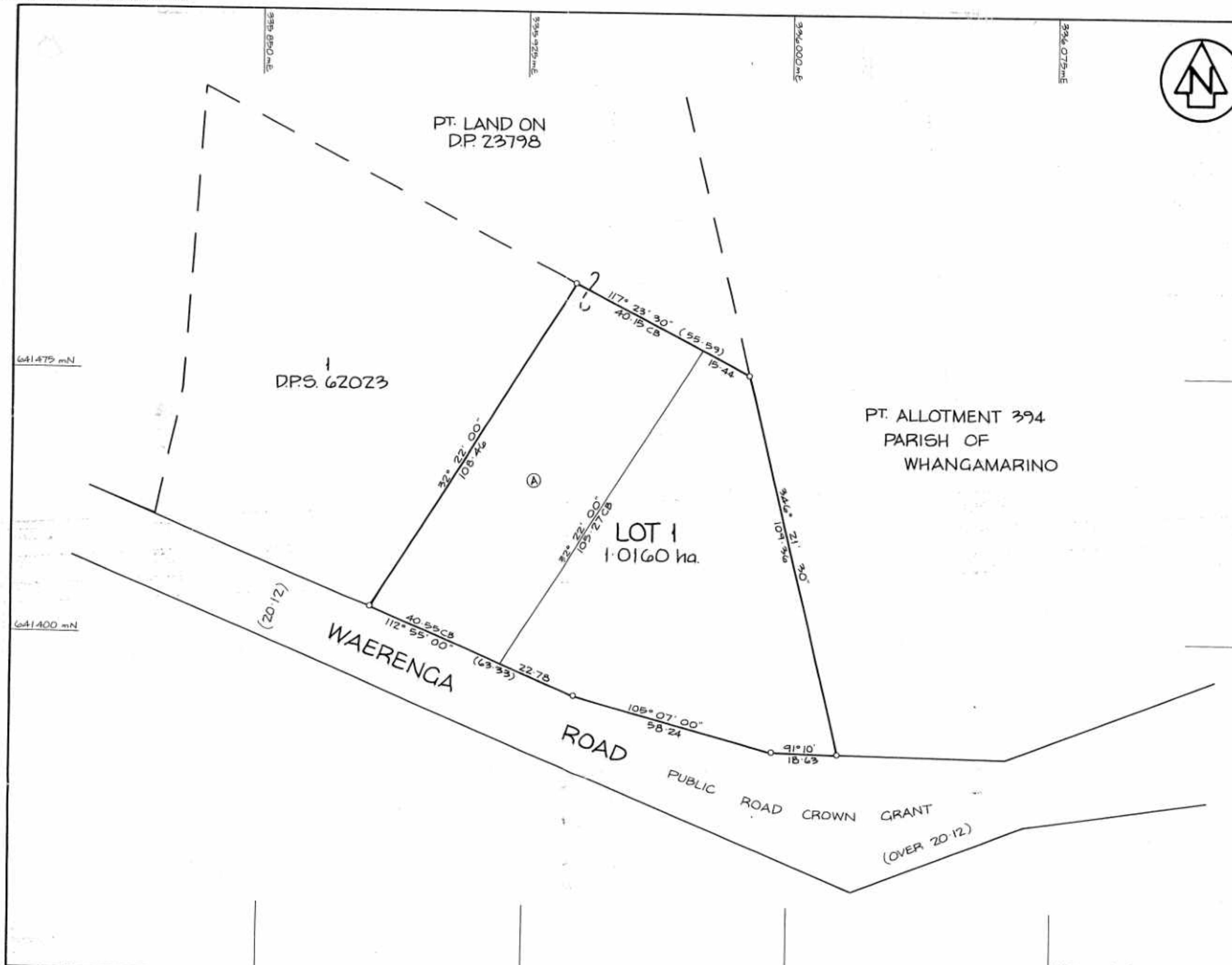
drawing title **Subdivision Consent Plan**

scale 1:2000 date November 1996 drawing no. 970841



Approvals	REGISTERED OWNERS
P.J. YOUNG	J.A. YOUNG
APPROVED PURSUANT TO SECTION 223 OF THE RESOURCE MANAGEMENT ACT 1991 ON THE DAY OF 1997 THE COMMON SEAL OF THE WAIKATO DISTRICT COUNCIL IS AFFIXED HERETO IN THE PRESENCE OF	
MAYOR	CHIEF EXECUTIVE OFFICER
AREA MARKED (A) TO BE SUBJECT TO A RESTRICTIVE COVENANT	
NEW CT. ALLOCATED	
Lot 1 CT.	
Total Area 1.0160 ha	
Comprised in CT 50C/A61 (Pt.)	
I, <u>John Melville Gossion of Pukekohe</u> Registered Surveyor and holder of an annual practising certificate for who may act as a registered surveyor pursuant to section 25 of the Survey Act 1986 hereby certify that this plan has been made from surveys executed by me or under my directions, that both plan and survey are correct and have been made in accordance with the Survey Regulations 1972 or any regulations made in substitution thereof. Dated at <u>Pukekohe</u> this day of 19..... Signature	
Field Book p. Reference Plans	Traverse Book p. Correct
Examined	
Approved as to Survey	
...../...../..... Chief Surveyor	
Deposited this day of 19.....	
District Land Registrar	
File Received Instructions	

LAND DISTRICT SOUTH AUCKLAND SURVEY BLK. & DIST. XVI MARAMARUA NZMS 261 SHT	LOT 1 BEING SUBDIVISION OF PART LAND ON DP 23798	TERRITORIAL AUTHORITY WAIKATO DISTRICT Surveyed by <u>Brian Foote Associates</u> Scale 1:750 Date <u>MAY 1997</u>
---	---	---



Approvals <u>REGISTERED OWNERS</u> P.J. YOUNG J.A. YOUNG	
APPROVED PURSUANT TO SECTION 223 OF THE RESOURCE MANAGEMENT ACT 1991 ON THE DAY OF 1997 THE COMMON SEAL OF THE WAIKATO DISTRICT COUNCIL IS AFFIXED HERETO IN THE PRESENCE OF: MAYOR CHIEF EXECUTIVE OFFICER	
AREA MARKED (A) TO BE SUBJECT TO A RESTRICTIVE COVENANT.	
NEW C.T. ALLOCATED Lot 1 C.T.	
Total Area ... 1.0160 ha.	
Comprised in ... CT. 50C/A61 (Pt.)	
I, <u>John Melville Casson of Pukekohe</u> Registered Surveyor and holder of an annual practising certificate (or who may act as a registered surveyor pursuant to section 25 of the Survey Act 1986) hereby certify that this plan has been made from surveys executed by me or under my directions, that both plan and survey are correct and have been made in accordance with the Survey Regulations 1972 or any regulations made in substitution thereof. Dated at <u>Pukekohe</u> this day of 19..... Signature	
Field Book p. Traverse Book p. Reference Plans Examined Correct	
Approved as to Survey / / Chief Surveyor	
Deposited this day of 19..... District Land Registrar	
File Received Instructions	

LAND DISTRICT SOUTH AUCKLAND SURVEY BLK. & DIST. XVI MARAMARUA NZMS 261 SHT RECORD MAP No	LOT 1 BEING SUBDIVISION OF PART LAND ON DP. 23798	TERRITORIAL AUTHORITY WAIKATO DISTRICT Surveyed by <u>Brian Foote Associates</u> Scale 1:750 Date MAY 1997
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PT. ALLOT. 394
PARISH OF WHANGAMARINO

PT. ALLOT 394
PARISH OF WHANGAMARINO

Approved

Registered Owner/s

I, John Melville Gasson, Registered Surveyor and holder of an Annual Practising Certificate hereby certify that this plan was prepared by me

Registered Surveyor

LOCAL AUTHORITY	: Waikato District
ZONING	: Rural
TOTAL AREA	: 14.8508 ha.
COMPRISED IN	: CT. 50C/461
SURVEY BLOCK & DISTRICT	: XVI Maramarua
REGISTERED OWNERS	: P.J. & J.A. Young

Alternative Plan

1.5 km's to
Te Kaurwhaka

WAERENGA ROAD
PUBLIC ROAD CROWN GRANT (20 12 Wide)

DPS. 62023
(1.00 ha)

EXISTING ☐

✓ 5650 m²

PROPOSED
ENTRANCE

20. 20. 1962



BRIAN FOOTE
-A-S-S-O-C-I-A-T-E-S-

APPRAISAL HOUSE, 138 HALL STREET PO BOX 466 PUKERONGHE NZ. ☎ 09 238 9991 📠 09 238 3828

Client

P.J. & J.A. YOUNG

PROJECT

PROPOSED SUBDIVISION OF PART ALLOTMENT 394 PARISH OF WHANGAMARINO

drawing title

drawing title
Subdivision Consent Plan

scale
1 : 2000

date
November 1996

drawing no.
970841

This plan has been prepared for the purpose of obtaining a Resource Consent pursuant to the provisions of the Resource Management Act 1991. Unauthorised copying or use of this plan for any other purpose is not permitted without the prior consent of Brian Foote and Associates. Areas and dimensions shown on this plan are approximate only and are subject to confirmation by survey.



PT. ALLOT. 394
PARISH OF WHANGAMARINO

PT. ALLOT. 394
PARISH OF WHANGAMARINO

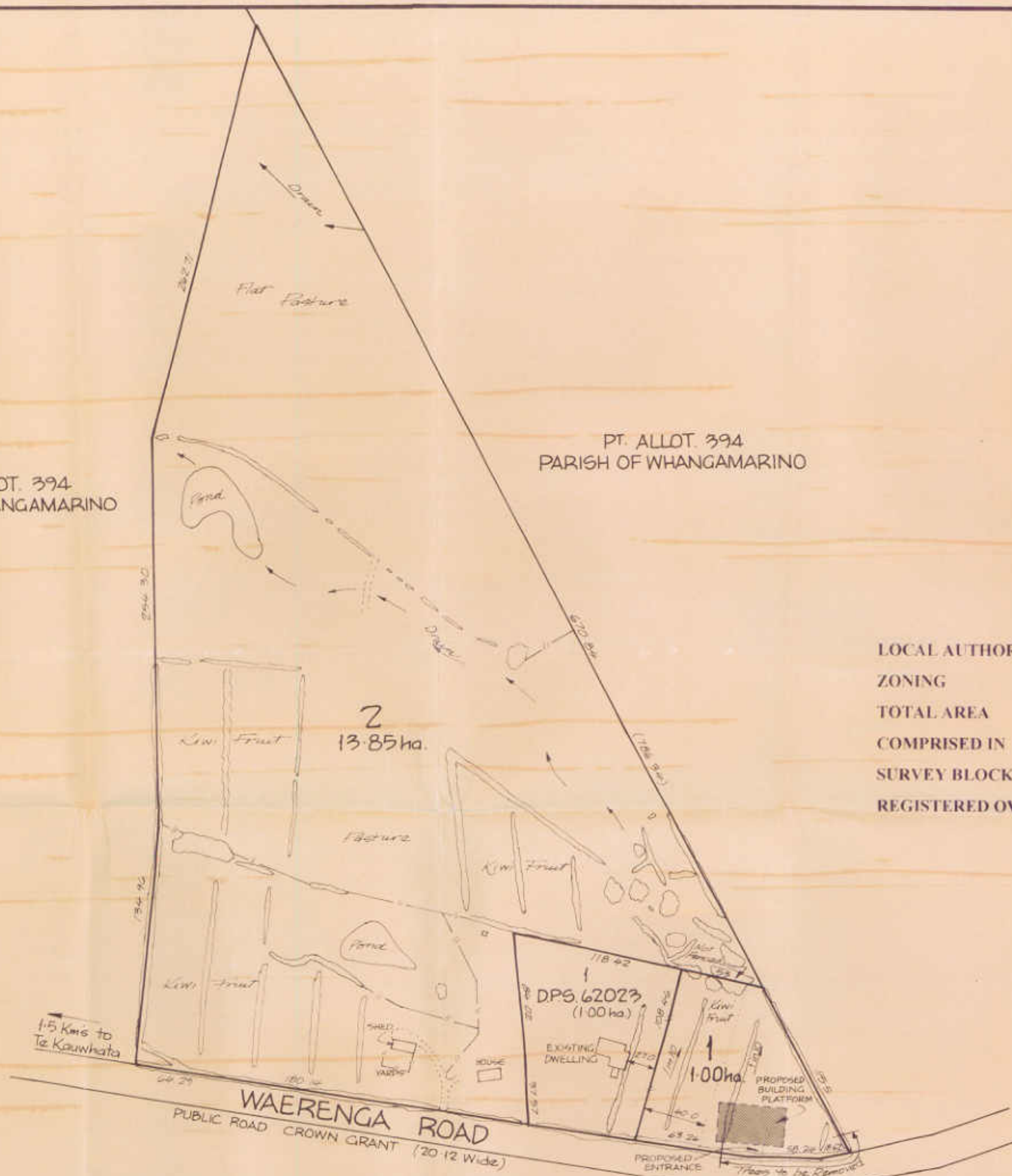
Approved

Registered Owner/s

I, John Melville Gasson, Registered Surveyor and holder of an Annual Practising Certificate hereby certify that this plan was prepared by me.

Registered Surveyor

LOCAL AUTHORITY : Waikato District
ZONING : Rural
TOTAL AREA : 14.8508 ha.
COMPRISED IN : CT. 50C/461
SURVEY BLOCK & DISTRICT : XVI Maramarua
REGISTERED OWNERS : P.J. & J.A. Young



BRIAN FOOTE
A.S.S.O.C.I.A.T.E.S.

APPRAISAL HOUSE, 138 HALL STREET, P.O. BOX 466, PUKEROHE, NZ. ☎ 01 238 9991 ☎ 01 238 9278

client

P.J. & J.A. YOUNG

project

PROPOSED SUBDIVISION OF PART ALLOTMENT 394 PARISH OF WHANGAMARINO

drawing title

Subdivision Consent Plan

scale
1:2000

date
November 1996

drawing no.
970841

This plan has been prepared for the purpose of obtaining a Resource Consent pursuant to the provisions of the Resource Management Act 1991. Unauthorised copying or use of this plan for any other purpose is not permitted without the prior consent of Brian Foote and Associates. Areas and dimensions shown on this plan are approximate only and are subject to confirmation by survey.



PT. ALLOT. 394
PARISH OF WHANGAMARINO

PT. ALLOT. 394
PARISH OF WHANGAMARINO

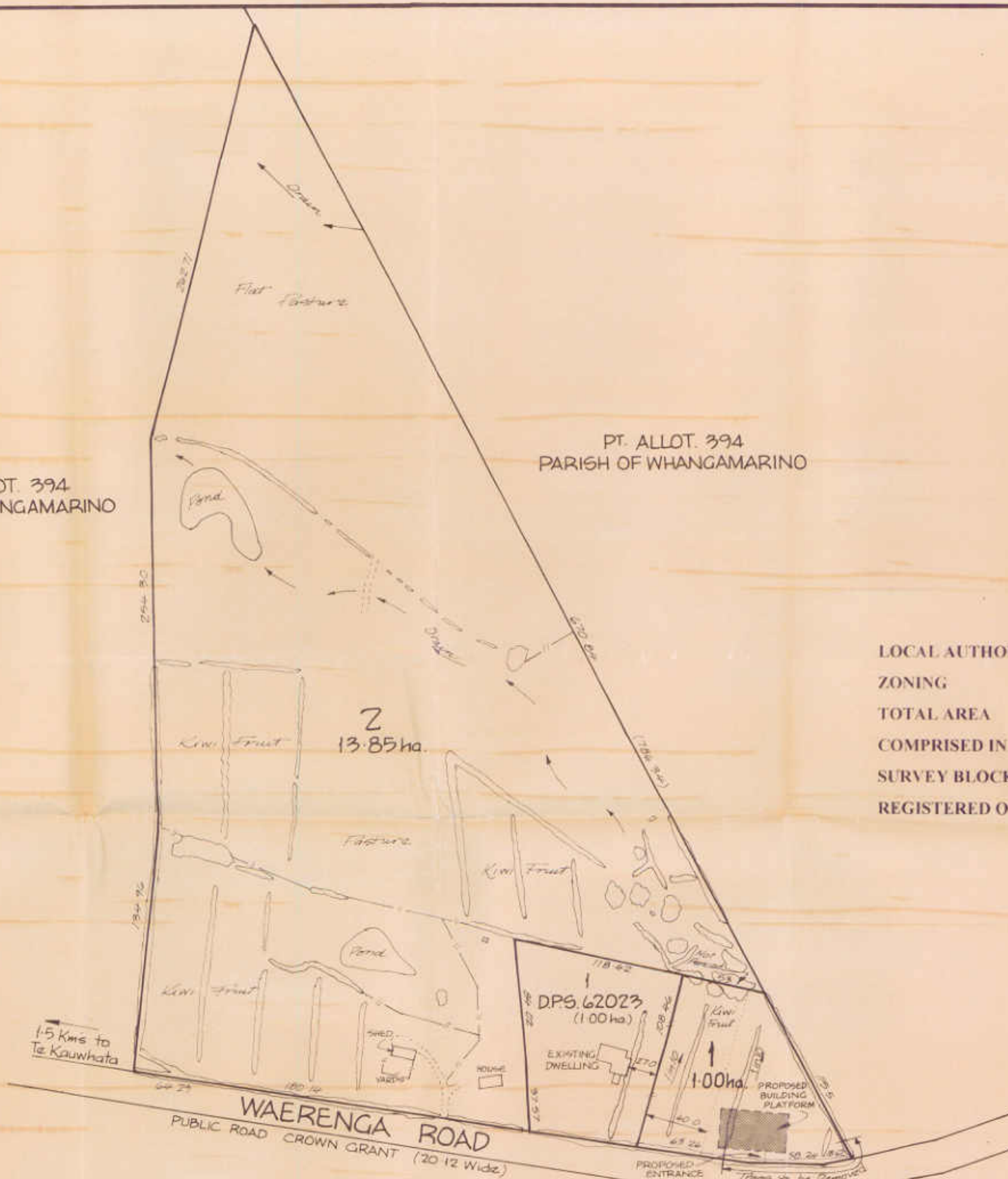
Approved

Registered Owner/s

I, John Melville Gasson, Registered Surveyor and holder of an Annual Practising Certificate hereby certify that this plan was prepared by me.

Registered Surveyor

LOCAL AUTHORITY : Waikato District
ZONING : Rural
TOTAL AREA : 14.8508 ha
COMPRISED IN : CT. 50C/461
SURVEY BLOCK & DISTRICT : XVI Maramarua
REGISTERED OWNERS : P.J. & J.A. Young



BRIAN FOOTE
A.S.S.O.C.I.A.T.E.S.

APPRAISAL HOUSE, 138 HALL STREET, PO BOX 444, PUKEROHE, NZ. T: 09 238 9991 F: 09 238 3878

client

P.J. & J.A. YOUNG

project

PROPOSED SUBDIVISION OF PART ALLOTMENT 394 PARISH OF WHANGAMARINO

drawing title

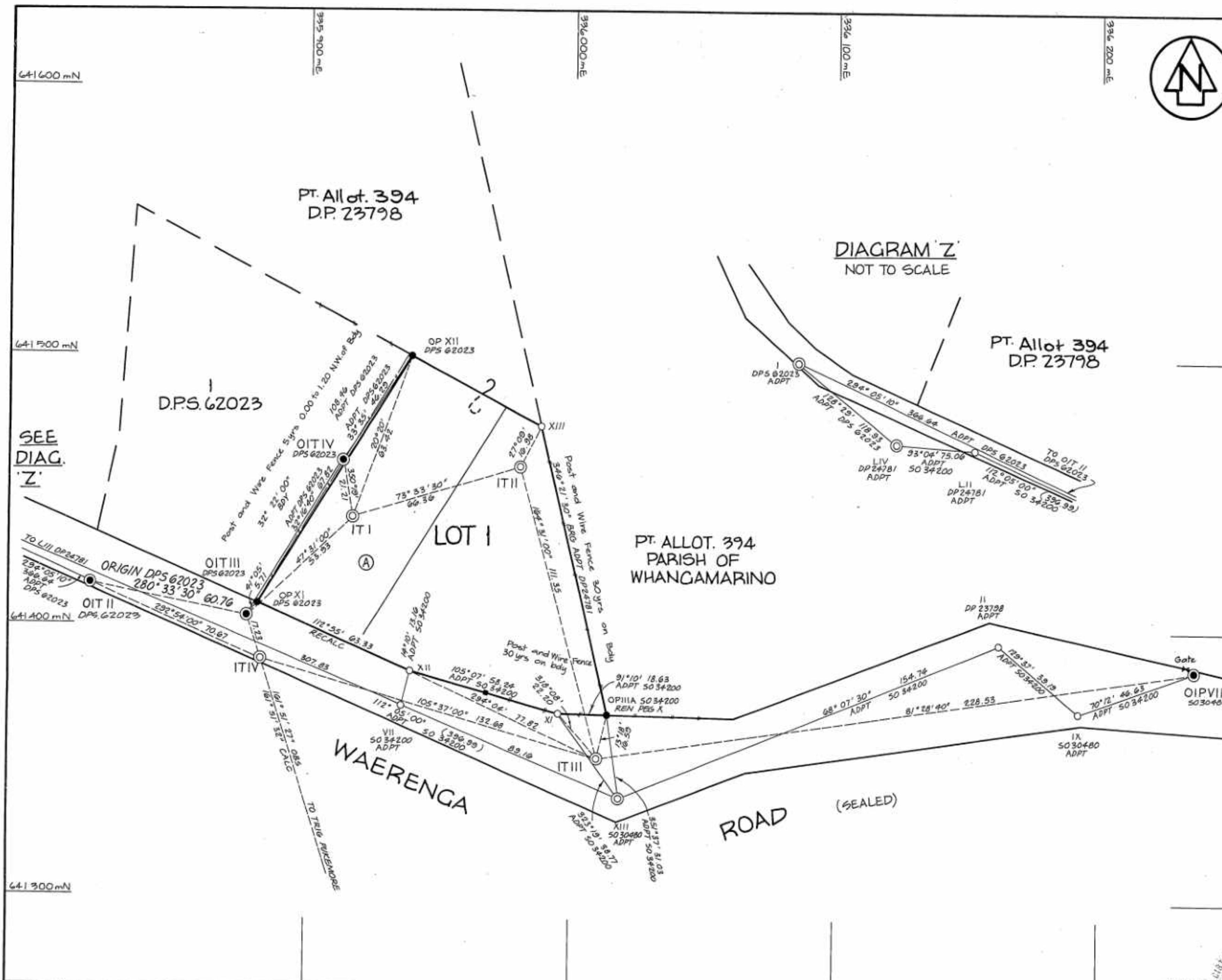
Subdivision Consent Plan

scale
1:2000

date
November 1996

drawing no.
970841

23 OCT 1997



Approvals	CO ORDINATES
OIT III DPS 62023	mN mE
ORIGIN (DPS 62023)	641 404.11 335 877.29
IT II	641 459.32 335 980.70
IT III	641 952.02 336 010.43

ALL MEASUREMENTS ARE EM.

BOUNDARIES ARE NOT FENCED UNLESS OTHERWISE SHOWN.

BEARING AND CO ORDINATE DATUM
- GEODETIC 1949
MT. EDEN CIRCUIT CO ORDINATES
ORIGIN MT. EDEN - 700 000 mN
- 300 000 mE

Total Area

Comprised in

I, *Brian Foote*, Registered Surveyor and holder of an annual practising certificate (or who may act as a registered surveyor pursuant to section 25 of the Survey Act 1986) hereby certify that this plan has been made from surveys executed by me or under my directions, that both plan and survey are correct and have been made in accordance with the Survey Regulations 1972 or any regulations made in substitution thereof.
Dated at *Waikato*, this *3rd* day of *June* 19 *97* Signature *Brian Foote*

Field Book *7730* p. *152-154* Traverse Book *72-8* p. *153-154*
Reference Plans *DPS 62023 & SO 34200*

Examined *for* Correct *for*

Approved as to Survey *Alfida*

Dep Chief Surveyor

Deposited this *5th* day of *September* 1997

District Land Registrar

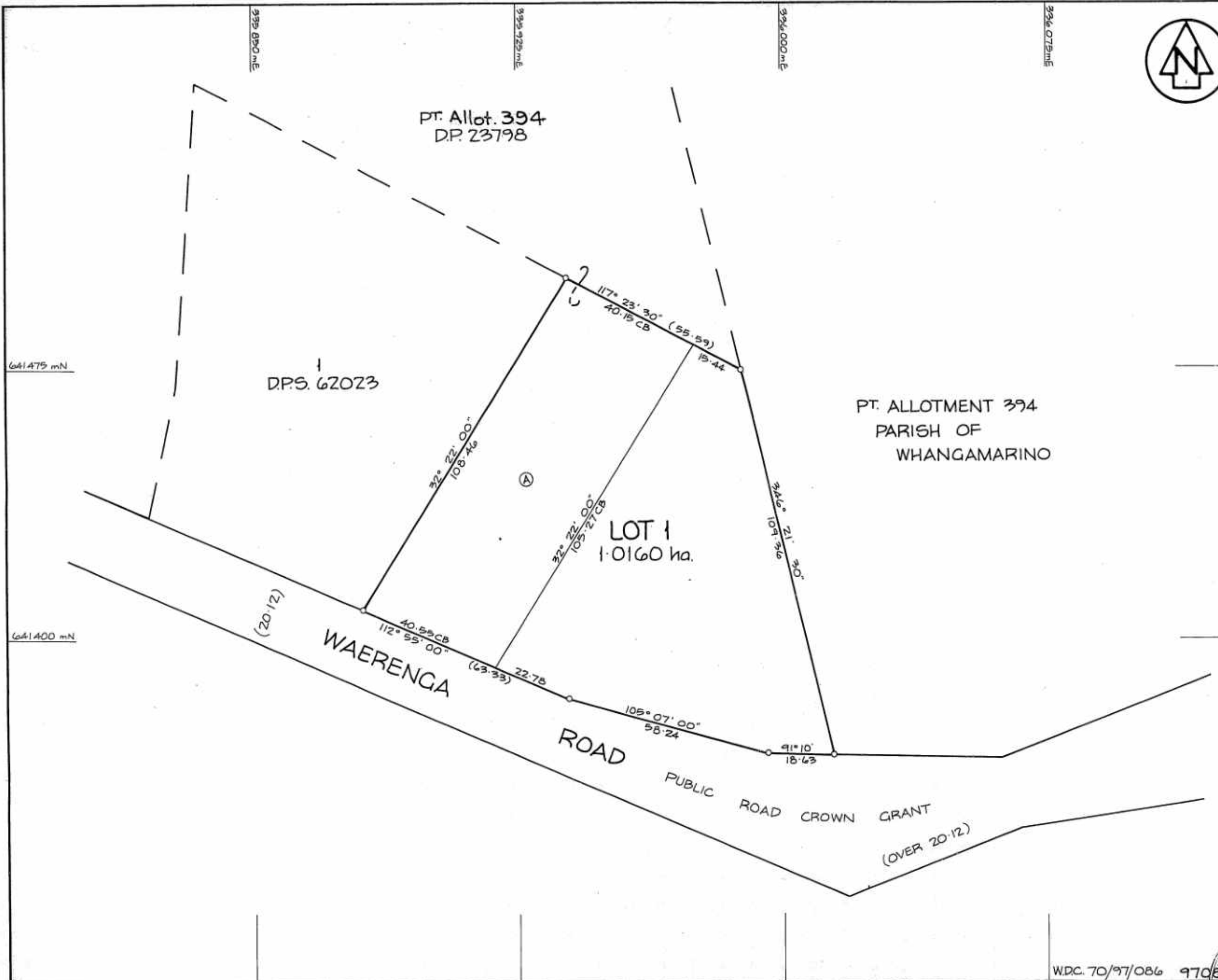
Received 5.6.97
Instructions

DPS 77891

LAND DISTRICT SOUTH AUCKLAND
SURVEY BLK. & DIST. XVI. MARAMARUA
NZMS 261 SHT RECORD MAP No

LOT 1 BEING SUBDIVISION OF
PART ALLOT 394 Whangamarino Psh.

TERRITORIAL AUTHORITY WAIKATO DISTRICT
Surveyed by *Brian Foote Associates*
Scale 1:1000 Date *MAY 1997*



Approvals REGISTERED OWNERS

P.J. Young
P.J. YOUNG

J.A. Young
J.A. YOUNG

APPROVED PURSUANT TO SECTION 229 OF THE RESOURCE MANAGEMENT ACT 1991 ON THE 20th DAY OF MAY 1997 THE COMMON SEAL OF THE WAIKATO DISTRICT COUNCIL IS AFFIXED HERETO IN THE PRESENCE OF

A.J. Woodward
MAYOR

[Signature]
CHIEF EXECUTIVE OFFICER

AREA MARKED (A) TO BE SUBJECT TO A RESTRICTIVE COVENANT.

NEW C.T. ALLOCATED

Lot 1 C.T. 610/842...BAL 610/843

Total Area...1.0160 ha.

Comprised in C.T. 50C/461 (Pt.)

I, *John Malville Casson of Pukekohe*
Registered Surveyor and holder of an annual practising certificate (or who may act as a registered surveyor pursuant to section 25 of the Survey Act 1986) hereby certify that this plan has been made from surveys executed by me or under my directions, that both plan and survey are correct and have been made in accordance with the Survey Regulations 1972 or any regulations made in substitution thereof.
Dated at Pukekohe this 3rd day of June 1997. Signature *[Signature]*

Field Book 7730 p. 152-154 Traverse Book 728 p. 153-154
Reference Plans

Examined *[Signature]* Correct *[Signature]*

Approved as to Survey *[Signature]*
Dep Chief Surveyor

Deposited This 5th day of September 1997
District Land Registrar

DPS 77891

LAND DISTRICT SOUTH AUCKLAND
SURVEY BLK. & DIST. XVI MARAMARUA
NZMS 261 SHT RECORD MAP No

LOT 1 BEING SUBDIVISION OF
PART ALLOT 394 Whangamarino
Psh.

TERRITORIAL AUTHORITY WAIKATO DISTRICT
Surveyed by Brian Foote Associates
Scale 1:750 Date MAY 1997

W.A. ROBERTSON, SURVEYOR GENERAL, DEPARTMENT OF SURVEY AND LAND INFORMATION, NEW ZEALAND

Resource Consent

(Resource Management Act 1991)

DECISION ON APPLICATION SUB0270/05

Pursuant to Sections 34A(1), 104(5), 104C, 220 and 108 of the Resource Management Act 1991, the Waikato District Council, under delegated authority, grants Subdivision Consent for a Restricted Discretionary Activity to:

Activity:	Create two additional lots and undertake a boundary relocation which includes an amalgamation of two lots in the Rural Zone
Consent Holder:	Philip John Young, Julie Anne Young
Location Address:	229 Waerenga Road, TE KAUWHATA
Legal Description:	LOT 1 DPS 79280 contained within Certificate of Title SA61D/843; Part Lot 2 DP 591 contained within Certificate of Title SA33C/689

This consent is subject to the conditions detailed in the attached Schedule 1.

The reasons for this decision are detailed in the attached Schedule 2.

Dated at Ngaruawahia this 26th day of May 2005.

For and on behalf of Waikato District Council



Nath Pritchard

ENVIRONMENTAL SERVICES GROUP MANAGER

Schedule 1

Conditions of Consent

Resource Consent No: SUB0270/05

Planning Conditions

- PC1 The Land Transfer Plan to give effect to this Resource Consent shall be generally consistent with the approved plan prepared by The Surveying Company, reference 256044, submitted with application SUB0270/05 and received by Council on 3 May 2005. A copy of the approved plan is attached.
- PC2 That Lot 4 hereon be transferred to the owners of part Lot 2 DP 591 (CT SA33C/689) and that one Certificate of Title be issued to include both parcels. See Request 453010.
- PC3 The consent holder shall ensure that, should any human remains or archaeological items be exposed while undertaking works to give effect to conditions of this consent, works in that area will cease immediately. The Police, New Zealand Historic Places Trust, and Kaumatua representing the local Tangata Whenua shall be contacted and work shall not recommence in the affected area until any necessary statutory authorisations or consents have been obtained.

Financial Contributions

Reserves

- FC1 Pursuant to Section 108(2)(a) of the Resource Management Act 1991, a reserve contribution of \$2,250.00 (Two Thousand Two Hundred and Fifty Dollars), GST Inclusive shall be paid to Council for the two additional Lots. This is based on a reserve contribution of \$1,125.00 (One Thousand One Hundred and Twenty-Five Dollars) for each additional Lot. This shall be paid to the Council in lieu of vesting land.

Advisory Note:

A reserve contribution is required for each Lot created by subdivision upon which a dwellinghouse or dwellinghouses are authorised by the Waikato District Plan. The subdivision will result in the creation of two additional titles. Therefore two reserve contributions each of \$1,125.00 are required.

Roading

- FC2 Pursuant to section 108(2)(a) of the Resource Management Act 1991 a roading fee of \$9,766.00 (Nine Thousand Seven Hundred and Sixty-Six Dollars), GST Inclusive shall

be paid to the Council for the additional Lots. The quantum of the financial contribution is based on \$4,883.00 (Four Thousand Eight Hundred and Eighty-Three Dollars) for each Lot.

- FC3 Pursuant to section 108(2)(a) of the Resource Management Act 1991 a financial contribution toward trickle feed water supply to Lots 2 and 3 of \$5,526.00 (Five Thousand Five Hundred and Twenty-Six Dollars) GST inclusive shall be paid to Council prior to the issue of the section 224(c) certificate by Council. The quantum of the financial contribution is based on \$2763.00 (Two Thousand Seven Hundred and Sixty Three Dollars) for each Lot.

Drainage

- FC4 Pursuant to section 108(2)(a) of the Resource Management Act 1991 a financial contribution for land drainage under the Swan Road Drainage District of \$3,117.00 (Three Thousand One Hundred and Seventeen Dollars) GST inclusive shall be paid to Council prior to the issue of the section 224(c) certificate by Council.

Roading Conditions

- ✓ RC1 Right of way 'A' shall be provided with a sealed standard commercial vehicle entrance located as indicated on the approved plan, and constructed in accordance with Waikato District Council Plan No. TSG-E2 to the satisfaction of Council.
- ✓ RC2 The existing entrance to Lot 1 shall be upgraded to a sealed standard residential vehicle entrance located as indicated on the approved plan, and constructed in accordance with Waikato District Council Plan No. TSG-E3 to the satisfaction of Council.
- ✓ RC3 The proposed right-of-way 'A' shall be designed and constructed in accordance with Section 36.5, Table 5, of the District Plan and the minimum specifications set out in Waikato District Council's Engineering Code of Practice - Part Two - Roading.

Utilities Conditions

- ✓ UC1 Separate water supply connections fitted with a manifold, flow restrictor and backflow preventer shall be provided to the boundary of Lots 2 and 3 to the satisfaction of Council. Such connections shall be installed either by Council staff or a Council approved contractor.

Advisory Note:

- (i) An application form for water connection is attached and must be completed and returned to Council prior to the issuing of the section 224(c) certificate. Connection fees are in addition to the payment of a financial contribution.

- (ii) Council's trickle feed potable water supply will deliver the requested water allocation per day at a minimum water pressure of 200 kPa at the point of connection. The owner shall provide a minimum of 24 hours water storage capacity on site at a suitable location and elevation to receive water from the connection. The owner shall install a pumping system from his storage to deliver water from storage within the property as required.

✓ UC2 As-built plans at a scale acceptable to Council shall be provided showing any water supply reticulation including connections to the satisfaction of Council.

Legal Conditions

✓ LC1 The easement document shall make provision for the ongoing maintenance of right of way 'A' to the satisfaction of Council.

Advisory Notes

ANI When Building Consents are applied for the following matters will need to be addressed in any applications:

- (i) For some building sites a Registered Engineer may be required to confirm that ground conditions are suitable for building.
- (ii) A design from a suitably qualified person will be required for the effluent disposal system.

Schedule 2

Reasons for Decision

Resource Consent No: SUB0270/05

- 1 The subdivision to create two additional lots and undertake a boundary relocation on a property containing high quality soils with certificates of title issued prior to 6 December 1997 is a restricted discretionary activity. The application complies with the limits of discretion as specified in the District Plan and the effects are considered to be no more than minor.
- 2 In accordance with the District Plan requirements, written approval was not required for this application and therefore the application was processed on a non-notified basis under delegated authority.
- 3 Council's Environmental Consents Engineer has assessed the application and included conditions of consent in relation to water connections for the additional lots.
- 4 Council's Rooding Consents Manager has assessed the application and applied discretion as the separation distances between the existing and proposed entrances does not meet the requirements of the District Plan. Discretion has been exercised as the entrance ways have been rationalised. Conditions of consent have been included in relation to the construction and upgrading of proposed and existing entrances.
- 5 A condition has been included in relation to the amalgamation of Lot 4 with the adjoining property.
- 6 Two additional lots are being created and therefore two roading financial contributions and two reserve financial contributions have been levied.
- 7 The Proposed Waikato District Plan was notified on 25th September 2004 and submissions closed on 11th February 2005. However, submissions made on various rules contained within the Proposed Plan are still under consideration. Therefore when assessing this application little weight has been given to the rural subdivision provisions of the Proposed District Plan when determining this application.

This plan has been prepared for the purpose of obtaining a Resource Consent pursuant to the provisions of the Resource Management Act 1991. Unauthorised copying or use of this plan for any other purpose is not permitted without the prior consent of The Surveying Company Limited. Areas and dimensions shown on this plan are approximate only and are subject to confirmation by survey.

APPROVED

REGISTERED OWNER'S

I, JONHUEVILLE SASSON, REGISTERED SURVEYOR AND HOLDER OF AN ANNUAL PRACTISING CERTIFICATE HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME.

REGISTERED SURVEYOR

APPROVED PLAN

25/5/05

PT ALLOT 394
PARISH OF
WHANGAMARINO

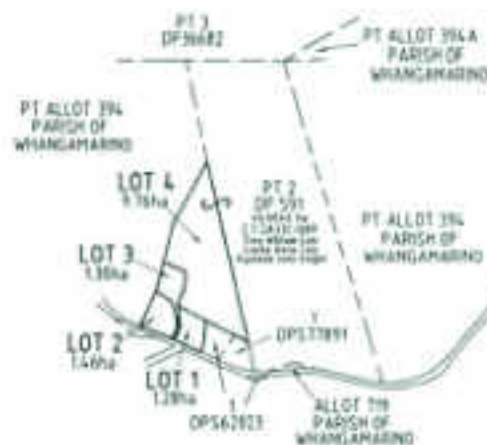
LOT 4
9.76ha

PT 2
DP 591
46.6046 ha
C.T.SA336/689
Tony William Cole
Louise Anne Cole
Registered John Knight

LOT 3
1.30ha

LOT 2
1.46ha

LOT 1
1.28ha



LOCATION DIAGRAM
SCALE 1 : 20,000

MEMORANDUM OF EASEMENTS

PURPOSE	SERVIENT TENEMENT	SHOWN	DOMINANT TENEMENT
RIGHT OF WAY RIGHT TO CONVEY WATER, ELECTRICITY & TELECOMMUNICATIONS	LOT 3	(A)	LOT 2

AMALGAMATION CONDITION

THAT LOT 4 HEREON BE TRANSFERRED TO THE OWNER OF PT LOT 2 DP 591 (C.T.SA336/689) AND THAT ONE CERTIFICATE OF TITLE BE ISSUED TO INCLUDE BOTH PARCELS.

LOCAL AUTHORITY : WAIKATO DISTRICT
ZONING : RURAL
TOTAL AREA : 13.8348ha
COMPRISED IN : C.T.SA61D/843
REGISTERED OWNERS : P.J. & J.A. YOUNG

WAERENGA ROAD
LEGAL 120.12 WIDE & OVER SEALED

ROAD
LEGAL 120.12 WIDE
UNFORMED

P.J. & J.A. YOUNG

SUBDIVISION CONSENT PLAN

PROPOSED SUBDIVISION OF LOT 1 DP 579280

DATE: 17 June 2026, 4:25 pm

Permitted Boundary Activity

(Section 87BA, Resource Management Act 1991)



www.waikatodistrict.govt.nz

Digitally Delivered

NOTICE TO CONFIRM:

PBA Number: PBA0095/19

Activity: To construct an extension to a dwelling that encroaches on a boundary setback within the Rural Zone.

Applicant: R D Young, J L Kingsland

Location Address: 229 Waerenga Road TE KAUWHATA

Legal Description: LOT 1 DP 357027 BLK XVI MARAMARUA SD

Boundary activity is permitted:

The Waikato District Council is satisfied that the proposed activity described above meets the requirements of sections 87AAB and 87BA of the Resource Management Act 1991 (the Act) and is therefore a permitted activity under section 87BA(1) of the Act.

This approval is subject to the advisory notes detailed in the attached Schedule 1.

The approved plans are attached.

Authorised by*: Georgia Morton

Position: Planner

Date: 01 March 2019

**no signature is required as this has been delivered by electronic means.*



Schedule 1

Advisory Notes

PBA No: PBA0095/19

1. *This notice will lapse 5 years after the date it is given unless the activity permitted by this notice is undertaken*
2. *A certificate of compliance (under section 139 of the Act) cannot be applied for in respect of this activity.*
3. *This notice is valid only for the activity described above and shown on signed plans referenced. If the activity changes a resource consent may be required.*
4. *This approval for a Permitted Boundary Activity does not constitute a Certificate of Compliance (CoC) under section 139 of the RMA and cannot be relied upon as such. Only rules that potentially affect the bulk and location of the infringing building have been checked for the issuing of this Permitted Boundary Activity approval. It is important to note that as part of your building consent process you may be required to demonstrate compliance with additional rules including but not limited to engineering standards for servicing, landscaping, contaminated land rules (including national environmental standard for assessing and managing contaminants in soil to protect human health) and acoustic insulation, as well as compliance with any consent notice or easement existing on the certificate of title.*



aerial view
Scale 1:2

SITE INFORMATION	
LOT	1
S.P.	357027
CT No.	230180
SITE AREA	1079sqm
PLANNING ZONE	Rural/Urban
WIND ZONE	Very High
EARTHQUAKE ZONE	1
EXPOSURE ZONE	8
CLIMATE ZONE	2

EXTENT OF WORK
EXTEND & RECONFIGURE EXISTING HOUSE
REPLACE ALL EXISTING WINDOWS
REMAINING WITH NEW

TREATMENT OF FIXINGS FOR CORROSION ZONE 1 - OUTSIDE SEA SPRAY ZONE			
DURABILITY FLOW CHART BY MITEC NEW ZEALAND			
ZONE	LOCATION	ENVIRONMENT	TREATMENT
ALL ZONES REFER TO NZS3808 FIG. 4.1	OUTSIDE SEA SPRAY ZONE	CLOSED	STANDARD ZINC COATED STEEL PRODUCT
ENVIRONMENTAL CONDITIONS		WIND BLOWN RAIN AND WIND BLOWN SALT	HOT DIP GALVANIZED STEEL
		WIND BLOWN RAIN AND WIND BLOWN SALT	HOT DIP GALVANIZED STEEL
SHELTERED - A SITUATION WHERE A MATERIAL IS NOT WASHED BY DIRECT OR WIND BLOWN RAIN BUT MAY BE SUBJECT TO WIND BLOWN SALT		WIND BLOWN RAIN AND WIND BLOWN SALT	TYPE 304 STAINLESS STEEL
		WIND BLOWN RAIN AND WIND BLOWN SALT	TYPE 304 STAINLESS STEEL
EXPOSED - A SITUATION WHERE THE MATERIAL IS WASHED BY DIRECT OR WIND BLOWN RAIN		WIND BLOWN RAIN AND WIND BLOWN SALT	TYPE 304 STAINLESS STEEL
		WIND BLOWN RAIN AND WIND BLOWN SALT	TYPE 304 STAINLESS STEEL

NOTES

ALL DIMENSIONS SHOWN ON DRAWINGS
CONCERN PUBLIC OWN POSITIONS AND
TOLERANCES SHALL BE CONFIRMED BY
CONTRACTOR PRIOR TO ANY WORKS
CONSTRUCTION. NOTIFY ALBERT VAN VLIET
ARCHITECTURAL DESIGN SHOULD
DIMENSIONS OR POSITIONS VARY TO THAT
SHOWN (IMMEDIATELY).

IF GROUND CONDITIONS ARE
QUESTIONABLE AND ARE NOT IN
ACCORDANCE WITH NZS3808 OR NZS
3804:2011 REQUIREMENTS STOP WORK
AND CONTACT DESIGNER IMMEDIATELY.

SHOULD THERE BE ANY AMBIGUITY ON
THE DRAWINGS AND/OR ACCOMPANYING
DOCUMENTATION, OR THE DRAWINGS (S) IS
ARE:
UNCLEAR OR IF THERE IS APPARENT
CONFLICTING INFORMATION SHOWN,
IMMEDIATELY NOTIFY ALBERT VAN VLIET
ARCHITECTURAL DESIGN BEFORE
COMMENCING THE WORK.

NOTIFY TRUSS AND BRACING IS INDICATIVE
ONLY AND SHALL BE DESIGNED AND
DETAILED BY APPROVED ENGINEER. TRUSS
MANUFACTURER IS ACCORDANCE WITH
DANS-100-10-1, 10-2, 10-3 AND NZS
3804:2011.

FOR WIND BRACING AND TYPE REFER TO
ADDITIONAL SPECIFICATIONS.

UNLESS TO BE 2% MAX MOISTURE
CONTENT. TRUSS SIZES AS PER NZS
3804:2011.

KITCHEN JOINERY MANUFACTURER SHALL
TAKEN ON SITE MEASUREMENTS PRIOR TO
FABRICATION.

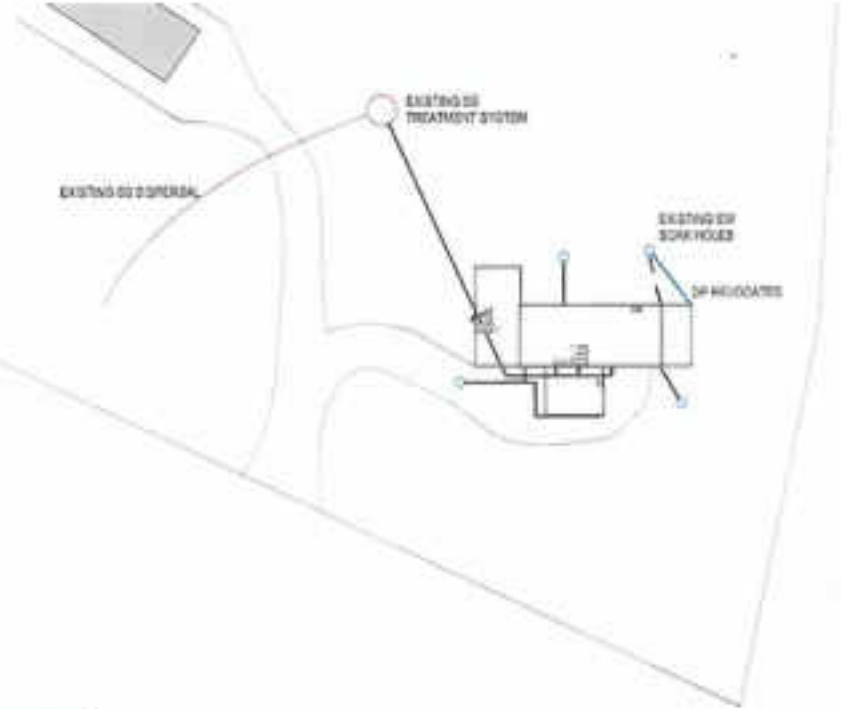
FOR KITCHEN CUPBOARD AND JOINERY
REFER TO KITCHEN MANUFACTURERS
DOCUMENTS.

ALL CONSTRUCTION SHALL BE IN
ACCORDANCE WITH THE NZS3808 AND 3804
AND APPROVED DOCUMENTS, NZS
3804:2011 AND LOCAL TERRITORIAL
AUTHORITY REQUIREMENTS.

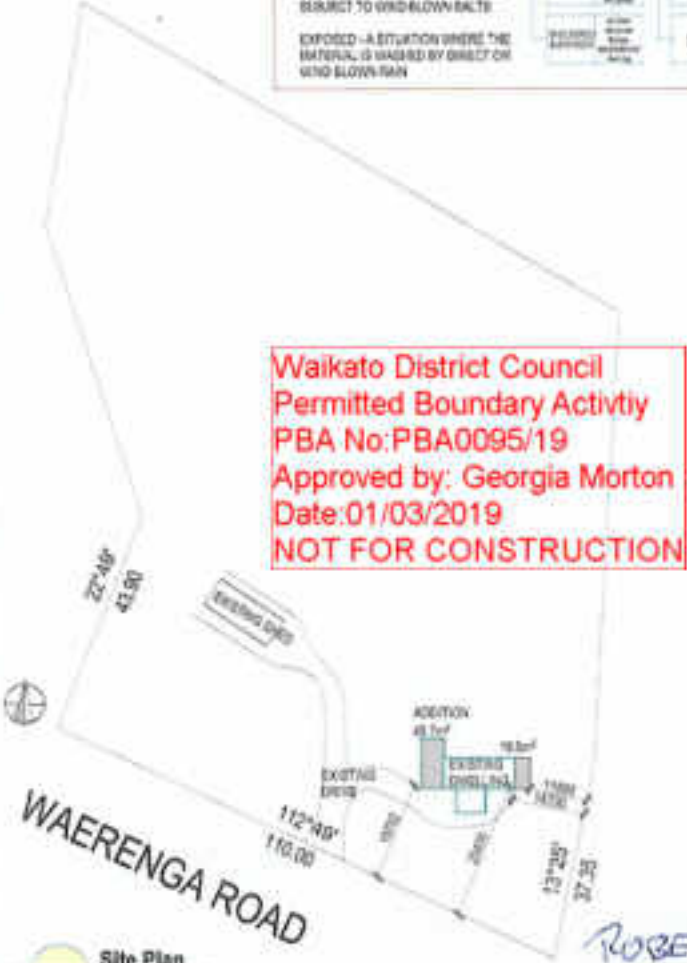
WINDOW MANUFACTURERS SHALL CHECK
ON SITE ALL WINDOW OPENING SIZES
PRIOR TO FABRICATION.

ALL PLUMBING AND DRAINAGE WORK
SHALL BE IN ACCORDANCE WITH NZS3808
REQUIREMENTS AND APPROVED
DOCUMENTS.

ALL DIMENSIONS TO BE CAPTAINED



Site Services
Scale 1:200



Site Plan
Scale 1:1000

ROBERT KUMARICH

Waikato District Council
Full Application Received
11/02/2019

OWNER	B. Pleasants	Permit No.	E 123428
Roll No.	439/476/2 - 1003484	Value of Permit	3,999.00
PARTICULARS OF LAND:		Type of Building	Implement shed
Lot No.	OPS 23789	Issued	20.6.78
Parish	Waerenga	Completed	OCT 1978
Riding		Builder	Modern Construction Ltd. &
Street		Address	P.O. Box 8018
District			Hamilton.
REMARKS			
HPW 67507			

Plan No 1655/1
 14.4 m Long
 3.6 Days
 35 m/s
 Exp 3
 Knee Height 3.000

WAIKATO COUNTY COUNCIL

Building Permit No. H123428 Plumbing Permit No. n/a Drainage Permit No. n/a

APPLICATION FOR BUILDING PERMIT

(Building By-law N.Z.S.S. 1900 Chapter 2)

To The Engineer,

Date 23-5-78

I hereby apply for permission to erect a Implement Shed
 at (Road or Street) Waerenga Rd Locality Te KAUWHATA
 for (Owner of Land) B. PLEASANTS (Present owned by E K Bliff Ltd)
 Postal Address HAMPTON DOWNS RD Te KAUWHATA

according to locality plan and detailed plans, elevation, cross-sections, and specifications of building deposited here-
 with in duplicate. Plan deposited Registry Office Auckland

Particulars of Land { as Plot No. 23998 D.P. 2418723789 Parish of Whangamano
 Allot No. 396 Block No. _____ S.D. _____

Valuation No. A39/47/2 Building Te KAUWHATA Area 39 acres 24 Hectares/Sq. Metres.

Area of Ground Floor _____ sq. m. Area other Floor (s) 414.72 sq. m. Area Outbuildings _____ sq. m.
 (Exterior measurement)

Estimated Value—INCLUSIVE OF LABOUR

Building — — — — \$ 3999 - =
 Plumbing — — — — \$ _____
 Drainage — — — — \$ _____

Total — — \$ 3999 - =

PERMIT FEES—

Building — — — — \$ 18 - 00
 Plumbing — — — — \$ _____
 Drainage — — — — \$ _____
 Levy — — — — \$ 4.00

Total — — \$ 22 - 00

FEES PAYABLE—SEE REVERSE SIDE OF FORM

Purposes for which every part of building is to be used or occupied (describing separately each part intended
 for use Storage
 or occupation for a separate purpose) _____

Nature of ground on which building is to be placed and of the subjacent strata Loam on Clay

Signature of Owner B. Pleasants

Name of Builder Modern Construction Ltd Address P.O. Box 8015

Lic. Plumber _____ Address _____

Lic. Drainlayer _____ Address _____

Date Issued 20-6-78

APPROVED—Building Inspector [Signature]

Health Inspector _____

Town Planning _____

Ledger Folio 1971

By cheque/cash _____

Date Receipt No. Amount Paid

19 31 73 1152 22 - 000.022.00

BUILDING PERMIT FEES

Estimated Value of Work	Fees	Estimated Value of Work	Fees
Not exceeding \$20	50c	Over \$5000 and not exceeding \$6000	\$31.00
Over \$20 and not exceeding \$200	\$1.00	Over \$6000 and not exceeding \$7000	\$37.00
Over \$200 and not exceeding \$400	\$2.00	Over \$7000 and not exceeding \$8000	\$38.00
Over \$400 and not exceeding \$600	\$3.00	Over \$8000 and not exceeding \$9000	\$39.00
Over \$600 and not exceeding \$800	\$4.00	Over \$9000 and not exceeding \$10000	\$39.00
Over \$800 and not exceeding \$1000	\$5.00	Over \$10000 and not exceeding \$12000	\$40.00
Over \$1000 and not exceeding \$1200	\$6.00	Over \$12000 and not exceeding \$14000	\$44.00
Over \$1200 and not exceeding \$1400	\$7.00	Over \$14000 and not exceeding \$16000	\$48.00
Over \$1400 and not exceeding \$1600	\$8.00	Over \$16000 and not exceeding \$18000	\$52.00
Over \$1600 and not exceeding \$1800	\$9.00	Over \$18000 and not exceeding \$20000	\$56.00
Over \$1800 and not exceeding \$2000	\$10.00	Over \$20000 and not exceeding \$25000	\$64.00
Over \$2000 and not exceeding \$2500	\$12.00	Over \$25000 and not exceeding \$30000	\$72.00
Over \$2500 and not exceeding \$3000	\$14.00	Over \$30000 and not exceeding \$35000	\$80.00
Over \$3000 and not exceeding \$3500	\$16.00	Over \$35000 and not exceeding \$40000	\$88.00
Over \$3500 and not exceeding \$4000	\$18.00	Over \$40000 and not exceeding \$50000	\$96.00
Over \$4000 and not exceeding \$5000	\$21.00		

For fees in excess of this value please inquire at the County Office.

BUILDING RESEARCH LEVY

\$0 - \$3,000 EXEMPT.

\$3,000 and over - ~~\$1.00~~ ^{\$1} per \$1,000 or part thereof on Total Value.**PLUMBING AND DRAINAGE FEE PAYABLE**

(Regulation 190/192 Reg. 09 (1))

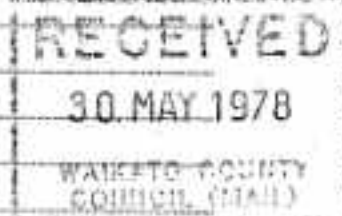
Estimated Value of Work	Fees	Estimated Value of work	Fees
Not exceeding \$50	\$1.00	Over \$400 and not exceeding \$500	\$6.00
Over \$50 and not exceeding \$100	\$2.00	Over \$500 and not exceeding \$600	\$8.00
Over \$100 and not exceeding \$200	\$3.00	Over \$600 and not exceeding \$1000	\$11.00
Over \$200 and not exceeding \$300	\$5.00	Over \$1000 and not exceeding \$1200	\$12.00
Over \$300 and not exceeding \$400	\$6.00		

Plus \$1.00 for every \$200 or part thereof in excess of \$1200.

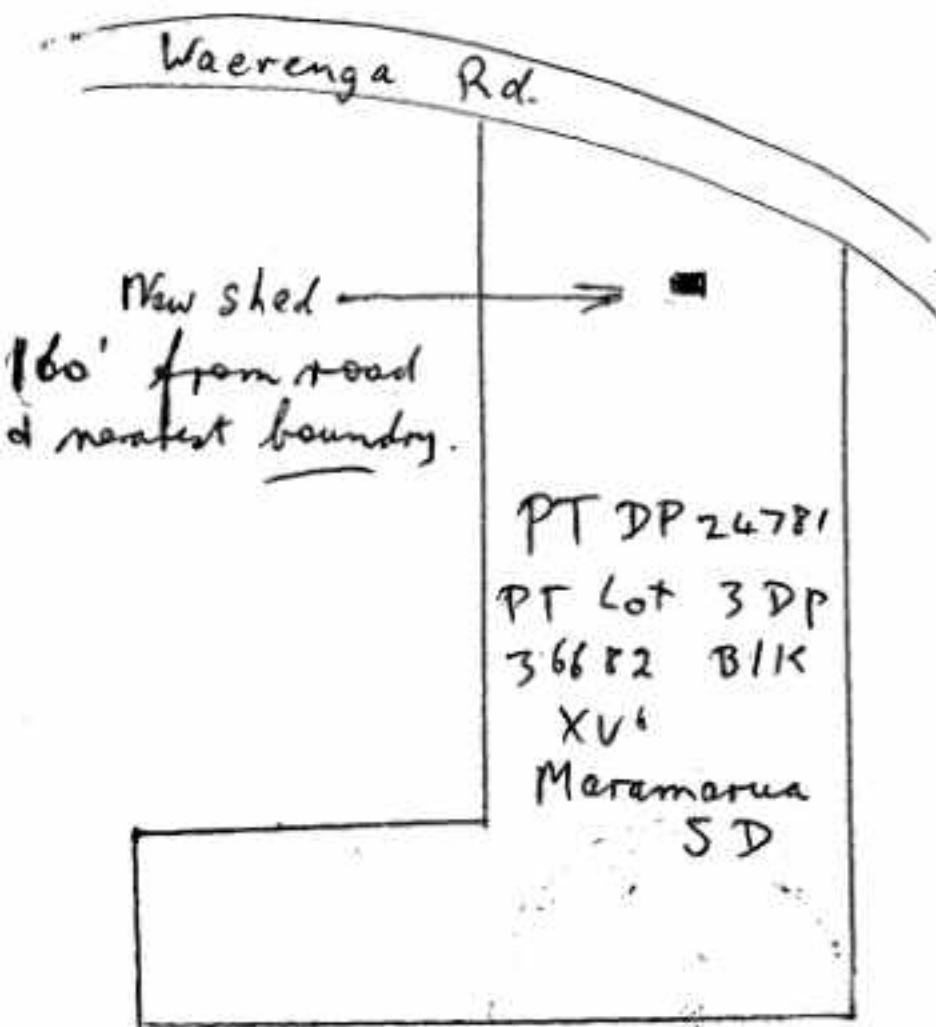
OFFICE USE ONLY:

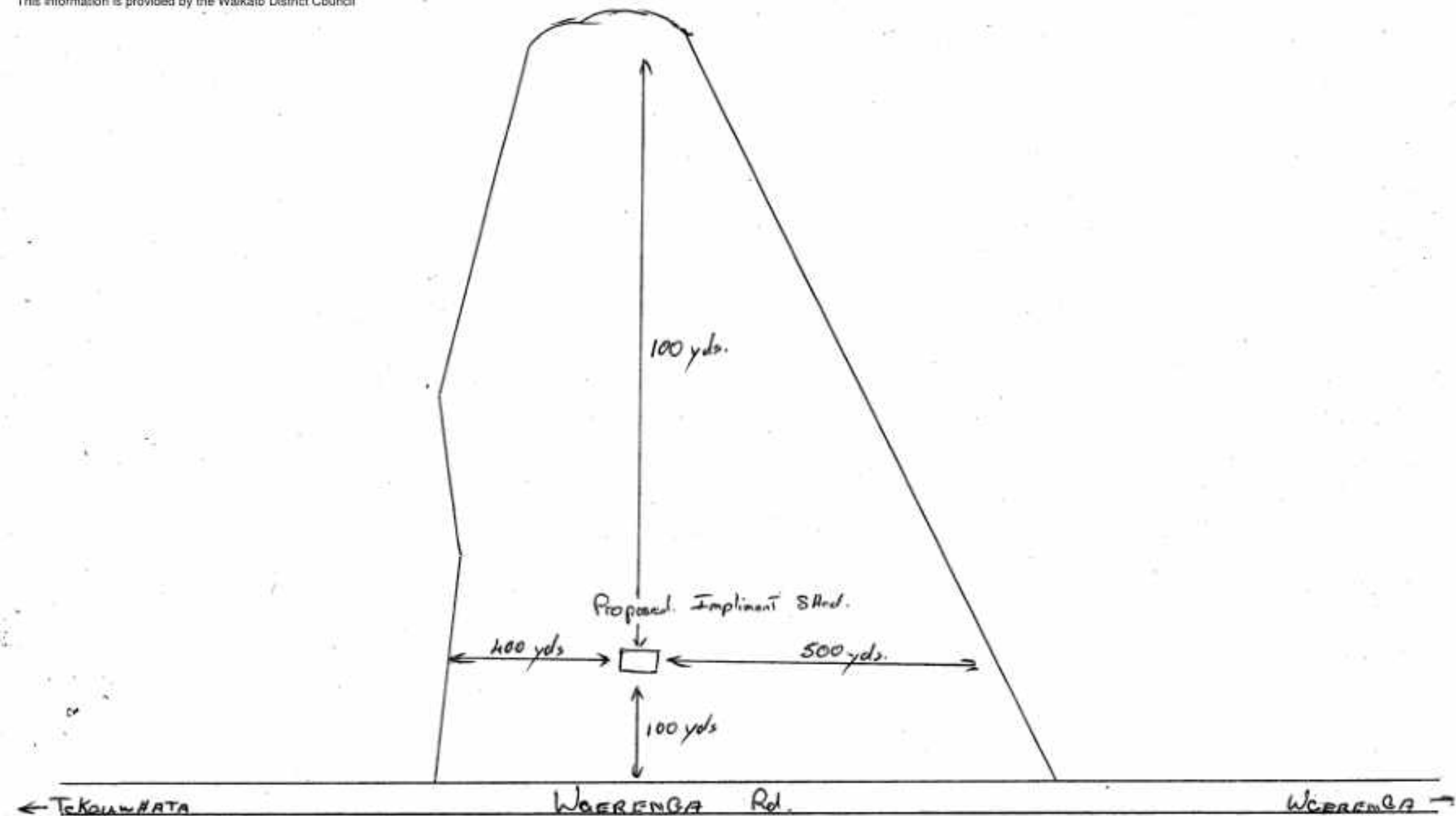
REFERRED ON _____ 19____ TO COUNTY ENGINEER FOR REQUIREMENTS REGARDING ACCESS, DRAINAGE, ROADING, SITING.

COMMENTS ARE: _____



Proposed shed site for C. D. Dean
No. 1 R.D.
Te Kauwhata





ITEM	DESCRIPTION OF WORK	QUANTITY	UNIT	LABOUR		MATERIALS	
				RATE	AMOUNT	RATE	AMOUNT
	<u>Brought Forward</u>						
42	Form opening through column for 100 x 10 m.s. canopy frame cleat.	1	NO	}			
	260 x 100 x 10 m.s. canopy frame cleat once drilled for 13 dia. erection bolt and profiled through and welded to column (Total mass 3 kg).	1	NO				1-35
	Form opening through column for 170 x 10 m.s. mezzanine floor beam cleat.	1	NO		4-95 11kg		
	570 x 170 x 10 m.s. mezzanine floor cleat four times drilled for 20 dia. bolts and profiled through and welded to column (Total mass 8 kg).	1	NO				3-60
	102 x 51 m.s. channel in fascia plate bearer welded to column.	6	kg				2-70
	Square cut end to last.	1	NO				
	Profile cut end of above to fascia plate.	1	NO				
	127 x 64 m.s. channel in crane beam bearers welded to column.	12	kg				5-40
	Square cut ends to last.	4	NO				
	Ex 127 x 64 x 10 m.s. stiffeners profiled to shape of and welded to bearers (Total mass 2 kg).	2	NO	}			7-80
	114 x 70 x 6 m.s. girt cleats twice drilled for 12 dia. bolts and welded to column (Total mass 2 kg).	4	NO		27kg 12-15		3-60
	Drill column for 20 dia. r.m.s. blockwork starters.	12	NO				
	20 dia. r.m.s. blockwork starter rods 760 long threaded through and welded to column (Total mass 23 kg).	12	NO				724-20
	127 x 127 x 6.3 R.H.S. in column.	184	kg			80	147-20
	Square cut end to last.	1	NO				
	<u>Carried Forward</u>						
	<u>Structural Steel</u>						

BUILDING INSPECTOR'S
FIELD SHEETAUTHORITY
WAIKATO COUNTY COUNCILStats. No. D 059441
No. 1865Inspector: M. _____
Receipt No. 37734File No. _____
23 JUN 1986

Date Permit Issued 23 / 6 / 86

OWNER

Name A. Dieasants,
Mailing Address Waerenga Road,
Te Kauwhata.

BUILDER

Name Spaceline Homes Ltd.,
Mailing Address P.O. Box 10-089,
Te Rapa.

PROPERTY ON WHICH BUILDING IS TO BE ERECTED/DEMOLISHED

SITE

Street No. _____
Street Name Waerenga Road
Town/District Te Kauwhata
Riding Waerenga

LEGAL DESCRIPTION

Valuation Roll No. 439/476/3
Lot Pt D.P. 23798
Section _____ Block _____
Survey District _____

DESCRIPTION OF PROPOSED WORK AND MAIN PURPOSE OF USE

Dwelling

FLOOR AREA

DWELLING UNITS

Whole Sq. Metres	87.68	Number Erected	
ESTIMATED VALUES \$	Building	40,674.00	
	Plumbing	1,700.00	
	Drainage	1,400.00	
	TOTAL	43,774.00	

NATURE OF PERMIT (TICK BOX)

- ☒ NEW BUILDING
- exclude domestic garages and domestic outbuildings
- ☐ FOUNDATIONS ONLY
- ☐ ALTERED, REPAIRED, EXTENDED
- include conversions and resited buildings
- ☐ NEW CONSTRUCTION
OTHER THAN BUILDINGS - include demolitions
- ☐ DOMESTIC GARAGES
AND DOMESTIC OUTBUILDINGS

FEES APPLICABLE

Building Permit	\$ 210.00	Water Connection	\$ _____	Receipt No. 37734
Street Damage Deposit	\$ 44.00	Vehicle Crossing Levy	\$ _____	Date of Payment 23 / 6 / 86
Building Research Levy	\$ 40.00	M.S. Plumbing	\$ _____	Authorized Officer _____
Plumbing	\$ 40.00			
Drainage	\$ 40.00			
Sewer Connection	\$ _____			
		TOTAL:	\$ 334.00	



Special Conditions:

- No work is to commence before the permit is uplifted.
- Plumbing and drainage permits will not be issued until the respective tradesmen make application.
- The following inspections are to be called for:-
 - Footing (prior to placement of concrete)
 - Pre-lining
 - Insulation

Date Inspected REMARKS (e.g. stage reached with work)

2-7-86

Siting OK ground hard. Foundation consists of
3 anchor piles + braced pile. Part
concreted now approved + 1 braced pile at the high

end down length of building *OK*
Subfloor bases not as yet bolted letter 16-2-88
to be set to owner.

All bolts in place - complete 13-12-88

Date Inspected

1965

458/476/3

B Tisch

17 June 1966

RT 100/100/100

A B Pleasants
Maerunga Road
R D 1
TE KAUHATA

Dear Sir/Madam

APPLICATION FOR RURAL DWELLING, MAERUNGA ROAD

You are advised that pursuant to a delegated authority, the following is the decision on your application for a Rural dwelling:

"That pursuant to Sections 47 and 88 of the Town and Country Planning Act 1977 and Ordinance 2.3.5.6 of the District Scheme, the Waikato County Council grants its consent to the erection of a second farm dwelling on Pt DP 22756 Whangamarino Parish on the grounds that the existing family home will be used as a retired farmers dwelling."

This decision has been made under the authority delegated to staff by Council. You are advised that you have a right to apply for a review of this decision by the Council, within one month of the receipt of this decision, if you are in any way dissatisfied with this decision.

Should you wish for a review of this decision please fill in the attached form and return it to this office no later than one month from the receipt of this decision.

Yours faithfully
G B Burton
COUNTY MANAGER
Per:



S H Dawson
COUNTY PLANNER

Valuation Reference: 439/476/3

- 1.1 Applicants: A B Pleasants
- 1.2 Application: Retired Farmers Dwelling - Second Farm Dwelling
- 1.3 Location: Waerenga Road, Te Kauwhata
- 1.4 Legal Description: Pt DP 23798 Whangamarino Parish
- 1.5 Zone: Rural A
- 1.6 Area: 15.8508 hectares

2.0 Background:

- 2.1 The applicant is the owner of the above described property. He is at present living in the existing dwelling on the property with his parents (who have now retired from active farming but wish to continue to live on the farm).

The second dwelling is required by the applicant who needs the house so that he can continue to live and work on the property and have a home available in the event of marriage.

- 2.2 The holding is progressively being established as a Kiwifruit orchard. Five hectares of Kiwifruit were planted on the property in 1984. A further 2 hectares are being planted this winter. Good progress is being made with the establishment of shelter belts. The established kiwifruit vines will yield a crop in 1987 and will be full production in 1988. The balance of the property is being used for the grazing of sheep.

3.0 The District Scheme:

Houses for retired farmers are permitted where the farmer is to remain on the farm property.

4.0 Planning Evaluation:

Although the applicant originally applied for a second farm dwelling this cannot on the face of it be justified because additional permanent labour is not being gained. However as the applicant's parents are now retiring from active farm work it seems reasonable to designate the existing farm house as a retired farmers dwelling. This then makes it possible to favour the request for an additional farm dwelling. Therefore it is recommended that this application be approved.

5.0 Recommendation

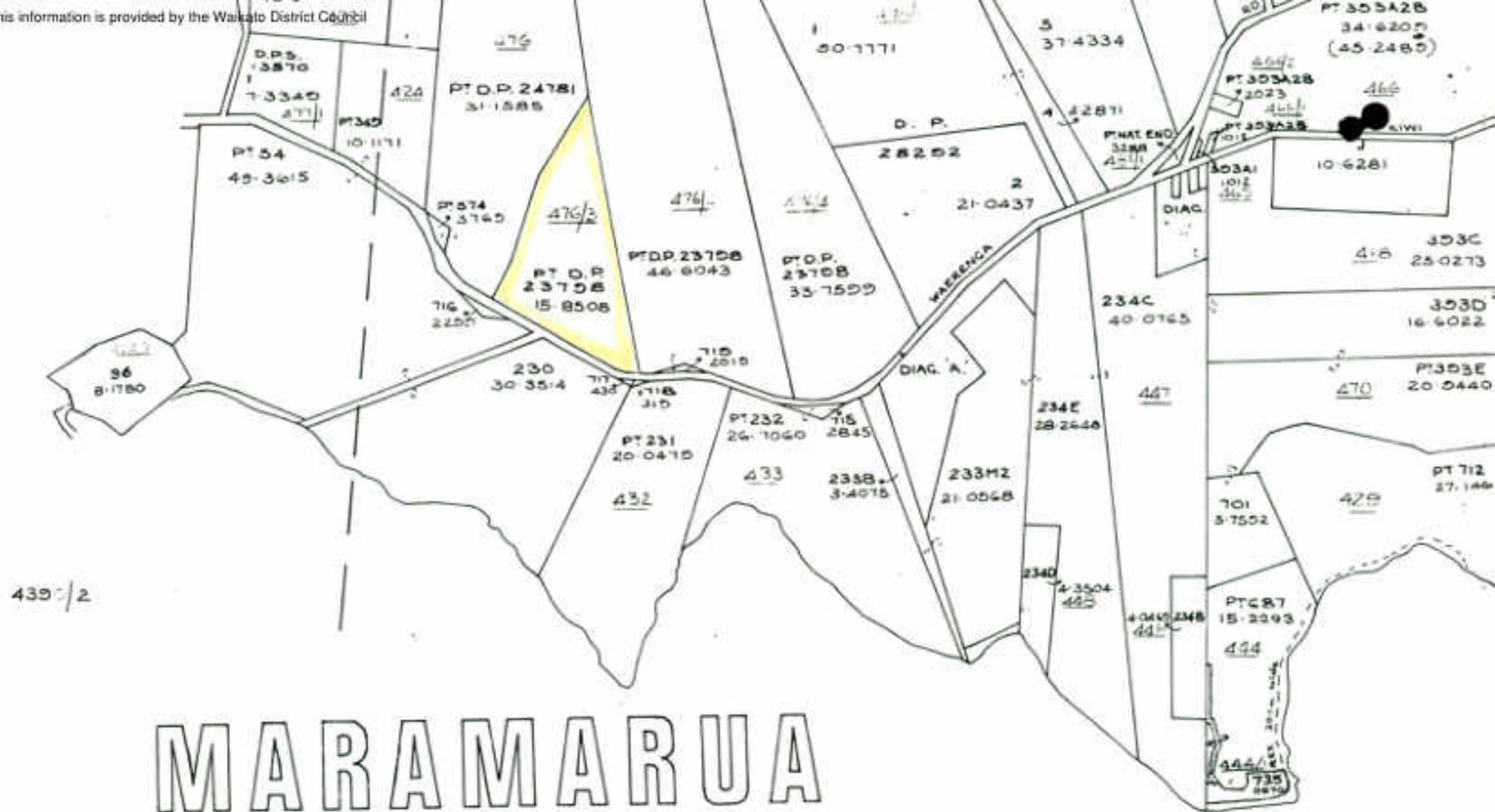
- " That pursuant to Sections 67 and 88 of the Town and Country Planning Act 1977 and Ordinance 2.1.5.6 of the District Scheme, the Waikato County Council grants its consent to the erection of a second farm dwelling on Pt DP 23798 Whangamarino Parish on the grounds that the existing family home will be used as a retired farmers dwelling. "

Approved/Declined pursuant to Delegated Authority

COUNTY PLANNER

17/00/16
DATE

Print Date: 17 June 2026, 4:25 pm



LAKE WAIKARE

MARAMARUA

S. D.

XVI

Lindsay Priest

LP:re451P

10 June 1981

Sir & Mrs A Pleasants,
Maerenga Road,
TE KAHARATA

Dear Sir/Madam,

re: Building Permit Application No: 1845
Type of Building: Second Farm Dwelling
Legal Description: Pt D.P. 23756
Location: Maerenga Road

Thank you for the above application.

Before a Building Permit can be issued, it will be necessary to obtain planning consent for an additional dwelling in a Rural zone.

Enclosed please find a copy of the District Scheme Policies and Standards for Dwellings in the Rural zones, and a non-notified planning application form. Please complete and sign this form and return it to this office as soon as possible. We require sufficient information regarding the present and proposed future development of the land, to enable us to determine the necessity for a dwelling to be erected on the site as an accessory to that use.

Please contact us if you have any queries with respect to this matter.

Yours faithfully,
S H Dawson,
COUNTY PLANNER
Per


L. J. Priest
PLANNING ASSISTANT

Encl

WAIKATO COUNTY COUNCIL

Roll No: 439/426/3

Plumbing Permit No:

Drainage Permit No: 1883ADate Issued: 1/7/80

APPLICATION FOR DRAINAGE/PLUMBING PERMIT

To the WAIKATO COUNTY COUNCIL

I hereby apply for permission to carry out Sanitary Plumbing and/or Drainage work.

at WAKARUSA RD (Street or Road) (District)for MR & MRS A. CHAPMAN, of (Owner) (Address)Particulars of land - Lot No: PT. D.P.: 23798 S.D.

Riding: Area of Site:

Nature of Building(s) and Description of Work: (General Description, Type etc)

Foulwater + Stormwater Damage to Driveway

PERMIT FEES:

Estimated cost of Plumbing \$

Estimated cost of Drainage \$

Total:

\$ -

FEES PAID

\$ -

Regd No: Licensed Plumber

Regd No: X Licensed Drainlayer X (Print)Signature: XPostal Address: XDate: X

This permit should be in the name of J.T. Wallace, 1 Waverley Rd, Takapuna.

I spoke with Mr Chapman on 30.6.80

APPLICATION APPROVED Date: Inspector

By cheque/cash

Date	Receipt No.	Amount Paid

Mr

Date	Receipt No.	Amount Paid

For Plumbing/Drainage Fee

WAIKATO COUNTY COUNCIL

WAIKATO COUNTY COUNCIL

Roll No: 429476/3
 Plumbing Permit No: 1222A
 Drainage Permit No:
 Date Issued: 1/7/85

APPLICATION FOR DRAINAGE/PLUMBING PERMIT

To the WAIKATO COUNTY COUNCIL

I hereby apply for permission to carry out Sanitary Plumbing and/or Drainage work.

at Waerenga Road (Street or Road) (District)

for A. Parsons (Owner) of (Address)

Particulars of land - Lot No: A.D.P. 23798 S.D.:

Riding: Area of Site:

Nature of Building(s) and Description of Work: (General Description, Type etc)

Sanitary Plumbing to Dwelling

Estimated cost of Plumbing \$

Estimated cost of Drainage \$

Total:

PERMIT FEES:

\$ 100.00
 \$
 \$
 \$

..... Regd No: X Licensed Plumber X

..... Regd No: Licensed Drainlayer

(Print)

Permits should be made in name of J.T. Wallen

1 Waerenga Rd

Ipkauruata

I spoke with Mr Parsons sep. 30.6.85

Signature: X

Postal Address: X

Date: X

APPLICATION APPROVED Date: Inspector

By cheque/cash

Date	Receipt No.	Amount Paid

Mr

.....

.....

.....

.....

For Plumbing/Drainage Fee

Date	Receipt No.	Amount Paid

WAIKATO COUNTY COUNCIL

Could you please get
your Plumber & Drainlayer
to complete these application
forms and return to this
Office as soon as possible

Thankyou.



WAIKATO COUNTY COUNCIL

With Compliments . . .

[Signature]

RECEIVED

30 JUN 1986
Hamilton East

COUNCIL CHAMBERS

Phone: 63-122

Private Bag
Hamilton

Plumbers
will now
be back today 30.6.86
if there is any
change.

[Signature]

FILE

WAIKATO COUNTY COUNCIL

Roll No: 439/4713
 Plumbing Permit No:
 Drainage Permit No: 7883A
 Date Issued:

APPLICATION FOR DRAINAGE/PLUMBING PERMIT

To the WAIKATO COUNTY COUNCIL

I hereby apply for permission to carry out Sanitary Plumbing and/or Drainage work.

at Waverley Rd
 (Street or Road) (District)

for D. Harvats of Waverley Rd
 (Owner) (Address)

Particulars of land - Lot No: Pt D.P.: 23798 S.D.:

..... Riding: Area of Site:

Nature of Building(s) and Description of Work:
 (General Description, Type etc)

..... Septic Tank & drainage from building

PERMIT FEES:

Estimated cost of Plumbing \$ \$ - .

Estimated cost of Drainage \$ \$ - .

Total: \$ - .

..... Regd No: 03987..... Licensed Plumber J. Wallace

..... Regd No: 03987..... Licensed Drainlayer J. Wallace

(Print)

Signature: J. Wallace

Postal Address: Waverley Rd

.....

Date: 11. 2. 86

APPLICATION APPROVED Date: Inspector

By cheque/cash

Date	Receipt No.	Amount Paid

Mr

.....

.....

.....

.....

For Plumbing/Drainage Fee

Date	Receipt No.	Amount Paid

FILE

Joanna
I think this
has already been
taken care of,
please check.

Trev

This has already been issued.

WAIKATO COUNTY COUNCIL

DRAINAGE PLAN

PROPERTY FILE No.

Permit No. _____

Lot No. P1 D.P. No. 23798 Riding _____

Owner: A Pleasant Address: Heavenly Rd

Type of Building: Dwelling

Drainlayer: J. Talbot Address: 1 Heavenly Rd

Date of Inspection: 11 4 86

NOTE:—Drain plans to be drawn in ink on the reverse side of this form shall be as hereunder:—

1. Drawn to a scale of 1/8in. to 1 ft unless otherwise agreed upon by the Inspector.
2. New drains to be drawn in red ink; existing drains in full black, where position is known.
3. New stormwater drains are to be drawn in green ink; existing stormwater drains in dotted black, where position is known.

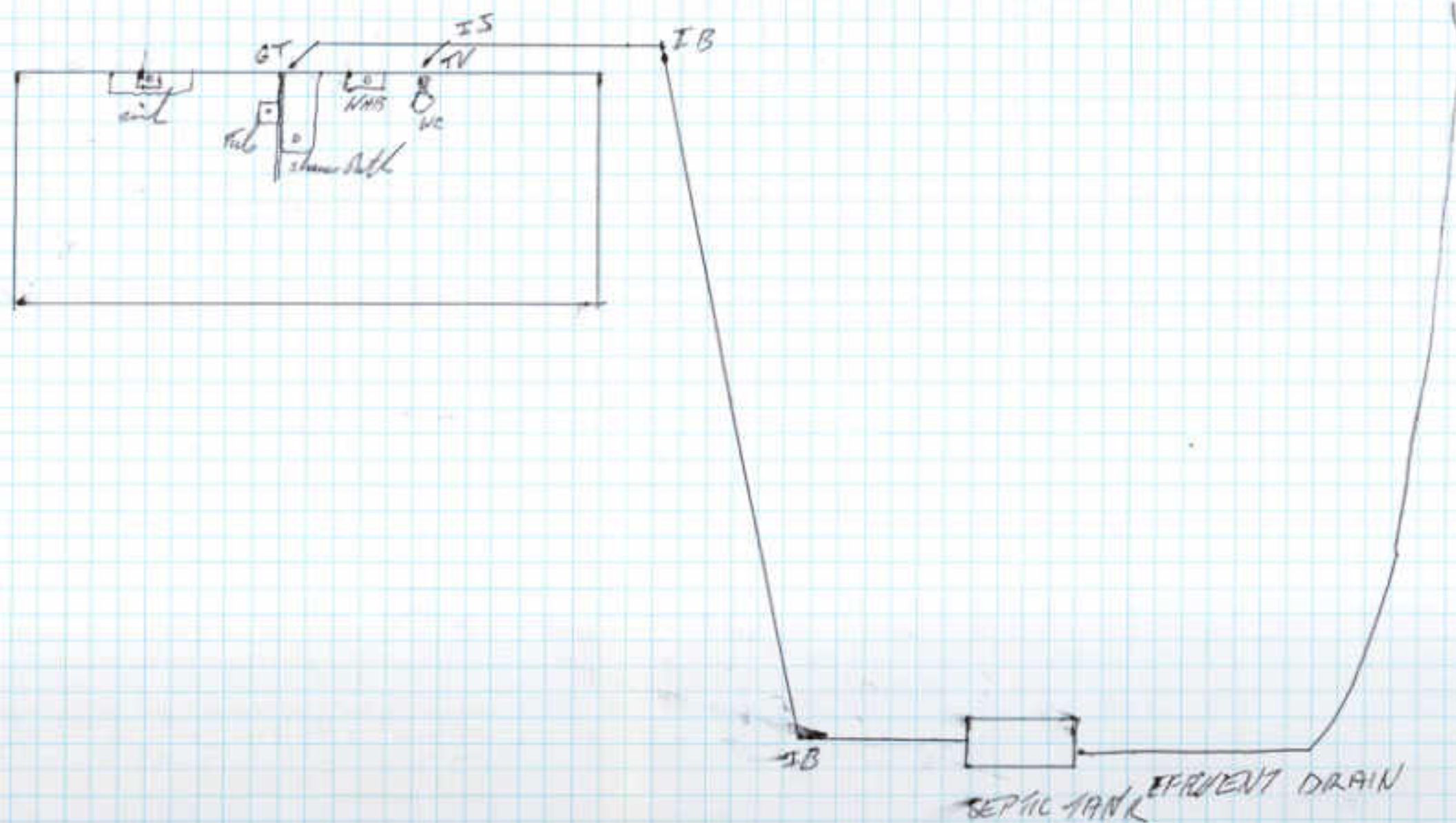
The plan shall also include: —

- (a) The details of the whole or part of the building, etc., to be drained.
- (b) The correct position of the whole or part of the building to be drained in relation to existing or proposed water supply sources, where they are known.
- (c) The correct position of the drain in relation to the building and the boundaries.
- (d) Where the frontage of the section lies.

Please note that in the Waikato County no inspection will be carried out of any drainage work that is not fully completed, including the placement and finishing of gully surrounds.

The drainlayer must be present, with a plan form completed, and the drain under a water test at the arranged time of inspection unless previous arrangements have been made with the Health Inspector.

INSPECTOR'S REPORT:



Inspector: M _____

File No. _____

Re: Plot No. **42768**Date Permit Issued **23 / 6 / 92**

OWNER

Name **A.B. PLEASANTS**Mailing Address **WAERENGA ROAD**
TE KAHUNA, R.D.1

BUILDER

Name **JOHN WALLACE**Mailing Address **WAERENGA ROAD**
TE KAHUNA**FILE**

PROPERTY ON WHICH BUILDING IS TO BE ERECTED/DEMOLISHED

SITE

Street No. _____

Street Name **WAERENGA ROAD**

Town/District _____

Ward _____

LEGAL DESCRIPTION

Valuation Roll No. **4396/476/3**Lot **PT** DP **23798**

Section _____ Block _____

Survey District _____

DESCRIPTION OF PROPOSED WORK AND MAIN PURPOSE OF USE

KENT FIORENZI HEATER

FLOOR AREA

DWELLING UNITS

Whole
Sq. MetresNumber
ErectedESTIMATED
VALUES
\$Building
Plumbing
Drainage
G.S.T.
TOTAL**1,400.00**
00
1,400.00
00

NATURE OF PERMIT (TICK BOX)

- ☐ NEW BUILDING
— include domestic garages and domestic outbuildings
- ☐ FOUNDATIONS ONLY
- ☒ ALTERED, REPAIRED, EXTENDED, CONVERTED, REWIRED
— include installation of heating appliances
- ☐ NEW CONSTRUCTION
OTHER THAN BUILDINGS — include demolition
- ☐ DOMESTIC GARAGES
AND DOMESTIC OUTBUILDINGS

FEES APPLICABLE

Building Permit	\$ 90.00	Water Connection ...	\$ _____
Street Damage Deposit ..	\$ _____		\$ _____
Building Research Levy ..	\$ _____		\$ _____
Plumbing	\$ _____		\$ _____
Drainage	\$ _____		\$ _____
Sewer Connection	\$ _____		\$ _____
Vehicle Crossing Levy ...	\$ _____	G.S.T.	\$ _____
M.S. Plumbing	\$ _____	TOTAL	\$ 90.00

Receipt No. **42768**

Date of Payment **23 / 6 / 92**

Authorised Officer *[Signature]*

Special Conditions:

- HEATER TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
- COUNCIL IS TO BE CALLED TO INSPECT APPLIANCE PRIOR TO IT BEING USED.
- THE CEILING PLATE IS NOT TO BE FIXED UNTIL APPLIANCE HAS BEEN INSPECTED.
- WHERE HEAT SHIELDS ARE REQUIRED, SPACERS ARE TO BE OF NON-COMBUSTIBLE MATERIAL
E.G. NOT TIMBER.
- RETBACK INSTALLATION NOT COVERED BY THIS APPLICATION.

Date Inspected

REMARKS (e.g. stage reached with work)

23/6/92*[Signature]*



Please lodge your application or make your enquiry at one of the following Service Centres:

Raglan: Bow Street, Raglan. Phone: (071) 238-129
 Ngarewaha: 114 Great South Road, Ngarewaha. Phone: (071) 248-433
 Hamilton: 1 Clyde Street, Hamilton East. Phone: (071) 563-199
 Huntly: 156 Main Road, Huntly. Phone: (0817) 87-551 or 87-552

CHIMNEY PERMIT APPLICATION :

WITH PLUMBING APPLICATION
 (Building By-law NZSS 1900 Chapter 2)

Received by:
 Time: 15 JUN 1992 EOD

Only to:
 Instructions:

Section A: To be completed by Applicant
 Please read carefully and fill in all relevant details

NAME OF OWNER A.B. PLEASANTS

Address WAKENGA RD.

TE KAWAHATA RD 21

Phone 0817 53291 Signature A.B. Pleasants

Name of Installer John Wallace

Address Worren Rd.

TE KAWAHATA Reg No.

Phone Signature

Name of Previous Owner N/A

Location of property Worren Rd., Te Kawahata

Legal Description

Lot 17 DFR 23798

Valuation Roll No. 4390/476/3

Type of Appliance KENT FIRE (Fireplace)

(Brand name, type of chimney or heater)

Weatherback to be fitted ☐ YES ☒ NO

(Please tick)

(Plumbing application required if Yes - See Over)

Estimated Value Chimney or appliance \$ 1400

(Inc GST) Plumbing \$ 100

Total \$ 1500

PLUMBING PERMIT No.	APPLICATION No. <u>020</u>
I WISH TO UPLIFT THE PERMIT AT: <u>Past Out</u>	CHIMNEY PERMIT No. <u>K14077</u>

Received \$ 40.00 Receipt No. 42718

Received by P. Pleasants 15/6/92

SECTION B: Office use only

Fees 505.76.020.00

Building \$ 90.00

Plumbing \$

Total (Inc GST) \$ 90.00

GST Content \$ 10.00

Approved

Building Inspector

Date

Plumbing Inspector [Signature]

Date 14/6/92

NOTES (Installation to be in accordance with NZS 1900 Chapter 7 or NZS 7421)
 (Weatherback to be installed to comply with NZS 4603)

1. Application and supporting data to be in duplicate
2. Floor plan of room required showing position of heater in relation to window and door openings.
3. Construction details, or manufacturers installation details required
 (Chimney) (Solid fuel heater)

PLUMBING

APPLICATION FOR A PLUMBING PERMIT

I hereby apply for permission to carry out the Sanitary Plumbing work which is required with the Building Work and as detailed on the information submitted with this attached Chimney Permit Application.

Qualified Plumber
(Please print)

Registered No

Postal Address
.....

Signed by Qualified Plumber Date

Application Approved Date

NOTE A plumbing permit for this work will be forwarded to this Plumber upon approval being given.

Te Rauwharua R.D.I.

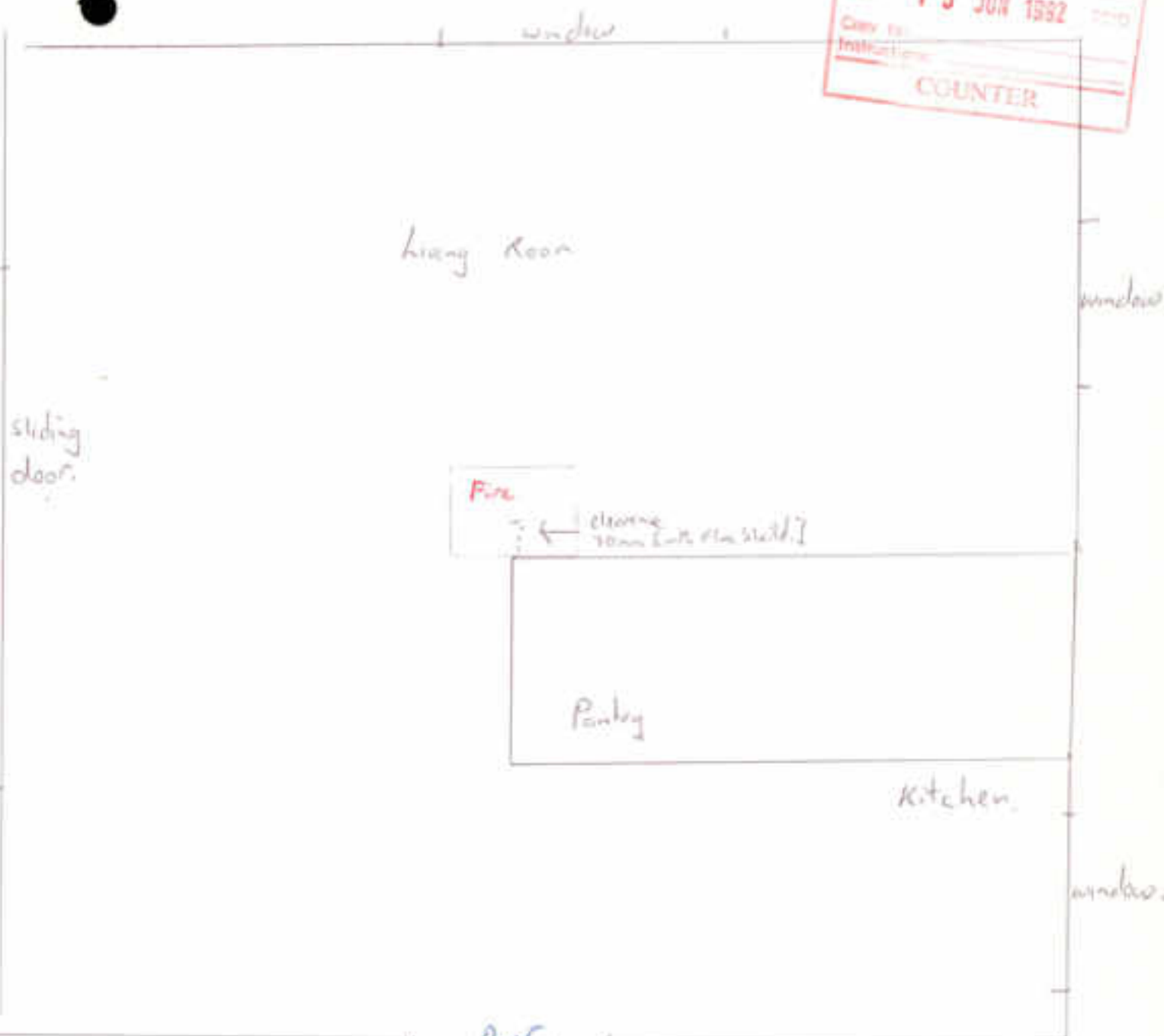
Log Fire Installation

Waikato District Council

Received at
Time: 15 JUN 1992 10:10

By: [Signature]
Instructions: [Signature]

COUNTER



Manufactured Specis

Cleances

Rear [with Fire Shield] 70mm

Side ["] 200mm

Heath Post 400mm

Min heath size 835x800

Corridor

KENT FIORENZI

15 JUL 1992

Time for
Publication

COUNTER

The Fiorenzi fire has been designed with space saving in mind, for the lower heating demands required by smaller homes, townhouses and holiday homes. The Fiorenzi available in a range of colours, has proven the popular replacement for a "Pot Belly" stove.



KENT FIAMMA

The Fiamma is similar in all respects to the popular Fiorenzi fire. The addition of an attractive plinth base provides an aesthetic alternative.





CODE COMPLIANCE CERTIFICATE NUMBER: 85524
 Section 43(3) Building Act 1991
 ISSUED BY WAIKATO DISTRICT COUNCIL
 BUILDING CONSENT NUMBER: 85524

(Insert a tick in each applicable box. Attach relevant documents.)

POST TO	PROJECT
Owner: YOUNG, PHILIP JOHN	Stage Number of an intended stages of:
Address: WAERENGA ROAD, TE KAUWHATA, WHANGAMARINO WA	New or relocated building ☒
	Alteration ☐
	Other ☐
PROJECT LOCATION	Intended use(s) (in detail): ERECT A CARPORT
WAERENGA ROAD, TE KAUWHATA, WHANGAMARINO WA	
LEGAL DESCRIPTION	Intended life:
Property Number: 1003485	Indefinite, but not less than 50 years ☐
Valuation Roll Number: 04390 47603	Specified as 20 years ☐
Legal Desc: PT DP 23798 BLK XVI MARAMARUA SD	Demolition ☐

This is:

- ☐ A final code compliance certificate issued in respect of all of the building work under the above building consent.
- ☐ An interim code compliance certificate in respect of part only, as specified below and in the attached particulars, of the building work under the above building consent.
- ☒ This certificate is issued subject to the conditions specified below and in the attached pages(s) headed "Conditions of Code of Compliance Certificate Number 85524" (being this certificate).

1. Stormwater to be disposed of into existing system or soakholes.

FILE

Signed for and on behalf of the Council:

Name:

Signature:

Position:

Building Control Officer

Date: 26-5-95



BUILDING CONSENT NO. ABA 85524

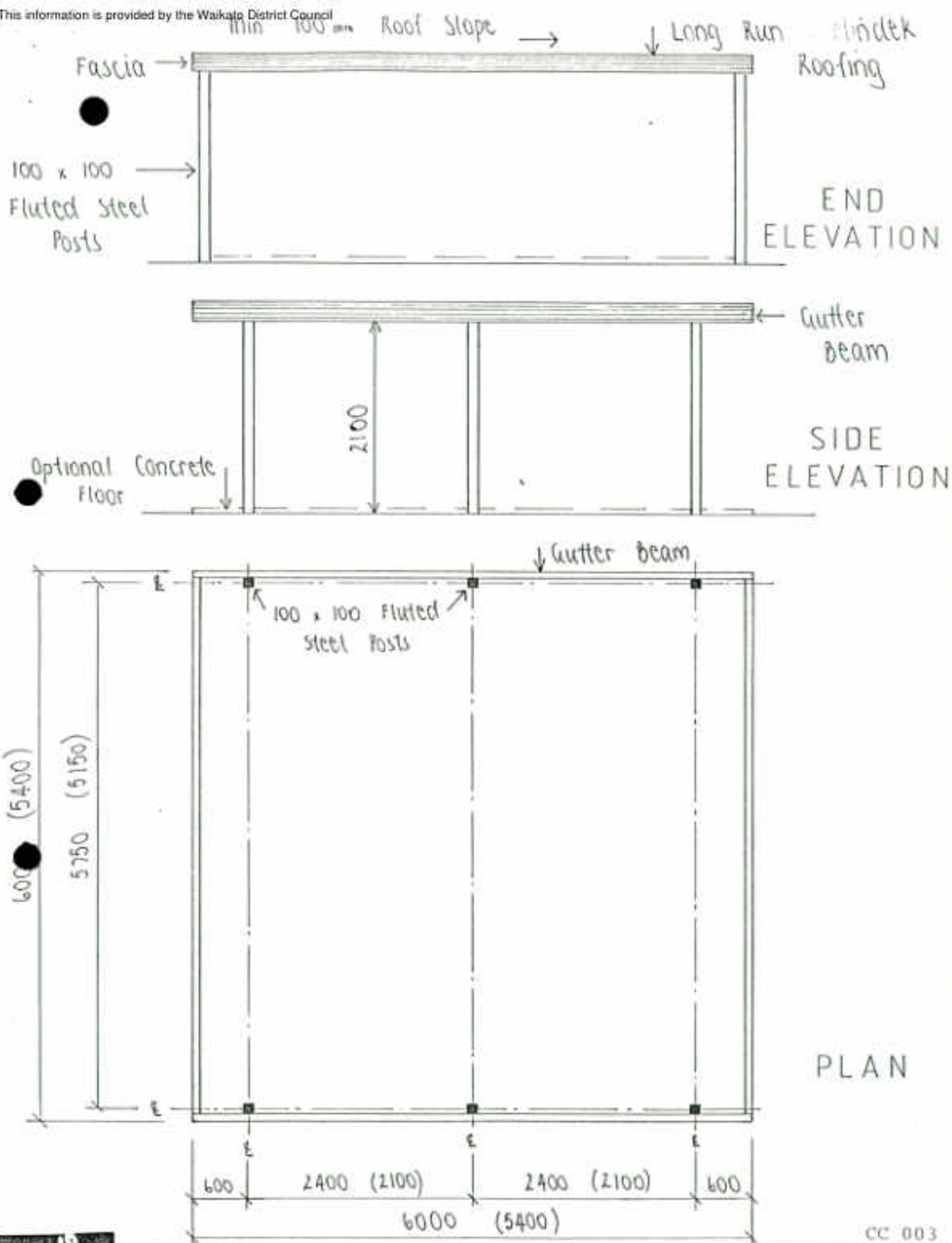
Section 35, Building Act 1991

ISSUED BY: WAIKATO DISTRICT COUNCIL

APPLICANT	PROJECT
Name: YOUNG, PHILIP JOHN Mailing Address: WAERENGA RD, R D 1, TE KAUWHATA	All ☒ Stage No of an intended stages
PROJECT LOCATION	
Street Address: WAERENGA ROAD, WHANGAMARINO WA	New Building ☒ Alteration ☐ Demolition ☐
LEGAL DESCRIPTION	
Property Number: 1003485 Valuation Roll No: 04390 47603 Legal Description: PT DP 23798 BLK XVI MARAMARUA SD	Intended Use(s) in detail: ERECT A CARPORT Intended Life: Indefinite, not less than 50 years ☐ Specified as 20 years ☒ Estimated Value: \$ 3995
COUNCIL CHARGES	
The balance of Council's charges payable on uplifting of this building consent, in accordance with the tax invoice are: Total: \$260.00 ALL FEES ARE GST INCLUSIVE	Signed for and on behalf of the Council Name: J E Smith Position: Administration Date: 23/2/20

This building consent is a consent under the Building Act 1991 to undertake building work in accordance with the attached plans and specifications so as to comply with the provisions of the building code. It does not affect any duty or responsibility under any other Act not permit any breach of any other Act.

This building consent is issued subject to the conditions specified in the attached pages headed "Conditions of Building Consent No"



CARPORTS

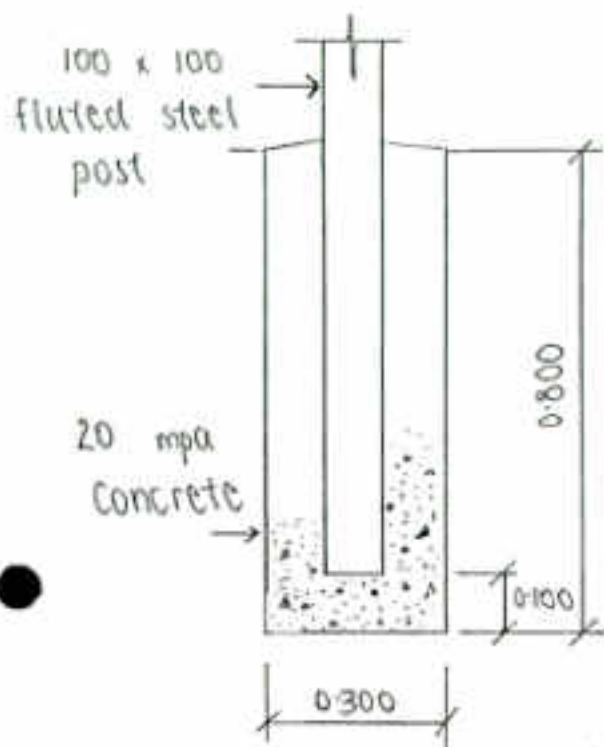
COPYRIGHT RESERVED ©

Project:	
Title:	Floor Plan and Elevations Double Carport
Print Date:	17 June 2026, 4:25 pm

CC 003

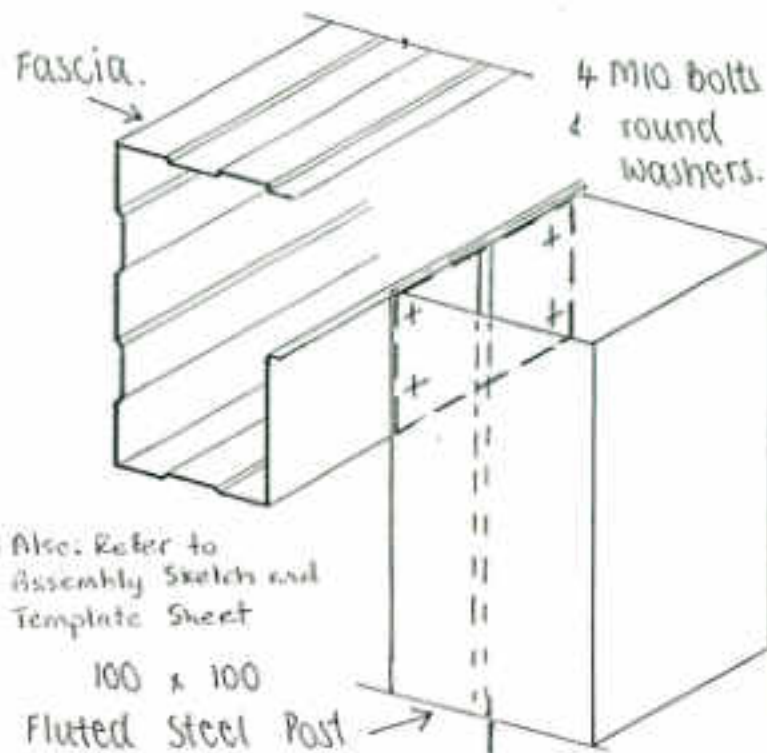
CLE FOUNDATION

DETAIL

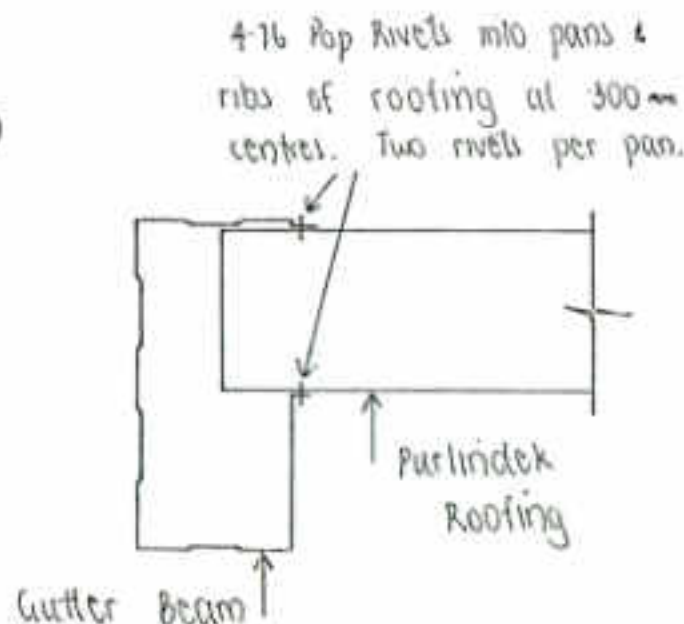


SCALE 112

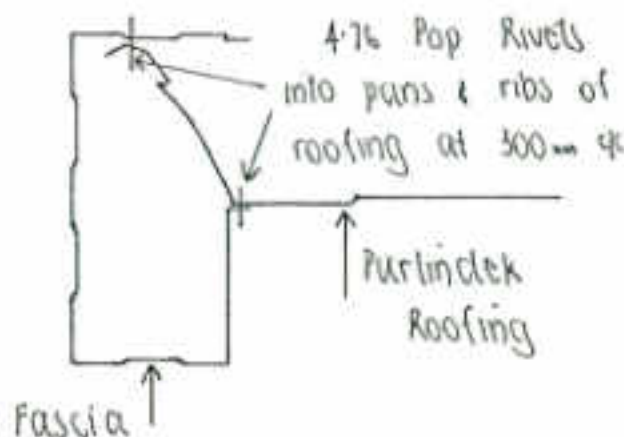
GUTTER BEAM TO
POLE FIXING



ROOFING TO GUTTER
BEAM FIXING



ROOFING TO FASCIA FIXING



CC 002

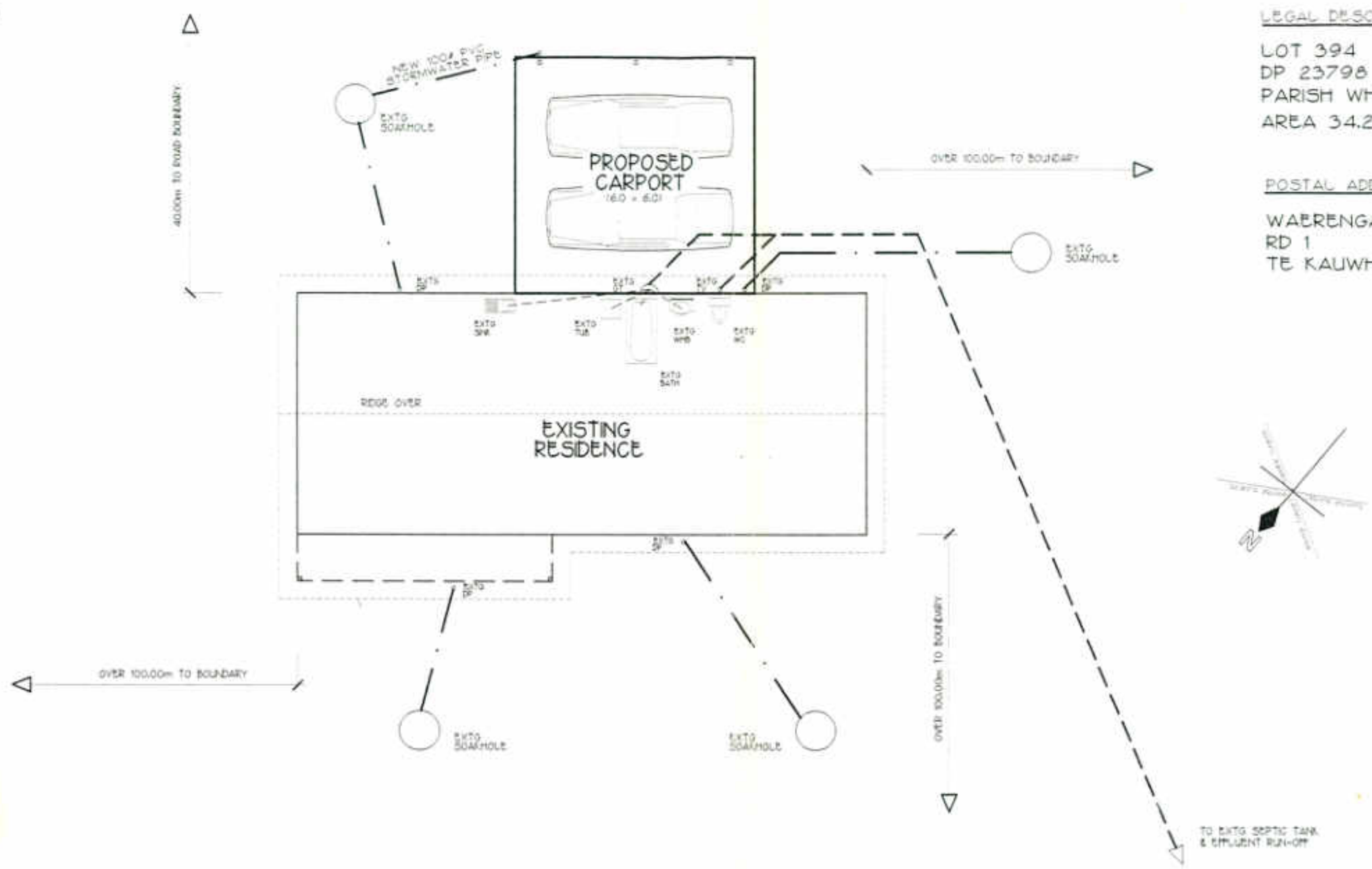
CARPORTS

COPYRIGHT RESERVED ©

Agent:

Title :	Foundation and Fixing Details
---------	-------------------------------

Print Date: 17 June 2026 4:25 pm



LEGAL DESCRIPTION
LOT 394
DP 23798
PARISH WHANGAMARINO
AREA 34.20 ha

POSTAL ADDRESS
WAERENGA ROAD
RD 1
TE KAUWHATA

PROPOSED CARPORT, FOR MR & MRS YOUNG,
AT WAERENGA ROAD, TE KAUWHATA

 GLASGOW DESIGN LTD PO BOX 120 PAPAURA E GATLAND RD PAPAURA PH & FAX 2997407	TITLE: SITE PLAN		SHEET: 1.
	DRAWN: DARRIN	JOB No: 9411-678-1	DWG: 1 OF 1
DATE: NOV 94		SCALE: 1:100	

Association
Consulting
Engineers of
New Zealand

New Zealand
Institute of
Architects

Institution
Professional
Engineers of
New Zealand

P.I.M. No.

Building Regulation Clause(s)

PRODUCER STATEMENT - DESIGN

(Guidance notes on the use of this form are printed on the reverse side)

ISSUED BY: ROGER LEONARD RICHARDSON
(Specially qualified Design Professional)TO: FORMSTEEL INDUSTRIES
(Owner)IN RESPECT OF: PROPOSED CARPORT - BEAMS, POSTS, FOOTINGS
(Description of Building Work)

AT:

LOT DP SO

HARDSON STEVENS CONSULTANTS has been engaged by OWNER
(Design Firm) (Owner/Developer/Contractor)to provide STRUCTURAL ENGINEERING services in respect of the
(Extent of Engagement)requirements of Clause(s) 31 STRUCTURE of the Building Regulations 1992 for☐ All☒ Part only as specifiedof the building work. The design has been prepared in accordance with VM 1
(Verification method(s)/acceptable solution(s))

(respectively) of the approved documents issued by the Building Industry Authority and the work is described on

FORMSTEEL INDUSTRIES drawings titled Formsteel Carport
(Design Firm)(AND CALCULATIONS DATED 25/6/93)
and numbered and the specification and other documents according to which the

building is proposed to be constructed.

As an independent design professional covered by a current policy of Professional Indemnity Insurance to a minimum value of \$200,000, I BELIEVE ON REASONABLE GROUNDS that subject to:

(i) the verification of the following design assumptions Refer Calculationsand (ii) all proprietary products meeting the performance specification requirements,
the drawings, specifications, and other documents according to which the building is proposed to be constructed comply with the relevant provisions of the building code.R. Richardson
(Signature specially qualified Design Professional)C. ENG. M. I. STRICT. E. M. PENZ, Reg. Eng.
(Professional Qualification)2 SEAVIEW RD. WHANGAREI
(Address)Date 13/9/94ERB/AERB Reg No. 4832Member ACENZ ☒IPENZ ☒ NZIA ☐

This form to accompany Form 3 of the Building Regulations 1992 for the application of a Building Consent.

23/5/92 - Final 5 line - fourth draft for comment

FILED COPY



FINAL CODE COMPLIANCE CERTIFICATE

Section 43(3) Building Act 1991

ISSUED BY THE WAIKATO DISTRICT COUNCIL

BUILDING CONSENT NUMBER: FAST0055/04

APPLICANT:	PROJECT
Name & Address: P J Young, J A Young 229 Waerenga Rd R D 1 TE KAUWHATA 2152	Heater Intended use(s) in detail: Heater
CONTRACTOR:	
Name & Address: Huntly Plumbers Limited 27 Ralph Road HUNTLY 2191	Intended life: 5 Years
PROJECT LOCATION:	
229 Waerenga Road TE KAUWHATA 2152	
LEGAL DESCRIPTION:	
Property Number: 1003485 Valuation Roll Number: 04390/476.03 Legal Description: LOT 1 DPS 79280	

This is a final Code Compliance Certificate issued in respect of all the building work under the above building consent.

Signed for and on behalf of Council:

Signature: 

Name: Donna Proud

Position: Environmental Administration

Date: 21 April 2004

**BUILDING CONSENT NO: FAST0055/04**

Section 35, Building Act 1991

ISSUED BY: WAIKATO DISTRICT COUNCIL

APPLICANT	PROJECT
Name & Address: P J Young, J A Young 229 Waerenga Rd R D 1 TE KAUWHATA 2152	Heater
CONTACT	CATEGORY
Name & Address: Huntly Plumbers Limited C/- P O Box 156 HUNTLY	Heater Intended Life: 50 Year(s) Indefinite but not less than 50 years ☐
PROJECT LOCATION	Total Estimated Value: \$ 2800
Street Address: 229 Waerenga Road TE KAUWHATA 2152	
LEGAL DESCRIPTION	
Property Number: 1003485 Valuation Number: 04390/476.03 Legal Description: LOT 1 DPS 79280	
COUNCIL CHARGES	
The balance of Council's charges payable on uplifting of this building consent, in accordance with the tax invoice are: Total: \$0.00 ALL FEES ARE GST INCLUSIVE	Signed for and on behalf of the Council:  Anne Saunders ENVIRONMENTAL ADMINISTRATION Date: 14 April 2004

The building consent is a consent under the Building Act 1991 to undertake building work in accordance with the attached plans and specifications so as to comply with the provisions of the building code. It does not affect any duty or responsibility under any other Act nor permit any breach of any other Act.

This building consent is issued subject to the conditions specified in the attached 2 pages headed "Conditions of Building Consent FAST0055/04".

Waikato District Council
Conditions of Building Consent Certificate No: FAST0055/04

The Building Consent Certificate is issued subject to the following conditions:

1. Lapse and cancellation of building consent. This building consent shall lapse and be of no effect if:

The building work concerned has not been commenced within 6 calendar months after the date of issue of the consent; or

Reasonable progress on the building work has not been made within 12 calendar months after work has commenced.

The Council can exercise its discretion in either case.
2. 24 hours' notice shall be required for all mandatory inspections including:

Final Inspection to be called for (the owner or builder shall be on site at the time of inspection)
3. The heating appliance shall be installed in accordance with the manufacturer's instructions. The applicant shall inform the Council when the installation is ready to be inspected. The heating appliance shall be inspected prior to its being used. The ceiling plate is not to be fixed until the appliance has been inspected. Where heat shields are required, spacers shall be of a non-combustible material, i.e. not timber.
4. The concrete hearth shall be a minimum of 65mm thick and secured on all four sides in accordance with the New Zealand Building Code 1991.
5. The flue shall comply with NZS 7421, 1990, for sheet metal chimneys.
6. Inbuilt and free standing heaters shall be bolted to the hearth to prevent seismic movement.

Date: 14 April 2004

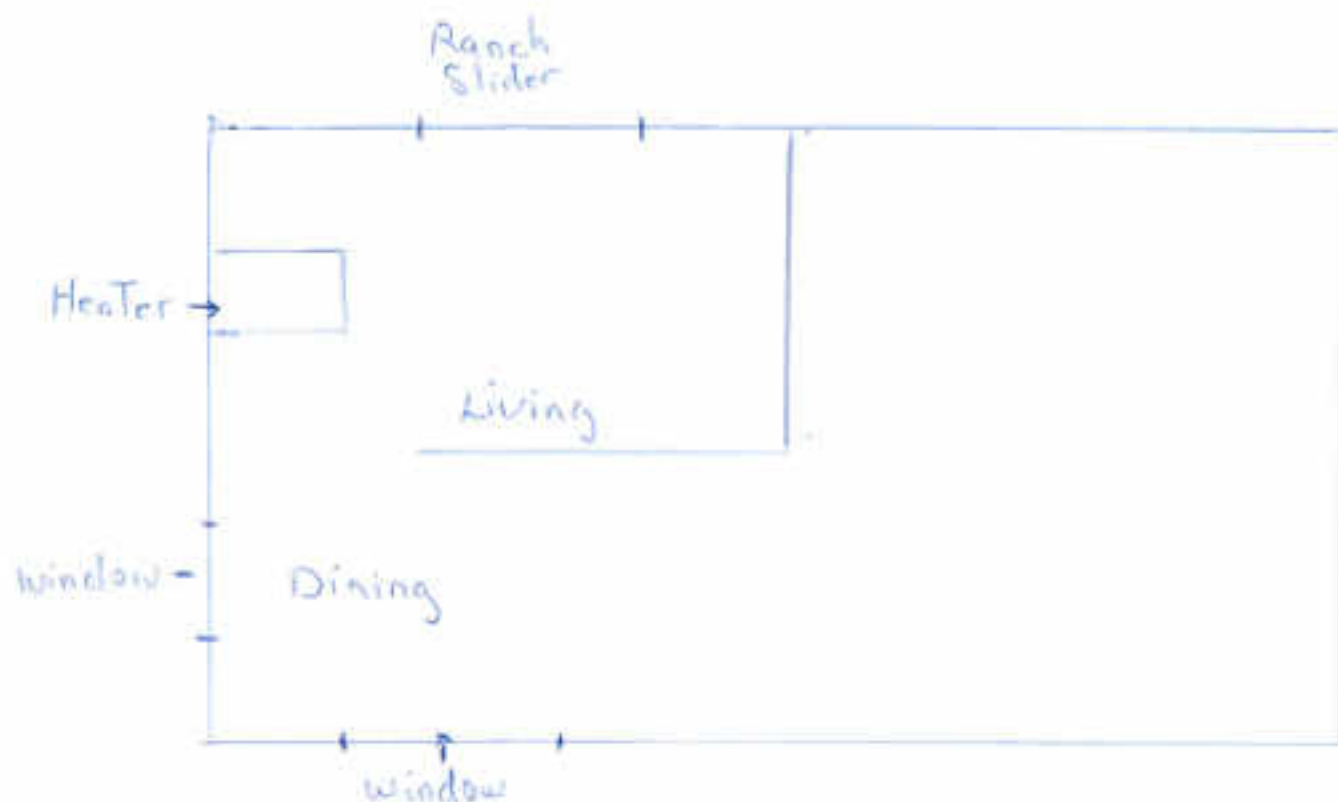
Signed:



Anthony Krippner
Waikato District Council

Philip + Julie Young 229 Waeranga Rd Te Kauhata

Ph 8263692



**SMOKE ALARMS NOW REQUIRED
(BUILDING CODE CLAUSE F7).
CONTACT YOUR LOCAL FIRE
SERVICE FOR FREE ADVICE.**



Form 7
CODE COMPLIANCE CERTIFICATE
Section 95 Building Act 2004

The Building

Street address of building:	229 Waerenga Road TE KAUWHATA
Legal description of land where building is located:	LOT 1 DP 357027 BLK XVI MARAMARUA SD
Valuation number:	04390/476.03
Property number:	1003485
Building name:	N/A
Location of building within site/block number:	N/A
Level/unit number:	N/A
Current, lawfully established, use:	Detached Dwellings
Number of occupants per level and per use if more than 1:	N/A
Year first constructed:	1980's

The Owner

Name of owner:	R D Young, J L Young
Mailing address:	229 Waerenga Road, RD 1, Te Kauwhata 3781

Street address/registered office: N/A

Phone numbers:

Landline:	N/A	Mobile:	027-6364048
Daytime:	N/A	After hours:	N/A
Facsimile number:	N/A	Email address:	jess@youngcontracting.co.nz
Website:	N/A		

First point of contact for communications with the building consent authority

Name:	Albert van Vliet Architectural
Mailing address:	PO Box 1020, Pukekohe 2340

Phone numbers:

Landline:	09-2384648	Mobile:	021-684954
Facsimile number:	09-2384649	Email address:	albert@avva.co.nz; paul@avva.co.nz

Building Work:

Project:	Extend and reconfigure existing dwelling
Building consent number:	BLD1012/19
Issued by:	Waikato District Council

Code Compliance

The building consent authority named below is satisfied, on reasonable grounds, that —

- (a) the building work complies with the building consent

Signature:

Name:	Anthony Krippner
Position:	Building Inspector
On behalf of:	Waikato District Council

Date: 25 November 2022



Form 5
BUILDING CONSENT NO: BLD1012/19
Section 51, Building Act 2004
ISSUED BY: WAIKATO DISTRICT COUNCIL

The Building

Street address of building:	229 Waerenga Road TE KAUWHATA
Legal description of land where building is located:	LOT 1 DP 357027 BLK XVI
MARAMARUA SD	
Valuation Number: 04390/476.03	Property Number: 1003485
Building name:	N/A
Location of building within site/block number:	N/A
Level/unit number:	N/A

The Owner

Name of owner:	R D Young, J L Kingsland
Contact person:	Ryan Young & Jess Young
Mailing Address:	229 Waerenga Road, RD 1, Te Kauwhata 3781

Street address/registered office: N/A

Phone numbers:

Landline:	N/A	Mobile:	027-6364048
Daytime:	N/A	After hours:	N/A
Facsimile number:	N/A	Email address:	jess@youngcontracting.co.nz
Website:	N/A		

First point of contact for communications with the Building Consent Authority

Full Name of Person:	Albert van Vliet Architectural
Mailing Address:	PO Box 1020, Pukekohe 2340

Phone numbers:

Landline:	09-2384648	Mobile:	021-684954
Daytime:	09-2384648	Fax number:	09-2384649
Email address:	paul@avva.co.nz		

Building Work

The following building work is authorised by this building consent:

Extend and reconfigure existing dwelling

Project type:	Dwelling Additions	\$150,000
Total Value of work:		\$150,000

This building consent is issued under Section 51 of the Building Act 2004. This building consent does not relieve the owner of the building (or proposed building) of any duty or responsibility under any other Act relating to or affecting the building (or proposed building).

This building consent also does not permit the construction, alteration, demolition, or removal of the building (or proposed building) if that construction, alteration, demolition, or removal would be in breach of any other Act.

**Waikato District Council
Building Consent No: BLD1012/19**

This Building Consent is subject to the following conditions:

Section 90 - Inspections:

When booking your inspections please phone (07) 824 8633 or (0800) 492 452 and quote your building consent number. Whilst we will endeavour to provide inspections in a timely manner, please provide **at least 48 hours notice** prior to any of the following mandatory inspections. You can also request an inspection on-line from our [website](#). (Click [here](#) for more information on Inspections & Certification)

- Excavation, Siting and Foundation (prior to pouring concrete) - *Owner/builder to locate boundary pegs prior to council carrying out a foundation/siting inspection.*
- Pre-wrap / Structural Framing (pre-wrap)
- Exterior Cladding
- Pre-line
- Post-line
- Drainage
- Final Plumbing - Final Building (Code Compliance Certificate) to be called for - *Some final inspections require Council to have access into the building. If no-one is onsite to allow access to the interior of the building it is likely the inspection will fail.*

The following documents from third parties need to be provided to the BCA to certify that the building work complies with the plans and specifications and in order for Council to issue a CCC: (Click [here](#) for more information on Producer Statements & Memoranda)

Producer Statements:

- Wastewater disposal system (PS 3 or PS 4)

Certificates / Memorandums / Statements / Letters:

- As laid drainage plan

Compliance Schedule:

- A compliance schedule is not required for the building.
-

Attachments

Copies of the following documents are attached to this building consent:

- ✓ Project Advisory Notes

Attachments

Project Advisory Notes:

Please read the following:

- At least 48 hours' notice shall be required for plumbing and drainage inspections.
- Plumbing preline inspection shall be required.
- Plumbing inspection shall be required before pouring floor slab.
- An as built drainage plan and an electrical certificate of compliance is required on completion.
- Wastewater disposal system shall comply with AS/NZS 1547:2012. Registered, suitably qualified person to provide a PS 4 to Council on completion.
- Stormwater shall be disposed of in an approved manner.
- Domestic smoke alarms must be installed before a final inspection is requested. The number of alarms required and their location in the dwelling is to be in accordance with the New Zealand Building Code.

Lapsing of a building consent:

A building consent lapses and is of no effect if the building work to which it relates does not commence within:

- a) 12 months after the date of issue of the building consent or
- b) Any further period that the building consent authority may allow.

The granting of this building consent, with or without a certificate under section 37 of the Building Act 2004, does not remove the need to obtain a resource consent if one is required under the Waikato District Plan.

Code Compliance Certificate will be issued after your final inspection has been carried out and passed and all documentation has been received and approved. ([Click here](#) for your CCC application form).

Restricted Building Work:

- This Building Consent involves Restricted Building Work that must be undertaken or supervised by a Licensed Building Practitioner that holds the appropriate license class.
- If you have not already done so, you are required to notify Council in writing, the name of every Licensed Building Practitioner who is going to be engaged to carry out the Restricted Building Work prior to work commencing. LBP notification forms can be found on www.buildwaikato.co.nz – Application Forms & Checklists.
- You will not be able to book inspections for Restricted Building Work until written notification regarding the Licensed Building Practitioners has been received and approved by Council.
- You are required to obtain a Record of Building Work Memorandum from all the Licensed Building Practitioners involved, detailing the Restricted Building Work they have completed. The Record of Building Work Memorandum is to be attached to the application for the Code Compliance Certificate.

Signature:



Name: Trish Simon
Position: Building Administrator

On Behalf of: Waikato District Council

Date: 11 March 2019



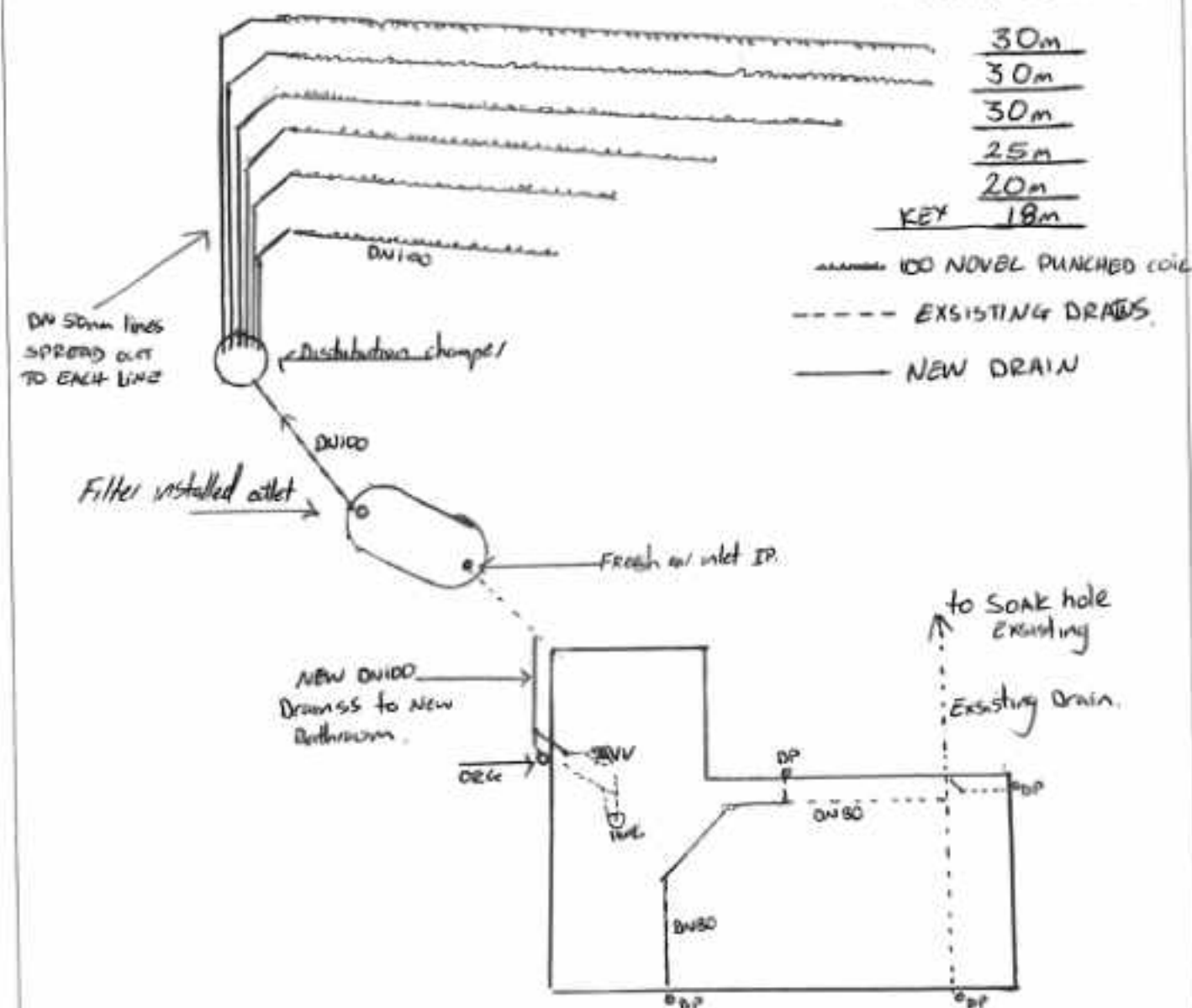
As Laid Drainage

Building Consent Number: **BLD1012/19** Date: **1, 3, 2022** No. of pages: **2**
 Building Address: **229 Waerenga Road, RD1, Te Kauwhata, 3181**
 Drain Layer Name: **Richard Sutton** (Please print clearly) Signature: *[Signature]*
 Registration Number: **24769** Business Name: **Sparrows Plumbing LTD.**

To Council: (Tick)

☐ Hamilton ☐ Hauraki ☐ Matamata-Piako ☐ Otorohanga ☐ Thames-Coromandel ☐ Waipa ☒ Waikato ☐ Waitomo

W 800mm - 500 H - TRENCHES



Producer Statement Construction (PS3) / Memorandum of Completion and Compliance

Issued by:
(Construction Reviewer)

Richard Sutton

Building Consent number:

BLD1012/19

Company Name:

Sparrows Plumbing LTD

To:

- ☐ Hamilton City Council
 ☐ Hauraki District Council
 ☐ Matamata-Piako District Council
 ☐ Otorohanga District Council
☐ Thames-Coromandel District Council
 ☒ Waikato District Council
 ☐ Waipa District Council
 ☐ Waitomo District Council

Waikato Building Consent Group Reg. No.:

24769

Expiry Date:

31-03-22

Other No. (specify):

-

Owner:

Ryan & Jess Young

Project Address:

229 Waerenga Road, RD1, Te Kauwhata, 3181

Lot:

1

DP:

357027

Description of Building Work:

New Plumbing & Drainage on extension as per plan

Scope of work covered by statement:

System / Product used (if applicable):

Forza crimp Pex - PVC Mailey waste pipe

I (Construction Reviewer's name):

Richard Sutton

have been engaged by (owner/developer/contractor):

Sparrows Plumbing LTD

In respect of (tick applicable):

- ☒ The requirements of the Building Regulations 1992, Clause(s): (Please be specific e.g. E2.3.6)

AS/NZS 3500

- ☐ Alternative Solution(s):

for the building work described by the drawings and specifications prepared by the design firm titled:

Asbuilt Drainage - as per Plan

numbered:

☐ Copies attached

authorised amendments(s):
(if applicable)

changed Philast Field to not as on plan

☐ Copies attached

- ☒ I have sighted the Building Consent and read the Advisory Notes. I can confirm that the building works have been carried out in accordance with the requirements of the New Zealand Building Code, the Building Consent, the design drawings and specifications, and in accordance with the listed amendments (if any).
☒ I confirm that all work I have undertaken has been within the scope of my skills, knowledge, and experience. I have remained within the scope of works set for me by the "Waikato Building Consent Group Producer Statement Author register (if applicable)."
☒ I understand that this Statement, if accepted, may be relied upon for the purpose of establishing compliance with the Building Code and the Building Consent.
☒ I am satisfied the building work complies with the requirements of the Building Consent and the New Zealand Building Code.

Signed by

(Construction Reviewer):

Richard Sutton

Name of Constructor

(Print clearly):

Richard

Date:

14-05-20

Address:

15 Turner Road, Dargy

Ph:

Mb:

0211121883

Fx:

Email:

sparrowsplumbing@hotmail.co.nz

Qualifications

/ Experience:

Certified Plumber - Drainlayer

*The Waikato Building Consent Group Producer Statement Author register is held by the Waikato Building Consent Group.
Email: info@buildwaikato.co.nz For information on the Waikato Building Consent Group visit the [BuildWaikato](http://BuildWaikato.co.nz) website.

Producer Statement Construction Review (PS4) / Statement of Completion and Compliance

Issued by:
(Construction Reviewer)

JOHN WOLFSBAUER

Building Consent number:

BLD 1012/19

Company Name:

JOHN WOLFSBAUER PLUMBING LTD

To: ☐ Hauraki District Council ☐ Otorohanga District Council ☐ Matamata Piako District Council

☒ Waikato District Council

☐ Waipa District Council

☐ Waitomo District Council

☐ Hamilton City Council

Waikato Building Consent Group Reg. No.:

340

Expiry Date:

Other No. (specify):

Owner:

YOUNG

Project Address:

229 WA NGA ROAD TE KAUWHATA.

Lot:

LOT 1

DP:

357027.

Description of Building Work:

INSTALLATION OF SEPTIC TANK & DISPOSAL SYSTEM.

Scope of work covered by statement:

COMPLIANCE WITH T.P.S.B. 6 MARCH 2019

System / Product used (if applicable):

400L SEPTIC TANK

I (Construction Reviewer's name):

JOHN WOLFSBAUER

have been engaged by (owner/developer/contractor):

REHARD SUTTON SPARROWS PLUMBING

To provide construction review services in respect of (tick applicable):

☒ The requirements of the Building Regulations 1992, Clause(s): (Please be specific e.g. E2.3.5)

B2, S13, S14 & TP5B

☐ Alternative Solution(s):

for the building work described by the drawings and specifications prepared by the design firm titled:

DRAWINGS & SPECIFICATIONS SUBMITTED BLD 1012/19

numbered:

PHOTOS ATTACHED

☐ Copies attached

authorised amendment(s):
(if applicable)

☐ Copies attached

- ☒ I have sighted the Building Consent and read the Advisory Notes. I can confirm that the building works have been carried out in accordance with the requirements of the New Zealand Building Code, the Building Consent, the design drawings and specifications, and in accordance with the listed amendments (if any).
- ☒ I confirm that all work I have undertaken has been within the scope of my skills, knowledge, and experience.
- ☒ I have remained within the scope of works set for me by the "Waikato Building Consent Group Producer Statement Author register (if applicable).
- ☒ I understand that this Statement, if accepted, may be relied upon for the purpose of establishing compliance with the Building Code and the Building Consent.
- ☒ I am satisfied the building work complies with the requirements of the Building Consent and the New Zealand Building Code.

Signed by:

(Construction Reviewer)

JOHN WOLFSBAUER

Name of Construction Reviewer:

(Print clearly)

J. WOLFSBAUER

Date:

14-3-2022

Address:

P.O. BOX 522 PUKEMOHIE 2340

Ph: 08 9387107

M: 0274836915

Fx:

Email:

john@johnwolfsbauer.co.nz

Plumbing Pressure Test Memorandum

Issued by: (Plumber) Richard Sutton Registration Number: 24769

Company Name: Sparrows Plumbing LTD

Company Address: 15 Turner Road
R.D. 3 Drury
2579

Company Contact Details: Ph: M: 0211121883 Fx:

To: ☐ Hamilton City Council ☐ Hauraki District Council ☐ Matamata-Piako District Council ☐ Otorohanga District Council
☐ Thames-Coromandel District Council ☒ Waikato District Council ☐ Waipa District Council ☐ Waikato District Council

Building Consent Number: BLD 1012/19

Building Owner: Ryan + Jess Young

Project Address: 229 Uherenga Road
R.D. 1
Te Kauwhata 3181

Description of Building Work: Completion of a pressure test on the plumbing system

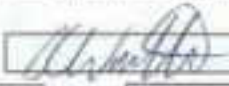
Scope of work covered by statement: We certify that the system was tested to 1500kpa for a period of 30 minutes. This test was conducted in accordance with manufacturer recommendations and complies with the pressure testing provisions of the New Zealand Building Code and Approved Solution G12 AS1 and AS/NZS3500.1.2 as appropriate.

☒ I understand that this Statement, if accepted, may be relied upon for the purpose of establishing compliance with the Building Code and Building Consent.

Signed by: (Plumber) *Richard Sutton* Date: 14-05-20

The Waikato Building Consent Group Producer Statement Author register is held by the Waikato Building Consent Group.
Email: info@buildwaikato.co.nz. For information on the Waikato Building Consent Group visit the [Build Waikato](http://BuildWaikato.co.nz) website.

Producer Statement Construction (PS3) / Memorandum of Completion and Compliance

Issued by: (Constructor/Reviewer)	Andrew Cameron Wintle		Building Consent number:	BLD 1012/19	
Company Name:	Taylor Joinery Limited / Cams Tiling				
To:	☐ Hauraki District Council	☐ Otorohanga District Council	☐ Matamata-Piako District Council		
	☒ Waikato District Council	☐ Waipa District Council	☐ Waikare District Council	☐ Hamilton City Council	
Waikato Building Consent Group Reg. No.:		Expiry Date:		Other No. (specify):	
Owner:	Ryan and Jess Young				
Project Address:	229 Waerenga road Te Kawhata				
Lut:		DP:			
Description of Building Work:	Waterproofing				
Scope of work covered by statement:	Bathroom / Ensuite				
System / Product used (if applicable):	Ardex WPM				
I (Constructor/Reviewer's name):	Cameron Wintle				
have been engaged by (owner/developer/contractor):	Ryan and Jess Young				
In respect of (tick applicable):					
☐ The requirements of the Building Regulations 1992, Clause(s): (Please be specific e.g. C3.3.3)					
☐ Alternative Solution(s):					
for the building work described by the drawings and specifications prepared by the design firm titled:					
numbered:		☐ Copies attached			
authorised amendments(s): (if applicable)		☐ Copies attached			
☐ I have sighted the Building Consent and read the Advisory Notes. I can confirm that the building works have been carried out in accordance with the requirements of the New Zealand Building Code, the Building Consent, the design drawings and specifications, and in accordance with the listed amendments (if any). ☒ I confirm that all work I have undertaken has been within the scope of my skills, knowledge, and experience. I have remained within the scope of works set for me by the "Waikato Building Consent Group Producer Statement Author register (if applicable)." ☒ I understand that this Statement, if accepted, may be relied upon for the purpose of establishing compliance with the Building Code and the Building Consent. ☐ I am satisfied the building work complies with the requirements of the Building Consent and the New Zealand Building Code.					
Signed by (Constructor/Reviewer)			Name of Constructor (Print clearly)	Cameron Wintle	
Date:	22nd April 2019	Address:	37 Mile road Bombay		
Ph:	0274271036	M:	0274271036	Fx:	
				Email:	acwintle@gmail.com
Qualifications / Experience:	Waterproofing applicator registration No. ANZ10747				

*The Waikato Building Consent Group Producer Statement Author register is held by the Building Unit Hamilton City Council, Private Bag 3010, Hamilton 3241. Ph (07) 838 8877. For information on the Waikato Building Consent Group visit www.waikatobuildingconsent.co.nz

PS-03 Template - Version 2013-06-01

GASFITTING CERTIFICATE OF COMPLIANCE**GAS SAFETY CERTIFICATE**

Pursuant to the Gas Act 1992 and the Gas (Safety and Measurement) Regulations 2010

ENERGY WORK CERTIFICATE

(Pursuant to the Building Act 2004)

This certificate is not transferable



www.certsonline.co.nz

Counties Plumbing Ltd

ph 021709919

178 Kitchener Road, Pukekohe

RD3 Pukekohe, 2120, NZ



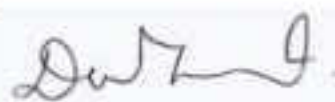
Consumer:	Ryan and Jess Young	Certificate Number:	16823-1021	Test Result:	10 min Duration
Installation Address:	229 Wairanga Road	Gas Supplier:			7kPa test pressure
	Te Kauwhata	Category:	Gasfitters		0kPa Loss / Gain
Vehicle Registration:		Installation Type:	New	Risk Category:	2.75kPa Working pressure
Vessel Registration:		Gas Type:	LPG	Installation Date:	Low Risk
		Certification Date:	23-04-2022		23-04-2022

DESCRIPTION OF GASFITTING TO WHICH THIS CERTIFICATE APPLIES	ADDITIONAL INFORMATION (include install dates - references)
☒ Includes Pipework Installation ☐ Includes work on an appliance or fitting, imported or manufactured, for consumers own use ☒ This certificate relates to the whole of the gas installation or ☐ Just to specified parts of it	

Qty	Item Type	Item Location	Make/Model	Input Rate	Flue Type	Flue Location	Vent Type	Vent Location
1	Freestanding cooker	kitchen	Smeg FS8606AS	41.8	Unflued	unflued	Adventitious	complies

I CERTIFY THAT:

- ☒ I Certify that all appliances and fittings worked on by me or by persons working under my supervision are safe to connect to a gas supply and that all work carried out was in accordance with all applicable requirements of the Gas Act 1992 and Gas (Safety and Measurement) Regulations 2010 & all information entered in this certificate is correct.
- ☐ I Certify that work required complies with standards in addition to AS/NZS 5601.1 or AS/NZS 5601.2 (as applicable), and are referenced in the Additional Information text.
- ☐ I Certify that all Gasfitting Work has been done in accordance with sections 3 to 6 of AS/NZS 5601.1
- ☐ I Certify that all Gasfitting Work has been done in accordance with sections 3 to 9 of AS/NZS 5601.2.
- ☐ I Certify that all Gasfitting Work has been done in accordance with the certified design ☒ manufacturer's instructions ☐ for the gas installation or part installation and the manufacturer's and/or certified design compliance documents are attached or an electronic location referenced on this Certificate.
- ☒ The gasfitting work has been done lawfully & safely and is connected to a gas supply & is safe to use. All information entered in this certificate is correct.

Installer(s) supervised by certifier Name: Richard Sutton (24769)	Gas Connection Made By Name: Taunt David William Registration No: 16823 Connection Date: 23-04-2022 Signed: 	Certifier Name: Taunt David William (16823) Employer License No: Signed: 
--	--	--



Electrical Certificate of Compliance & Electrical Safety Certificate



Customer Name DTK Builders Ltd
Location 229 Waerenga Road Te Kauwhata Waikato

Job # 2516

Details of work

Type of Work Alterations
Risk Level High
Reference Standards Part 2 of AS/NZS 3000

Description of work and Notes

Existing underground electric lines to meter board, bonded metal meterboard
 Ran mains to main MEN switchboard.
 Fitted off switchboard with residual current devices and over load circuit breakers.
 Ran main earth conductor and fitted earth electrode.
 Bonded metal parts in house.
 Wired house with TPS cabling and fitted off entire house with power points, light switches, lights and fan units.
 Carried out appropriate testing.
 Recorded results

Includes

Testing in accordance with Electrical (Safety) Regulations 2010
 Work on mains
 Work on main earthing system
 Fittings are safe to connect

Relies on sDoC for
 Relies on Manufacturers Instruction for
 Is safe to connect

Tests carried out

Bonding
 Insulation Resistance 500 M ohms
 Earth Continuity 0.23 Ohms
 Fault loop impedance 1.11 Ohms
 Prospective Short Circuit Current 0.216 kA

RCDS

rcd 1 Trip Time 24.2ms Trip Current 21mA
 rcd 2 Trip Time 22.2ms Trip Current 18mA
 rcd 3 Trip Time 23.3ms Trip Current 24mA

Certification

I certify that this work has been done lawfully and safely and the information in this certificate is correct.



Name Kieran Harry
Registration # E268005
Date Fri 17 May 2019
Phone 64-21-725090
Email accounts@redline.net.nz

Inspector

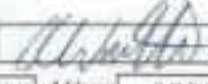
Electrical Safety Certificate

I certify that above installation or part installation is connected to a power supply and is safe to use.



Name Kieran Harry
Registration # E268005
Date Fri 17 May 2019
Phone 64-21-725090
Email accounts@redline.net.nz

Producer Statement Construction (PS3) / Memorandum of Completion and Compliance

Issued by: (Constructor Reviewer)	Andrew Cameron Wintle	Building Consent number	BLD 1012/19
Company Name:	Taylor Joinery Limited / Camis Tiling		
To:	☐ Hauraki District Council ☐ Otorohanga District Council ☐ Matamata-Piako District Council ☒ Waikato District Council ☐ Waipa District Council ☐ Waikanae District Council ☐ Hamilton City Council		
Waikato Building Consent Group Reg. No.:		Expiry Date:	
Other No. (sawtooth)			
Owner:	Ryan and Jess Young		
Project Address:	229 Waerenga road Te Kawhata		
Lot:		DP:	
Description of Building Work:	Waterproofing		
Scope of work covered by statement:	Bathroom / Ensuite		
System / Product used (if applicable):	Ardex WPM		
I (Constructor Reviewer's name):	Cameron Wintle		
have been engaged by (owner/developer/contractor):	Ryan and Jess Young		
In respect of (tick applicable):			
☐ The requirements of the Building Regulations 1992, Clause(s): (Please be specific e.g. C3.1.3)			
☐ Alternative Solution(s):			
for the building work described by the drawings and specifications prepared by the design firm titled:			
numbered:		☐ Copies attached	
authorised amendments(s): (if applicable)		☐ Copies attached	
☐ I have signed the Building Consent and read the Advisory Notes. I can confirm that the building works have been carried out in accordance with the requirements of the New Zealand Building Code, the Building Consent, the design drawings and specifications, and in accordance with the listed amendments (if any).			
☒ I confirm that all work I have undertaken has been within the scope of my skills, knowledge, and experience, I have remained within the scope of works set for me by the "Waikato Building Consent Group Producer Statement Author register (if applicable)".			
☒ I understand that this Statement, if accepted, may be relied upon for the purpose of establishing compliance with the Building Code and the Building Consent.			
☐ I am satisfied the building work complies with the requirements of the Building Consent and the New Zealand Building Code.			
Signed by: (Constructor Reviewer)		Name of Constructor (Print clearly)	Cameron Wintle
Date:	22nd April 2019	Address:	37 Mile road Bombay
Ph:	0274271036	M:	0274271036
		F:	
		Email:	acwintle@gmail.com
Qualifications / Experience:	Waterproofing applicator registration No. ANZ10747		

*The Waikato Building Consent Group Producer Statement Author register is held by the Building Unit Hamilton City Council, Private Bag 3010, Hamilton 3240. Ph (07) 838 8877. For information on the Waikato Building Consent Group visit www.buldwk.co.nz

PS33 Template / Version 2017-08-01



MiTek New Zealand Limited

Correspondence from : **AUCKLAND**
40 Neales Road, East Tamaki 2013
PO Box 58-014, Botany 2163
Phone: 09 274 7109
Fax: 09 274 7100

CHRISTCHURCH
14 Pilkington Way, Wigram 8042
PO Box 8387, Riccarton 8440
Phone: 03 348 8691
Fax: 03 348 0314

www.mitek.nz.co.nz

Printed: 17:24:52.28 Jan 2019

MiTek 20/20 Engineering 4.7.301.0

PRODUCER STATEMENT for MiTek 20/20[®] TRUSS DESIGN - Version 4.7

ISSUED BY: **MiTek New Zealand Limited**
TO: **Placemakers National Estimating Unit (NEU)**
IN RESPECT OF: **MiTek[®] Truss Designs**

This producer statement covers the MiTek 20/20[®] truss design and the structural performance of the GANG-NAIL[®] connector plate for the job reference **BL161396** and may be used by a Building Consent Authority to assist in determining compliance with the New Zealand Building Code.

The MiTek 20/20[®] truss design program has been developed by MiTek New Zealand Limited for the design of MiTek[®] timber roof, floor and attic trusses in New Zealand. The truss designs computed by MiTek 20/20[®] are prepared using sound and widely accepted engineering principles, and in accordance with compliance documents of the New Zealand Building Code and Verification Method B1/VM1; and internationally accepted standard ANSI/TPI 1 - 2002 as an alternative solution, to satisfy the requirements of Clause B1 of the New Zealand Building Code.

On behalf of MiTek New Zealand Limited, and subject to:

- All proprietary products meeting their performance specification requirements
- The provision of adequate roof bracing and overall building stability
- Correct selection and placement of GANG-NAIL connector plates
- Correct input of Truss Design Data as shown in the Fabricator Design Statement for this job
- The design being undertaken by the accredited fabricator under the terms of the software licence
- Timber is graded to the requirements of NZS 3603:1993
- Minimum timber treatment for these MiTek[®] trusses shall be in accordance with B2/AS1 Table 1A and the relevant sections of NZS 3602:2003

I believe on reasonable grounds that the trusses, if constructed in accordance with the MiTek 20/20[®] truss design and shop drawings, will comply with the relevant provisions of the New Zealand Building Code.

MiTek New Zealand Limited holds a current policy of Professional Indemnity Insurance no less than \$500,000.

On behalf of MiTek New Zealand Limited, **Date: Monday, January 28, 2019**

In Ling Ng, BE (Hons), CPEng, IntPE, MIPENZ (ID: 146585)
TECHNICAL SERVICES MANAGER, MiTek New Zealand Limited

Plumbing Pressure Test Memorandum

Issued by: (Plumber) Richard Sutton Registration Number: 24769

Company Name: Sparrows Plumbing LTD

Company Address: 15 Turner Road
R.D. 3 Drury
2579

Company Contact Details: Ph: M: 0211121883 Fx:

To: ☐ Hamilton City Council ☐ Hauraki District Council ☐ Matamata-Piako District Council ☐ Otorohanga District Council
☐ Thames-Coromandel District Council ☒ Waikato District Council ☐ Waipa District Council ☐ Waikato District Council

Building Consent Number: BLD 1012/19

Building Owner: Ryan + Jess Young

Project Address: 229 Uherenga Road
R.D. 1
Te Kauwhata 3181

Description of Building Work: Completion of a pressure test on the plumbing system

Scope of work covered by statement: We certify that the system was tested to 1500kpa for a period of 30 minutes. This test was conducted in accordance with manufacturer recommendations and complies with the pressure testing provisions of the New Zealand Building Code and Approved Solution G12 AS1 and AS/NZS3500.1.2 as appropriate.

☒ I understand that this Statement, if accepted, may be relied upon for the purpose of establishing compliance with the Building Code and Building Consent.

Signed by: (Plumber) *Richard Sutton* Date: 14-05-20

The Waikato Building Consent Group Producer Statement Author register is held by the Waikato Building Consent Group.
Email: info@buildwaikato.co.nz. For information on the Waikato Building Consent Group visit the [Build Waikato](http://BuildWaikato.co.nz) website.

Appendix E

On-site Wastewater Disposal Site Evaluation Investigation Checklist

On-site Wastewater Systems:
Design and Management Manual (TP 58)

On-site Wastewater Disposal Site Evaluation Investigation Checklist

PART A: Contact Details

1. Applicant Details:

Applicant Name			
Company Name			
	First Name(s)	Surname	
Property Owner Name(s)		Young	
Nature of Applicant*			

(* i.e. Owner, Lessee, Prospective Purchaser, Developer)

2. Consultant/Site Evaluator Details:

Consultant/Agent Name	John Wolfsbauer Plumbing Ltd			
Site Evaluator Name	John Wolfsbauer			
Postal Address	PO Box 522 Pukekohe			
Phone Number	Business	09 2387107	Private	
	Mobile	0274836915	Fax	
Name of Contact Person	John			
E-mail Address				

3. Are there any previous existing discharge consents relating to this proposal or other waste discharge/disposal on the site?

Yes ☒ No ☐

If yes, give Reference Number(s) and Description

Existing Septic Tank System with 41 meters Effluent drainage
--

4. List any other consents in relation to this proposal site and indicate whether or not they have been applied for or granted.

If so, specify Application Details and Consent No.:

(e.g. Land Use, Water Take, Subdivision, Earthworks Stormwater Consents)

--

On-site Wastewater Systems:
Design and Management Manual (TP 58)

PART B: Property Details

1. Property for which this application relates:

Physical Address of Property	229 Waeranga Road Te Kauwhata
Territorial Local Authority	Waikato District Council
Regional Council	
Legal Status of Activity	Permitted: ☒ Controlled: ☐ Discretionary: ☐
Relevant Regional Rule(s) [Note 1]	3.5.7.4
Total Property Area (m ²)	13,790
Map Grid Reference of Property [Note 2]	
Notes: 1. In the Auckland Region, the relevant Permitted Activity criteria is as specified in the ARC Proposed Regional Plan: Air Land and Water (ARC: ALWP) Decision Version October 2004 Rule 5.5 20-23 (refer Appendix C and in particular C5, in TP58). 2. NZMS 260 series, scale 1:50,000	

2. Legal description of land (as shown on Certificate of Title):

Lot No.	1	DP No.	357027	CT No.	
Other (specify)					

Please ensure copy of Certificate of Title is attached.

PART C: Site Assessment – Surface Evaluation

(Refer TP58 – Sn 5.1 General Purpose of site Evaluation and Sn 5.2.2(a) Site Surface Evaluation)
 Note: Underlined terms defined in Table 1, attached

1. Has a Desk Study been undertaken for this property

Yes ☒ No ☐ (Please tick one)

If yes, please specify the findings of the Desk Study, and if not please specify why this was not considered necessary.

Existing plans

2. Has a Slope Stability Assessment been carried out on the property?

Yes ☐ No ☒ (Please tick one)

If No, why not?

Gentle contour no instability noted

On-site Wastewater Systems:
Design and Management Manual [TP 58]

If Yes, please give details of report (and if possible, please attach report):

Author:	
Company/Agency	
Date of Report	
Brief Description of Report Findings	

3. Site Characteristics (See Table 1 attached):

Provide descriptive details below:

Performance of Adjacent Systems:
Existing System working satisfactory
Estimated Rainfall and Seasonal Variation:
1200mm per annum
Vegetation Cover:
Grass
Slope Shape:
Gentle slope of less than five degrees
Slope Angle:
Surface Water Drainage Characteristics:
Broadly drains to the North
Flooding Potential: YES/NO
No
If yes, specify relevant flood levels on appended site plan, i.e. one in 5 year and/or 20 year and/or 100 year return period flood level, relative to disposal area.
Surface Water Separation:
Site Clearances (Provide general description and specific dimensions in Part 6 below and in Site Plan.)
See 6 Clearances
Site Characteristics:

On-site Wastewater Systems:
Design and Management Manual (TP 58)

4. Site Geology of the subject property

--

Geological Map Reference Number	
---------------------------------	--

5. What Aspect(s) does the proposed disposal system face (please tick)?

North	West
North-West	South-West
North-East	South-East
East	South

6. Site clearances, which should also be shown on the site plan:

Separation Distance from	Treatment Separation Distance (m)	Disposal Field Separation Distance (m)
Boundaries	1.5m	1.5m
Surface water		
Groundwater		
Stands of Trees/Shrubs		
Wells, water bores		
Embankments/retaining walls		
Buildings	3.0m	3.0m
Other (specify):		

PART D: Site Assessment – Subsoil Investigation

(Refer TP58 – Sn 5.1 General Purpose of Site Evaluation, Sn 5.2.2(b) Site Surface Evaluation and Sn 5.3 Subsurface Investigations)

Note: Underlined terms defined in Table 2, attached

1. Please identify the soil profile determination method:

Test Pit		(Depth ____ m)		No. of Test Pits	
Bore Hole		(Depth ____ m)		No. of Bore Holes	
Other (specify)					
Soil Report Attached?	Yes		No		(Please Tick)

2. Was fill material intercepted during the subsoil investigation?

Yes		No		(Please tick)
-----	--	----	--	---------------

If yes, please specify the effect of the fill on wastewater disposal

--

On-site Wastewater Systems:
Design and Management Manual [TP 58]

3. Has percolation testing been carried out?

Yes ☐ No ☒ (Please tick)

If yes, please specify the method

--	--

Test Report Attached? (Please tick) Yes ☐ No ☐

4. Are surface water interception/diversion drains required?

Yes ☐ No ☒ (Please tick)

If Yes, please show on site plan

5. Please state the depth of the seasonal water table:

Winter	2m	(m)	
Summer	3m	(m)	

Please indicate whether measured ☐ or estimated ☒ (please tick)

6. Are there any potential short circuit paths?

Yes ☐ No ☒ (Please tick)

If the answer is yes, please explain how these have been addressed

--

7. Based on results of subsoil investigation above please indicate the disposal field soil category
(Refer TP58 Table 5.1):

Is Topsoil Present? ☒ If so, Topsoil Depth? .3m (m)

Soil Category	Description	Drainage	Tick One
1	Gravel, coarse sand	Rapid draining	☐
2	Coarse to medium sand	Free draining	☐
3	Medium-fine & loamy sand	Good drainage	☐
4	Sandy loam, loam & silt loam	Moderate drainage	☐
5	Sandy clay-loam, clay loam & silty clay-loam	Moderate to slow drainage	☒
6	Sandy clay, non-swelling clay & silty clay	Slow draining	☐
7	Swelling clay, grey clay, hardpan	Poorly or non-draining	☐

Reasons for placing in stated category

Knowledge of area
Performance of existing system suggests moderate drainage
Clay silt loam

On-site Wastewater Systems:
Design and Management Manual (TP 58)

PART E: Discharge Details

1. Water supply source for the property (please tick):

Rainwater (roof collection)	☒
Bore/well	☐
Public supply	☐

2. Calculate the maximum daily volume of wastewater to be discharged, unless accurate water meter readings are available (Refer TP58 Table 6.1 and 6.2):

Number of Bedrooms	4	
Design Occupancy	6	(Number of people)
Per capita Wastewater Production	160	(Litres per person per day)
Other - Specify		
Standard water reduction Fixtures No Garbage Grinder		
Total Daily Wastewater Production	960	(Litres per day)

3. Do you propose to install:

a) Full Water Conservation Devices?	Yes	☐	No	☒	(Please tick)
b) Water Recycling – what %?	%	☐	No	☒	(Please tick)

If you have answered Yes, please provide additional information including the estimated reduction in water usage:

4. Is Daily Wastewater Discharge Volume more than 2000 litres:

Yes	☐	(Please tick)
No	☒	(Please tick)

Note if the answer to the above is yes an ARC wastewater discharge permit will be required

5. Gross Lot Area to Discharge Ratio:

Gross Lot Area	13790	m ²
Total Daily Wastewater Production	960	(Litres per day) (from above)
Lot Area to Discharge Ratio	14.364	

6. Does this proposal comply with the Auckland Regional Council Gross Lot Area to Discharge Ratio of greater than 1.5)

Yes	☒	No	☐	(Please tick)
-----	-------------------------------------	----	--------------------------	---------------

On-site Wastewater Systems:
Design and Management Manual (TP 58)

7. Does this proposal comply with the Auckland Regional Council Gross Lot Area to Discharge Ratio of greater than 3

Yes ☒ No ☐ (Please tick)

8. Is an Auckland Regional Council Discharge Consent Required?

Yes ☐ No ☒ (Please tick)

PART F: Primary Treatment (Refer TP58 Section 7.2)

1. Please indicate below the no. and capacity (litres) of all septic tanks including type (single/dual chamber grease traps) to be installed or currently existing:

Number of Tanks	Type of Tank	Capacity of Tank (Litres)
Existing Single	Septic Tank	4000
Total Capacity		4000

2. Is a Septic Tank Outlet Filter to be installed?

Yes ☒ No ☐ (Please tick)

If Yes, please state the type

Bio Filter to be fitted

PART G: Secondary and Tertiary Treatment

(Refer TP58 Section 7.3, 7.4, 7.5 and 7.6)

1. Please indicate the type of additional treatment, if any, proposed to be installed in the system (please tick):

Secondary Treatment	☐
Home aeration plant	☐
Commercial aeration plant	☐
Intermittent sand filter	☐
Recirculating sand filter	☐
Recirculating textile filter	☐
Clarification tank	☐
Tertiary Treatment	☐
Ultraviolet disinfection	☐
Chlorination	☐
Other	☐
	Specify

On-site Wastewater Systems:
Design and Management Manual (TP 58)

PART H: Land Disposal Method (Refer TP58 Section 8)

1. Please indicate the proposed loading method (please tick):

Gravity	☒
Dosing Siphon	☐
Pump	☐

2. Is a high water level alarm being installed in pump chambers?

Yes ☐ No ☐ (Please tick)

3. If a pump is being used, please provide the following information:

Total Design Head	N/A	(m)
Pump Chamber Volume	N/A	(Litres)
Emergency storage volume	N/A	(Litres)

4. Please identify the type(s) of land disposal method proposed for this site (please tick) (Refer TP58 Sections 9 and 10):

Surface Dripper Irrigation	☐
Sub-surface Dripper Irrigation	☐
Standard Trench	☒
Deep Trench	☐
Mound	☐
Evapo-transpiration Beds	☐
Other (Please Specify)	☐

5. Please identify the loading rate you propose for the option selected in Part H, Section 4 above stating the reasons for selecting this loading rate:

Loading rate		10	(Litres/m ² /day)
Disposal Area	Basal	96	(m ²)
	Areal		(m ²)

Explanation (Refer TP58 Sections 9 and 10)

TP58 Table 10.2 Cat 5 Soil

6. What is the available reserve wastewater disposal area (Refer TP58 Table 5.3)

Reserve Disposal Area (m ²)	96
Percentage of Primary Disposal Area (%)	100%

On-site Wastewater Systems:
Design and Management Manual (TP 58)

7. Please provide a detailed description of the design and dimensions of the disposal field and attach a detailed plan of the field relative to the property site:

Description and Dimensions of Disposal Field:

Extend existing effluent to a total of 192 Meters .50 Std Effluent Drainage laid to level contours as per plan

Plan Attached? Yes ☒ No ☐ (Please tick)

If not explain why not

PART I: Maintenance & Management (Refer TP58 Section 12.2)

1. Has a maintenance agreement been made with the treatment and disposal system suppliers?

Yes ☒ No ☐ (Please tick)

PART J: Assessment of Environmental Effects

1. Is an assessment of environmental effects (AEE) included with application?

(Refer TP58 section 4 (particularly 4.4.2), section 5, and section 11 (parts 11.1 & 11.8). Ensure all issues concerning potential effects addressed)

Yes ☐ No ☒ (Please tick)

2. Are there any specific environmental constraints?

Yes ☐ No ☒ (Please tick)

If Yes, please explain

PART K: Is Your Application Complete?

1. In order to provide a complete application you have remembered to:

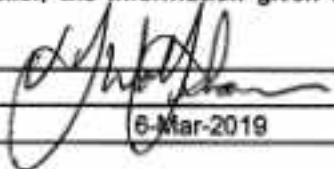
(Refer to TP58 section 3.5 for summary list of information to be covered):

Fully Complete this Assessment Form	☐
Include a Location Plan and Site Plan (with Scale Bars)	☐
Include a Property Title (Certificate of Title)	☐
Attach an Assessment of Environmental Effects (AEE)	☐

☐
☐
☐
☐

2. Declaration

I hereby certify that, to the best of my knowledge and belief, the information given in this application is true and complete.

Name	John Wolfsbauer	Signature	
Position		Date	6-Mar-2019

Received as Further Information on: 07/03/2019

Young 229 Waeranga Road, Waikato

Waikato District Council
Building Consent Number
BLD1012/19

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DRAWING INDEX

Sheet No.	Contents	Revision No.	Revision Date
General			
0-01	Index	3	20/02/2019 1:57 p.m.
Site			
1-01	Site Plan	4	7/03/2019 9:26 a.m.
Elevations			
2-01	Elevations	3	20/02/2019 1:57 p.m.
2-02	Elevations	3	20/02/2019 1:57 p.m.
Plans			
3-01	Existing Floor Plan	0	22/01/2019 11:29 a.m.
3-02	Proposed Floor Plan	3	20/02/2019 1:57 p.m.
3-03	Bracing Plan	1	5/02/2019 12:03 p.m.
3-04	Foundation Plan	1	5/02/2019 12:03 p.m.
3-05	Floor Framing Plan	0	22/01/2019 11:29 a.m.
3-06	Roof Plans	0	22/01/2019 11:29 a.m.
Sections			
4-01	Sections	1	5/02/2019 12:03 p.m.
Details			
5-01	Foundation Details	1	5/02/2019 12:03 p.m.
5-02	Deck Details	1	5/02/2019 12:03 p.m.
5-03	Roof Details	1	5/02/2019 12:03 p.m.
5-04	Cladding Details	1	5/02/2019 12:03 p.m.
Misc. Documents			
6-01	Lumberlock Lintel Details	0	22/01/2019 11:29 a.m.
6-02	Deck Construction detail	0	22/01/2019 11:29 a.m.
6-03	Pile Fixing Details	0	22/01/2019 11:29 a.m.
6-04	HWC & Shower Details	0	22/01/2019 11:29 a.m.



aerial view
Scale 1:2

SITE INFORMATION	
LOT:	1
D.P.:	357027
C/T No.:	232182
SITE AREA:	13790m ²
PLANNING ZONE:	Rural Lifestyle
WIND ZONE:	Very High
EARTHQUAKE ZONE:	1
EXPOSURE ZONE:	B
CLIMATE ZONE:	2

EXTENT OF WORK

EXTEND & RECONFIGURE EXISTING HOUSE
REPLACE ALL EXISTING WINDOWS
REMAINING WITH NEW

TREATMENT OF FIXINGS

FOR CORROSION ZONE 1 - OUTSIDE SEA SPRAY ZONE

DURABILITY FLOW CHART

BY MITEK NEW ZEALAND

ZONE	LOCATION	ENVIRONMENT	TREATMENT
ALL ZONES REFER TO NZS3604 FIG. 4.1	OUTSIDE SEA SPRAY ZONE	CLOSED	STANDARD ZINC COATED STEEL PRODUCT
ENVIRONMENT DEFINITIONS		SHeltered & EXPOSED	perforating & stainless concrete NZS3604 Table 5
		SHeltered & EXPOSED	Temp. Moist. & salt from ground level to lower sub surface
		SHeltered & EXPOSED	Temp. Moist. & salt from ground level to lower sub surface
		SHeltered & EXPOSED	at other exposed surfaces not subject to drinking
CLOSED - A SITUATION WHERE A MATERIAL IS NOT EXPOSED TO RAIN OR GROUND MOISTURE AND WIND BLOWN SALTS		SHeltered & EXPOSED	HOT DIP GALVANISED STEEL
		SHeltered & EXPOSED	HOT DIP GALVANISED STEEL
SHELTERED - A SITUATION WHERE A MATERIAL IS NOT WASHED BY DIRECT OR WIND BLOWN RAIN BUT MAY BE SUBJECT TO WIND BLOWN SALTS		SHeltered & EXPOSED	TYPE 304 STAINLESS STEEL
		SHeltered & EXPOSED	TYPE 304 STAINLESS STEEL
EXPOSED - A SITUATION WHERE THE MATERIAL IS WASHED BY DIRECT OR WIND BLOWN RAIN		SHeltered & EXPOSED	TYPE 304 STAINLESS STEEL
		SHeltered & EXPOSED	TYPE 304 STAINLESS STEEL

NOTES

ALL DIMENSIONS SHOWN ON DRAWINGS,
COUNCIL (PUBLIC) DRAIN POSITIONS AND
INVERTS SHALL BE CONFIRMED BY
CONTRACTOR **PRIOR** TO ANY WORKS
COMMENCING. NOTIFY ALBERT VAN VLIET
ARCHITECTURAL DESIGN SHOULD
DIMENSIONS OR POSITIONS VARY TO THAT
SHOWN **IMMEDIATELY**

IF GROUND CONDITIONS ARE
QUESTIONABLE AND ARE NOT IN
ACCORDANCE WITH NZBC OR **NZS
3604:2011** REQUIREMENTS STOP WORK
AND CONTACT DESIGNER **IMMEDIATELY**.

SHOULD THERE BE ANY AMBIGUITY ON
THE DRAWINGS AND/OR ACCOMPANYING
DOCUMENTATION, OR THE MEANING(S) IS
(ARE)
UNCLEAR OR IF THERE IS APPARENT
CONFLICTING INFORMATION SHOWN,
IMMEDIATELY NOTIFY ALBERT VAN VLIET
ARCHITECTURAL DESIGN BEFORE
COMMENCING THE WORK.

ROOF TRUSS AND BRACING IS INDICATIVE
ONLY AND SHALL BE DESIGNED AND
DETAILED BY APPROVED GANGNAIL TRUSS
MANUFACTURER IN ACCORDANCE WITH
GANG-NAIL NZ LIMITED NZ500 AND **NZS
3604:2011**

FOR WIND BRACING AND TYPE REFER TO
ADJOINING SPECIFICATIONS

LINTELS TO BE 24% MAX MOISTURE
CONTENT. TIMBER SIZES AS PER **NZS
3604:2011**

KITCHEN JOINERY MANUFACTURER SHALL
TAKE "ON SITE" MEASUREMENTS PRIOR TO
FABRICATION.

FOR KITCHEN LAYOUT AND JOINERY
REFER TO KITCHEN MANUFACTURERS
DOCUMENTS.

ALL CONSTRUCTION SHALL BE IN
ACCORDANCE WITH THE NZBC HAND BOOK
AND APPROVED DOCUMENTS, **NZS
3604:2011** AND LOCAL TERRITORIAL
AUTHORITY REQUIREMENTS.

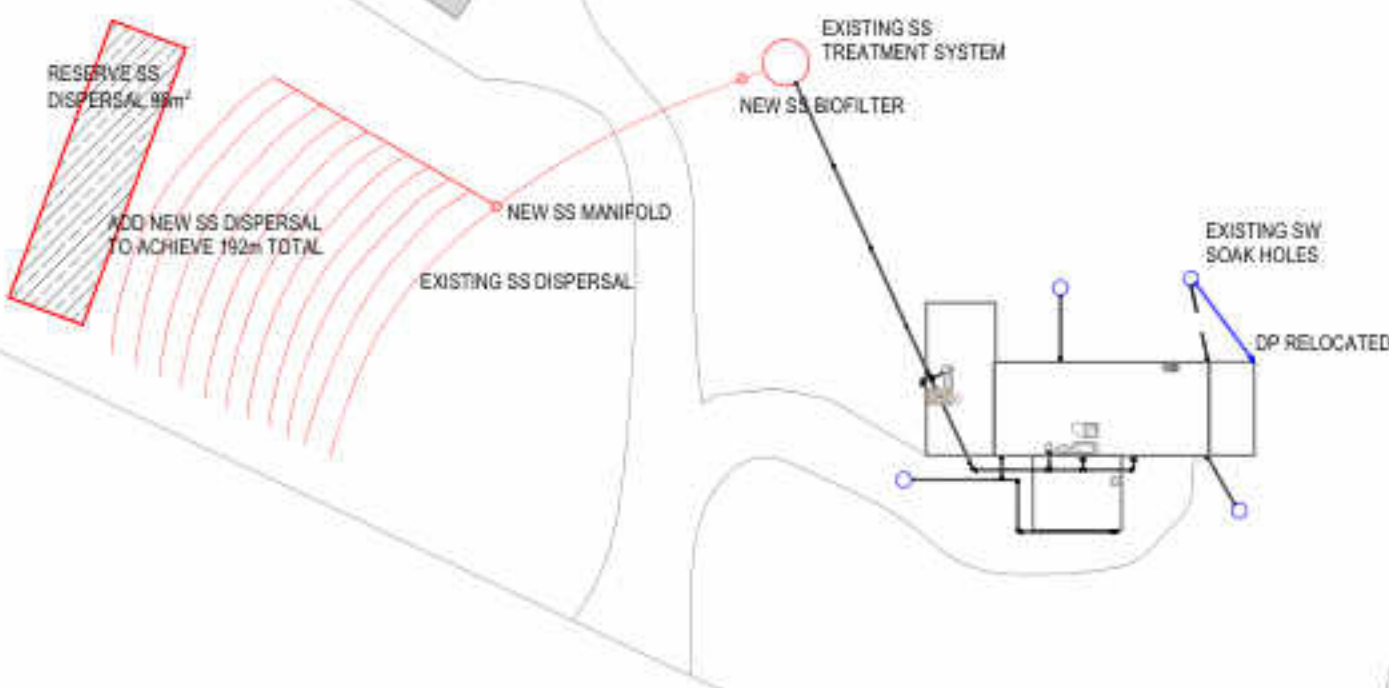
WINDOW MANUFACTURERS SHALL CHECK
ON SITE "ALL WINDOW OPENING SIZES
PRIOR TO FABRICATION.

ALL PLUMBING AND DRAINAGE WORK
SHALL BE IN ACCORDANCE WITH NZBC
REQUIREMENTS AND APPROVED
DOCUMENTS.

ALL DOWNLIGHTS TO BE CA RATED

Waikato District Council
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6. Site clearances, which should also be shown on the site plan:

Separation Distance from	Treatment Separation Distance (m)	Disposal Field Separation Distance (m)
Boundaries	1.5m	1.5m
Surface water		
Groundwater		
Stands of Trees/Shrubs		
Wells, water bores		
Embankments/retaining walls		
Buildings	3.0m	3.0m
Other (specify):		

Site Services

Scale 1:500

Site Plan

Scale 1:1000

WAERENGA ROAD

Received as Further Information on: 07/03/2019



Albert van Vliet
ARCHITECTURAL



RESIDENTIAL | RURAL | HERITAGE
COMMERCIAL | INDUSTRIAL
ADDITIONS | ALTERATIONS

Young
229 Waerenga Road
LOT 1 D.P. 357027
Waikato

Site Plan

1:1000, 1:2, 1:500

PH

14.09.2019

1979

1-01

4

Waikato District Council
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BLD1012/19

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Notes

2 Elevations

- 2.1 **Roofing**
EXISTING CORRUGATED METAL
ROOFING 15 deg APPROX
- 2.2 **Roofing**
NEW CORRUGATED METAL
ROOFING 15 deg TO MATCH
EXISTING
- 2.3 **Fascia**
HALF ROUND SPOUTING (match
existing) FIXED TO 180mm TIMBER
FASCIA
- 2.4 **Cladding**
EXISTING HARDIEPLANK
CLADDING
- 2.5 **Cladding 2**
NEW HARDIE PLANK CLADDING TO
MATCH EXISTING
- 2.6 **Windows**
DOUBLED GLAZED POWDER
COATED ALUMINIUM JOINERY
- 2.7 **Subfloor Cladding**
HIT & MISS BASEBOARDS
- 2.8 **Downpipes**
80mm dia. PVC DOWNPIPES
- 2.9 **Handrail**
TIMBER HANDRAIL TO DECKS
WHERE OVER 1m ABOVE GROUND



North Elevation
Scale 1:100

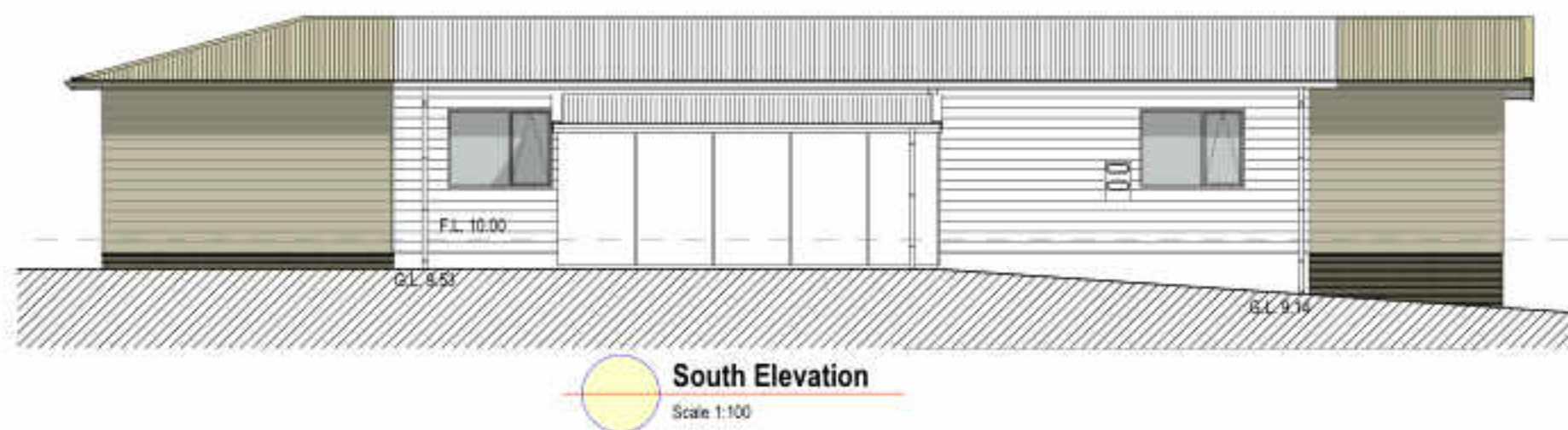


West Elevation
Scale 1:100

BUILDING ENVELOPE RISK MATRIX		
Elevations 1 & 2		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	Very high risk	2
Number of storeys	Low risk	0
Roof/wall intersection design	Low risk	0
Eaves width	High risk	2
Envelope complexity	Low risk	0
Deck design	Low risk	0
Total Risk Score:		4

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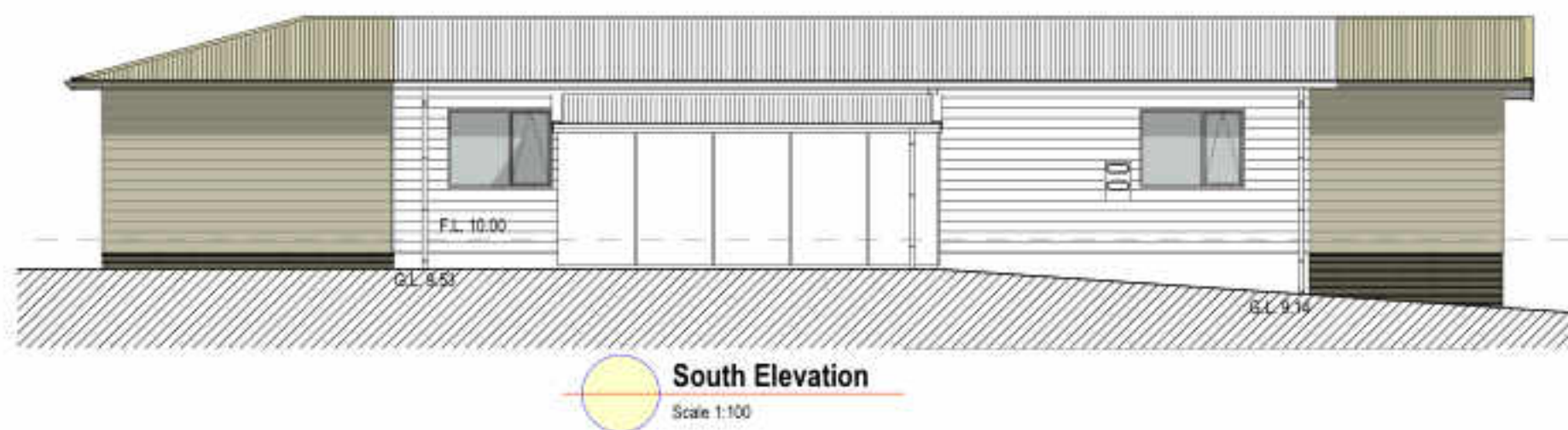
APPROVED



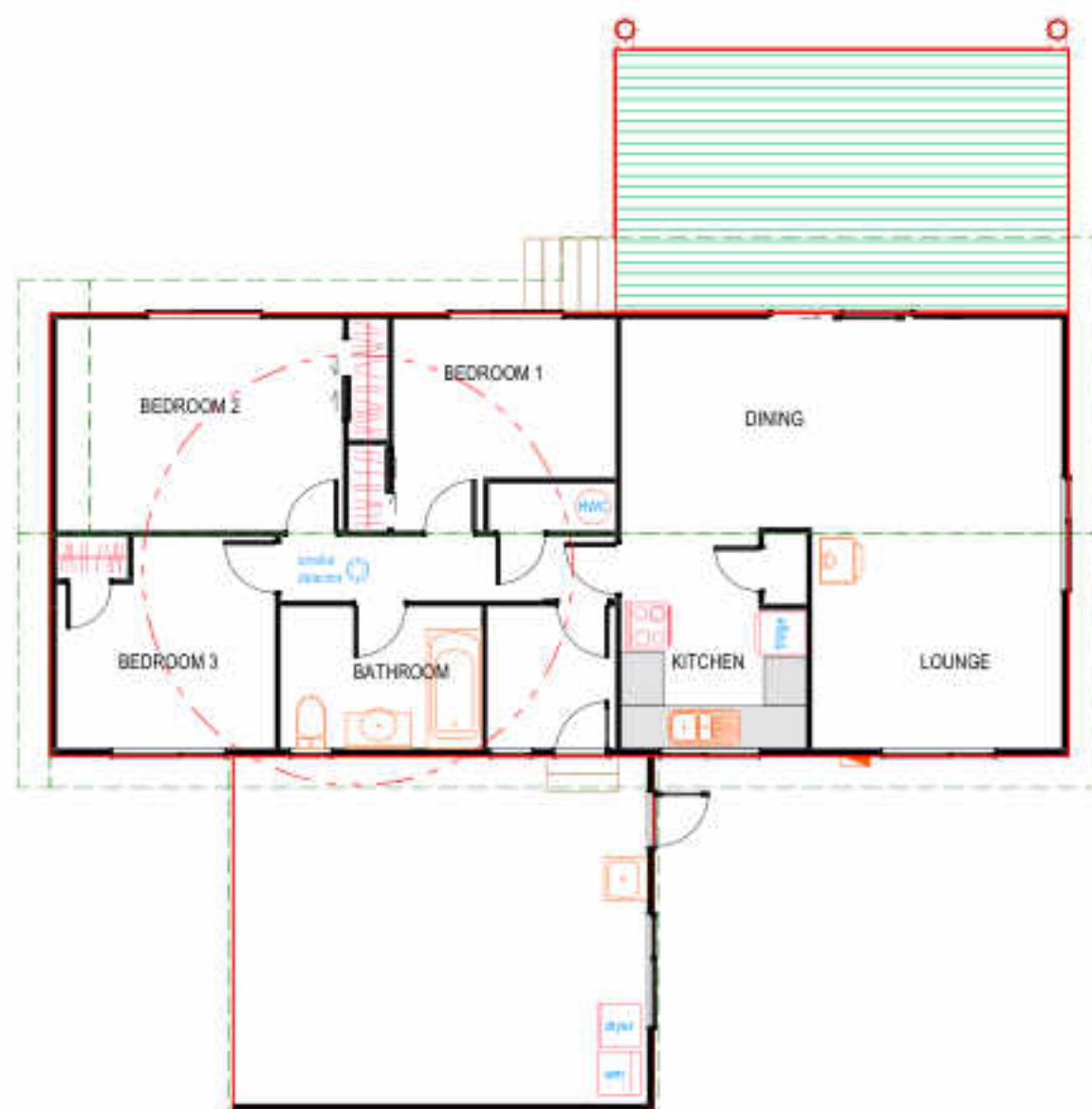
BUILDING ENVELOPE RISK MATRIX		
Elevations 3 & 4		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	Very high risk	2
Number of storeys	Low risk	0
Roof/wall intersection design	Low risk	0
Eaves width	High risk	2
Envelope complexity	Low risk	0
Deck design	Low risk	0
Total Risk Score:		4

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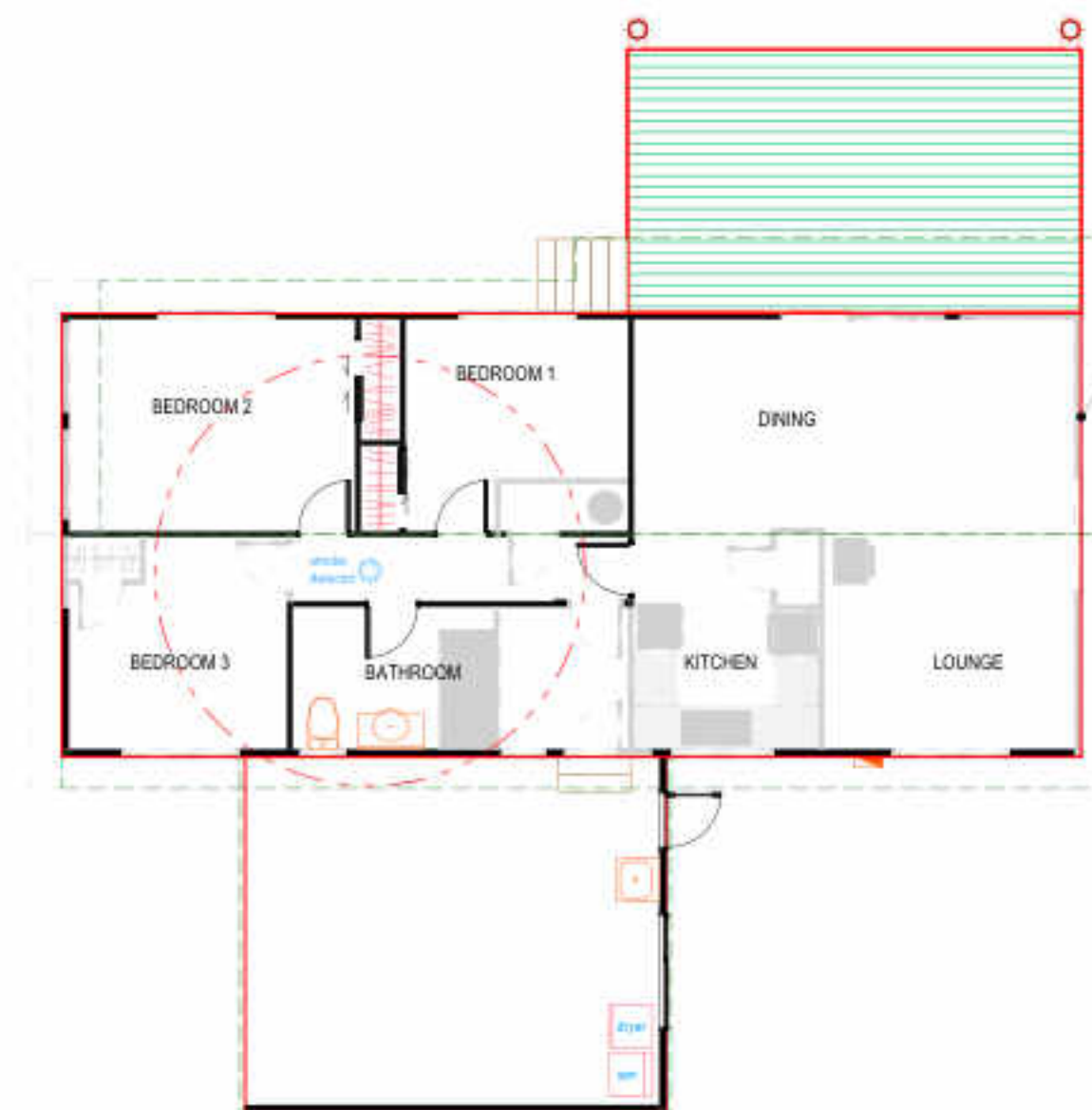
APPROVED



BUILDING ENVELOPE RISK MATRIX		
Elevations 3 & 4		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	Very high risk	2
Number of storeys	Low risk	0
Roof/wall intersection design	Low risk	0
Eaves width	High risk	2
Envelope complexity	Low risk	0
Deck design	Low risk	0
Total Risk Score:		4



 **Existing Floor Plan**
Scale 1:100



ENSURE EXISTING
STRUCTURE IS
SUPPORTED DURING
WORK

 **Demolition Floor Plan**
Scale 1:100

Waikato District Council
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Proposed Floor Plan
Scale 1:100



WATERPROOFING DETAILS

APPLY ARDEX WPM 001 UNDERTILE WATERPROOFING MEMBRANE TO ENSUITE AND BATHROOM FLOOR.

ARDEX WPM 001 UNDERTILE WATERPROOFING MEMBRANE SHALL BE APPLIED IN STRICT ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS. SEE ADJOINING LITERATURE

SCHEDULE OF FINISHES

FOR THE WATERPROOFING OF WALLS THE FOLLOWING FINISHES MUST BE ADHERED TO:

BATHROOM AND ENSUITE:
3 COATS ACRYLIC SEALER PLUS 2 COATS SEMI ENAMEL
KITCHEN & LAUNDRY:
2 COATS ACRYLIC SEALER PLUS 2 COATS LOW SHEEN

FLOOR PLAN NOTES

TIMBER FLOOR

BOTTOM PLATES TO EXTERNAL WALLS & INTERNAL WALL BRACING TO BE FIXED w. 2/100x3.75mm HAND DRIVEN NAILS AT 600ctrs. OR 3/90x3.15mm POWER DRIVEN NAILS AT 600ctrs. AS PER NZS 3604:2011 TABLE B.19.

BOTTOM PLATES TO INTERNAL WALLS TO BE FIXED w. 1/100x3.75mm HAND DRIVEN NAIL AT 600ctrs. OR 1/90x3.15mm POWER DRIVEN NAIL AT 600ctrs. AS PER NZS 3604:2011 TABLE B.19.

NO POWER POINTS ARE TO BE LOCATED WITHIN 90mm OF THE EDGE OF A BRACE SHEET. IF UNAVOIDABLE FRAME AROUND POWER POINT TO ENABLE BRACE FIXING

SMOKE DETECTORS

AN AUTOMATIC SMOKE DETECTION AND ALARM SYSTEM IS REQUIRED IN EACH SLEEPING ROOM OR WITHIN 3.0m OF EACH SLEEPING ROOM DOOR AND BE ABLE TO BE HEARD FROM THE OTHERSIDE OF THE CLOSED DOOR, ONLY WHERE ONE IS NOT REQUIRED BY TABLE 4.1 OF NZBC CLASS 1

REFER APPROVED DOCUMENT NZBC F7

SMOKE ALARMS SHALL BE LISTED OR APPROVED BY A RECOGNIZED AUTHORITY AS COMPLYING WITH LEAST ONE (1) OF: UL 217, ULC S531, AS 3786, BS 5446 PART 1

STUD SIZING

SINGLE OR UPPER STOREY
VERY HIGH WIND

max. STUD LENGTH (mm) STUD SIZE & SPACING

FOR EXTERIOR LOADBEARING WALLS

2400	90x45 (SG8) @ 400ctrs.
2700	90x45 (SG8) @ 300ctrs.
3000	90x45 (SG8) @ 300ctrs.
3600	2/90x45 (SG8) @ 400ctrs. or 140x45 (SG8) @ 400ctrs.

FOR EXTERIOR NON LOADBEARING WALLS

2400	90x45 (SG8) @ 400ctrs.
2700	90x45 (SG8) @ 400ctrs.
3000	2/90x45 (SG8) @ 600ctrs.
3600	2/90x45 (SG8) @ 600ctrs. or 140x45 (SG8) @ 600ctrs.

FOR INTERNAL LOADBEARING WALLS

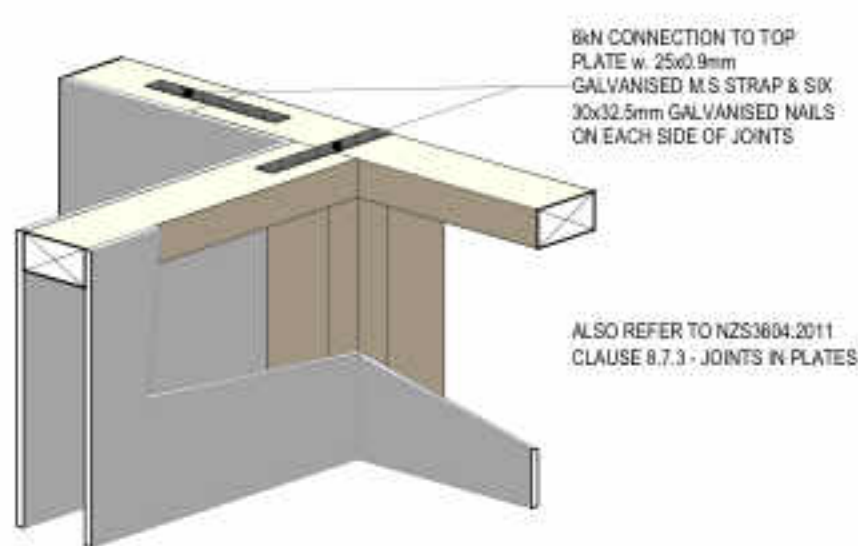
2400	90x45 (SG8) @ 600ctrs.
2700	90x45 (SG8) @ 600ctrs.
3000	90x45 (SG8) @ 600ctrs.
3600	2/90x45 (SG8) @ 600ctrs. or 140x45 (SG8) @ 600ctrs.

FOR INTERNAL NON LOADBEARING WALLS

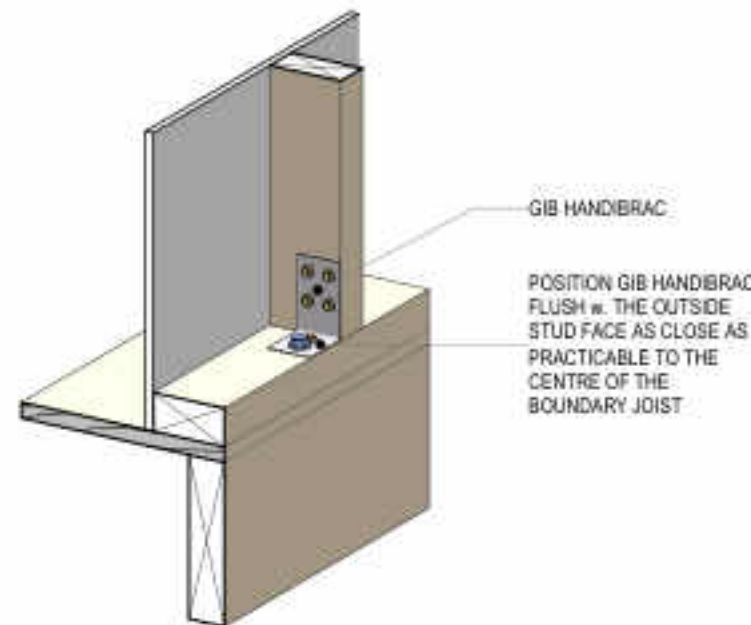
2400	90x45 (SG8) @ 600ctrs.
2700	90x45 (SG8) @ 600ctrs.
3000	90x45 (SG8) @ 600ctrs.
3600	2/90x45 (SG8) @ 600ctrs. or 140x45 (SG8) @ 600ctrs.

TOP PLATES

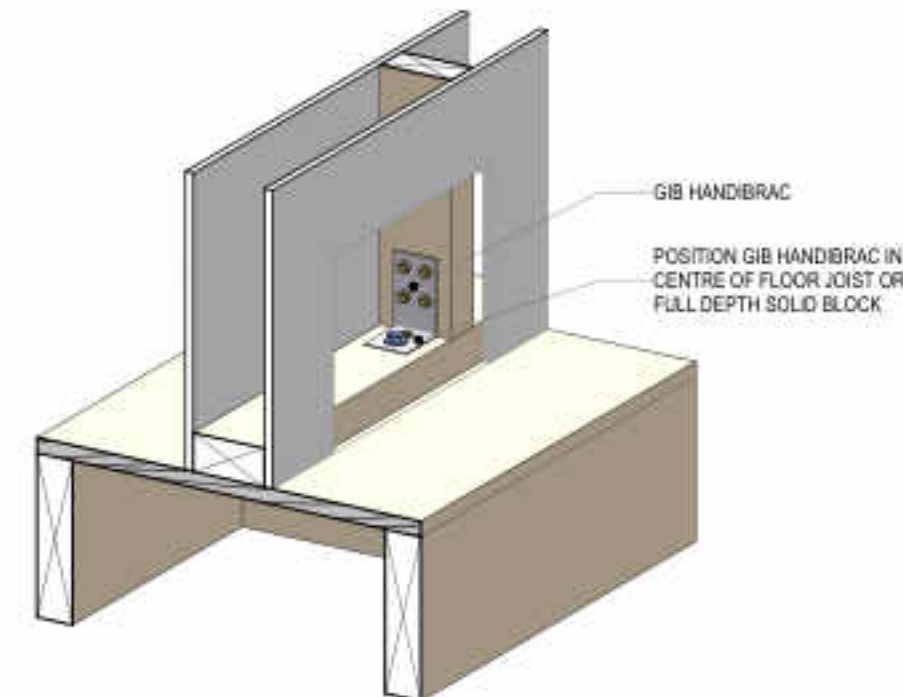
90x45 (SG8) TOP PLATE
plus
140x25 (SG8) CEILING PLATE
or
2/90x45 (SG8) PLATES



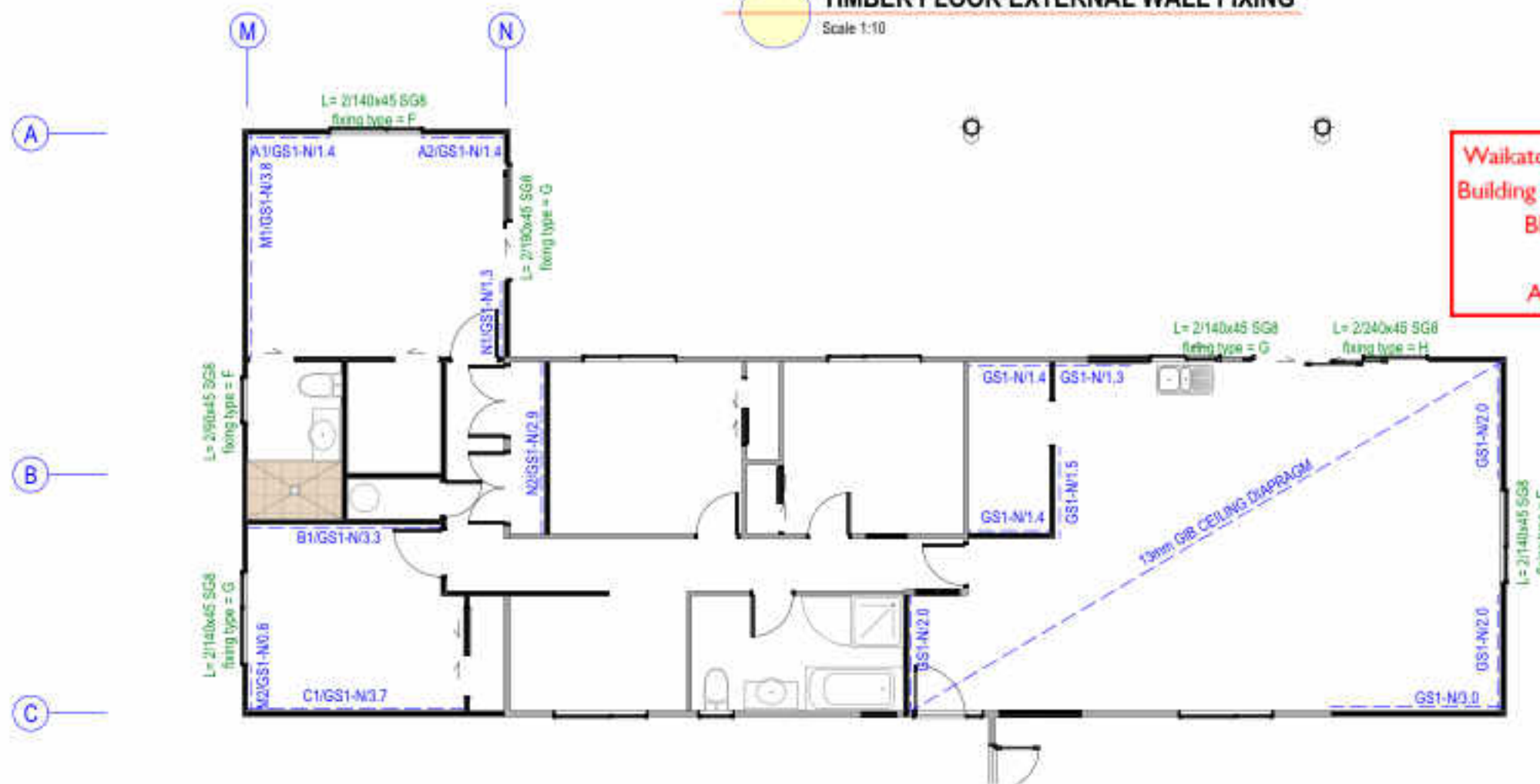
BRACED WALL DETAIL
Scale 1:10



TIMBER FLOOR EXTERNAL WALL FIXING
Scale 1:10

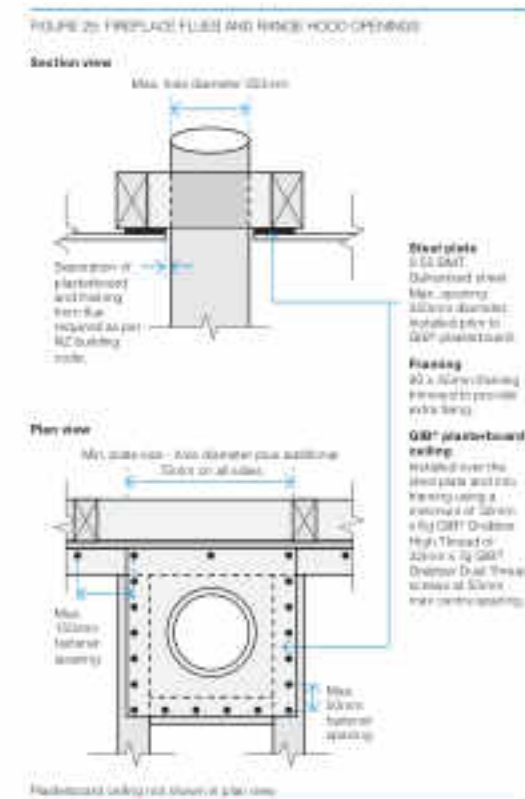


TIMBER FLOOR INTERNAL WALL FIXING
Scale 1:10

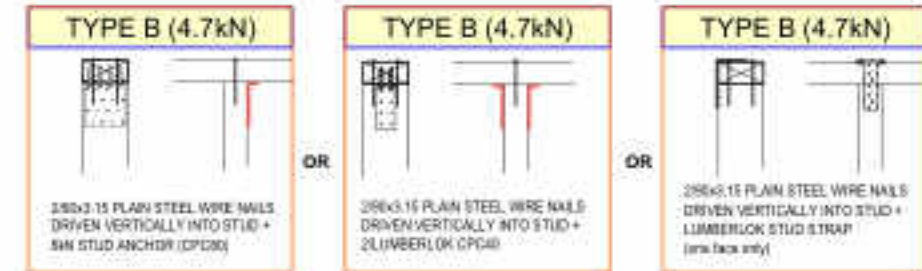


Bracing Plan
Scale 1:100

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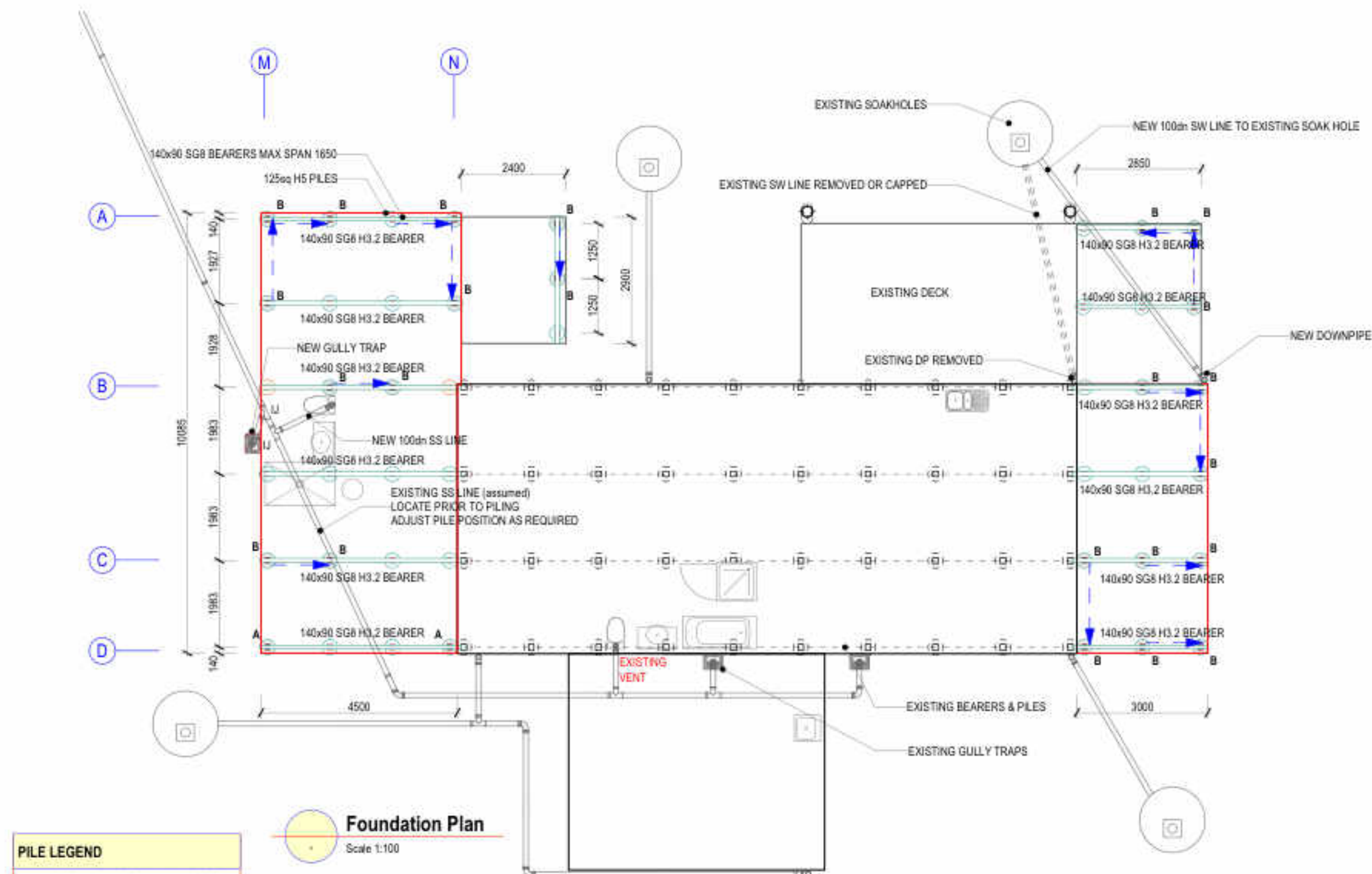
TOP PLATE FIXING



Waikato District Council
Full Application Received
11/02/2019

TIMBER TREATMENTS REQUIREMENTS SPECIFICATIONS		
FLOORS		
ENCLOSED SUB FLOOR JOISTS	H1.2	KILN DRY
EXPOSED SUB FLOOR JOISTS	H3.2	WET
MID FLOOR JOISTS	H1.2	KILN DRY
BOUNDARY JOISTS	H1.2	KILN DRY
WET AREAS	H1.2	KILN DRY
PILES	H5	WET
BEARERS	H1.2	KILN DRY
WET AREA FLOORING	H3.2	PLYWOOD
WALLS		
EXTERIOR WALLS	H1.2	KILN DRY
INTERIOR WALLS	H1.2	KILN DRY
WET AREA WALLS	H1.3	KILN DRY
ROOFS		
TRUSS FRAMING	H1.2	KILN DRY
SKILLION ROOF	H1.2	KILN DRY
FLAT ROOF ($\leq 10^\circ$)	H1.2	KILN DRY
DECKS		
EXPOSED DECKING	H3.2	WET
EXPOSED JOISTS	H3.2	WET
EXPOSED BEARERS	H3.2	WET
ENCLOSED JOISTS	H3.1	KILN DRY
ENCLOSED BEARERS	H3.1	KILN DRY
LANDSCAPING		
PERGOLA FRAMING	H3.2	WET
PERGOLA POSTS	H5	WET
FENCE PAILINGS, BATTENS & RAILS	H4	WET
RETAINING POLES	H5	WET
RETAINING RAILS	H4	WET
FOUNDATION NOTES		
CONTRACTOR TO LOCATE ALL DRAINS PRIOR TO CONSTRUCTION		
ALL PILES TO BE 1m MIN CLEAR OF ALL PUBLIC DRAINS		
DECK PILES TO BE min 600 DEEP		
ALL CONCRETE STRENGTH TO BE MIN 20MPa AT 28 DAYS		

ABBREVIATIONS	
DP	DOWNPIPE
IB	INSPECTION BEND
IJ	INSPECTION JUNCTION
SS	SANITARY SEWER
SW	STORMWATER
ORG	OVERFLOW RELIEF GULLY
adv	AIR ADMITTANCE VALVE
HWC	HOT WATER CYLINDER



PILE LEGEND	
	ORDINARY PILE: 125sq H5 PILE SET IN 400Ø x 200 DEEP CONCRETE SET 400 BELOW C.G.L.
	BRACE PILE: 125sq H5 PILE SET IN 400Ø x 450 DEEP CONCRETE SET 450 BELOW C.G.L.
	ANCHOR PILE: 125sq H5 PILE SET IN 400Ø x 900 DEEP CONCRETE SET 900 BELOW C.G.L.
	SUBFLOOR BRACE: 100x75 IF LESS THAN 3m, 100x100 IF LESS THAN 5m. ARROWHEAD INDICATES TOP OF BRACE

Foundation Plan
Scale 1:100

Waikato District Council
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11/02/2019

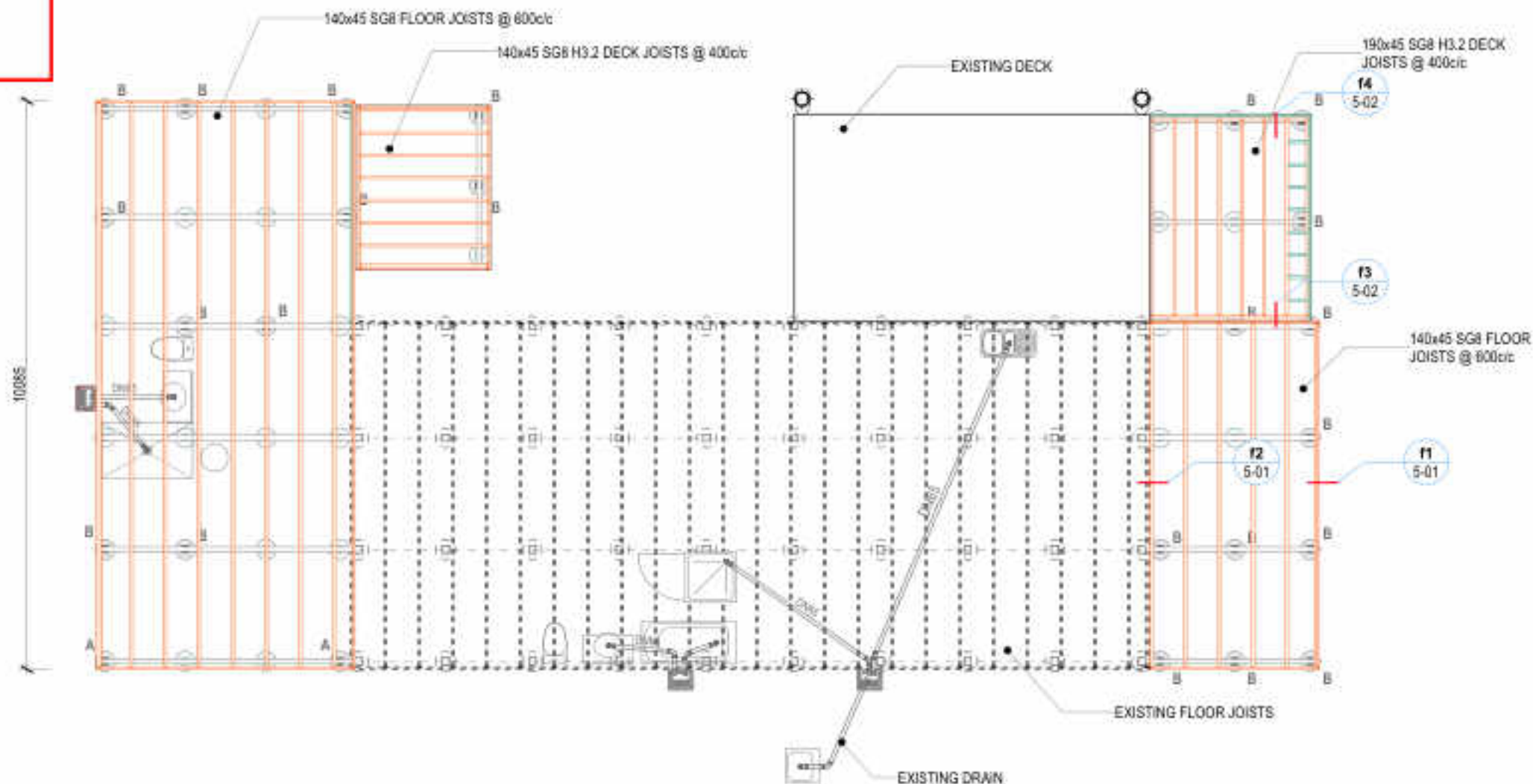
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DRAINAGE	DRAINAGE GRADIENTS (AUCKLAND COUNCIL)	
DRAINLAYER TO CONFIRM PLUMBING/DRAINAGE ROUTES SYSTEM: G13	40Ø pipes to have:	1 in 40 fall
	65Ø pipes to have:	1 in 40 fall
	80Ø pipes to have:	1 in 60 fall
	100Ø pipes to have:	1 in 60 fall

Waikato District Council
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Floor Framing Plan
Scale 1:100

FLOOR FRAMING NOTES

TIMBER FLOOR

2/240x45 TRIMMER IN ACCORDANCE WITH NZS 3604:2011 7.1.6.2 (b)

TRIMMER TO BE FIXED WITH 2/7.6kN JOISTS HANGERS IN ACCORDANCE TO NZS 3604:2011 7.1.6.5

CURTAILED JOISTS TO BE FIXED WITH 4/100x3.75mm NAILS OR 2.7kN JOIST HANGER

LATERAL SUPPORT & MIDSPAN NOGGING OF FLOOR JOISTS IN ACCORDANCE WITH NZS 3604:2011 7.1.2.2(a) OR (b), 7.1.2.3 & 7.1.2.4

20mm H3 PARTICLEBOARD FLOORING TO WET AREAS (AS/NZS 2269) IN ACCORDANCE WITH NZS 3604:2011 7.2.3.5 SCREWED & GLUED AS PER 7.2.3.4

JOINTS IN JOISTS TO BE IN ACCORDANCE WITH FIGURE 7.1 NZS 3604:2011

WASTE PIPE SIZE AND MAX ALLOWANCE TO CUT THROUGH JOISTS IN ACCORDANCE WITH NZS 3604:2011 FIG 7.8

JOISTS TO BE NOTCHED 32mm max. (SERVICE ROUTE UNDERNEATH) NZS 3604:2011 FIG 7.6 & 7.1.7.1

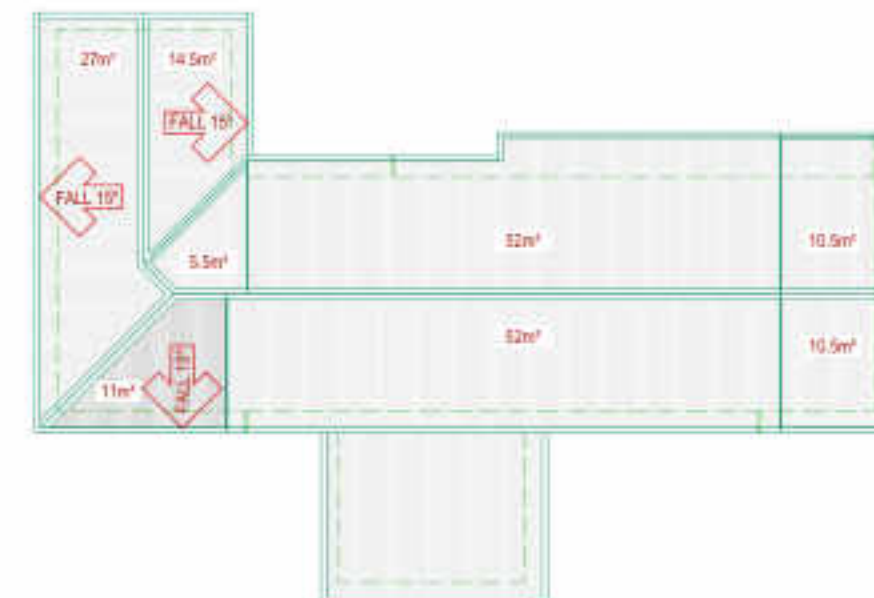
"BRACE-IT THRU-JOIST" BRACKETS TO BE INSTALL WHERE 1000 WASTE PIPES ARE TO BE CUT THROUGH FLOOR JOISTS.

Waikato District Council
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11/02/2019

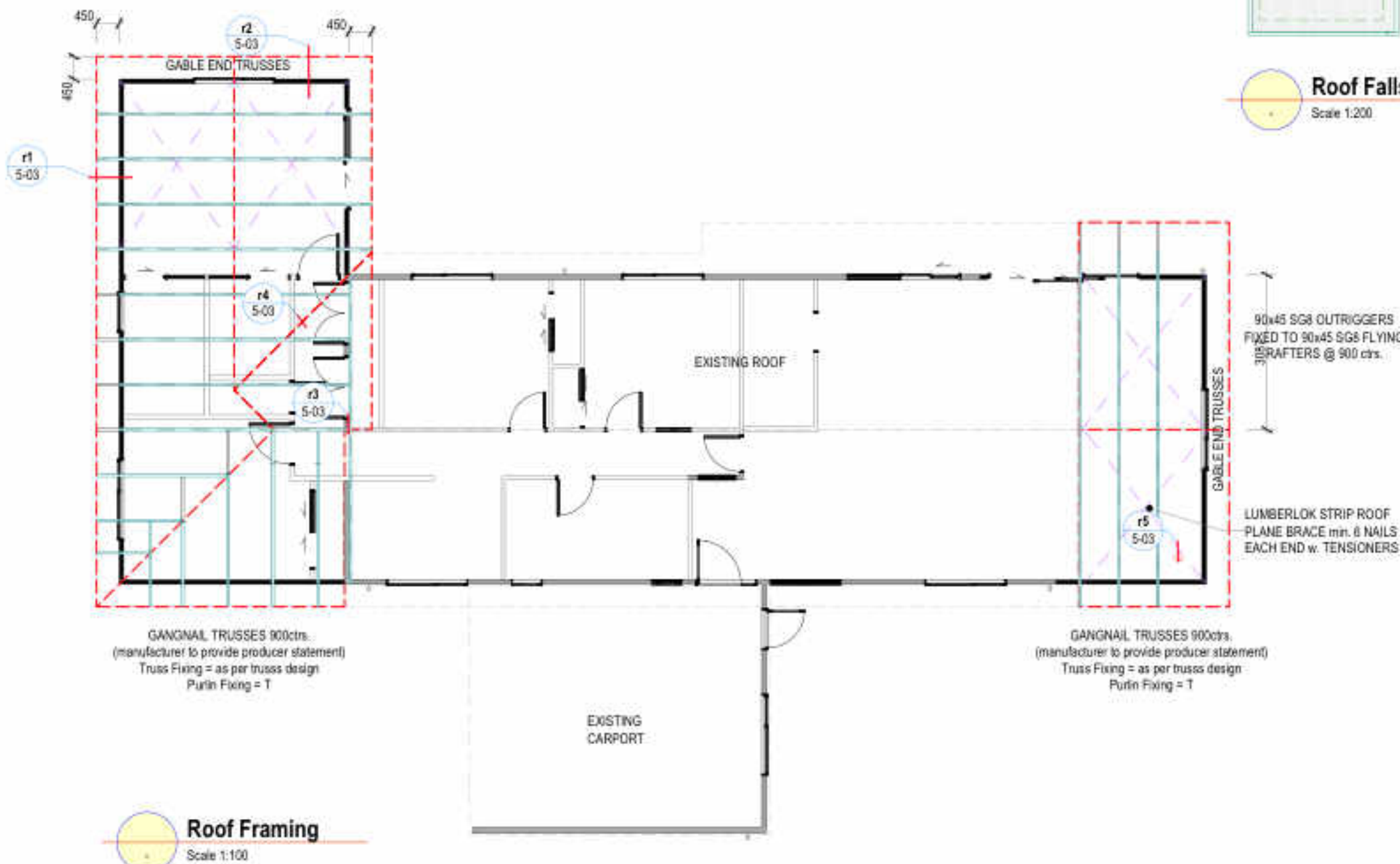
KEY TO FIXING TYPES AND CAPACITY FOR RAFTERS, ROOF TRUSSES, PURLINS/BATTENS, UNDERPURLINS, RIDGE BEAMS AND STRUTTING BEAMS		
TYPE E	2/90x3.15 SKEW NAILS + 2 WIRE DOGS	4.7kN
TYPE F	2/90x3.15 SKEW NAILS + STRAP FIXING	7.0kN
TYPE G	10/90x3.15 NAILS (5 EACH SIDE)	4.7kN
TYPE H	1/M12 BOLT	8.5kN
TYPE I	2/M12 BOLTS	16.0kN
TYPE J	2/M16 BOLTS	24.0kN
TYPE K	6/90x3.15 NAILS	3.0kN
TYPE L	2/M12 BOLTS	9.8kN
TYPE M	2/M16 BOLTS	13.0kN
TYPE N	6/100x4.0 NAILS HAND-DRIVEN	4.7kN
TYPE O	2/M12 BOLTS	6.8kN
TYPE P	2/HDG 'FLAT' STRAPS	13.7kN
TYPE Q	2/HDG 'TEE' STRAPS	25.5kN
TYPE R	1/90x3.15 GUN NAIL	0.55kN
TYPE S	2/90x3.15 GUN NAILS	0.8kN
TYPE T	1/10g SELF DRILLING SCREW 80mm LONG	2.4kN
TYPE U	1/14g SELF DRILLING TYPE 17 SCREW, 100mm LONG	5.5kN

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Roof Falls Plan
Scale 1:200



Roof Framing
Scale 1:100

ROOF FRAMING NOTES

ROOF PLAN AREA 183m²
EAVES 450mm FROM OUTSIDE OF FRAME
ROOF PITCH 15°
LIGHT WEIGHT METAL ROOF
Very High WIND ZONE

PURLINS SHALL BE 70x50 SG8 @ 900mm cns. FIXED w. 1/10g 80mm LONG SELF-DRILLING SCREW OR AN ALTERNATIVE FIXING w. THE CAPACITY OF 2.4kN AS PER TABLE 10.12 NZS 3604:2011

ROOF BRACING SHALL BE AS PER NZS 3602:2011 TABLE 10.16 USING PAIRS OF DIAGONAL STEEL STRAP BACES PER 50m² OF ROOF PLAN AREA (THEREFORE min. 5 REQUIRED). STRAPS TO HAVE A 4kN CAPACITY IN LOCATIONS SHOWN

STRAPS INDICATED BY PAIR OF CROSSED LINES - ELSEWHERE HIP & VALLEY RAFTERS SHALL PROVIDE THE NECESSARY BRACING

ROOFING UNDERLAY SHALL BE THERMAKRAFT 215 SELF SUPPORTING ROOFING UNDERLAY

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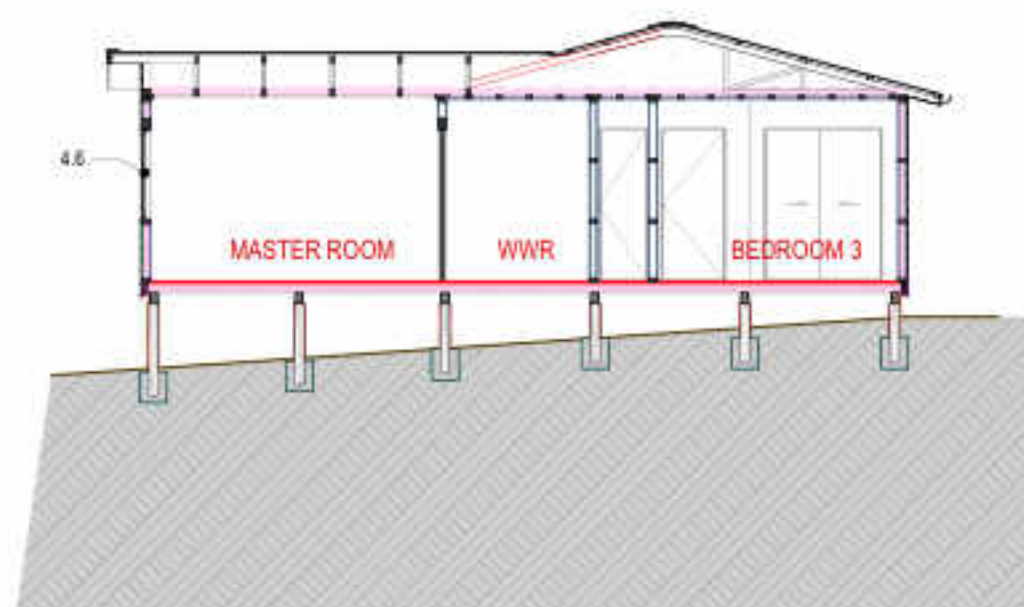
4 Sections

- 4.1 Roofing**
 PROFILED METAL ROOFING
 70x45 PURLINS
 THERMAKRAFT 215 SELF-SUPPORTING ROOFING UNDERLAY
 GANGNAIL TRUSSES @ 900 ctrs.
 R2.6 CEILING INSULATION
 70x35 TIMBER CEILING BATTENS @ 600 ctrs.
 13mm GIBBOARD CEILING LINING
- 4.2 Soffits**
 125 HALF ROUND SPOUTING (match existing)
 180x19 TIMBER FASCIA
 80mm dia. PVC DOWNPIPES
 4.5mm JAMES HARDIES
 HARDIFLEX SOFFIT LINING
- 4.3 External Framing**
 JAMES HARDIE WEATHERBOARDS
 THERMAKRAFT WATERGATE PLUS BUILDING WRAP
 90x45 SG8 H1.2 FRAMING w. STUDS @ 400 ctrs. & NOGS @ 800 ctrs.
 R2.2 WALL INSULATION
 10mm GIBBOARD LINING
- 4.4 Internal Framing**
 90x45 SG8 H1.2 FRAMING w. STUDS @ 600 ctrs. & NOGS @ 800 ctrs.
 10mm GIBBOARD LINING (AQUALINE TO WET AREAS)
 1980h. PAINTED HOLLOW CORE INTERNAL DOORS
- 4.5 Floor**
 18mm PARTICLEBOARD FLOORING (H3 to wet areas)
 min R1.4 INSULATION
 140x45 SG8 JOISTS @ 600c/c
- 4.6 Windows**
 VISION WINDOWS DOUBLED GLAZED POWDER COATED ALUMINIUM JOINERY
- 4.7 Deck**
 SELECTED TIMBER DECKING (MIN 20mm)
 190x45 H3.2 SG8 JOISTS @ 400c/c

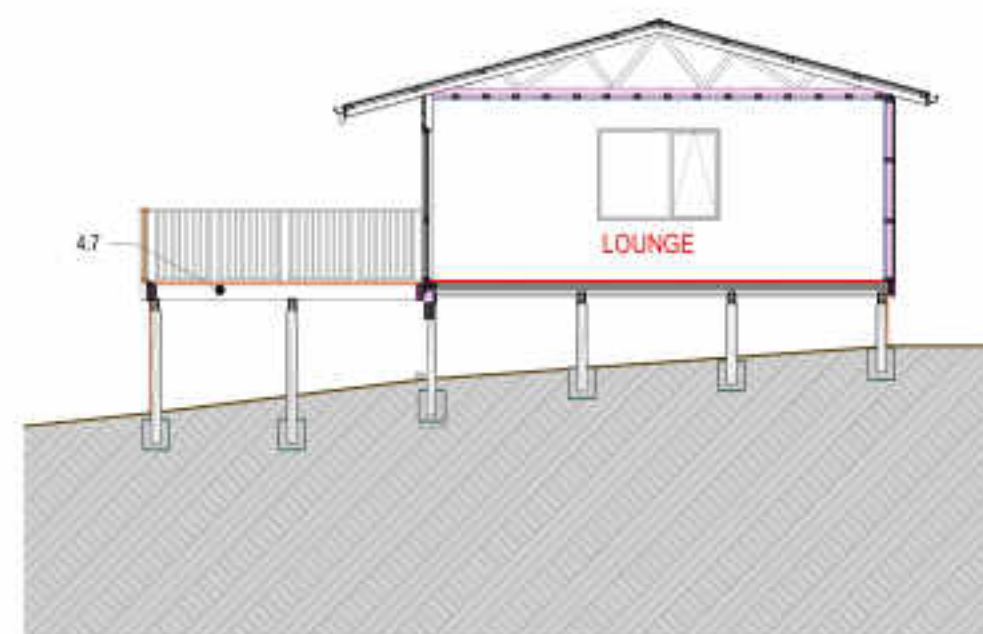


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A SECTION
 3-02 Scale 1:100



B SECTION
 3-02 Scale 1:100

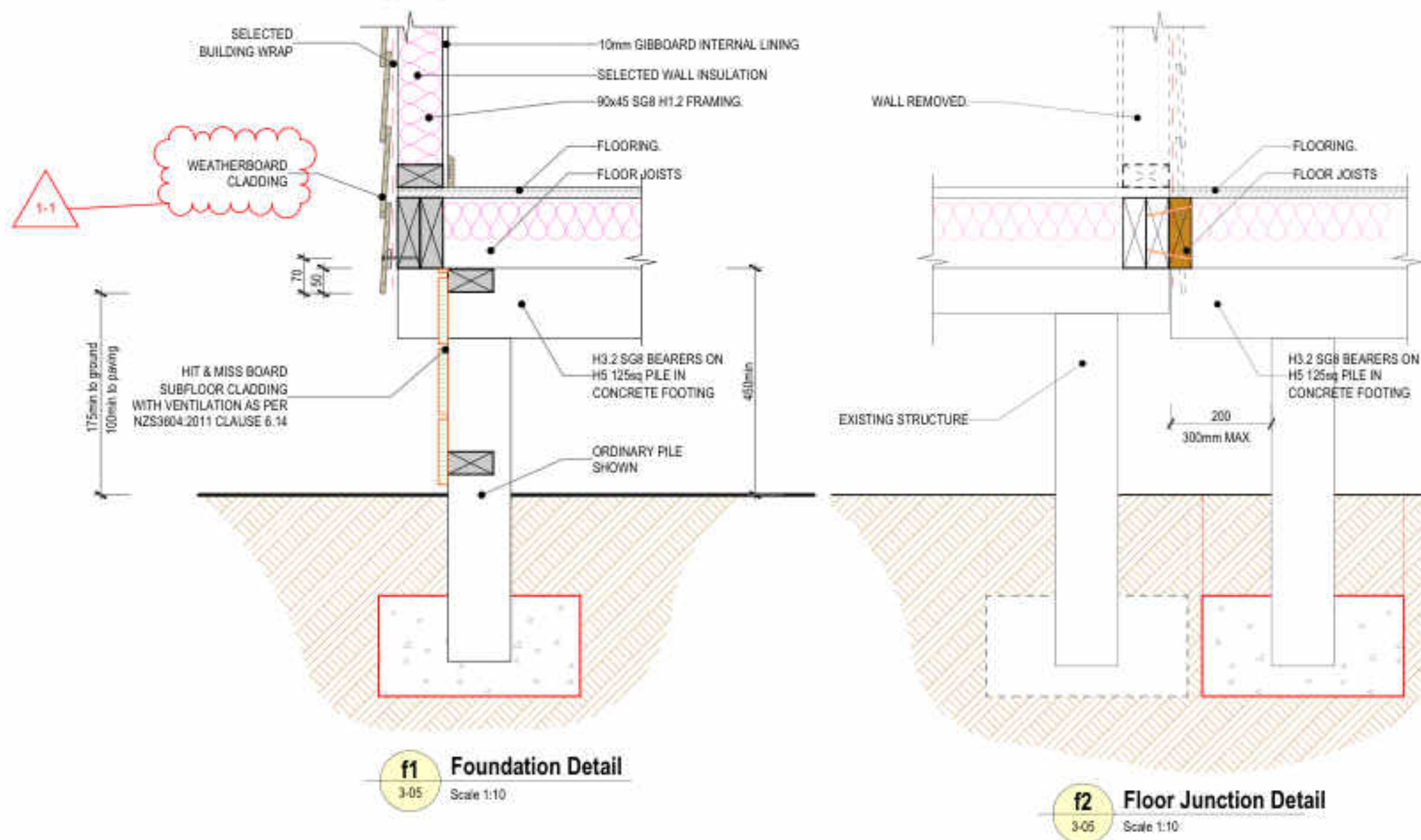


C SECTION
 3-02 Scale 1:100

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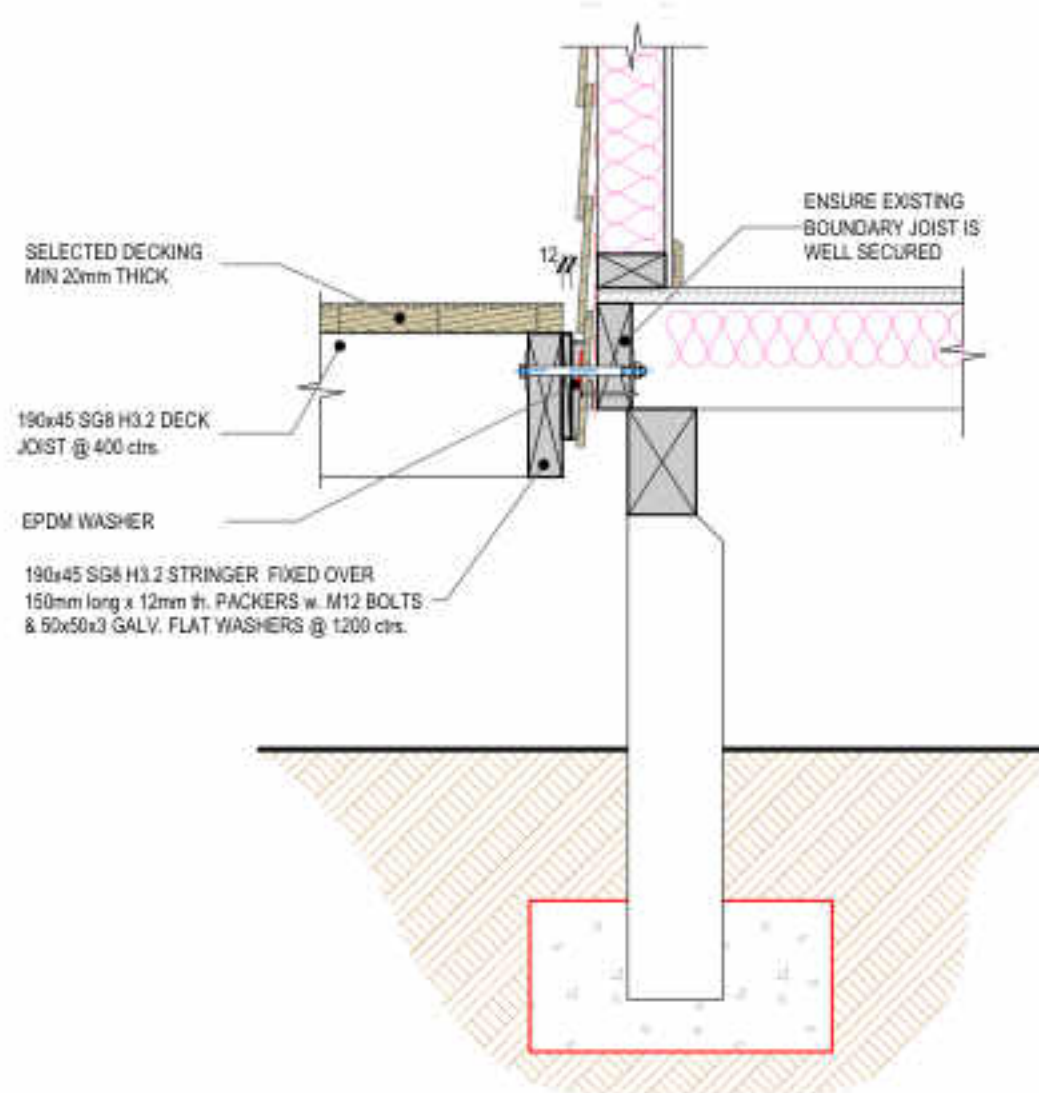
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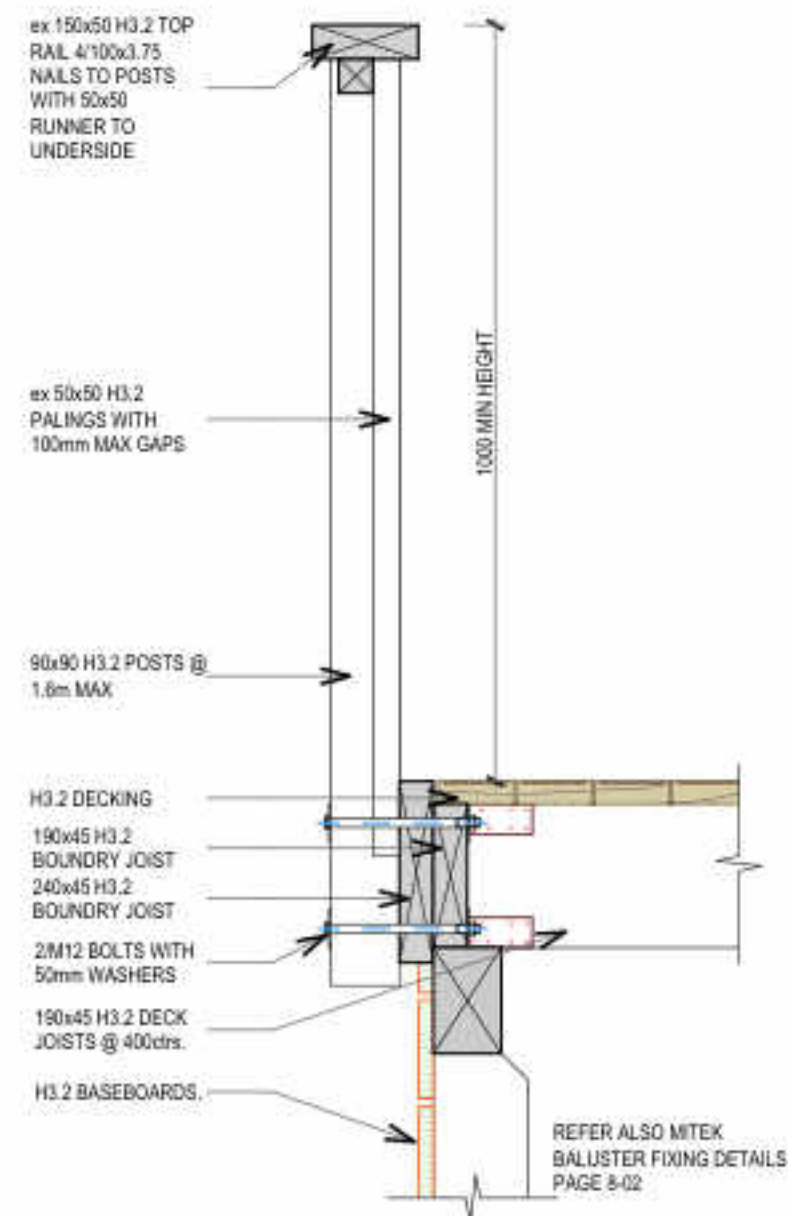
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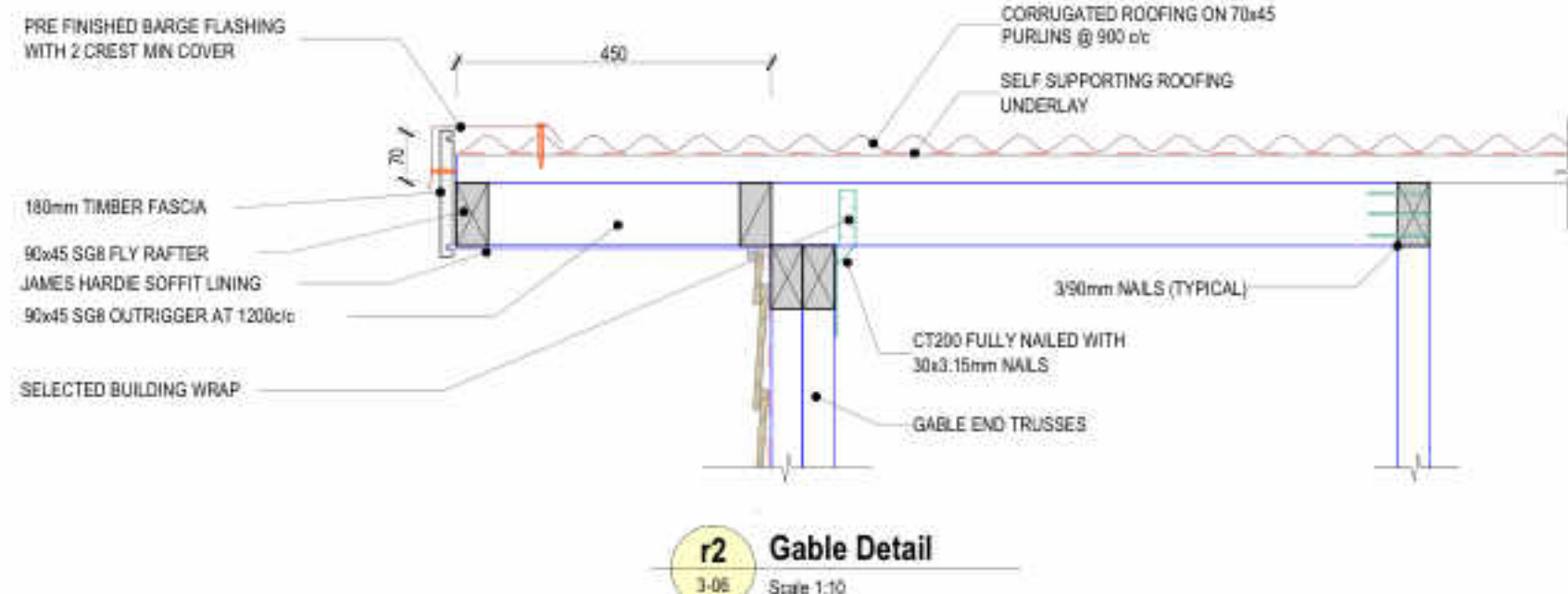
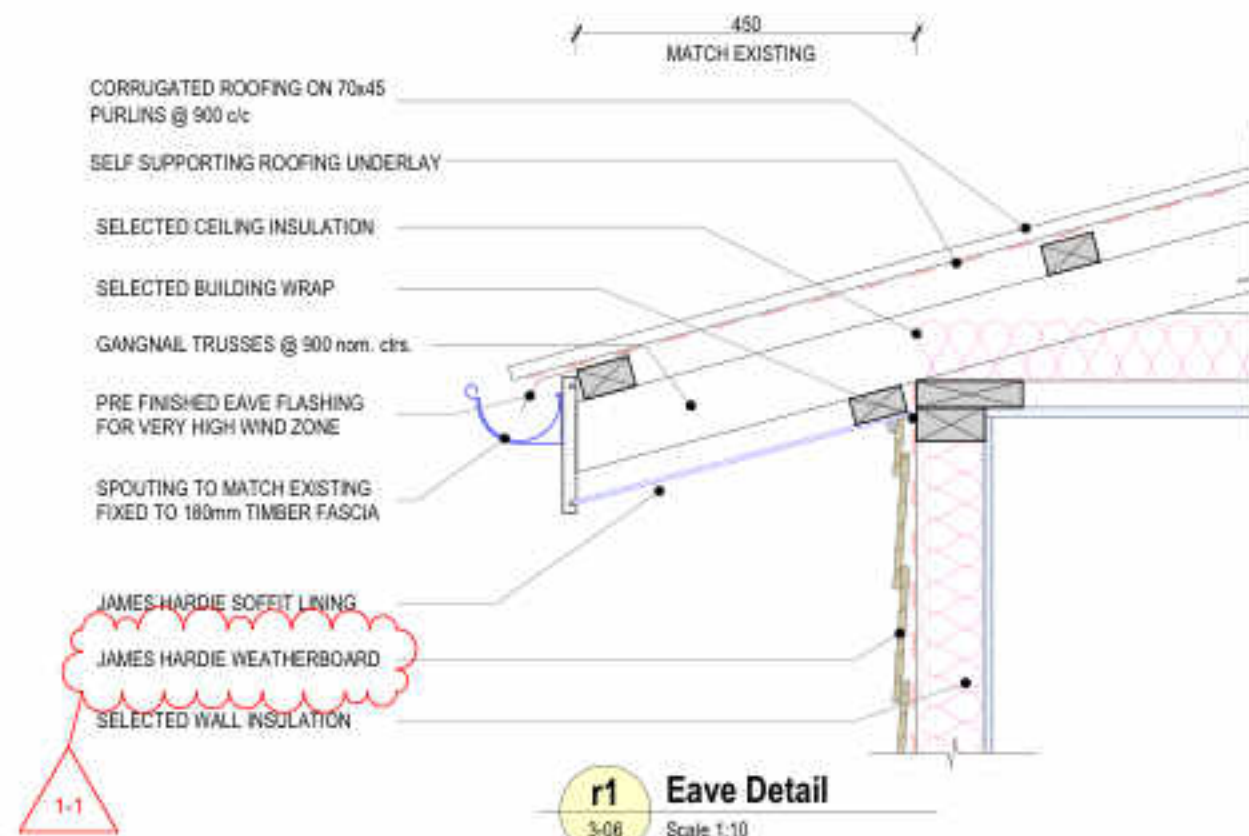


f3 Deck Junction Detail
3-05 Scale 1:10



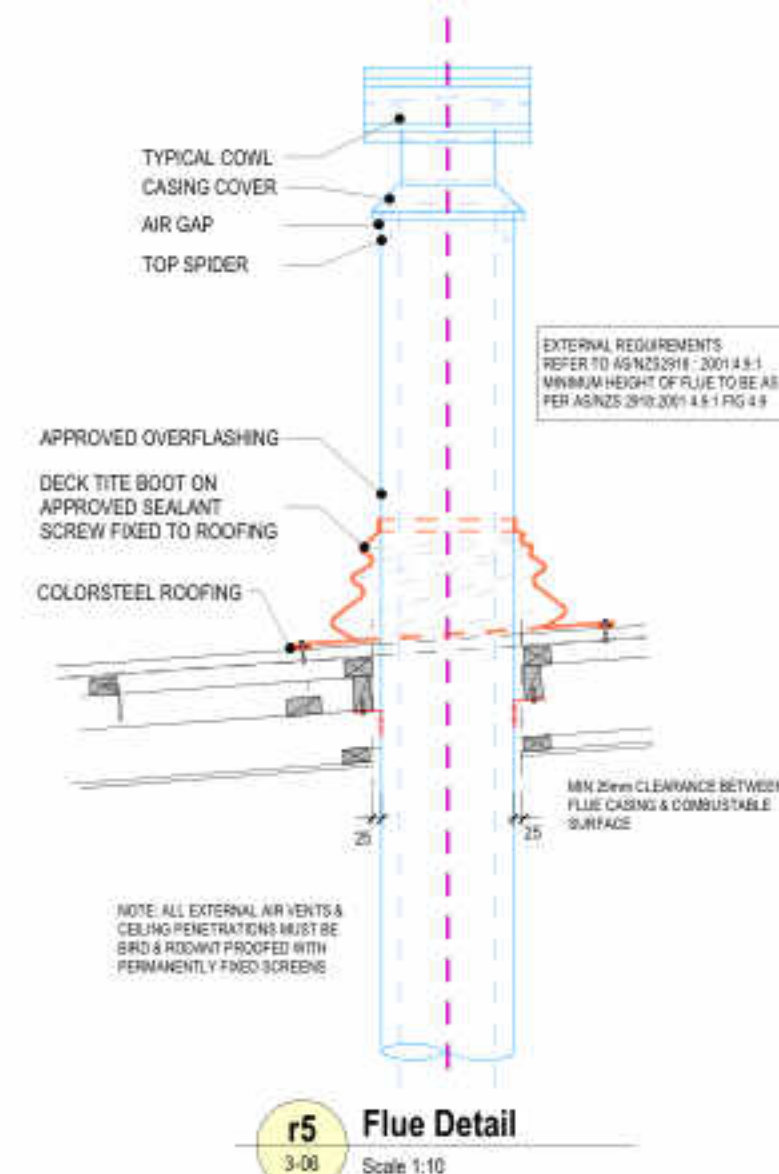
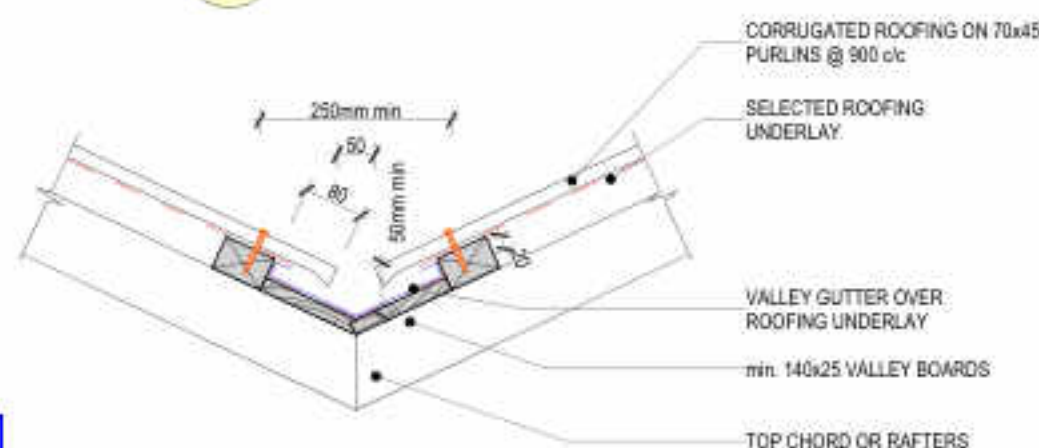
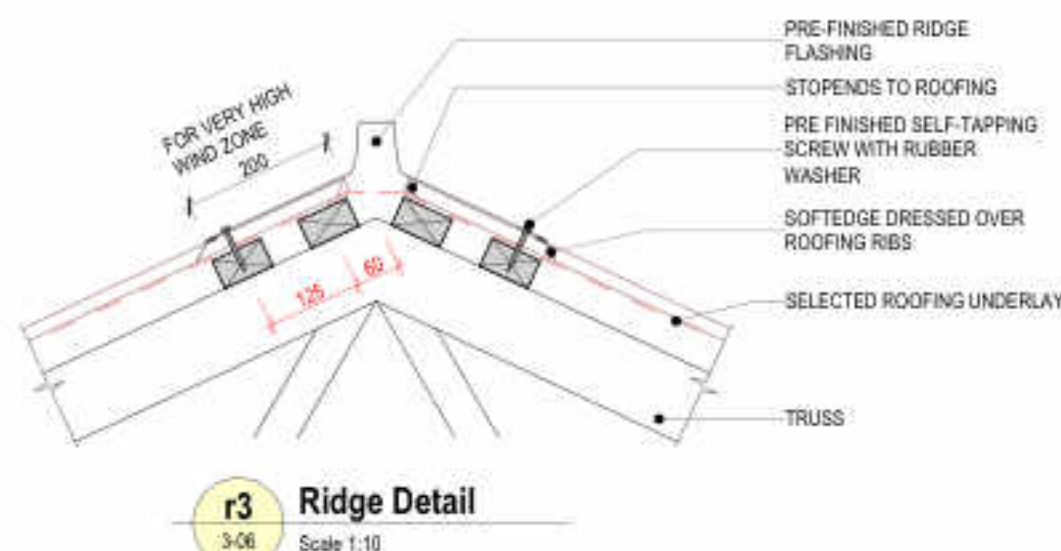
f4 Deck Edge Detail
3-05 Scale 1:10

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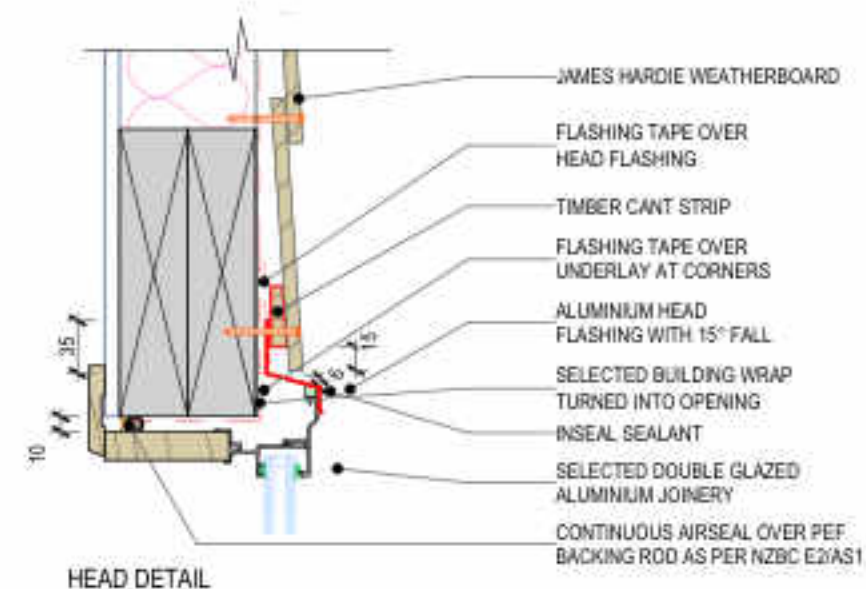


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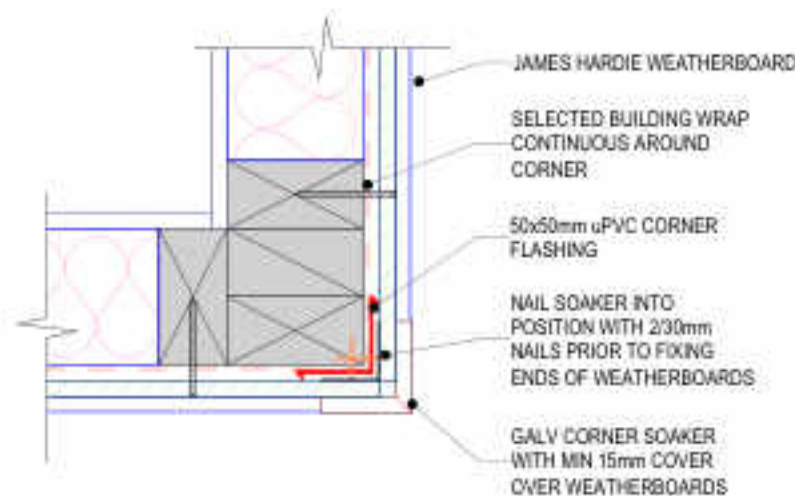
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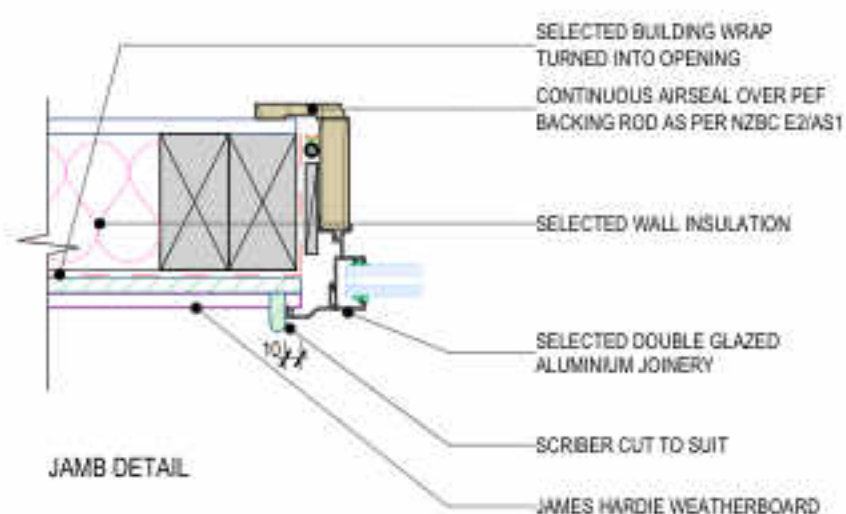


HEAD DETAIL

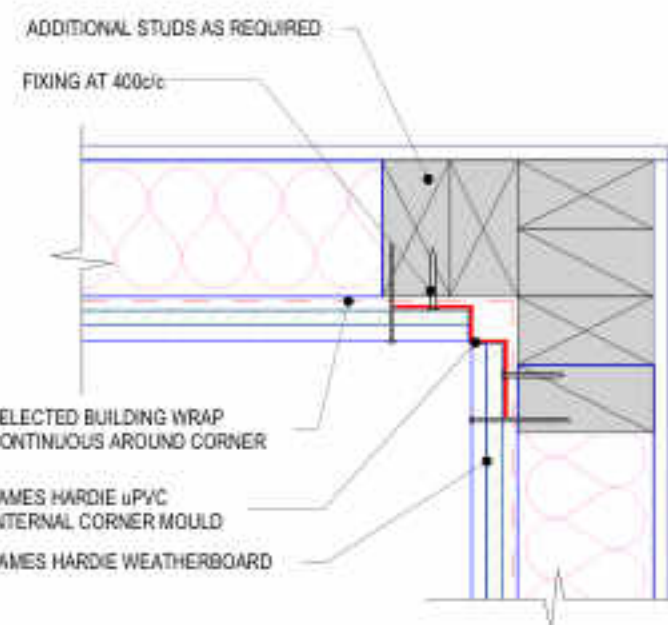


wb2 External Corner Detail

2-01 Scale 1:5

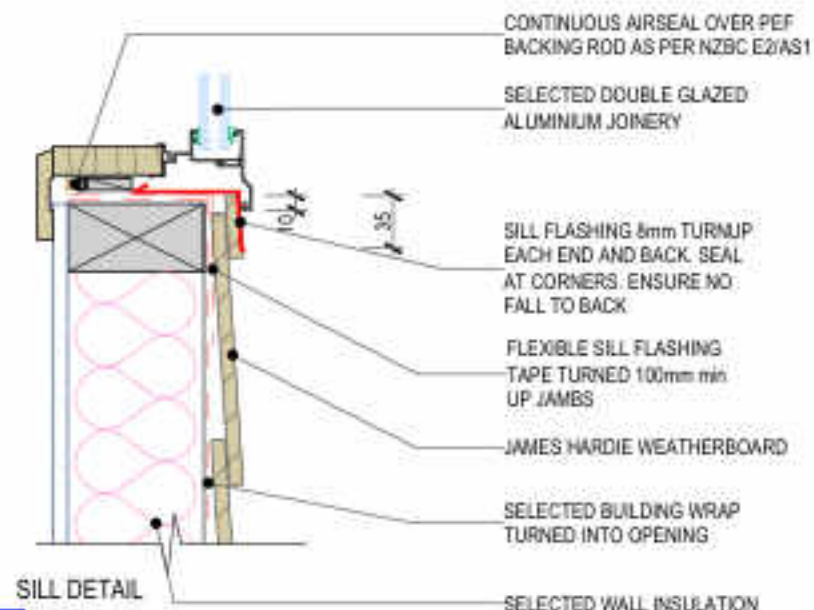


JAMB DETAIL



wb3 Internal Corner Detail

2-01 Scale 1:5



SILL DETAIL

wb1 Window Detail

2-01 Scale 1:5

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Figure 4: Direct fix weatherboard fixing

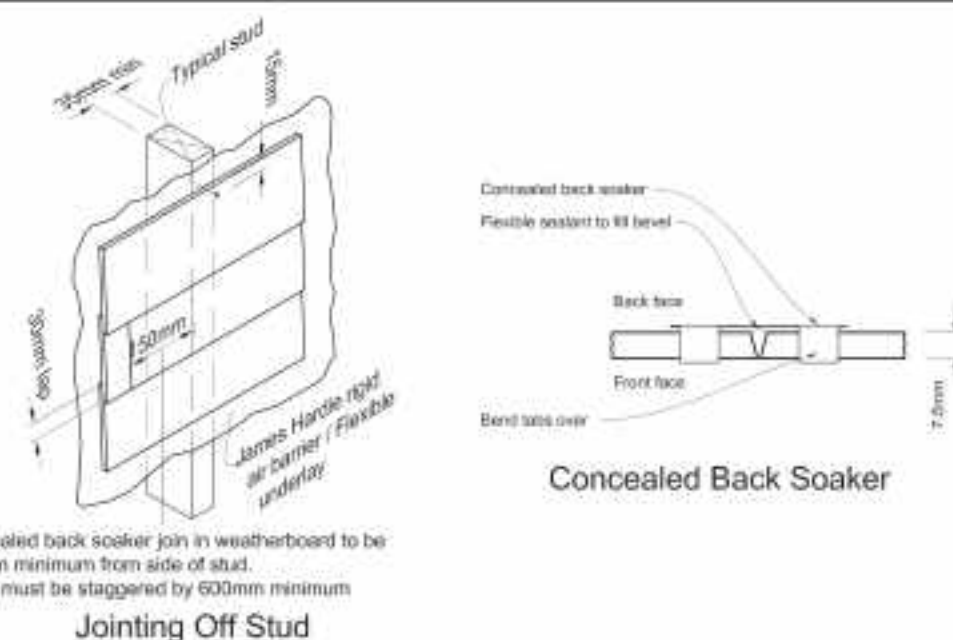
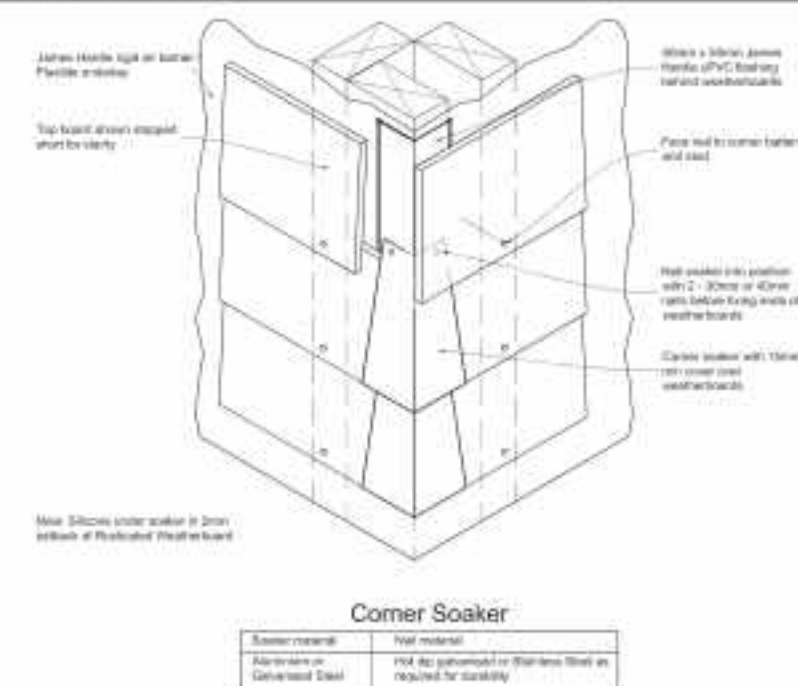


Figure 7: Direct fix external corner soaker



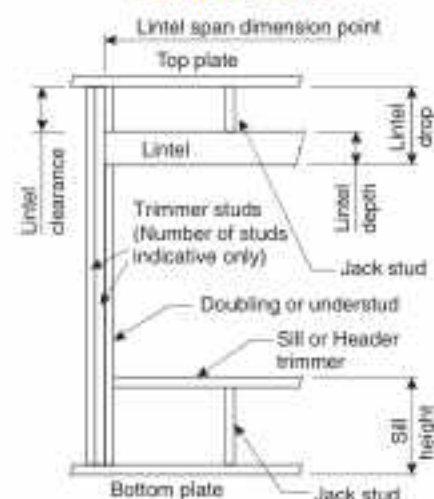
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LINTEL FIXING SCHEDULE ALTERNATIVE TO TABLE 8.14 & FIGURE 8.12 NZS 3604:2011

NOTE:

- All fixings are designed for vertical loads only. Dead loads include the roof weight and standard ceiling weight of 0.20kPa.
- Refer to Table 8.19 NZS 3604:2011 for nailing schedule to resist horizontal loads.
- These fixings assume the correct choice of rafter/truss to top plate connections have been made.
- All fixings assume bottom plate thickness of 45mm maximum. Note: TYLOK options on timber species.
- Wall framing arrangements under girder trusses are not covered in this schedule.
- All timber selections are as per NZS 3604:2011.

DEFINITIONS



Roof Tributary Area	Light Roof Wind Zone			Heavy Roof Wind Zone		
	L, M, H	VH	EH	L, M, H	VH	EH
8.6m²	G	G	H	G	G	H
11.6m²	G	H	H	G	G	H
12.1m²	G	H	H	G	H	H
15.3m²	H	H	-	G	H	H
19.1m²	H	-	-	G	H	-
20.9m²	H	-	-	H	H	-
21.8m²	H	-	-	H	-	-
34.3m²	-	-	-	H	-	-

NOTES:

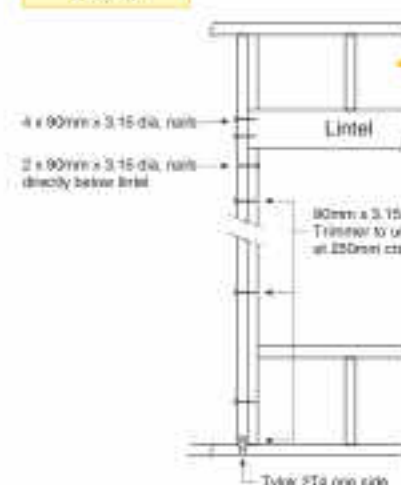
- Roof Tributary Area = approx. 1/2 x (Total roof area on girder and rafter trusses supported by lintel)
- Assumed girder truss is at mid-span or middle third span of lintel
- Use similar fixings for both ends of lintel
- All other cases require specific engineering design

Lintel Span (m)	Loaded Dimension (m) (See Fig. 1.3 NZS 3604:2011)	Light Roof Wind Zone					Heavy Roof Wind Zone				
		L	M	H	VH	EH	L	M	H	VH	EH
1.0	2.0	E	E	E	F	F	E	E	E	F	F
	3.0	E	E	E	F	F	E	E	E	F	F
	4.0	E	F	F	G	G	E	F	F	G	G
	5.0	E	F	F	G	G	E	F	F	G	G
	6.0	E	F	F	G	G	E	F	F	G	G
1.2	2.0	E	E	F	F	F	E	E	F	F	F
	3.0	E	E	F	F	F	E	E	F	F	F
	4.0	E	F	F	G	G	E	F	F	G	G
	5.0	E	F	F	G	G	E	F	F	G	G
	6.0	E	F	F	G	G	E	F	F	G	G
1.5	2.0	E	E	F	F	F	E	E	F	F	F
	3.0	E	E	F	F	F	E	E	F	F	F
	4.0	E	F	F	G	G	E	F	F	G	G
	5.0	E	F	F	G	G	E	F	F	G	G
	6.0	E	F	F	G	G	E	F	F	G	G
2.0	2.0	E	F	F	G	G	E	F	F	G	G
	3.0	E	F	F	G	G	E	F	F	G	G
	4.0	E	F	F	G	G	E	F	F	G	G
	5.0	E	F	F	G	G	E	F	F	G	G
	6.0	E	F	F	G	G	E	F	F	G	G
2.4	2.0	E	F	F	G	G	E	F	F	G	G
	3.0	E	F	F	G	G	E	F	F	G	G
	4.0	E	F	F	G	G	E	F	F	G	G
	5.0	E	F	F	G	G	E	F	F	G	G
	6.0	E	F	F	G	G	E	F	F	G	G
3.0	2.0	E	F	F	G	G	E	F	F	G	G
	3.0	E	F	F	G	G	E	F	F	G	G
	4.0	E	F	F	G	G	E	F	F	G	G
	5.0	E	F	F	G	G	E	F	F	G	G
	6.0	E	F	F	G	G	E	F	F	G	G
3.6	2.0	E	F	F	G	G	E	F	F	G	G
	3.0	E	F	F	G	G	E	F	F	G	G
	4.0	E	F	F	G	G	E	F	F	G	G
	5.0	E	F	F	G	G	E	F	F	G	G
	6.0	E	F	F	G	G	E	F	F	G	G
4.2	2.0	E	F	F	G	G	E	F	F	G	G
	3.0	E	F	F	G	G	E	F	F	G	G
	4.0	E	F	F	G	G	E	F	F	G	G
	5.0	E	F	F	G	G	E	F	F	G	G
	6.0	E	F	F	G	G	E	F	F	G	G
4.5	2.0	E	F	F	G	G	E	F	F	G	G
	3.0	E	F	F	G	G	E	F	F	G	G
	4.0	E	F	F	G	G	E	F	F	G	G
	5.0	E	F	F	G	G	E	F	F	G	G
	6.0	E	F	F	G	G	E	F	F	G	G
4.8	2.0	E	F	F	G	G	E	F	F	G	G
	3.0	E	F	F	G	G	E	F	F	G	G
	4.0	E	F	F	G	G	E	F	F	G	G
	5.0	E	F	F	G	G	E	F	F	G	G
	6.0	E	F	F	G	G	E	F	F	G	G
5.1	2.0	E	F	F	G	G	E	F	F	G	G
	3.0	E	F	F	G	G	E	F	F	G	G
	4.0	E	F	F	G	G	E	F	F	G	G
	5.0	E	F	F	G	G	E	F	F	G	G
	6.0	E	F	F	G	G	E	F	F	G	G
5.4	2.0	E	F	F	G	G	E	F	F	G	G
	3.0	E	F	F	G	G	E	F	F	G	G
	4.0	E	F	F	G	G	E	F	F	G	G
	5.0	E	F	F	G	G	E	F	F	G	G
	6.0	E	F	F	G	G	E	F	F	G	G

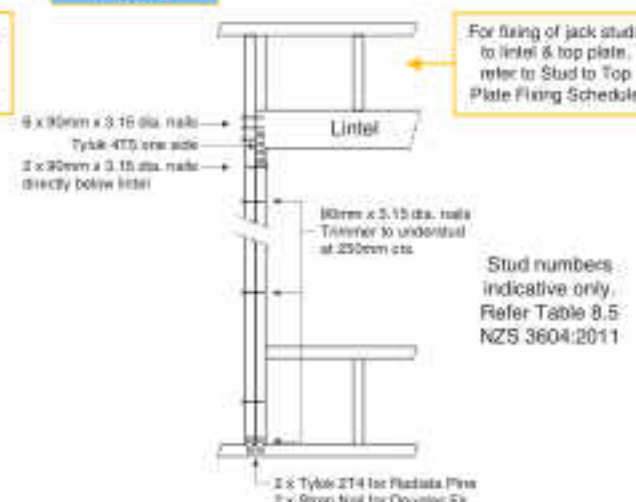
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LINTEL FIXING OPTIONS

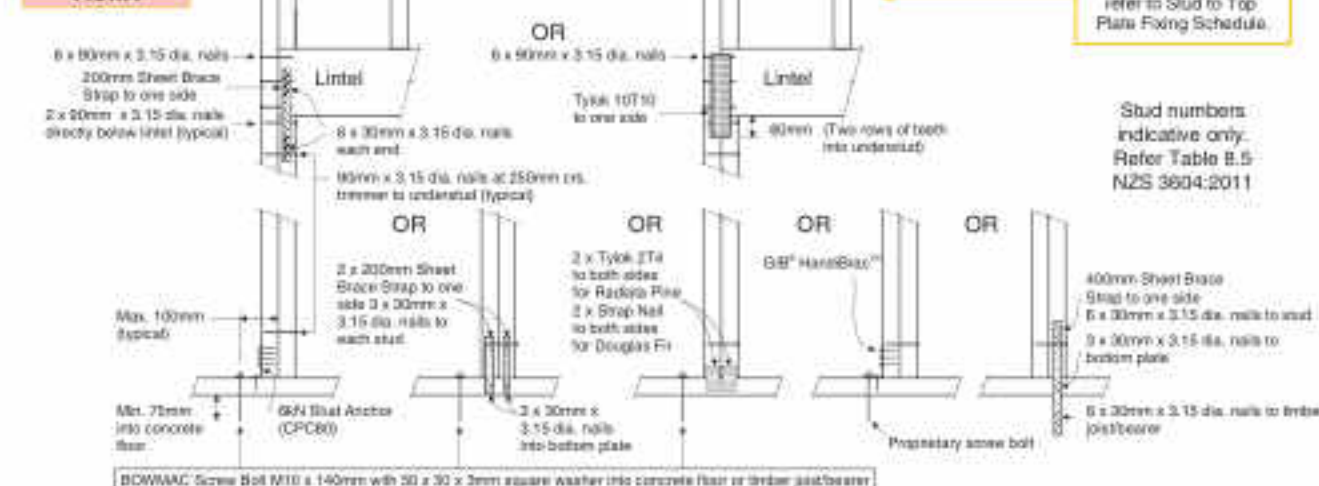
TYPE E 1.4kN



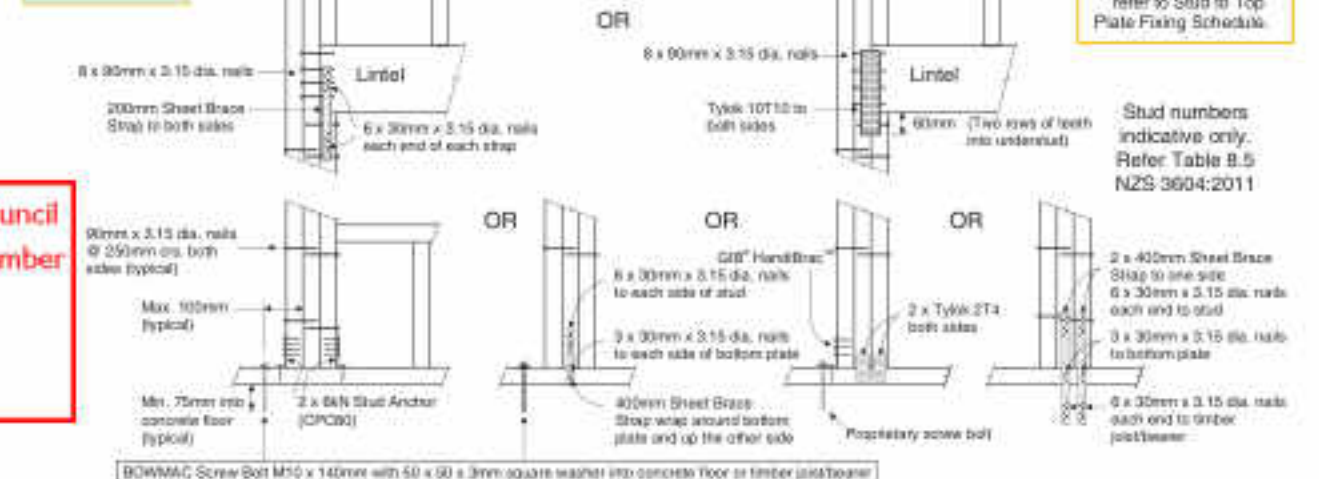
TYPE F 4.0kN



TYPE G 7.5kN



TYPE H 13.5kN



09/2015

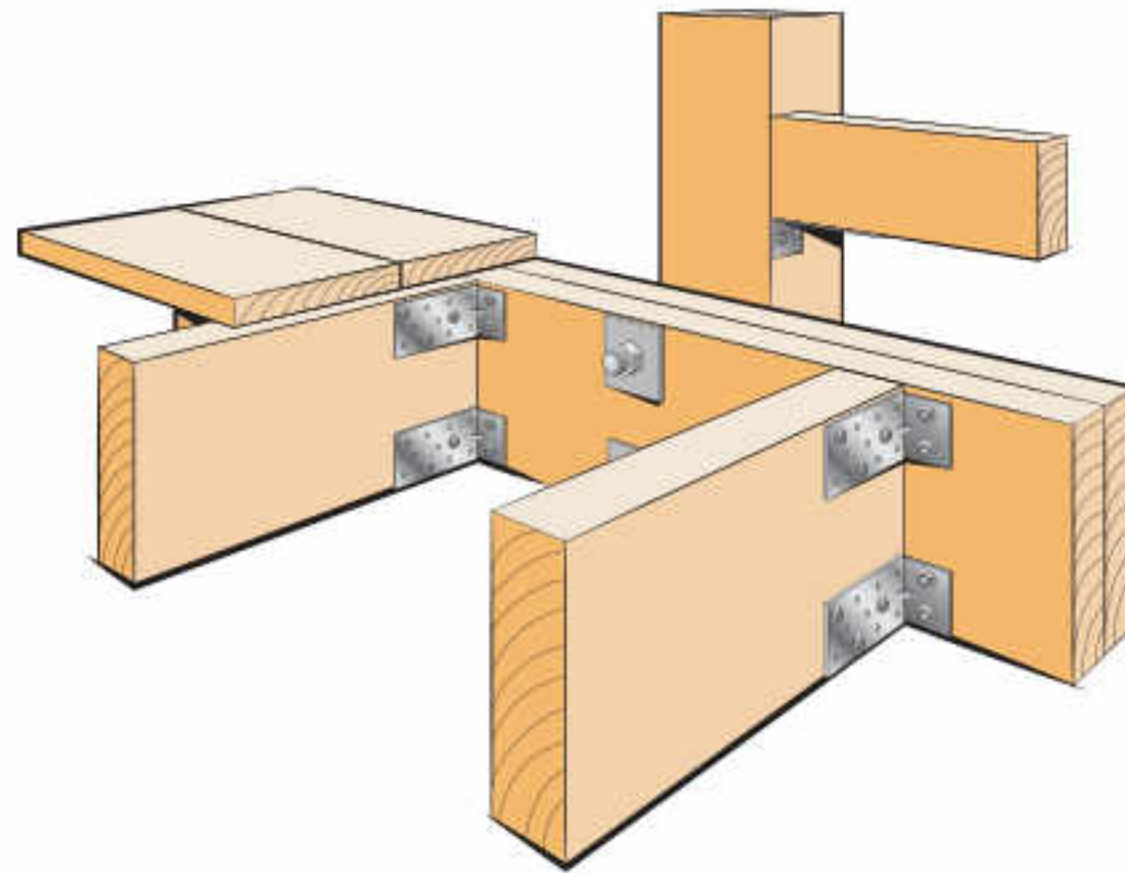


DECK JOIST FIXING

ALTERNATIVE SOLUTION TO CLAUSE 7.4.1.3

NZS 3604:2011

Provides the required fixing between the deck joist and boundary joist to suit a cantilever baluster system



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- ★ Simple, cost effective solution
- ★ Uses internal connections to allow easy fixing of decking
- ★ For face fixed and top fixed baluster posts
- ★ Provides solution for 140 x 45, 190 x 45 and 240 x 45mm joists
- ★ Packed: Carton of 50 Stainless Steel (Grade 304) CPC40 Cleats and corresponding screw sizes



SCAN FOR
INSTALLATION
VIDEO

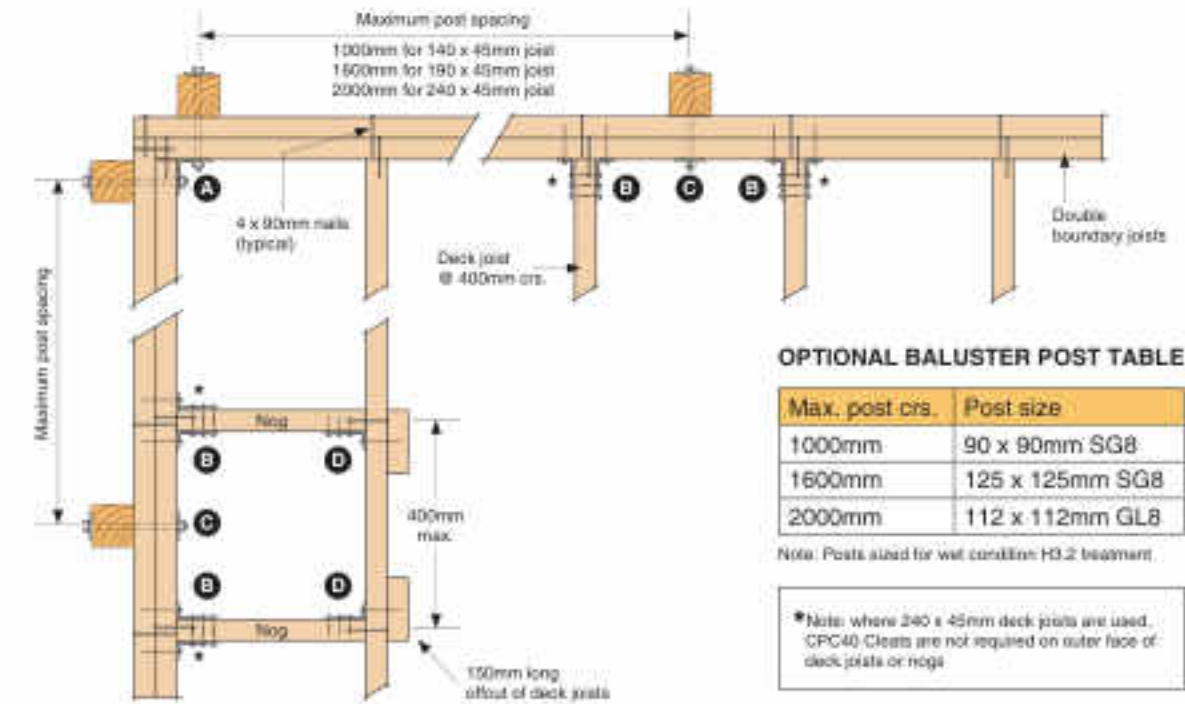
<https://vimeo.com/157949237>



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FACE FIXED BALUSTER POSTS

- Assumes a maximum deck live load of 2.0kPa
- Complies with Table 3.3 AS/NZS 1170.1:2002 for horizontal load of 0.75kN/m on handrail
- All fixings are designed to provide adequate rotational stability to the deck system to resist the horizontal load at top of baluster post
- Assumes an approved post and balustrade system is used

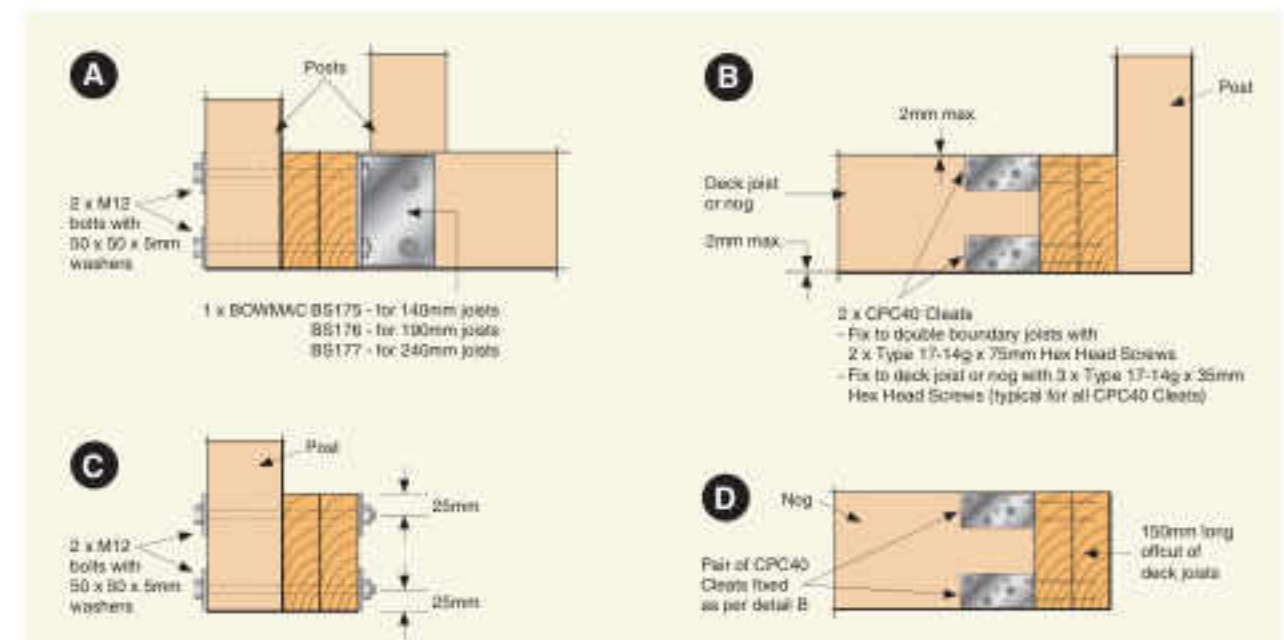


OPTIONAL BALUSTER POST TABLE

Max. post c/s	Post size
1000mm	90 x 90mm SG8
1600mm	125 x 125mm SG8
2000mm	112 x 112mm GL8

Note: Posts sized for wet condition H3.2 treatment.

*Note: where 240 x 45mm deck joists are used, CPC40 Cleats are not required on outer face of deck joist or nog.



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Albert van Vliet
ARCHITECTURAL



RESIDENTIAL | RURAL | HERITAGE
COMMERCIAL | INDUSTRIAL
ADDITIONS | ALTERATIONS

Young
229 Waeranga Road
LOT 1 D.P 357027
Waikato

Deck Construction detail

14/09/2018

PH

14/09/2018

14/09/2018

1979

8-02

0

Print Date: 17 June 2026, 4:25 pm

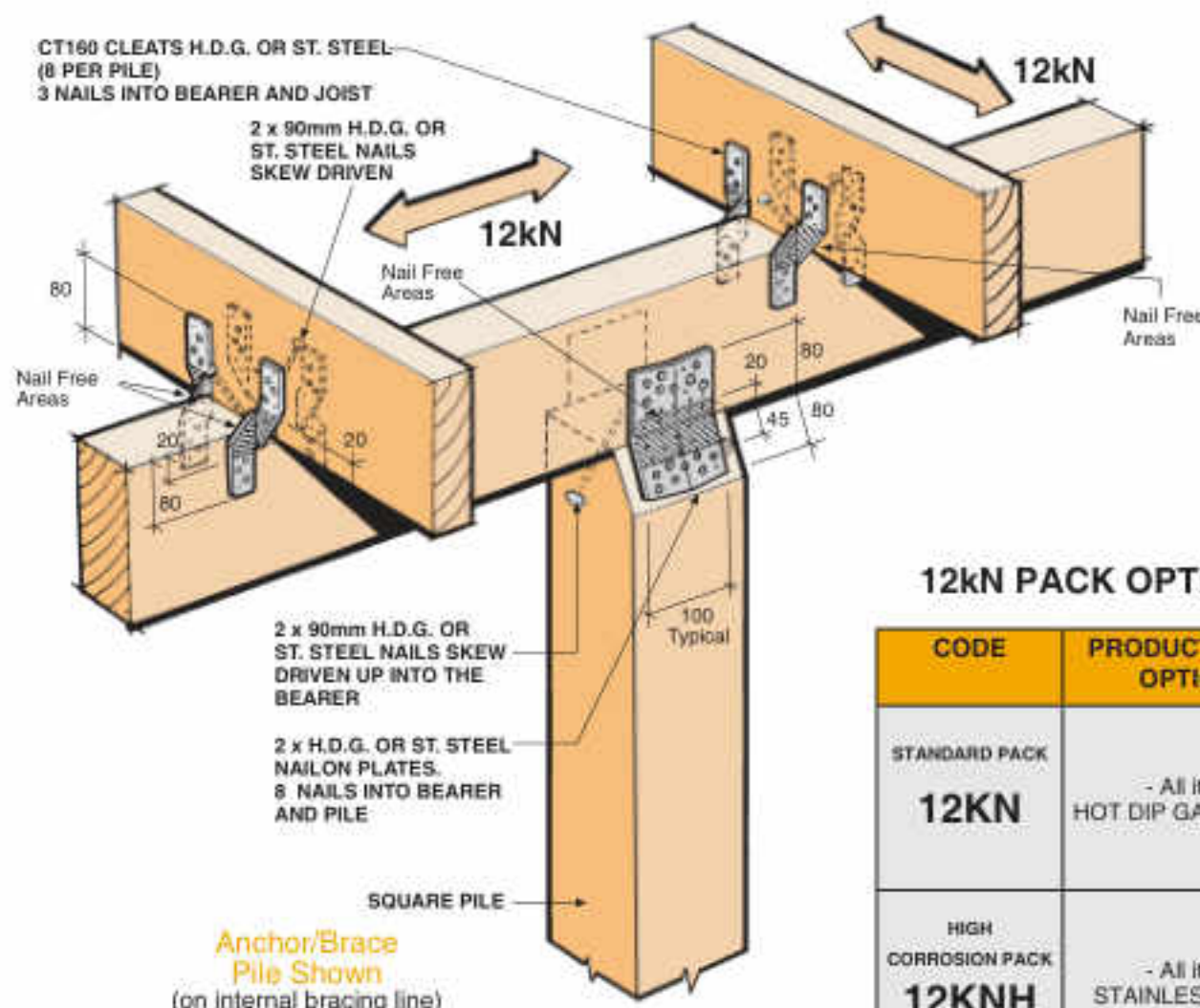


12kN PILE FIXING

FOR BRACED PILES OR ANCHOR PILES

- ★ The 12kN Pile Fixing must be installed in accordance with this brochure
- ★ Auckland University Tested. Test Ref. 4613
- ★ All subfloor construction must be in accordance with NZS 3604:2011
- ★ NZS 3604 requires lines of lateral support to floor joists within 300mm of bearer or bracing lines, refer to Clause 7.1.2
- ★ Joists deeper than 150mm require solid nogging over braced or anchor pile

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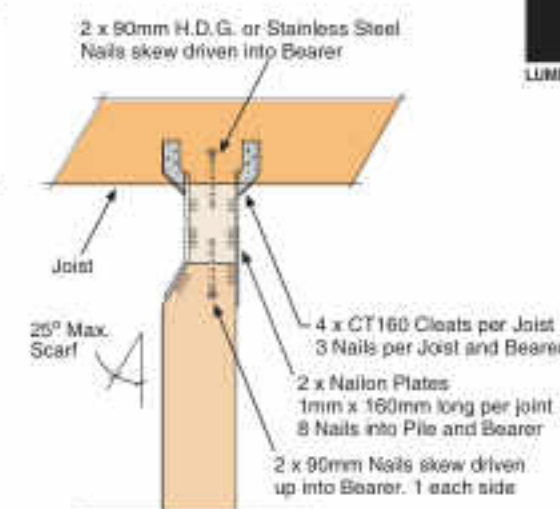
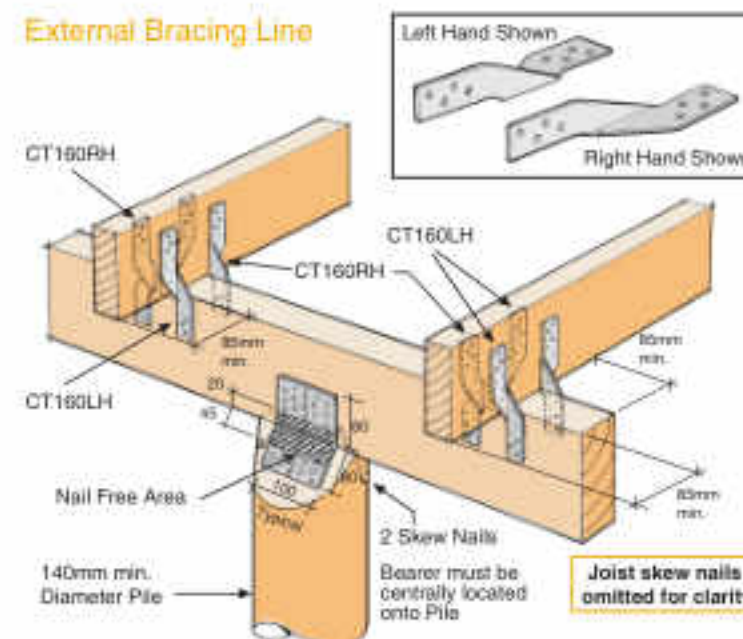


12kN PACK OPTIONS

CODE	PRODUCT FINISH OPTIONS
STANDARD PACK 12KN	- All items HOT DIP GALVANISED
HIGH CORROSION PACK 12KNH	- All items STAINLESS STEEL

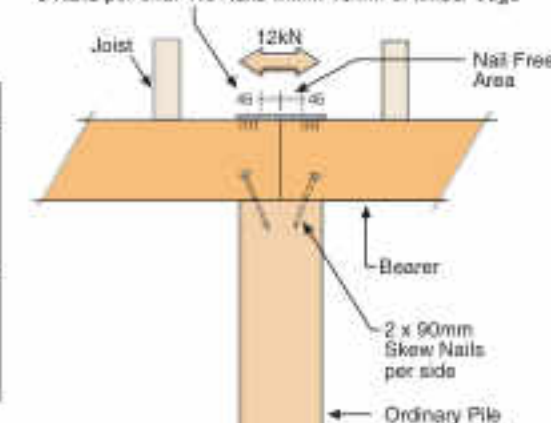
★ See Over For Corrosion Table.

External Bracing Line



Square Pile

Nailon Plate 1mm x 160mm long (ex 12kN Pack)
8 Nails per end. No Nails within 18mm of timber edge

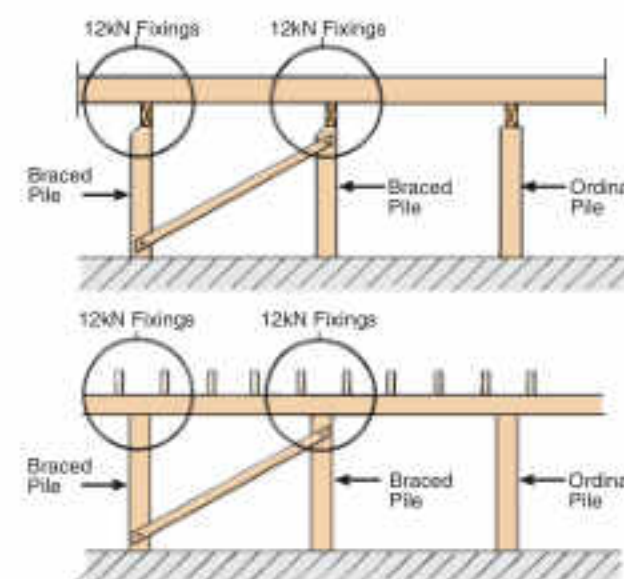


12kN Bearer Splice

Clause 6.12.7.2
NZS 3604:2011

CORROSION HAZARD USE TABLE

Standard Pack (12KN) - Zones B & C - All Fixings ABOVE 600mm from Ground level	All items Hot Dip Galvanised.
High Corrosion Pack (12KNH) - Zone D - All Fixings BELOW 600mm from Ground level	All items Stainless Steel (304).



Sample Subfloor Elevations

12kN Fixing - Pile to Bearer
12kN Fixing - Joists to Bearer

12kN Joint Fixing Schedule

- PILE TO BEARER
- Nailon Plate (2 per joint) 1mm x 100mm (Typical) x 160mm long
 - 8 Nails per Plate into Pile
 - 8 Nails per Plate into Bearer
 - 2 Skew Nails 90mm (1 per face)
- JOIST TO BEARER
- CT160 Cleats (4 per Joist) 160mm long
 - 3 Nails per Cleat into Joist
 - 3 Nails per Cleat into Bearer
 - 2 Skew Nails 90mm (1 per side)
- NAILS
- 80 x 45mm x 3.55 dia. Spiral Nails
 - 6 x 90mm x 4 dia. St. Steel Nails (12KNH Pack only)

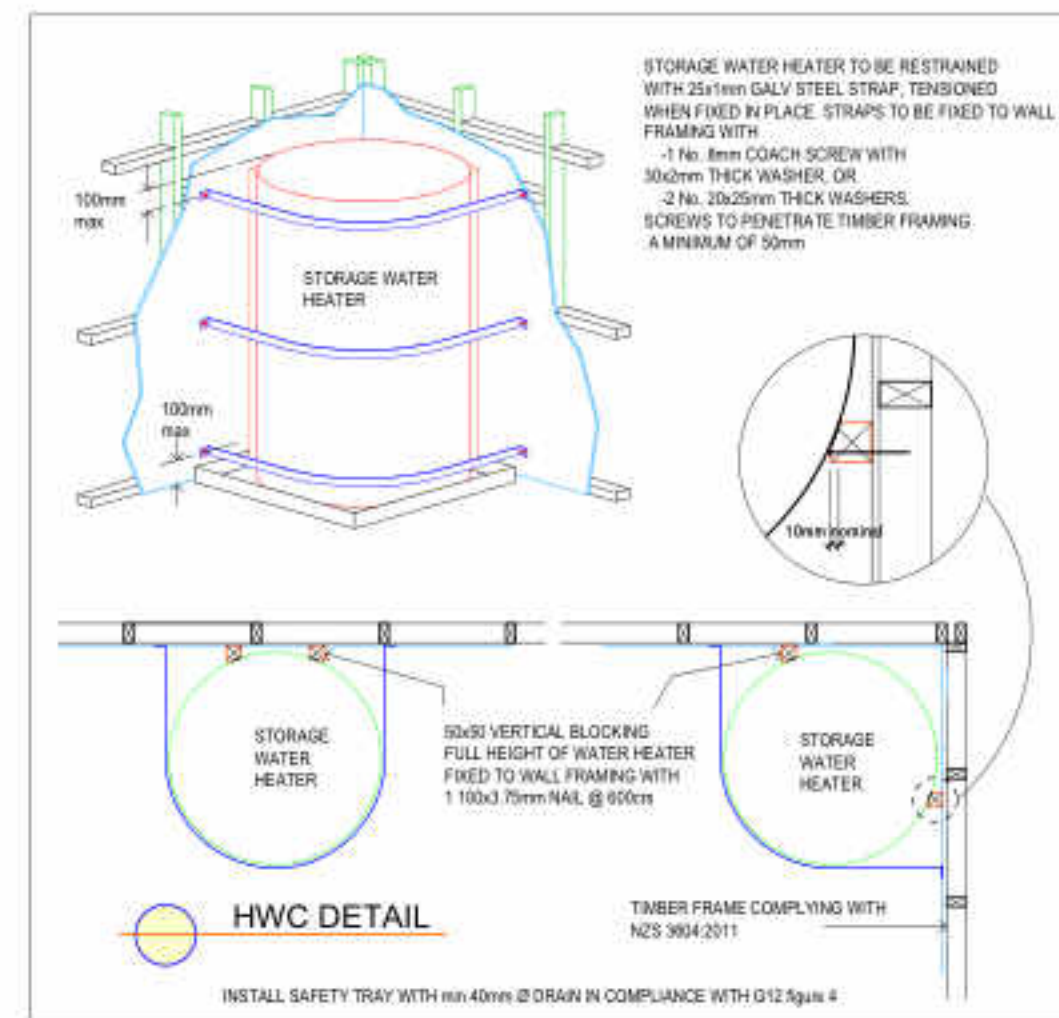
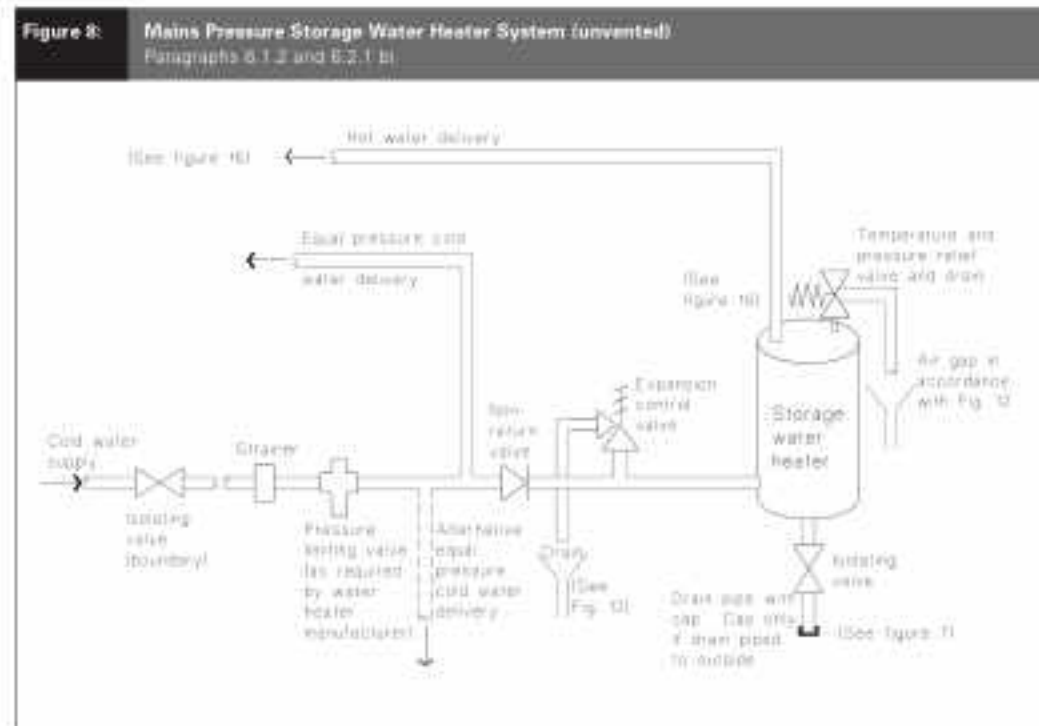
12kN Pile Set Contents

Each set represents 1 x 12kN Pile Fixing.
(packed 4 sets per carton)
2 x Nailon Plates 160mm long
8 x CT160 Cleats
80 x 45mm x 3.55 dia. Spiral Nails
90mm x 4 dia. St. Steel Angular Groove 6 - 12KNH Pack

Refer front page for Product Finish Options

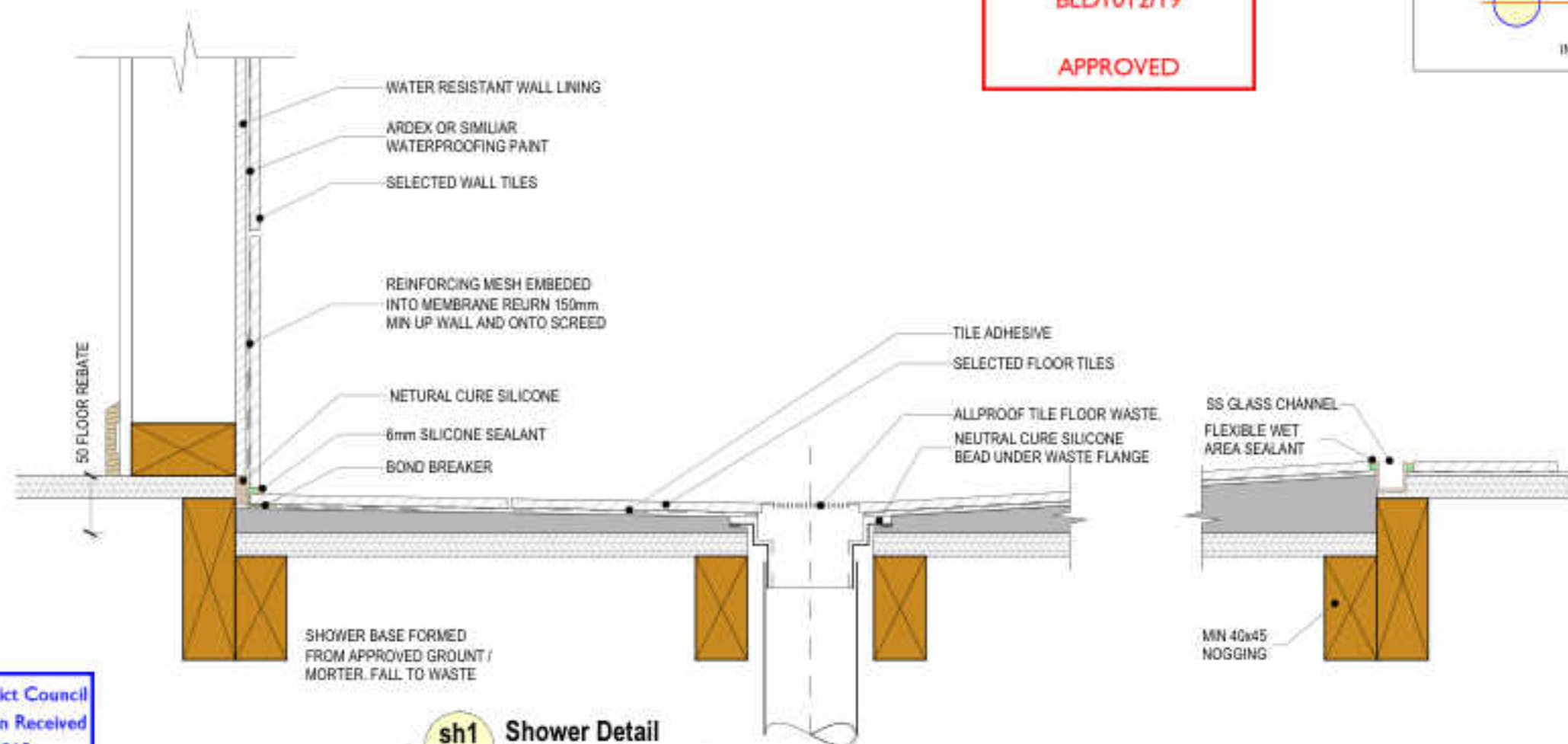
90mm H.D.G. Nails not included.

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Full Application Received
11/02/2019



Waikato District Council
Building Consent Number
BLD1012/19

APPROVED



Waikato District Council
Full Application Received
11/02/2019

Land Information Memorandum Property Maps

229 Waerenga Road TE KAUWHATA

Created:

Wednesday 17 June 2026 11:02:37



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LAND INFORMATION

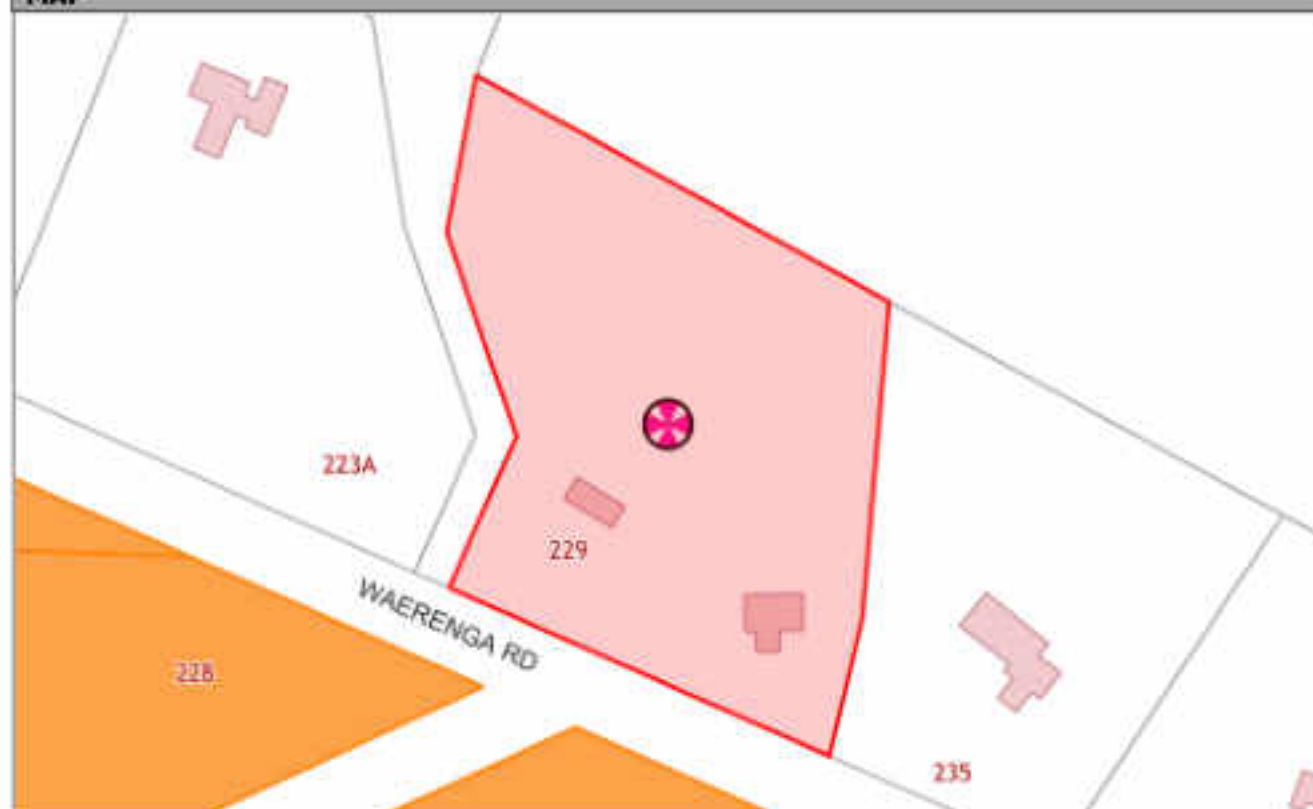
Land Information	
Land No	535561
Linz No /Parcel ID	6820308
Legal Desc	Lot 1 DP 357027
Land Area	1.379000

LAND RESOURCE MAP

LEGEND

	Subdivisions		River Environment
	Subdivision Status		Easement
☐ 	1		Natural Hazard Register
☐ 	2 - Clearance	☐ 	Alluvion
☐ 	3 - 223	☐ 	Erosion
☐ 	4 - 224	☐ 	Falling Debris
☐ 	5 - Declined	☐ 	Fill
		☐ 	Inundation
		☐ 	Slippage
		☐ 	Subsidence
		☐ 	Waikato Coal Measures
			Land Hazards
		☐ 	Advisory HAIL
		☐ 	Advisory
		☐ 	Contamination

MAP



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Land Resource Information			
Property No	1003485	Assessment	04390/476.03
Property Address	229 Waerenga Road TE KAUWHATA		
Land Hazard HAIL Register			
Hazard Type			
Description			
No data available			
Land Cover – Slope	C +B		
Land Cover - Rock	Mo		

MAP



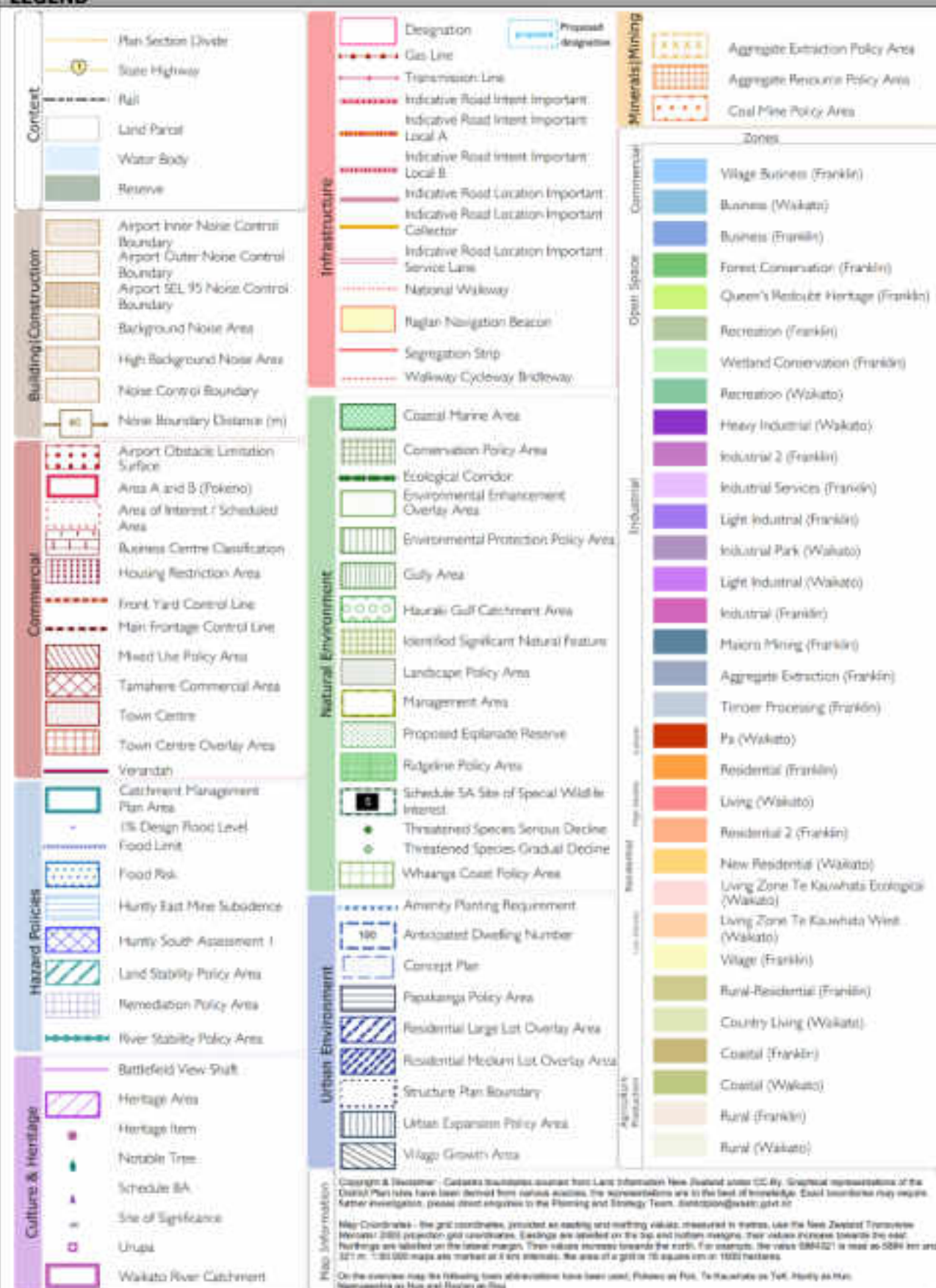
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Operative District Plan Information

Property No	1003485	Assessment	04390/476.03
Property Address	229 Waerenga Road TE KAUWHATA		
Zone	Rural,		
Policy/Special Control	Area A Waikato River Catchment,		

OPERATIVE DISTRICT PLAN MAP

LEGEND



WAIKATO DISTRICT PLAN – OPERATIVE IN PART MAP

LEGEND

Refer Separate Legend

MAP



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Waikato District Plan – Operative in Part Information

Property No	1003485	Assessment	04390/476.03
Property Address	229 Waerenga Road TE KAUWHATA		
Zone	GRUZ - General rural zone,		
Overlay	Area A Waikato River catchment,		



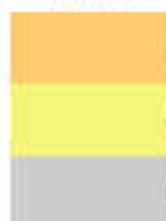
Waikato District Plan - Operative in Part **Map Legend**

OPERATIVE

ZONES



Zones



MR22 - Medium density residential zone 2

GRZ - General residential zone

OHI - Ohinewai zone

OVERLAYS



Precincts



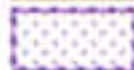
Precincts



Specific controls Residential zones



Geotechnical limitation area



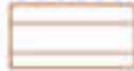
Tuurangawaewae Marae surrounds



Tuurangawaewae Marae Outlook High Potential Effects Area



Tuurangawaewae Marae building Height Assessment Overlay



Outer intensification area

OPERATIVE IN PART

OVERLAYS

District-wide matters

Energy, infrastructure and transport



Indicative road



Gas transmission line



National grid

Hazards and risks overlays



Coastal sensitivity area (erosion)



Coastal sensitivity area (inundation)



Defended area



Flood plain management area



Flood ponding area



High risk coastal erosion area



High risk coastal inundation area



High risk flood area



Mine subsidence risk area

Historical and cultural values overlays



Historic heritage item

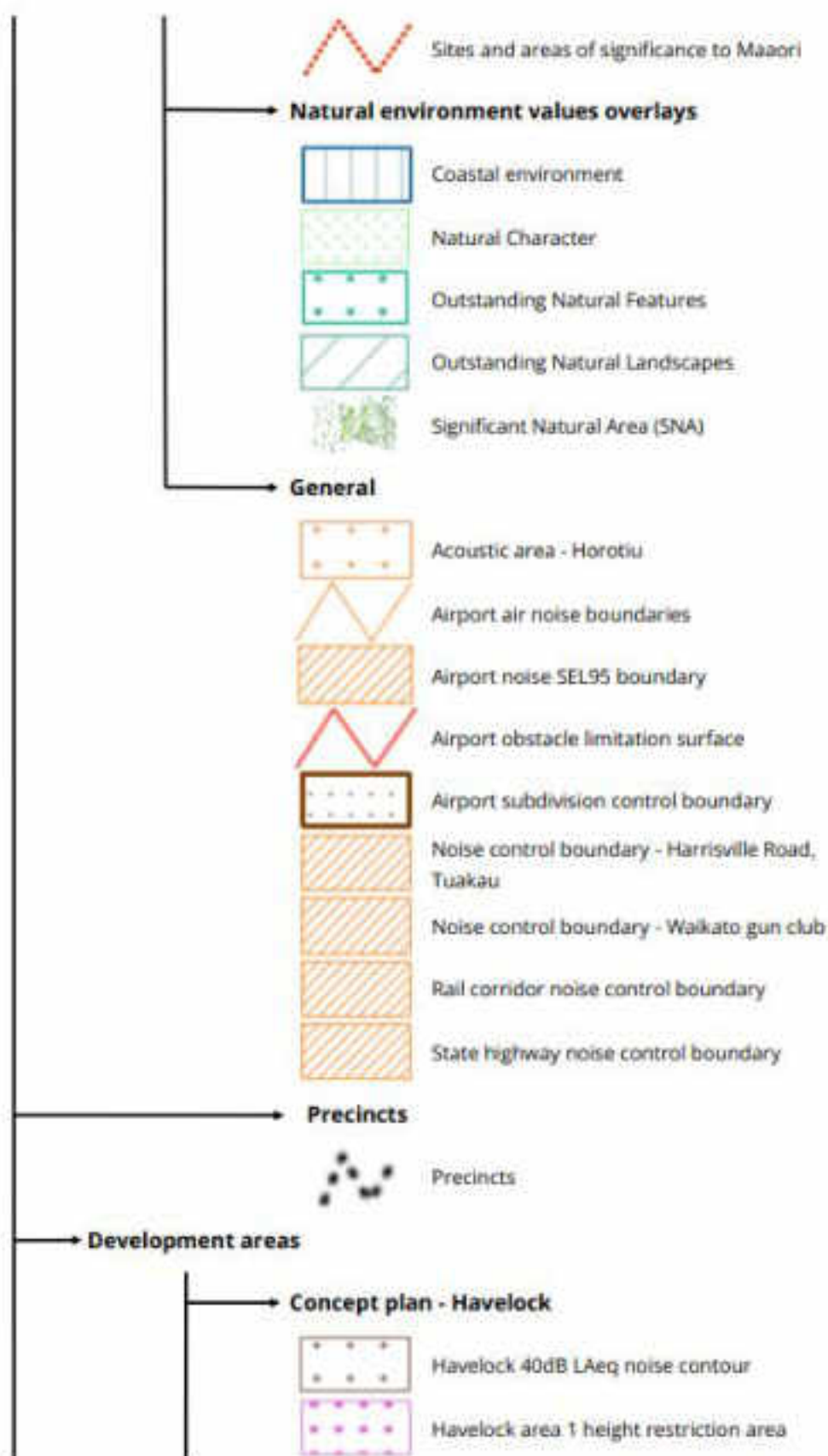


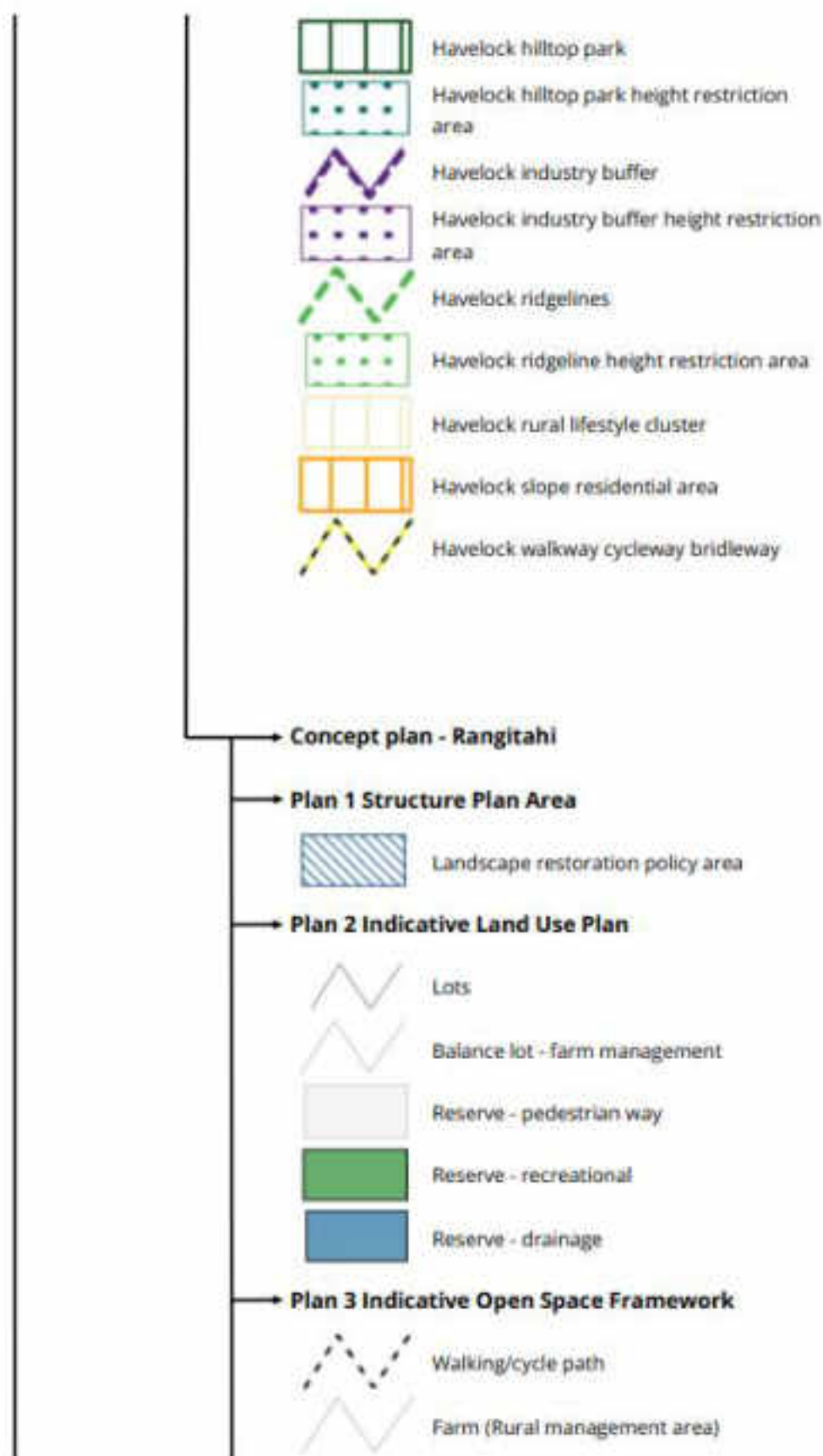
Extent of setting

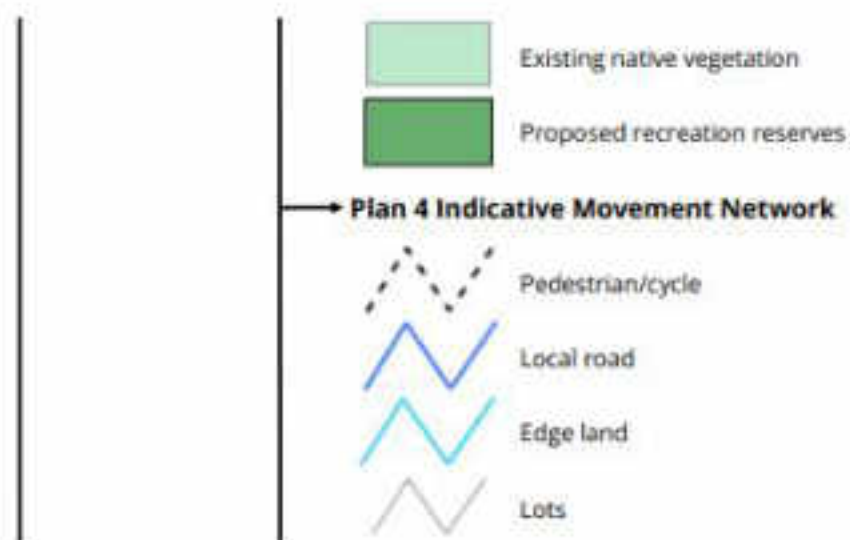


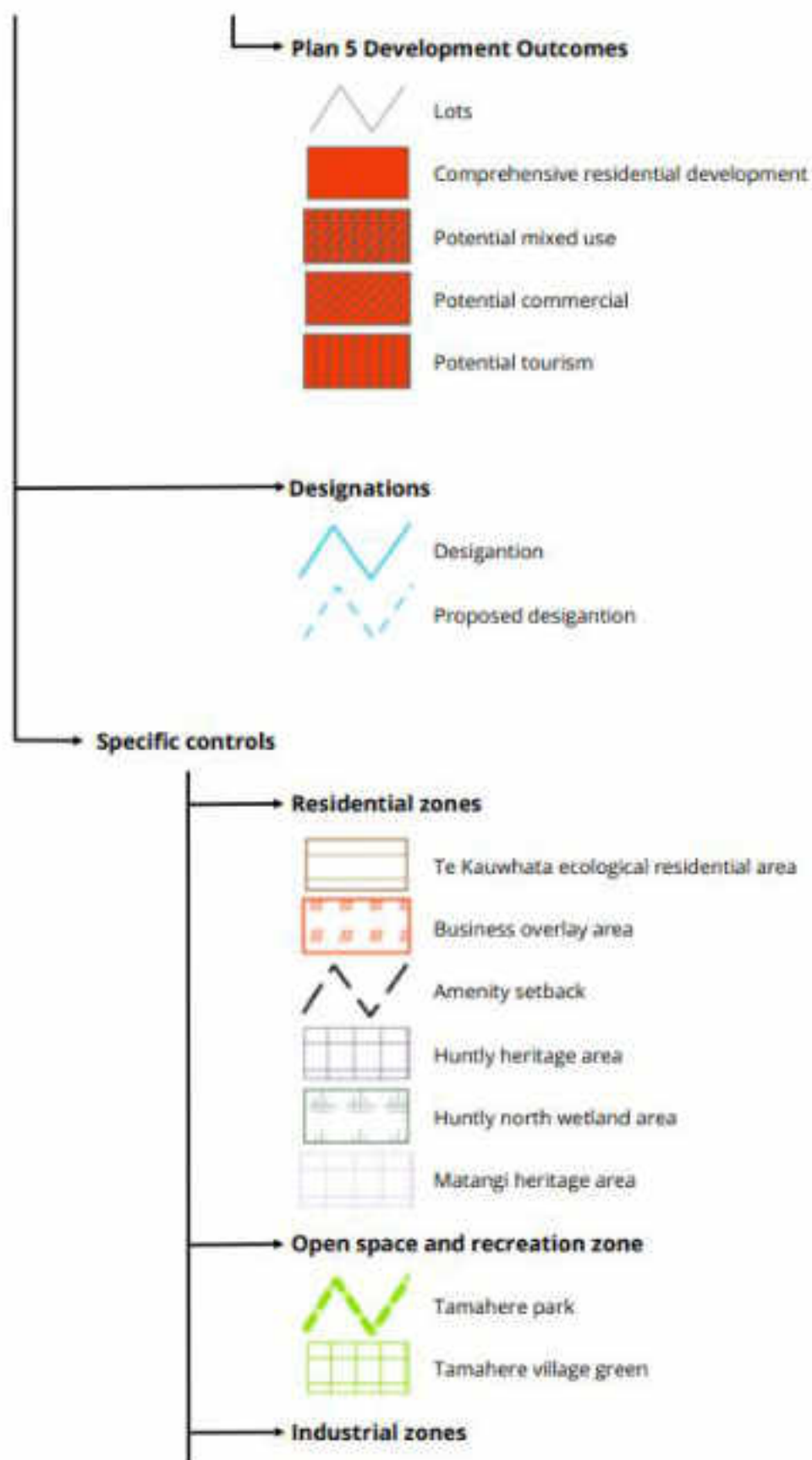
Notable tree

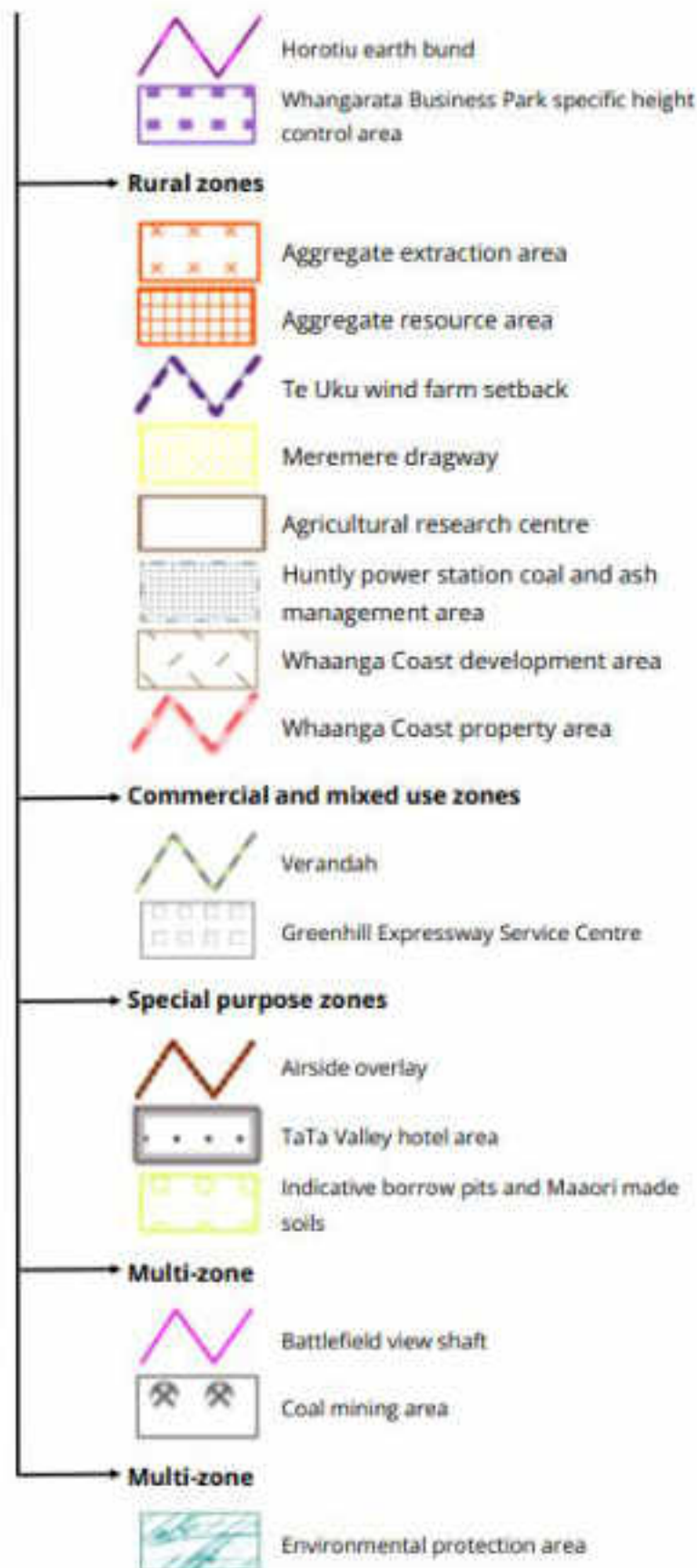
Historical and cultural values overlays

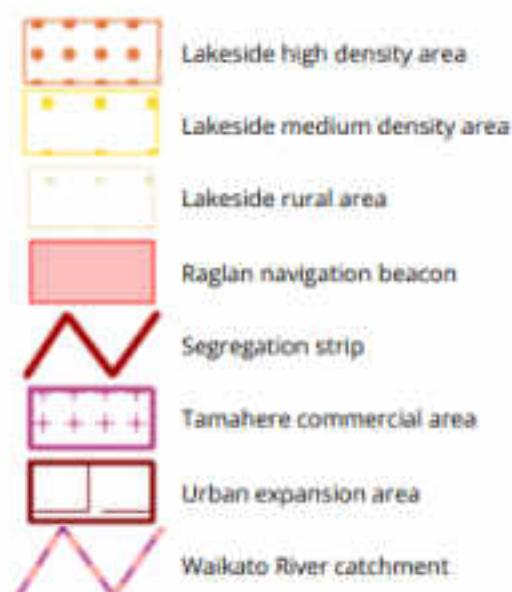










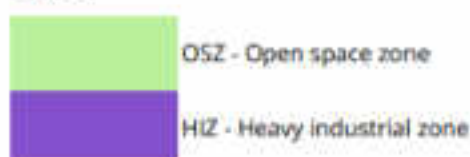


ZONES

Zones



Zones





Special purpose zones

	MAZ - Mercer airport zone
	MSRZ - Motorsport and recreation zone
	CORZ - Corrections zone
	BTZ - Business Tamahere zone
	HOPZ - Hopuhopu zone
	RPZ - Rangitahi Peninsula zone
	TKAZ - Te Kowhai airpark zone
	FUZ - Future urban zone
	MTZ - Matangi zone
	TTZ - TaTa Valley zone
	KLZ - Kimihia lakes zone

APPEALS

Appeals

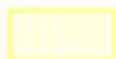


ADDITIONAL INFORMATION

Additional Information



Mystery Creek noise boundary



Fonterra noise control boundary



Rail corridor noise alert area



Rail corridor vibration alert area

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DCL Type	Development Contribution Whangamarino/North Waikato
Water Meter Information	
Meter	I22LU147195
Route	250
Sequence	3130
Tariff	RurTeK
Status	Active
Location	10m from right hand boundary
Meter Install	2022-10-07 00:0
DCL Type	Development Contribution Water Te Kauwhata Meremere & Rangiriri
Water Meter Information	
Meter	I22LU147195
Route	253
Sequence	90
Tariff	RurTeK
Status	Active
Location	10m from right hand boundary
Meter Install	2022-10-07 00:0
DCL Type	Development Contribution Water Te Kauwhata Meremere & Rangiriri
Water Meter Information	
Meter	I22LU147195
Route	250
Sequence	3130
Tariff	RurTeK
Status	Active
Location	10m from right hand boundary
Meter Install	2022-10-07 00:0
DCL Type	Development Contribution Water Te Kauwhata
Water Meter Information	
Meter	I22LU147195
Route	253
Sequence	90
Tariff	RurTeK
Status	Active
Location	10m from right hand boundary
Meter Install	2022-10-07 00:0
DCL Type	Development Contribution Water Te Kauwhata

SOLID WASTE MAP

LEGEND

 Labels	 Solid Waste Charges
 Address Label	 WstStdNor
 Road Label	 WstRcyMU
 Territorial Authority	 WstStdTua
 Waikato District	 WstBusTua
 Other Districts	 WstRaglan
 Rail	 WstRcyGLM
 Property	 WstStdCen
 Parcel	

MAP



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Solid Waste Information

Property No	1003485	Assessment	04390/476.03
Property Address	229 Waerenga Road TE KAUWHATA		
Contract Name	Green Gorilla		
Day Name	Friday		