

In reply, please quote

LIM1692/26

18 June 2026

Fusion Realty Limited
6 Waipapa Way
Te Kauwhata 3710

Postal Address
Private Bag 544, Ngaruawahia 3742
New Zealand

0800 492 452
www.waikatodistrict.govt.nz

Kia Ora,

LAND INFORMATION MEMORANDUM

Please find enclosed your Land Information Memorandum for 223 B Waerenga Road TE KAUWHATA

If you have any questions regarding the information or content in the Land Information Memorandum, please contact the team responsible for the relevant section of the report.

Ngaa mihi



Carletta Bongard
Land Information Officer

Land Information *Memorandum*

LOCAL GOVERNMENT OFFICIAL INFORMATION AND MEETINGS ACT 1987

The information supplied in this Land Information Memorandum is based on existing Waikato District Council records that may not be complete. The property has not been inspected or surveyed by the Council. It is the purchaser's responsibility to check the boundaries of the property.

It is assumed that any purchaser will search for the certificate of title that is not held by the Council and will personally inspect the property and its surrounds. This information deals solely with the property named below and does not disclose any relevant information that may affect adjacent properties.

It is the sole responsibility of any purchaser to ensure that the land is suitable for a particular purpose.

► Property Details:

Valuation Reference:	04390/476.14
Legal Description:	Lot 3 DP 357027
Area:	1.3590 hectares more or less
Property Location:	223 B Waerenga Road TE KAUWHATA
Owners:	Ashley Pierre Andre Vadam, Samantha Mae Vadam

► Property Location:



■ Rates

Information regarding –
 44A (2)
 (c) information relating to any rates owing in relation to the land

► Rates & Rating Valuation:

Information regarding –
 44A(2)(c) information relating to any rates owing in relation to the land.

Annual rates for 2025/2026	\$4,168.04	Balance Owing: \$5,915.06
Value of Improvements	\$ 700,000.00	
Land Value	\$ 560,000.00	
Capital Value	\$1,260,000.00	
Date of Valuation	1 October 2023	

Valuation

Properties in the Waikato District are re-valued every three years in accordance with the Rating and Valuations Act 1988.

New Rating Year (not yet calculated)

Please note that the rates in the table above and the attached rates assessment are for the previous rating year 2025/2026.

The annual rates for the 2026/2027 rating year have not been calculated to date and the rates assessments are yet to be generated. For further information regarding rates for the current rating year, please contact the Rates Team at the Waikato District Council.

Rates Capital Value

Please note that the rates reflected in this LIM were calculated based on the capital value of the property as at 1 July of the current rating year. Any changes to the capital value of the property that have taken place since 1 July will be reflected in the rating charges for this property in the next rating year. Please contact a member of the rating team on 0800 492 452 if you require further clarification or have any questions.

Regional Council: Waikato Regional Council

Waikato Regional Council sends their rates notices annually. You are able to get specific annual regional rates information at www.waikatoregion.govt.nz Search under address or valuation reference. Alternatively, contact them on freephone 0800 800 401

Information regarding –

44A (2)

- (f) information relating to the use to which that land may be put and conditions attached to that use;
- (g) information which, in terms of any other Act, has been notified to the territorial authority by any statutory organisation having the power to classify land or buildings for any purpose;
- (h) any information which has been notified to the territorial authority by any network utility operator pursuant to the Building Act 1991 or the Building Act 2004

Operative Waikato District Plan (Waikato Section)

This only applies where there are outstanding appeals on the provisions of the Proposed Waikato District Plan (appeals version), to the extent they are relevant to any proposed works or project.

Zone: Rural

Policy: Waikato River Catchment

For further information please refer to the planning maps attached and the [Waikato District Plan](#)

Waikato District Plan – Operative in Part

Waikato District Council notified its decisions on Variation 3 on 30 October 2024, and the Plan became Partially Operative.

The zone of this property is: **GRUZ - General rural zone**

The following overlays apply to the property: **Defended area, Waikato River Catchment**

The provisions relevant to this property may be subject to appeal and any that are subject to appeal are not yet operative.

If the provisions relevant to this property are subject to an appeal, both the Waikato District Plan Operative in Part and the Operative Waikato District Plan will need to be considered.

Designations

This property is within close proximity (500m) to land that is designated for a particular purpose:

Operative District Plan:

- C5 – Te Kauwhata College
- L1- Main Trunk Railway Line
- M14- Refuse Transfer Station

Waikato District Plan - Operative in Part:

- KRH-1-KiwiRail Holdings limited
- MEDU-5- Te Kauwhata College
- WDC-15- Refuse Transfer Station

For further information please refer to the planning maps attached and the Waikato District Plan, which is available to view on our website:

<https://eplan.waikatodistrict.govt.nz/?docId=59t2XIjN9rl%253d>

■ Planning continued

Information regarding –

44A (2)

- (f) information relating to the use to which that land may be put and conditions attached to that use;
- (g) information which, in terms of any other Act, has been notified to the territorial authority by any statutory organisation having the power to classify land or buildings for any purpose;
- (h) any information which has been notified to the territorial authority by any network utility operator pursuant to the Building Act 1991 or the Building Act 2004

Development Contributions

Builders, developers and owners cannot presume that all development contributions have been paid at the time of subdivision.

The current [Development Contributions Policy](#) can be viewed here.

For any queries on specific properties please email info@waikato.govt.nz providing the specific property number and/or property address

The Development Contributions Estimator Tool provides an estimate only. A full development contributions assessment will be provided once a consent application has been lodged.

[Development contributions estimator tool](#)

Development contributions policies, capital works schedules, catchments and levies are subject to review and change.

Credits are given for any development contributions paid at the time of subdivision but additional development contributions may be required at time of building consent or service connection.

For any restrictions on the use of the property please refer to the Record/Certificate of Title.

► Resource Consents:

Application No	Description	Decision
70 /97/ 086	SUBDIVISION CONSENT - Create a rural house lot and rural lot	GRANTED 26 November 1996
LUC0126/09	LAND USE CONSENT - Construct a new dwelling	GRANTED 23 December 2008

Requisitions: No known planning requisitions to date.

Planning rules relating to this property are contained in the Waikato District Plan and are not outlined in this LIM report. The Waikato District Plan is available to view on Council's website at

www.waikatodc.govt.nz.

■ Building

Information regarding –

44A (2)

- (d) information concerning any consent, certificate, notice, order, or requisition affecting the land or any building on the land previously issued by the territorial authority (whether under the Building Act 1991, the Building Act 2004, or any other Act);
- (e) information concerning any certificate issued by a building certifier pursuant to the Building Act 1991 or the Building Act 2004;
- (f) information notified to the territorial authority under section 124 of the Weatheright Homes Resolution Services Act 2006;

It is recommended that a potential purchaser engage a building consultant to complete a pre-purchase inspection of buildings. Irrespective of code of compliance, structures are subject to deterioration over time and works may have been undertaken without building consent. If requested and supplied, a copy of this may be filed on council records for future references and Land Information Memoranda.

Architects and designers require wind & earthquake information to establish bracing requirements for building development.

► Building Consents/Permits:

Number	Description	Consent/Permit issued date	CCC Issued/ Completed Date
BLD0244/09	Dwelling with attached garage	21 August 2009	15 February 2010
BLD0037/11	Hobby Room	05 August 2010	02 November 2010
BLD2028/21	Swimming Pool	01 July 2021	17 January 2022

Requisitions: No known building requisitions to date.

If you feel there has been unauthorised building work undertaken on this property, please note that Council has no authority to issue retrospective building consents. The current owner can, however, apply for a Certificate of Acceptance (COA).

- Please refer to the [BuildWaikato](https://www.buildwaikato.co.nz/) site for further information regarding COAs.

■ Water Supply

Information regarding —

44A (2)

- (ba) any information that has been notified to the territorial authority by a drinking-water supplier under section 68ZH of the Health Act 1956;
 - (bb) information on—
 - (i) whether the land is supplied with drinking water and if so, whether the supplier is the owner of the land or a networked supplier;
 - (ii) if the land is supplied with drinking water by a networked supplier, any conditions that are applicable to that supply;
 - (iii) if the land is supplied with water by the owner of the land, any information the territorial authority has about the supply;
-

Council rate records indicate that the property is connected to the **Te Kauwhata** water supply and charged an annual targeted rate for domestic water supply.

The property is on a metered water supply and being charged on a volume basis for water supply.

Please contact the Customer Delivery Department at the Waikato District Council to arrange a final water meter reading prior to sale settlement.

■ Drinking Water (potable water supply)

The property is connected to the **Te Kauwhata** water supply; Councils urban water supply systems are full flow pressure systems.

The construction of a bore for the taking of ground water requires consent from the Waikato Regional Council, for further information contact Waikato Regional Council.

■ Council Utilities

Information regarding –

44A (2)

(b) information on private and public stormwater and sewerage drains as shown in the territorial authority's records.

■ Wastewater

The property is located outside an area currently served by a community system for wastewater disposal.

Existing System

The property has an existing on-site wastewater disposal system. Wastewater disposal systems are sized in relation to the number of bedrooms of a dwelling and the potential occupancy.

Future building works that include additional bedrooms will require an assessment from an engineer or other suitably qualified person approved by the Council, of whether the existing on-site effluent treatment system is capable of adequately treating and disposing of the increased loadings. If upgrades are required, these shall be designed, supervised and certified by an engineer or other suitably qualified person to comply with AS/NZS 1547:2012 and the Waikato Regional Plan.

It is recommended that potential purchasers engage a contractor to inspect the septic tank prior to settlement. The Waikato District Council does not maintain or monitor private wastewater disposal systems and NZ standards indicate a septic tank should be cleaned / emptied every 3 years.

■ Stormwater

The property is located outside an area currently served by a community system for stormwater or land drainage disposal.

For any new development, Onsite Stormwater Disposal will be required under the Waikato District Plan & Waikato Regional Plan prior to connection to any public stormwater network or drains.

For further information please contact a Project Planning & Engineering Officer at the Waikato District Council.

■ Natural Hazards

Information regarding –

- Whether the site is affected by potential erosion, avulsion, falling debris, subsidence, slippage, alluvion, inundation, peat, contamination or pool soakage.
- whether there is the likely presence of hazardous substances on the site and in particular whether the site has been recorded as being on the Regional Council's HAIL list of potentially contaminated sites.
- Refer to a copy of special features map.

LRI (Slope)

New Zealand Land Resource Inventory Maps indicate that the soils in this area may have poor bearing capacity for building foundations due to **Natural Sloping Topography**.

A geotechnical engineer may be required to investigate ground or sub-soil conditions to establish any specific requirements for building development.

Waikato Regional Council Hazards Portal contains information about the natural hazards that may be relevant to the site. Before exploring the Portal, please read the terms of use to understand the limitations of the information contained on the site. The recipient is advised to seek expert advice in terms of the applicability and accuracy of the information as it relates to the site.

Click here to access [Waikato Regional Hazards Portal | Waikato Regional Council](#)

Earthquakes and Landslides-in proximity

Waikato Regional Hazards Portal indicates that Liquefaction Level A Category is Possible on this property. For further information please visit the portal below.

Supporting Information Documents: [Waikato Regional Hazards Portal - Supporting information | Waikato Regional Council](#)

Climate change means long-term changes in the Earth's weather patterns and temperatures. These changes are mostly caused by human activities like burning coal, oil, and gas, which release gases that trap heat in the atmosphere. As a result, we're seeing more extreme weather, rising sea levels, and increased risks like flooding and drought. For further information regarding climate change please visit [Earth Sciences New Zealand](#)

Flood hazards across Aotearoa New Zealand

Earth Sciences New Zealand has released the country's first nationally consistent flood risk model, alongside a public flood hazard viewer that enables New Zealanders to assess their local flood exposure in the context of national trends. This national flood hazard viewer maps areas at risk from extreme rainfall events under current and future climate conditions. For further information please visit [Public Flood Hazard Viewer](#)

Flood Risk Area

Flood Risk Area - Waikato Regional Council

This property has been identified as being in a flood risk area through Waikato Regional Councils Portal.

Part of the land or site may be subject to flooding or inundation. A potential flooding hazard has been identified for this site.

- Where a proposed building is not above the identified flood level, Land Use Consent may be required under the Resource Management Act. To establish the ground level in relation to the design flood level in terms of Moturiki datum (sea level), it is recommended to engage a registered surveyor. Council holds no records relating to the ground level for this property.

For further information please visit Waikato Regional Councils Hazard Portal [here](https://www.waikatoregion.govt.nz/services/regional-hazards-and-emergency-management/regional-hazards-portal/)
<<https://www.waikatoregion.govt.nz/services/regional-hazards-and-emergency-management/regional-hazards-portal/>> then go to River flooding section.

Under section 71-74 of the Building Act 2004, upon application for a building consent applicant must demonstrate that any proposed building work will be protected from hazards.

■ Additional Information

Information regarding –

44A (3) in addition to the information provided for under subsection (2), a territorial authority may provide in the memorandum such other information concerning the land as the authority considers, at its discretion, to be

■ Health

There are no outstanding Notices or Orders under the Health Act 1956 and related legislation in respect of the property.

■ Refuse

Waikato District Council's goal is to work towards a 'zero waste' target. On 1 July 2016 we introduced a pre-paid service to our refuse and recycling to help Waikato residents reduce the volume of waste they send to landfill. Less waste will save us all more in the long run.

Refuse & Recycling Service Collection Day for this property is **Friday**.

For further information please refer to [Rubbish and Recycling](#) page

■ Utilities

The Waikato District Council does not hold records concerning utility systems it does not administer. For information concerning state highways (administered by NZ Transport Agency), electricity, telephone or gas, the relevant network operator should be contacted.

■ Telecommunication

This property may not have a physical connection to a telecommunications network.

Developer obligations are to demonstrate that a telecommunication network is available to serve the property, such network can be either physical or wireless.

Please contact the network utility supplier and/or service provider to confirm what telecommunication connection is available to the property.

Ngā mihi



Carletta Bongard
Land Information Officer

Land Information Memorandum



- 223B Waerenga Road TE KAUWHATA
- LOT 3 DP 357027

Home > Services and facilities > Rates > Rates Information Database

Rates Information Database

Use the rates information database to find out rates information about property in the Waikato district.

If you would like your details made confidential, please complete the [Request to Suppress Personal Information](#) form and return to Waikato District Council. Please note that it is not necessary to complete the form if you have no objection to your name and postal address being published in the Complete Rating Information Database.

If you have a question about your rates, please contact the rates team on [0800 492 452](tel:0800492452) or complete our [online request form](#) for a staff member to contact you directly.

Property details

Property location	223B Waerenga Road TE KAUWHATA
Valuation number	04390/476.14
Legal description	Lot 3 DP 357027

Property charges (2025/2026)

	Targeted rate factor	Factor applicable	Amount
District Wide Water Supply	per SUIP	1.00	\$562.52
Central District Rubbish and Recycling Collection	per dwelling	1.00	\$280.04
General Rate	0.0022040c/\$	1260000.00	\$2,776.99
Uniform Annual General Charge (UAGC)	Fixed Charge	1.00	\$548.49

Total rates payable \$4,168.04 incl. GST

Property valuation history



⚠ If your property connects to any additional council services between now and the 30 June 2025, there will be additional charges added to your property in the following rating year. If you have any questions or queries with regards to your 2024/25 rates, please complete our online request form for a staff member to contact you directly.



**RECORD OF TITLE
UNDER LAND TRANSFER ACT 2017
FREEHOLD
Search Copy**




R. W. Muir
Registrar-General
of Land

Identifier 232184
Land Registration District South Auckland
Date Issued 12 September 2006
Prior References
SA61D/843

Estate Fee Simple
Area 1.3590 hectares more or less
Legal Description Lot 3 Deposited Plan 357027
Registered Owners
Ashley Pierre André Vadam and Samantha Mae Vadam

Interests

Subject to a right of way, right to convey water, electricity and telecommunications over part marked A on DP 357027 created by Easement Instrument 7025477.5 - 12.9.2006 at 9:00 am

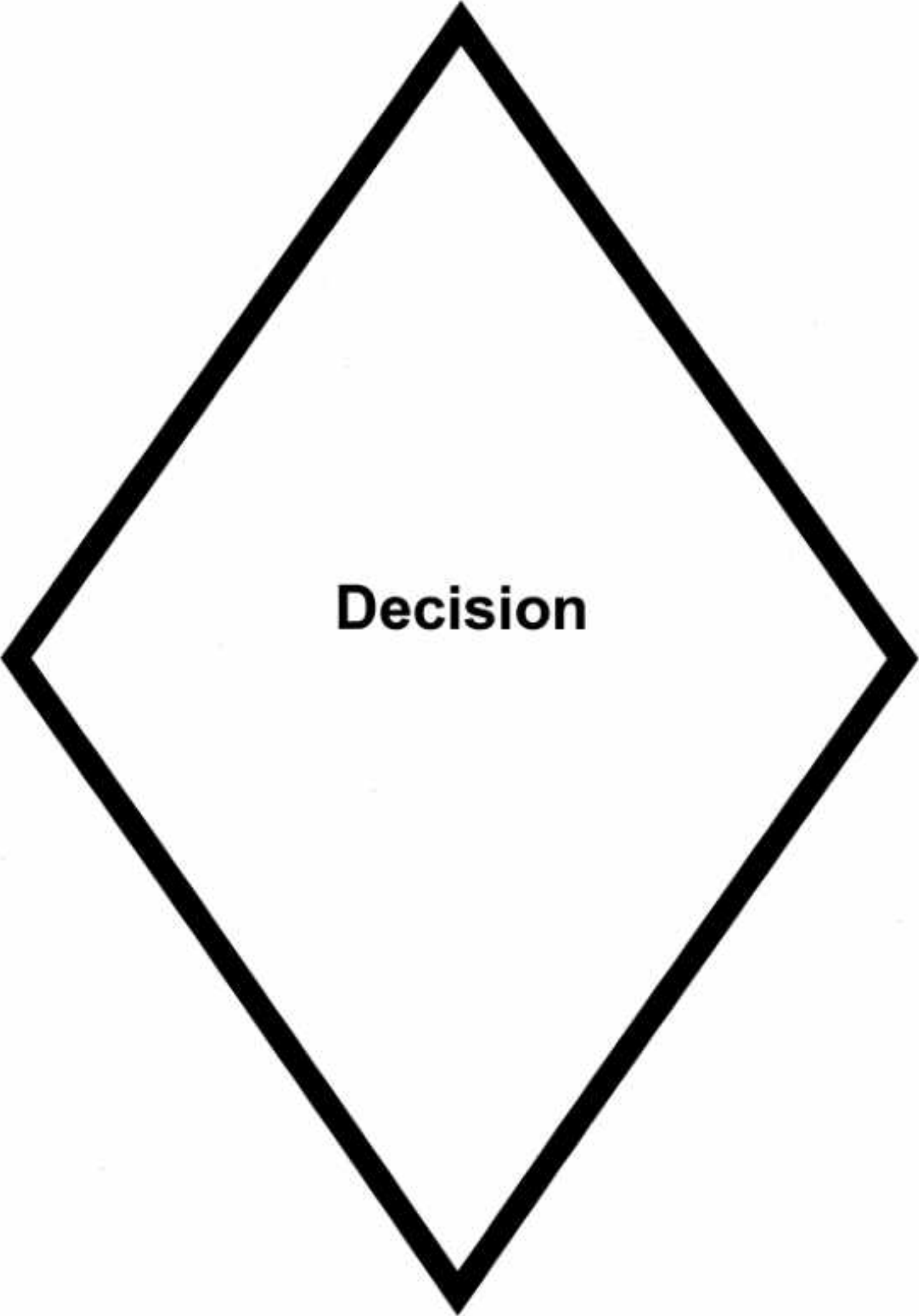
The easements created by Easement Instrument 7025477.5 are subject to Section 243 (a) Resource Management Act 1991

Land Covenant in Easement Instrument 7734694.1 - 3.3.2008 at 9:00 am

Land Covenant in Easement Instrument 8098756.1 - 12.3.2009 at 9:00 am

11783453.2 Mortgage to Bank of New Zealand - 7.8.2020 at 1:37 pm

Document Set ID: 6949997
Version: 1, Version Date: 16/06/2026



Decision



15 Galileo Street
Private Bag 544
NGARUAWAHIA

Telephone: 0-7-824 8633
Facsimile: 0-7-824 8091

Your Ref:

In reply please quote:
70 97 086

If calling, please ask for:
Peter Matich

26 November 1996

Brian Foote Associates
PO Box 466
PUKEKOHE

FILE COPY

Dear Sir/Madam

APPLICATION FOR RESOURCE CONSENT: P J & J A YOUNG

You are advised of the following decision on your application, which has been made pursuant to a delegated authority by the District Planner.

"That pursuant to Sections 34(4), 105(1)(c), 108 and 220 of the Resource Management Act 1991, the Waikato District Council under delegated authority grants subdivision consent for a non-complying activity to create a rural house lot and balance rural lot under the provisions of the Proposed Waikato District Plan on a site legally described as Pt Allot 394 Parish of Whangamarino (as comprised in Certificate of Title 50C/461 South Auckland Registry) subject to the following conditions:

- 1 The Survey Plan to give effect to this subdivision consent shall be consistent with the plan prepared by Brian Foote & Associates Ltd, Registered Surveyors, submitted on 7 November 1996, Brian Foote & Associates Ltd Ref. N°. 970841) for application number 70/97/086.
- 2 That pursuant to Section 407 of the Resource Management Act 1991, a reserve contribution be provided to Council in lieu of vesting of land, such contribution shall be calculated at an amount equivalent to the value of 130m² of Lot 1 but not exceeding 7.5% of the current market land value of Lot 1, or an amount of \$1,125.00 (incl. GST) whichever is the lesser, provided that the current market land value of Lot 1 shall be fixed by agreement between the applicant and the Council at the expense of the applicant.
- 3 That pursuant to section 409 of the Resource Management Act 1991, a capital contribution of \$2,200.00 inclusive of GST be paid to Council toward the provision of a trickle feed water supply to Lot 1.
- 4 That Lot 1 be provided with a water supply connection to the satisfaction of Waikato District Council.
- 5 That Lot 1 be provided with a standard residential vehicle entrance located in accordance with the subdivision plan submitted with the application on 7 November 1996, and constructed in accordance with WDC Plan No. TSG-E3 to the satisfaction of Waikato District Council.

- 6 That the trees to the east of the proposed Lot 1 entrance be removed as shown on the subdivision plan submitted with the application on 7 November 1996 to the satisfaction of Waikato District Council.
- 7 That the existing entrance to proposed Lot 2 be upgraded to a commercial entrance in accordance with WDC Plan No. TSG-E2 to the satisfaction of Waikato District Council.
- 8 That an area of land on proposed Lot 1 of a width of 40 metres from the lot boundary between proposed Lot 1 and Lot 1 DPS 62023 shall be protected within appropriate building restriction covenant. The terms of such covenant shall include a requirement that no building shall be constructed within this area. All documentation pertaining to the covenant shall be prepared by Council's solicitor and executed to the satisfaction of Waikato District Council at the expense of the applicant.
- 9 That power and telecommunication connections be provided to the boundary of proposed Lot 1.

Advisory Notes

- 1 The cost of providing water supply connections to each lot required by condition 4 of this subdivision consent is additional to capital contribution required by condition 3 of this subdivision consent.
- 2 The following matter will need to be assessed at the time of any application for Building Consent:
- a A Registered Engineer may be required to confirm that ground conditions are suitable for building due to land disturbance resulting from the existing orchard operation.

The reasons for this decision are:

- a The proposal satisfies the requirements of Rules 9S.2.3, 9S.2.6, 9S.2.7, and 42.5.6 of the Proposed Waikato District Plan, relating to the creation of rural house lots and rural lots, and does not conflict with any relevant objectives and policies of that proposed plan.
- b There are no persons who would be considered to be adversely affected by granting consent to the subject proposed subdivision.
- c Having regard to Section 104 (1)(a) of the Act, the actual and potential adverse effects on the environment of granting consent to subdivide will be able to be avoided, remedied, or mitigated by the imposition of the above conditions. The creation of Lot 1 is an allotment created solely or principally for residential purposes, and requiring a reserve contribution will enable the Council to mitigate the adverse cumulative effects of subdivision of rural zoned land for residential purposes.
- d Council has given full weight to the provisions of the Proposed Waikato District Plan where those provisions are beyond challenge under sections 75 and 76B of the Resource Management Amendment Act 1996.

- e No weight has been given to the Transitional Waikato District Plan.
- f A reference (appeal) by Greenhill Holdings requiring the insertion of additional assessment criteria relating to mineral resources, has some effect on the rural and rural residential zones. In this instance, there are no known sand quarries within 200 metres or rock quarries within 500 metres of the site."

This decision has been made under the authority delegated to staff by Council.

A Lapsing of Consents

Your attention is drawn to Section 125 of the Resource Management Act 1991. A summary of that section is that a resource consent lapses on the expiry of 2 years after the date of commencement of the consent, or after the expiry of such shorter or longer period as is expressly provided for in the consent, unless

- (a) The consent is given effect to, before the end of that period:
or
- (b) An application is made to Council up to 3 months after the expiry of that period which meets the criteria specified in Section 125.

B Compliance with Conditions

Please note that unless a specific time limit is stated in the conditions imposed by the Council when granting this consent, all conditions must be complied with before the use to which the consent relates is established.

C Changes to Conditions

Your attention is drawn to Section 127 of the Resource Management Act 1991 which enables an application to be made at any time to Council to change or cancel any condition of this consent on the grounds that a change in circumstances has caused the condition to become inappropriate or unnecessary and the other specified criteria of Section 127 can be met.

D Review of Decision on non-notified application

Your attention is drawn to section 357(2) of the Resource Management Act 1991. This section provides that there is a right of objection to Council in respect of this decision. Section 357(5) requires:

Any such objection shall be made by notice in writing to the Council, setting out the reasons for the objection, within 15 working days after the decision or requirement being notified to that person, or within such further time as may in any case be allowed by the consent of the Council.



E Right of Appeal

Your attention is drawn to the Resource Management Act 1991 Sections 120 and 121 and also Resource Management Regulations 1991/170 Section 10 and Part VI. Some key provisions to note are as follows:

- i You may appeal against the decision of the Council by lodging a Notice of Appeal in the prescribed form with the Registrar of the Planning Tribunal and with the Council within 15 working days of the receipt by you, or the person who filed the application on your behalf, of the Council's decision. The address of the Planning Tribunal is as follows:

The Registrar
Planning Tribunal
P O Box 5027
Wellington
- ii The appeal must be in the form prescribed by the Resource Management (Forms) Regulations 1991/170 or to like effect. The regulations may be purchased from the Government Printing Office. The form is identified as Form '7' in the regulations.
- iii A filing fee of \$55.00 GST inclusive must accompany every document by which appeal proceedings are commenced.
- iv Regulation 11 of the Resource Management (Forms) Regulations 1991/170 sets out important information as to the persons upon whom the appeal must be served and the time when service must take place. It is essential that these provisions be adhered to. Failure to do so may result in your appeal being struck out.

If you are in any doubt as to the procedures to be followed it is strongly recommended that you consult a lawyer.

Yours faithfully
M Buttimore
MANAGER

A handwritten signature in dark ink, appearing to read 'S G Colson'.

S G Colson
DISTRICT PLANNER
ENVIRONMENTAL SERVICES

Resource Consent

(Resource Management Act 1991)

DECISION ON APPLICATION LUC0126/09

Pursuant to Sections 34A(1), 104 and 104D, and 108 of the Resource Management Act 1991, the Waikato District Council, under delegated authority, grants Land Use Consent for an Activity to:

Activity: Construct a new dwelling 15 metres from the eastern boundary which encroaches the minimum 25 metres setback requirement in the Rural Zone

Consent Holder: Keith Lindsay Gutry, Patricia Rosemary Digby

Location Address: 223 B Waerenga Road TE KAUWHATA

Legal Description: LOT 3 DP 357027

Certificate of Title: 232184

This consent is subject to the conditions detailed in the attached Schedule 1.

The reasons for this decision are detailed in the attached Schedule 2.

Dated at Ngaruawahia this 23rd day of December 2008.

For and on behalf of Waikato District Council



Nath Pritchard

ENVIRONMENTAL SERVICES GROUP MANAGER

Schedule 1

Conditions of Consent

Resource Consent No: LUC0126/09

Planning Conditions

- PC1 The location of the dwelling shall be generally in accordance with the information and plans submitted by the consent holder for application number LUC0126/09 and received by Council on 02 December 2008. A copy of the approved plan is attached.
- PC2 The dwelling shall be located a minimum of 15 m from the eastern side boundary.
- PC3 The consent holder shall notify the Waikato District Council Monitoring Department in writing two weeks prior to the commencement of activities associated with this consent.
- PC4 The consent holder shall ensure that, should any human remains or archaeological items be exposed while undertaking works to give effect to conditions of this consent, works in that area will cease immediately. The Police, New Zealand Historic Places Trust, and Kaumatua representing the local Tangata Whenua shall be contacted and work shall not recommence in the affected area until any necessary statutory authorisations or consents have been obtained.
- PC5 Pursuant to section 36 of the Resource Management Act 1991 the consent holder shall pay the actual and reasonable costs incurred by the Waikato District Council when monitoring the conditions of this consent.

Advisory Notes

- AN1 Failure to comply with the conditions of consent may result in Council taking legal action under the provisions of Part XII of the Resource Management Act 1991.
- AN2 When Building Consents are applied for the following matters will need to be addressed in any applications:
- (i) For all building sites a Chartered Engineer may be required to confirm that ground conditions are suitable for building.
 - (ii) A design from a suitably qualified person will be required for the effluent disposal system.
 - (iii) A design from a suitably qualified person will be required for soak holes for all stormwater including roofs, driveways, and any other hard surfaces.
 - (iv) All earthworks shall comply with all requirements of the Waikato District Plan and the Waikato Regional Plan.

Schedule 1

Conditions of Consent

Resource Consent No: LUC0126/09

Planning Conditions

- PC1 The location of the dwelling shall be generally in accordance with the information and plans submitted by the consent holder for application number LUC0105/09 and received by Council on 02 December 2008. A copy of the approved plan is attached.
- PC2 The dwelling shall be located a minimum of 15 m from the eastern side boundary.
- PC3 The consent holder shall notify the Waikato District Council Monitoring Department in writing two weeks prior to the commencement of activities associated with this consent.
- PC4 The consent holder shall ensure that, should any human remains or archaeological items be exposed while undertaking works to give effect to conditions of this consent, works in that area will cease immediately. The Police, New Zealand Historic Places Trust, and Kaumatua representing the local Tangata Whenua shall be contacted and work shall not recommence in the affected area until any necessary statutory authorisations or consents have been obtained.
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Advisory Notes

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 - (ii) A design from a suitably qualified person will be required for the effluent disposal system.
 - (iii) A design from a suitably qualified person will be required for soak holes for all stormwater including roofs, driveways, and any other hard surfaces.
 - (iv) All earthworks shall comply with all requirements of the Waikato District Plan and the Waikato Regional Plan.

Schedule 2

Reasons for Decision

Resource Consent No: LUC0126/09

- 1 The dwelling will encroach into the boundary setbacks of one adjacent property. The written approval of this party has been obtained so no effect on them can be considered.
- 2 It is considered that any adverse environmental effects from this proposal can be deemed to be only minor.
- 3 The application was processed on a non-notified basis and was approved under delegated authority without the need for a Council hearing. Written approval was obtained from all persons Council deemed to be affected by the proposal.
- 4 The eastern yard encroachment will not have an adverse effect on the visual, daylight or sunlight amenity values of the abutting properties.
- 5 The proposal is consistent with the existing and surrounding rural developments, and will not detract from the amenity of the surrounding neighbourhood.
- 6 The Appeals version of the Proposed District Plan was released on the 31st of January 2007. In accordance with Section 19 of the Resource Management Act 1991 rules that are not under appeal are effectively operative. Rules that have been appealed will undergo a weighting exercise between the corresponding rule of the Operative District Plan and the Appeals version of the Proposed District Plan.



FINAL CODE COMPLIANCE CERTIFICATE

Section 94(1) Building Act 2004

ISSUED BY THE WAIKATO DISTRICT COUNCIL

BUILDING CONSENT NUMBER: BLD0244/09

FILE

BUILDING LOCATION:	BUILDING WORK
223 B Waerenga Road TE KAUWHATA	Dwelling with attached Garage
APPLICANT:	PROJECT
K L Guty, P R Digby, Collingwood Trustees Ltd & Others PO Box 33 Te Kauwhata 3741	Dwelling
CONTACT:	Intended Life, not less than 50 years
Jennian Homes Counties Ltd PO Box 292 Pukekohe 2340	
LEGAL DESCRIPTION:	
Property Number: 2008840 Valuation Roll Number: 04390/476.14 Legal Description: LOT 3 DP 357027 BLK XVI MARAMARUA SD SUBJ TO ESMTS	

This is a final Code Compliance Certificate issued in respect of all the building work under the above building consent.

Signed for and on behalf of Council:

Signature:

Name: Anthony Krippner

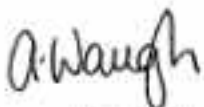
Position: Building Inspector

Date: 15 February 2010

BUILDING CONSENT NO: BLD0244/09

Section 51, Building Act 2004

ISSUED BY: WAIKATO DISTRICT COUNCIL

BUILDING LOCATION	BUILDING WORK
223 B Waerenga Road TE KAUWHATA	Dwelling with attached Garage
APPLICANT	PROJECT
K L Gutry, P R Digby, Collingwood Trustees Ltd & Others PO Box 33 Te Kauwhata 3741	Intended Life, not less than 50 years Dwelling \$314653
CONTACT	Total Est. Value of Projects \$314653
Jennian Homes Counties Ltd PO Box 292 Pukekohe 2340	
LEGAL DESCRIPTION	
Property Number: 2008840 Valuation Number: 04390/476.14 Legal Description: LOT 3 DP 357027 BLK XVI MARAMARUA SD SUBJ TO ESMTS	
COUNCIL CHARGES	
The balance of Council's charges payable on uplifting of this building consent, in accordance with the tax invoice are: Total: \$0.00 ALL FEES ARE GST INCLUSIVE	Signed for and on behalf of the Council:  Amanda Waugh REGULATORY SUPPORT OFFICER Date: 21 August 2009

This building consent is issued under Section 51 of the Building Act 2004. This building consent does not relieve the owner of the building (or proposed building) of any duty or responsibility under any other Act relating to or affecting the building (or proposed building).

This building consent also does not permit the construction, alteration, demolition, or removal of the building (or proposed building) if that construction, alteration, demolition, or removal would be in breach of any other Act.

This building consent is issued subject to the conditions specified in the attached pages headed "Conditions of Building Consent BLD0244/09".

Waikato District Council
Conditions of Building Consent Certificate No: BLD0244/09

The Building Consent Certificate is issued subject to the following conditions:

- 1 **At least 48 hours' notice** is required prior to the intended commencement of construction:
 - Siting, foundation (prior to pouring concrete)**AND at least 24 hours' notice** prior to any of the following inspections (See Building Regulations 1992):
 - Bond beam, (prior to pouring concrete)
 - Pre-floor plumbing and drainage
 - Pre-floor building (prior to pouring concrete)
 - Structural framing (pre-wrap)
 - Pre-line plumbing
 - Pre-line building
 - Exterior cladding systems
 - Post-line building
 - Sanitary sewer and stormwater
 - Final inspection to be called for (the owner or builder shall be on site at time of inspection)
 - Owner/builder to locate boundary pegs prior to council carrying out a foundation/siting inspection.**Waikato District Council contact phone number is (07) 824 8633.**

Building Consent Advisory Notes:

Any additional costs incurred (not covered by extra inspections) after issue of Consent may result in additional charges being invoiced and will be required to be paid before the issue of the Final Code Compliance Certificate.

- 1 Owner/Builder **MUST** locate boundary pegs prior to Council carrying out a foundation inspection.
- 2 Verandah posts shall comply with Figure 9.2 and 9.3 NZS 3604, 1999.
- 3 Trusses or rafters shall be fixed at tails to top plate with wire dogs at each end.
- 4 The roof shall be braced to comply with Table 10.1 NZS 3604, 1999.
- 5 The moisture barrier beneath the floor shall comply with the New Zealand Building Code 1991.
- 6 Provide breather type building paper on outside of frame, to extend to top plate level.
- 7 Steel lintels shall be hot dip galvanised to comply with Table 11.4 NZS 3604, 1999.

- 8 Insulation shall be a minimum of:- Floor R1.3; Walls R1.9; Roof/Ceiling R2.9; Glazing R0.26 and comply with NZBC H1 Energy Efficiency.
- 9 Footings shall be a minimum of 200mm below cleared ground level.
- 10 Lapse of building consent. A building consent lapses and is of no effect if the building work to which it relates does not commence within:
 - a) 12 months after the date of issue of the building consent
 - b) Any further period that the building consent authority may allow
 - c) If reasonable progress on the building work has not been made within 12 calendar months after work has commenced.

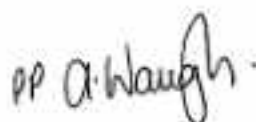
The Council can exercise its discretion in either case.

- 11 Soils may be soft in this area. Foundations shall sit on soils capable of supporting 100kpa. If soft soils are encountered an engineer's design of the foundations will be required.
- 12 All drainage and plumbing shall comply with the New Zealand Building Code 1991.
- 13 At least 24 hours' notice shall be required for plumbing and drainage inspections. Plumbing preline inspection shall be required.
- 14 Plumbing inspection shall be required before pouring floor slab.
- 15 An as built drainage plan and an electrical certificate of compliance is required on completion.
- 16 Septic Tank and effluent disposal shall comply with AS/NZS 1547:2001. Registered, supervising engineer to provide a PS4 to Council on completion, or approved suitably qualified person to provide a PS3 on completion.
- 17 Stormwater shall be disposed of in an approved manner.
- 18 All roof trusses shall be designed and fabricated by a certified manufacturer.
- 19 No hot and cold water pipes shall be laid under concrete floors unless they are accessible after the job is completed.
- 20 See resource consent number LUC0126/09 dated 23rd December 2008 for additional conditions.
- 21 All timber treatment shall comply with NZS 3602:2003.
- 22 Wall framing shall comply with table 8.2, 8.14, 8.18, 10.9, 10.10 or 10.13 figure 8.12 NZS 3604: 1999.

- 23 Domestic smoke alarms must be installed before a final inspection is requested. The number of alarms required and their location in the dwelling is to be in accordance with the New Zealand Building Code.

Date: 21 August 2009

Signed:



Anthony Krippner
Waikato District Council

ELECTRICAL WORKERS
REGISTRATION BOARD

Safety • Competency

Electrical Certificate of Compliance

for prescribed electrical work that is carried out on electrical installations and involves the placing or positioning or the replacing or repositioning of conductors (including fittings attached to those conductors).

To be completed whether or not an inspection is required.

No. 3104860

No. of attachments

CUSTOMER INFORMATION - PLEASE PRINT CLEARLY

Name of customer Jernian homes Franklin

Phone: 09 238 3757

Address of installation Lot 3, 223b, Warranga Rd, Te Kowhaka

Postal address of customer (if not as above) P.O. Box 292 Pukekohe

WORK DETAILS

60 No. of lighting outlets

2 No. of ranges

Please tick (✓) as appropriate where work includes:

33 No. of socket outlets

1 No. of water heaters

☒ Mains☒ Main earthing system

Was any installation work carried out by the homeowner?

☐ Yes ☒ No☒ Switchboard☐ Electric lines

Description

The full electrical installation of a new domestic house

It is recommended that test results be recorded here:

Visual Examination

☒

Earth Continuity

☒

Bonding

☒

Polarity

☒

Insulation Resistance > 200 Mohm

Other

If necessary attach any pages with sketches of work done

CERTIFICATION OF WORK

I certify that the above electrical work has been carried out in accordance with the requirements of the Electricity Act 1982 and Electricity Regulations 1997

ELECTRICAL WORKER DETAILS

Name

Mark Prosser

Registration no.

E253 738

Company

Arb electrical

Signature

M Prosser

Date

14-1-10

Contact Ph No.

027 304 7996

CERTIFICATION OF ELECTRIC LINES

To be completed where a separate electrical worker has installed the electrical line portion of the system

Name

Registration no.

Company

Signature

Date

Contact Ph No.

INSPECTION DETAILS

Electrical work requiring inspection by a registered electrical inspector

☒

New mains

☒

Switchboard

☒

Earthing system

☒

Installation work in hazardous areas

I certify that the inspection has been carried out in accordance with the requirements of regulation 41 of the Electricity Regulations 1997

Name

S. FREDERICK

Registration no.

E250637

Signature

S. Frederick

Date

14-1-2010

Daytime Contact Ph No.

862431

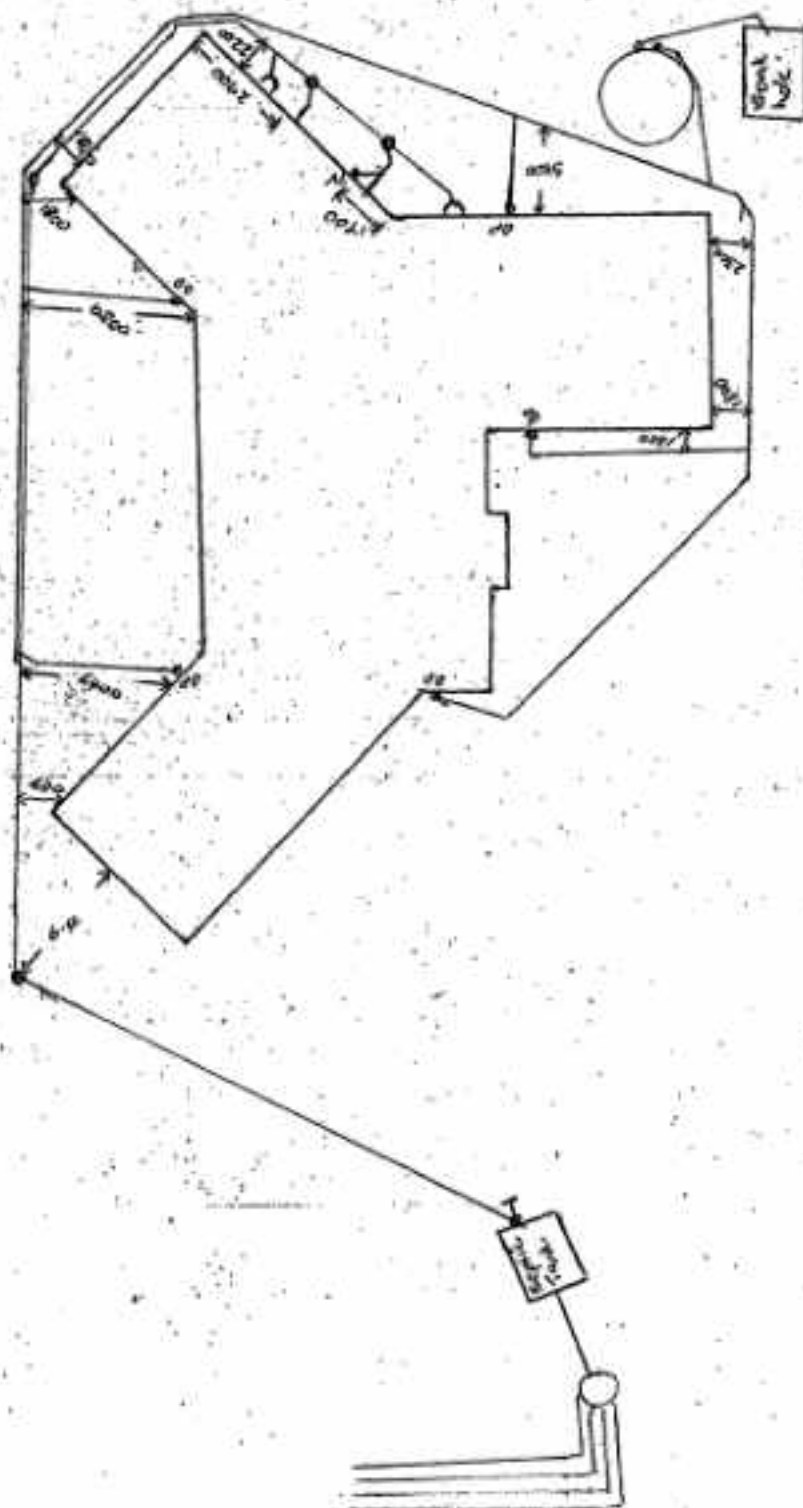
CUSTOMER COPY - THIS IS AN IMPORTANT DOCUMENT AND SHOULD BE RETAINED

drains.co
residential drainage specialists

Phone 09-267-8299
Fax 09-267-8779
Email: office@drains.co.nz
Registration # 11215
70 Spartan Rd, Takanini

AS-BUILT PLAN

Lot: 3 DP: Consent #: Date: 16.12.09
Street # and Name: 223B WARREN TK Completed by Crew: MATCH-JEROME-ANDREW
Client: SENNAN HOMES T/A: WAIKATO DIST Scale: 1:200





5th February 2010

COMMISSIONING-PRODUCER STATEMENT

EFFLUENT DISPOSAL SYSTEM

CLIENT Jennian Homes

LOCATION Lot 3 DP 357027 # 223B Waerenga Road, Te Kauwhata

This is to confirm that the plant at the location above has been commissioned 15.12.09 is operating according to the manufacturers specifications

PRODUCER STATEMENT – PS4

EFFLUENT DISPOSAL SYSTEM

CLIENT Jennian Homes

LOCATION Lot 3 DP 357027 # 223B Waerenga Road, Te Kauwhata

Discharge of up to 1080 litres per day of treated effluent to an area of 72 square metres designated disposal field at a hydraulic loading of 15.0 mm/day.

Domestic influent will be treated by a 4500 litre Dual Chamber Septic Tank with Biofilter.

Design Criteria:

Soil Type: Light Brown Silty Loam

Natural Drainage Class: Moderate Drainage – Category 4

Design: Average maximum infiltration rate – 15.0 mm/day
(based on ARC Environmental Technical Publication No 58 [TP58] On site Wastewater Disposal from Households and Institutions).

Design Volume: Average 1080 litres/day: 72 square metres disposal area, i.e. 144 metres x 0.5m wide standard effluent trench.

Assessment of Effects:

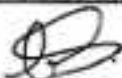
- [a] Description Refer above
- [b] Significant adverse effects on environment: None envisaged if System performs to manufacturer's claims.
- [c] Other options: None considered.

Installation:

A Registered Drainlayer has installed the Septic Tank and effluent irrigation trenches.

Yours faithfully

Drains.co Ltd



R D Williamson

DIRECTOR

REGISTERED DRAINLAYER # 11215

drains.co Ltd

e office@drains.co.nz p 09 267 8299 f 09 267 8779 70 Spartan Road, Takanini, Auckland

www.drains.co.nz



Building Code Clause(s)

PRODUCER STATEMENT – PS4 – CONSTRUCTION REVIEW

(Guidance notes on the use of this form are printed on the reverse side)

ISSUED BY: Wilton Joubert Ltd.
(Construction Review Firm)

TO: Jennian Homes Counties Ltd.
(Owner/Developer)

TO BE SUPPLIED TO: Waikato District Council
(Building Consent Authority)

IN RESPECT OF: Raft Floor
(Description of Building Work)

AT: Lot 3, 2238 Waerenga Rd, Te Kauwhata, Waikato
(Address)

LOT 3 DP 357027 SO

Wilton Joubert Ltd. has been engaged by Jennian Homes Counties Ltd.
(Construction Review Firm)

to provide ☒ CM1 ☐ CM2 ☐ CM3 ☐ CM4 ☐ CM5 (Engineering Categories) of ☐ OL1 ☐ OL2 ☐ OL3 ☐ OL4 (Architectural Categories)

☒ Observation ☐ or other services
(Extent of Engagement)

in respect of clause(s) B1 of the Building Code for the building work described in

documents relating to Building Consent No. 024409 and those relating to

Building Consent Amendment(s) Nos. issued during the

course of the works. We have sighted these Building Consents and the conditions of attached to them.

Authorised instructions / variation(s) No. (copies attached)

or by the attached Schedule ☐ have been issued during the course of the works.

On the basis of ☒ this ☐ these review(s) and information supplied by the contractor during the course of the works, I

believe on reasonable grounds that ☐ All ☒ Part only of the building works have been completed in accordance with

the relevant requirements of the Building Consents and Building Consent Amendments identified above, with respect to

Clause(s) B1 / VM1 of the Building Regulations.

I, Andrew Wilton am: ☒ CPEng No. 176859

(Name of Construction Review Professional)

☐ Reg Arch No.

I am a Member of: ☒ IPENZ ☐ NZIA and hold the following qualifications: BE MIPENZ CPEng IntPE DipMS

The Construction Review Firm issuing this statement holds a current policy of Professional Indemnity Insurance no less than \$200,000*.

The Construction Review Firm is a member of ACENZ: ☐ YES ☒ NO

SIGNED BY Andrew Wilton ON BEHALF OF Wilton Joubert Ltd.

Date: 04 Feb 2010 Signature:

Note: This statement shall only be relied upon by the Building Consent Authority named above. Liability under this statement accrues to the Construction Review Firm only. The total maximum amount of damages payable arising from this statement and all other statements provided to the Building Consent Authority in relation to this building work, whether in contract, tort or otherwise (including negligence), is limited to the sum of \$200,000*.

This form to accompany Forms 6 or 8 of the Building (Form) Regulations 2004 for the issue of a Code Compliance Certificate.



NEW ZEALAND INSTITUTE OF
ARCHITECTS
INCORPORATED



Building Code Clause(s)

PRODUCER STATEMENT – PS1 – DESIGN

(Guidance notes on the use of this form are printed on the reverse side)

ISSUED BY: Wilton Joubert Ltd.
(Design Firm)

TO: Jennian Homes Counties Ltd.
(Owner/Developer)

TO BE SUPPLIED TO: Waikato District Council.
(Building Consent Authority)

IN RESPECT OF: ribraft floor slab.
(Description of Building Work)

AT: 223B Waerenga Road, Te Kauwhata.
(Address)

LOT 3 DP 357027 SO

☒ We have been engaged by the owner/developer referred to above to provide engineering design & draughting services.
(Extent of Engagement) services in respect of the requirements of

Clause(s) B1 of the Building Code for

☐ All or ☒ Part only (as specified in the attachment to this statement), of the proposed building work.

The design carried out by us has been prepared in accordance with:

☒ Compliance Documents issued by Department of Building & Housing B1/VM1.
(Verification method / acceptable solution)

☐ Alternative solution as per the attached schedule

The proposed building work covered by this producer statement is described on the drawings titled

Waerenga Road, Te Kauwhata and numbered S1

together with the specification, and other documents set out in the schedule attached to this statement.

On behalf of the Design Firm, and subject to:

(i) Site verification of the following design assumptions

Soils as per Wilton Joubert Ltd. report ref:18229, 15 Sep 2009 17 Sep 2009

(ii) All proprietary products meeting their performance specification requirements;

I believe on reasonable grounds the building, if constructed in accordance with the drawings, specifications, and other documents provided or listed in the attached schedule, will comply with the relevant provisions of the Building Code.

I, David Lau am ☒ CPEng 221906 ☐ Reg Arch #
(Name of Design Professional)

I am a Member of: ☒ IPENZ ☐ NZIA and hold the following qualifications: BE, PhD, MIPENZ, CPEng

The Design Firm Issuing this statement holds a current policy of Professional Indemnity Insurance no less than \$200,000*

The Design Firm is a member of ACENZ ☐ YES ☒ NO

SIGNED BY David Lau ON BEHALF OF Wilton Joubert Ltd.
(Design Firm)

Date 16 Sep 2009 (signature) [Signature] 0244/03

Note: This statement shall only be relied upon by the Building Consent Authority named above. Liability under this statement accrues to the Design Firm only. The total maximum amount of damages payable arising from this statement and all other statements provided to the Building Consent Authority in relation to this building work, whether in contract, tort or otherwise (including negligence), is limited to the sum of \$200,000*.

This form is to accompany Form 2 of the Building (Forms) Regulations 2004 for the application of a Building Consent.



WILTON JOUBERT Ltd

PRODUCER STATEMENTS – Advisory Note

Producer Statements shall be submitted to territorial authorities or building certifiers in order for Code of Compliance Certificates to be issued. The requirement for consultants to issue the related Producer Statements may appear as a condition under the building consent documents or as a separate letter from the territorial authority or building certifier. It is the owner's (or consent applicant) responsibility to notify Wilton Joubert Ltd. in relation to the requirement for construction inspections required (and the subsequent PS4: Producer Statement for Construction Review) as stated on the consent documents.

In order to secure our inspection services, it is strongly recommended that Wilton Joubert Ltd. be given at least 48 hours notice prior to time of inspection. Our inspections are limited to items that have been designed and detailed by us. We are also unable to inspect non-consented or unauthorised work. Building consented, stamped plans with consent numbers (or legible copy of the same) including amendments where applicable shall be made available on site during inspections.

In some cases due to the distance of the job from our offices, it may be more practical and cost effective to contact a local professional engineer to carry out the inspection, who may contact us with any questions that may arise. The engineer who carried out the inspection would subsequently be responsible for the issue of the producer statement for construction review.

The costs associated with site inspections and issuing of Producer Statements are separate from any previous work that we have been engaged for, such as engineering design of works. The costs for carrying out the inspections and related work are based on time spent travelling to site, time on site and other associated costs. Please contact us for an estimate of costs. Our assumptions are that the person(s) who arranged the inspection is responsible for payment of the fees, unless otherwise stated at time of engagement.



P.O. BOX 11-381 ELLERSLIE, AUCKLAND, NEW ZEALAND PH: +64 (9) 579 1114 FAX: +64 (9) 579 7778

GUIDANCE ON USE OF PRODUCER STATEMENTS

Producer statements were first introduced with the Building Act 1992. The producer statements were developed by a combined task committee consisting of members of the New Zealand Institute of Architects, Institution of Professional Engineers New Zealand, Association of Consulting Engineers New Zealand in consultation with the Building Officials Institute of New Zealand. The original suite of producer statements has been revised at the date of this form as a result of enactment of the Building Act (2004) by these organisations to ensure standard use within the industry.

The producer statement system is intended to provide Building Consent Authorities (BCAs) with reasonable grounds for the issue of a Building Consent or a Code Compliance Certificate, without having to duplicate design or construction checking undertaken by others.

PS1 Design	Intended for use by a suitably qualified independent design professional in circumstances where the BCA accepts a producer statement for establishing reasonable grounds to issue a Building Consent;
PS2 Design Review	Intended for use by a suitably qualified independent design professional where the BCA accepts an independent design professional's review as the basis for establishing reasonable grounds to issue a Building Consent;
PS3 Construction	Forms commonly used as a certificate of completion of building work are Schedule 6 of NZS 3910:2003 ¹ or Schedules E1/E2 of NZIA's SCC 2007 ²
PS4 Construction Review	Intended for use by a suitably qualified independent design professional who undertakes construction monitoring of the building works where the BCA requests a producer statement prior to issuing a Code Compliance Certificate. This must be accompanied by a statement of completion of building work (Schedule 6).

The following guidelines are provided by ACENZ, IPENZ and NZIA to interpret the Producer Statement.

Competence of Design Professional

This statement is made by a Design Firm that has undertaken a contract of services for the services named, and is signed by a person authorised by that firm to verify the processes within the firm and competence of its designers.

A competent design professional will have a professional qualification and proven current competence through registration on a national competence-based register, either as a Chartered Professional Engineer (CPEng) or a Registered Architect.

Membership of a professional body, such as the Institution of Professional Engineers New Zealand (IPENZ) or the New Zealand Institute of Architects (NZIA), provides additional assurance of the designer's standing within the profession. If the design firm is a member of the Association of Consulting Engineers New Zealand (ACENZ), this provides additional assurance about the standing of the firm.

Persons or firms meeting these criteria satisfy the term "suitably qualified independent design professional".

* Professional Indemnity Insurance

As part of membership requirements, ACENZ requires all member firms to hold Professional Indemnity Insurance to a minimum level.

The PI insurance minimum stated on the front of this form reflects standard, small projects. If the parties deem this inappropriate for large projects the minimum may be up to \$500,000.

Professional Services during Construction Phase

There are several levels of service which a Design Firm may provide during the construction phase of a project (CM1-CM5)³ (OL1-OL4)². The Building Consent Authority is encouraged to require that the service to be provided by the Design Firm is appropriate for the project concerned.

Requirement to provide Producer Statement PS4

Building Consent Authorities should ensure that the applicant is aware of any requirement for producer statements for the construction phase of building work at the time the building consent is issued as no design professional should be expected to provide a producer statement unless such a requirement forms part of the Design Firm's engagement.

Attached Particulars

Attached particulars referred to in this producer statement refer to supplementary information appended to the producer statement.

Refer Also:

- 1 Conditions of Contract for Building & Civil Engineering Construction NZS 3910: 2003
- 2 NZIA Standard Conditions of Contract SCC 2007 (1st edition)
- 3 Guideline on the Briefing & Engagement for Consulting Engineering Services (ACENZ/IPENZ 2004)

17 SEP 2009



PRODUCER STATEMENT – CONSTRUCTION REVIEW

BUILDING CONSENT: 0244 / 09

Issued by Kim Tilyard Plumbing being a registered craftsman.
To The Waikato District Council, Private Bag 544 Hamilton.

In respect of the testing of water pipework prior to concealment, at:

223 B Waerenga Rd. Te Kauhata. (address)

For:

MR K I P Gentry. (Owner)

I hereby state that I have personally tested the water pipework installed in the building authorized by building consent number 0244 / 09 by the method indicated hereunder:

✓ By pressurising the pipework to 1500 kPa for a period of not less than 15 minutes for the cold water supply and for a period of not less than 30 minutes for the hot water supply and checking to see that there are no leaks.
(NZBC G12/AS1 C1 8.0.1)

By pressuring the u.p.v.c cold water pipework to 1.5 times the maximum working pressure for a period of not less than 15 minutes and checking that there are no leaks. (NZBC G12/1S1 C1 8.0.2., NZS7643)

By pressuring the pipework to 1500 kPa for a period of not less than 5 minutes and checking to see that there are not leaks.
(NZBC G123/VM1.AS3500.1-1992.)

And believe on reasonable grounds that the pipework has passed that test.

Hot water cylinders are pre-set at 55 degrees.

I also understand that the Waikato District Council in accepting this Producer Statement will be relying on it to issue the Code of Compliance Certificate at the completion of the building work.

Signature of Craftsman/Plumber: K I P Gentry

Date: 26 / 1 / 10. Craftsman Registration Number: **10963**

PRODUCERS STATEMENT – CONSTRUCTION REVIEW

BUILDING CONSENT NO: 0244 / 09

Issued by: **Kim Tilyard Plumbing** being a Registered Craftsman Plumber.

To the Waikato District Council, Private Bag 544, Hamilton.

At: 223 B Waerenga Rd, Te Kauwhata.

.....(address)

For: MR K & P Gentry.....(Owner).

I hereby state that I have personally tested the water pipe work installed in the building authorized by Building Consent Number 0244 / 09 by the method indicated hereunder.

Fusiotherm pressure test:

Preliminary Test (Testing procedure NZ Jan 2001)

Test Pressure – 20 bar:

1. Test pressure 20 bar 10 minutes
2. Unpressurise for 1 minute
3. Test pressure 20 bar 5 minutes
4. Unpressurise for 1 minute
5. Test pressure 20 bar for 5 minutes
6. Unpressurise

And believe on reasonable grounds that the pipe work has passed that test.

I also understand that the Waikato District Council in accepting this producer statement will be relying on it to issue the Code of Compliance Certificate at the completion of the building work.

Signature of Craftsman/Plumber: K. Tilyard

Date: 26 / 1 / 10

Craftsman Registration Number: **10963**

PRODUCER STATEMENT

11 / 01/2010

Jennian Homes
Gutry
223B Waerenga Road
TeKauwhata

The Water Proof membrane used on the in the wet tiled shower area at the above property meets with Australian and New Zealand Building Standards.

The water proofing product used is Dampfix Gold Water Proofing Membrane manufactured by Architectural & Structural Adhesives.

The application of the membrane has been completed in accordance with the manufacturers directions and standards for tiling practice.

The product used carries a 10 yr guarantee; liability is limited to the costs of removing and replacement for affected installations only.

Unlimited Tiles and Lighting Ltd requires the right to inspect.

Yours sincerely,



Craig McMurtrie
Certified Waterproofer /Director

Under Tile Wet Area Waterproofing Certificate N0: 110407
Issue Date: Feb 05

Gutry, 223B Waerenga Rd Te Kauwhata, BCN 0244/09.**Application**

All building work intended to be carried out under the above building consent was completed on 26/01/10

The personnel who carried out the building work are as follows:

	Name	Address	Phone	Registration #
Builder	Nick Bosanic	Pukekohe	021 989636	
Plumber	Kim Tilyard	235 Victoria St west, Pukekohe	021-969729	10963
Drain Layer	Rodger Williamson	70 Spartan Rd, Takanini.	09-2678299	11215
Site supervisor	Jennian Homes Pukekohe	Cnr Roulston St & Massey Ave	09-2383737	
Tiler	Unlimited Tiles	Manukau Rd Pukekohe	09 2382111	
Foundation/Slab	K & P Contractors	Pukekohe	0274 884101	
Blocklayer	N/A			
Bricklayer	Nigel Braclay	Patumahoe	021 336017	
Cladder	Builder	Pukekohe	021 989636	
Roofer	Counties Manukau Roofing	Pukekohe	0274-950220	
Electrician	Laser Electrical	Pukekohe	0275 943388	E3210
Gas Fitter	N/A			
Other				

The Following specified systems are contained on the compliance for the building and, in the opinion of the personnel who installed them, are capable of performing to the standards set out in the building consent:

- ☐ Automatic systems for fire suppression.
- ☐ Automatic or manual emergency warning systems for fire or other dangers.
- ☐ Electromagnetic or automatic doors or windows.
- ☒ Emergency lighting systems
- ☐ Escape route pressurisation systems.
- ☐ Riser mains for use by fire services.
- ☐ Automatic back-flow preventers connected to a portable water supply.
- ☐ Lifts, escalators, travelators, or other systems for moving people or goods within buildings.
- ☐ Mechanical ventilation or air-conditioning systems.
- ☐ Building maintenance units providing access to exterior and interior walls of buildings.
- ☐ Laboratory fume cupboards.
- ☐ Audio loops or other assistive listening systems.
- ☐ Smoke control systems.
- ☐ Means of escape.

CONSULTING CIVIL &
STRUCTURAL ENGINEERS

14 Hall Street

P.O. Box 177

Pukekohe 2340

Telephone: +64 9 238 9817

Facsimile: +64 9 238 2448

Email: mikew@aireys.co.nz

www.aireys.co.nz

SCANNED

Doc No _____



Members of ACENZ



**STATEMENT OF SUITABILITY OF HARDFILL
FOR RESIDENTIAL DEVELOPMENT**

RECEIVED

14 SEP 2009

To Waikato District Council
Private Bag 544
Ngaruawahia

Waikato District Council

Owner/Developer: K Gutry & P Digby

Location: 223(B) Waerenga Road
Te Kauwhata

AP/4826/606

Legal Description: **Lot 3 DP 357027**

The hardfill forming the building platform for the proposed residence shown on the plans;

Drawn by: Jennian Homes

Titled: Proposed New Dwelling for Gutry & Digby

has been placed in compliance with the terms of NZS 4431.

Periodic visits of inspection to the site, to check the quality of the fill have been carried out by Airey Consultants Ltd, under the supervision of Michael Trevor Williams, who is a chartered Professional Engineer in terms of the Chartered Professional Engineers of New Zealand Act 2002.

In the opinion of the inspecting engineer the following special limitations should be observed:

- The dwelling shall be founded on a raft type foundation subject to specific design. An Ultimate Limit State Bearing Strength of 100kPa should be used with a Strength Reduction Factor of 0.5 giving a Dependable Bearing Strength of 50 kPa for design.
- Foundations shall be designed in accordance with relevant standards for class H soils.
- Brick veneer shall be erected in discrete panels with control joints at 3.0m centres. Control joints are required in accordance with manufacturers' literature and NZ Standards and should be located above windows and doors, and in panels larger than 3.0m.

This certification, that the hardfill has been placed in compliance with the terms of NZS 4431 does not remove the necessity for the normal inspection and design of foundations as would be made in natural ground.


M. T. Williams
BE M.IPENZ(Civil, Structural)CPEng

Date: 07/09/2009

IPENZ Membership No. 174406

Member: ACENZ, IPENZ, CPEng

AMENDED PLAN

DATE/2009

To Whom It May Concern:

RE: PRODUCER STATEMENT HARDFILL

Dear Sir or Madam

Please find enclosed a Producer Statement for Suitability of Hardfill, please note the special limitation regarding Brick veneer control joints and the limitation for the Foundation design.

If you have any further questions regarding this matter, please do not hesitate to contact the undersigned.

Yours faithfully

AIREY CONSULTANTS LTD

Per: M T Williams
BE M.IPENZ(Civil, Structural)CPEng
Director

AMENDED PLAN

CONSULTING CIVIL &
STRUCTURAL ENGINEERS

14 Hall Street

P.O. Box 177

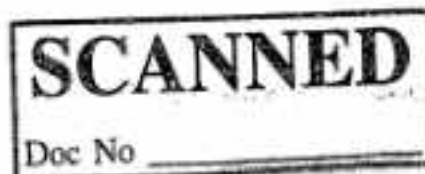
Pukekohe 2340

Telephone: +64 9 238 9817

Facsimile: +64 9 238 2448

Email: mikew@aireys.co.nz

www.aireys.co.nz



**STATEMENT OF SUITABILITY OF HARDFILL
FOR RESIDENTIAL DEVELOPMENT**

RECEIVED

To **Waikato District Council**
Private Bag 544
Ngaruawahia

14 SEP 2009

Waikato District Council

Owner/Developer: **K Gutry & P Digby**

Location: **223(B) Waerenga Road**
Te Kauwhata

AP/4826/606

Legal Description: **Lot 3 DP 357027**

The hardfill forming the building platform for the proposed residence shown on the plans;

Drawn by: Jennian Homes

Titled: Proposed New Dwelling for Gutry & Digby

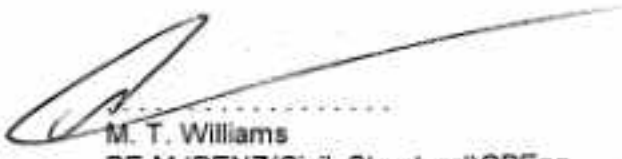
has been placed in compliance with the terms of NZS 4431.

Periodic visits of inspection to the site, to check the quality of the fill have been carried out by Airey Consultants Ltd, under the supervision of Michael Trevor Williams, who is a chartered Professional Engineer in terms of the Chartered Professional Engineers of New Zealand Act 2002.

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- Foundations shall be designed in accordance with relevant standards for class H soils.
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This certification, that the hardfill has been placed in compliance with the terms of NZS 4431 does not remove the necessity for the normal inspection and design of foundations as would be made in natural ground.

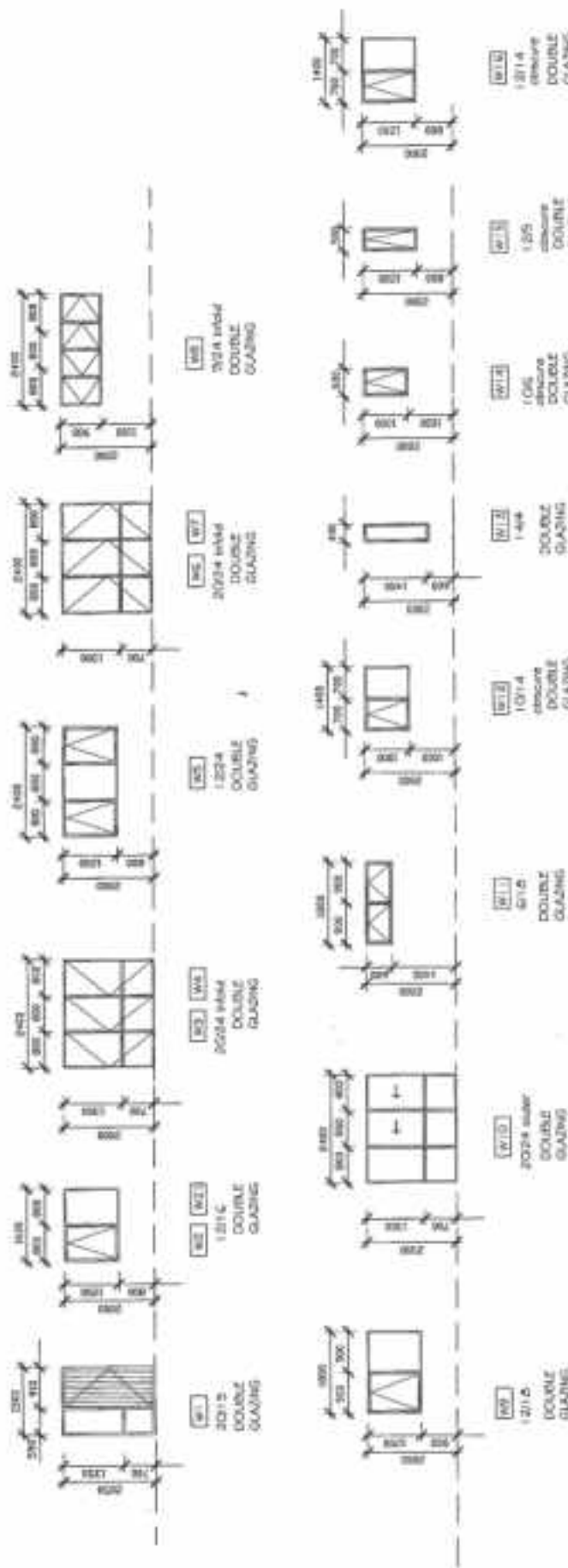

M. T. Williams
BE M.IPENZ(Civil, Structural)CPEng

Date: 07/09/2009

IPENZ Membership No. 174406

Member: ACENZ, IPENZ, CPEng

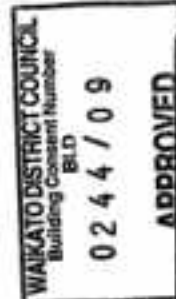
AMENDED PLAN



WINDOW SCHEDULE 1:100 SCALE

ALL DOORS AND WINDOWS ARE VIEWED FROM THE OUTSIDE.
 ALL JOINERY OPENINGS ARE TO BE SITE MEASURED PRIOR TO MANUFACTURING
 ALL SIZES SHOWN ARE OVERALL JOINERY SIZE
 ADD 10mm TO JOINERY DIMENSION FOR TRIM OPENING SIZE
 ALL WINDOW AND DOOR HEAD FLASHINGS TO HAVE STOP ENDS
 OBTAIN GLASS TO BATHROOM, W.C. AND ENSUITE
 GLAZING TO COMPLY WITH NZS 4223 PT. 3
 BATHROOM GLAZING TO COMPLY WITH NZS 4223 PT. 3, D4
 ALL WINDOWS INCLUDE CONDENSATION CHANNELS
 AND DOUBLE CATCHES TO ALL OPENING SASHES WIDER THAN 450mm

ALL BIFOLDS TO FOLD BACK AGAINST WALL



SHEET No 9

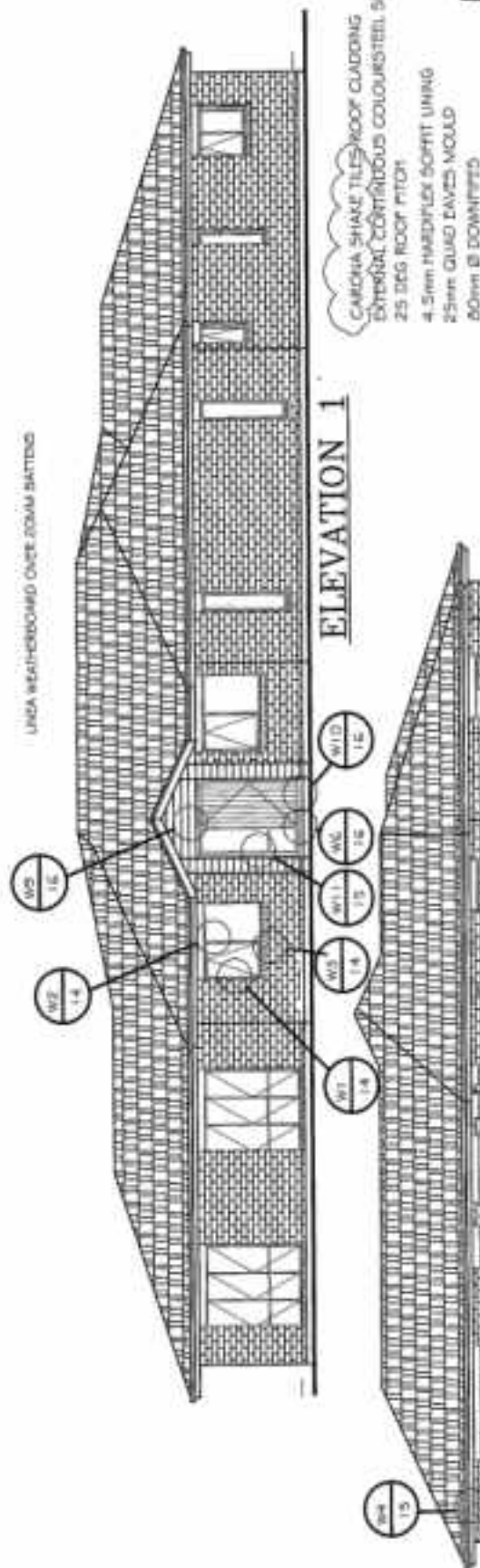
Jennian HOMES

SCALE	1:100	FOR CONSIDERATION
DATE	18/06/2026	
DRAWN	PLANNING 3333/1/1	
REVISION		FOR CONSIDERATION

PROPOSED NEW DWELLING
 FOR GUTRY / DIGBY
 LOT 3, 223 b WAERENGA RD, TE KAUWHATA.

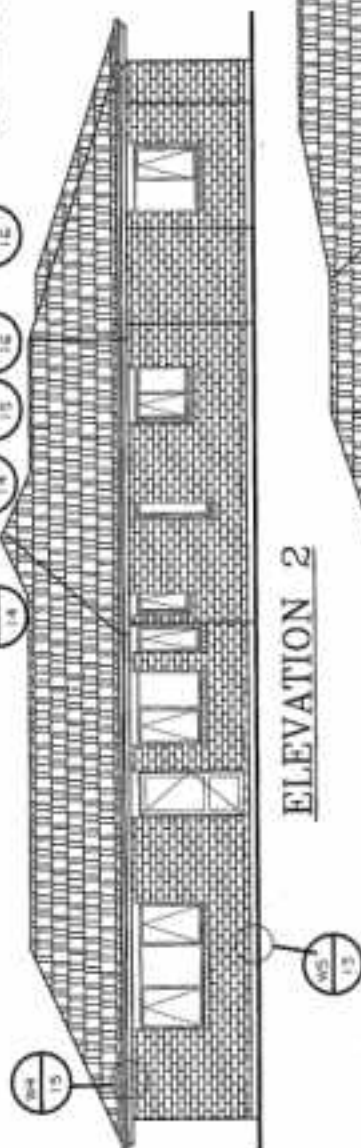
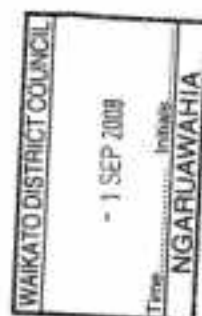
NOTE: ALL WORKS TO BE DONE IN ACCORDANCE WITH NEW ZEALAND BUILDING CODES. BUILDER MUST CHECK AND VERIFY ALL DIMENSIONS PRIOR TO COMMENCING WORK.

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 888, Manurewa Road, Auckland, New Zealand. 021 123 456789. 09-228-4102

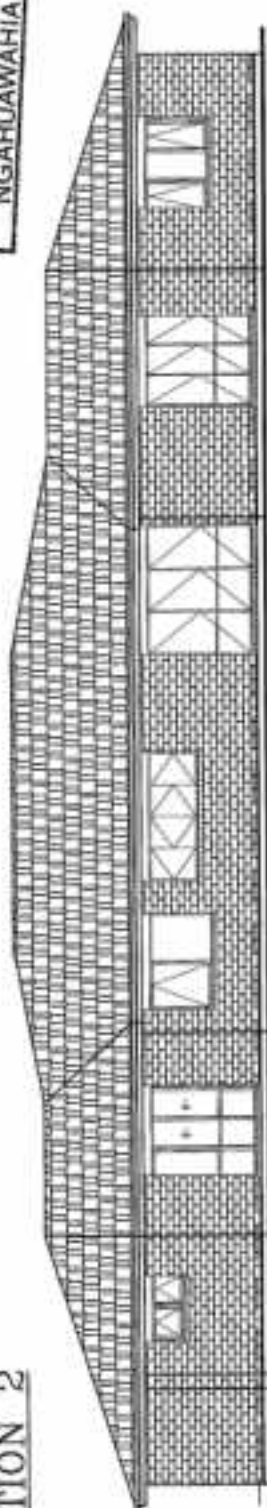


ELEVATION 1

CAROLINA SHAKETILES ROOF CLADDING
EXTERNAL CONTINUOUS COLOURED STEEL SPACING AND FASOLA
25 DEG ROOF PITCH

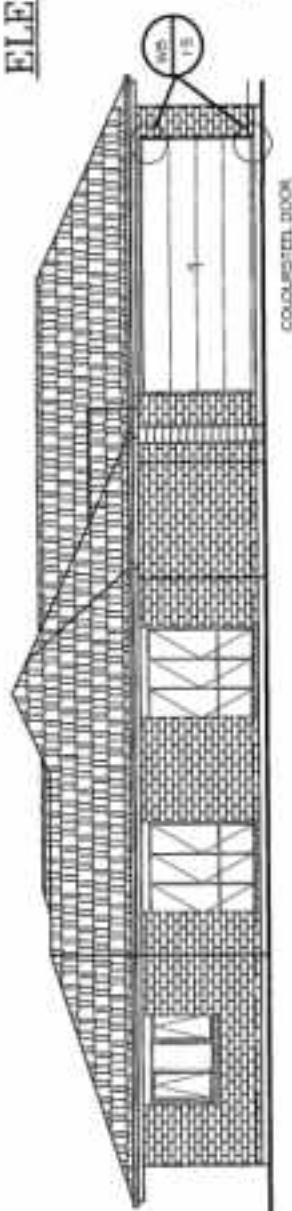


ELEVATION 2



ELEVATION 3

LINEA WEATHERBOARD PACKED OUT OVER WINDOWS AND DOOR SERIES BRICKWORK, 50 CAVITY ALUMINUM JOINTS/



ELEVATION 4

CONCLUSIONS: 110000

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PROPOSED NEW DWELLING
FOR GUTRY / DIGBY
LOT 3. 223 b WAEPENG

NOTE: ALL WORKS TO BE DONE IN ACCORDANCE WITH NEW 2014 BUILDING CODES.
 PLEASE VISIT CHECKANDVERIFY.COM
 ALL BUILDING PERMITS TO COMMENCE WORK.

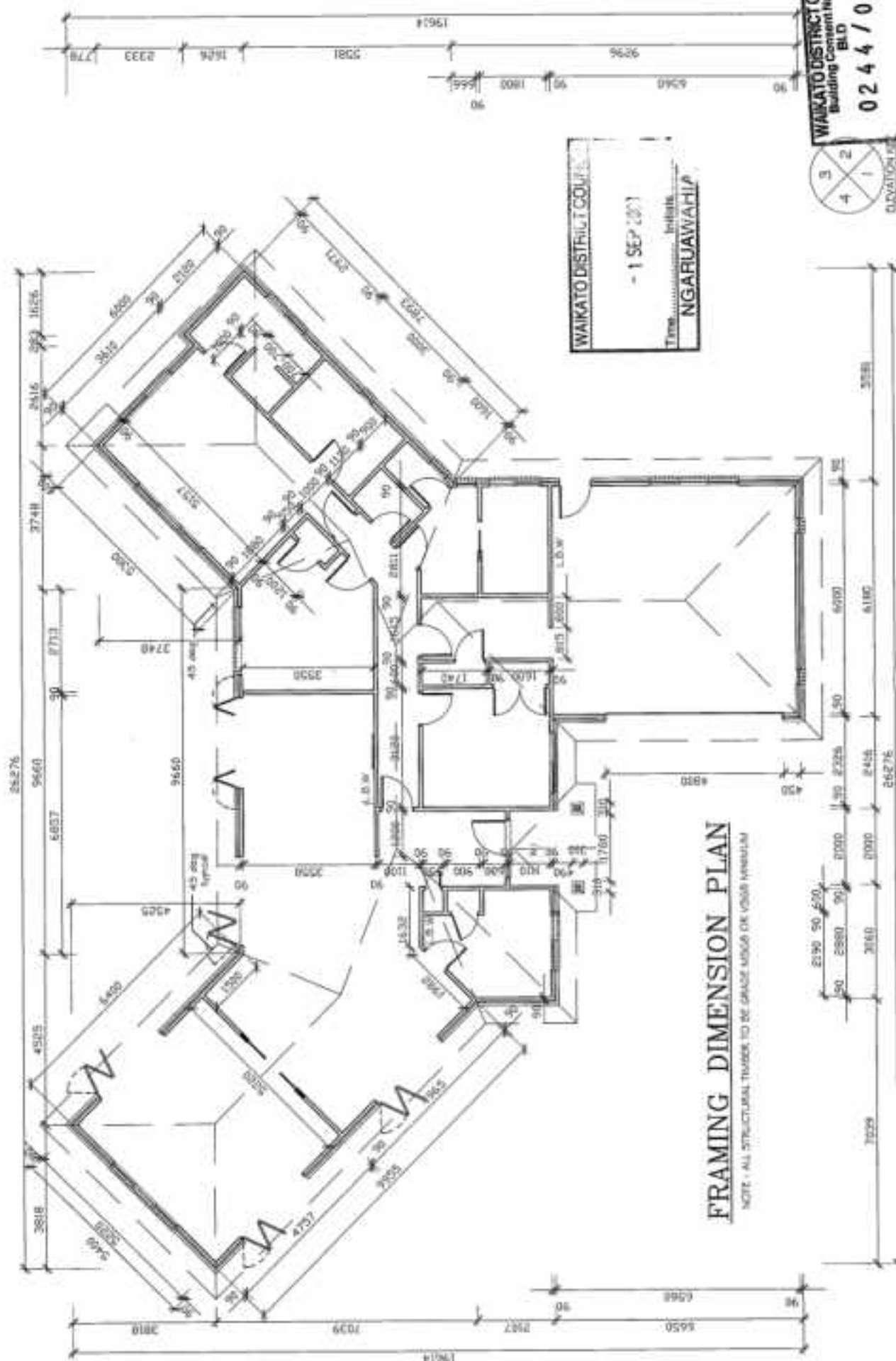
SCALE
DATE
DRAWN
REVISION

PMU Counters - 1 Address
ROM Counters - 256Kbits
RAMS - 1 Address

WAIKATO DISTRICT COUNCIL
Building Consent Number

~~0244709~~

Jennia
APPROVED
SHEET NO. 4
HOMES



The copyright of this drawing remains the property of Jarmar Pictures.

NOTE - ALL WORK TO BE DONE IN ACCORDANCE WITH NEW ZEALAND BUILDING CODES. BUILDER MUST CHECK AND VERIFY ALL DIMENSIONS PRIOR TO COMMENCING WORK.

PROPOSED NEW DWELLING
FOR GUTRY / DIGBY
LOT 3, 223 b WAERTING

PROPOSED NEW DWELLING
FOR GUTRY / DIGBY
LOT 3, 223 b WAERENGA RD, TE KAUWHATA.

SCALE	1 : 100	NOT COPIED - 145008
DATE	19908	FILE CLOUTIER - 250008
DRAWN	PAUL DUP 2022-181	82-2000 - 100008
REVISION	PM 10/06/08	

Jennian
HOMES®

SHEET No.

15

WAIKATO DISTRICT COUNCIL
Building Consent Number
BLD
0244 / 09
APPROVED

APPROVED

0244/09

Time 11:00 Initials NGARUAWAHIA

FRAMING DIMENSION PLAN

NOTICE: ALL STRUCTURAL TENDERS FOR THE CATHOLIC MUSEUM FOR USCA MUST BE SUBMITTED

BUILDING CONSENT LAYOUT

CARTERS

MANUFACTURING

Auckland Manufacturing
East Tamaki, Auckland
Ph (09) 273 6808

JOB No **MF38757**

Client: Jennian Counties
Job Name: -
Address: Lot 3 Wairanga Rd
Tn Kaitiaki

Pitch: 25
Roof Material: Corona Shake
Soffit Overhang: 600mm
Wind Area: High
Snow Load: 0 kPa

Trusses And Rafters At 900 Centres
Unless Stated Otherwise

This layout is to be read in conjunction
with the Architectural plans.

DRAWN BY Phil

DATE 25/08/08 PAGE 1 of 2

BUILDING CONSENT INFORMATION

These layouts and associated design
statements are provided as a means
of showing compliance with NZBC
and may be used for Building Consent
Application purposes only. This is a
Buildable layout which may have some
dimensional changes completed at the
time of truss manufacture.

As to be built roof truss layouts, truss
facing details, point load notification,
and a Producer Statement for the
design of the roof trusses will be
provided to the Local Authority at
the time of manufacture.

All walls shown on this layout are
considered to be load bearing.

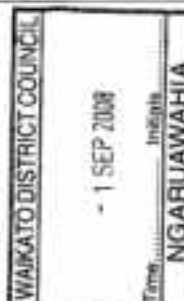
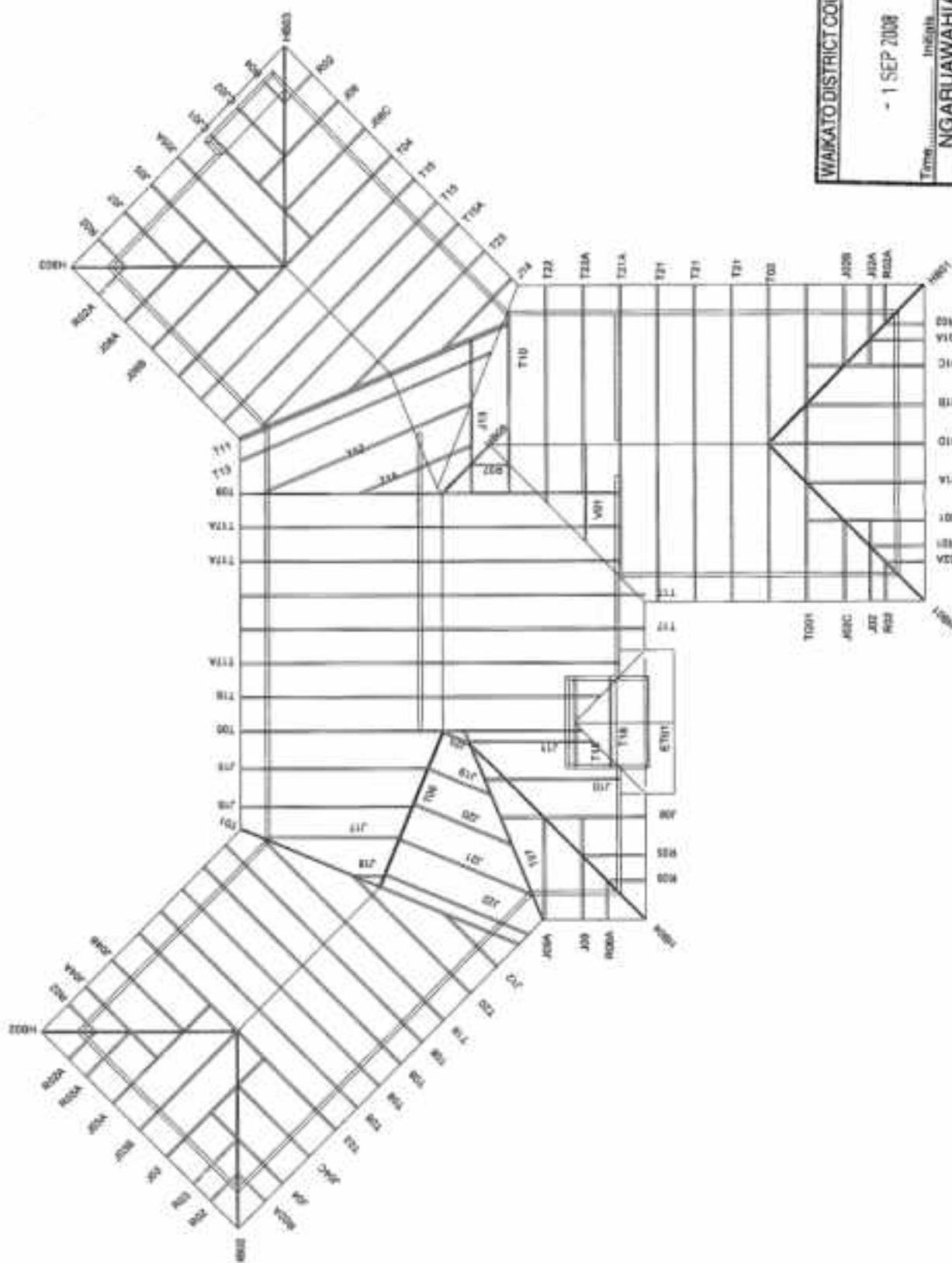
These layouts and associated design
statements are valid only if the job is
manufactured by CARTERS.

TRUSS FIXINGS

Truss to Top Plate - 2 wire dogs
Truss to Truss - Joist Hanger
or alternatively as specified by
CARTERS on the Final Layout



See page 2 for Dimensions
and Point Load notification



BUILDING CONSENT LAYOUT

CARTERS
MANUFACTURING

Auckland Manufacturing
East Tamaki, Auckland
Ph (09) 273 6808

JOB No. **MF38757**

Client: **Jennian Counties**

Job Name: **Lot 3 Waerenga Rd**

Address: **Tu Kaurahua**

Pitch: **25**

Roof Material: **Corona Shake**

Soffit Overhang: **800mm**

Wind Area: **High**

Snow Load: **0 MPa**

Trusses And Rafters At 900 Centres
Unless Stated Otherwise

This layout is to be read in conjunction
with the Architectural plans.

DRAWN BY: **Phil**

DATE: **25/08/08** PAGE: **2 of 2**

These limits have been sized using
the **GAUGLUM 05/2006** and
PLITCH BEAM 01/2001

selection manuals from **MITEK NZ Ltd**.

HIPSPAN and **HY90** limits have been
sized using **decoGRIT V3.2** ANZ software or
selection manuals, **HYSPAN Edition 2**
and **HY90 Edition 1**, as provided by
CHH Kaurahua.

Unless otherwise stated the timber grade
for all limits is **MSC26**. Limits not shown
are to be selected as per **NZS3604 1999**.

All walls shown on this layout are
considered to be leaf bearing.

LINTEL	SIZE	LENGTH
A	200x80HY90	2400mm
B	200x80HY90	1800mm
C	150x60HY90	800mm
D	By Others	4800mm
E		3000mm

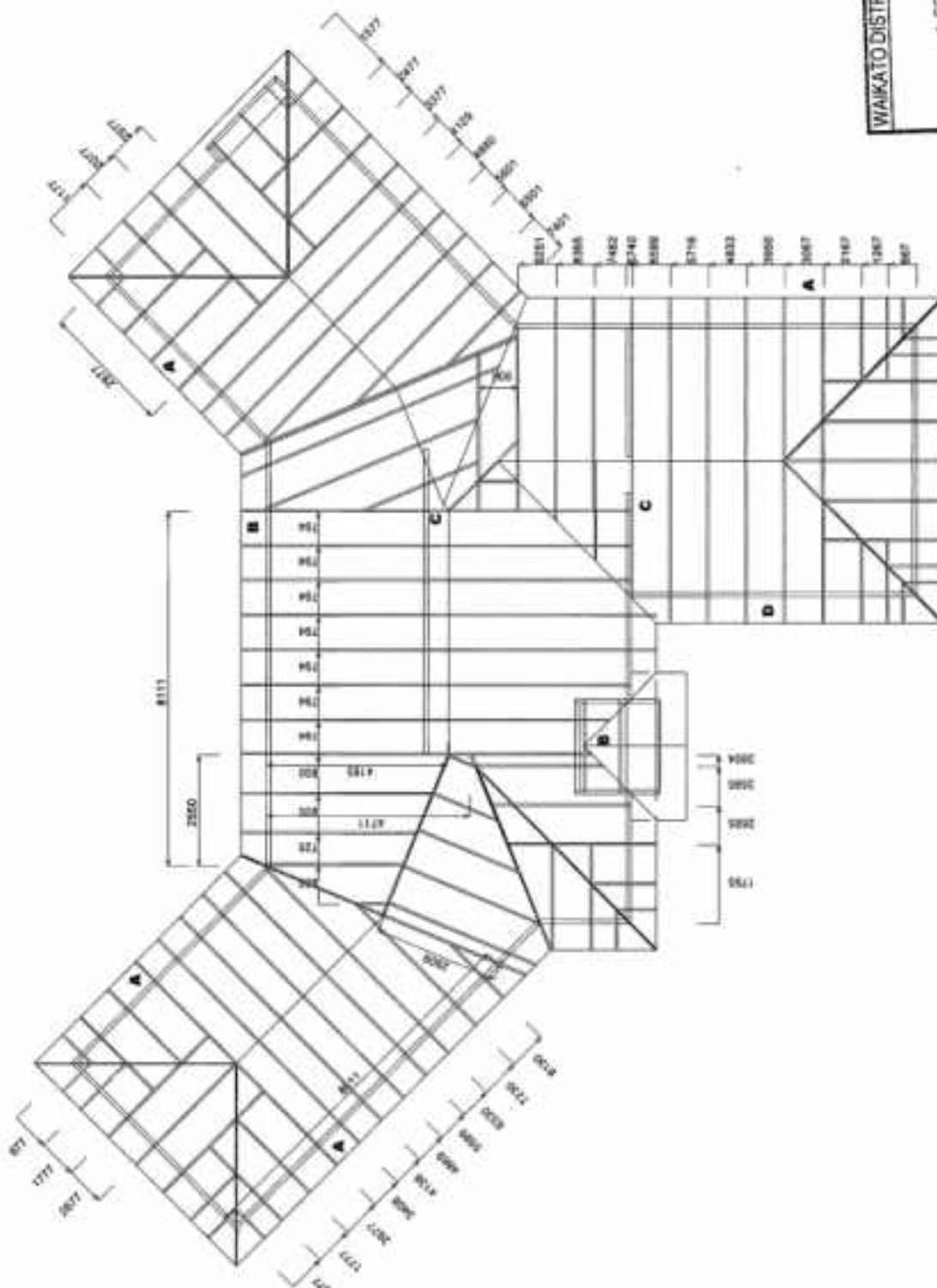
WAIKATO DISTRICT COUNCIL
Building Consent Number

BLD

0244/09

APPROVED

See Page 1 for
Labelled Truss Layout

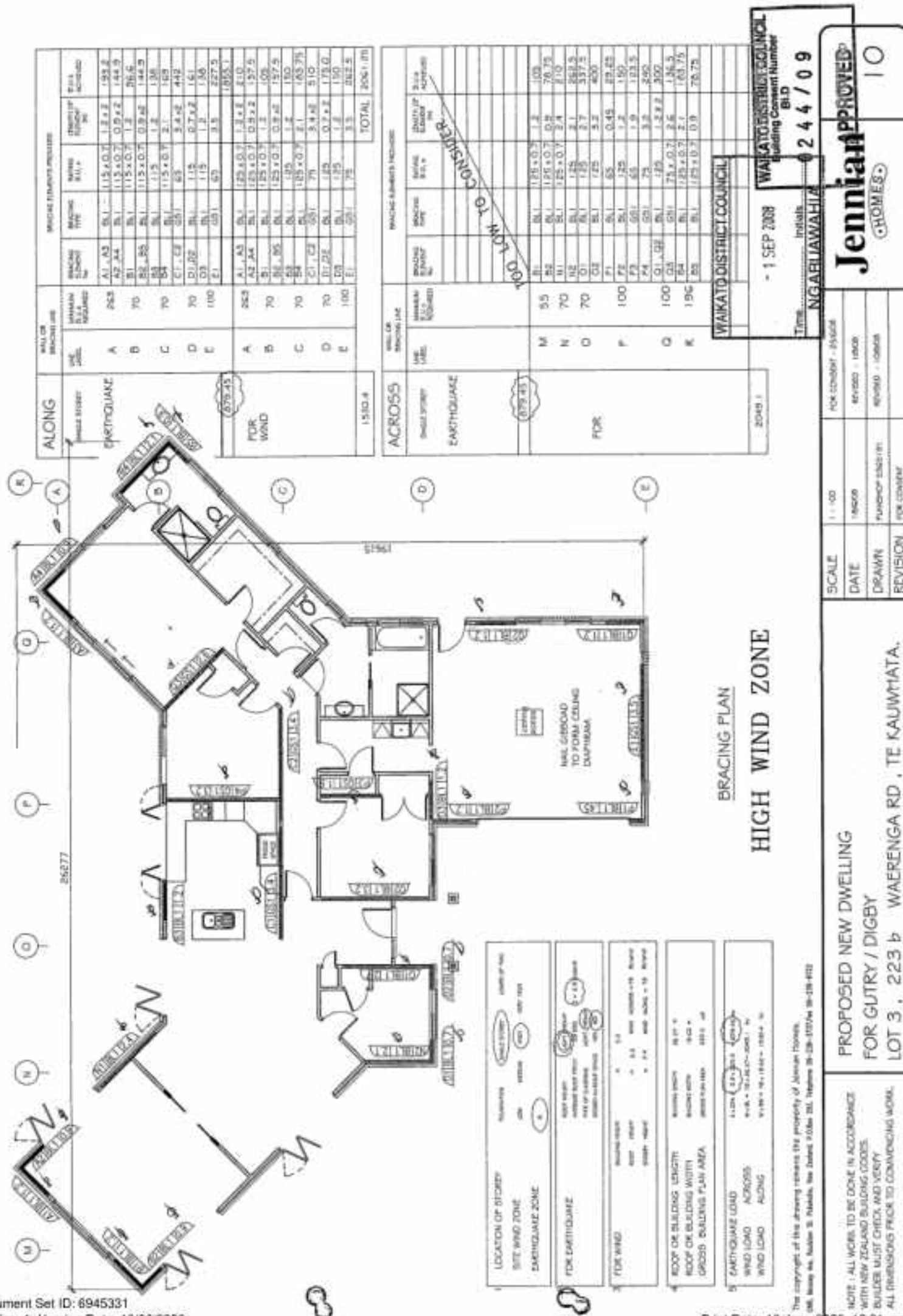


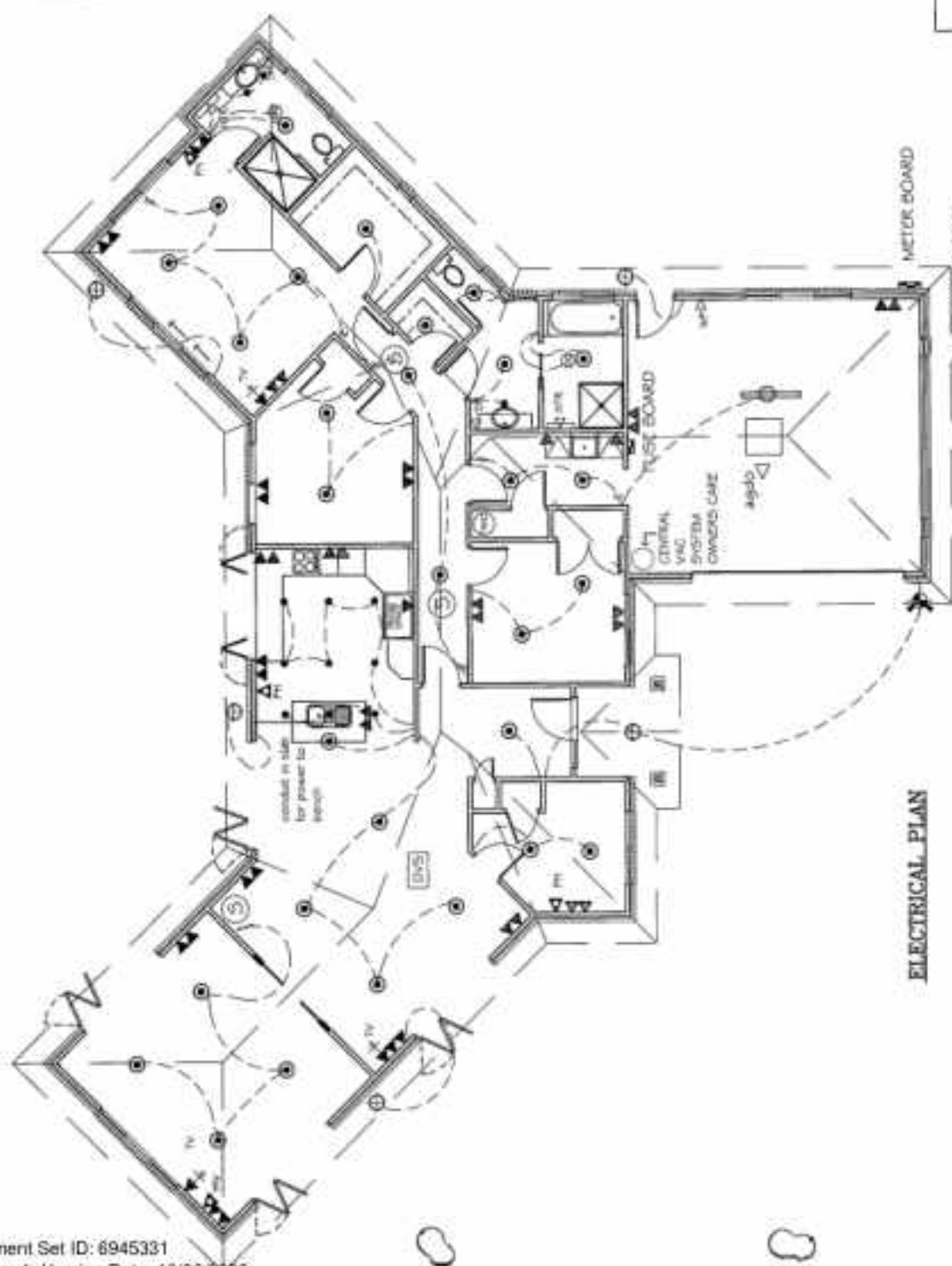
WAIKATO DISTRICT COUNCIL
- 1 SEP 2008
Time: **NGARUAWAHIA**
Initials:

NOTIFICATION OF POINT LOADS TO INTERNAL WALLS

IN EXCESS OF 10kN

Ref: Internal Load Bearing on Concrete Floor Slabs 03/2006 MITEK NZ Ltd.





LOCATION OF OUTLETS TO WET AREAS MAY VARY TO WHAT'S SHOWN ON PLANS TO COMPLY WITH ASHRAE 90.1-2010 WIRING STANDARD.

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PROPOSED NEW DWELLING
FOR GUTRY / DIGBY
LOT 3, 223 b WAERENG

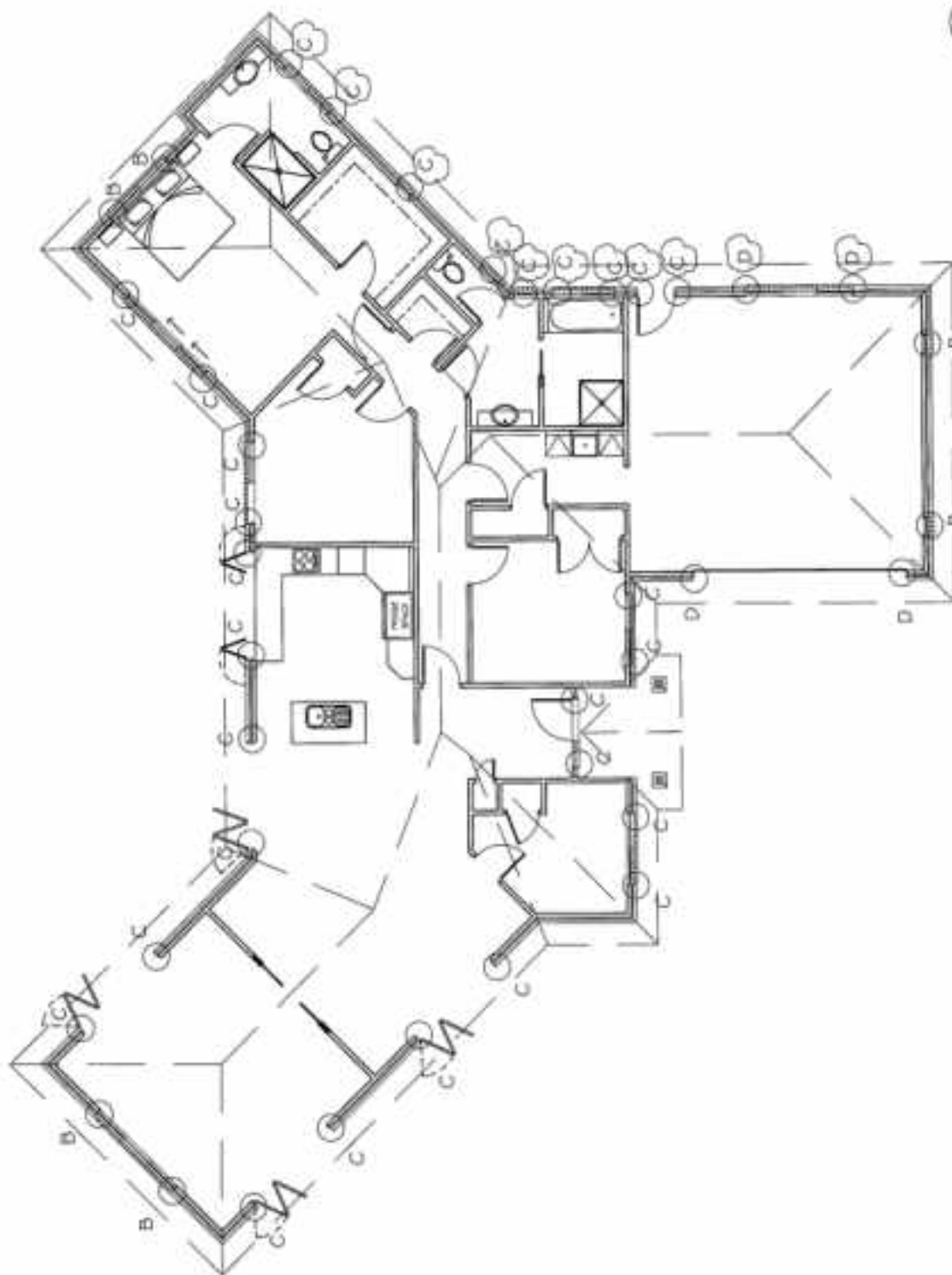
NOTE: ALL WORK TO BE DONE IN ACCORDANCE WITH NEW ZEALAND BUILDING CODES. BUILDER MUST OBTAIN AND VERIFY ALL DIMENSIONS PRIOR TO COMMENCING WORK.

SCALE	1 : 100	FOR CONCRETE : 1:50000
DATE	1998/01/10	REVISED : 1998/01/10
DRAWN	PLANNING STAFF	
REVISION	FOR CONCRETE	

Jennian ARMORED
HOMES

ELECTRICAL LEGEND		
SYMBOL	DESCRIPTION	No OFF
	METER BOARD	1
	FUSE BOARD	1
	HOT WATER CYLINDER	1
	SINGLE POWER POINT	3
	DOUBLE POWER POINT	19
	TELEPHONE OUTLET	3
	SKY DIGITAL PREVIEW	1
	TELEVISION OUTLET	5
	SHAVER POWER OUTLET	2
	HEATED TOWEL RAIL	2
	WATER PUMP OUTLET	1
	DISHWASHER OUTLET	1
	WASTE MASTER OUTLET	-
	RANGEHOOD OUTLET	1
	RCD CIRCUIT	1
	WALL OVEN	1
	2 WAY LIGHT SWITCH SET	3
	3 WAY LIGHT SWITCH SET	-
	CEILING MOUNTED FLUORESCENT	1
	RECESSED DOWNLIGHT	30
	EXTERIOR SOFFIT MOUNTED LIGHT	5
	EXTERIOR WALL MOUNTED LIGHT	---
	EXTERIOR SENSOR WALL LIGHT	1
	EXTRACT FAN soffit vented	2
	AUTO GARAGE DOOR OPENER	1
	SMOKE DETECTOR	3
	HALOGEN LIGHT	12
	EYEBALL LIGHT	---
	DVS - G3 5W5	---
	HEATER PUMP	---

WAIKATO DIST. COUNCIL	20/04/21
- 15.7.2021	
Time	10:10 AM
NGARUAV	1/1A



CLIMATIC ZONE 4 LIGHT ROOF

CALCULATED FOR HIGH WIND ZONE

LINTEL FIXING SCHEDULE

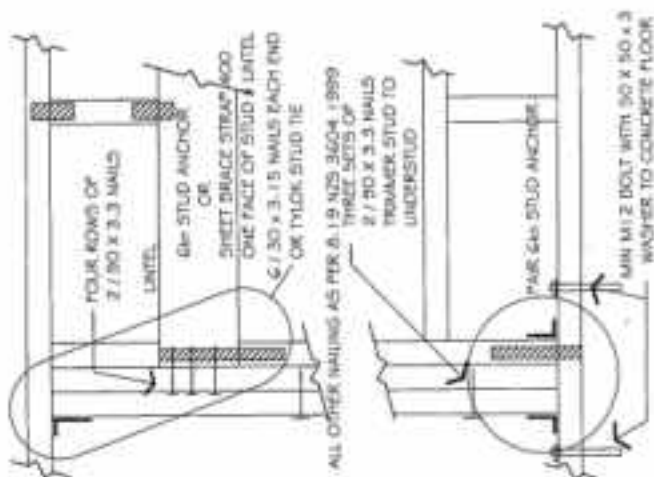
REFER TO SHEET 13 FOR DETAILS

WAIKATO DISTRICT COUNCIL Building Consent Number Bt D		0244/09 SHEET No	
Jennian HOMES		APPROVED	
SCALE	1:100	FOR CONSULT - 23/02/21	
DATE	18/06/2026	REVISED - 18/06/2026	
DRAWN	PUNCHUP 18/06/21	REVISED - 18/06/2026	
REVISION	FOR COMMENT		

PROPOSED NEW DWELLING
FOR GUTRY / DIGBY
LOT 3, 223 b WAERENGA RD, TE KAUWHATA.

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100, Albany Ave, Auckland 10, Auckland, New Zealand. Tel: 09 234 1000. Fax: 09 234 1001.



Lintel Fixing
TYPE D 13.5kN



FIXING TYPE D
5.0m

ALL STUDS AT 600 C/C

REFER TO LINTERLOK WALL FIXING CHART Q1/10

ALL FIXINGS ASSUME TOP PLATE THICKNESS OF 45mm MAXIMUM

WAIKATO DISTRICT COUNCIL

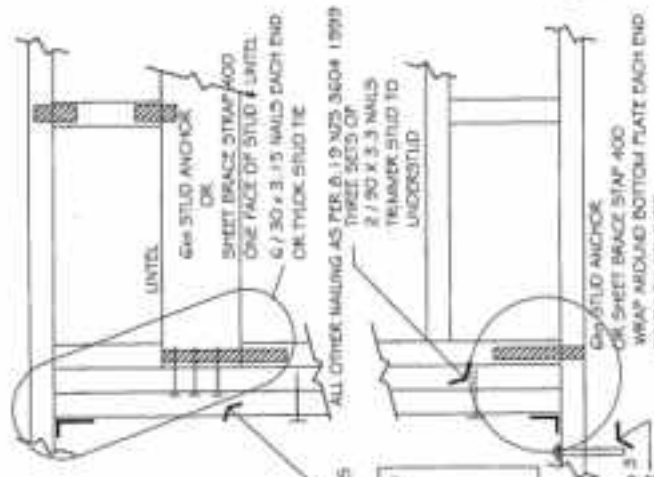
Building Consent Number

BLD

0244/09

Jenniah APPROVED No

13



Lintel Fixing
TYPE C 7.5kN



FIXING TYPE D
5.0m

ALL STUDS AT 600 C/C

REFER TO LINTERLOK WALL FIXING CHART Q1/10

ALL FIXINGS ASSUME TOP PLATE THICKNESS OF 45mm MAXIMUM

WAIKATO DISTRICT COUNCIL

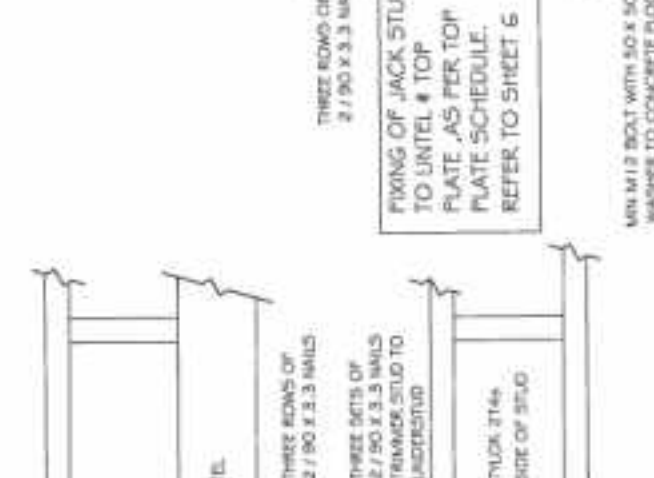
Building Consent Number

BLD

0244/09

Jenniah APPROVED No

13



Lintel Fixing
TYPE B 4.0kN



FIXING TYPE C
2.7m

ALL STUDS AT 600 C/C

REFER TO LINTERLOK WALL FIXING CHART Q1/10

ALL FIXINGS ASSUME TOP PLATE THICKNESS OF 45mm MAXIMUM

WAIKATO DISTRICT COUNCIL

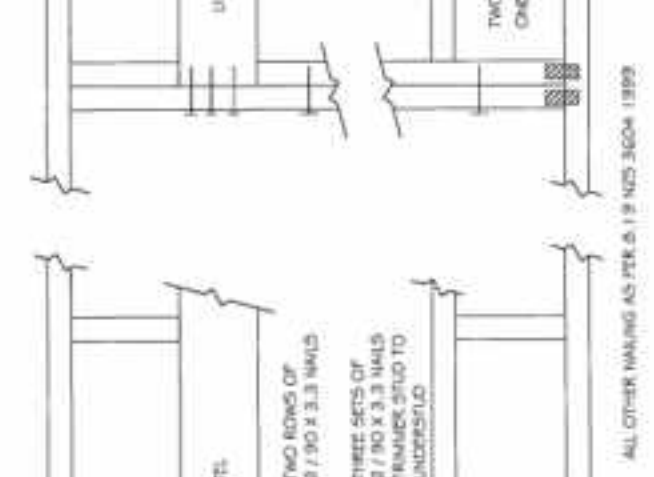
Building Consent Number

BLD

0244/09

Jenniah APPROVED No

13



Lintel Fixing
TYPE A 1.4kN



FIXING TYPE B
1.7m

ALL STUDS AT 600 C/C

REFER TO LINTERLOK WALL FIXING CHART Q1/10

ALL FIXINGS ASSUME TOP PLATE THICKNESS OF 45mm MAXIMUM

WAIKATO DISTRICT COUNCIL

Building Consent Number

BLD

0244/09

Jenniah APPROVED No

13

STUD TO TOP PLATE FIXING SCHEDULE

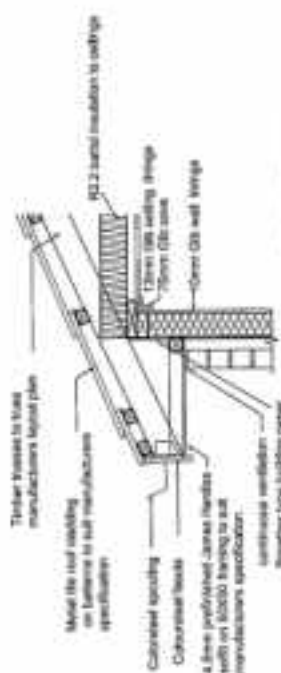
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PROPOSED NEW DWELLING
FOR GUTRY / DIGBY
LOT 3, 223 b WAERENGA RD, TE KAUWHATA.

NOTE: ALL WORK TO BE DONE IN ACCORDANCE
WITH NEW ZEALAND BUILDING CODES.
BUILDER MUST CHECK AND VERIFY
ALL DIMENSIONS PRIOR TO COMMENCING WORK.

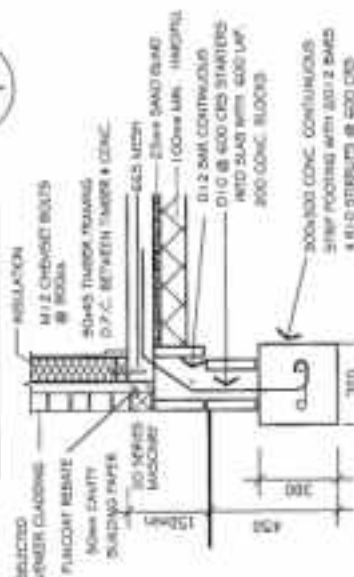
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DATE	18/06/2026
DRAWN	PLANNING 2241-11
REVISION	FOR LINTERLOK

FOR CORROSION / ENVELOPE	
FOR CORROSION / ENVELOPE	
FOR CORROSION / ENVELOPE	
FOR CORROSION / ENVELOPE	



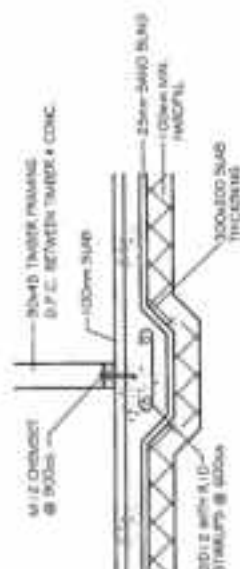
5TH EAVES DETAIL

BRICK VENEER



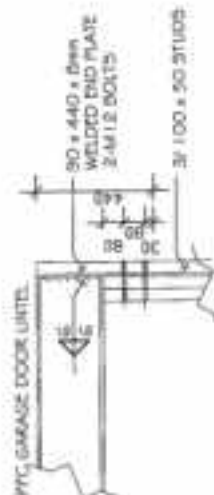
STD FOOTING

BRICK VENEER



SLAB THICKENING

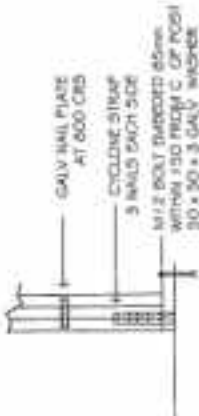
LM



GARAGE LINTEL DETAIL

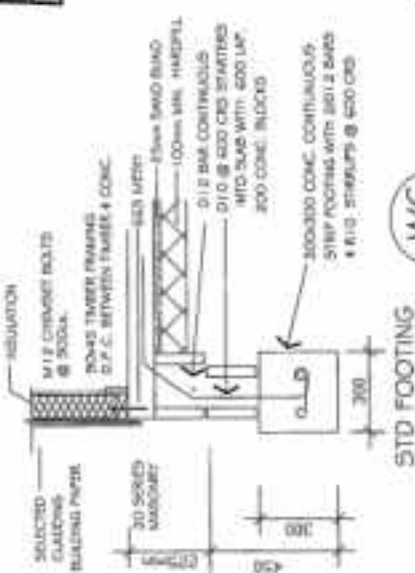
WELCOME TO ENGINEERING CALCULUS

SCALE 1:20



post to floor connection

SCALE 1:20



STD FOOTING

9M

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PROPOSED NEW DWELLING
FOR GUTRY / DIGBY
LOT 3, 223 b WAERENGA RD, TE KAUWHATA.

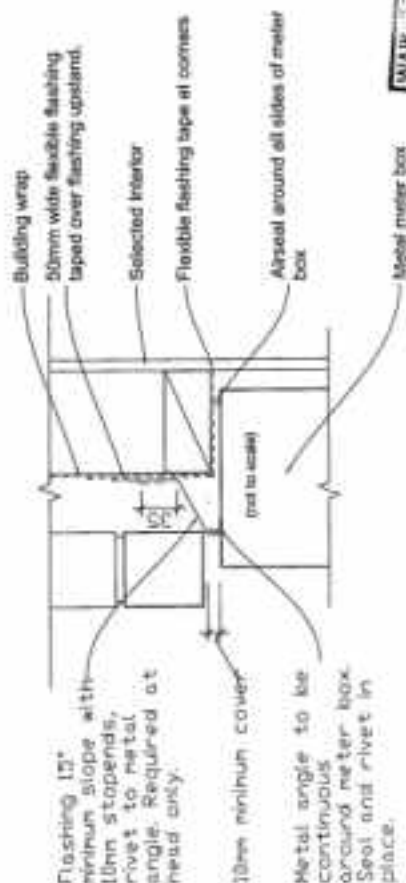
SCALE	1" = 10'	FOR CONSTRUCTION
DATE	11/20/08	
DRAWN	MASTROPIER/SSS/101	
REVISION	FOR 2/26/2009	

Jennian
HOMES

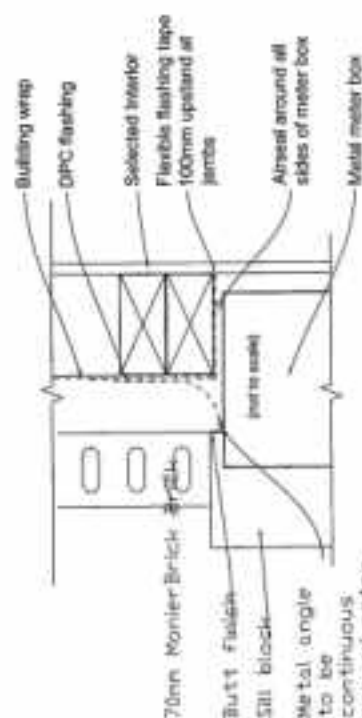
0244/09

WAIKATO DISTRICT COUNCIL
Building Consent Number

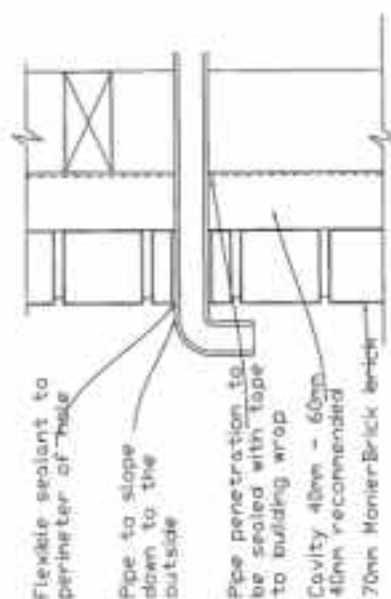
Time..... Initials.....
NGARI (AWAHI).



Meter Box At Head
Meter Box Installation



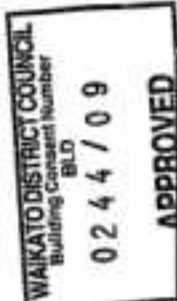
Meter Box At Jamb
Scale 1/5



Pipe Penetration
Scale 1/5



Meter Box At Sill
Scale 1/5



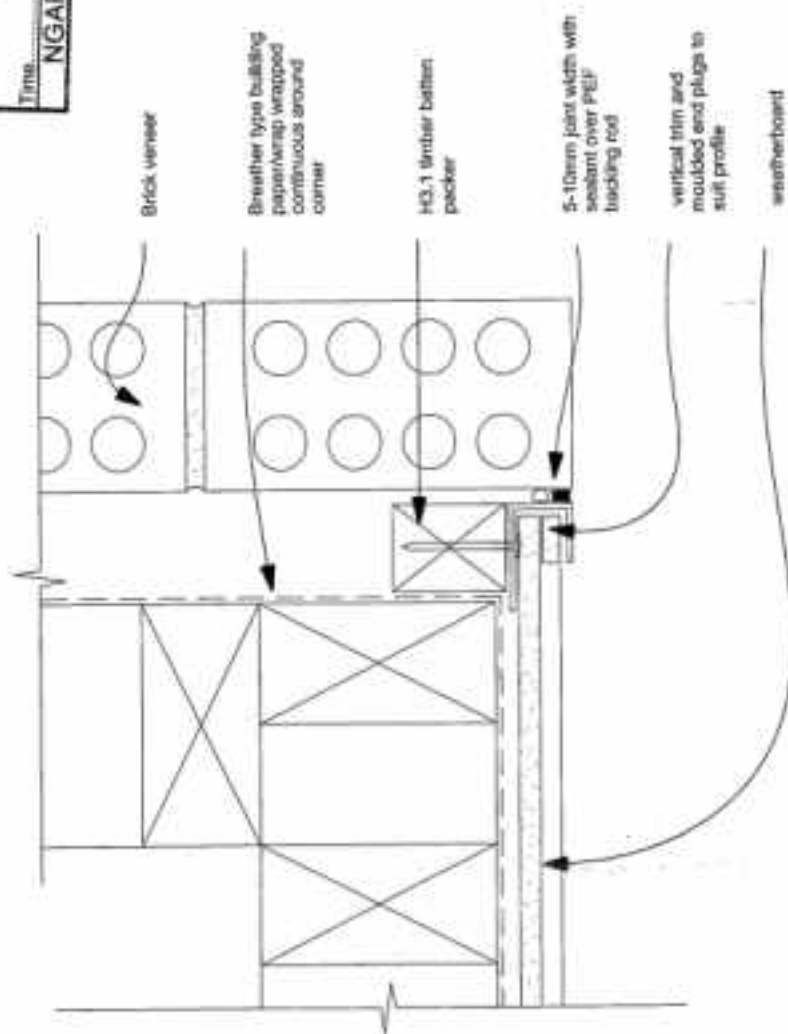
PROPOSED NEW DWELLING
FOR GUTRY / DIGBY
LOT 3, 223 b WAERENGA RD, TE KAUWHATA.

NOTE: ALL WORK TO BE DONE IN ACCORDANCE
WITH NEW ZEALAND BUILDING CODES.
GUIDE: MUST CHECK AND VERIFY
ALL DIMENSIONS PRIOR TO COMMENCING WORK.

SCALE	1:5	FOR CONSULT - ESQ/09
DATE	18/06/2026	
DRAWN	FLANCA/04/23/21	
REVISION	FOR CONSULT	

Jennian
HOMES
SHEET No
16

WAIKATO DISTRICT COUNCIL	
- 1 SEP 2008	Time Initials
NGARUAWAHIA	



Weatherboard / Brick - External corner

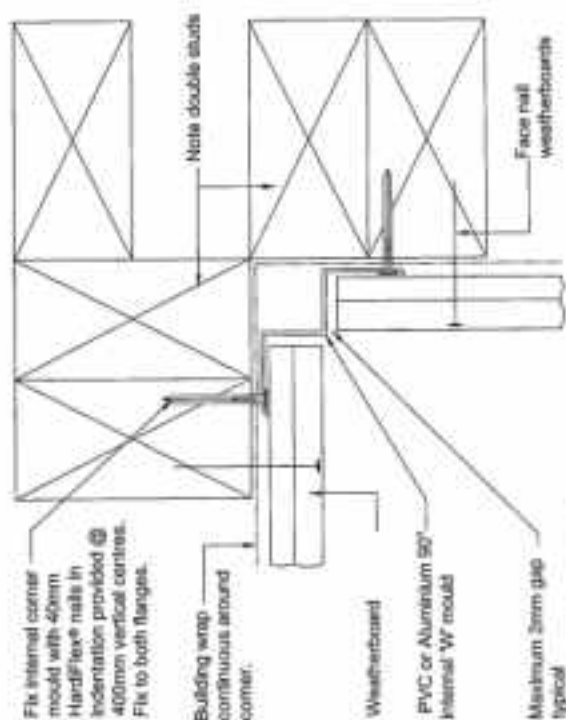
W13
3

WAIKATO DISTRICT COUNCIL	
Building Consent Number	BLD
02 4 4 / 0 9	APPROVED

SHEET No
17

Jennian
HOMES

SCALE	1:2	FOR COMMENT - 25/06/08
DATE	18/06/08	REVISED - 10/06/08
DRAWN	PLANNING SERVICES	
REVISION	FOR COMMENT	



Note:
PVC or Aluminium
mould must not be
continuous over solid
floor joists.

W12
3

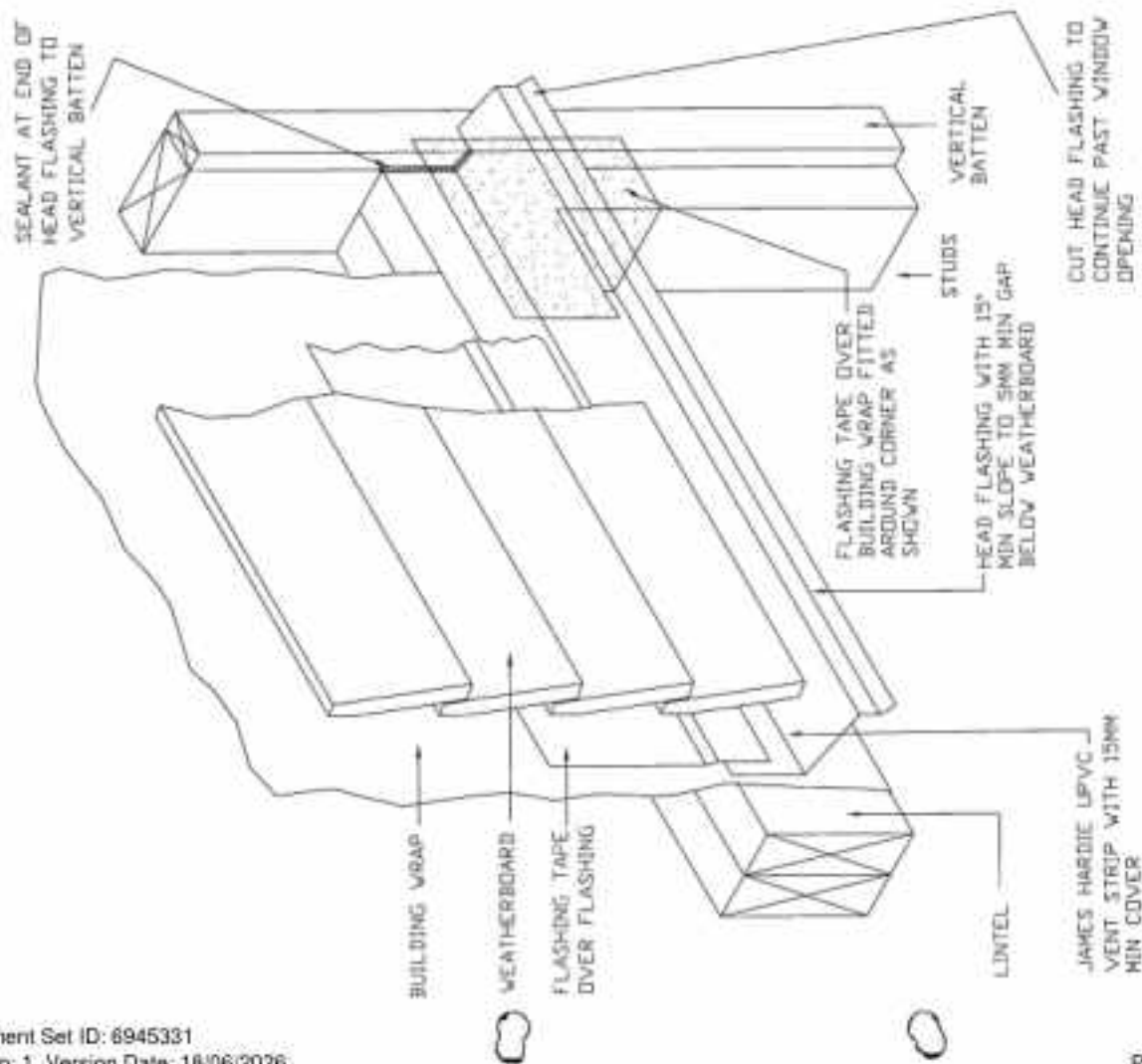
DIRECT FIX INTERNAL 90° PVC OR ALUMINIUM 'W' MOULD

Scale 1:2

The copyright of this drawing remains the property of Jennian Homes.
Jennian Homes Ltd, 111, Main Street, Newmarket, Auckland 1011. Telephone 09-438-0707/08-438-0709

PROPOSED NEW DWELLING
FOR GUTRY / DIGBY
LOT 3, 223 b WAERENGA RD, TE KAUWHATA.

NOTE: ALL WORK TO BE DONE IN ACCORDANCE
WITH NEW ZEALAND BUILDING CODES.
READER MUST CHECK AND VERIFY
ALL DIMENSIONS PRIOR TO COMMENCING WORK.



HEAD FLASHING TERMINATION SCALE 1:5

NOTE: ALL WORKS TO BE DONE IN ACCORDANCE WITH NEW ZEALAND BUILDING CODES. BUILDER MUST CHECK AND VERIFY ALL DIMENSIONS PRIOR TO COMMENCING WORK.

PROPOSED NEW DWELLING
FOR GUTRY / DIGBY
LOT 3 . 223 b WAERENGA RD . TE KAUWHATA.

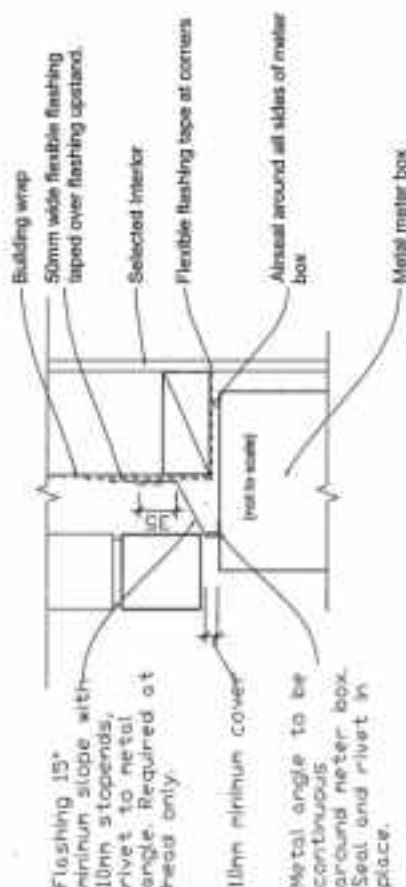
NOTE: ALL WORKS TO BE DONE IN ACCORDANCE WITH NEW ZEALAND BUILDING CODES. BUILDER MUST CHECK AND VERIFY ALL DIMENSIONS PRIOR TO COMMENCING WORK.

SCALE	1:5	FOR COMMENT - 23-808
DATE	18/06/2026	
DRAWN	PLANNING SERVICES	
REVISION	FOR COMMENT	

WAIKATO DISTRICT COUNCIL
Building Consent Number
BLD
0244 / 09
APPROVED

Jennian
HOMES

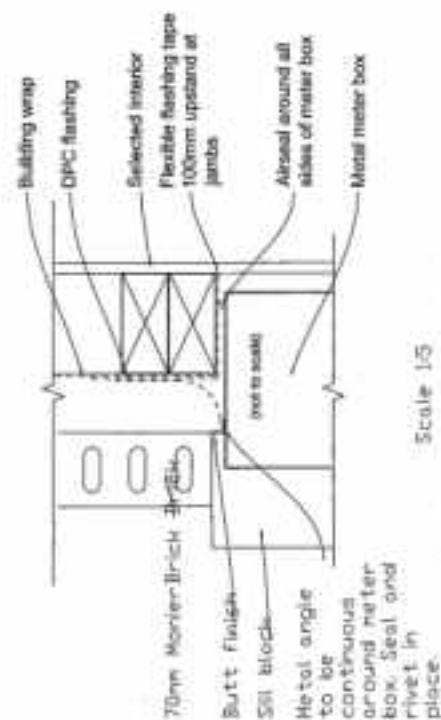
SHEET No
18



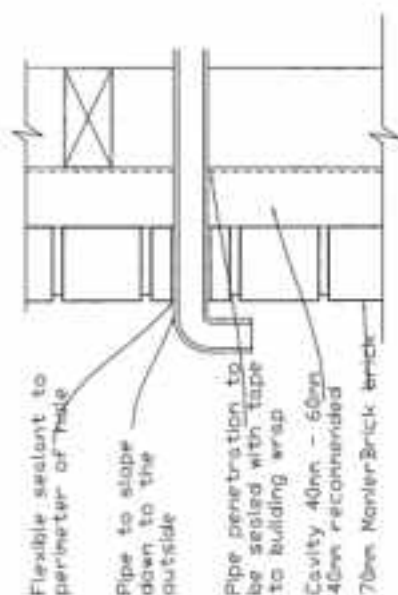
Meter Box At Head
Meter Box Installation



Scale 1:5
Meter Box At Sill



Scale 1:5
Meter Box At Jamb



Scale 1:5
Pipe Penetration

WAIKATO DISTRICT COUNCIL
Building Consent Number
BLD
0244/09
APPROVED

SHEET No
19

Jennian
HOMES

SCALE	1:5	FOR CONSULT - 15/06/08
DATE	15/06/08	
DRAWN	PLANNING ENGINEER	
REVISION	FOR COMMENT	

PROPOSED NEW DWELLING
FOR GUTRY / DIGBY
LOT 3, 223 b WAERENGA RD, TE KAUWHATA.

NOTE: ALL WORKS TO BE DONE IN ACCORDANCE WITH NEW ZEALAND BUILDING CODES. BUILDERS MUST CHECK AND VERIFY ALL DIMENSIONS PRIOR TO COMMENCING WORKS.

**CODE COMPLIANCE CERTIFICATE**

Section 94(1) Building Act 2004
 ISSUED BY THE WAIKATO DISTRICT COUNCIL
 BUILDING CONSENT NUMBER: BLD0037/11

FILE

BUILDING LOCATION:	BUILDING WORK
223 B Waerenga Road TE KAUWHATA	Farm shed and Hobby room with sanitary facilities
APPLICANT:	PROJECT
K L Gutry, P R Digby, Collingwood Trustees Ltd & Others 223B Waerenga Road RD 1 Te Kauwhata 3781	Farm Buildings
CONTACT:	Intended Life, not less than 50 years
Maison Design 29 Main Rd Kopu Thames 3506	
LEGAL DESCRIPTION:	
Property Number: 2008840 Valuation Roll Number: 04390/476.14 Legal Description: LOT 3 DP 357027 BLK XVI MARAMARUA SD SUBJ TO ESMTS	

This is a final Code Compliance Certificate issued in respect of all the building work under the above building consent.

Signed for and on behalf of Council:

Signature:

Name:

Anthony Krippner

Position:

Building Inspector

Date:

02 November 2010

BUILDING CONSENT NO: BLD0037/11

Section 51, Building Act 2004

ISSUED BY: WAIKATO DISTRICT COUNCIL

BUILDING LOCATION	BUILDING WORK
223 B Waerenga Road TE KAUWHATA	Farm shed/hobby room with sanitary facilities.
APPLICANT	PROJECT
K L Gutry, P R Digby, Collingwood Trustees Ltd & Others 223B Waerenga Road RD 1 Te Kauwhata 3781	Intended Life, not less than 50 years Farm Buildings \$31197
CONTACT	Total Est. Value of Projects \$31197
Maison Design 29 Main Rd Kopu Thames 3506	
LEGAL DESCRIPTION	
Property Number: 2008840 Valuation Number: 04390/476.14 Legal Description: LOT 3 DP 357027 BLK XVI MARAMARUA SD SUBJ TO ESMTS	
COUNCIL CHARGES	
The balance of Council's charges payable on uplifting of this building consent, in accordance with the tax invoice are: Total: \$0.00 ALL FEES ARE GST INCLUSIVE	Signed for and on behalf of the Council:  Trish Simon REGULATORY SUPPORT OFFICER Date: 05 August 2010

This building consent is issued under Section 51 of the Building Act 2004. This building consent does not relieve the owner of the building (or proposed building) of any duty or responsibility under any other Act relating to or affecting the building (or proposed building).

This building consent also does not permit the construction, alteration, demolition, or removal of the building (or proposed building) if that construction, alteration, demolition, or removal would be in breach of any other Act.

This building consent is issued subject to the conditions specified in the attached pages headed "Conditions of Building Consent BLD0037/11".

Waikato District Council
Conditions of Building Consent Certificate No: BLD0037/11

The Building Consent Certificate is issued subject to the following conditions:

- 1 **At least 48 hours' notice** is required prior to the intended commencement of construction and prior to any of the following mandatory inspections:
 - Siting, foundation - Pre-floor plumbing and drainage - Pre-floor building (prior to pouring concrete)
 - Pre-line plumbing - Pre-line building
 - Sanitary sewer and stormwater
 - Final inspection (Code Compliance Certificate) to be called for (the owner or builder shall be on site at time of inspection)

Owner/builder to locate boundary pegs prior to council carrying out a foundation/siting inspection.

When booking your inspections please ring (07) 824 8633 and quote your building consent number.

Code Compliance Certificate will be issued after your final inspection has been carried out and all documentation has been received and approved.
- 2 The following Producer Statements / Certificates will be required in order for Council to issue a CCC:
 - Certificates:**
 - ✓•Electrical Compliance Certificate
 - ✓•Plumbing pressure test
 - ✓•As laid drainage plan

Building Consent Advisory Notes:

- 3 Owner/Builder **MUST** locate boundary pegs prior to Council carrying out a foundation inspection.
- 4 The moisture barrier beneath the floor shall comply with the New Zealand Building Code 1991.
- 5 Provide breather type building paper on outside of frame, to extend to top plate level.

- 6 Lapse of building consent. A building consent lapses and is of no effect if the building work to which it relates does not commence within:
- a) 12 months after the date of issue of the building consent
 - b) Any further period that the building consent authority may allow
 - c) If reasonable progress on the building work has not been made within 12 calendar months after work has commenced.
- The Council can exercise its discretion in either case.
- 7 All drainage and plumbing shall comply with the New Zealand Building Code 1991.
- 8 At least 24 hours' notice shall be required for plumbing and drainage inspections. Plumbing preline inspection shall be required.
- 9 Plumbing inspection shall be required before pouring floor slab.
- 10 An as built drainage plan and an electrical certificate of compliance is required on completion.
- 11 Stormwater shall be disposed of in an approved manner within the property boundary.
- 12 No hot and cold water pipes shall be laid under concrete floors unless they are accessible after the job is completed.
- 13 All timber treatment shall comply with NZS 3602:2003.
- 14 Wall framing shall comply with table 8.2, 8.14, 8.18, 10.9, 10.10 or 10.13 figure 8.12 NZS 3604: 1999.
- 15 The building is not to be used for habitable purposes.

Date: 05 August 2010

Signed:


Anthony Krippner
Waikato District Council

ELECTRICAL WORKING
REGISTRATION BOARD

Any Competency

for a low voltage installation if prescribed electrical work has been done on any part of it and the prescribed electrical work involved placing, replacing, or repositioning conductors or fittings attached to conductors.

No. of attachments

To be completed whether or not an inspection is required.

CUSTOMER INFORMATION - PLEASE PRINT CLEARLY

Name of customer STAY FAMILY TRUST - DISBY FAMILY TRUST Phone: 07 8263517Address of installation 2233 WAEKANGA ROAD RD1 TEKAUWHATA

Postal address of customer (if not as above)

DECLARATION OF CONFORMITY (Please tick (✓) appropriate boxes)

In accordance with Regulation 58 of the Electricity (Safety) Regulations 2010, the design of the installation or part of the installation to which this certificate applies

- (a) complies with either Part 2 of AS/NZS 3000:2007 ☒ or Part 1 of AS/NZS3000:2007 and Regulation 59 ☐ and
 (b) the supply system of the installation or part of the installation to which this certificate applies is
 230V/400 V MEN ☒ or attached other system ☐

WORK DETAILS

No. of lighting outlets 10No. of socket outlets 0

Was any installation work carried out by the homeowner?

No. of ranges 0No. of water heaters 0Yes ☒ No ☐

Please tick (✓) as appropriate where work includes:

Mains ☒MEN Switchboard
closest to point of supply ☒Main earthing system ☒Electric lines ☐

Description of work carried out (if necessary attach any pages with work done)

The full electrical installation of a new shed and
sleepout. Premise and Fitoff.

CERTIFICATION OF WORK (Please tick (✓) appropriate boxes)

I certify that the completed installation or part of the installation to which this certificate applies

- ☒ has been installed in accordance with the design detailed in the Declaration of Conformity section above
☒ has had tests which are required by the Electricity (Safety) Regulations 2010 satisfactorily completed
☒ has an earthing system that is correctly rated
☒ contains fittings which are safe to connect to a power supply
☒ is safe to connect to a power supply

ELECTRICAL WORKER DETAILS

Name Mark PrestidgeCompany A10 electricalSignature M PrestidgeRegistration No. E253 738Contact Ph No. 027 344 7996Date 27-10-10

INSPECTION DETAILS

Electrical work requiring inspection by a registered electrical inspector

☐ Mains work (mains, MEN switchboards closest to the point of supply, or main earthing systems)☐ Attached other☐ Work carried out in accordance with Part 1 of AS/NZS 3000:2007

I certify that the items identified above are electrically safe and that the inspection has been carried out in accordance with the Electricity (Safety) Regulations 2010.

Name

Registration No.

Signature

Date

Document Set ID: 6945331

Contact Ph No.

Te Kauwhata Plumbers Ltd

24 Waerenga Road
Te Kauwhata

28th October, 2010

PRODUCER STATEMENT PLUMBING SYSTEM PRESSURE TEST

Owner: K L Gutry, PR Digby, Collingwood Trustees Ltd & Others

Property Address: 223B Waerenga Road, Te Kauwhata
RD 1, Te Kauwhata 3781

Lot: Lot 3 **DPS:** 357027 BLK XV1 Maramarua SD SUBJ TO ESMTS
Val. Roll No: 04390/476.14

To: Waikato District Council

Please be advised that our company Te Kauwhata Plumbers Ltd has completed a pressure test on the plumbing system in the house at the above address. We certify that the system was tested at 1500kpa for a period of 30 minutes, in accordance with the manufacturer's recommendations and complies with the provisions of the New Zealand Building Code Approved Solution G12 & AS3500, as appropriate.

We advise that we have current public liability insurance to the value of at least \$500,000.00 and have approved quality control measures in place.

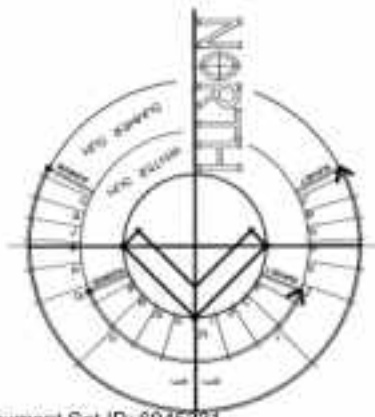
Issued by: John Wallace

Contact Phone Number: 07 826 3779 or 0274 923 902

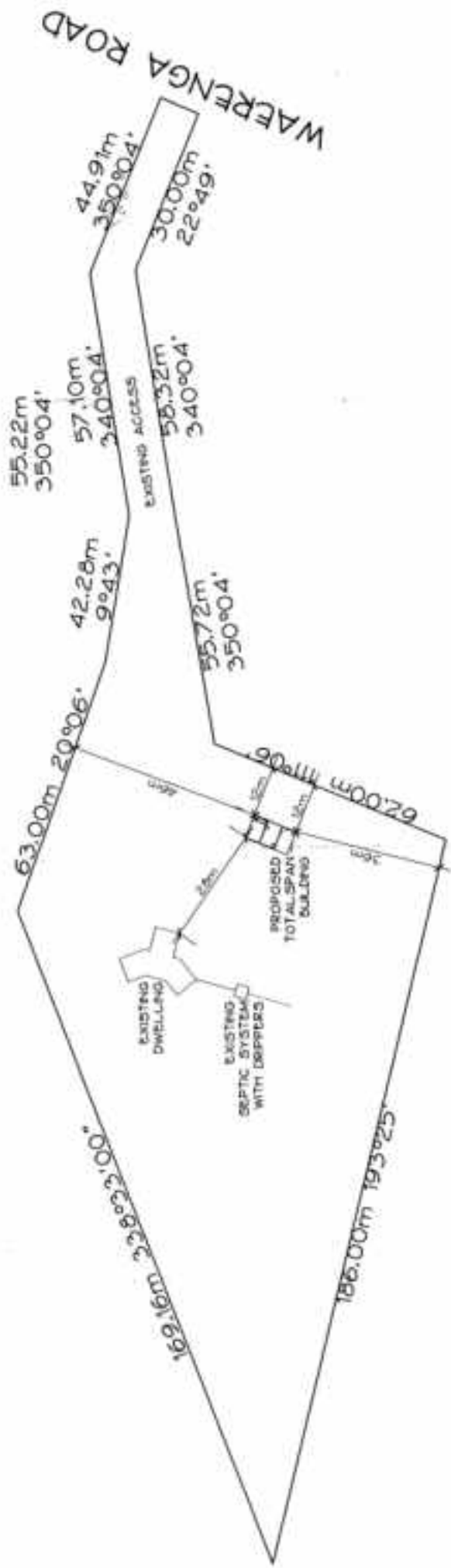
Signature:



Registration: 39876



WIND ZONE: VERY HIGH
 DURABILITY ZONE: ZONE 2
 SITE AREA: 1559m²
 SITE COVERAGE:
 Existing Dwelling: 200m²
 Proposed Shed: 66m²
 Total Site Cover: 266m² = 2%



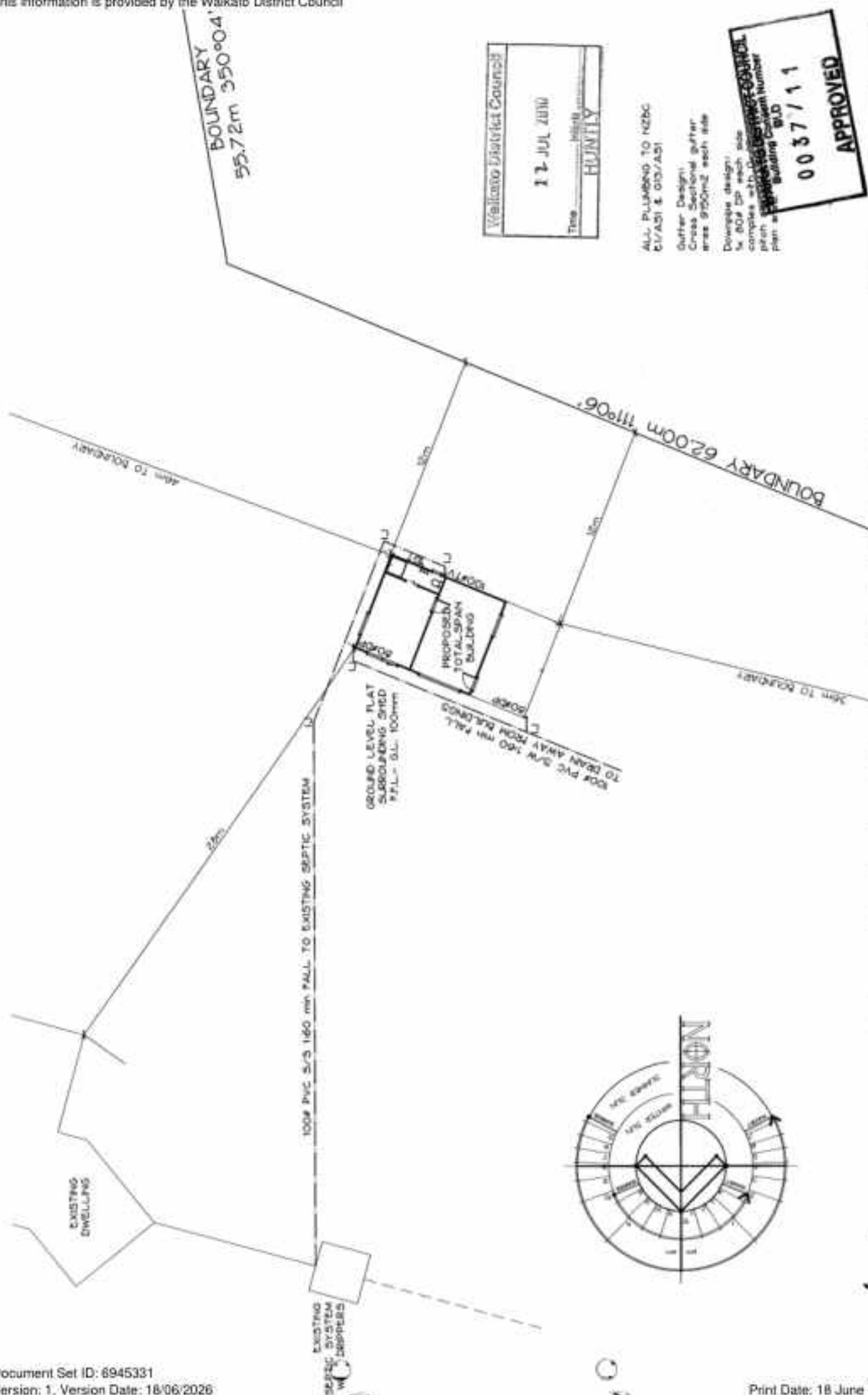
LOCATION PLAN

WAIKATO DISTRICT COUNCIL
 Building Consent Number
 BLD
0037/11
 21 JUL 2010
APPROVED
 Time: 11:11 AM
 DATE: 21 JUL 2010
 BY: [Signature]

PROPOSED TOTAL SPAN SHED FOR GUTRY
 LOT 3 DP 357027
 223B WARENGA ROAD TE KAUWHATA

DESIGN	Melissa Holden	SHEET	1
SCALE	1:1000		
DATE	JUN 10		
JOB NO	176		

maison
 DESIGN
 100 Church St, 2nd Fl, Auckland 1010
 Ph: 09 307 1770 Fax: 09 307 1771 Email: maison@maison.co.nz



PROPOSED TOTAL SPAN SHED FOR GUTRY
LOT 3 DP 357027
223B WAERENGA ROAD TE KAUWHATA

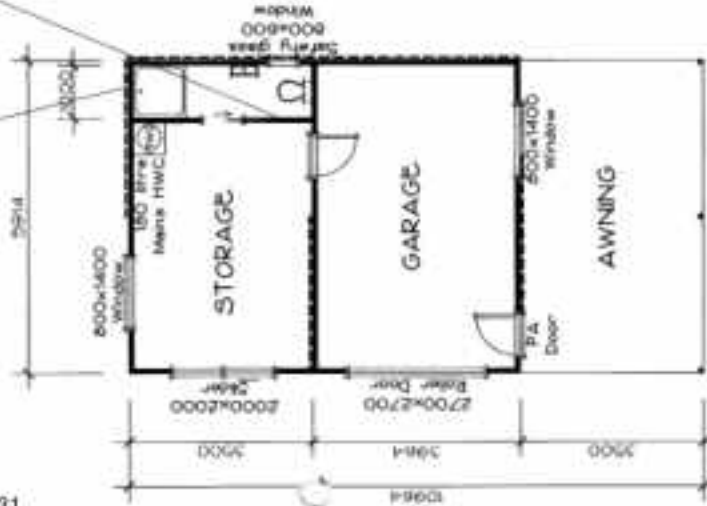
maison
DESIGN

100% Cotton

DATE:	Melissa Holden	SHEET
SCALE:	1:200	2
DATE:	Jun 10	
JOB No:	176	

ALL STOP BRACING SHALL BE
27mm x 0.6mm G990 Z275
WITH A TENSORER EACH END
FIX EACH END WITH 4 x #10 x
16 TEK'S

INTERNAL WALLS
SHALL BE H12 90x45
MS08 WITH STUDS
4500mm BOTTOM
PLATE FIXED DOWN
WITH M12 BOLTS
4000mm

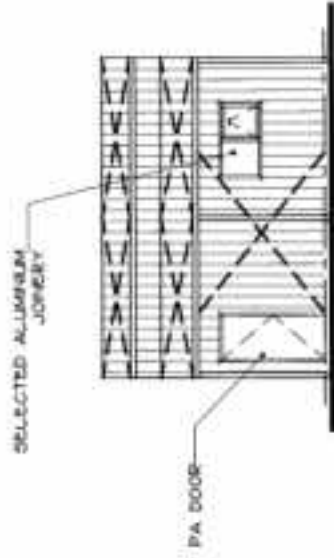


FLOOR PLAN
AREA: 45m²
AWNING: 21m²

FRONT ELEVATION



RIGHT ELEVATION

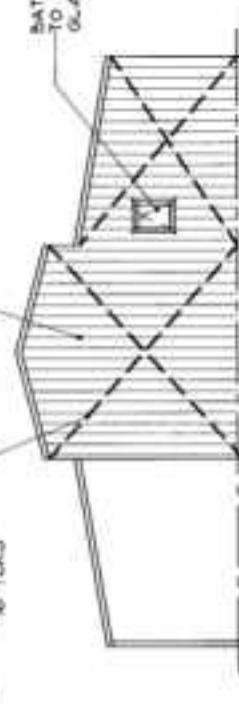


ALL STOP BRACING SHALL BE
27mm x 0.6mm G990 Z275
WITH A TENSORER EACH END
FIX EACH END WITH 4 x #10 x
16 TEK'S

6 RD PROFILE
COLORSTEEL ROOF
CLADDING

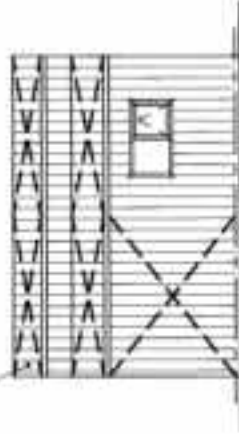
BATHROOM WINDOW
TO HAVE SAFETY
GLASS

6 RD PROFILE
COLORSTEEL WALL
CLADDING



REAR ELEVATION

LEFT ELEVATION



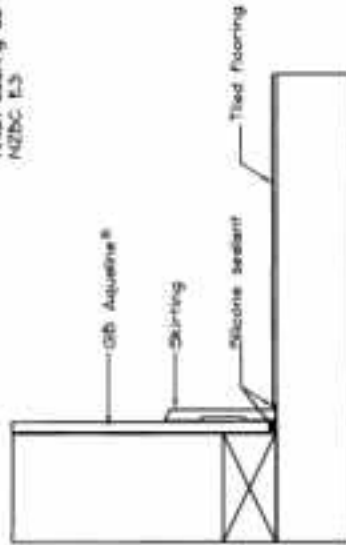
APPROVED
00377111
Waikato District Council
Building Consent
00377111

maison
DESIGN

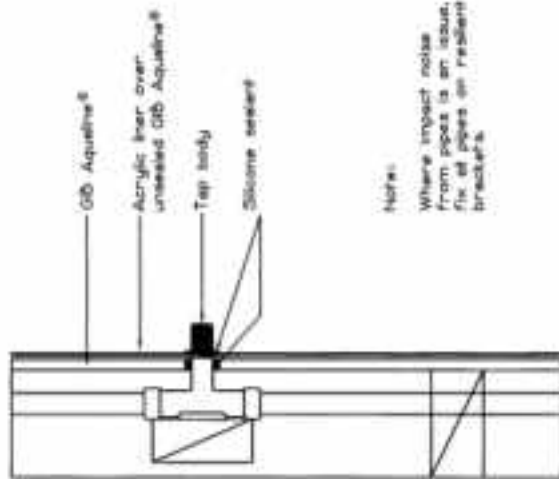
PROPOSED TOTAL SPAN SHED FOR GUTRY
LOT 3 DP 357027
223B WAERENGA ROAD TE KAUWHATA

Drawn:	Melissa Holden	Sheet:	3
Scale:	1:100		
Date:	Jun 10		
Job No:	176		

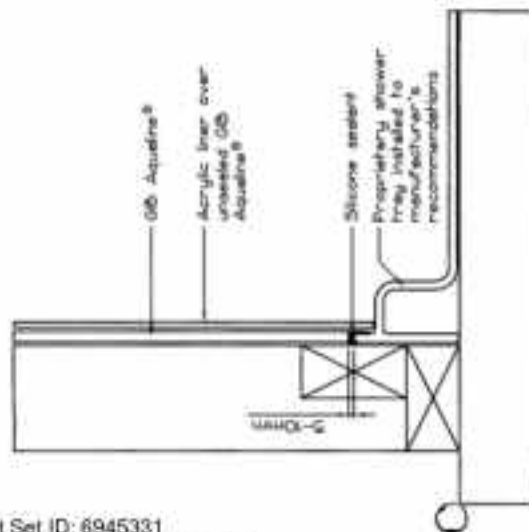
NOTE:
Finishes to be used in wet areas shall be tiled flooring and GDB Aquaflex® wall linings with semi-gloss or gloss finish coating as per NZBC E3



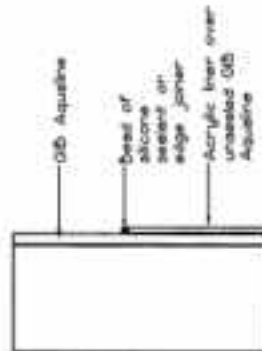
WALL/FLOOR DETAIL
WET AREAS



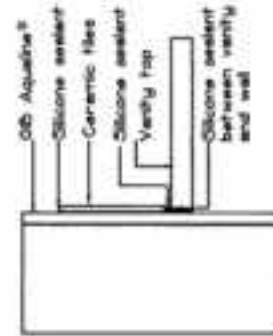
PENETRATION DETAIL
SHOWER ACRYLIC LINER & BASE



SHOWER WALL/TRAY
DETAIL
ACRYLIC LINER & BASE



LINER TOP DETAIL
SHOWER ACRYLIC LINER & BASE



VANITY TOP DETAIL
TILED UPSTAND

Waikato District Council
12 JUL 2020
Time: 10:10 AM
Project: 10037/111
Building: BLD
0037/111
APPROVED

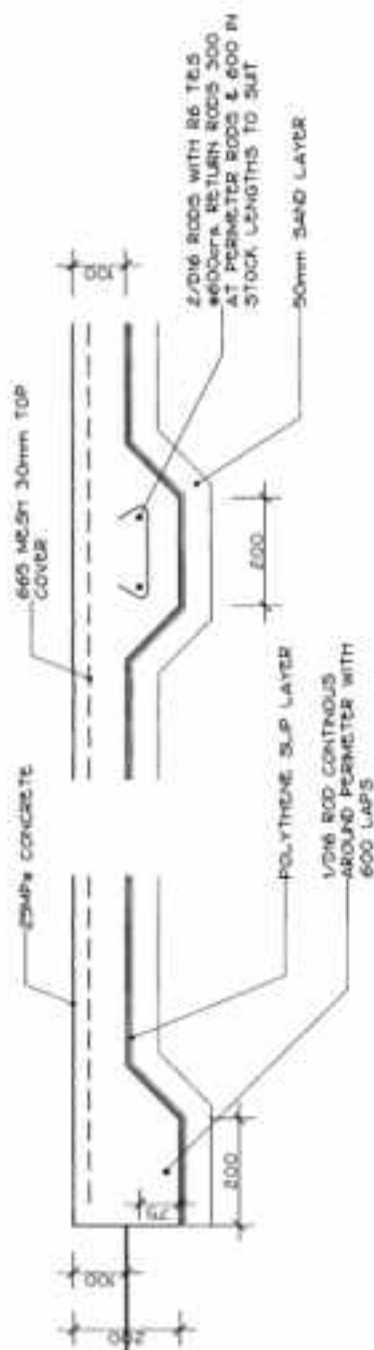
Sheet	15	Sheet	4
Scale	1:5	Scale	
Date	Jun 10	Date	
Job No	176	Job No	

PROPOSED TOTALSPAN SHED FOR GUTRY
LOT 3 DP 357027
223B WAERENGA ROAD TE KAUWHATA

maison
DESIGN

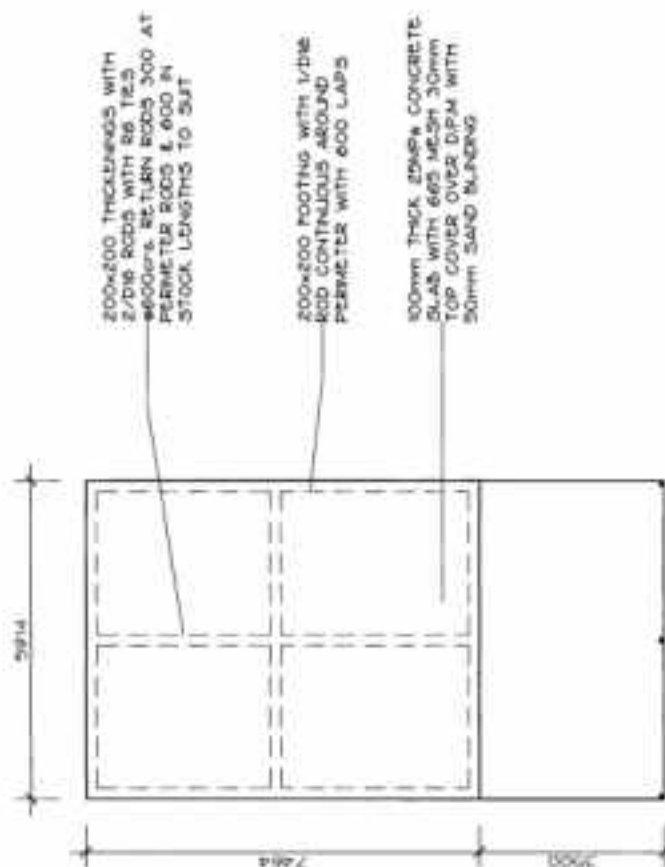
Architectural Design & Drafting 150 Hume Rd, Mt. Wellington 1011
021 110 1100 021 110 1100 021 110 1100

SEAT	5
NAME	Melissa Holden
SCALE	1:100
DATE	Jun 10
DOB	176



FOUNDATION DETAILS

SCALE 1:10



FOUNDATION PLAN

PROPOSED TOTAL SPAN SHED FOR GUTRY
LOT 3 DP 357027
223B WAERENGA ROAD TE KAUWHATA

merison

Architecture Center & Gallery
1111 17th St NW
Washington, DC 20036
202/462-7000

NOTES

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INDEX

Cover Page (this page)
Producer Statement: F.R. Smith Consultants - Design
Producer Statement: Versatile Buildings (BHP) - Durability
Specifications - Building Components
Site Plan
Building Elevations
Foundation Details
Section - End Wall
Building Details
Roof Plans
Flashing Details
Bracing Reference
Awning

I certify that buildings erected in accordance with these drawings will conform to the requirements of the New Zealand and Australian Building Codes.

F.R. Smith BE (civil) MIPENZ, MACEENZ, ME(Aust), no. 2410880, Cg. Eng. RPED 16225



Engineered By:
F R Smith Consultant
consulting engineer, civil - structural

Producer Statement Structural Details

CLIENT:

Keith & Pat Gully
223b Waieringa Rd
RD1 Te Kauwhata

BUILDING:

Size & Stud Height: 8.914m long x 3.664m wide, with 3.602m stud height, Bay Size 3.000m
Awning: 1 x Awning 6.000m long x 3.500m wide, 1 x Awning 8.000m long x 3.000m wide
Wind Zone: 'VERY HIGH' (W)
Area: 95.443m²

Steel Framed Enclosed Buildings

MANUFACTURERS STATEMENT - DURABILITY

Cladding

To satisfy the requirements of Clause 92 "Durability" of the NZBC and to ensure the cladding material meets a 15-year durability for the following provisions must apply:

Cladding Range of Product and Use

- Coating Type: Zinc/Aluminium & Painted (Coloured Steel)
- Steel thickness range: 0.35mm - 0.50mm BMT
- Steel grade range: G300 - G550
- Application: Standard Torsion Rod and Wall Cladding
- Profile: Torsion 7 Rib, Torsion 6 Rib

Requirements, Limitations and Exclusions

- Fixing and installation of the cladding must be done exactly in accordance with Torsion Buildings instructions and specifications.
- Normal and regular maintenance must be carried out on the exterior surface of the cladding and the following guide must be followed to ensure the durability requirements are met.

Regular Maintenance

- Normal Maintenance to be completed in accordance with Durability - Acceptable Solution B2AS 2.1.3
- Corrosion Zones 1, 2, 3, 4. ("Reference NZS 3604:1999 Corrosion Zone Figure 4.1")
Rain-washing only required on exposed (open to airborne salts and rain wetting) material. Sheltered (open to airborne salts, but not rain wetting) or protected areas such as under eaves, top cladding sheets and tops of doors require washing every 3 months.
- Sea Spray Zones (Within 500m from the sea or 100m from sheltered harbours or inlets - "Reference NZS 3604:1999 4.2.3") and areas of Geothermal Activity ("Reference NZS 3604:1999 4.2.4").
Rain-washing only required on exposed (open to airborne salts and rain wetting) areas. Sheltered (open to airborne salts, but not rain wetting) and protected areas such as under eaves, top cladding and tops of doors require washing down every month and whenever corrosive salts are present.

Extended Maintenance, Painting or Repainting

- Extended Durability
Once the metallic coating or the paint system has weathered away, signs of red rust for bare material or signs of the metallic coating for painted material, painting of the entire surface is required to extend the life of the cladding product. Paint manufacturers recommendations are to be followed for surface preparation and paint type to be used.

Evident Corrosion

- Areas that show signs of white or red rust/corrosion (typically in unwashed areas) require cleaning back with a stiff brush and cleaner to remove all dust, surface contaminants and corrosion products and present a sound substrate for painting. Priming of the surface and application of two coats of paint as per the Paint Manufacturer's recommendations is then required.
Particular attention needs to be paid to laps (sides, ends, flashing etc) where earlier corrosion may start due to moisture and dirt entrapment.
If evident corrosion is not treated quickly rapid deterioration of the steel may occur which could result in perforation. At this stage replacement of the affected sheet is the best option.

Steel Framing

To satisfy the requirements of Clause 92 "Durability" of the NZBC and to ensure the structural framing material meets a 50-year durability the following provisions must apply:

Steel Framing Range of Product and Use

- Coating Type: Galvanneal
- Steel thickness range: 0.75mm - 2.4mm BMT
- Steel grade range: G450 - G550
- Application: Standard Torsion Purlins, Girts, Portal Frames, Door Jambs, Wall Uprights, Bridging
- Profile: C Sections - 80x40, 150x64, 220x44, 250x45
Z Sections - 100x53, 150x65
Trapez Sections - 100x193, 120x170, 150x193

Regular Maintenance

- Normal Maintenance to be completed in accordance with Durability - Acceptable Solution B2AS 2.1.3
- Corrosion Zones 1, 2, 3, 4. ("Reference NZS 3604:1999 Corrosion Zone Figure 4.1")
Rain-washing only required on exposed (open to airborne salts and rain wetting) material. Sheltered (open to airborne salts, but not rain wetting) or protected areas such as under eaves, top cladding sheets and tops of doors require washing every 3 months.
- Sea Spray Zones (Within 500m from the sea or 100m from sheltered harbours or inlets - "Reference NZS 3604:1999 4.2.3") and areas of Geothermal Activity ("Reference NZS 3604:1999 4.2.4").
Rain-washing only required on exposed (open to airborne salts and rain wetting) areas. Sheltered (open to airborne salts, but not rain wetting) and protected areas such as under eaves, top cladding and tops of doors require washing down every month and whenever corrosive salts are present.

References

1. NZBC - Compliance Document - Clause B2 - Durability
2. NZS 3604, Clause 4, Durability
3. Torsion Buildings acknowledges and understands that NZS 3604 is a Timber Framed Building standard. Torsion Buildings has used NZS 3604 as a reference only to identify Corrosion Zones. See Spray Zones and areas of Geothermal activity.



Waikato District Council
11 JUL 2026
HUNTER

Building Tables

Zone	T C 2 Rural	Wind Region	Region W (or High)
Wind Zone:	Very High (H)		
Bay Size:	5.0m		
Live Roof Load:	0.25 kPa		
Roof Snow Load:	0.80 kPa		
Inner Partials:	88% to 40		
Ridge & Gutter Partials:	C60 to 40		
Girts:	88% to 40		
End Wall Part - On Edge:	C150 to 10		
Roof Frames - Portals:	C150 to 10		

GENERAL

- All work shall conform to the New Zealand Building Code.
- Check diagonals to ensure building is square.

LOADINGS

- Buildings are designed to AS/NZS 1170 for NZS 3604 HIGH and VERY HIGH. Design Wind Speeds to limit state levels of 45 and 50m/s. T C 2 roof live load of 0.25kPa, and basic Roof Snow loads of 0.80kPa. Heavier snow loads will be a specific design as will buildings used for habitable purposes.
- The roofing is not designed for point loads of 1 kN.

FOUNDATIONS

- Support ground to have a safe bearing capacity of at least 75 kPa. In weaker ground building loads to be taken to subsoil which has a bearing capacity of at least 75 kPa.

CONCRETE

- Remove vegetation, 50mm of top soil and loose material from the site of the building, backfill with compacted hardcore, if required, and lay a blinding of sand to the underside of the concrete slab. Ensure the surface of the slab will be at least 100mm above the highest level of cleared ground around the slab.
- Concrete shall have a maximum aggregate size of 20mm, slump of 80mm maximum and a 20 MPa compression strength at 28 days.
- The concrete floor slab shall be 100mm thick with a 200 x 200 mm edge tickering and a D16 rail continuous around the perimeter of the slab with 800 laps and 75 bottom cover.
- Concrete slab to be reinforced with 800 mesh placed 30mm maximum below the slab surface with 225mm laps.
- Provide a 0.25mm black polythene dampproof and slip layer under the slab topped with 100mm laps (optional but recommended).
- Fix roof frames to concrete with M10 zinc screws screwed into holes drilled in the slab.

STEELWORK

- All structural framing members shall be G550-1.0mm BMT, G500-1.2mm BMT, G450-1.5mm, 1.6mm BMT grade steel galvanised to Z300 (G550 for 80 x 40 boxed and single channels).
- Channels to be G450, Z300.
- Purlins and girts shall be 80 x 40 x 0.75 B.M.T. tapered, stamped channel located at centres shown on the drawings.
- Boxed members to be flange fixed with #10 Tek screws at 600 centres.
- Screws to be #10 x 16mm long Tek screws Class 3 zinc plated, fixed at a minimum edge distance of 60mm and to a 12mm minimum pitch.
- Girts to be connected with 2 #10 Tek screws each side of girt.
- Steelwork shall conform to:
 - NZSAS 4000 Cold Formed Steel Structures Code
 - NZSAS 1307 1993
 - AS 1562 1962 Design and Installation of Metal Roofing
 - AS 1111/1112 Hex Commercial Bolts and Screws
 - AS 3566 Self Drilling Screws for Building

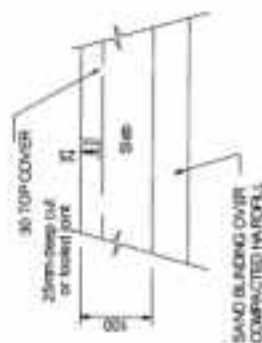
CLADDING

- Roof and wall sheeting shall be 0.35 B.M.T. G550 grade steel zincaluminated to AZ150 and rolled to profile as detailed.
- Roof sheets shall be fixed to ridge and eaves purlins with a Tek screw at every rib, as shown, plus screw to alternative ribs at intermediate fixings, all complete with neoprene washers tightened firmly but not to form depressions in the roof cladding. Ensure all roof fixings are waterproof.
- Wall sheeting shall be fixed to the eave purlins and to the rafters of the end wall frames with a Tek screw at third points of each pan and to third points of alternate pans at other girts and fixings.
- Ridges, gables and all penetrations to be flashed with similar sheet steel.
- Outletting to be fixed with Tek screws and joint sealed with silicone. Fit downpipes to guttering to discharge to an approved stormwater drainage system, provided by the Owner.
- Frame for personnel door and windows with 80 x 40 x 0.75 unclipped channels. Flange connect members with 2 screws to each flange. Fix jambs to floor with 40x40x1.2 angle steel having 1M10 screwball to concrete and 2 Tek screws to jamb.

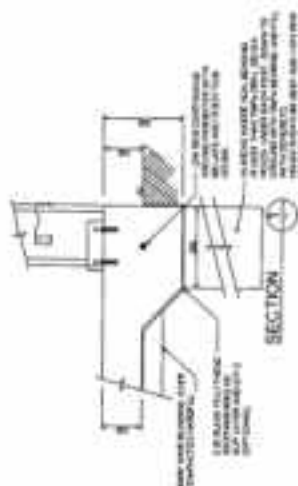


FREDERICK R SMITH chartered consulting engineer 80 Reserve St. Rotorua (06) 348 8300 Fax: 06 348 8301	I hereby declare that the information contained in this document is true and correct to the best of my knowledge and belief. SIGNED: [Signature] DATED: 09/07/2011 OFFICE: 06 348 8300	TOTALPLAN A Division of VERBA FILE BUILDERS LTD 10 ELECTRIC ROAD, ROTORUA P.O. BOX 11 814, ROTORUA Tel: 06 341 2300 Fax: 06 341 1528	Drawing Title: PORTAL BUILDING SPECIFICATIONS	For: Keith & Pat Gully 23th Wairangi Rd Rotorua 3140
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Version	1.0
Date	12 JUL 2010
Drawn by	HUNTLY



CONTROL JOINT DETAIL (TYP.)



SCREWBOLT NOTE

- 1 EMBEDMENT DEPTH OF SCREW BOLTS = 70mm
- 2 SCREWBOLTS SHALL BE M10/75 ZINC PLATED IN 100DIA. HOLES 80 DEEP.

CONCRETE SLAB NOTE

Concrete slabs to have construction joints keyed during placing or cut in panels not exceeding the following dimensions:

Unreinforced 3m x 3.9m

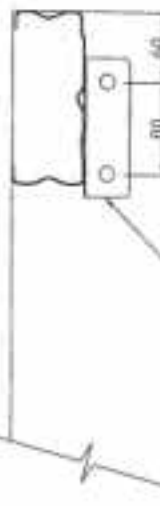
Reinforced 4m x 6m (Flow dosage 0.7kg/m³ m³)

Mesh reinforcement 6m x 12m (600 mesh, 225 layer, 30mm top cover)

For slabs 15m to 30m long, form keyed joints at mid length of slabs. For slabs over 30m long keyed joints to be at a maximum of 15m centres.

C150

END WALL FRAME



40X40X1.2 ANGLE 120 LONG WITH
8#10 TEKS OR 2/M10 BOLTS TO POST
& 2/M10 SCREWBOLTS TO CONCRETE



P.A. DOOR & GARAGE ENTRY
SLAB EDGE DETAIL (TYP.)



For: Kaitiaki & Piri Quay
2225 Waikato Rd
RD1, Tairāhema

Drawing Title:
PORTAL BUILDING
FOUNDATION DETAILS

TOTALPAC
A DIVISION OF VERASTYLE BUILDINGS LTD
111 AVONDALE ROAD, HOKIANGA
410 800 1111, HOKIANGA
09 480 200 FAX 09 480 1111

14/06/2010, the building is intended to be used as a storage and office building with these drawings and comply with the New Zealand Building Code.
F.R. Smith
F.R. Smith
F.R. Smith
F.R. Smith

FREDERICK R. SMITH
Chartered Consulting Engineer
100 Riverside Rd, Riverside
Christchurch 8013
Phone 03 366 1111

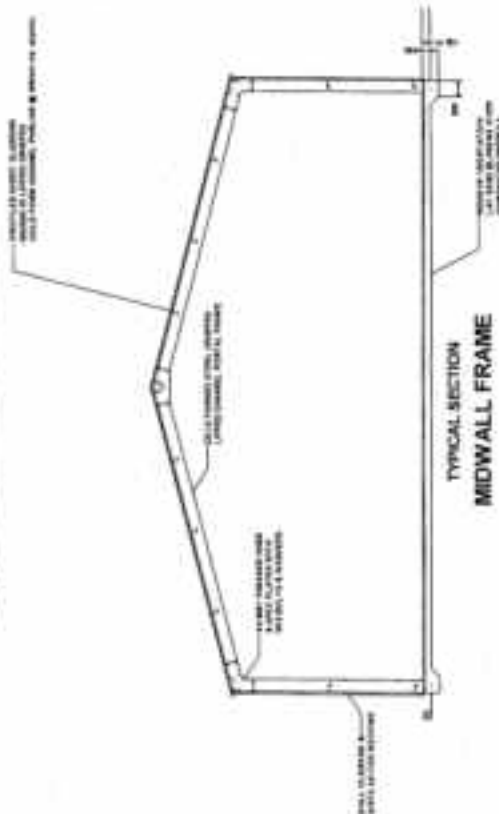
Waikato District Council
21 JUL 2010
Time: 10:15 AM
HUNTLY

Grids Centre Lines mm (above floor level)

Grids Rows:	1	2	3	4	5
	95	1209	2430	3450	-



END WALL FRAME

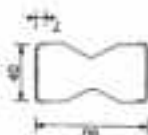


Apex Height (mm): 4132
Wall Height (mm): 3600



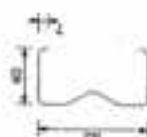
FREDERICK R SMITH Chartered Consulting Engineer 801 Victoria St, Auckland Auckland 1010 Phone 021 308 1027	I certify the building is in accordance with the design and comply with the Building Code. F R Smith 21 JUL 2010	TOTALSPAN A Division of VERSATILE BUILDINGS LTD 115 and 116a Mt Eden Rd, Auckland P.O. Box 114-011, Auckland 09 250 9811 09 250 9811-1500	Drawing Title: PORTAL BUILDING SECTION - END WALL	For: Keith & Pat Oddy 230a Whangape Rd RD11 Tairāwhiti
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Waikato District Council
11 JUL 2010
Time 11:00
HUNTLY



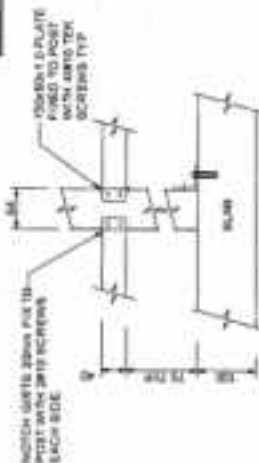
TYPICAL BOXED CRIMPED LIPPED CHANNEL SECTION (EX 675 (MM))

ALL PURLINS AND GIRTS SINGLE UNLESS NOTED TO BE BOXED



TYPICAL CRIMPED LIPPED CHANNEL SECTION (EX 675 (MM))

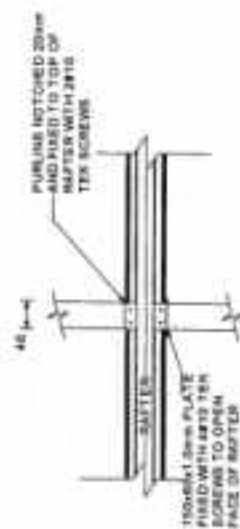
ALL PURLINS AND GIRTS SINGLE UNLESS NOTED TO BE BOXED



TYP. GIRT TO POST DETAIL



PURLIN TO WEB

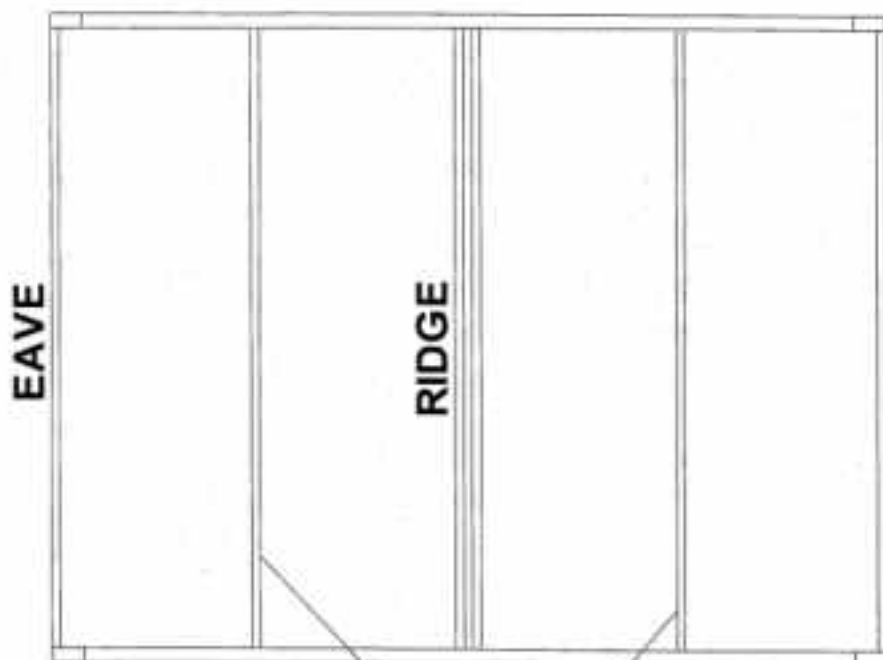


TYPICAL PURLIN TO RAFTER DETAILS



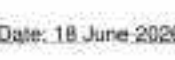
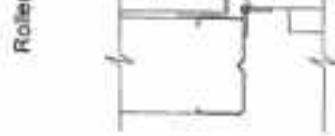
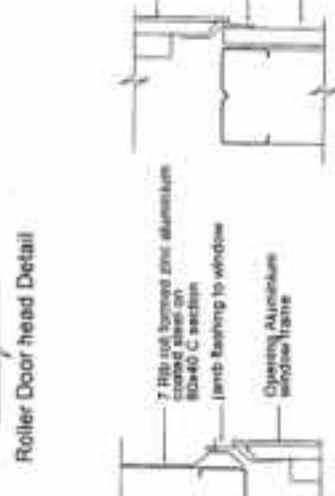
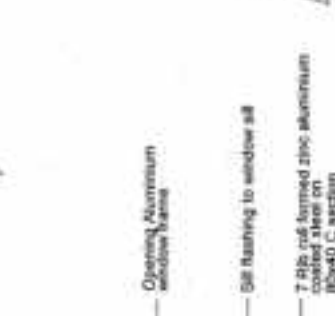
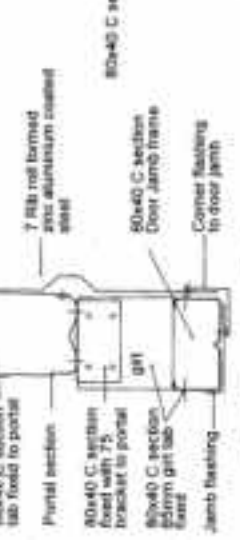
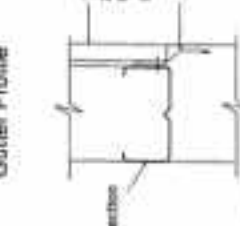
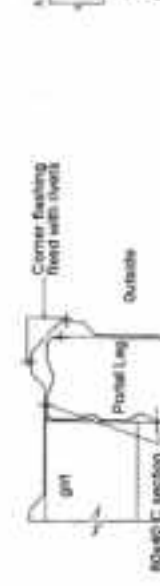
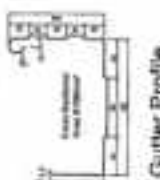
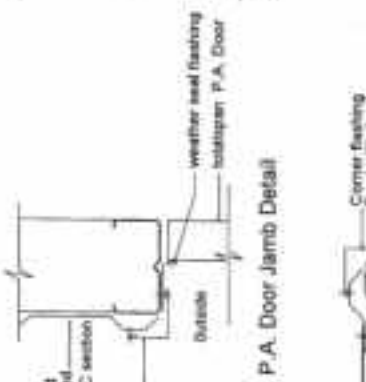
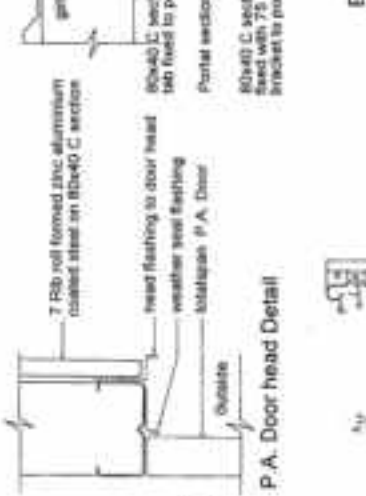
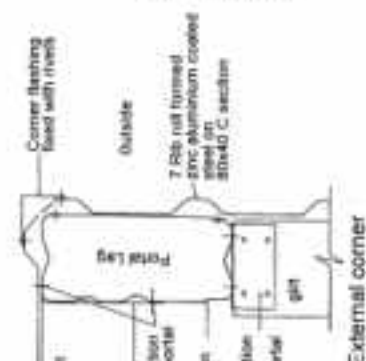
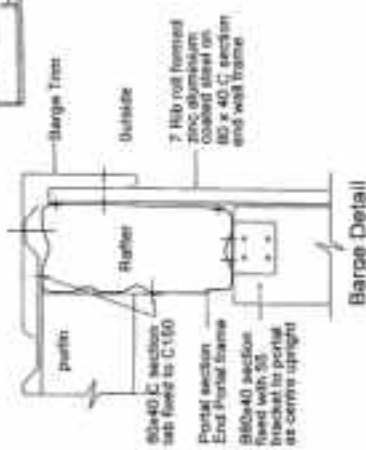
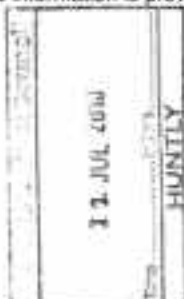
FREDERICK R SMITH chartered consulting engineer 201 Waiwera Rd, Rotorua Tairāroa, 9010 Phone 05 348 400	100% full buildings are noted to be constructed with these materials and comply with the New Zealand Building Code <i>[Signature]</i> R. R. Smith R. R. Smith, M. R. Smith, M. R. Smith CHIEF, 100% (RCS)	TOTALPAC A Division of VERIFIABLE BUILDINGS LTD 117 Maitland Road, Rotorua P.O. Box 11 014, Christchurch Tel: 080 201 200 FAX: 080 201 200	Drawing Title PORTAL BUILDING BUILDING DETAILS	For Nuth & P. G. G. G. 225 Waiwera Rd Rotorua	Page 9 of 10
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Waikato District Council	
Time	12 JUL 2016
Initials	HUNTLY



PURLINS AT 982MM CENTRES MAX

FREDERICK R SMITH Chartered Consulting Engineer 1011 Invercargill Rd, Invercargill (03) 218 8888 Phone 03 218 8888	I certify that building work is in accordance with the Building Act 2004 and I am a duly qualified and licensed person. F R Smith MC (Eng), MB (Eng), MB (Eng), MB (Eng) (03) 218 8888	TOTALSPAN A Division of VERSATILE BUILDINGS LTD 111 Waiwera Road, Waiwera P.O. Box 11111, Waiwera PH 0800 200 844 FAX 080 200 844	Drawing Title PORTAL FRAME ROOF PLANS	For: Kelli & Paul Gully 2228 Verostrange Rd RD11 Tairāneke	Page 10 of 14
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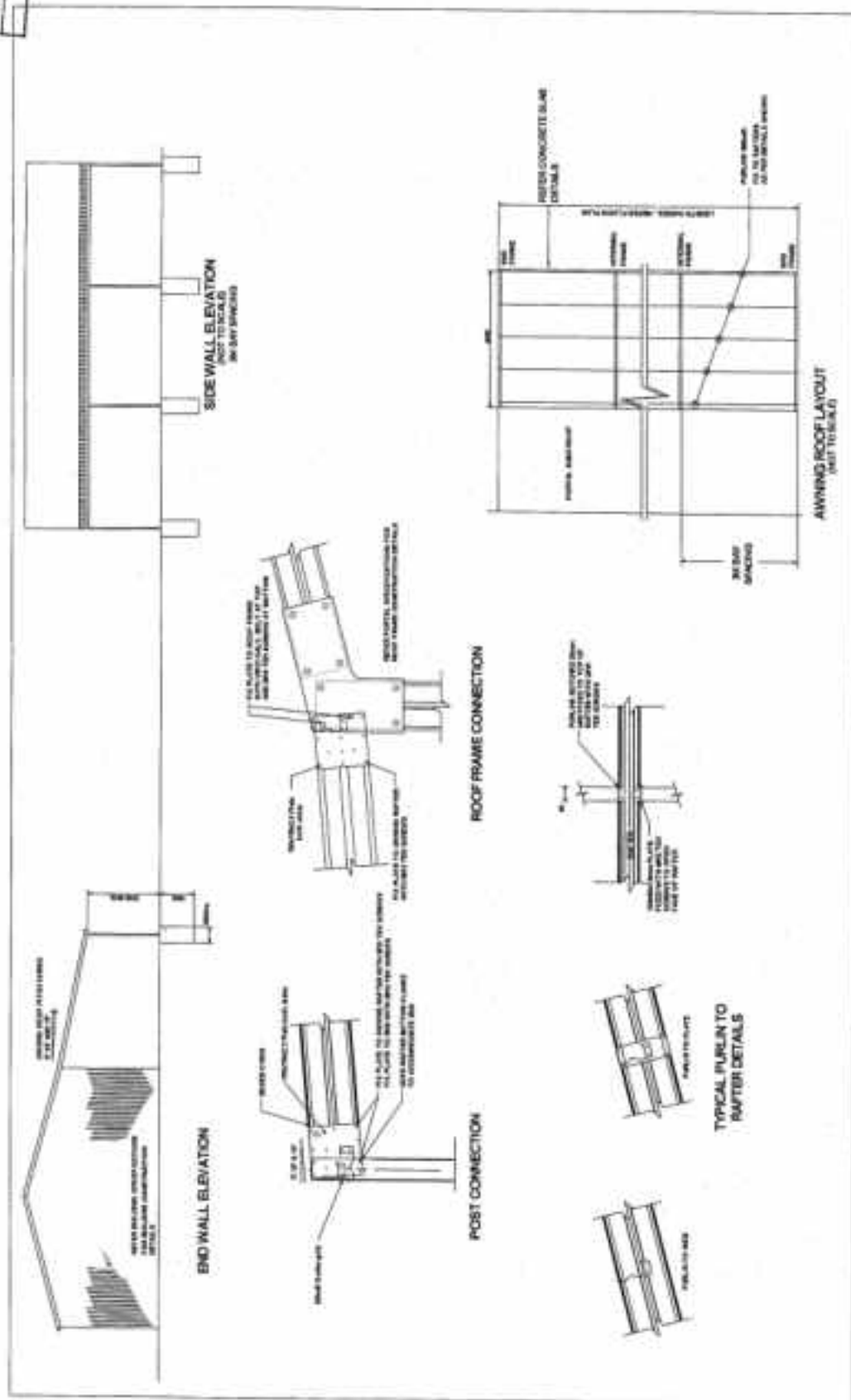
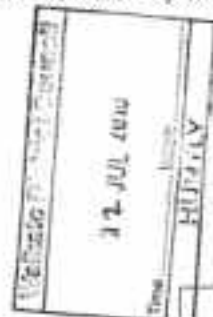
PORTAL BUILDING FLASHING DETAILS

Drawing Title

A Division of WHEELER BUILDINGS LTD
111-113 HAMILTON ROAD, HAMILTON
P.O. BOX 11-113, HAMILTON
PH: (07) 336 1113 FAX: (07) 336 1114

1. Verify the building owner is responsible for the design and construction of the building.
2. Verify the building owner is responsible for the design and construction of the building.
3. Verify the building owner is responsible for the design and construction of the building.

FREDERICK R SMITH
Chartered Consulting Engineer
201-203 HAMILTON ROAD, HAMILTON
P.O. BOX 11-113, HAMILTON
PH: (07) 336 1113 FAX: (07) 336 1114



Awning Ref: 815010
Awning Pur: (Row:3) - B0040

FREDERICK R SMITH
Chartered Consulting Engineer
300 Mairangi Rd, Auckland
New Zealand
Phone: 09 448 1000

I certify that the drawings are a true and correct copy of the original drawings and comply with the New Zealand Building Code.
F R Smith
300 Mairangi Rd, Auckland
New Zealand
Phone: 09 448 1000

TOTALPLAN
A Division of VERSATILE BUILDINGS LTD
100 Mairangi Rd, Auckland
New Zealand
Phone: 09 448 1000

Drawing Title
AWNING 4M
AWNING

For: Kaitiaki & Pua Sully
2220 Mairangi Rd
Auckland





SAPPHIRE ALCOVE SHOWER

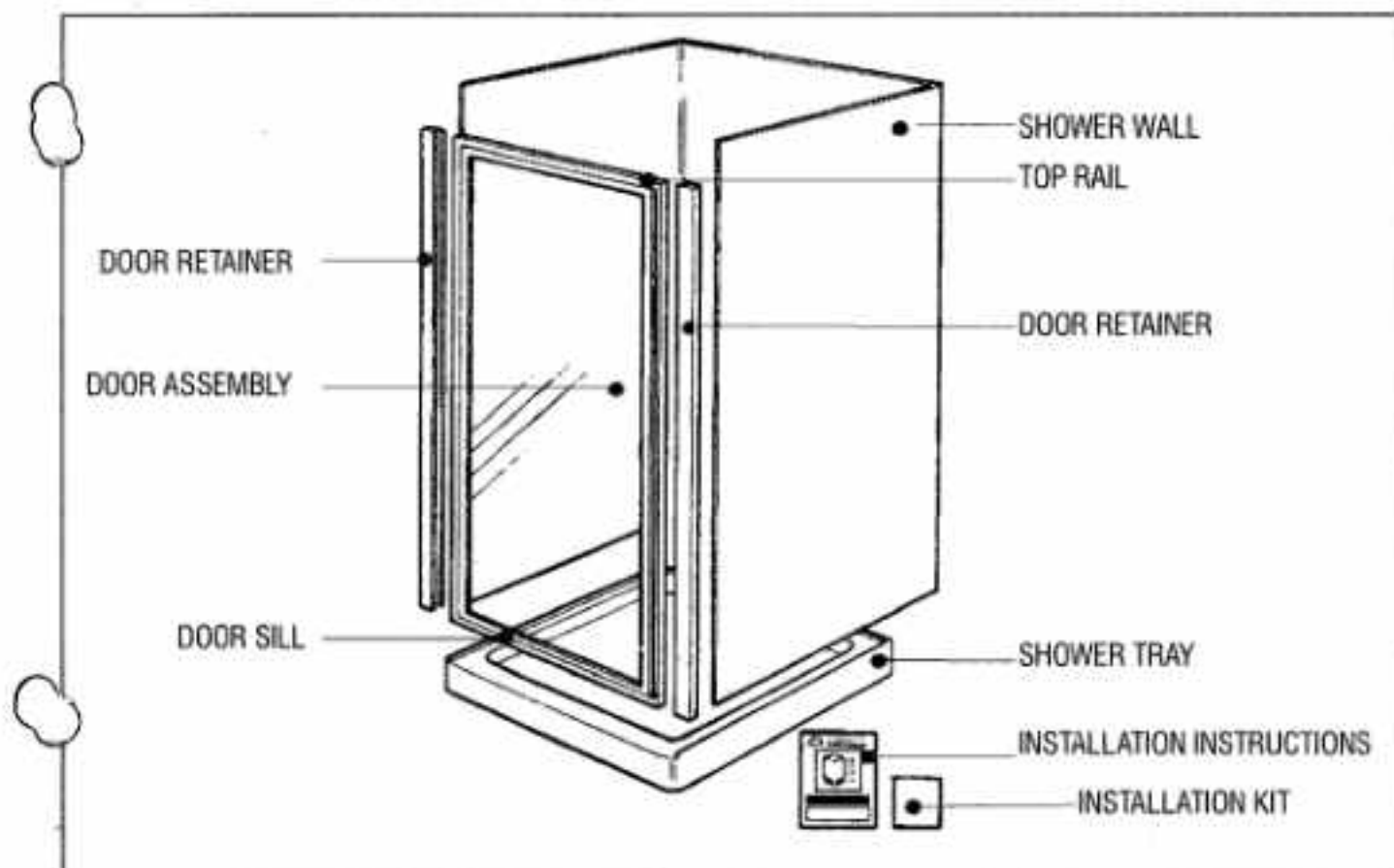
Waikato District Council

12 JUL 2010

Time Initials

INSTALLATION GUIDE HUNTLY

IMPORTANT READ ALL INSTRUCTIONS CAREFULLY BEFORE STARTING THE INSTALLATION



- Suitable for installation with Duracryl Wall lining.

Sealant required to complete this installation.

Sika Silaflex NG

• To seal the WHITE shower door and returns to the shower tray.

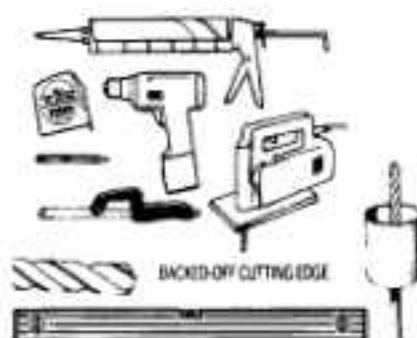
Usage:

- 1 cartridge per shower



TOOLS REQUIRED

- Tape Measure
- Soft pencil
- Drill
- Caulking gun
- Hole saw
- Drill bit 2.5 mm
- Fine toothed saw
- Spirit level
- Jig saw (fine toothed blade)
- Box cutter



DRILLING AND CUTTING DURACRYL[®]

DRILLING: Small holes can be drilled with a twist drill, but the cutting edge **MUST** be backed off with an oil stone (the sharp edge dulled). Large holes must be drilled with a hole saw.

Maximum drill size: 12 mm. Drill speeds:- 6 mm x 1800 RPM
- 12 mm x 900 RPM

CUTTING: If for any reason the acrylic requires cutting, use a fine tooth hacksaw and proceed with caution. Edges can be smoothed with a second-cut file and medium-fine sandpaper. If the surface of the acrylic should happen to be damaged, it can be restored by polishing with an abrasive cleaner such as Meguiars Mirror glaze 28 all metal polish or 3M marine "one step" painted aluminium cleaner and wax.

DOOR AND RETURN INSTALLATION

PART ONE

Ensure that the shower tray and wall are installed according to the instructions supplied.

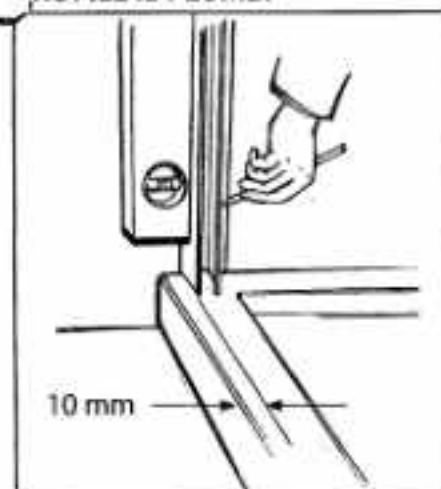
1. Select preferred shower door opening. It is recommended to start the installation from the hinge side of the door.

Position the door wall Retainer Profile against shower wall, resting on the shower base sill with fixing holes facing towards the inside of shower.

The Profile should be located 10mm from the front of the shower base.

Check vertical with spirit level and mark fixing holes.

ENSURE WALL RETAINER PROFILE IS PLUMB.



CAUTION: BEFORE DRILLING HOLES, ENSURE THERE ARE NO ELECTRICAL CABLES OR WATER PIPES BEHIND WALLS.

CAUTION: We recommend fixing the wall retainers by screwing through the backing board and into studs. Other methods may cause warping and may void warranty.



2. Fix wall retainer in place using long screws supplied. Ensure the screws go into studs.

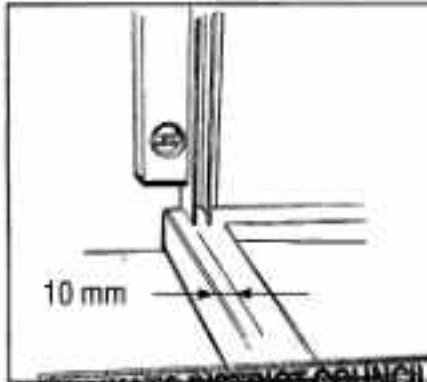
3. Attach second wall retainer to Door Assembly. Lift Door Assembly with wall retainer into position and fit into fixed wall retainer.



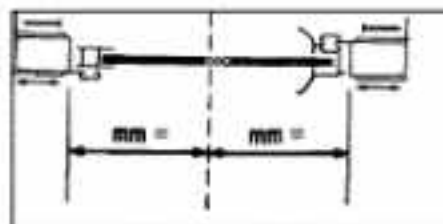
4. Slide Wall Retainer Profile into position and fix to Wall.



Locate the profile 10mm from the front of the shower base. Check vertical with spirit level and fix retainer to the wall using the remaining long screws. Ensure the screws go into the stud. Fit all 6 screw caps.

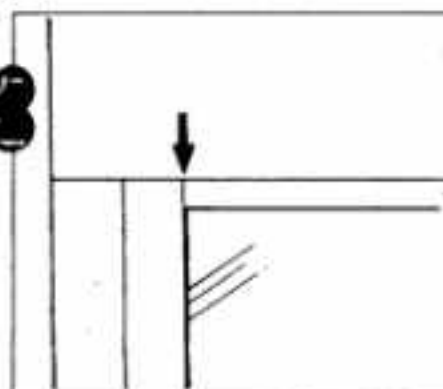


5. Centralise Door Assembly between Wall Retainer Profiles.

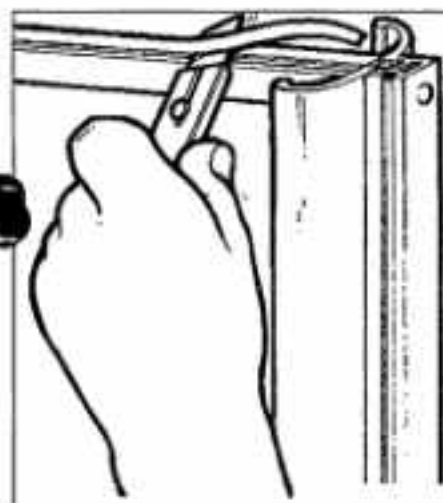


6. Check that the Door Assembly and the Wall Retainer Profile top edges are level.

NOTE: DOOR ASSEMBLY MUST BE PLUMB USING A SPIRIT LEVEL.



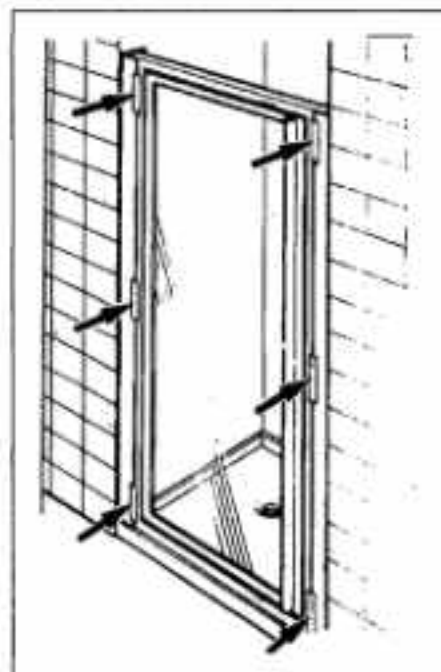
7. Using a sharp knife, trim top seal off door as shown.



8. Using a spirit level plumb door assembly.



Tape into position as indicated.



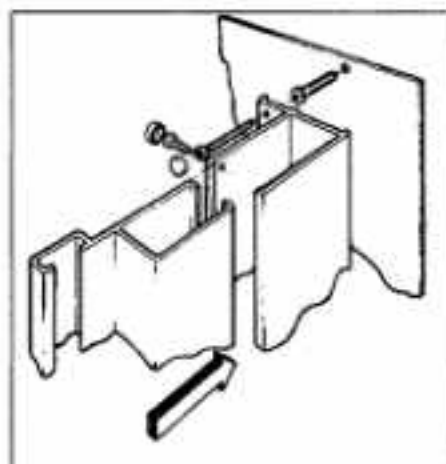
NOTE: This is an important part of the installation procedure and your careful attention at this stage will ensure that you will obtain the best possible results.

IMPORTANT
TEST THE OPENING AND CLOSING
OPERATION OF THE PIVOT DOOR

DO NOT PROCEED TO STEP 9 UNTIL DOOR IS OPERATING CORRECTLY.

If door alignment is incorrect, door will not function properly and further adjustments are necessary. Remove tape and re-align until correct alignment is achieved.

9. Drill holes (with 2.5 mm drill bit, DO NOT USE BIGGER DRILL BIT) at top and bottom of each wall retainer to secure door. Locate the holes in the "V" groove 7 mm from each end of the wall retainers. Fix screws as illustrated. Fit caps and remove positioning tape.

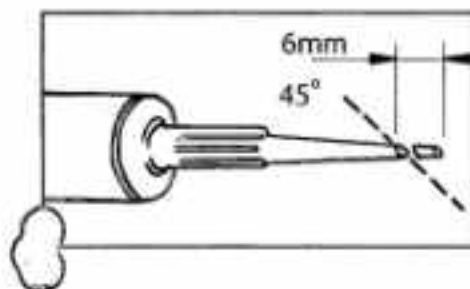


PART TWO SEALANT APPLICATION

Ensure all joints are clean and dry before applying sealant.

1a. SEALANT APPLICATION STEPS

Cut tip of silicone tube nozzle at 45° angle.



b. Hold the tube at 45° angle and push forward as sealant fills the joint.

c. The surface of the sealant can be smoothed (before surface dries) by using a finger dipped in a small quantity of water with one drop of washing liquid added.

d. Excess sealant should be removed immediately with a damp cloth.

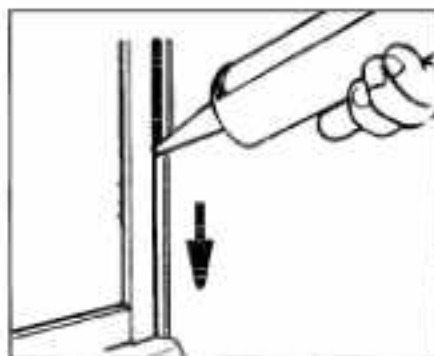
CAUTION: Avoid contact with skin, eyes and mouth and avoid breathing vapour. If in eyes, immediately flush with water. If irritation persists, seek medical attention.

Keep out of reach of children.

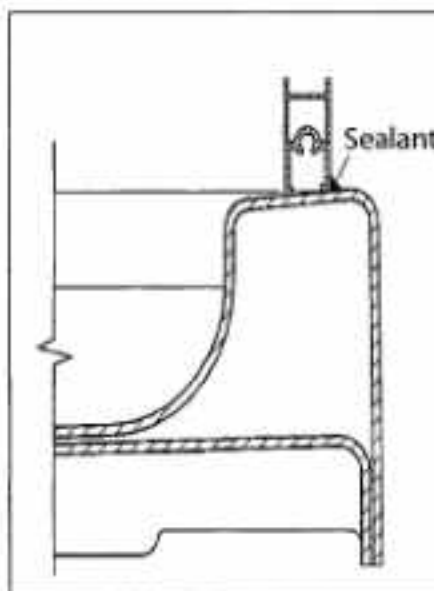
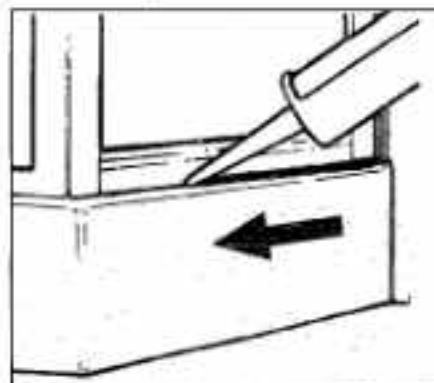
IMPORTANT

SILAFLEX NG SEALANT SHOULD BE APPLIED TO ALL OUTSIDE JOINTS. DO NOT SEAL FROM INSIDE.

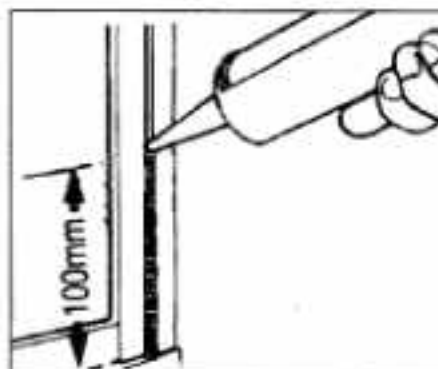
2a. Seal full height the joint between the Walls and the Wall Retainers.



b. Seal joint between the Door Sill, the Return Panel and the Shower tray.



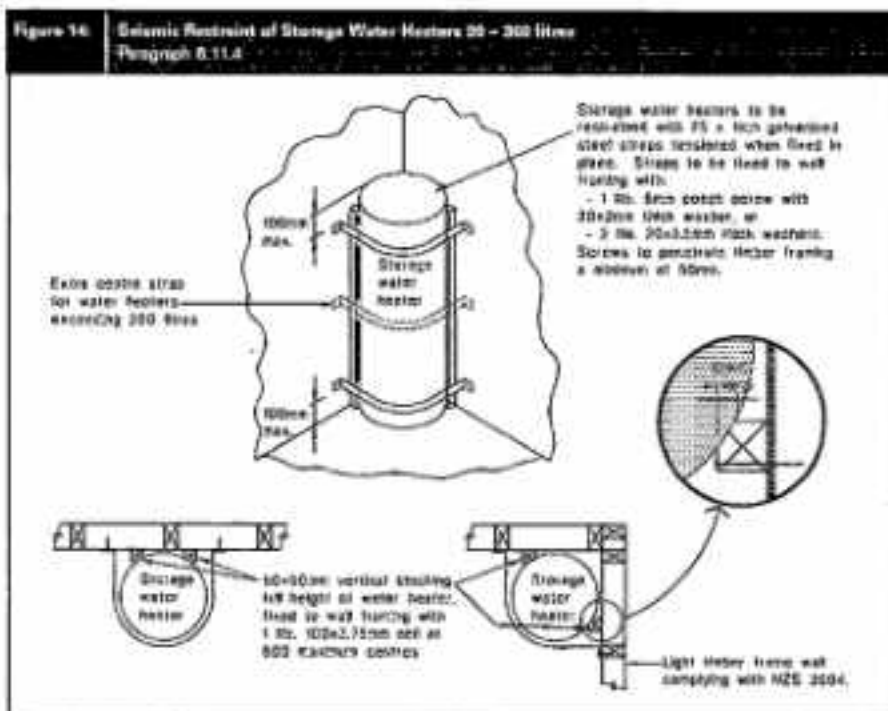
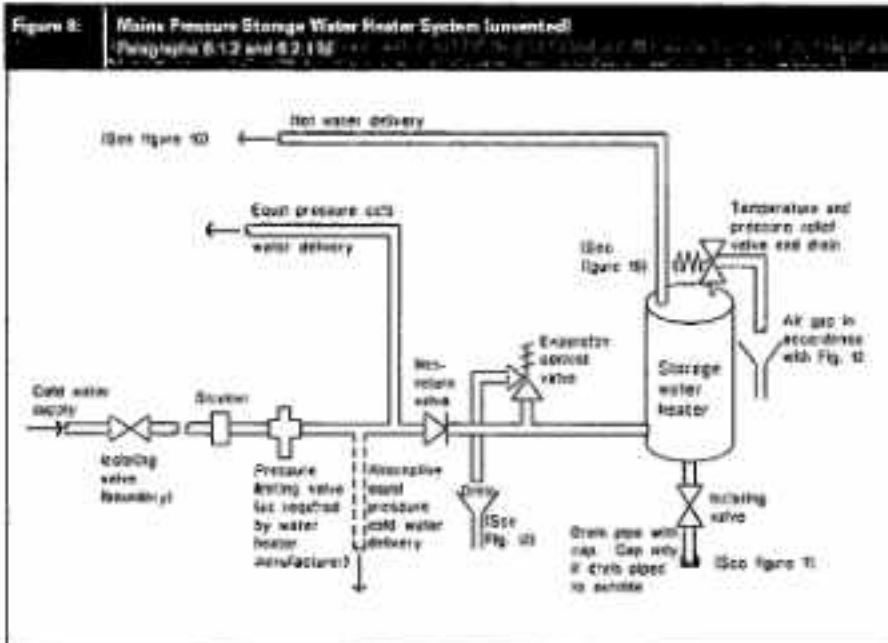
c. Using a fine bead of sealant, seal joint between Wall Retainer Profile and Door Assembly to a height of approx. 100 mm.

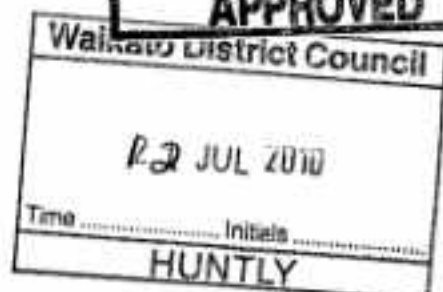
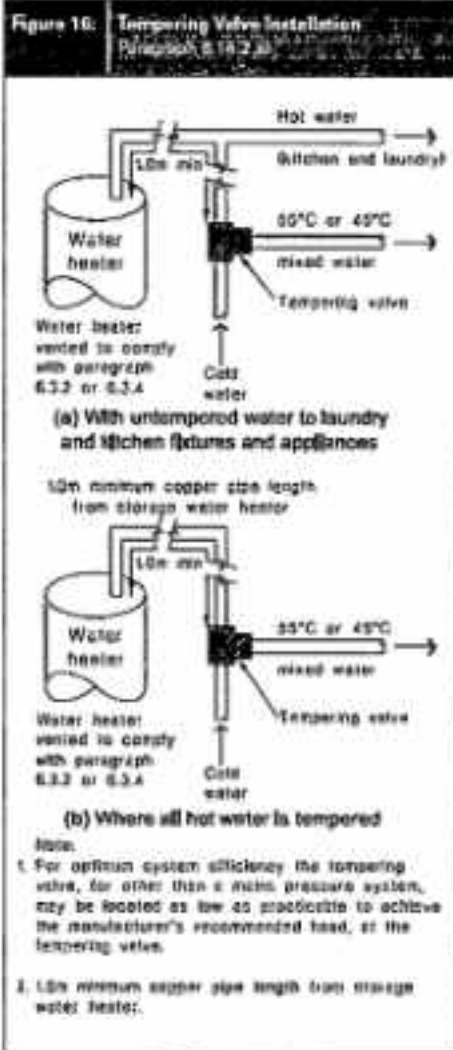


IMPORTANT

ALLOW 24 HOURS FOR SEALANT AND ADHESIVE TO CURE BEFORE USING THE SHOWER.







5113G GIB® PLASTERBOARD LININGS

1. GENERAL

This section relates to the supply, fixing and jointing of GIB® plasterboard linings and accessories to timber and steel framed walls and ceilings to form:

- standard systems
- wet area systems

1.1 ABBREVIATIONS

The following abbreviations are used throughout this part of the specification:

AWCINZ Association of Wall and Ceiling Industries New Zealand

Documents

1.2 DOCUMENTS REFERRED TO

Documents referred to in this section are:

NZBC E2/AS1	External moisture
AS 1397	Steel sheet and strip - hot-dipped, zinc-coated, or aluminium/zinc-coated
AS/NZS 2588	Gypsum plasterboard
AS/NZS 2589	Gypsum linings - Application and finishing
NZS 3604	Timber framed buildings
AS/NZS 4600	Cold-formed steel structures
BRANZ technical paper P21	A wall bracing test and evaluation procedure

Documents listed above and cited in the clauses that follow are part of this specification. However, this specification takes precedence in the event of it being at variance with the cited document.

1.3 MANUFACTURER'S DOCUMENTS

Manufacturer's and supplier's documents which refer to work in this section are:

- GIB® Site Guide (May 2006)
- GIB Aqualine® Wet Area Systems (March 2007)
- BRANZ Appraisal 427 - GIB Aqualine® Wet Area Systems
- BRANZ Appraisal 97/008 - Standard 10 and 13mm GIB® plasterboard

Copies of the above literature are available at

Web: www.gib.co.nz

Telephone: 0800 100 442

Requirements

1.4 NO SUBSTITUTIONS

Substitutions are not permitted to any specified GIB® systems, GIB® system components, GIB® plasterboard, associated GIB® products or GIB® accessories.

1.5 INSTALLER WORK SKILLS AND QUALIFICATIONS

GIB® plasterboard fixers and plasterers to be experienced competent workers, familiar with GIB® plasterboard lining systems installation and finishing techniques. Submit evidence of experience on request. For example:

- National Certificate of Interior Systems; or
- Certified Business member of AWCINZ

Performance

1.6 INSPECTIONS AND ACCEPTANCE

Allow for inspection of the finished plasterboard surface:

- before applying sealer and
 - before applying finish coatings or decorative papers,
- so that after assessment of the type and/or angle of illumination and building consent number completed decorative treatment, group approval and acceptance of the surface can be given.



2. PRODUCTS

Materials

2.1 GIB® PLASTERBOARD

Gypsum plaster core encased in a face and backing paper formed for standard and water resistance use to AS/NZS 2588. Refer to SELECTIONS for location, type, thickness and finish.

GIB® Standard plasterboard

GIB Aqualine® wet area plasterboard

Components

2.2 SCREWS

GIB® Grabber® drywall screws.

2.3 NAILS

GIB® Nails (gold passivated).

Size: 30mm, 40mm

2.4 METAL ANGLE TRIMS

GIB® galvanized steel slim angle trims.

2.5 CONTROL JOINTS

GIB® Goldline™ tape-on trims

2.6 TAPE ON TRIMS AND EDGES

GIB® Goldline™ tape-on trims

GIB® UltraFlex high impact corner mould.

Accessories

2.7 ADHESIVE

Timber frame and/or steel frame:

GIBFix® One ultra low VOC water based wallboard adhesive

GIBFix® All-Bond solvent based wallboard adhesive

2.8 JOINTING COMPOUND

Bedding compound:

GIB Tradeset®, GIB Lite Blue®, GIB(r) MaxSet®, GIB ProMix® All Purpose, GIB Plus 4®

Finishing compound:

GIB ProMix® All Purpose GIB ProMix® Lite, GIB® U-Mix, GIB Plus 4®, GIB® Topcoat

2.9 JOINTING TAPE

GIB® paper jointing tape.

2.10 GAP FILLER

GIB® Gap Filler ultra low VOC multi-purpose acrylic flexible filler

2.11 MOULD RESISTANT SEALANT

GIB® Aquaseal ultra low VOC mould resistant water based

3. EXECUTION

Conditions

3.1 STORAGE

Store GIB® plasterboard sheets and accessories in dry conditions away from direct sunlight in neat flat stacks on either an impervious plastic sheet or clear of the floor with no sagging and avoiding damage to ends, edges and surfaces. Reject damaged material. Refer to GIB® Site Guide.



3.2 LEVELS OF PLASTERBOARD FINISH

Provide the selected plasterboard surfaces to the pre decorative levels of finish specified in AS/NZS 2589.

3.3 CONFIRM LEVELS OF PLASTERBOARD FINISH ACCEPTANCE

Before commencing work, agree in writing upon the surface finish assessment procedure towards ensuring that the quality of finish expectations are reasonable and are subsequently obtained and acceptable.

Do not apply decorative treatment until it is agreed in writing by the contractor, subcontractors and decorator that the specified plasterboard Level of Finish has been achieved.

"Levels of plasterboard finish" is a tool for specifying the required quality of finish when installing and flush stopping GIB® plasterboard prior to the application of a range of decorative finishes under various lighting conditions. Refer to AS/NZS 2589.

3.4 SUBSTRATE

Do not commence work until the substrate is plumb, level and to the standard required by the sheet manufacturer's requirements. Refer to GIB® Site Guide.

3.5 TIMBER FRAME MOISTURE CONTENT

Maximum allowable moisture content to AS/NZS 2589 for timber framing at lining: 18% or less for plasterboard linings. Refer to NZBC E2/AS1 and GIB® Site Guide.

3.6 METAL FRAMING

Metal framing, to which gypsum lining is fixed, shall comply with AS 1397 or AS/NZS 4600, as applicable. Where adhesion of gypsum linings is required, surfaces shall be free of oil, grease, dust and other foreign materials. Refer to the metal framing manufacturers specifications where high density gypsum linings (>800 kg/m³) such as GIB® Braceline and GIB® Noiseline are specified for fixing to light gauge steel framing.

3.7 PROTECTION

Protect surfaces; cabinetwork, fittings, equipment and finishes already in place from the possibility of water staining and stopping damage. Refer to GIB® Site Guide.

Application

3.8 LINING WALLS AND CEILINGS GENERALLY

Form to GIB® Site Guide. Ensure bulk insulation thickness shall not exceed that of the wall framing.

3.9 BOARD ORIENTATION

Minimise joints by careful sheet layout using the largest sheet sizes possible, and generally fixing horizontally. Where part sheets are required for various stud heights they should be positioned so the cut sheet is as low as possible to keep joints below eye level.

3.10 FORM WET AREA SYSTEMS

Form to GIB Aqualine® Wet Area Systems.

3.11 FORM CONTROL JOINTS

Form control joints to GIB® Site Guide.

3.12 INSTALL TAPE-ON TRIMS

Install to GIB® Goldline™ Tape-on trims literature and/or GIB® Ultraflex high impact corner mould literature.

Finishing

3.13 FINISHING GENERALLY

To GIB® Site Guide and AS/NZS 2589.



Completion

- 3.14 **REPLACE**
Replace damaged sheets or elements.
- 3.15 **CLEAN DOWN**
Clean down completed surfaces to remove irregularities and finally sand down with fine paper to the sheet manufacturer's requirements, to leave completely smooth and clean.
- 3.16 **REMOVE**
Remove debris, unused materials and elements from the site.
- 3.17 **LEAVE**
Leave work to the standard required by following procedures.



7123AS AQUATHERM®-SHT HOT & COLD WATER SYSTEM

1. GENERAL

This section relates to **aquatherm®-SHT** potable water systems from the network utility supply authority water main to designated points and appliances, the installation of hot water heating appliances, distributing piped hot water to other appliances, and the installation of tapware.

Documents

1.1 DOCUMENTS REFERRED TO

Documents referred to in this section are:

NZBC G12/AS1	Water supplies
AS/NZS 2845.1	Water supply - Backflow prevention devices - Materials, design, and performance requirements
AS/NZS 3500.1	Plumbing and drainage - Water services
AS/NZS 3500.4	Plumbing and drainage - Heated water services
AS/NZS 3500.5	Plumbing and drainage - Domestic installations
NZS 4602	Low pressure copper thermal storage electric water heaters
NZS 4606	Storage water heaters
NZS 4607	Installation of thermal storage electric water heaters: valve vented Systems
NZS 4617	Tempering (3-port mixing) valves
NZS 7602	Polyethylene pipe (Type 5) for cold water services
DIN 16968	Polybutylene (PB) pipes - General quality requirements and test
DIN 16969	Polybutylene (PB) pipes - PB 125 dimensions
Plumbers, Gasfitters and Drainlayers Act 2006	

Documents listed above and cited in the clauses that follow are part of this specification. However this specification takes precedence in the event of it being at variance with the cited document.

1.2 MANUFACTURER'S DOCUMENTS

Manufacturer's and supplier's documents relating to work in this section are:

aquatherm®-SHT technical manual
BRANZ Appraisal 538 - **aquatherm®** SHT Piping System

Copies of the above literature are available from **aquatherm**

Web: www.aquatherm.co.nz
Email: sales@aquatherm.co.nz
Telephone: 0-9-570 7204
Facsimile: 0-9-570 7206

Warranties

1.3 WARRANTY

Warrant this work under normal environmental and use conditions against failure of materials and execution.

Warranty period: 10 years

1.4 MANUFACTURER'S MATERIAL WARRANTY

Provide an **aquatherm®** GmbH materials and installation warranty in the supplier's standard form including NZ\$ 5,000,000 cover for third party legal liability.

Warranty period: 10 years

From: Date of completion of system testing

Requirements

1.5 NO SUBSTITUTIONS

Substitutions are not permitted to any specified **aquatherm®-SHT** or associated products, components or accessories.



- 1.6 **QUALIFICATIONS**
Plumbers to be certified **aquatherm® Fusiotherm®/SHT** installers, familiar with the materials and the techniques specified. Carry out all work under the direct supervision of a plumber registered under the Plumbers, Gasfitters and Drainlayers Act 2006.

Performance

- 1.7 **TESTING**
Confirm the timing before carrying out any tests. Supply potable water and the apparatus needed. Ensure that any connected tapware is isolated before commencing testing. Test to **aquatherm®-SHT** testing procedures as applicable. Provide completed test records in the **aquatherm®** New Zealand Products Catalogue standard form.

2. **PRODUCTS**

Materials

- 2.1 **AQUATHERM®-SHT POLYBUTYLENE WATER PIPE**
aquatherm®-SHT pipes to DIN 16968 and DIN 16969 complete with sliding sleeves to DIN 16928 and accessories brand-matched.
- 2.2 **WATER METER**
To the requirements of the network utility operator.
- 2.3 **VALVES**
Pressure reducing or limiting valve, filter, non-return valve, cold water expansion valve, pressure relief valve, pressure relief valve and isolating valves to NZBC G12/AS1: Water supplies.
- 2.4 **TEMPERING VALVE**
Tempering valve to NZS 4617 to NZBC G12/AS1: Water supplies.
- 2.5 **BACKFLOW PREVENTION DEVICES**
Provide backflow prevention devices to AS/NZS 2845 where it is possible for water or contaminants to backflow into potable water supply. Refer to NZBC G12 AS/1 3.4 Backflow protection, and table 2, Selection of Backflow Prevention.
- 2.6 **PIPE CLAMPS**
aquatherm®-SHT proprietary pipe clamps and clips.
- 2.7 **INSULATION**
Pre-formed pipe sections complete with bends and fittings, with fixing tape to the manufacturer's requirements.
Materials available are fibreglass, polyurethane, rock fibre and flexible foam. Finishes - plain, calico and aluminium foil.
- Materials - hot water heating appliances**
- 2.8 **ELECTRIC HOT WATER CYLINDER, MAINS PRESSURE**
A grade to NZS 4606, part 3 ceramic-coated steel thermal storage cylinder, insulated and complete with required fittings.

3. **EXECUTION**

Conditions

- 3.1 **HANDLE AND STORE**
Handle and store pipes, fittings and accessories to avoid damage. Store on site, under cover, out of direct sunlight, on a clean level area, stacked to eliminate movement and away from work in progress in accordance with the **aquatherm®-SHT** technical manual.



- 3.2 **CORE HOLES AND SLEEVES**
Review location and fit core holes and sleeves as needed throughout the structure in conjunction with the boxing, reinforcing and placing of concrete. Strip core holes and make good after installation of pipework.
- 3.3 **FASTENING TECHNIQUE**
Fix pipework using **aquatherm**[®] proprietary pipe brackets, spacing in accordance with the **aquatherm**[®]-SHT technical manual. Ensure brackets are set out as fixed or sliding points in accordance with the **aquatherm**[®]-SHT technical manual.
- 3.4 **CONCEAL**
Conceal pipework within the fabric of the building unless detailed otherwise. Satin finish chrome plate exposed work, complete with matching ferrule at the surface penetration.
- 3.5 **IN CONCRETE INSTALLATION**
Install directly in concrete in accordance with **aquatherm**[®]-SHT installation procedures.
- 3.6 **THERMAL MOVEMENT**
Accommodate movement in pipes resulting from temperature change by the layout of the pipe runs, by expansion joints and by sleeving through penetrations. Install pipework in accordance with the **aquatherm**[®]-SHT technical manual.
- 3.7 **PIPE SIZE**
Flow rates to each outlet to be no less than those given in NZBC G12/AS1: Water supplies, table 3, Acceptable flow rates to sanitary fixtures, with pipe size as determined in table 4, Tempering valve and nominal pipe diameters and in accordance with the **aquatherm**[®]-SHT technical manual.

Application - jointing

- 3.8 **AQUATHERM[®]-SHT POLYBUTYLENE WATER SUPPLY**
Size the piping layout to eliminate loss of pressure at any point by simultaneous draw-off. Run pipes complete with all fittings, support and fixing, sliding sleeve joins and install to manufacturers specifications, all to NZBC G12/AS1: Water supplies. Conceal pipework and pressure test before the wall linings are fixed.

Application - distribution systems

- 3.9 **WATER SUPPLY CONNECTION**
Arrange with the network utility operator for a connection to the water main and from there through a water meter and gate valve. Provide back flow prevention to NZBC G12/AS1: Water supplies.
- 3.10 **COLD WATER INSTALLATION**
From connection point, size the runs and branches to deliver the acceptable flow rate to NZBC G12/AS1: Water supplies, table 3, Acceptable flow rates to sanitary fixtures at each outlet. Allow for the expected concurrent use of adjoining fixtures. Lay out pipes in straight runs with support spacing to NZBC G12/AS1: Water supplies, table 7, Water supply pipework support spacing firmly fixed and buffered to eliminate noise and hammer, with preformed tee-connection take-offs and branches, with bends to **aquatherm**[®]-SHT requirements, complete with necessary valves and fittings.
- 3.11 **MAIN ISOLATING VALVE**
Install a proprietary isolating ball cock in an accessible position at the point of entry to the building.
- 3.12 **IN LINE FILTER**
Install an in line filter immediately adjacent to the isolating valve in an accessible position to allow for easy cleaning.

Application - hot water systems



- 3.13 **HOT WATER CYLINDER INSTALLATION GENERALLY**
Install hot water cylinders complete to the manufacturer's requirements and with seismic restraint as required to storage cylinders, to NZBC G12/AS1: Water supplies, 6.11, Water heater installation. Valve-vented systems to NZS 4607.
- 3.14 **HOT WATER PIPEWORK**
Use a take-off spigot to give separate branches to each fitting. lay out pipes with support spacing to NZBC G12/AS1: Water supplies, table 7 Water supply pipework support spacing. Fix firmly and buffer to eliminate noise and hammer, with preformed tee-connection take-offs and branches, with bends in accordance with **aquatherm®-SHT** requirements, complete with all necessary valves and fittings.
- 3.15 **INSULATION**
Lag all pipes with insulation to the manufacturer's requirements. Refer to SELECTIONS for type.
- 3.16 **INSTALL TEMPERING VALVE**
Install 1 metre minimum from outlet of hot water cylinder and to manufacturer's instructions.
- Installation - tapware**
- 3.17 **INSTALLING APPLIANCE ISOLATING VALVES - CONCEALED**
Install isolating valves for appliances in accessible positions. Locate in adjacent cupboards and position to allow for easy connection and operation.
- 3.18 **INSTALLING TAPWARE**
Install to manufacturer's requirements.
- Completion**
- 3.19 **FLUSH OUT PIPEWORK**
Flush out pipework. Remove all filters, clean and reassemble.
- 3.20 **REPLACE**
Replace damaged or marked elements.
- 3.21 **LEAVE**
Leave work to the standard required by following procedures.
- 3.22 **REMOVE**
Remove debris, unused materials and elements from the site.



7701 ELECTRICAL BASIC

1. GENERAL

This section relates to the wiring for domestic and small scale commercial installations, including:

- power
- lighting
- complete with componentry
- electrically-powered fittings

1.1 ABBREVIATIONS AND DEFINITIONS

Refer to the general section INTERPRETATION AND DEFINITIONS for abbreviations and definitions used throughout the specification.

The following abbreviations apply specifically to this section:

CFL	compact fluorescent lamp
ELV	extra low voltage
GLS	general lighting service
IP	international protection classification
LCD	liquid crystal display
LED	light emitting diode
MCB	miniature circuit breaker
NUO	Network Utility Operator
PCB	printed circuit board
PIR	passive infrared
RCBO	residual current-operated circuit breaker with over current protection
RCCB	residual current-operated circuit breakers
RCD	residual current device
SIA	security integration architecture
TPS	tough plastic sheathed

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12 JUL 2010	
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Documents

1.2 DOCUMENTS REFERRED TO

Refer to the general section REFERENCED DOCUMENTS. The following documents are specifically referred to in this section:

NZBC E2/AS1	External moisture
NZBC F7/AS1	Warning systems
NZBC G4/AS1	Ventilation
NZBC G9/AS1	Electricity
AS/NZS 1125	Conductors in insulated electric cables and flexible cord
AS/NZS 1768	Lightning protection
AS/NZS 3000	Electrical installations (known as the Australian/New Zealand Wiring Rules)
AS/NZS 3008.1.2	Electrical installations - Selection of cables - Cables for alternating voltages up to and including 0.6/1 kV - Typical New Zealand installation conditions
AS/NZS 3100	Approval and test specification-general requirements for electrical equipment
AS/NZS 3112	Approval and test specification - Plugs and socket-outlets
AS/NZS 3113	Approval and test specification - Ceiling roses
AS/NZS 3190	Approval and test specification - Residual current devices (current-operated earth-leakage devices)
AS/NZS 3350.1	Safety of household and similar electrical appliances - General requirements
AS/NZS 3439.3	Low-voltage switchgear and controlgear assemblies - Particular requirements for low-voltage switchgear and controlgear assemblies intended to be installed in places where unskilled persons have access for their use - Distribution boards
AS 3786	Smoke alarms
NZS 4301.1	Intruder alarm systems - systems
AS/NZS 5000.2	Electric cables - Polymeric insulated - for working voltages up to and including 450/750v



NZIECP	NZ Electrical Codes of Practice
NZIECP 54	NZ Electrical Codes of Practice for the installation of recessed luminaires and auxiliary equipment (available at www.energysafety.govt.nz)
IEC 61643	Components for low voltage surge protection devices

Electricity Regulations 1997

Warranties

1.3

WARRANTY

Warrant the complete electrical installation under normal environmental and use conditions against failure of materials and execution.

1 year: Warranty period

Refer to the general section for the required form of WARRANTY AGREEMENT and details of when completed warranty must be submitted.

Requirements

1.4

COMPLY

Comply with the Electricity Regulations 1997, AS/NZS 3000, AS/NZS 3008.1.2 and the New Zealand electrical codes of practice for listed and prescribed work and with the utility network operator's requirements. Apply for the service connection. Arrange for the required inspections of listed work. Pay all fees.

1.5

QUALIFICATIONS

Carry out work under the direct supervision of a holder of a practising licence under the Electricity Regulations 1997.

1.6

CERTIFICATE OF COMPLIANCE

Supply a certificate of compliance to the owner, as required by the Electricity Regulations 1997 clause 39, within 20 days of completion as required by clause 42. The network utility operator is to inspect before the meter installation, listed work inspection, polarity check and supply becoming live.

2.

PRODUCTS

2.1

MAINS SUPPLY, SINGLE PHASE

Tough plastic sheathed neutral screened cable to AS/NZS 4961 and AS/NZS 3008.1.2, with a minimum rating of 60 amps per phase. Include pilot cable where required by network utility company.

2.2

CABLES

Tough plastic sheathed copper conductors to AS/NZS 5000.2, stranded above 1.0mm², and to AS/NZS 3008.1.2. Minimum sizes as below. Increase sizes if the method of installation, thermal insulation, cable length or load will reduce the cable rating below that of the MCB rating, or produce an excessive voltage drop.

Lighting circuits: Domestic: 1.5mm² on 10 amp MCBs

Power circuits: 2.5mm² on 16 amp MCBs for domestic and unenclosed or unfilled cavity construction
2.5mm² on 16 amp MCBs for domestic insulated construction, or filled cavity
2.5mm² on 20 amp MCBs for unenclosed or unfilled cavity construction
2.5mm² on 16 amp MCBs for insulated construction, or filled cavity, or lengths over 30 metres

Hot water cylinder circuits: Single phase: 2.5mm² on 20 amp MCBs

Heat resistant cable for final connections to all heated appliances and cable in ambient conditions that may be above 35°C.



- 2.3 **METER BOX**
Proprietary manufactured, zinc plated powder coated metal case, or ABS plastic, with glazed panel door, weatherproof where mounted outdoors, and complete with meter mounting, main switch and fuse.
- 2.4 **DISTRIBUTION BOARD**
Flush surface mount boards manufactured to AS/NZS 3439.3 and installed in accordance with AS/NZS 3000. Manufactured from engineering grade resin with a glow wire rating of 850°C, complete with neutral and earth busbars, and insulated comb phase bar. Distribution boards to have 20% spare capacity for future additions and alterations.
- 2.5 **CIRCUIT PROTECTION**
General requirements including main switch 63A or 100A. Residual current protection 30mA, ensure RCCBs meet Type A and comply with AS/NZS 3190. MCBs to 4.5kA or 6kA rated.
- 2.6 **WALL BOXES**
Standard grid size or equivalent to be manufactured from plastic or metal, with 2 or more gang size to be metal with steel inserts for accessory securing screws. Screw fixed.
- 2.7 **SWITCH UNITS**
Single pole switches to be 16 amp minimum rated, double pole or intermediate to be 16 amp minimum rated. All switches to be 230 volt a.c. polycarbonate flushplate units. Refer to drawings/schedules for number of switches per unit, dimmer units, neon (indicator or toggle) units and 2 way units.
- 2.8 **HOT WATER SYSTEM SWITCH**
One way 20 amp switch complete with cable clamp for flexible PVC conduit to element enclosure.
- 2.9 **SWITCHED SOCKET UNITS**
10 amp, 230 volt flat 3 pin socket outlets fitted with safety shutters and manufactured to AS/NZS 3100, AS/NZS 3112 and AS/NZS 3113, single or multi gang as detailed.
- 2.11 **SURGE PROTECTION**
Protection for the homes appliances with IEC 61643 Class II surge protection devices fitted to the switchboard. For variable electronic equipment fit IEC 61643 Class III surge protection to switched socket outlets.
- 2.12 **CEILING ROSES**
White plastic mounting base with screwed cover, manufactured to AS/NZS 3113. Terminal type. Cylindrical section TPS for suspended fittings.
- 2.13 **BATTEN HOLDERS**
Standard white plastic bayonet cap, with cap angled where wall mounted. Brass liners.
- 2.14 **LIGHT FITTINGS**
Fluorescent and High Intensity Discharge fittings with low loss control gear and power factor corrected to 0.95 minimum. Control gear suitable for dimming if this is required. All fittings complete with lamps; Incandescent GLS lamps pearl, coiled-coil 230v rated, bayonet cap; Fluorescent triphosphor 2700K, CFL; halogen ELV 12v dichroic reflector with cover glass unless detailed otherwise.
- 2.15 **EXHAUST FANS**
Ceiling, wall or duct mounted exhaust fans for ventilation to NZBC G4/AS1, and compliant with AS/NZS 3350.1.
- 2.16 **OUTDOOR SWITCHES & SOCKETS**
Using materials with superior UV protection, impact strength, and addition chemical resistance when compared with interior polycarbonate fittings. Weather protected, switches to IP56 minimum, and sockets to IP53 minimum. Switches to be padlocked behind shutters behind socket pins, and all products able to be padlocked.



3. EXECUTION

3.1 MAIN SUPPLY

Lay underground mains to the NUO requirements. Excavate trench, install cable and marker tape and backfill.

3.2 METER BOX

Fit to meter box manufacturer's and Electricity Retailer's requirements. Recess into external wall in sheltered area and flash to weatherproof to NZBC E2/AS1 fig 69. Arrange for meter installation and connection.

3.3 DISTRIBUTION BOARD

Fit to AS/NZS 3000 and board manufacturer's requirements. Recess into wall or surface mount and ensure fire containment properties of the enclosure are maintained.

3.4 CIRCUIT PROTECTION

Install MCBs at distribution board to AS/NZS3000 to protect each final sub circuit.

3.5 EARTH BONDS

Bond together and to earth all plumbing fittings not adequately isolated, to AS/NZS 3000, the Electricity Regulations 1997 and the fitting manufacturer's requirements.

3.6 MAIN EARTH

Provide a plastic toby box to contain and protect the earth electrode. Fix the connecting earth wiring closely and securely against wall surfaces.

3.7 EARTH LEAKAGE PROTECTION

Install RCD protection to AS/NZS 3000.

3.8 DOMESTIC INSTALLATIONS

Install 30mA RCD protection at the distribution board for all final sub circuits to control socket outlets and lighting except for fixed or stationary cooking equipment, to AS/NZS 3000.

3.9 HIGH RISK AREA INSTALLATIONS

Install 30mA RCDs at the distribution board for areas not covered in Domestic installations, or using fixed wired RCD protected socket outlets in areas that may represent increased risk of electric shock to the user:

- Wet areas: bathrooms, laundries, kitchens.
- Where intended for use with cleaning equipment.
- Hand-held tools subject to movement in use, i.e. work-shops, garages.

3.10 SET-OUT

The position of outlets and equipment shown on drawings is indicative of requirements. Confirm documents and site conditions are not in conflict with other services or features. Resolve conflicts and discrepancies before proceeding with work affected. Confirm on site the exact location, disposition and mounting heights of all outlets, fittings, equipment, penetrations, and use of exposed wiring. Fix outlet items level, plumb and in line.

3.11 CABLING

Install wiring systems to AS/NZS 3000. All cabling run concealed. No TPS cable laid directly in concrete. Locate holes in timber framing for the passage of cables at the centre line of the timber member. Install cable in conduits where required to pass through concrete or underground. In walls run cabling horizontally and vertically in straight lines. In ceilings either run cabling along ceiling framing or attached to catenary wires. Clip cabling to ceiling framing/catenary wires.

3.12 CABLING CIRCUITS

Install all circuits with the appropriately rated cable and circuit protection. Install with a maximum of 8 light switch units or 4 double or single switched socket units per circuit. Minimum 2 lighting circuits per floor. Separate circuits for kitchen sockets to be on at least two different circuits.



3.13 WALL BOXES

Mount flush in cavity construction size to fit products selected. Fix vertically mounted wall boxes to studs. Screw fix horizontally mounted switched socket outlet wall boxes to solid blocking or noggs. Fix switch panel wall boxes to solid blocking.

3.14 SWITCH AND SOCKET UNITS

Fit all single and double switch units, all sockets to the following heights (to the centre of the unit) unless shown otherwise on the drawings.

Switch Units: 1000mm
Socket Units: 150mm above work benches
400mm elsewhere

Mount light switches and switch socket outlets vertically and socket units horizontally. Label all switch units that control electrical equipment or special lighting circuits by colour filled engraving on the switch. Use proprietary engraved switch mechanisms where applicable.

3.15 ISOLATING SWITCHES

Locate isolating switches in positions as confirmed by the owner, when not specifically shown on the drawings.

3.16 LIGHT FITTINGS

Install light fittings in locations and at heights specified and confirmed by the owner, in accordance with the fitting manufacturer's requirements. Install recessed fittings to NZECP 54.

3.17 ELECTRIC HOT WATER SYSTEM

Wire as a separate circuit through a wall-mounted isolating switch, with the cable from switch to element encased in flexible PVC conduit, clamp fixed at each end. Hot water cylinders, thermostats and 3000 watt element supplied and fitted under HOT AND COLD WATER SYSTEM.

3.18 SMOKE ALARMS

Install Type 1 domestic smoke alarm system to NZBC F7/AS1 3.1 Domestic smoke alarms, AS 1670.6 and to the alarm manufacturer's requirements. Fit neatly and without damage to the surrounding finish.

3.19 SURGE PROTECTION

Install surge protection devices to manufacturer's requirements and in accordance with AS/NZS 3000 and AS/NZS 1768. When fitting IEC 61643 Class II protection at the switchboard, protect the device by a dedicated MCB.

3.20 ELECTRIC POWERED FITTINGS AND EQUIPMENT

Install and wire fittings and equipment to individual fittings and equipment manufacturer's requirements. Refer to the drawings for required layouts and locations for equipment.

3.21 BATHROOM ELECTRICAL FIXTURES

Install all electrical fixtures. Connect the following bathroom and toilet electrical items:

Exhaust fans: Install exhaust fans to manufacturer requirements.

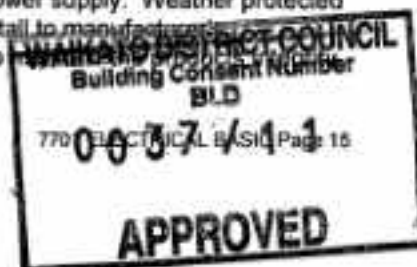
Installed in accordance with AS/NZS 3000 and NZBC G4/AS1.

3.22 OUTDOOR/EXTERIOR SERVICES

Install all wiring systems in accordance with AS/NZS 3000 and in accordance with the manufacturer's recommendations:

Provide circuits and connections for exterior installations, including ELV 12/24 Volt path lighting and electronic irrigation systems. Refer to drawings for connection points. Where underground, ensure appropriate protection, such as thickness of sheathing, conduit, depth of cabling, and proximity to other services.

Use the appropriate rated fittings for power control and power supply. Weather protected switches to IP56, and sockets to IP53 as a minimum. Install to manufacturer's or other specifications using recommended fittings and sealants to





Form 7
CODE COMPLIANCE CERTIFICATE
Section 95 Building Act 2004

The Building

Street address of building: 223 B Waerenga Road TE KAUWHATA
 Legal description of land where building is located: LOT 3 DP 357027 BLK XVI MARAMARUA
 SD SUBJ TO ESMTS
 Valuation number: 04390/476.14
 Property number: 2008840
 Building name: N/A
 Location of building within site/block number: N/A
 Level/unit number: N/A
 Current, lawfully established, use: Outbuildings
 Number of occupants per level and per use if more than 1: N/A
 Year first constructed: 2021

The Owner

Name of owner: A P A Vadam, S M Vadam
 Mailing address: 223B Waerenga Road, RD 1, Te Kauwhata 3781

Street address/registered office: N/A

Phone numbers:

Landline: N/A Mobile: 027-4417940
 Daytime: 027-2033313 After hours: N/A
 Facsimile number: N/A Email address: ashvadam@hotmail.com;
 samanthavadam@hotmail.co.nz
 Website: N/A

First point of contact for communications with the building consent authority

Name: J & J Patterson Ltd
 Mailing address: PO Box 12457, Chartwell Square, Hamilton 3248

Phone numbers:

Landline: N/A Mobile: 021-2462637
 Facsimile number: N/A Email address: consents@npwaikato.co.nz

Building Work:

Project: Swimming pool
 Building consent number: BLD2028/21
 Issued by: Waikato District Council

Code Compliance

The building consent authority named below is satisfied, on reasonable grounds, that —

- (a) the building work complies with the building consent

Signature:

Name: Gareth Roberts
Position: Building Inspector
On behalf of: Waikato District Council

Date: 17 January 2022



Form 5
BUILDING CONSENT NO: BLD2028/21
Section 51, Building Act 2004
ISSUED BY: WAIKATO DISTRICT COUNCIL

The Building

Street address of building:	223 B Waerenga Road TE KAUWHATA
Legal description of land where building is located:	LOT 3 DP 357027 BLK XVI MARAMARUA SD SUBJ TO ESMTS
Valuation Number:	04390/476.14
Building name:	N/A
Location of building within site/block number:	N/A
Level/unit number:	N/A
Property Number:	2008840

The Owner

Name of owner:	A P A Vadam, S M Vadam
Mailing Address:	223B Waerenga Road, RD 1, Te Kauwhata 3781

Street address/registered office: N/A

Phone numbers:

Landline:	N/A	Mobile:	N/A
Daytime:	N/A	After hours:	N/A
Facsimile number:	N/A	Email address:	N/A
Website:	N/A		

First point of contact for communications with the Building Consent Authority

Full Name of Person:	J and J Patterson Ltd
Mailing Address:	PO Box 12457, Chartwell Square, Hamilton 3248

Phone numbers:

Landline:	N/A	Mobile:	021-2462637
Daytime:	N/A	Fax number:	N/A
Email address:	consents@jandjpatterson.co.nz		

Building Work

The following building work is authorised by this building consent:

Swimming pool

Project type:	Swimming Pool	\$47,500
Total Value of work:		\$47,500

This building consent is issued under Section 51 of the Building Act 2004. This building consent does not relieve the owner of the building (or proposed building) of any duty or responsibility under any other Act relating to or affecting the building (or proposed building).

This building consent also does not permit the construction, alteration, demolition, or removal of the building (or proposed building) if that construction, alteration, demolition, or removal would be in breach of any other Act.

Waikato District Council
Building Consent No: BLD2028/21

This Building Consent is subject to the following conditions:

Section 90 - Inspections:

When booking your inspections please phone (07) 824 8633 or (0800) 492 452 and quote your building consent number. Whilst we will endeavour to provide inspections in a timely manner, please provide **at least 48 hours notice** prior to any of the following mandatory inspections. (Click [here](#) for more information on Inspections & Certification)

- Excavation, Siting and Foundation (prior to pouring concrete) - *Owner/builder to locate boundary pegs prior to council carrying out a foundation/siting inspection.*
- Drainage
- Pools - NZBC F9 - Final Building (Code Compliance Certificate) to be called for - *Some final inspections require Council to have access into the building. If no-one is onsite to allow access to the interior of the building it is likely the inspection will fail.*

The following documents from third parties need to be provided to the BCA to certify that the building work complies with the plans and specifications and in order for Council to issue a CCC: (Click [here](#) for more information on Producer Statements & Memoranda)

Producer Statements:

- Engineering - Structural design elements (PS 4)

Certificates / Memorandums / Statements / Letters:

- Code Compliance Certificate application
- Electrical Compliance Certificate (if applicable)
- As laid drainage plan

Compliance Schedule:

- A compliance schedule is not required for the building.
-

Attachments:

Copies of the following documents are attached to this building consent:

- ✓ Project Advisory Notes

Attachments

Project Advisory Notes:

Please read the following:

- At least 48 hours' notice shall be required for plumbing and drainage inspections.
- Registered engineer to provide a Producer Statement Construction Review on completion.
- Domestic smoke alarms must be installed before a final inspection is requested. The number of alarms required and their location in the dwelling is to be in accordance with the New Zealand Building Code.

Lapsing of a building consent:

A building consent lapses and is of no effect if the building work to which it relates does not commence within:

- a) 12 months after the date of issue of the building consent or
- b) Any further period that the building consent authority may allow.

The granting of this building consent, with or without a certificate under section 37 of the Building Act 2004, does not remove the need to obtain a resource consent if one is required under the Waikato District Plan.

Code Compliance Certificate will be issued after your final inspection has been carried out and passed and all documentation has been received and approved. ([Click here](#) for your CCC application form).

Signature:



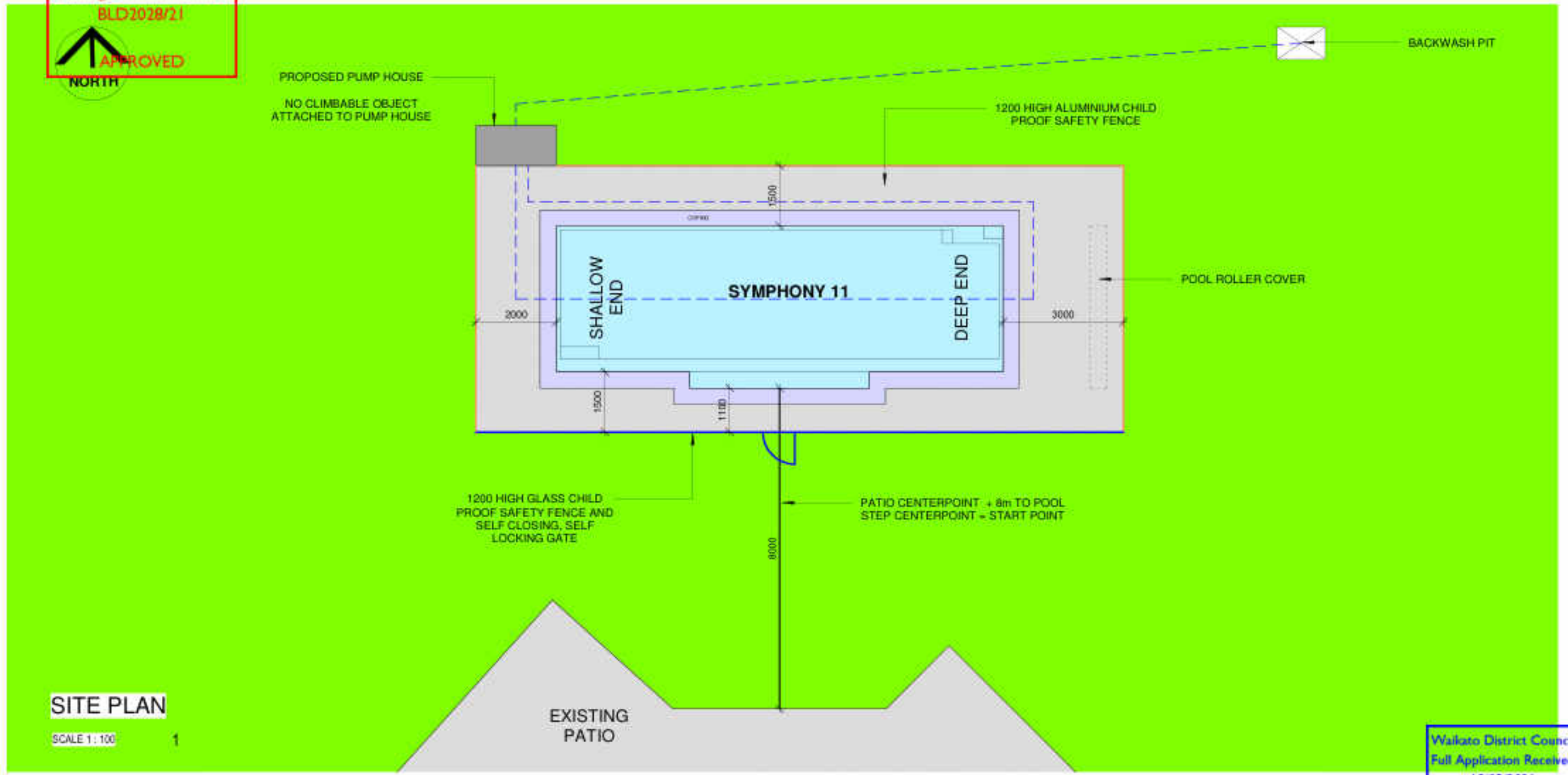
Name: Anne Saunders
Position: Building Administrator

On Behalf of: Waikato District Council

Date: 01 July 2021

Site Work Notes: All rubbish, noxious matter and organic matter shall be removed from the area to be covered by the building. Any fill to be dry and approved by engineer and compacted down in accordance with NZS 3805:2011. a) Contractor to confirm on site all boundary bearings, lengths & peg locations on site prior to commencement of works, to ensure pool position is correct. b) Contractor to locate all service connection points on site prior to commencement of works. Check invert levels of pipes and manholes. c) Contractor to confirm plumbing routes and fixture positions on site prior to commencement of works. Any discrepancies found from consented plans, contact Narellan Pools New Zealand prior to commencement of site work.	Sediment Control Notes: Sediment and runoff control shall be designed and installed by the licensed building practitioner prior to, or during the site works for the project. The sediment controls shall be installed in accordance with the requirements of the District Plan/Council requirements. Cautionary Notes: NZBC D1/AS1 ACCESS Minimum slip resistance to steps, landings and pool surrounds. Concrete or h5 timber step to all access points, min. 150mm below finished floor level. General Notes: a) Temporary fencing install during construction must comply with Swimming pool fencing act b) Backflow prevention device to be fitted to potable water supply c) Any hose taps in vicinity of the pool area shall be installed with vacuum breakers d) Pool to be marked out on site and approved by client	Swimming Pool Notes: Fencing a) The fence is at least 1.2m high at every point around the entire length of the outside of the fence. b) The fence is at least 1.8m high on the boundaries. c) There is a 1.2m wide clear zone around the outside of the fence: no permanent projections or objects that children could use to climb over the fence. d) To comply with NZBC F9.3.3 e) There is no space greater than 100mm between the fence pickets or rails, under the fence. f) Horizontal supports on the outside of the fence are at least 900mm apart. g) Any mesh construction is firmly attached to the framework h) Gaps in any perforated material (beils, mesh or netting) are no wider than 50mm if the fence is 1.8m high i) Existing fences to comply with NZBC F9	Gates & Latches a) All gates that access the pool area only are to open outwards from the pool and not be readily opened by children. b) There is not object near the gate that could hold it open. c) To comply with NZBC F9.3.3 d) The outside latches are at least 1.5m above ground level. e) The inside latches are not accessible by reaching through the gate (unless the hole in the gate is at least 1.2m above ground level) f) Sliding doors to the pool area to comply with NZBC F9 4.2.2 Project Specific Notes: a) Hose connection to have vacuum breaker device (BHCV) b) Water supply to pool from truck mounted tank & pump unit c) Pool to be drained by submersible pump and truck supply tank	LEGEND SOFT LANDSCAPE 1.5m WIDE & GREATER SOFT LANDSCAPE LESS THAN 1.5m WIDE HARDSTAND (CONCRETE, PAVERS, GRAVEL ETC.) EXISTING BUILDING FOOTPRINT	WIND: EQ: EXPOSURE: SITE AREA: 13601 m ² PERMEABLE AREA: 11632 m ² 85.5%
---	--	---	---	--	---

Waikato District Council
Building Consent Number
BLD2028/21
APPROVED
NORTH



SITE PLAN
SCALE 1 : 100
1

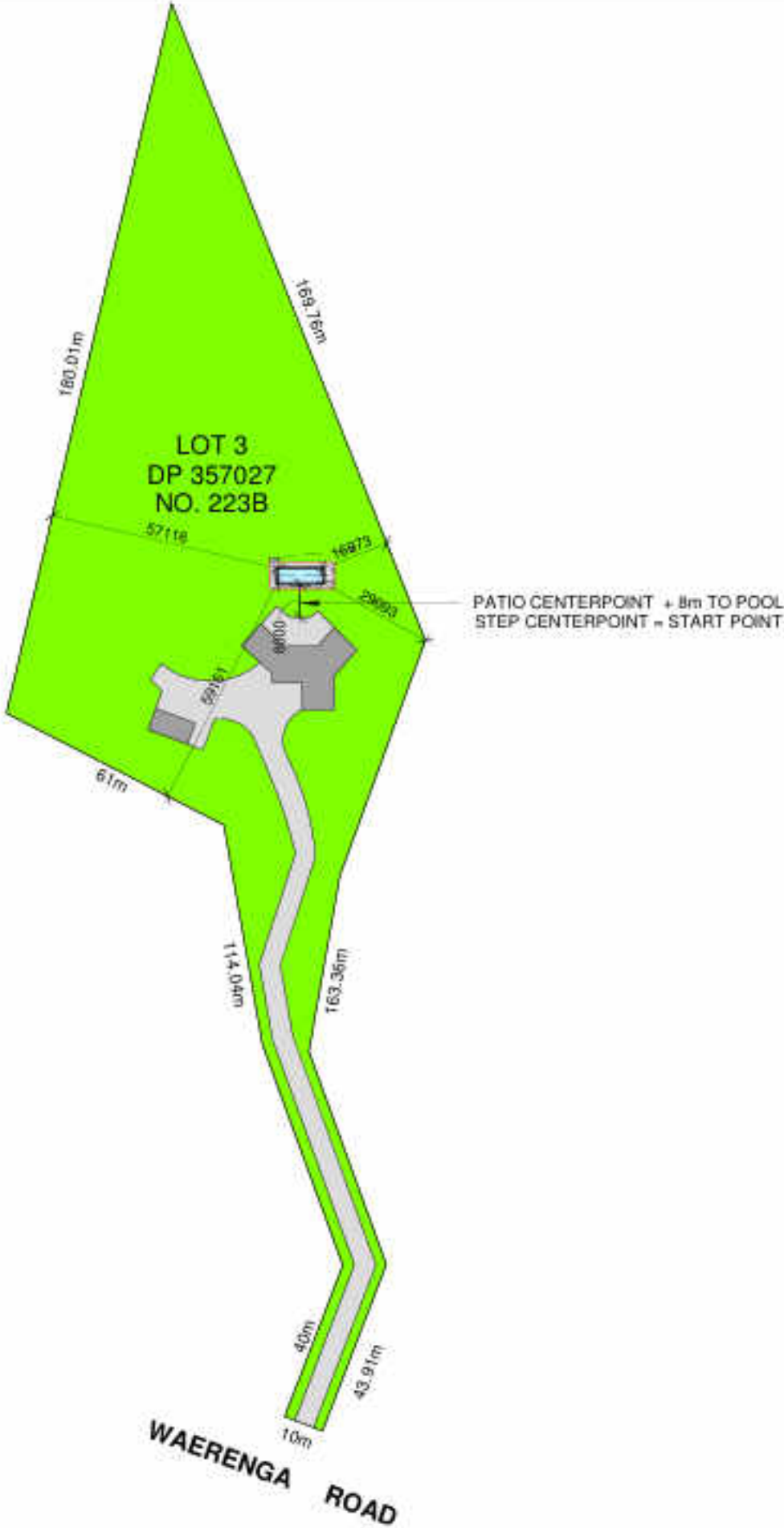
Waikato District Council
Full Application Received
18/05/2021

Narellanpools^o Document Set ID: 8880882	COPYRIGHT STATEMENT THIS PLAN ALWAYS REMAINS THE COPYRIGHT OF DESIGNER, AND SHALL NOT RE USED OTHER THAN FOR THE PROJECT WORK INTENDED WITHOUT WRITTEN AUTHORITY. NO PART MAY BE REPRODUCED BY ANY PROCESS, NOR MAY ANY OTHER EXCLUSIVE RIGHT BE EXERCISED, WITHOUT PERMISSION. LEGAL ENFORCEMENT WILL BE TAKEN ON COPYRIGHT INFRINGEMENT.	ALL DIMENSIONS ARE IN MILLIMETERS. DO NOT SCALE FROM PLANS.	DATE	DESCRIPTION	REV	CLIENT'S NAME	SHEET NAME			JOB NO.
			20.05.2021	APPROVAL	1	223B Waerenga Road Te Kauwhata 3781, New Zealand LOT 3 DP357027	SITE PLAN			62489
			11.05.2021	APPROVAL	2					
							DESIGN NAME:	RANGE:	SCALE @ A3:	SHEET NO.
							Symphony 11		As indicated	1
							PROJECT STAGE:	REV NO:	DATE:	
							APPROVAL	2	11.05.2021	

Waikato District Council
Full Application Received
18/05/2021

Waikato District Council
Building Consent Number
BLD2028/21

APPROVED



SITE PLAN_LARGE SCALE
SCALE1 : 1500 1

Narellanpools^o

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ALL DIMENSIONS ARE IN MILLIMETERS. DO NOT SCALE FROM PLANS.

DATE	DESCRIPTION	REV
23.05.2021	APPROVAL	1
11.05.2021	APPROVAL	2

CLIENT'S NAME:

SITE ADDRESS:
223B Waerenga Road
Te Kauwhata 3781, New Zealand
LOT 3 DP357027

SHEET NAME:		JOB NO:	
SITE PLAN_LARGE SCALE		62489	
DESIGN NAME:	RANGE:	SCALE @ A3:	SHEET NO:
Symphony 11		1 : 1500	2
PROJECT STAGE:	REV NO:	DATE:	
APPROVAL	2	11.05.2021	



**KGW CONSULTING
ENGINEERS**

Waikato District Council
Building Consent Number
BLD2028/21

APPROVED

STRUCTURAL DESIGN REPORT

**Swimming Pool Design
223B Waerenga Road, Te Kauwhata**

KGW Consulting Engineers Ltd

Structural Design Report

Waikato District Council

Building Consent

BLD/2021/1

KGW

APPROVED

This report has been prepared for Narellan Pools Waikato by KGW Consulting Engineers Ltd

A person using KGW documents or data accepts the risk of: Using the documents or data in electronic form without requesting and checking for the accuracy against the original hard copy version and using the documents or data for any purpose not agreed to in writing by KGW.

Swimming Pool Design 223B Waerenga Road, Te Kauwhata

Job number	J001192
Original Issue Date	May 2021
Status	For Issue
Revision	0

KGW Consulting Engineers Ltd

24A Empire Street, Cambridge

Email: admin@kgwengineers.co.nz

Website: www.kgwengineers.co.nz

Phone: 027 202 5575

Structural Design Report

Swimming Pool Design
223B Waerenga Road, Te Kauwhata

Waikato District Council
Building Consent Number
BLD2028/21

APPROVED

CONTENTS

- 1.0 –5.0 Design Summary and calculations
- 6.0 PS1

1. GENERAL

1.1. Objective

This Design Features Report (DFR) is a detailed document defining the design criteria for this new in-ground fibreglass swimming pools designed in accordance with the Building Code

BLD 2026/11

1.2. Swimming Pool Description

New in-ground fibreglass swimming pool. Symphony 11M

1.3. Design Standards

The design standards used in the design of the pool are:

The following standards have been used:

- ☒ AS/NZS1170:2001 Structural Design Actions
- ☒ NZS 4441:2008 Swimming Pool Design Standard
- ☒ AS/NZS 1838:1994 Swimming Pools – Premoulded Fibre-Reinforced Plastics - Design and Fabrication
- ☒ AS/NZS 1839:1994 Swimming Pools – Premoulded Fibre-Reinforced Plastics – Installation

2. GEOTECHNICAL AND SOIL CONDITIONS

2.1. Site Soil Conditions and Bearing Pressure

The proposed site is to comply with all requirements of NZS3604:2011 with the following modification:

- Minimum allowable bearing capacity = 50kPa

A suitability qualified engineer is to confirm site specific requirements as required.

3. SERVICEABILITY CRITERIA

3.1 Design Life for Durability

Waikato District Council
Building Consent Number
BLD2028/21

The pool manufacturer is to provide suitable gel coat and material specification to ensure design life.

4. MATERIALS SPECIFICATION

Please refer to structural drawings for all material property requirements.

5. CALCULATIONS

Calculations are based on Fibreglass properties as shown below;

GRP Panel Tests

Tensile strength	= 90MPa
Flexural strength	= 150MPa
Flexural modulus	= 5600MPa
Shear strength	= 70MPa

Pools have been modelled with finite element software shown in figure 1 and 2 below



Figure 1 – Pool loading

Waikato District Council
Building Consent Number
BLD2028/21

APPROVED

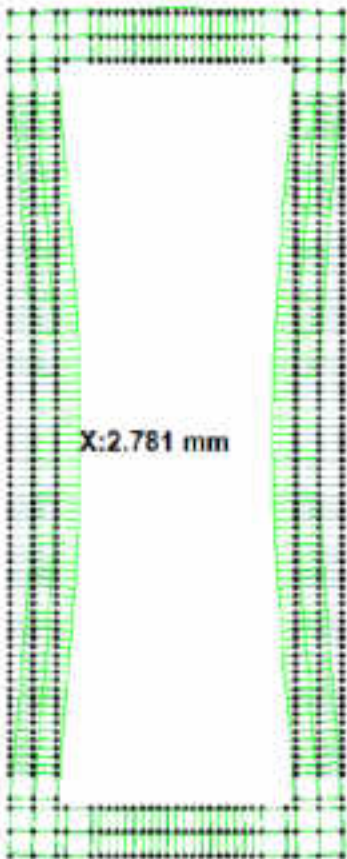


Figure 2 – Deflection Analysis

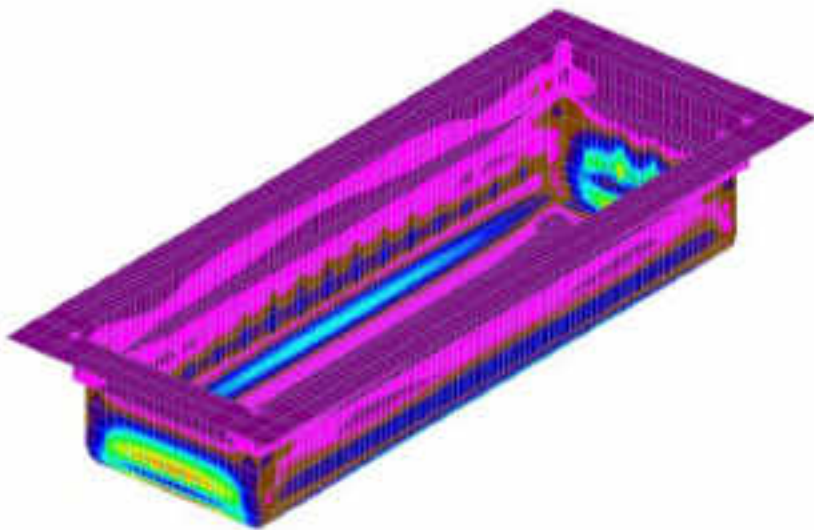


Figure 3 – Pool Stresses

Waikato District Council
Building Consent Number
BLD2028/21

APPROVED

SECTION 6


**association of
consulting and
engineering**

Building Code Clause(s) ...B1.....

PRODUCER STATEMENT – PS1 – DESIGN

Waikato District Council
Building Consent Number
ISSUED BY:
BLD2028/21
TO:
APPROVED
TO BE SUPPLIED TO:

KGW Consulting Engineers Ltd.

(Design Firm)

Samantha Vadam

(Owner/Developer)

Waikato District Council

(Building Consent Authority)

IN RESPECT OF:

New Swimming Pool

(Description of Building Work)

AT:

223B Waerenga Road, Te Kauwhata

(Address)

Town/City:

Waikato

(Address)

LOT.....3.....

DP.....

357027.....

SO.....

We have been engaged by the owner/developer referred to above to provide:

.....Swimming Pool Shell Design.....

(Extent of Engagement)

services in respect of the requirements of Clause(s) B1..... of the Building Code for:

☐ All or ☒ Part only (as specified in the attachment to this statement), of the proposed building work.

The design carried out by us has been prepared in accordance with:

☐ Compliance Documents issued by the Ministry of Business, Innovation & Employment.....or

(verification method/acceptable solution)

☒ Alternative solution as per the attached schedule..... AS/NZS1838:1994.....

The proposed building work covered by this producer statement is described on the drawings titled:

.....Symphony 11.3 MK2.....and numbered.....J000521 03 shts.....;

together with the specification, and other documents set out in the schedule attached to this statement.

On behalf of the Design Firm, and subject to:

(i) Site verification of the following design assumptions ...50kPa allowable bearing capacity and site meets other NZS3604:2011 minimum requirements

(ii) All proprietary products meeting their performance specification requirements;

I believe on reasonable grounds that a) the building, if constructed in accordance with the drawings, specifications, and other documents provided or listed in the attached schedule, will comply with the relevant provisions of the Building Code and that b), the persons who have undertaken the design have the necessary competency to do so. I also recommend the following level of construction monitoring/observation:

☐ CM1 ☒ CM2 ☐ CM3 ☐ CM4 ☐ CM5 (Engineering Categories)

I,Keegan Williams.....am:

(Name of Design Professional)

☒ CPEng #1010192
I am a member of: ☒ Engineering New Zealand and hold the following qualifications:.....MIPENZ, CPEng, IntPE(NZ).....

The Design Firm issuing this statement holds a current policy of Professional Indemnity Insurance no less than \$200,000*.

The Design Firm is a member of ACE New Zealand: ☒
SIGNED BY:.....Keegan Williams.....(Signature)

(Name of Design Professional)

**Keegan
Williams**

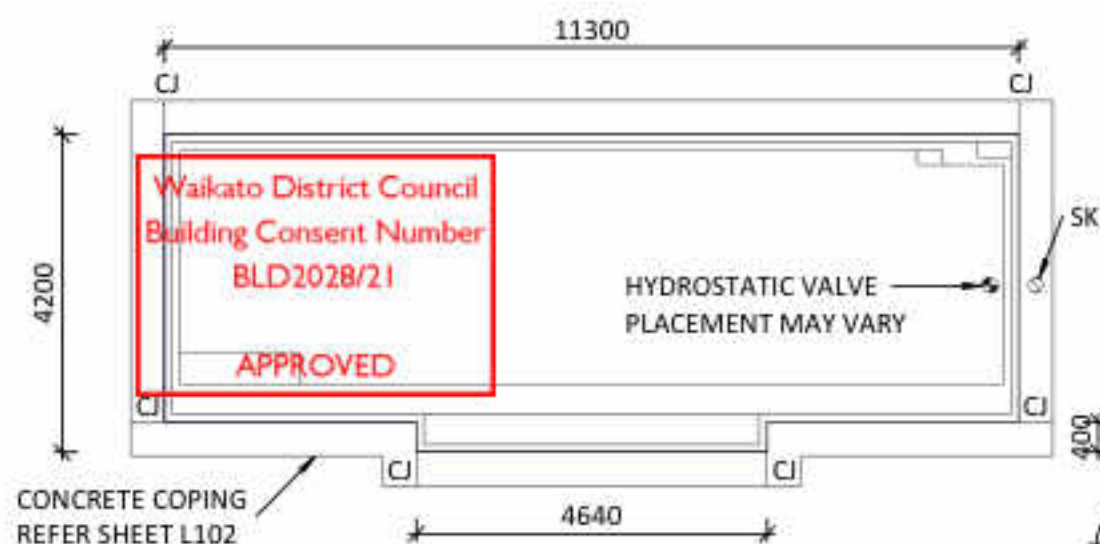
 Digitally signed by
 Keegan Williams
 Date: 2021.05.17
 13:00:17 +12'00'

ON BEHALF OFKGW Consulting Engineers Ltd.....Date.....17/05/2021.....

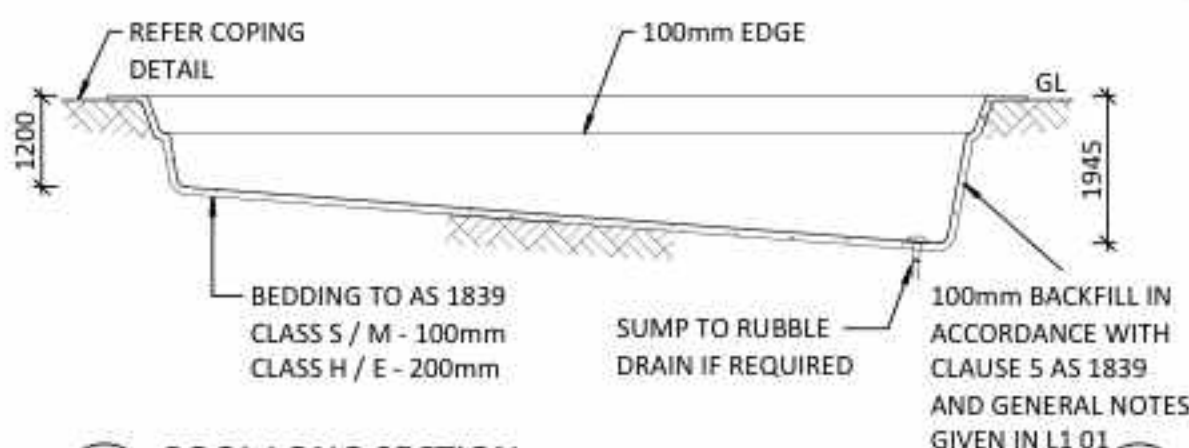
(Design Firm)

Note: This statement shall only be relied upon by the Building Consent Authority named above. Liability under this statement accrues to the Design Firm only. The total maximum amount of damages payable arising from this statement and all other statements provided to the Building Consent Authority in relation to this building work, whether in contract, tort or otherwise (including negligence), is limited to the sum of \$200,000.*

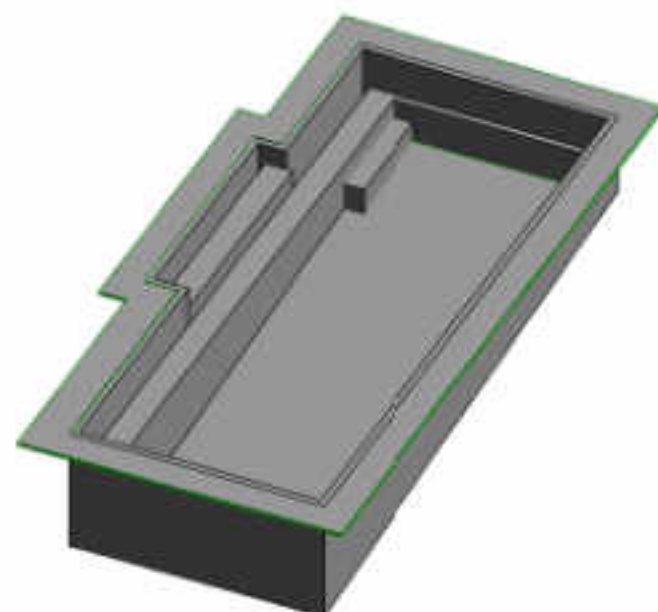
This form is to accompany **Form 2 of the Building (Forms) Regulations 2004** for the application of a Building Consent.
THIS FORM AND ITS CONDITIONS ARE COPYRIGHT TO ACE NEW ZEALAND AND ENGINEERING NEW ZEALAND



1 POOL PLAN
L1 01 Scale 1 : 100



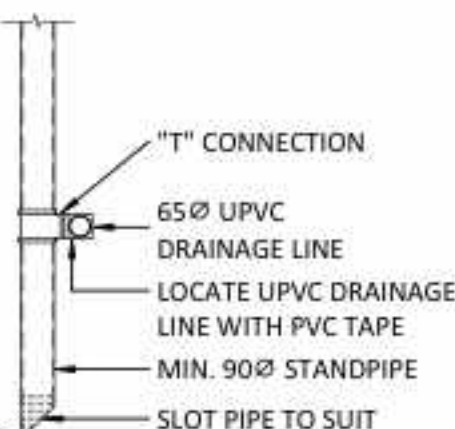
3 POOL LONG SECTION
L1 01 Scale 1 : 100



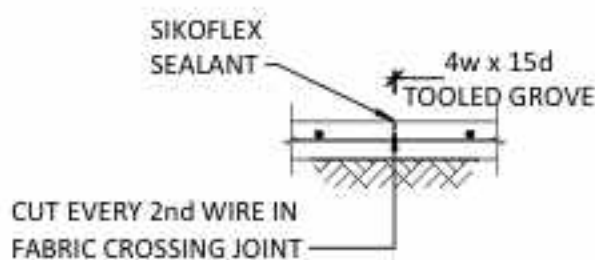
4 SYMPHONY 11.3 MK2 3D
L1 01 Scale



2 CROSS SECTION
L1 01 Scale 1 : 100



5 STANDPIPE DETAIL
L1 01 Scale 1 : 20



6 CONTROL JOINT (CJ)
L1 01 Scale 1 : 20

GENERAL

- G1 CONSTRUCTION AND INSTALLATION OF THE POOL IS TO COMPLY WITH AS/NZS 1838 & 1839 CODES FOR PRE-MOULDED POOLS AND THE REQUIREMENTS OF ALL RELEVANT STATUTORY AUTHORITIES.
- G2 THE REQUIRED FOUNDATION SAFE BEARING PRESSURE TO BE AT LEAST 50kPa ALLOWABLE.
- G3 "A" - "E" SITES REACTIVITY RANGE PER AS 2870. ALL OTHER SITE REQUIREMENTS AS PER NZS3604:2011 ARE TO BE MET FOR IL1 STRUCTURE.
- G4 PROVIDE A NOMINAL 100 THICK (200 THICK H & E SITES) BEDDING LAYERS OF NON-COHESIVE PERMEABLE MATERIAL MAXIMUM SIZE 8mm. THE GRANULAR BASE SHALL BE SCREEDED AND THOROUGHLY COMPACTED TO PROVIDE UNIFORM SUPPORT FOR THE SHELL BASE.
- G5 PLACE A GRAVEL PIT IN THE SUB-FLOOR SECTION BENEATH THE HYDROSTATIC VALVE.
- G6 PROVIDE A MIN 90mm UPVC STANDPIPE (WITH A TEE CONNECTION TO THE 65mm UPVC). PROVIDE A SUBSOIL PERIMETER DRAIN.
- G7 WHEN HANDLING THE POOL, PLACING IN THE EXCAVATION AND LEVELLING UP, LIFT AND HANDLE POOL WITH A CENTRE SPREADER BAR.
- G8 PROVIDE A 100mm THICK (200mm THICK H & E SITES) APPROVED BACKFILL LAYER OF NON-COHESIVE GRADED MATERIAL OF MAX. SIZE 12mm, PRE-BLENDED WITH CEMENT, TO BE INSTALLED IN THE GAP BETWEEN WALL AND SOIL AS SHOWN IN DETAIL 5 / L1 02.
- G9 THE CONCRETE COPING TO BE SUPPORTED ON NATURAL GROUND OR STABILISED FILL MATERIAL IN ACCORDANCE WITH AS/NZS 1839 AND/OR PIERED DOWN TO NATURAL GROUND WITH MINIMUM 150mm Ø CONCRETE PIERS AT 1.2m CENTRES. THE FIBREGLASS SHELL SHALL BE LAID UP WITH A NOMINAL RESIN TO GLASS RATIO OF 1.9:1 TO A THICKNESS OF 5mm OVER 90% OF THE POOL. NO AREA IS TO BE LESS THAN 4mm AND THE COPING NO LESS THAN 8mm.
- G10 RUBBING IS TO COMPRISE OF A CORE SECTION NOT LESS THAN 3mm WITH A COVERING LAYER OF FIBREGLASS AND RESIN TO A NOMINAL GLASS TO RESIN RATIO OF 1.9:1 TO A MINIMUM THICKNESS OF 1.5mm COVERING THE RIB SECTION. THE OVERALL THICKNESS OF RIB SECTION NOT LESS THAN 7mm.
- G11 CONCRETE STRENGTH MINIMUM 20MPa AT 80mm SLUMP MAXIMUM 20mm AGGREGATE. FOR SITES IN ZONE B AS PER NZS3604:2011 SECTION 4. FOR SITES IN ZONE C CONCRETE STRENGTH TO BE 25 MPa. SITES OUTSIDE THESE ZONES TO BE SPECIFIC ENGINEERING DESIGN. LAP LENGTHS TO BE 65mm BAR DIAMETER CORNER BARS TO BE MINIMUM 600 LONG EACH WAY. MESH LAPS TO BE 250mm MINIMUM.
- G12 FILTER TO BE CONNECTED TO SKIMMER BOX AT WATER RETURN PORTS WITH MINIMUM RETURN DIAMETER 40mm UPVC PIPES & FITTINGS & SHALL COMPLY WITH NZS4441:2008 AND ASSOCIATED CODES.
- G13 POOL EMPTYING NOTES: THE POOL OWNER IS TO NOTIFY THE MANUFACTURER BEFORE ATTEMPTING TO EMPTY OR PARTLY EMPTY POOL WATER BELOW THE SKIMMER BOX. NO RESPONSIBILITY FOR DAMAGE TO THE POOL WILL BE ACCEPTED BY THE MANUFACTURER, THE MANUFACTURER'S AGENT OR THE ENGINEER.
- G14 POOL FENCING AND SAFETY SHALL COMPLY WITH THE NEW ZEALAND BUILDING CODE CLAUSE F9. THIS IS OUTSIDE THE SCOPE OF THE POOL SHELL DESIGN.
- G15 ENSURE ALL DIG DEPTHS AND LEVELS ARE CORRECT TO MAINTAIN THE REQUIRED POOL FINISH HEIGHT. IF THE HOLE HAS BEEN DUG TOO DEEP YOU MAY CORRECT THIS WITH BEDDING MATERIAL.
- G16 "WHERE OVER-EXCAVATION" OCCURS UNDER THE POOL, THE ADDITIONAL BASE SHALL BE STABILISED AND THOROUGHLY COMPACTED PRIOR TO THE INSTALLATION OF THE BEDDING MATERIAL.

NOTES:

- THIS DRAWING MUST BE READ IN CONJUNCTION WITH THE RELEVANT SITE PLANS.
- EXTERNAL POOL DIMENSIONS ARE COPING TO COPING.

EXCAVATION

- E1 PRIOR TO COMMERCIAL EXCAVATION, THE CONTRACTOR SHALL DETERMINE THE POSITION OF ALL EXISTING UNDERGROUND SERVICES.
- E2 EXCAVATION SHALL BE CARRIED OUT IN A MANNER SUCH THAT THE EXISTING STRUCTURES ARE NOT DAMAGED AND SHALL REMAIN STABLE.

DRAWINGS

- D1 ALL DIMENSIONS IN MM.
- D2 DO NOT SCALE DRAWINGS. USE STATED DIMENSION ONLY.
- D3 CONTRACTOR TO CHECK ALL DIMENSION PRIOR TO COMMENCEMENT OF ANY WORK, AND TAKE RESPONSIBILITY FOR SETON.
- D4 DRAWINGS TO BE READ IN CONJUNCTION WITH ARCHITECTS DRAWINGS.
- D5 LEGAL BOUNDARIES TO BE CHECKED BY THE CONTRACTOR BEFORE COMMENCING WORK.
- D6 PUBLIC SERVICES NEED TO BE IDENTIFIED BY THE CONTRACTOR BEFORE COMMENCING WORK.
- D7 HEALTH & SAFETY PLAN TO BE DEVELOPED AND ESTABLISHED ON SITE PRIOR TO COMMENCING WORK BY CONTRACTOR.
- D8 CONTRACTOR TO VERIFY ALL STRUCTURAL DRAWINGS ARE THE LATEST CONSTRUCTION ISSUE.

NOTES

NO.	DATE	REVISION DETAILS	BY
A	29-04-21	kPa allowable	MS

KGW CONSULTING ENGINEERS

CAMBRIDGE NEW ZEALAND
TELEPHONE: 027 202 5575
EMAIL: admin@kgwengineers.co.nz
www.kgwengineers.co.nz

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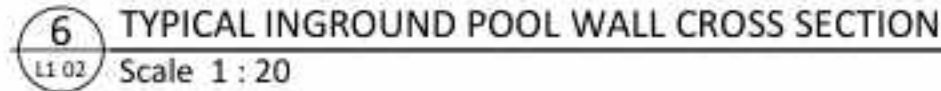
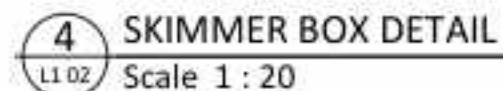
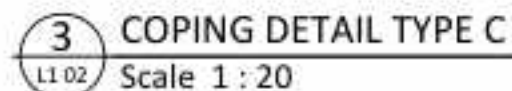
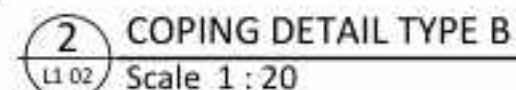
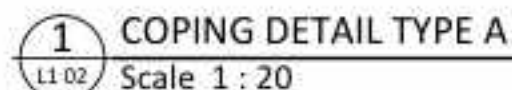
JOB TITLE
SYMPHONY 11.3 MK2

DRAWING TITLE

POOL GENERAL
ARRANGEMENT

DATE	BY	CHECKED	DATE	BY
AUGUST 2020	AL	KW	J000521	
SCALE	A3	L1 01	REVISION	A

Waikato District Council Building Consent Number BLD202801	
SITE CLASS PER AS2870:2011	COPING DETAIL
NON EXPANSIVE	TYPE A
APPROVED	
S	TYPE A
M	TYPE B
H	TYPE C
E	TYPE C



NOTES

NO.	DATE	REVISION DETAILS	BY

KGW
CONSULTING ENGINEERS

CAMBRIDGE NEW ZEALAND
TELEPHONE: 027 202 5575
EMAIL: scott@agoodprinters.co.nz
WWW.AGOODPRINTERS.CO.NZ

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JOB TITLE
SYMPHONY 11.3 MK2

DRAWING TITLE

DETAILS

ISSUING OFFICE	CHARGE	JOB NUMBER	
AL	KW	J000521	
DATE	ISSUING OFFICE	ISSUING OFFICE	REVISION
AUGUST 2020	L1 02	A3	0

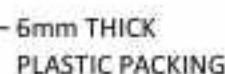
APPROVED



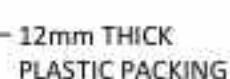
1103



L1 03



1103



L1.03



11.03

1) IN NO CASE EDGE SPACING EXCEEDS INTERMEDIATE SPACING

MAIN DESIGN CODES

AS NZS 1838 1994 FIBRE GLASS POOLS INSTALLATION

GRP COMPOSITE FLEXURAL STRENGTH = 130 MPa

GRP COMPOSITE MODULUS OF ELASTICITY STRENGTH = 7000 MPa

REINFORCING STEEL $f_y = 500$ MPa

[illegible][illegible]

KGW
CONSULTING ENGINEERS

CAMBRIDGE NEW ZEALAND
TELEPHONE: 027 202 5575
EMAIL: scott@agoodprinters.co.nz
WWW.AGOODPRINTERS.CO.NZ

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JOB TITLE
SYMPHONY 11.3 MK2

DRAWING TITLE

RIBS PLACEMENTS AND DETAILS

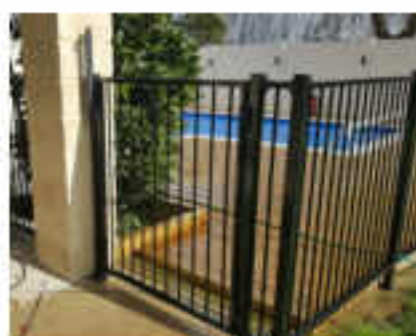
BRANCH	CHECKED	JOB NUMBER	
AL	KW	J000521	
DATE	ISSUING NUMBER		REVISED
AUGUST 2020	L1 03		0
SCALE	A3		

Waikato District Council
Building Consent Number
BLD2028/21

APPROVED

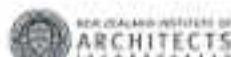
PRODUCER STATEMENT PS1

CLUTHA SWIMMING POOL FENCING (CHINA MADE)



WARNER.

Fences • Path & driveway gates • Auto-gate openers • Balustrades



Building Code Clause(s) B1,B2,F2,F4,F9

PRODUCER STATEMENT – PS1 – DESIGN(Guidance on use of Producer Statements (formerly page 2) is available at www.ipenz.org)

ISSUED BY: P & P CONSULTING ENGINEERS LTD

(Design Firm)

TO: HARKNESS & YOUNG LTD

(Owner/Developer)

TO BE SUPPLIED TO: VARIOUS

(Building Consent Authority)

IN RESPECT OF: DESIGN OF ALUMINIUM SWIMMING POOL FENCE

(Description of Building Work)

AT: VARIOUS SITES FOR UP TO MEDIUM WIND ZONE WITH MAX WIND SPEED UP TO 37.3M/S

(Address)

Town/City:

LOT

DP

SO

(Address)

We have been engaged by the owner/developer referred to above to provide:

STRUCTURAL DESIGN OF ALUMINIUM SWIMMING POOL FENCES

(Extent of Engagement)

services in respect of the requirements of Clause(s) B1,B2,F2,F4,F9 of the Building Code for:

☐ All or ☐ Part only (as specified in the attachment to this statement), of the proposed building work.

The design carried out by us has been prepared in accordance with:

☒ Compliance Documents issued by the Ministry of Business, Innovation & Employment B1/VM1
(verification method/acceptable solution)☐ Alternative solution as per the attached schedule

The proposed building work covered by this producer statement is described on the drawings titled:

HARCO - ALUMINIUM SWIMMING POOL FENCES and numbered 12/170/DS1

together with the specification, and other documents set out in the schedule attached to this statement.

On behalf of the Design Firm, and subject to:

REFER NOTES AT END OF DESIGN CALCULATIONS

- (i) Site verification of the following design assumptions
(ii) All proprietary products meeting their performance specification requirements;

I believe on reasonable grounds that a) the building, if constructed in accordance with the drawings, specifications, and other documents provided or listed in the attached schedule, will comply with the relevant provisions of the Building Code and that b), the persons who have undertaken the design have the necessary competency to do so. I also recommend the following level of construction monitoring/observation:

☐ CM1 ☐ CM2 ☐ CM3 ☐ CM4 ☐ CM5 (Engineering Categories) or ☐ as per agreement with owner/developer (Architectural)

I, PARMIL PRAKASH

(Name of Design Professional)

am: ☒ CPEng 251801 # ☐ Reg Arch #I am a Member of: ☒ IPENZ ☐ NZIA and hold the following qualifications: BE (Civil), CPEng

The Design Firm issuing this statement holds a current policy of Professional Indemnity Insurance no less than \$200,000*.

The Design Firm is a member of ACENZ: ☐

SIGNED BY: PARMIL PRAKASH

(Name of Design Professional)

(Signature)

ON BEHALF OF P & P CONSULTING ENGINEERS LTD

(Design Firm)

Date 10/04/2019

Note: This statement shall only be relied upon by the Building Consent Authority named above. Liability under this statement accrues to the Design Firm only. The total maximum amount of damages payable arising from this statement and all other statements provided to the Building Consent Authority in relation to this building work, whether in contract, tort or otherwise (including negligence), is limited to the sum of \$200,000*.

This form is to accompany Form 2 of the Building (Forms) Regulations 2004 for the application of a Building Consent.
THIS FORM AND ITS CONDITIONS ARE COPYRIGHT TO ACENZ, IPENZ AND NZIA

PRODUCER STATEMENT PS1

Waikato District Council
Building Consent Number
BLD2028/21

APPROVED

WANAKA GLASS POOL FENCING



WARNER.

Fences • Path & driveway gates • Auto-gate openers • Balustrades




 New Zealand
 Institute of Architects
 Incorporated

 Building Code Clause(s) B1, F2, F9
PRODUCER STATEMENT – PS1 – DESIGN

 (Guidance on use of Producer Statements (formerly page 2) is available at www.engineeringnz.org)

Waikato District Council

Building Consent Number

 ISSUED BY: BLD2018/21

P&P CONSULTING ENGINEERS LIMITED

(Design Firm)

TO: WARNER FENCING & GATES LTD

(Owner/Developer)

APPROVED

TO BE SUPPLIED TO: VARIOUS COUNCILS

(Building Consent Authority)

IN RESPECT OF: SWIMMING POOL FENCE SUPPORTED BY WANAKA SPIGOTS

(Description of Building Work)

AT: VARIOUS SITES

(Address)

Town/City: LOT: DP: SO:

(Address)

We have been engaged by the owner/developer referred to above to provide:

STRUCTURAL DESIGN

(Extent of Engagement)

 services in respect of the requirements of Clause(s) B1, F2, F9 of the Building Code for:

☐ All or ☒ Part only (as specified in the attachment to this statement), of the proposed building work.

The design carried out by us has been prepared in accordance with:

☒ Compliance Documents issued by the Ministry of Business, Innovation & Employment B1/M1 of
 (verification method/acceptable solution)

☐ Alternative solution as per the attached schedule.

The proposed building work covered by this producer statement is described on the drawings titled:

 WARNER FENCING & GATES GLASS FENCE BY S/S SPIGOT and numbered 13/243, ENG01

together with the specification, and other documents set out in the schedule attached to this statement.

On behalf of the Design Firm, and subject to:

REFER TO NOTE AT THE END OF DESIGN SUMMARY

(i) Site verification of the following design assumptions

(ii) All proprietary products meeting their performance specification requirements;

I believe on reasonable grounds that a) the building, if constructed in accordance with the drawings, specifications, and other documents provided or listed in the attached schedule, will comply with the relevant provisions of the Building Code and that b), the persons who have undertaken the design have the necessary competency to do so. I also recommend the following level of construction monitoring/observation:

☐ CM1 ☐ CM2 ☒ CM3 ☐ CM4 ☐ CM5 (Engineering Categories) or ☐ as per agreement with owner/developer (Architectural)

I, MR PARMIL PRAKASH

 am: ☒ CPEng 251801
☐ Reg Arch #

(Name of Design Professional)

 I am a member of: ☒ Engineering New Zealand ☐ NZIA and hold the following qualifications: B.E. (CIVIL), CPENG

The Design Firm issuing this statement holds a current policy of Professional Indemnity Insurance no less than \$200,000*.

 The Design Firm is a member of ACENZ: ☐

SIGNED BY MR PARMIL PRAKASH

(Signature)

(Name of Design Professional)

ON BEHALF OF P&P CONSULTING ENGINEERS LIMITED

(Design Firm)

 Date 04/03/2020

Note: This statement shall only be relied upon by the Building Consent Authority named above. Liability under this statement accrues to the Design Firm only. The total maximum amount of damages payable arising from this statement and all other statements provided to the Building Consent Authority in relation to this building work, whether in contract, tort or otherwise (including negligence), is limited to the sum of \$200,000*.

 This form is to accompany Form 2 of the Building (Forms) Regulations 2004 for the application of a Building Consent.
 THIS FORM AND ITS CONDITIONS ARE COPYRIGHT TO ACENZ, ENGINEERING NEW ZEALAND AND NZIA

Waikato District Council
Full Application Received
18/05/2021

P & P CONSULTING ENGINEERS LTD

Civil and Structural Engineering

Mr P. Prakash (Director)

B.E. (Civil), CPENG, MIPENZ

Mr J. Dela Cruz

B.E. (Civil), GIPENZ

Mr H. Yin

B.E. (Civil), GIPENZ

Dr. H.D.W. FENDALL (Consultant)

B.E. (Civil), CPENG, MIPENZ

6A Montel Avenue,
Henderson, AUCKLAND,

0612

Ph. & Fax 09-836-1853

parmil@pnpltd.co.nz

joel@pnpltd.co.nz

hansen@pnpltd.co.nz

Waikato District Council
Building Consent Number
BLD2028/21

APPROVED

04/03/2020

Ref: 13/243

TO WHOM IT MAY CONCERN

Dear Sir/Madam,

B2 COMPLIANCE

You have requested a Producer Statement for Design-PS1 for Clause B2 of the Building Code – Structural Durability.

We are not able to provide this because there is no effective verification method for B2 contained within the Building Code.

However we can confirm that for the structural elements shown on our documentation:

Timber

Timber treatment has been selected in accordance with Table 1A of B2/AS1.

Concrete

Concrete cover have been selected in accordance with NZS3101:2006, Part 1 Section 3.

Mild Steel

Steel protection has been specified in accordance with the "Guide to the protection of structural steel against atmospheric corrosion by the use of protective coatings" AS/NZS3212. We Note that this is on a time to first maintenance basis.

We trust this provides the information that you are seeking.

Yours faithfully,



Mr P Prakash

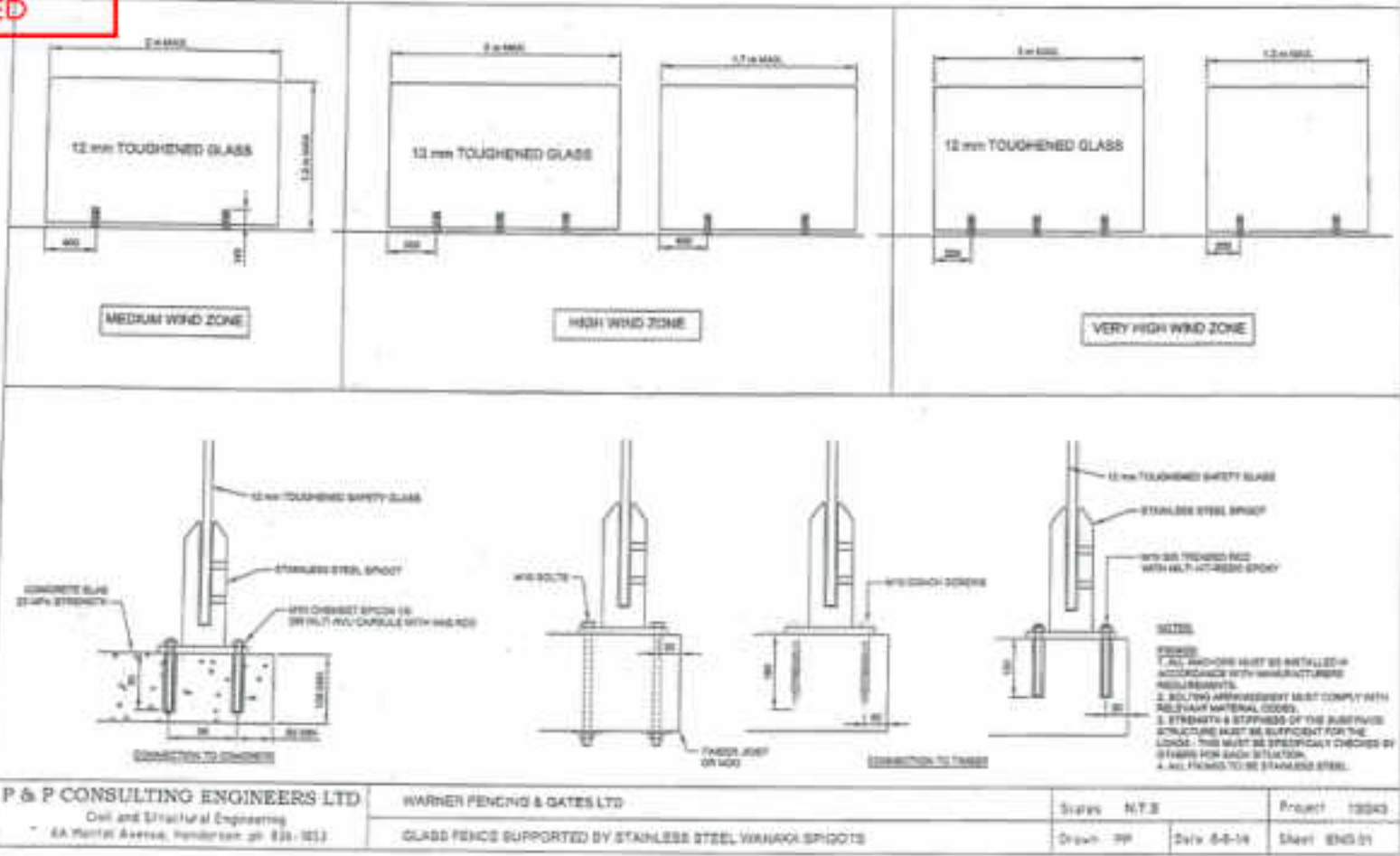
Director

P & P Consulting Engineers Limited

Waikato District Council
Building Consent Number
BLD2028/21

APPROVED

FRAMELESS GLASS SWIMMING POOL FENCE SUPPORTED BY WANAKA SPIGOTS



94 Vickers Street, Te Rapa, Hamilton 3200 | p 07 850 9093 | f 07 850 9026 | m 027 509 8425
waikato@warnerfences.co.nz | www.warnerfences.co.nz



NATA Accredited Laboratory No: 15147



Waikato District Council
Building Consent Number
BLD2028/21

HINGE TEST REPORT

APPROVED

Model No. / Name: Magna Close Safety Hinge

AZT Number: AZT0113.09

Customer: Glass FX Frameless Glass Solutions

Date of Test: 14th July 2009 – 21st July 2009



Address: 160 Newton Rd Wetherill Park NSW 2164 Australia PH: 61(0)29604 6255 FAX: 61(0)29604 0466 Page 2 of 4

Queensland Testing Laboratory Pty Ltd

Test Report: 132647 3248

Latch

Applicable Standard: AS 1926.1 Clause 2.4.2

Figure 2.9 Visual and dimensional and Figure 2.9

COMPLIES

Test requirement	Observation
The following is applicable when the gate is installed to the manufacturer's instructions and requirements.	
2.4.2.1 General Gates shall be fitted with a latch that will automatically operate on the closing of the gate and will prevent the gate from being re-opened without being manually released. <u>The gate shall not be able to be:</u>	The latch prevented the gate from being re-opened without being manually released.
<u>Inadvertently adjusted during operation</u>	Cannot be adjusted
<u>Locked in the "open" position</u>	Cannot be locked open
<u>Adjusted without the use of tools</u>	Not adjustable without use of tools
<u>A latch shall not be able to be released by insertion of any implement in the 10mm opening shown in Figure 2.9</u>	Cannot be opened through insertion of an implement through the opening.
2.4.2.2 Location Where the release point of the latch is located at a height less than 1500mm above the finished ground level, the location of the latch shall: <u>Not be on the outside of the barrier</u>	Latch is located on the inside of the barrier when installed in accordance with the manufacturer's installation instructions.
<u>Be in such a position that to release the latch from the outside it will be necessary to reach over or through the barrier at a height of not less than 1200mm above the finished ground level or not less than 1000mm above the highest lower horizontal member.</u>	Height is 1200mm above the finished ground when installed in accordance with the manufacturer's installation instructions.
<u>Be at least 150mm below the top of the barrier if a hand-hole is not provided, or at least 150 mm below the edge of any hand-hole if provided.</u>	No hand hole is provided
2.4.2.3 Shielding of the latch In a gate with vertical openings greater than 10mm, where the latch is located at a height less than 1500 mm above the finished ground level, the latch release shall be shielded so that no opening greater than 10mm occurs within the bounded area as shown in Figure 2.9	The vertical opening is less than 10mm

Product Tested

Manufacturer:	Glass Outlet
Brand:	Master Range
Model Nos:	Not provided
Model Name:	Master Range Glass Gate Installation Kit
Description:	Master Range Inline & Hinges with 8mm thick 890mmW x 1200mmH glass gate fitted with D&D side pull latch kit.

Waikato District Council
 Building Consent Number
 BLD2028/2

APPROVED

Queensland Testing Laboratory Pty Ltd

Test Report: 132647 3248

Component Description

Sample Number	Description	Photo / Product / Component
3427	Side pull glass gate latch kit	

Print Date: 18 June 2025, 12:01 pm



Narellan Pools Waikato

J&J Patterson Ltd trading as
Narellan Pools Waikato
P O Box 12547
Chartwell, Hamilton.

jacque@jandjpatterson.co.nz
07 850 1662

Waikato District Council
Building Consent Number
BLD2028/21

APPROVED

Narellan Pools Waikato – Temporary Fencing used on sites as per photo





Narellan Pools Waikato

J&J Patterson Ltd trading as
Narellan Pools Waikato
P O Box 12547
Chartwell, Hamilton.

jacque@jandjpatterson.co.nz
07 850 1662

Waikato District Council
Building Consent Number
BLD2028/21

APPROVED

DETAILS OF BACKWASH PIT – WATER DISCHARGE

The backwash dimensions are 1.8m wide x 1.8m long x 1.6m deep.

Total area of 5184m³

Filled with large crushed concrete, leaving voids of approximately 1.5m³

Pit is covered in AP24 bitum cloth.

The water is filtered by a ZT700B Zodiac filter.

We use glass media within the filter which is a superior alternative to sand filtration and provides superior water clarity that cuts backwashing up to 50% and filters down to 3 microns.

Backwashing and average of twice a week for 30 seconds running time via the 50mm skimmer with Zodiac EPUMP delivers 300 litres/minute totalling 150 litres per backwash.

Calculation = 1.5m³ or 1500 litres of available space in pit.

Backwashing of 150 litres = 1500 litres divided by 150 litres = 10% usage therefore 90% free space.

Debris is caught in the skimmer basket and pump basket and is disposed of prior to entering the filter

Watts AquaGuard

Hose Connection Vacuum Breaker Device (BHCV)

Sizes

Hazard Rating

Must be registered

Standard

AS2845.1

Testable

Protection against back pressure

and back-siphonage?

APPROVED

To suit 15mm and 20mm hose taps

Low

No

AS2845.1

No

Back-siphonage only, however AquaGuard will withstand small amounts of back pressure that could occur if the end of the hose is higher than the hose tap

COMPACT
HIGH FLOW DESIGN

Pressure & Temperature

- Working Pressure: 1400kPa
- Test Pressure: 2000kPa
- Maximum Working Temperature: 42°C

Testing & Maintenance requirements

No testing required. Check regulatory Authority requirement

Specific Installation Requirements

Features

- Large flow passages
- Footproof design reduces chance of disabling through closing off vent holes
- Far Exceeds the requirements of AS2845.1 for flow capacity and pressure loss

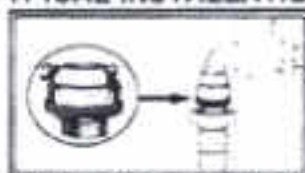
Specific Installation Requirements

- Shall not, under normal operation, be subject to continuous pressure
- To be vented to atmosphere
- If the device is removed, another device of equal or greater hazard rating to be installed in the water supply
- Have no isolation valves located downstream of the vacuum breaker. (This includes solenoids, shut off devices and automatic valves)
- Not to be subject to freezing temperatures
- For use with irrigation sprinkler heads less than 150mm above ground level. The AquaGuard should be located 450mm above the highest outlet. Not to be used with injection systems

AQUAGUARD MODEL BHCV50



TYPICAL INSTALLATION



COMPLIES WITH AS3500.1 (TABLE 4.2) FOR USE ON ALL EXTERNAL HOSE TAPS

RMC™ GIVES YOU THE BEST FLOW RATES FOR THIS TYPE OF VALVE (36 l/min at 175kPa)

<http://www.relianceworldwide.co.nz/product/aquaguard.htm>

12/02/2013

Pool Volumes & Measurements

Waikato District Council
Building Consent Number
BA02018/21
APPROVED

Model	Volume	Length	Width	Depth	5 or 7mm Aggregate Quantity Tonnes**	Backfill Amount tonne***	Concrete Bond Beam 360mm Volume m3	Cement Bags****	Surface Area (Sqm)	Perimeter (mm)
Atlantis 4	23,000	6.3	3.8	1.05 - 1.50	3	8	1.2	32	19.022	17069
Atlantis 7	26,000	7.3	4.2	1.05 - 1.60	3	9	1.3	36	25.400	19865
Atlantis 8	28,000	8.3	4.2	1.05 - 1.70	4	10	1.4	40	29.440	21898
Atlantis 9	39,000	9.3	4.2	1.05 - 1.80	4	12	1.5	48	33.610	23908
Atlantis 10	43,000	10.3	4.2	1.10 - 1.90	5	15	1.7	60	36.909	25827
Atlantis 12	52,000	12.0	4.3	1.10 - 2.10	5	18	1.8	72	44.576	29307
Eden 3 Slimline	11,000	5.0	2.1	1.65	1	7	1.2	28	8.339	12746
Eden 3.5	15,000	3.5	3.5	1.65	2	7	1.2	28	8.835	13220
Eden 4.5	20,000	4.5	3.5	1.65	2	8	1.2	32	13.253	14558
Eden 5.5	25,000	5.5	3.5	1.65	2	9	1.2	36	16.336	12746
Grandeur 7	26,000	7.3	4.2	1.20 - 1.65	3	10	1.4	40	27.447	21668
Grandeur 9	37,000	9.3	4.2	1.20 - 1.80	4	14	1.6	56	35.390	25669
Grandeur 11	49,000	11.3	4.2	1.20 - 1.95	5	18	1.9	72	42.820	29753
Nirvana 5	12,000	5.3	2.9	0.5 - 1.45	2	9	1.2	36		
Nirvana 6	15,000	6.3	2.9	0.5 - 1.45	2	10	1.2	40		
Nirvana 7	18,000	7.3	2.9	0.5 - 1.45	3	11	1.3	44		
Panama 5	11,500	5.3	2.5	1.45	2	7	1.2	28		
Panama 8	18,000	8.3	2.5	1.45	2	10	1.5	40		
Panama 11	25,000	11.3	2.5	1.45	3	13	1.9	52		
Serene 6	20,000	6.3	3.8	1.2-1.55	2	7	1.3	28		
Serene 7	25,000	7.3	3.8	1.2-1.65	3	8	1.4	32		
Serene 8	30,000	8.3	3.8	1.2-1.75	3	10	1.5	40		
Serene 9	35,000	9.3	3.8	1.2 - 1.8	4	11	1.6	44		
Symphony 5	14,000	5.3	3.5	1.2 - 1.45	2	8	1.2	32		
Symphony 6	19,000	6.3	3.5	1.20 - 1.55	2	10	1.3	40	17.118	17794
Symphony 7	23,000	7.3	3.9	1.20 - 1.65	3	12	1.4	48	23.322	20922
Symphony 8	30,000	8.3	4.2	1.20 - 1.73	4	14	1.5	56	29.555	23623
Symphony 9	38,000	9.3	4.2	1.20 - 1.80	4	16	1.6	64	32.876	25605
Symphony 10	42,000	10.3	4.2	1.20 - 1.95	4	18	1.8	72	37.181	27569
Symphony 11	46,000	11.3	4.2	1.20 - 1.95	5	20	1.9	80	40.663	29593
Symphony 12	50,000	12.0	4.2	1.20 - 1.99	5	22	2.1	88	42.904	30846
Wading Pool										
Harmony	1,900	3.5	2.0	0.40	1	3	1.0	12		
Spa										
Neptune Spa	2,200	2.60	2.40	0.90	1	4	1.0	16	5.004	8958

** Salt and Magnapool quantities required will vary depending on existing levels in water used to fill the pool.

** Based on 100mm bed and with allowance for error in excavation

*** Based on a 200mm Backfill from Shell to Wall of excavation to allow for variation intolerances

**** Based on a pre-mix ratio sand/cement of 14:1 eg. 4 x 20 kg bags of cement to the tonne.

NOTE - more cement needed if mixed onsite as per AS1839:1994

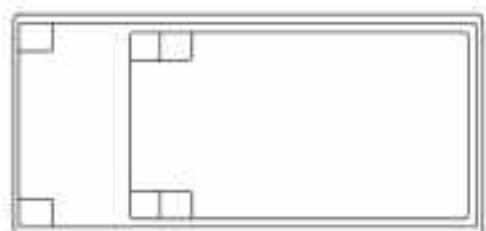
I.e., Dry hand mix on site is sand/cement mix of 6:1 by volume or 2.5 times the above cement



Nirvana

The Nirvana captures the essence of luxury and relaxation. With a resort style splash deck, deep swimming area and long contemporary lines, it's been created to bring peace and tranquillity into modern life.

NAME	LENGTH	WIDTH	DEPTH
Nirvana 5	5.0m	2.7m	1.45m
Nirvana 6	6.0m	2.7m	1.45m
Nirvana 7	7.0m	2.7m	1.45m



Free Standing Option

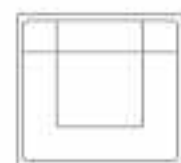
You can now build the pool of your dreams in backyards which previously would of been deemed cost prohibited or impractical. The specially engineered pool shells allows you the flexibility to work with your expert pool builder to design a backyard that suits both your budget and lifestyle.

Available on all designs 9m and under.

Spa and Wading Pool

The popular Neptune Spa and Harmony Wading Pool have been designed to complement and enhance the look of any of our inground swimming pools.

NAME	LENGTH	WIDTH	DEPTH
Neptune	2.40m	2.20m	0.90m
Harmony Wading Pool	3.25m	1.75m	0.40m



Neptune



Harmony

More options than most

Automation: Sit back, relax and let our fully automated system's control your swimming pool's temperature, cleaning and even your water chemistry without you having to lift a finger.

Sunpods & Water Features: Sunpods and water features enhance the visual look of your swimming pool, we can help create a magical look to complement any Narellan Pool.

Swim Jets: Creating an artificial current to swim against for therapy, fitness and aerobic exercise, our swim jets allow swimmers the physical training they require.

Spa Jets & Bubbling Spa Nooks: Relax and unwind, let your pool give you a massage with our in-pool spa inclusions. Choose from either Venturi spa jets or an air manifold system. For maximum effect ask us about having both installed.

Pool Blankets: Did you know that evaporation is one of the major causes of water loss from swimming pools?

When you purchase a Narellan Pool, ask about a fitted pool blanket, which helps to reduce evaporation and water loss by 97% and helps keep your pool warm.

Cleaners: A clean pool is an inviting pool, and we offer a range of pool cleaners to keep your pool sparkling all year round. Ranging from robotic to suction cleaners, we will assist you to find an option which will suit your lifestyle and budget.

Lights: Colour your world with our range of innovative lighting solutions. Installing lights in your pool creates a magical look at night.

Heating: With our range of quality heating systems for your pool, you get the benefits of stable water temperature and an extended swim season. The three types of heating systems are solar, heat pumps and gas. These can be used separately or in conjunction with each other. Ask us about the best solution for your pool.



Disclaimer: Dimensions are internal length and width at the top of the coping. For external measurements refer to website. Depth is from deepest part of internal shell to coping. Some measurements rounded. The colours are a representation only & may not represent the final product. Every effort has been made to ensure the accuracy of the information and illustrations within this catalogue at the time of print. You acknowledge that such information, illustrations and colours may contain inaccuracies and we expressly exclude liability for any such inaccuracies to the fullest extent permitted by law. Your use of any information provided is entirely at your own risk, for which Narellan Pools (NZ) Pty Ltd and any of its Body Corporate shall not be liable. It shall be your own responsibility to ensure that any information received from this catalogue meets your specific requirements.



MOST LOVED POOLS



Build with Absolute Confidence

Narellan Pools, New Zealand's favourite swimming pools are now made in NZ.



You can now have the peace of mind of buying a NZ made fibreglass pool without having to compromise on quality. Over 45 years of innovation, engineering and composite development has resulted in the creation of the world's best fibreglass pool.

Our unique fibreglass formula provides you with a technically brilliant pool that will withstand all climate conditions and soil types in any location, all this from a pool handcrafted right here in Aotearoa.

Narellanpools^o

narellanpools.co.nz | 0508 4 76657

Narellan^o pools

Waikato District Council
Full Application Received

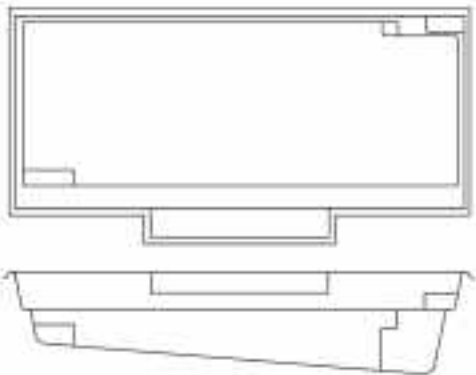
Print Date: 18 Jun 2025 02:01 pm



Symphony

The Symphony is the perfect fusion of elegance, style and sophistication. This is the pinnacle of design with its contemporary clean lines and functional appeal, making it the ideal extension to your home.

NAME	LENGTH	WIDTH	DEPTH
Symphony 6	6.0m	3.1m	1.20m - 1.55m
Symphony 7	7.0m	3.6m	1.20m - 1.65m
Symphony 8	8.0m	3.9m	1.20m - 1.73m
Symphony 9	9.0m	3.9m	1.20m - 1.80m
Symphony 10	10.0m	3.9m	1.20m - 1.86m
Symphony 11	11.0m	3.9m	1.20m - 1.95m
Symphony 12	11.7m	3.9m	1.20m - 1.99m



* Dimensions are internal length and width at the top of the coping. Depth is from deepest part of internal shell coping. Some measurements are rounded. Refer to website for external dimensions.

Serene

The Serene is the perfect balance of functionality and style. With an unobstructed swim corridor and long bench seat, this is the ideal choice for entertaining and fun.

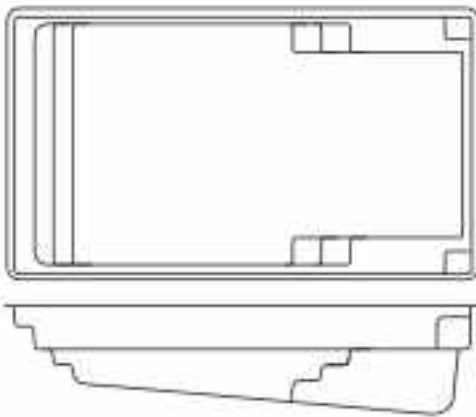
NAME	LENGTH	WIDTH	DEPTH
Serene 6	6.0m	3.5m	1.20m - 1.55m
Serene 7	7.0m	3.5m	1.20m - 1.65m
Serene 8	8.0m	3.5m	1.20m - 1.75m
Serene 9	9.0m	3.5m	1.20m - 1.80m



Grandeur

Our classic pool design, the Grandeur is the pinnacle of style and distinction. With its grand, elegant staircase entry, this pool is the perfect addition for any home.

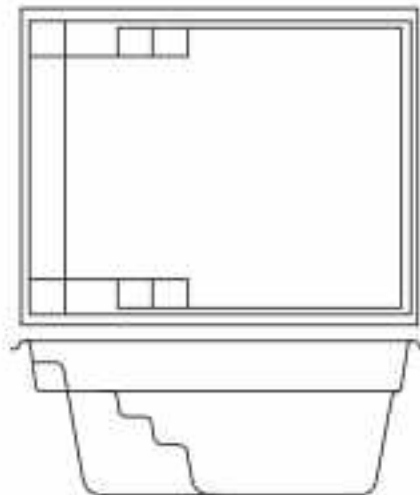
NAME	LENGTH	WIDTH	DEPTH
Grandeur 7	7.0m	4.0m	1.20m - 1.65m
Grandeur 9	9.0m	4.0m	1.20m - 1.80m
Grandeur 11	11.0m	4.0m	1.20m - 1.95m



Eden

With its compact shape, contemporary style, and streamlined design, the Eden is perfect for smaller spaces.

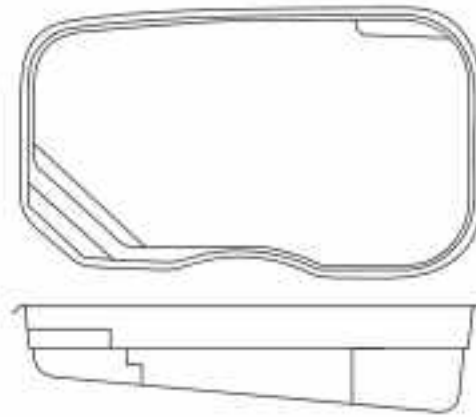
NAME	LENGTH	WIDTH	DEPTH
Eden 3.5	3.2m	3.2m	1.65m
Eden 4.5	4.2m	3.2m	1.65m
Eden 5.5	5.2m	3.2m	1.65m
Eden 5.5 Slimline	4.75m	1.85m	1.65m



Atlantis

The Atlantis has been designed with family in mind. With its soft edges and smooth lines this is the ideal solution for lap swimming and family fun.

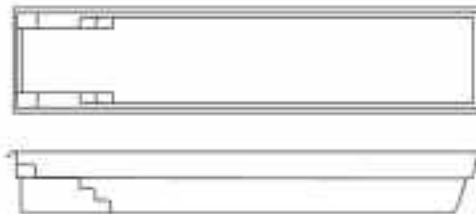
NAME	LENGTH	WIDTH	DEPTH
Atlantis 8	8.0m	3.95m	1.05m - 1.70m
Atlantis 10	10.0m	3.95m	1.10m - 1.90m
Atlantis 12	11.75m	3.95m	1.10m - 2.10m



Panama Lap Pool

Keep fit in the comfort of your own backyard with our latest lap pool design. With a single depth throughout, the Panama Lap Pool is perfect for swimming laps with room the whole family can enjoy.

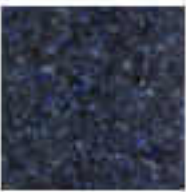
NAME	LENGTH	WIDTH	DEPTH
Panama 5	5.0m	2.3m	1.45m
Panama 8	8.0m	2.3m	1.45m
Panama 11	11.0m	2.3m	1.45m



Marbleglass™ Range

Using the latest Gelcoat technology, Marbleglass is the ultimate in modern design. With better chemical resistance, and more flexibility, your Marbleglass pool will look beautiful for years to come.

Blues



Blue Azurite



Blue Agate

Sands/Stones



Summer Pearl



Bondi Sand

Monochromatic



Black Onyx



Silver Pearl



Whitehaven Pearl

Greens



Green Malachite



Green Jadeite

Crystal Granite Range

A classic, our Crystal Granite colour range is the perfect example of practical style. Built with nonabrasive surfaces, these pools are as durable as they are beautiful.



Bermuda Blue



Cobalt Blue



Coral Blue

Watts AquaGuard

Hose Connection Vacuum Breaker Device (BHCV)

Sizes

Hazard Rating

Must be registered

Standard

Testable

Protection against back pressure and back-siphonage?

APPROVED

To suit 15mm and 20mm hose taps

Low

No

AS2845.1

No

Back-siphonage only, however AquaGuard will withstand small amounts of back pressure that could occur if the end of the hose is higher than the hose tap

**COMPACT
HIGH FLOW DESIGN**

Pressure & Temperature

- Working Pressure: 1400kPa
- Test Pressure: 2000kPa
- Maximum Working Temperature: 42°C

Testing & Maintenance requirements

No testing required. Check regulatory Authority requirement

Specific Installation Requirements

Features

- Large flow passages
- Footproof design reduces chance of disabling through closing off vent holes
- Far Exceeds the requirements of AS2845.1 for flow capacity and pressure loss

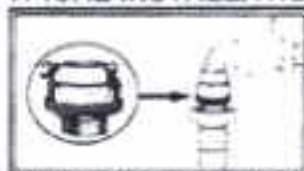
Specific Installation Requirements

- Shall not, under normal operation, be subject to continuous pressure
- To be vented to atmosphere
- If the device is removed, another device of equal or greater hazard rating to be installed in the water supply
- Have no isolation valves located downstream of the vacuum breaker. (This includes solenoids, shut off devices and automatic valves)
- Not to be subject to freezing temperatures
- For use with irrigation sprinkler heads less than 150mm above ground level. The AquaGuard should be located 450mm above the highest outlet. Not to be used with injection systems

AQUAGUARD MODEL BHCV50



TYPICAL INSTALLATION



COMPLIES WITH AS3500.1 (TABLE 4.2) FOR USE ON ALL EXTERNAL HOSE TAPS

RMC™ GIVES YOU THE BEST FLOW RATES FOR THIS TYPE OF VALVE (36 l/min at 175kPa)

<http://www.relianceworldwide.co.nz/product/aquaguard.htm>

12/02/2013

Earth leakage protection to be provided for in areas where there is increased risk to human safety in the form of either RCDs at the distribution board, or socket outlet. RCDs are recommended for visible awareness of protection.

3.23

LABELLING

Include label under each controller, switch and circuit breaker on distribution boards. Include a warning notice if light dimmers are used in the installation. List the rating of each circuit.



Part 1: Introduction and general provisions / How the plan works / Relationships between spatial layers

Relationships between spatial layers [000047, 000055, 000078]

The District Plan uses a range of spatial layers that are shown on planning maps including zones, overlays, site-specific controls, development areas and designations. The function of each spatial layer is set out in the National Planning Standards, November 2019, as follows:

Zones

A zone spatially identifies and manages an area with common environmental characteristics or where environmental outcomes are sought, by bundling compatible activities or effects together, and controlling those that are incompatible. The spatial area of each zone is shown on the planning maps. Every part of the district (except for roads) is in one zone and the zones do not overlap.

Overlays

As well as zones, there are various overlays (such as Outstanding Natural Landscapes and Significant Natural Areas) and sites/features (such as Historic Heritage buildings). An overlay spatially identifies distinctive values, risks or other factors which require management in a different manner from underlying zone provisions.

Site-specific controls

Site-specific control spatially identifies where a site or area has provisions that are different from other spatial layers or district-wide provisions that apply to that site or area.

Precincts

A precinct spatially identifies and manages an area where additional place-based provisions apply to modify or refine aspects of the outcomes anticipated in the underlying zone(s).

Designations

A designation is a provision in a district plan for a public work or project. Only a requiring authority can give notice of a requirement for a designation.

Land Information Memorandum Property Maps

223 B Waerenga Road TE KAUWHATA

Created:

Thursday 18 June 2026 10:41:27



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LAND INFORMATION

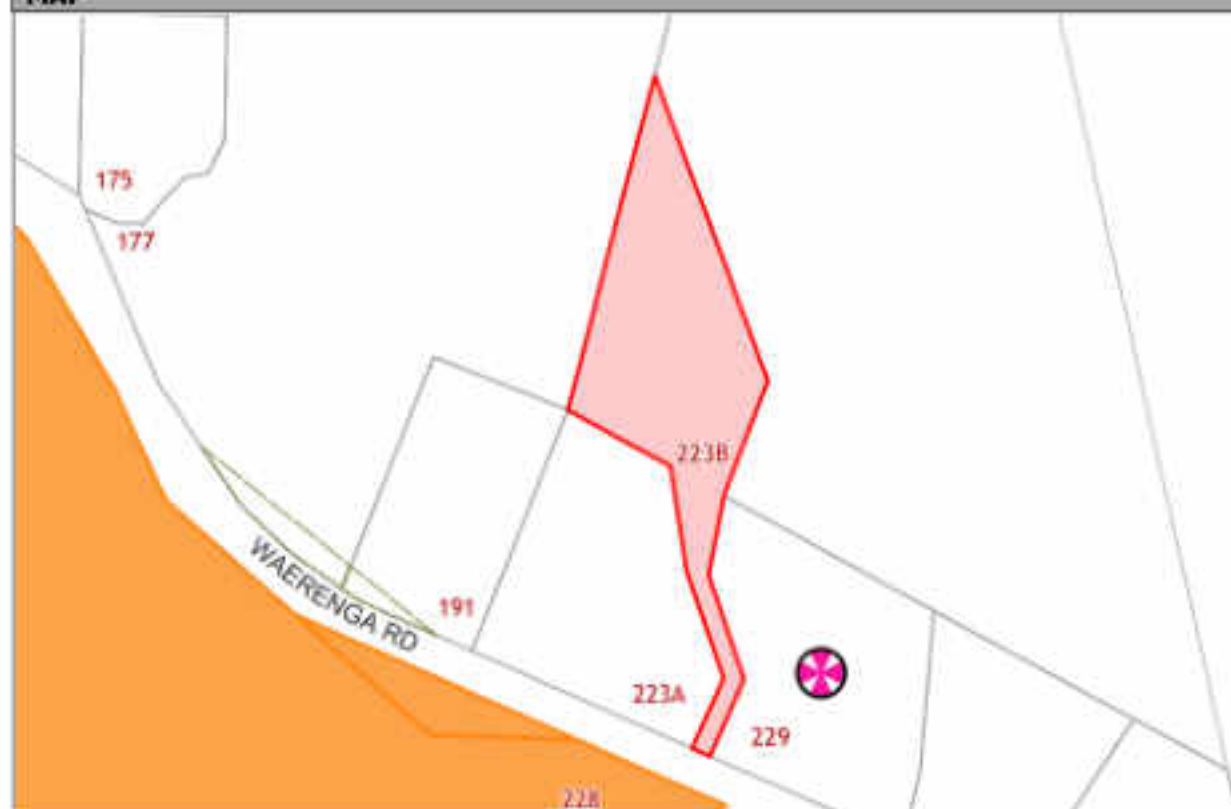
Land Information	
Land No	535563
Linz No /Parcel ID	6820310
Legal Desc	Lot 3 DP 357027
Land Area	1.3590

LAND RESOURCE MAP

LEGEND

 Subdivisions	 River Environment
 Subdivision Status	 Easement
☐  1	 Natural Hazard Register
☐  2 - Clearance	☐  Alluvion
☐  3 - 223	☐  Erosion
☐  4 - 224	☐  Falling Debris
☐  5 - Declined	☐  Fill
	☐  Inundation
	☐  Slippage
	☐  Subsidence
	☐  Waikato Coal Measures
	 Land Hazards
	☐  Advisory HAIL
	☐  Advisory
	☐  Contamination

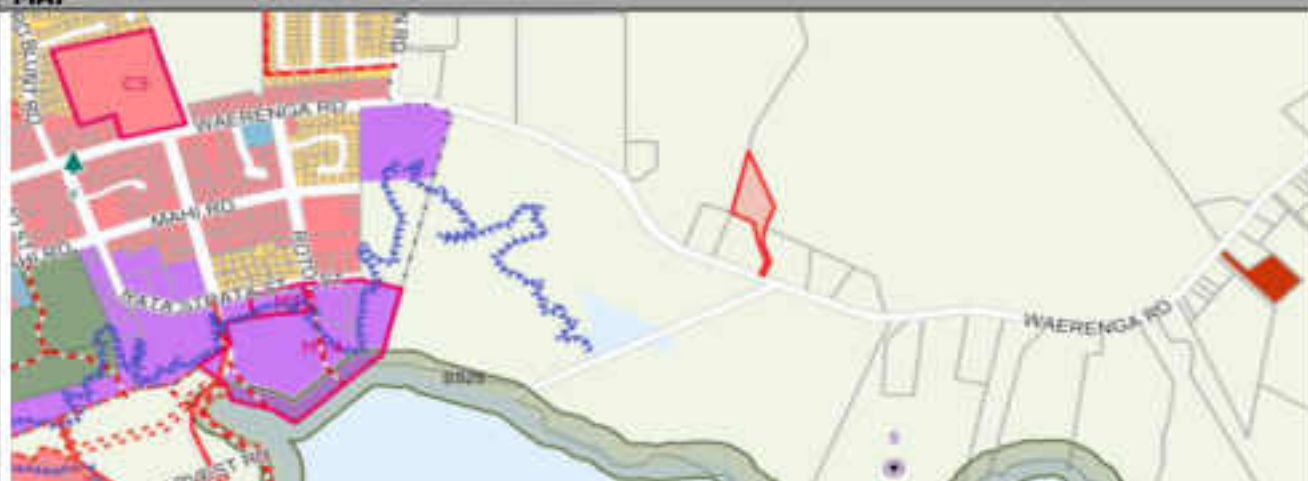
MAP



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Land Resource Information			
Property No	2008840	Assessment	04390/476.14
Property Address	223 B Waerenga Road TE KAUWHATA		
Land Hazard HAIL Register			
Hazard Type			
Description			
No data available			
Land Cover – Slope	C +B		
Land Cover - Rock	Mo		

MAP



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Operative District Plan Information

Property No	2008840	Assessment	04390/476.14
Property Address	223 B Waerenga Road TE KAUWHATA		
Zone	Rural,		
Policy/Special Control	Waikato River Catchment,		

WAIKATO DISTRICT PLAN – OPERATIVE IN PART MAP

LEGEND

Refer Separate Legend

MAP



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Waikato District Plan – Operative in Part Information

Property No	2008840	Assessment	04390/476.14
Property Address	223 B Waerenga Road TE KAUWHATA		
Zone	GRUZ - General rural zone,		
Overlay	Defended area, Waikato River catchment,		



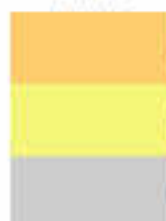
Waikato District Plan - Operative in Part **Map Legend**

OPERATIVE

ZONES



Zones



MR22 - Medium density residential zone 2

GRZ - General residential zone

OHI - Ohinewai zone

OVERLAYS



Precincts



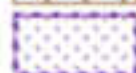
Precincts



Specific controls Residential zones



Geotechnical limitation area



Tuurangawaewae Marae surrounds



Tuurangawaewae Marae Outlook High Potential Effects Area



Tuurangawaewae Marae building Height Assessment Overlay



Outer intensification area

OPERATIVE IN PART

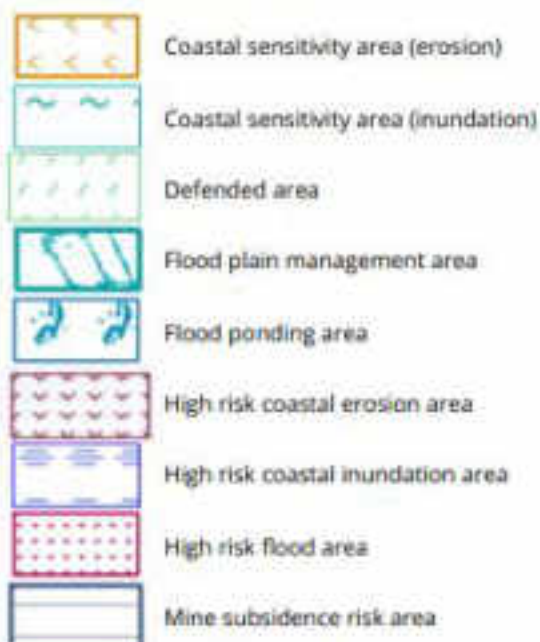
OVERLAYS

District-wide matters

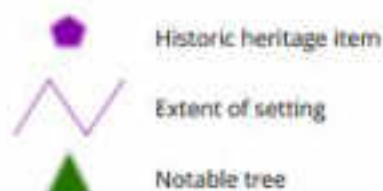
Energy, infrastructure and transport



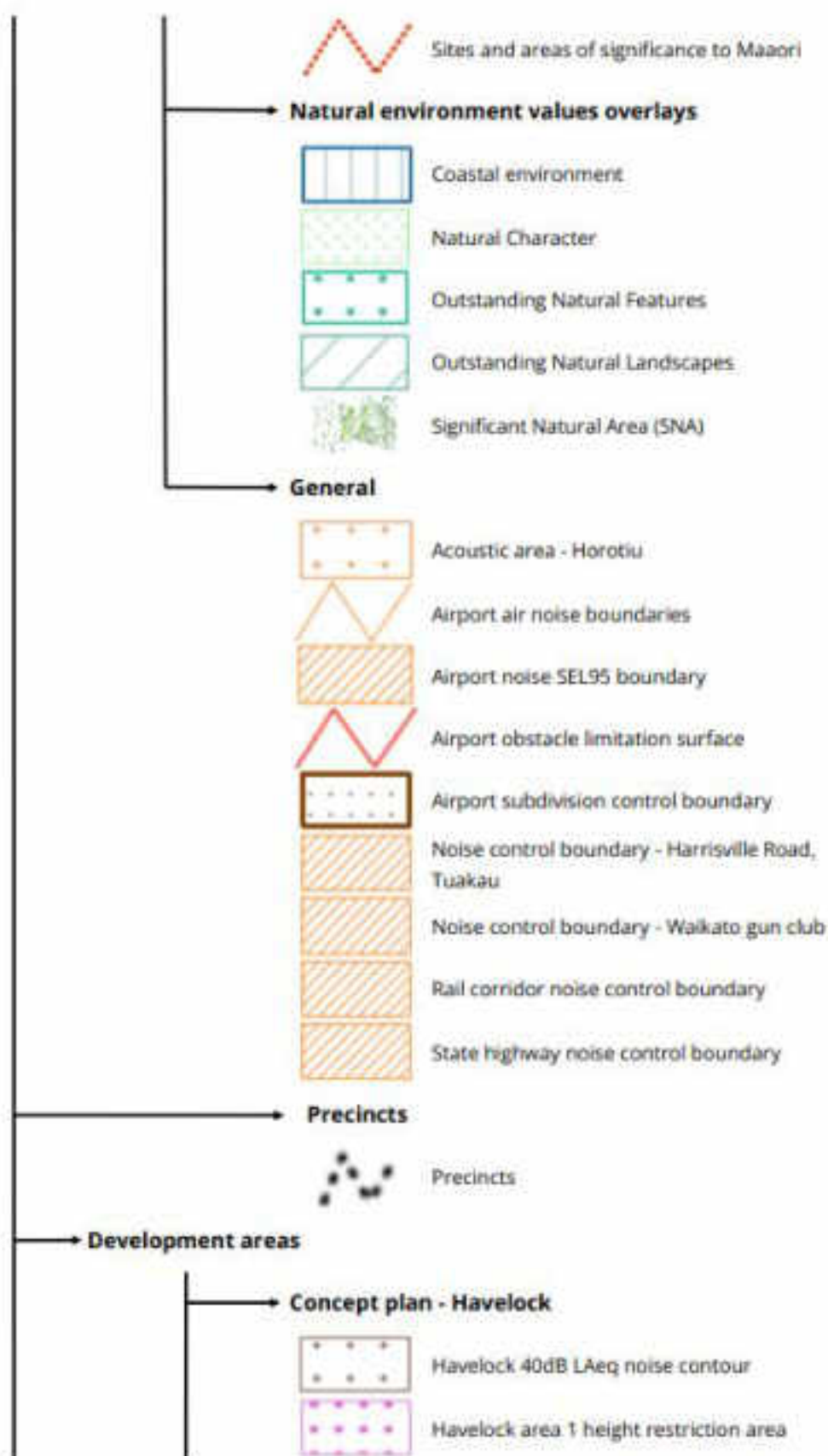
Hazards and risks overlays

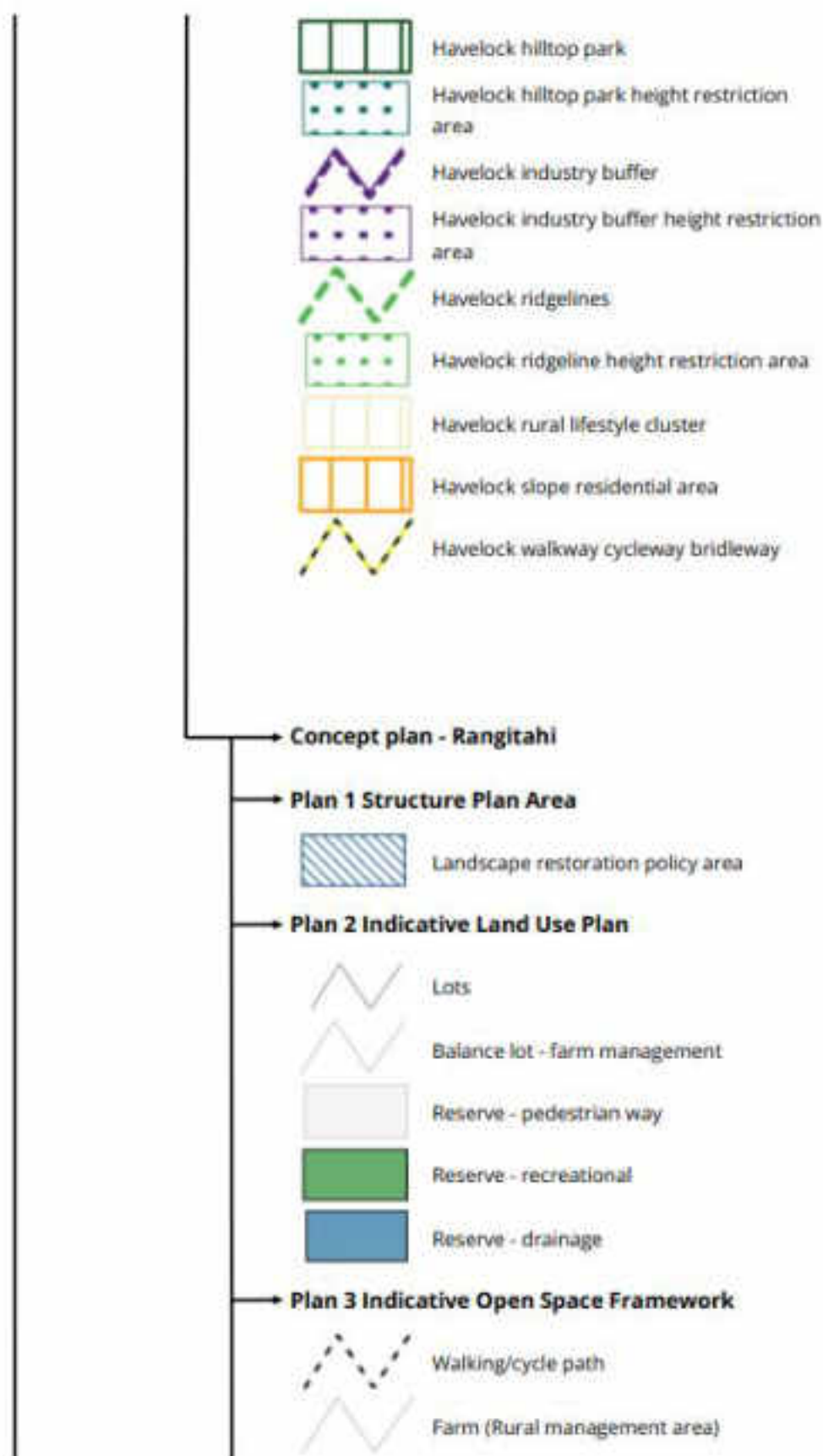


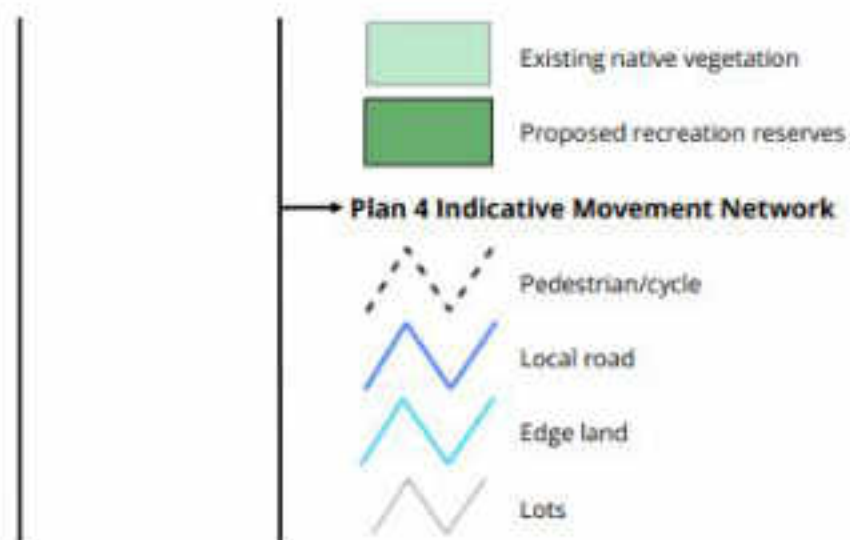
Historical and cultural values overlays

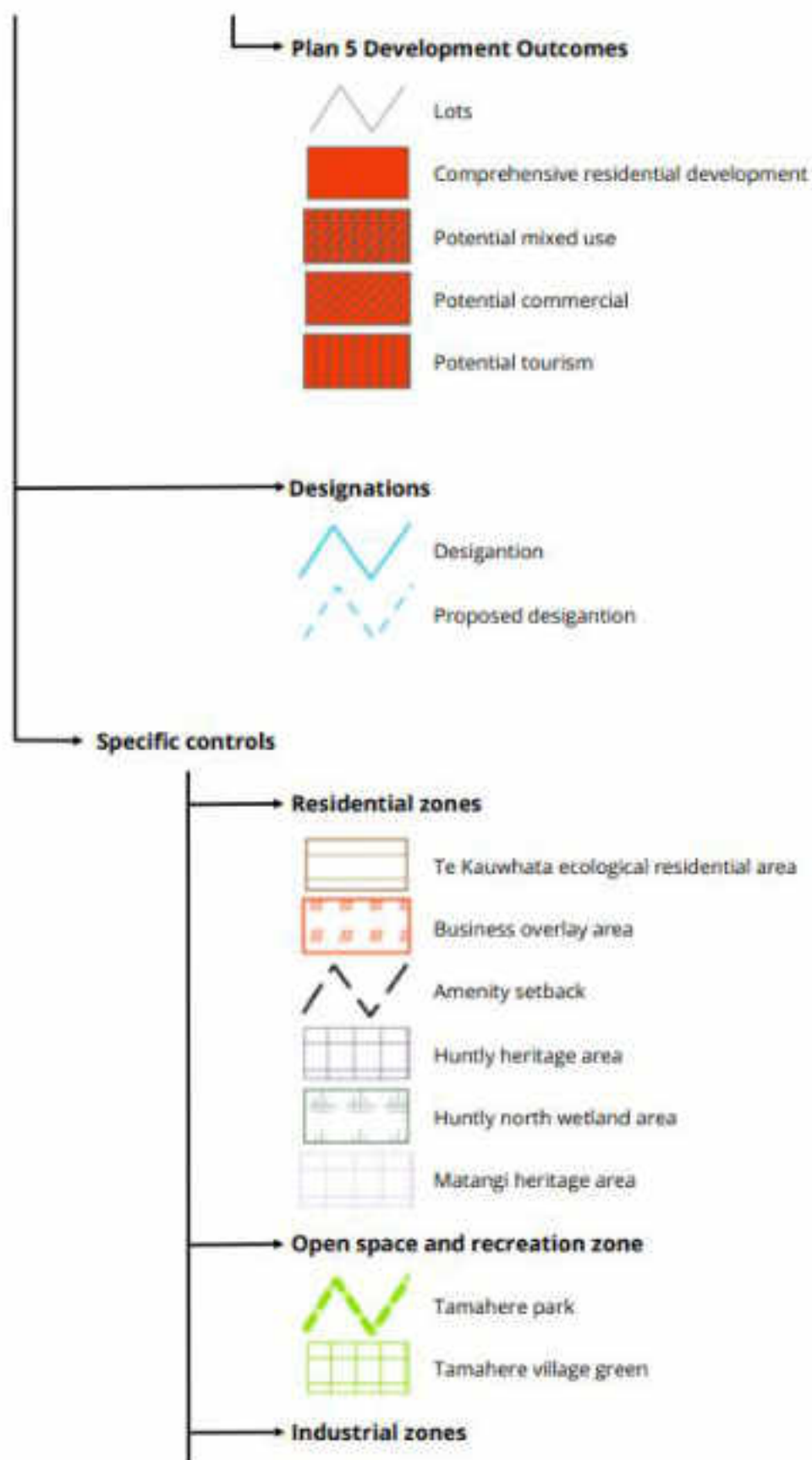


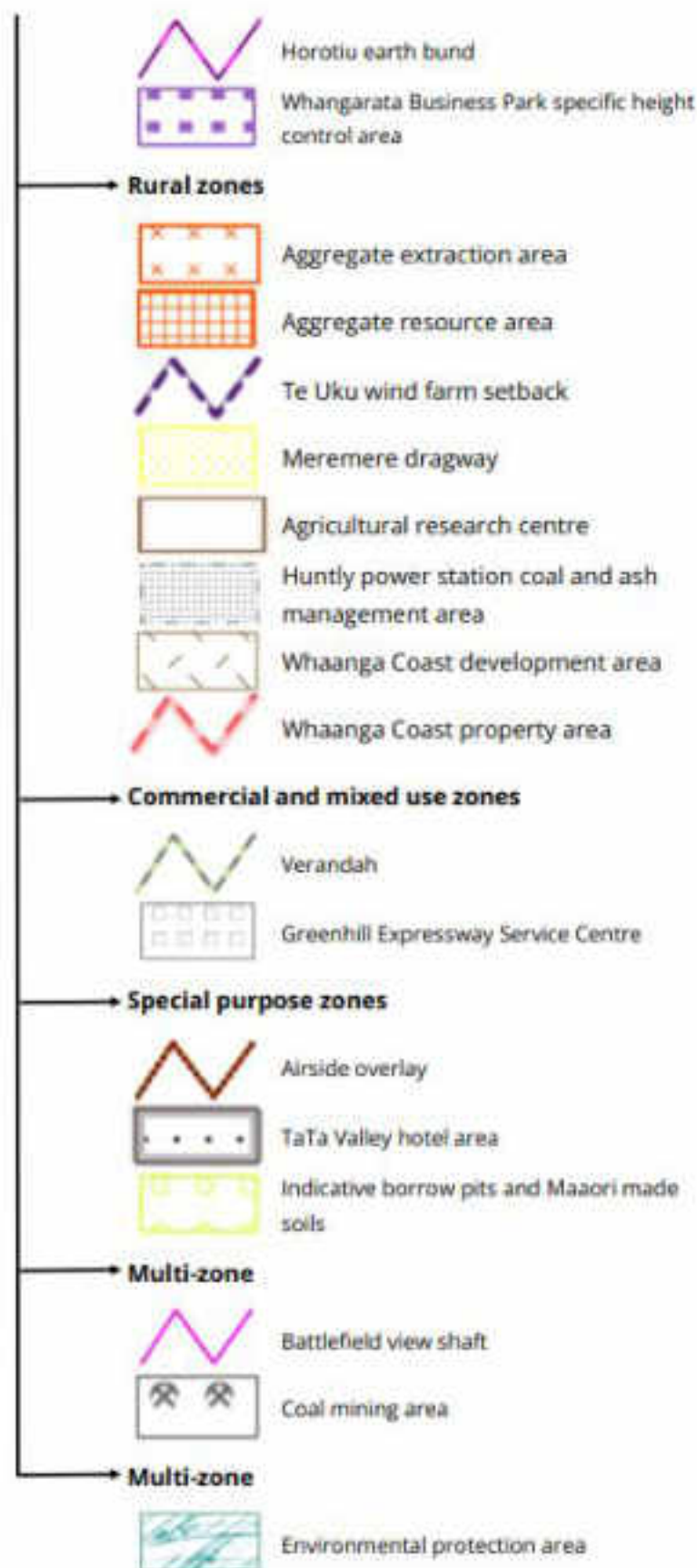
Historical and cultural values overlays

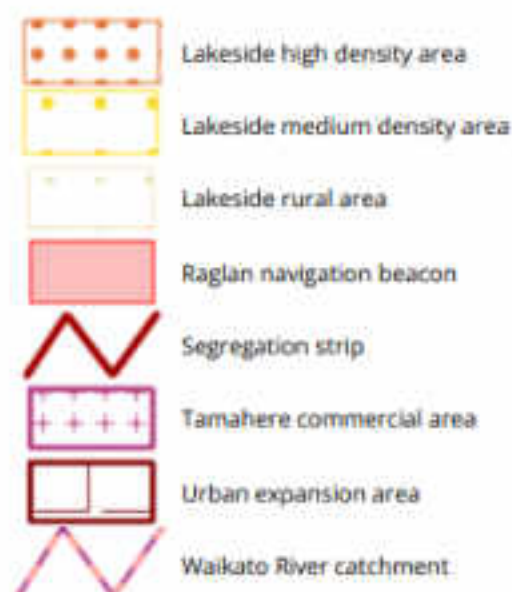












ZONES

Zones



Zones





GiZ - General industrial zone

Special purpose zones



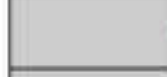
MAZ - Mercer airport zone



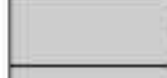
MSRZ - Motorsport and recreation zone



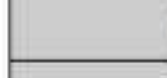
CORZ - Corrections zone



BTZ - Business Tamahere zone



HOPZ - Hopuhopu zone



RPZ - Rangitahi Peninsula zone



TKAZ - Te Kowhai airpark zone



FUZ - Future urban zone



MTZ - Matangi zone



TTZ - TaTa Valley zone



KLZ - Kimihia lakes zone

APPEALS

Appeals



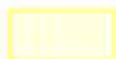
Appeals

ADDITIONAL INFORMATION

Additional Information



Mystery Creek noise boundary



Fonterra noise control boundary



Rail corridor noise alert area



Rail corridor vibration alert area

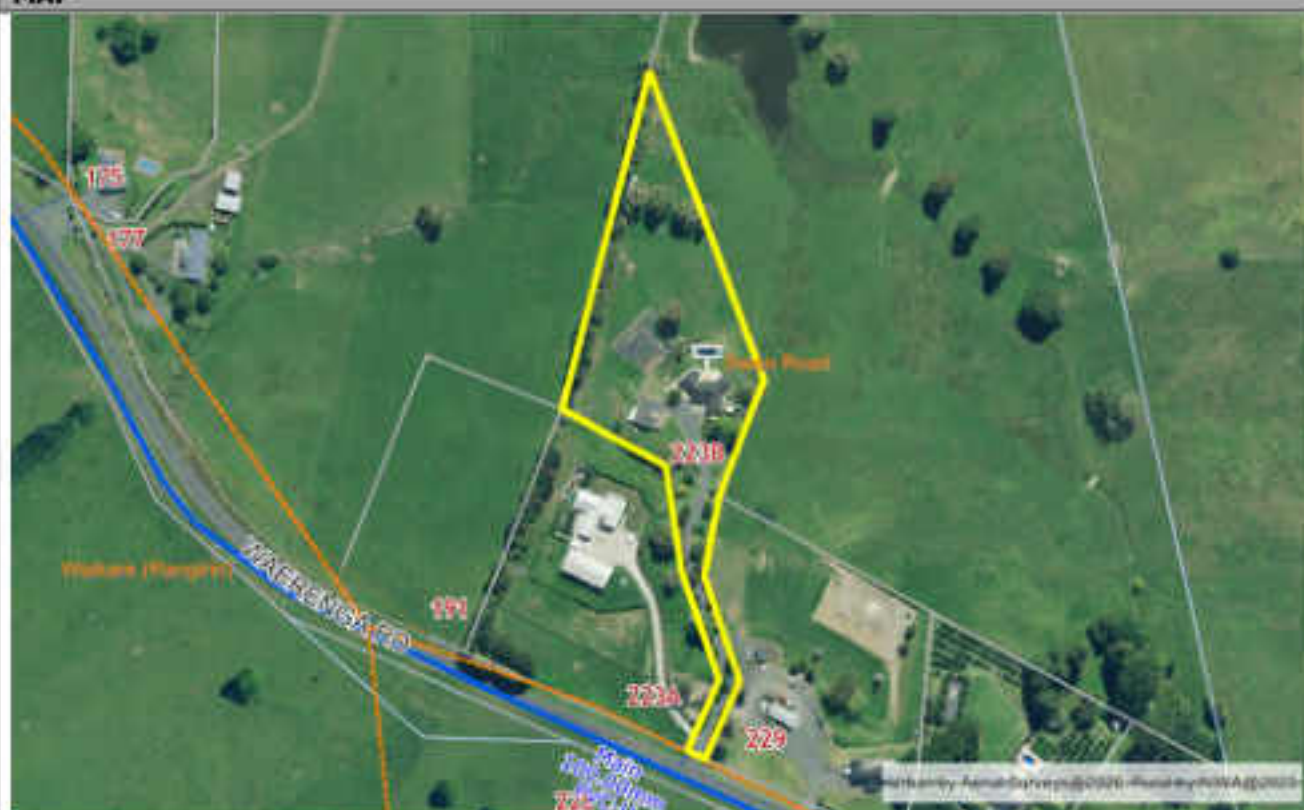
Copyright & Disclaimer - Cadastre boundaries sourced from Land Information New Zealand under CC-BY Graphical representations of the District Plan rules have been derived from various sources, the representations are to the best of knowledge. Exact boundaries may require further investigation, please direct enquires to the Planning and Policy team districtplan@waikato.govt.nz

UTILITIES MAP

LEGEND

Storm Water Point		Waste Water Point	
● Fitting	● Other	● Fitting	● Other
○ Manhole	□ Sump	○ Manhole	□ Valve
Water Supply Point		Service	
◆ Backflow	● Other	● Hydrant	● Main
● Fitting/Node	● Valve	● Meter	● Raw Water Main
		● Rider Main	● Rising Main

MAP



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Water Meter Information

Meter	I22LU147230
Route	250
Sequence	3120
Tariff	RurTeK
Status	Active
Location	1M left hand side driveway.
Meter Install	2022-10-31 00:0
DCL Type	Development Contribution Whangamarino/North Waikato

Water Meter Information

Meter	I22LU147230
Route	253
Sequence	80
Tariff	RurTeK
Status	Active
Location	1M left hand side driveway.
Meter Install	2022-10-31 00:0

DCL Type	Development Contribution Whangamarino/North Waikato
Water Meter Information	
Meter	I22LU147230
Route	250
Sequence	3120
Tariff	RurTeK
Status	Active
Location	1M left hand side driveway.
Meter Install	2022-10-31 00:0
DCL Type	Development Contribution Water Te Kauwhata Meremere & Rangiriri
Water Meter Information	
Meter	I22LU147230
Route	253
Sequence	80
Tariff	RurTeK
Status	Active
Location	1M left hand side driveway.
Meter Install	2022-10-31 00:0
DCL Type	Development Contribution Water Te Kauwhata Meremere & Rangiriri
Water Meter Information	
Meter	I22LU147230
Route	250
Sequence	3120
Tariff	RurTeK
Status	Active
Location	1M left hand side driveway.
Meter Install	2022-10-31 00:0
DCL Type	Development Contribution Water Te Kauwhata
Water Meter Information	
Meter	I22LU147230
Route	253
Sequence	80
Tariff	RurTeK
Status	Active
Location	1M left hand side driveway.
Meter Install	2022-10-31 00:0
DCL Type	Development Contribution Water Te Kauwhata

SOLID WASTE MAP

LEGEND

 Labels	 Solid Waste Charges
 Az Address Label	 WstStdNor
 Az Road Label	 WstRcyMU
 Territorial Authority	 WstStdTua
 Waikato District	 WstBusTua
 Other Districts	 WstRaglan
 Rail	 WstRcyGLM
 Property	 WstStdCen
 Parcel	

MAP



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Solid Waste Information

Property No	2008840	Assessment	04390/476.14
Property Address	223 B Waerenga Road TE KAUWHATA		
Contract Name	Green Gorilla		
Day Name	Friday		