



Council Property File

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KAPITI BOROUGH COUNCIL

APPLICATION FOR SEWER CONNECTION AND PERMIT

The Borough Engineer
Private Bag
PARAPARAUMU



I, MICHAEL JOHN MASON

PLEASE PRINT

36 RENOUN ROAD, RAUMATI SOUTH

(Postal Address)

hereby apply for an ordinary connection to the Kapiti Borough Sewer from the premises owned by me at

(PROPERTY Address in full
if different from above)

36 RENOUN ROAD, RAUMATI SOUTH

Lot

84

DP

5853

15291-161-00

Fees Payable (on application)

Inspection \$

Connection \$

Total \$

178.00

Note: All dwelling units to pay full inspection fees.
The connection fee to be divided equally between
dwelling units situated on the same lot sharing
a common lateral.

Owners Signature

Date

10-1-89

THIS PART TO BE COMPLETED BY DRAINLAYER

I, GAVIN PAUL KLEE (full name)

14 Walton Road PARAPARAUMU

(address)

being a licensed Drainlayer apply for permission to connect the premises mentioned above to the
Kapiti Borough Sewer.

N.B. Connection NOT permitted until permit obtained.

(Signature)

(License No.)

(Date)

OFFICE USE ONLY

Permit No. <u>2940</u>	Job Inspected <u>25/1/89 BD</u>	Building Register Entry
Date Issued <u>3/1/89</u>	Connection Recorded <u>January 89</u>	

HUTT COUNTY COUNCIL

Valuation No.

Date Received: 28.11.68

Application for Building Permit

To: The Building Inspector,
P.O. Box 8012,
WELLINGTON.

I (the undersigned), John Anderson Dale (Full Name)
of 36 Renown Road Raumati South (Address)

ERECT

~~**ADD**~~

ALTER

~~**REINSTATE**~~

hereby make application for permission to be Garage
with a floor area of 240 sq. ft. as prescribed herein and set out in the plans and specifications attached hereto, in premises at:

No. 36 Renown Road Street or Road Raumati South Township

Lot No. 84 D.P. 5854 Riding

The owner of the premises is John Anderson Dale (Name)

36 Renown Rd (Address)

Previous owner { If Section has been recently transferred } Raumati South

Estimated value of: Building only \$ 600 : -
Plumbing and Drainage \$:
Total \$ 600 : 00

Signature of Applicant John Anderson Dale (As Builder or Owner) 28th Nov 1968 (Date)

Builder's Name and Address: Blockwork A. Tromp Francis Rd Paraparaumu
If not the applicant

FOR OFFICE USE ONLY

Receipt No. 2654 Road Deposit No. A/c. No. 1119

Fees: Building Permit \$ 2 : 00 Date 13-12-68
Kerb Crossing \$: Permit No. 19761
Road Deposit \$: Date Issued 2-17-1-69
\$ 2 : 00

TOWN PLANNING DISTRICT Operative
Conforms/Non-Conforming. 9-12-68 (Date) AG (Initials)

Checked by District Engineer. (Date) (Initials)

Remarks: The copy rate to owner

KAPITI BOROUGH COUNCIL

APPLICATION FOR WATER SUPPLY AND CONNECTION PERMIT

The Borough Engineer
Private Bag
PARAPARAUMU



I, MICHAEL JOHN MASON (full name)
36 RENOWN RD RAUMATI SOUTH (Postal address)

hereby apply for an "ORDINARY" service to be laid from the Kapiti Borough Water Supply to the premises owned by me at:

36 RENOWN ROAD RAUMATI SOUTH
(property address in full)

Lot 84 DP 5853

Valuation No.

1	5	3	1	0	1	3	7	0	0
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Fees Payable (on application)

Inspection \$
Connection \$
Total \$ 125-00

Note: All dwelling units to pay full inspection fees.

The connection fee to be divided equally between dwelling units situated on the same lot sharing a common lateral.

[Signature]
Owners Signature

15-10-81
Date

THIS PART TO BE COMPLETED BY PLUMBER

I, C. J. WARRS (full name)
of 19 WARRS GARDENS, PLYMOUTH (address)

being a Licensed Craftsman Plumber apply for permission to connect the above premises to the Kapiti Borough Water Supply. I agree to comply in every respect with the Kapiti Borough Water Supply By-laws. N.B. Connection NOT permitted until permit obtained.

[Signature]
(Signature)

03439
(Craftsman Licence No.)

15-10-81
(Date)

- Existing Water Supply Boiler To be retained/dismantled
- Pressure: high/low Boiler "Header Tank"/Pressure Reducing Valve
- H/W Cylinder Type 25' Head Exhaust Pipe/Pressure Relief Valve
- Approximate Age of Water Piping 20 years Copper/PVC/Alkathene
- If premises have swimming pool what capacity Filter plant Yes/No
- State precisely how it is proposed to make the new connection:

Run down pit to house connect into existing
pipework pit back to etc to KBC 84-LAWS

OFFICE USE ONLY

Instructions to Plumber:

Application Received <u>20-11-81</u>	Permit No. <u>3817-</u>	Connection Recorded
Invoice No. <u>7624</u>	Date Issued <u>23/11/81</u>	Building Register Entry <u>3/82-26</u>
Receipt No. <u>1155</u>	Job Inspected <u>25/3/82</u>	Rates Advised



KAPITI BOROUGH COUNCIL

Application for Permit

Valuation No.

1 5 2 9 0 1 6 1 0 0

Date Rec'd

Day Book

Initial

21-6-82

Page 72

M

To: The Borough Engineer

PRIVATE BAG, PARAPARAUMU

I/WE G F & M J MASON Phone 84255
(Postal Address) 36 RENOWN RD RANGI SOUTH
hereby make application for permission to have the work described herein,
and set out in the plans and specifications attached hereto, carried out in the
premises situated at —
No. 36 Street or Road RENOWN RD
Lot No. 84 D.P. 5853 District
The owner of the premises is G F & M J MASON
(Postal Address) 36 RENOWN RD RANGI SOUTH
Signature of Applicant G Mason Date 20-6-82

OFFICE USE ONLY



OFFICE USE ONLY

Building - Plumbing - Drainage

Description of proposed work: ADDITION TO EXISTING DWELLING
with a floor area of 32-72 sq. metres
Estimated cost of BUILDING incl. materials \$ 9,000.00
Estimated labour content of PLUMBING only \$
Estimated labour content of DRAINAGE only \$
TOTAL estimated value of proposed work \$ 9,000.00

Builder's name and address A K MITCHELL 15 RANGIOW CUMRI RANGI SOUTH
Type of water supply 86103 Capacity of storage tanks cubic metres
Plumber's name and address
Drainlayer's name and address

FOR OFFICE USE ONLY

Account No. 8104 Date 23 JUN 1982 Receipt No. 3756 Date 27.6.82
Fees:
Building Permit \$ 110.
Plumbing Permit \$
Drainage Permit \$
Sewer Connection \$
Water Connection \$
Kerb Crossing \$
Damage Deposit \$
Bldg Research Levy \$ 9.
TOTAL \$ 119.
Permit No. 31699 Date Issued 30 JUN 1982
Permit No. Date Issued
Permit No. Date Issued
Order No.
Refund
Checked ✓
Date 22.6.82

Register Entry

6/82/24/2

Permit Endorsement:

Received with thanks by
KAPITI BOROUGH COUNCIL

1/00

27-01-89

10:29

Receipt no. 16392

GL 4272

529116100

178.00-

CQ A

MASON

178.00

Underpinning - Piles,
and floor slab inspected
25/1/96 But written
certification of approval
is required of the
Structural Engineer and
is to be attached hereto.

B. Good.

25/1/96



KCDC.
Base Consulting Engineers Limited

- ☐ Structural
- ☐ Foundation
- ☐ Solls

28 Queen Street
P.O. Box 434
Levin

Telephone Levin (06) 367 0088
Paraparaumu (04) 297 0088
Fax (06) 367 9339
Mobile (025) 444 080

RECEIVED
16 JAN 1996
KAPITI COAST
DISTRICT COUNCIL

To: Kapiti Coast District Council
Rimua Road
Paraparaumu

DESIGN CERTIFICATE

PAUL DOWLING
36 Renown Rd Raumati

I, Peter Bolton, being a Registered Engineer and holding a current Annual Practising Certificate hereby certify that

- * This Consulting Practice has been engaged to design the appropriate engineering calculations for the underpinning of existing
foundations

Proposed to be constructed for: M. B. Paul

The accompanying design and drawings titled and numbered 96006
and dated 12-1-96 adequately illustrate the design of the structure.

- * I have exercised reasonable control over the design processes for the works defined which have been designed in accordance with the sound and widely accepted engineering principles to support the loads specified in NZS 4203:1984 and various aspects of the design are in accordance with NZS 3101:1982
- * Unless specifically noted, compliance of the drawings to non-specific codes such as NZS 3604 and NZS 4229 have not been checked by this practise.
- * I believe the stresses in the various materials of construction and force resisting elements of the structure are such as to ensure the safety and stability of the structure if the works are constructed in accordance with the above described drawings and specifications. This Certificate does not cover stability or suitability of the site unless accompanied by a separate report.

Signature: P. Bolton Date: 16-1-96

P Bolton BE MIPENZ NZCE

Registration 8837

Director



Job PAUL DWELLING

By P Bolton

36 RENOWN RD.

Date 12-1-96

PREAMBLE To provide the structural design for the foundations given that a geotechnical investigation by cutters reveals soft sand to a depth of 2.4 metres.

It is proposed to upgrade the existing substandard construction to compliance, and install a beam to carry upper floor loads.

Design to be in accordance with

NES 4203:1984 Loadings Code
NES 3101:1982 Concrete Code

LOADINGS

Roof

ci	0.07
battens	0.03
trusses	0.12
ceiling	0.12
insulation	0.03
misc	0.04
DEAD	0.41 kPa
LIVE	0.25 kPa

Wall

cladding	0.06
framing	0.10
lining	0.09
insulation	0.03
misc	0.03
DEAD	0.31 kPa

Block Wall 200 Series
0.19 x 23.6

4.48 kPa

Floor

20 pb	0.14
joists	0.08
insulation	0.02
misc	0.05
ceiling (future)	0.09
DEAD	0.38 kPa
LIVE	1.50 kPa



Job

By PB

Date

Allowable Bearing Pressure

$F_{br} = 200 \text{ kPa}$ at 2.5m below GL.

$F_{br} = 200 \text{ kPa}$

For pile 300 ϕ .

$$A_p = \frac{\pi}{4} 0.3^2$$

$$= 0.07 \text{ m}^2$$

allowable Load/Pile

$$P_c = A_p F_{br}$$

$$= 0.07 \times 200$$

$$= 14.0 \text{ kN}$$

$P_c = 14.0 \text{ kN}$

CONSIDER BLOCK WALL FOUNDATION

$$W = 1.88 \times 3.8 / 2 + 4.48 \times 2.2 + 0.31 \times 2.4$$

$$= 14.2 \text{ kN}$$

Pile Spacing S

$$S = \frac{P_c}{W}$$

$$= \frac{14.0}{14.2}$$

$$= 0.99 \text{ m}$$

too close

Try 350 ϕ

$$A_p = 0.35^2 \frac{\pi}{4} = 0.096$$

$$P_c = 19.3 \text{ kN}$$

$$S_1 = 1.4 \text{ m}$$

$S_1 \leq 1.4 \text{ m}$

For side walls

$$W = 4.48 \times 2.2 + 0.31 \times 2.4 + 0.41 \times 5.4 / 2$$

$$= 11.7 \text{ kN}$$



Job

By 15/1/96

Date

$$S_2 = \frac{19.3}{11.7}$$

$$S_2 = 1.65 \text{ m}$$

$$S_2 = 1.65 \text{ m}$$

CONSIDER DOWEL CONNECTION

$$V = 11.7 \times 1.65 = 19.3 \text{ kN}$$

For 2-D12 in shear

$$F_v = \frac{19.3 \times 10^3}{0.8 \frac{\pi}{4} n d^2}$$

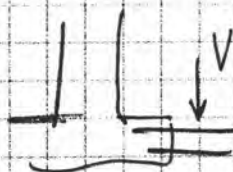
$$F_v = 106 \text{ MPa}$$

allowable

$$F_v = 0.45 F_{tw}$$

$$= 135 \text{ MPa}$$

accept



CONSIDER FLOOR BEAM

$$\text{span} = 5.2 \text{ m}$$

$$w = 1.88 \times \left(\frac{3.8 \times 2.6}{2} \right) + 0.3$$

$$= 6.3 \text{ kN/m}$$

Bending Moment M

$$M = w l^2 / 8$$

$$= 6.3 \times \frac{5.0^2}{8}$$

$$= 19.7 \text{ kNm}$$

Try 200 UB 25

Actual Bending Stress

$$f_b = \frac{M}{Z}$$

$$Z = 232 \text{ cm}^3$$

$$= 2360 \text{ cm}^4$$

use
2-D12
dowels

Done

15/1/96



Job

By PJB

Date

$$f_b = \frac{19.3 \text{ E6}}{232 \text{ E3}}$$

$$f_b = 85 \text{ MPa}$$

Allowable Bending Stress

$$F_b = 165 \text{ MPa}$$

Deflection

$$\delta = \frac{5 w l^4}{384 E I}$$

$$= \frac{5 \times 6.3 \times 5.0^4}{384 \times 23.60 \times 200}$$

$$= 11 \text{ mm}$$

dead plus live - accept

BEAM
200UB25

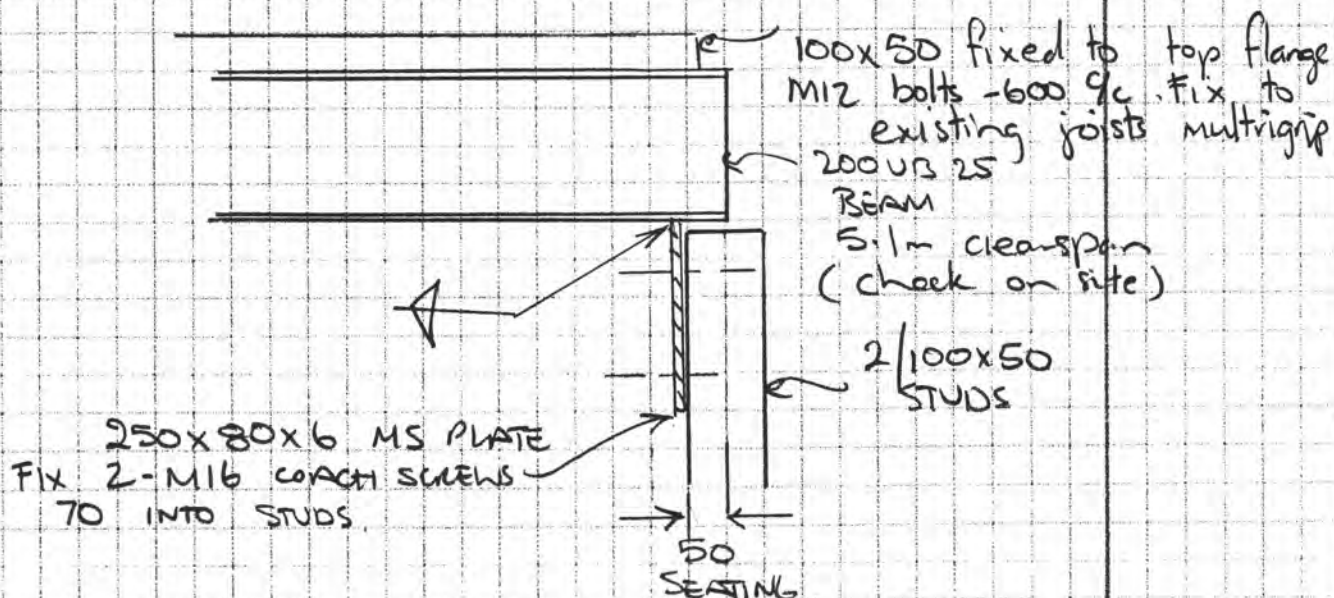
Reaction

$$R = 6.3 \times 5.0 / 2$$

$$= 15.8 \text{ kN}$$

use ex. studs.
2- M16 bolts.

BEAM CONNECTION DETAIL

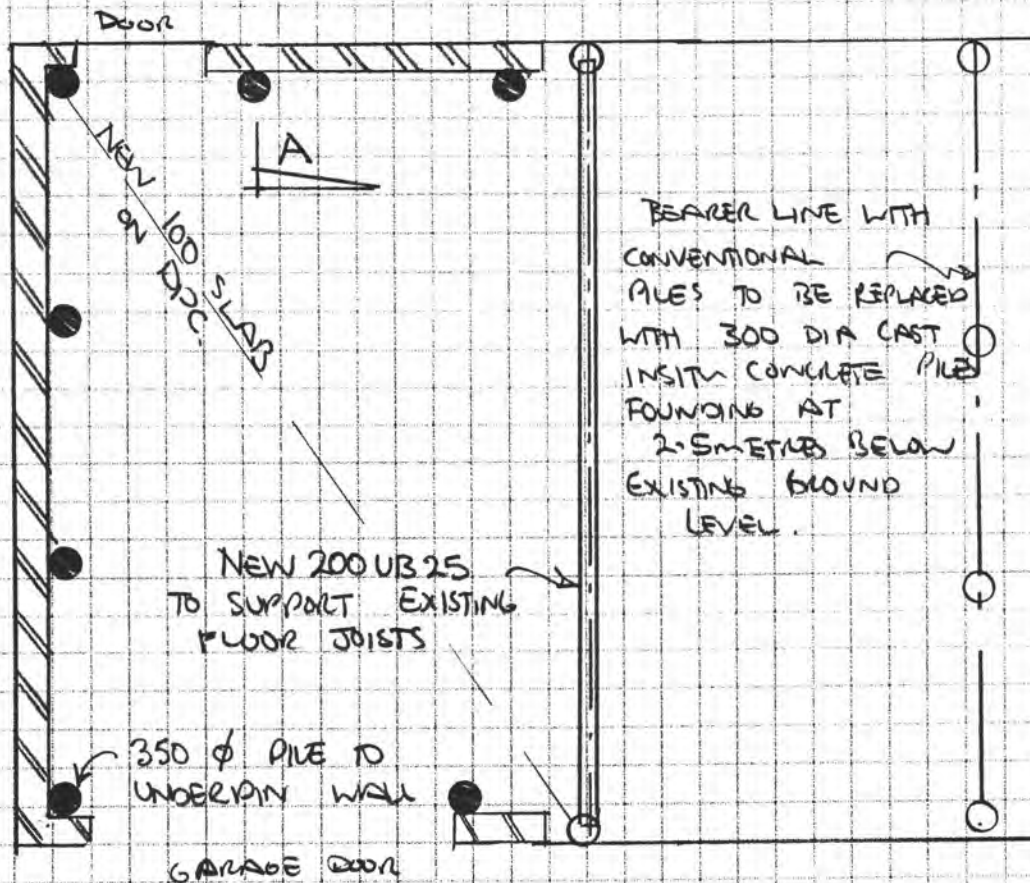




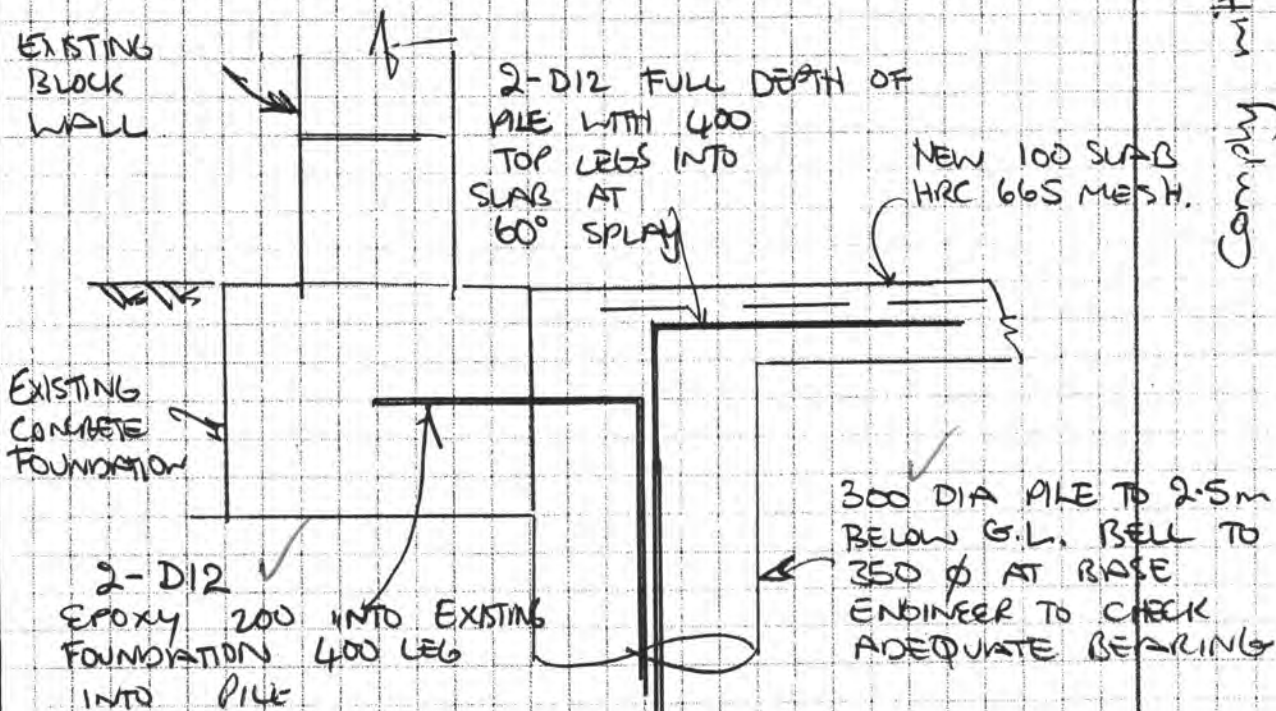
Job

By PB

Date



FOUNDATION PLAN



DETAIL A

Comply with kerf and BIR requirements
check all dimensions on site.



2000

Job No 06006

Page 4

Job PAUL DWELLING 30 Renown Rd Rotorua
- AMENDMENT

By PB

Date 18-1-96

to Allow for central post in floor beam
replace 200 u/s 25

$$W = 6.3 \text{ kN/m}$$

$$S = 2.6 \text{ m}$$

Bending Moment M

$$M = \frac{W L^2}{8}$$

$$= 6.3 \times \frac{2.6^2}{8}$$

$$= 5.31 \text{ kN.m}$$

Try 200 x 100.

$$Z = 590 \text{ cm}^3$$

$$f_b = \frac{5.3}{0.59}$$

$$= 9.0$$

Try 250 x 75

$$Z = 685 \text{ cm}^3$$

$$I = 8352 \text{ cm}^4$$

$$f_b = \frac{5.3 \text{ kN.m}}{685 \text{ cm}^3}$$

$$= 7.7 \text{ MPa accept}$$

$$\delta = \frac{5 \times 6.3 \times 2.6^4}{384 \times 6.5 \times 8352}$$

$$= 7 \text{ mm accept}$$

RECEIVED

18 JAN 1996

KAPITI COAST

DISTRICT COUNCIL

BEAM
SPAN
2600 mm
BY
250 x 75
P.R.

Inspector: M. S. LutensReceipt No. 3756

OWNER

Name M. J. Mason
Address 36 Renown Road
Rainwater

BUILDER

Name A. E. Mitchell
Mailing Address 15 Rainbow Court
Rainwater

PROPERTY ON WHICH BUILDING IS TO BE ERRECTED/DEMOLISHED

SITE

Street No. 36
Street Name Renown Road
Town/District Rainwater
Riding Pasarsaraimu

LEGAL DESCRIPTION

Valuation Roll No. 15271 161 00
Lot 84 D.P. 5853
Section _____ Block _____
Survey District _____

DESCRIPTION OF PROPOSED WORK AND MAIN PURPOSE OF USE

ADD BEDROOM + ENTRY HALL TO EXIST. DWG.

Date Inspected

REMARKS (e.g. stage reached with work)

13/7/82

Inspected foundation, not in order 8:35am
soft ground under no building or
representative in attendance. Owner advised
that no concrete to be poured

COMPLETED (Signature) _____

Date

/ /

Specifications of Proposed Garage to be erected for
J. D. Dale Esq.
36 Renown Road
Kaurangi South

Foundations 10" concrete reinforced with $2 \times \frac{1}{2}$ " RFS
where height is minimum 12" and $4 \times \frac{1}{2}$ " RFS
where the foundation is over 12" in height.

Walls 8" concrete blocks suitably reinforced vertically
with $\frac{1}{2}$ " RFS at 32" centres and one $\frac{1}{2}$ " RFS
in bond beam over doorway.

Garage Door Parker Roll-a-door to cover 8' x 7' opening
fixed in place according to makers instructions.

Access Door 1 wooden exterior

Windows 1, 3 light Casement 5'9" x 4'

1, 2 light Casement 4' x 4'

Plates 4" x 2" }

Rafters 6 x 2" } Treated Pines

Purlins 3 x 2" }

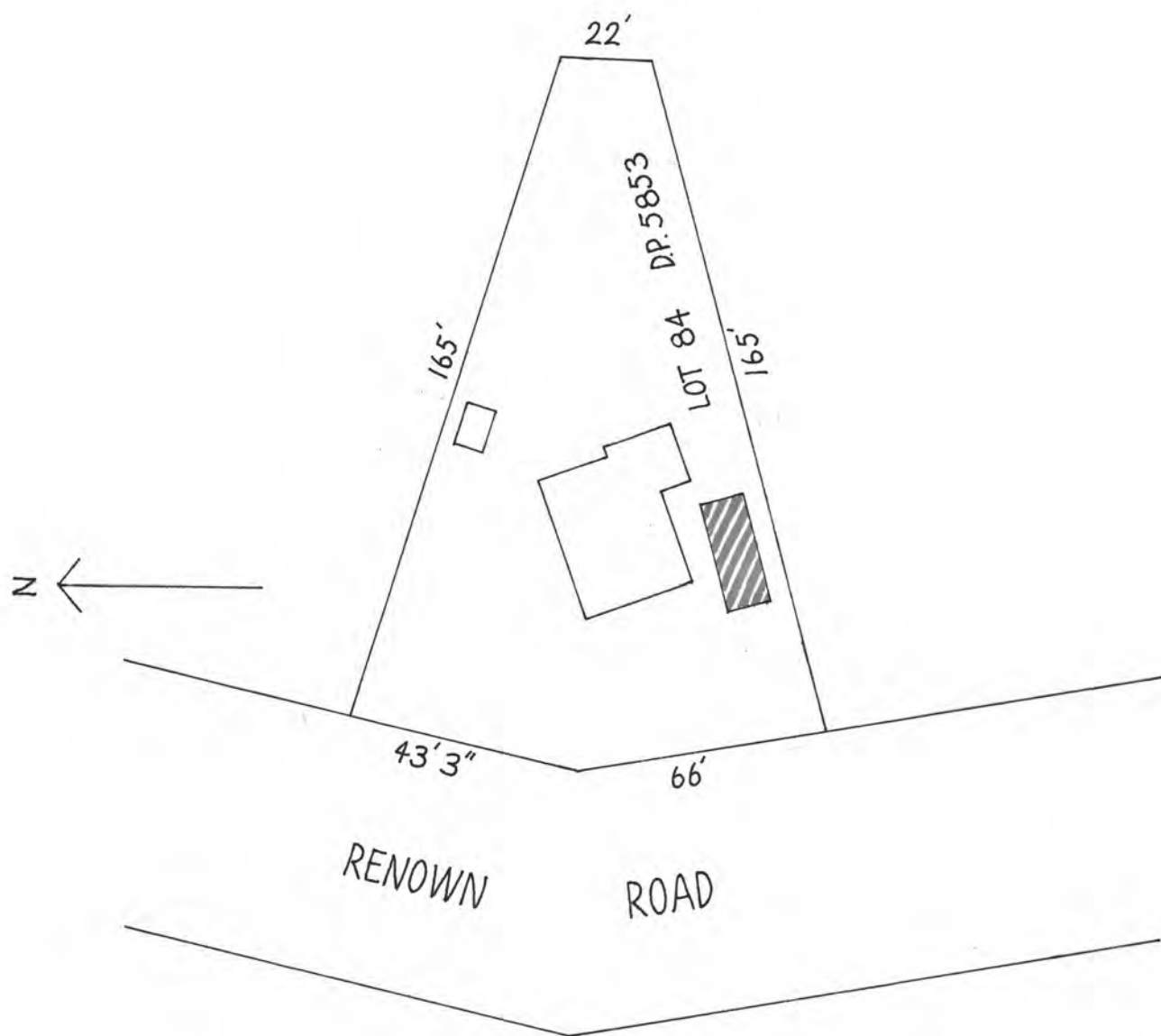
Roofing 22G corrugated iron.

Bargeboards & Guttering 1" dressed treated Pines

Plumbing & Storm water disposal Galvanized guttering
and downpipe to domestic tank.

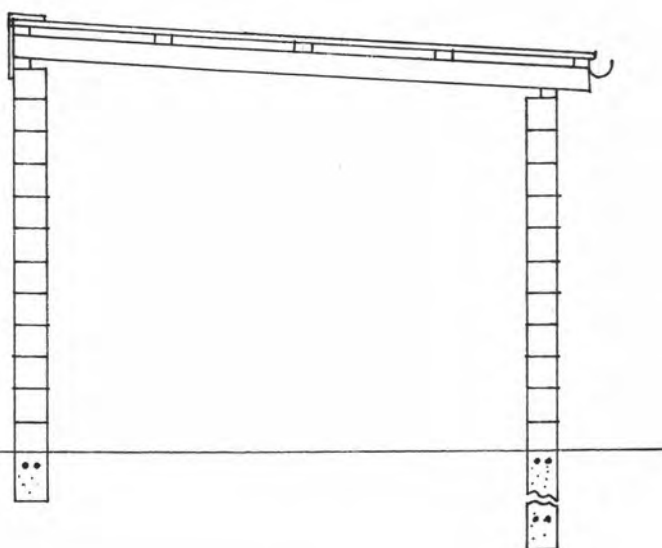
Floor 3" reinforced concrete over consolidated
rock fill.



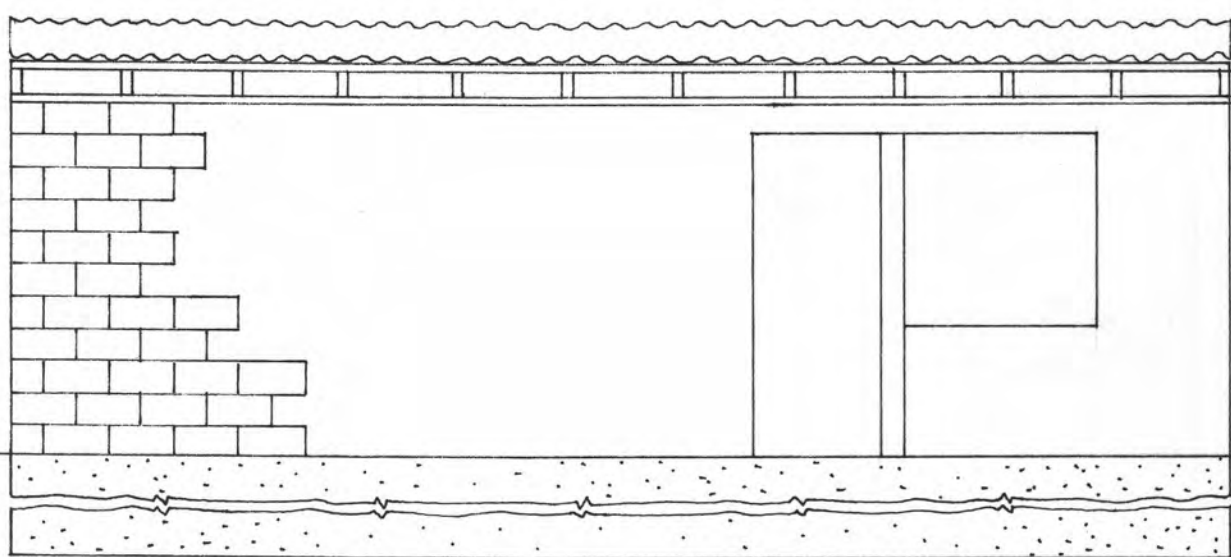


SITE PLAN.
LOT 84 D.P. 5854.
36 RENOWN RD. RAUMATI SOUTH.
SCALE 40' = 1".
PROPOSED GARAGE SHOWN IN RED.

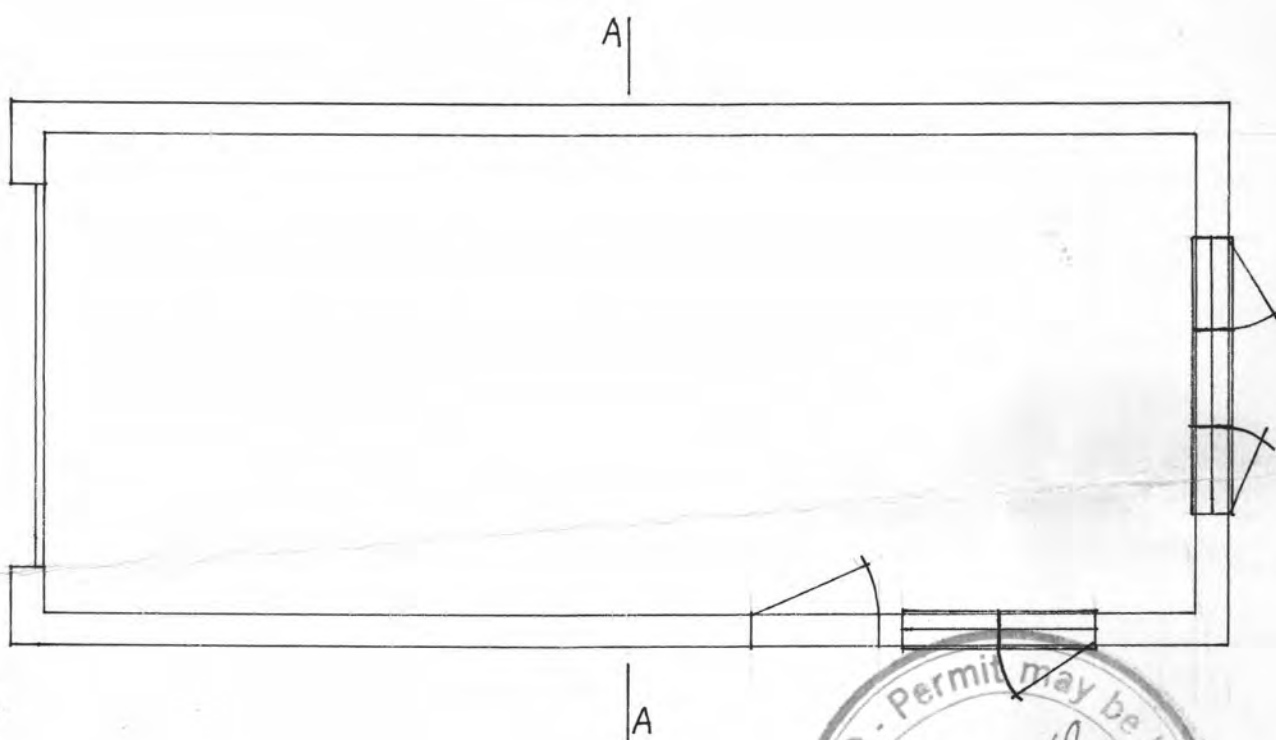
CROSS SECTION A/A.



SOUTH SIDE ELEVATION .



PLAN .



PROPOSED GARAGE.
36 RENOWN ROAD.
RAUMATI SOUTH.



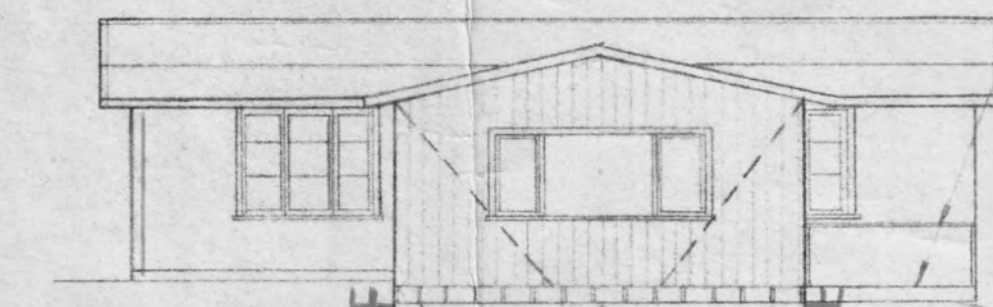
NOTES:-

1. ALL CONSTRUCTION IS TO COMPLY WITH NZS 3604:1981 AND APPROPRIATE SECTIONS OF NZS 1300.
2. ALL PROPRIETARY PRODUCTS ARE TO BE INSTALLED TO MANUFACTURERS SPECIFICATIONS.
3. WALLS AND CEILINGS TO BE LINED WITH GIB BOARD
4. ALL JOINERY TO BE AS SPECIFIED BY OWNERS.
5. EXTERIOR CLADDING TO BE 'SHADOWLINE'.



EAST ELEVATION

150x50 CANTILEVER JOISTS @ 400 CRS.
FOR FUTURE DECK EXTENSION



250x100 BEARER

100x100 POST

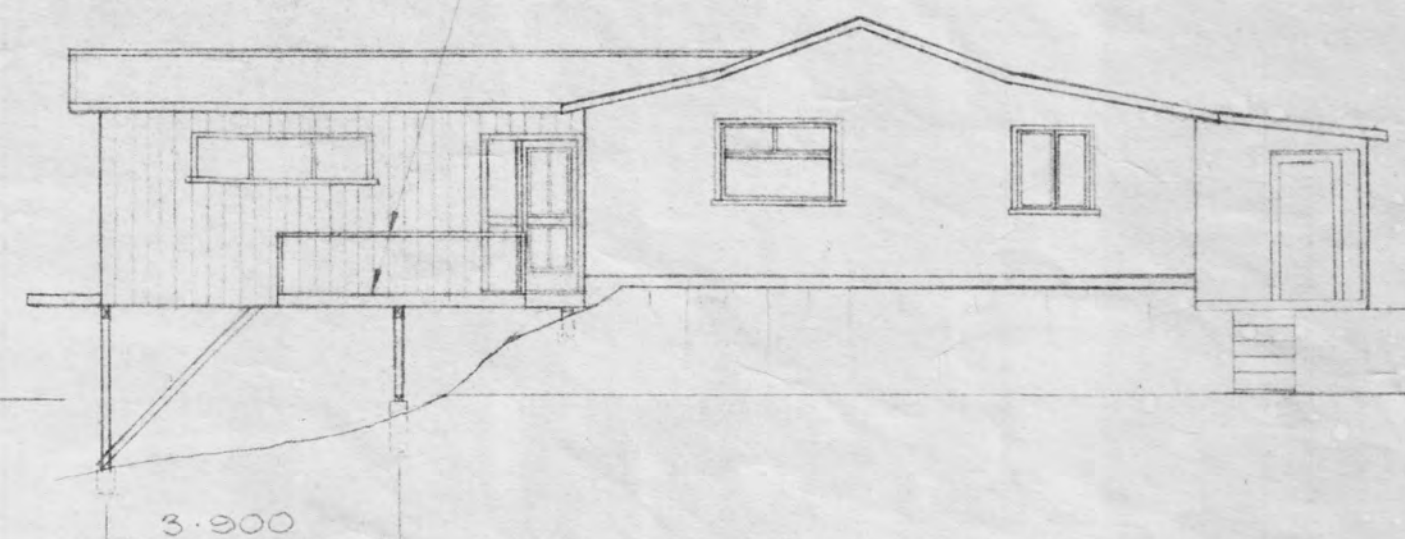
GALV. BRACKET

200x200x500 DEEP
INSITU PILES.

20x5 MS FLAT BRACES
M12 BOLTS TO POSTS

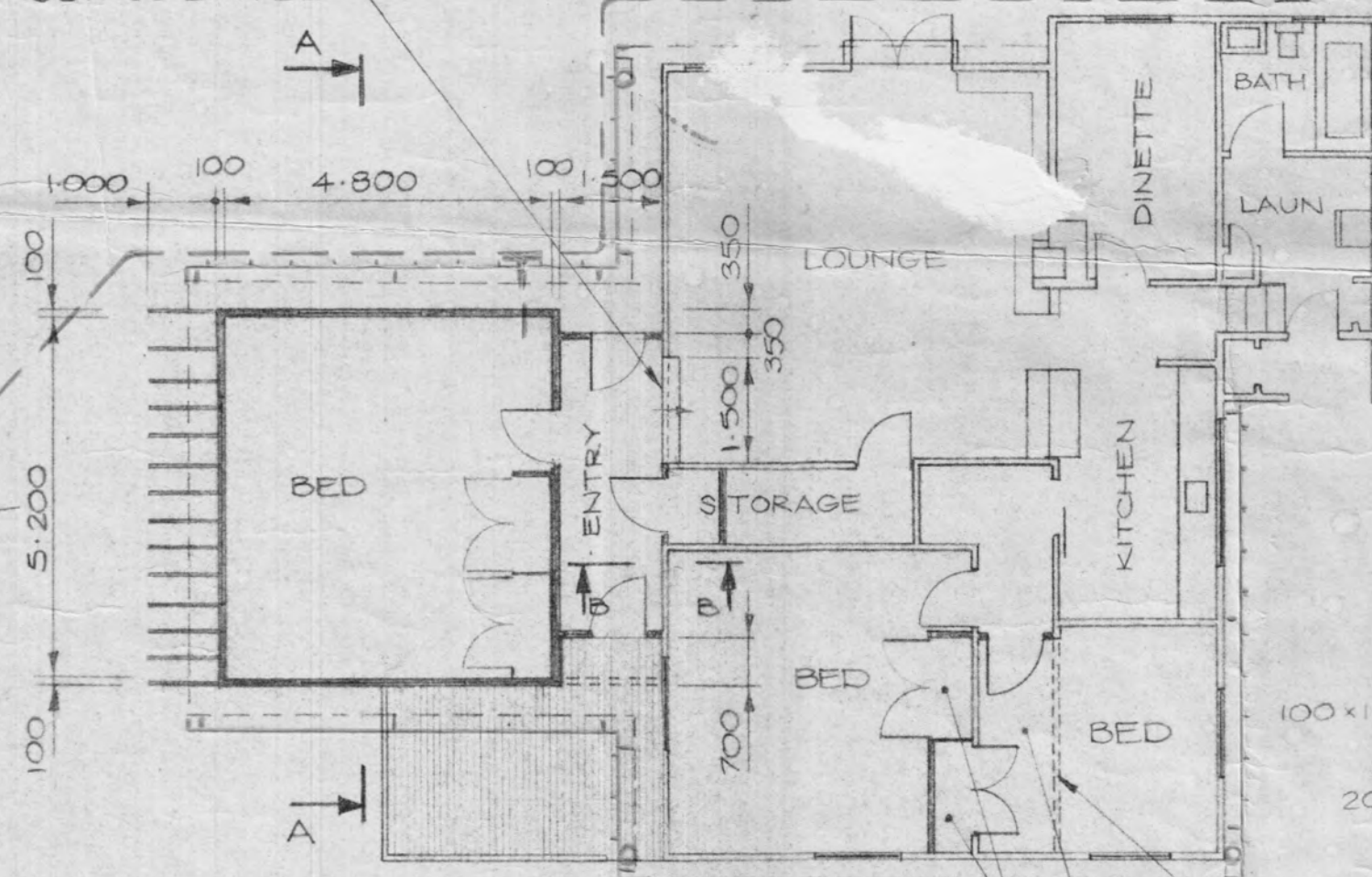
NORTH ELEVATION

EXISTING DECK
(DETAILS NOT SHOWN)



WEST ELEVATION

100x100 LINTEL

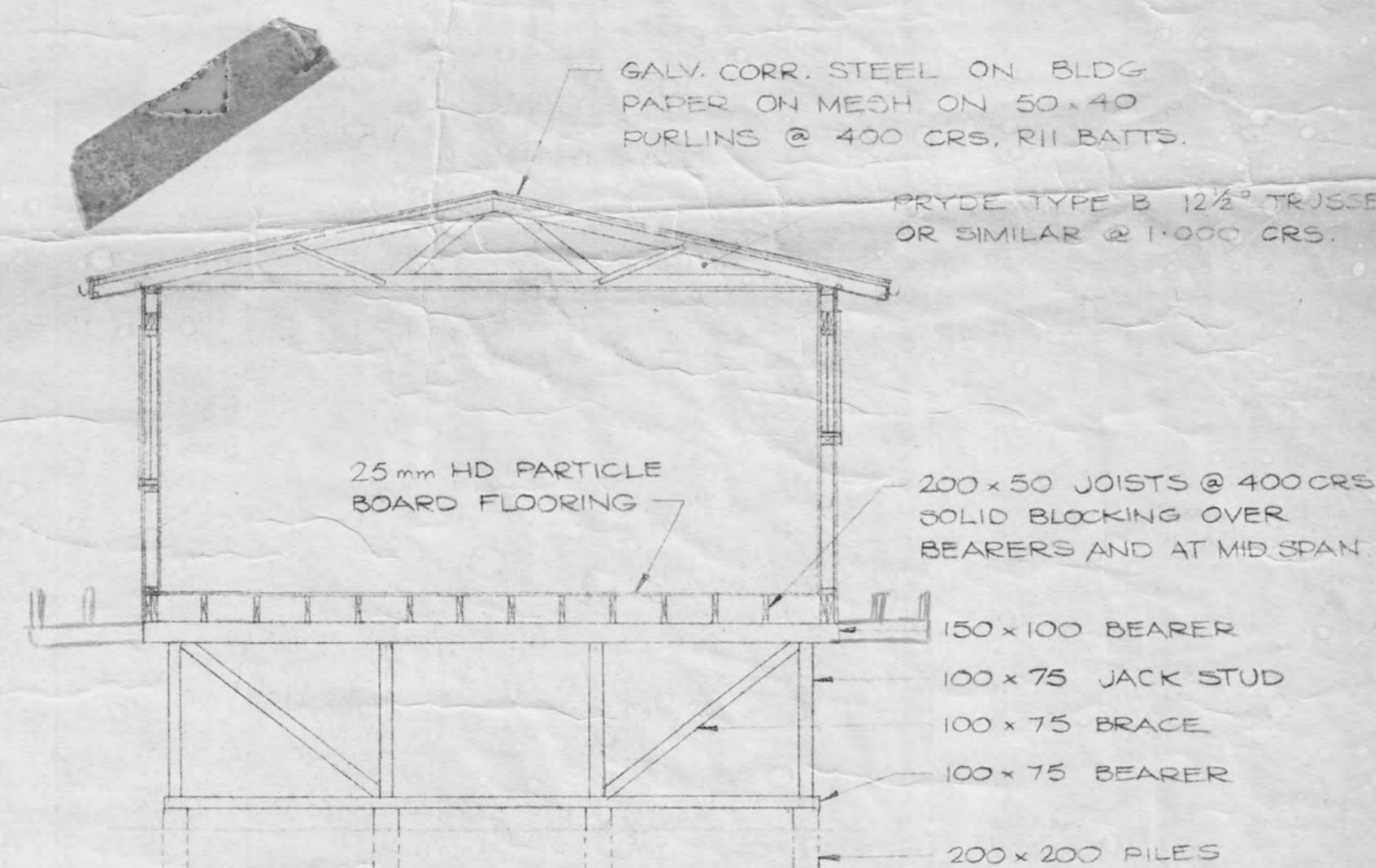


PART OF EXISTING
DECK TO BE RETAINED

NEW WARDROBES
EXISTING WARDROBES
TO BE REMOVED

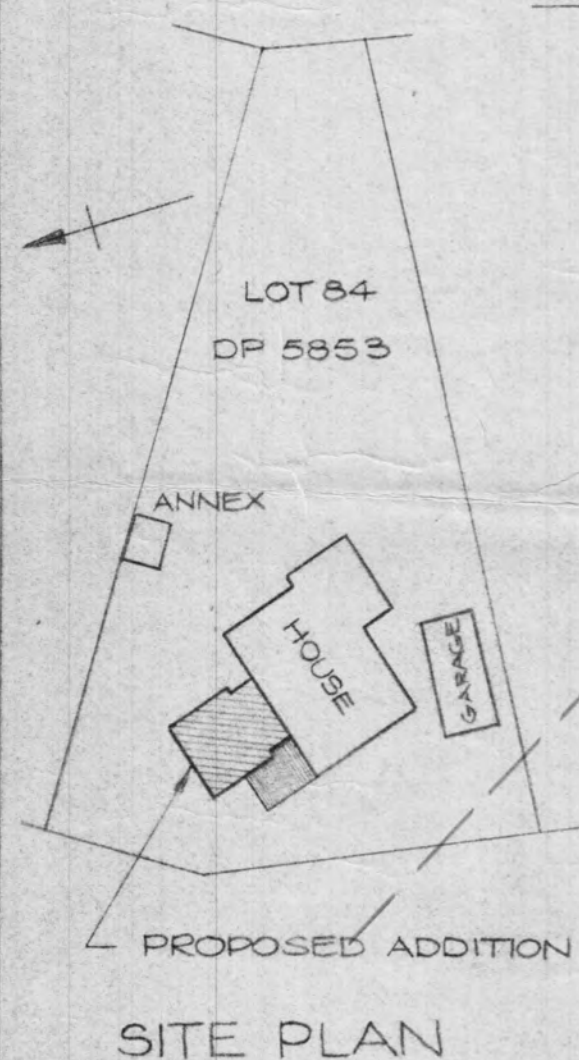
200x100 BEAM
REPLACING WALL

FLOOR PLAN



A-A

B-B



SITE PLAN

3-82

SHEET 1 OF 1

DRAWN

Ian D. McLuckie

3-3-82

IAN D. MCLUCKIE REA MNZID

PROPOSED ADDITIONS TO THE RESIDENCE
OF MR & MRS M.J. MASON
36 RENOWN ROAD, RAUMATI SOUTH

SCALES

PLAN & ELEVATIONS 1:100

SECTIONS 1:50

SITE PLAN 1:500