



070730005

CODE COMPLIANCE CERTIFICATE APPLICATION

SECTION 92 BUILDING ACT 2004

061359

Private Bag 1, Leeston | Telephone (03) 324 5839 | Fax (03) 324 3531 | Web Site www.selwyn.govt.nz

THE BUILDING

SCANNED

(refer to your Rates Account for details)

Site Address: Wateholes Road
Leeston Street / Road

Rapid Number: _____
(Applies to Rural Properties Only)

Legal description: lot 1 DP 50075 with an
undivided 1/6 sh in lot 5 D
(This could include all or any of the following:- Lot, DP, Section, Block, or Township, etc.)

Valuation Roll Number: 2352206101

Type of Building Work: domestic dwelling
(Eg: Domestic Dwelling)

Project Information Memorandum No: 061359

1. Building Consent No: 061359

2. Building Consent Issued by (Name of Building Consent Authority):

Selwyn District Council

THE OWNER

3. Owner's Name: Kirvatt
(Company or name of organisation)

4. Contact Person: David and Jane
(If Owner is not an Individual)

5. Mailing Address: 37 Cheyenne street
Riccarton Christchurch

6. Street Address / Registered Office: _____

7. Phone Numbers: Mobile: 0273248231
Daytime: 3489136 After Hours: _____

8. Fax: _____

9. Email: _____

10. Website: _____

11. The following evidence of ownership is attached to this application:

☐ Current Certificate of Title

☐ Current Sale and Purchase Agreement

AGENT / APPLICANT

(Contact Details MUST be in New Zealand)

12. Name of Agent: Today Homes Ltd

13. Contact Person: Elicity Burt

14. Mailing/Billing Address: PO Box 8043
Riccarton Christchurch

15. Street Address / Registered Office: 251
Stenrem Road Christchurch

16. Phone Numbers: Mobile: _____
Daytime: 3416460 After Hours: _____

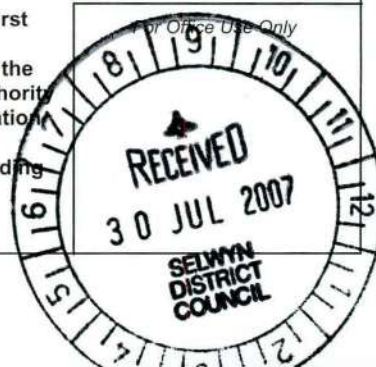
17. Fax: 3416462

18. Email: elicity@todayhomes.co.nz

19. Website: _____

20. ☐ Authorisation from Owner Attached.
(Authorisation from the owner confirming authority)

21. Note: The Agent will be the first point of contact for communications with the Building Consent Authority regarding this Application and will receive all correspondence including all invoices.



PERSONNEL

22. All Building Work to be carried out under the above Building Consent was completed on: _____

23. The Licensed Building Practitioner's who carried out the building work are as follows:

(Please identify other tradespeople as appropriate)

Certificate Attached
(Tick box)

Builder: <u>Torrey Homes Limited</u>	☐	Phone: <u>3416460</u>
Address: <u>251 Benheim Road Christchurch</u>		Registration No: _____
Plumber: <u>Greene Ltd</u>	☒	Phone: <u>021334836</u>
Address: <u>Box 1509 Christchurch</u>		Registration No: <u>04198</u>
Drainlayer: <u>David Jarvis (PETER F. BARTETT)</u>	☒	Phone: <u>0273248231</u>
Address: <u>37 Cheyenne Street Riccarton</u>		Registration No: <u>06243</u>
Electrician: <u>Blaw Thorne Mobile Electrical</u>	☒	Phone: <u>021729532</u>
Address: <u>Box 162 Rangiora North Canterbury</u>		Registration No: <u>E244549</u>
Gasfitter: <u>Canterbury Gas - Greg Smith</u>	☒	Phone: <u>3528873</u>
Address: <u>116a Sumner Road</u>		Registration No: <u>01061</u>
Other: _____	☐	Phone: _____
Address: _____		Registration No: _____
Other: _____	☐	Phone: _____
Address: _____		Registration No: _____
Other: _____	☐	Phone: _____
Address: _____		Registration No: _____
Other: _____	☐	Phone: _____
Address: _____		Registration No: _____
Other: _____	☐	Phone: _____
Address: _____		Registration No: _____
Other: _____	☐	Phone: _____
Address: _____		Registration No: _____

Photocopy and attach additional pages as required to provide a complete list of ALL sub-trades involved in the project.

Code Compliance Certificate
061359
Section 95, Building Act 2004
The Owner

Name of Owner: Jarratt David John & Jarratt Dianne Michelle
 Mailing address: c/- Today Homes Ltd, PO Box 8043, Christchurch
 Street address/registered office:
 Phone number:
 Landline: 942 5285 Daytime:
 Mobile: After hours:
 Facsimile number:
 Email address:
 Website:

The Building Work

Street Address of Building: WATERHOLES ROAD, ROLLESTON
 Legal Description of land where building is located: LOT 1 DP 50079 WITH AN UNDIVIDED 1/6 SH IN LOT 5 D
 Valuation Number: 2352206101
 Type of Work: DOMESTIC DWELLING
 Intended Use: 4 Bedroom Dwelling with Study & attached 3 Car Garage (313.13m²) & Solid Fuel Heater.
 Estimated Value: \$329,483
 Location of building within site/block number:
 Building Name: Year Construction 2007
 Commenced:

Code Compliance Certificate:

The Building Consent Authority named above is satisfied on reasonable grounds, that the Building work complies with the Building Consent


 Selwyn District Council Building Consent Authority Signatory

Issue Date: 25/05/08



PO BOX 90
ROLLESTON
PHONE (03) 347-2800
FAX (03) 347-2799

FACSIMILE COMMUNICATION

DATE: 27 May 2008	NUMBER OF PAGES 6 (including this page)
TO: TODAY HOMES	FROM: SHELLEY LANGE
ATTENTION:	FAX No 03-3385814 3416462.

COPIES OF CODE COMPLIANCE'S FOR;

BC 070417
METALCORP (NZ) LTD
734 EAST MADDISONS ROAD
ROLLESTON

BC 061128
LEWIS
265 SOUTHFIELD DRIVE
LINCOLN

BC 070999
BARRETT
242 DUNNS CROSSING ROAD
ROLLESTON

BC 070667
WASLEY
716 EAST MADDISONS ROAD
ROLLESTON

BC 061359
JARRETT
WATERHOLES ROAD
ROLLESTON

REGARDS
SHELLEY LANGE

FAXED

PLEASE NOTE the information contained in this facsimile message and the accompanying papers is confidential and is for the above mentioned recipient only. If you are not the intended recipient, you should note that any use, dissemination, distribution or reproduction of the information in this message and the accompanying sheets is unauthorised and strictly prohibited. If you have received this message in error, please notify us by telephone immediately and return the original message to us by post. Thank you.

Consent No: 061359Applicants Name: JarrattDate: 19 / 3 / 08**MEMO**

David Jarratt rang requesting an update on the water tests. I explained that we needed 3 bacteriological tests not chemical tests. Therefore 2 further tests 1 month apart were required. He said that he will get on to it.

Signed

Tony Sudd

CERTIFICATE OF COMPLETION

THIS IS TO CERTIFY THAT THE CONSTRUCTION OF THE TREATMENT AND
EFFLUENT DISPOSAL SYSTEM AT THE SITE OF:

D & D JARRATT

839 WATERHOLES ROAD

TEMPLETON

LOT 1 DP 50079

CRC071557

OUR REFERENCE: 2477

DATE OF DESIGN 01/12/2006

DATE OF COMPLETION 01/06/2007

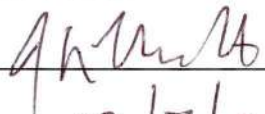
WAS CARRIED OUT UNDER THE SUPERVISION OF OASIS CLEARWATER
ENVIRONMENTAL SYSTEMS LTD TRAINED ENGINEERS, AND THE
EFFLUENT IRRIGATION ONLY HAS BEEN FULLY INSTALLED IN
ACCORDANCE WITH THE DESIGN PLANS AND RESOURCE CONSENT
CONDITIONS.

Name: Ross Heveldt

Company: Oasis Clearwater Environmental Systems Ltd

Address: 18 Anchorage Road
Hornby
Christchurch

Telephone: 03 344 0262

Signature: 

Date: 12/7/2007

THINKING
GLOBALLY
ACTING
LOCALLY







Electrical Certificate of Compliance

for prescribed electrical work that has been carried out on electrical installations and involves the placing or positioning or the replacing or repositioning of conductors (including fittings attached to those conductors).
To be completed whether or not an inspection is required.

No. 2360623

No. of attachments Nil

CUSTOMER INFORMATION - PLEASE PRINT CLEARLY

Name of customer Jamrat

Phone:

Address of installation lot 1, 839 WATERHOLES RD, TEMPELTON

Postal address of customer (if not as above)

WORK DETAILS

59 No. of lighting outlets

1

No. of ranges

38 No. of socket outlets

1

No. of water heaters

Was any installation work carried out by the homeowner?

☒ Yes

☒ No

Please tick (✓) as appropriate where work includes:

☒ Mains

☒ Earthing system

☒ Switchboard

☒ Electric lines

Description

2 x Future lighting cts

1 x Future Gable Power cct

3 x 150mm Extractor Fans

3 x Heated towel rails

3 x Bathroom Fan Heaters

It is recommended that test results be recorded here:

Visual Examination

☒

Earth Continuity

☒

Bonding

☒

Polarity

☒

Insulation Resistance > 200 Mohm

Other

If necessary attach any pages with sketches of work done

CERTIFICATION OF WORK

I certify that the above electrical work has been carried out in accordance with the requirements of the Electricity Act 1992 and Electricity Regulations 1997.

ELECTRICAL WORKER DETAILS

Name

Blair Thorpe

Registration no.

E244549

Company

Mobile Electrical

Signature

[Signature]

Date

27-06-07

Contact Ph No.

021 729 532

CERTIFICATION OF ELECTRIC LINES

(to be completed where a separate electrical worker has installed the electric line portion of the mains)

Name

Registration no.

Company

Signature

Date

Contact Ph No.

INSPECTION DETAILS

Electrical work requiring inspection by a registered electrical inspector

☐ New mains

☐ Switchboard

☐ Earthing system

☐ Installation work in hazardous areas

I certify that the inspection has been carried out in accordance with the requirements of regulation 41 of the Electricity Regulations 1997.

Name

Registration no.

Signature

Date

Daytime Contact Ph No.



CANTERBURY GROUNDWATER LTD

187E Ohoka Road, P.O.Box 77 Kaiapoi
Ph (03) 327-6631 Fax (03) 327-8633
Email. groundwater@paradise.net.nz

www.canterburygroundwater.co.nz

30th April 07

Mr D Jarrett
37 Cheyenne St
Upper Riccarton
Christchurch

Dear David,

Re: Water test results for 839 Water Holes Rd.

Thankyou for choosing Canterbury Groundwater to carry out the test on your water supply. The only point of concern with your water is the elevated level of Nitrate-N.

Nitrate-N: Elevated levels can indicate contamination from fertilizers or septic tank effluent. While the indicated level of 4.8 mg/l is elevated it does not exceed the maximum allowable level of 11.2 mg/l. Elevated levels can cause a health disorder in babies called Blue Baby (methemoglobinemia) in infants under six months old.

Treatment: If the Nitrate level is of concern to you your drinking water can be treated by a point of use purifier or reverse osmosis filter system. These filtering systems are placed under the bench in the kitchen with a separate faucet for drinking water.

If you have any further question don't hesitate to ring us.

Regards

Grant Dodd
Manager



CAWTHRON

Laboratory Report

Certificate of Analysis: Final

Cawthron Contract Number: 10193

Project Number: P83006

Canterbury Groundwater Ltd
P O Box 77
Kaiapoi
CANTERBURY

Attention: Grant Dodd

Email Recipients: Grant Dodd

Date Project Started: 12/04/2007 09:00

Sample Details

Laboratory ID: P83006-1
Description: Water Holes Road (3/839)
Customer ID: D Jarrett

Sample Type: Water

Date Sampled: 11/04/2007 10:00

Date Received: 12/04/2007 08:00

Analysis	Result	Units	Method
Total coliforms	<1	MPN/100mL	MIMMS 4th Edn 11A1. D.W. Stds for NZ 2005
Faecal coliforms	<1	MPN/100mL	MIMMS 4th Edn 11A1. D.W. Stds for NZ 2005
<i>E.coli</i>	<1	MPN/100mL	MIMMS 4th Edn 11A1. D.W. Stds for NZ 2005
pH	7.9	-	APHA 21st Edn 4500 H B
Alkalinity	50	g/m ³ as CaCO ₃	APHA 21st Edn 2320 B
Bromide	<0.15	g/m ³	APHA 21st Edn 4110 B
Chloride	12	g/m ³	APHA 21st Edn 4110 B
Dissolved Reactive Phosphorus	<0.10	g/m ³	APHA 21st Edn 4110 B
Fluoride	<0.05	g/m ³	APHA 21st Edn 4110 B
Nitrate-N	4.8	g/m ³	APHA 21st Edn 4110 B
Sulphate	4.2	g/m ³	APHA 21st Edn 4110 B
Turbidity	<0.1	NTU	APHA 21st Edn 2130 B
Iron	0.024	g/m ³	APHA 21st Edn 3120B Acid Preserved. ICP-OES
Manganese	0.002	g/m ³	APHA 21st Edn 3120B Acid Preserved. ICP-OES
Arsenic	<0.001	g/m ³	APHA 21st Edn 3114 B & C

Results apply to samples as received

Our routine detection limits for chemical testing relate to samples with a clean matrix.

Reported detection limits may be higher for individual samples if there is insufficient sample or the matrix is complex.

< means less than, > means greater than

Date Generated: 24/4/07



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Report Number: 182971

Project Number: P83006

V13.0



Cawthron

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Grove town Park SH 1, Private Bag 1007, Blenheim, New Zealand. Ph. +64 3 579 2270, Fax +64 3 579 2210.

Page
1 of 2

Authorised by: Mark Englefield (LAS)

Position: Senior Technician, Microbiology Laboratory

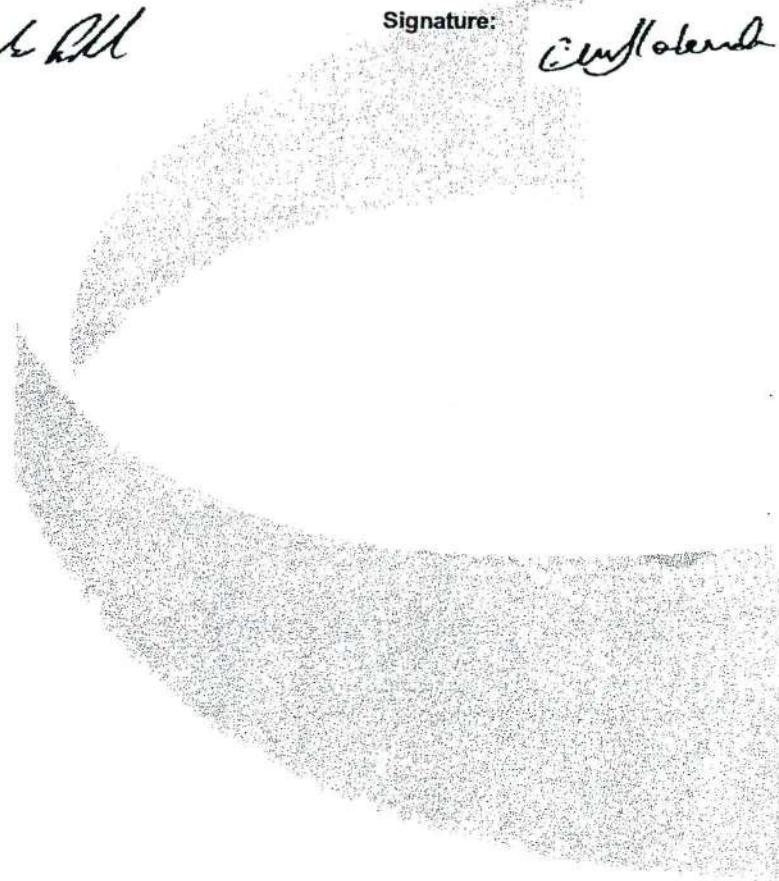
Signature:



Authorised by: Chelsea Slotemaker (LAS)

Position: Senior Technician, Environmental Laboratory

Signature:



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Page
2 of 2

BUILDING CONSENT AUTHORITY CCC CIRCULATION SHEET

OWNER: Jarvatt

CONSENT NO : 061359

DEPARTMENT
SIGN OFFS

CUSTOMER
SERVICES

INSPECTOR
SIGN OFF

T & C O
SIGN OFF
(For Compliance
Schedule)

FINANCE
OFFICER
(For Reconciliation)

BCA
SIGNATORY

DATE 22-05-08

COMPLETED 11/6/08 TW

DEADLINE DATE: _____

FORMALLY RECEIVED DATE: _____

PROCESS SIGN OFFS

INSPECTOR: _____

INTENDED USE: (if changed from BC) _____

CUSTOMER SERVICES		SIGN & DATE
Received and entered		30/1/07
Generate CCC document		27/5/08 yd
CCC Sent and filed		27/5/08 yd
INSPECTOR		
All inspections carried out	(YES/NO)	Rd. 22-05-08
All information included	(YES/NO)	Rd. 22-05-08
All consent conditions/notes met	(YES/NO)	Rd. 22-05-08
Energy Certificates provided	(YES/NO) NA	Rd. 22-05-08
P/S 3's & P/S 4's	(YES/NO) NA	Rd. 22-05-08
Intended Use Correct	(YES/NO)	Rd. 22-05-08

FURTHER INFORMATION REQUESTED

- * ~~INSPECTION~~ ~~PLD~~
- * EEC SIGNED BY REGISTERED ELECTRICAL INSPECTOR ✓
- * 1 MORE BACTERIOLOGICAL TESTS ✓

POST B/C & CCC COSTINGS

DATE	INITIALS	ADMINISTRATION	UNITS	TRAVEL	MILEAGE
29/8/07	J.F.	FWAC re inspect	7	1	3
19/3/08	TJ	enquiry	3		
22/05/08	Rd	CCC processing	5		
24/6/07	AK	re inspect	5		
18/6/07	TR	tanking inspection			
18/6/07		re inspect			
		+ See other sheet			

Reconciliation completed ☒

Invoice generated ☒

Refund made ☐

No further action as result of reconciliation ☐

Referred to _____ re query _____

Stacey Dalley

From: Felicity Burt [FelicityBurt@todayhomes.co.nz]
Sent: Wednesday, May 21, 2008 10:49 AM
To: buildingadmin_designdocument
Subject: BC 061359-required 3x water tests for release of coc cert
Attachments: water test 12-04-07.pdf; water test 31-03-08.pdf; water test 5-5-08.pdf

<<water test 5-5-08.pdf>>



CAWTHRON

Laboratory Report

Certificate of Analysis: Final

Cawthron Contract Number: 10193

Project Number: P83006

Canterbury Groundwater Ltd

P O Box 77

Kaiapoi

CANTERBURY

Attention: Grant Dodd

Email Recipients: Grant Dodd

Date Project Started: 12/04/2007 09:00

Sample Details

Laboratory ID: P83006-1 Sample Type: Water
Description: Water Holes Road (3/839)
Customer ID: D Jarrett

Date Sampled: 11/04/2007 10:00

Date Received: 12/04/2007 08:00

Analysis	Result	Units	Method
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Faecal coliforms	<1	MPN/100mL	MIMMS 4th Edn 11A1. D.W. Stds for NZ 2005
<i>E.coli</i>	<1	MPN/100mL	MIMMS 4th Edn 11A1. D.W. Stds for NZ 2005
pH	7.9	-	APHA 21st Edn 4500 H B
Alkalinity	50	g/m ³ as CaCO ₃	APHA 21st Edn 2320 B
Bromide	<0.15	g/m ³	APHA 21st Edn 4110 B
Chloride	12	g/m ³	APHA 21st Edn 4110 B
Dissolved Reactive Phosphorus	<0.10	g/m ³	APHA 21st Edn 4110 B
Fluoride	<0.05	g/m ³	APHA 21st Edn 4110 B
Nitrate-N	4.8	g/m ³	APHA 21st Edn 4110 B
Sulphate	4.2	g/m ³	APHA 21st Edn 4110 B
Turbidity	<0.1	NTU	APHA 21st Edn 2130 B
Iron	0.024	g/m ³	APHA 21st Edn 3120B Acid Preserved. ICP-OES
Manganese	0.002	g/m ³	APHA 21st Edn 3120B Acid Preserved. ICP-OES
Arsenic	<0.001	g/m ³	APHA 21st Edn 3114 B & C

Results apply to samples as received

Our routine detection limits for chemical testing relate to samples with a clean matrix.

Reported detection limits may be higher for individual samples if there is insufficient sample or the matrix is complex.

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Page
1 of 2

Authorised by: Mark Englefield (LAS)

Position: Senior Technician, Microbiology Laboratory

Signature:



Authorised by: Chelsea Slotemaker (LAS)

Position: Senior Technician, Environmental Laboratory

Signature:



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Page
2 of 2

4 April 2008

58 Kilmore Street, Christchurch
Lab Phone: 03 353 9720
Email: lab@ecan.govt.nz

Fax: 03 365 3194
website: www.ecan.govt.nz

Dianne Jarratt
839 Waterholes Road
RD 5
CHRISTCHURCH

ECan LABORATORY REPORT

Report No: 2800592
Sample Description: Kitchen sink
Lab. No. 2803072

Date Collected: 31/03/2008 ✓
Time Collected: 1230
Date Received: 31/03/2008
Sampled By: Dianne Jarrat
Order No:

Parameter	Result	MAV (Health)	GV (Aesthetic)	Units
E coli	<1	<1	-	MPN/100mL
Total Coliforms	<1	-	-	MPN/100mL

This sample **complies** with the Drinking-Water Standards for New Zealand 2005 for the parameters analysed.

Results in **bold type** are greater than half the MAV or outside the GV.

Comments:

MAV - (Maximum Acceptable Values for determinands of health significance)

GV - (Guideline Values for aesthetic determinands; i.e. appearance, taste, odour, etc.)

Symbols: < means less than the limit of detection. Units of mg/L are equivalent to g/m3 and ppm.

To Reduce Metals in Drinking Water:

Use only water from a flushed cold tap for drinking, cooking and especially when making baby formula.

Metals (eg lead, copper, zinc etc.) can leach from plumbing fittings after sitting overnight.

To "flush" your tap, run water until it gets as cold as it can. This may take from a few seconds to several minutes depending on previous use.

Methods:	Method
E coli	APHA 9223 Colilert Kit
Total Coliforms	APHA 9223 Colilert Kit

APHA - American Public Health Association
21st Edition 2005

* = subcontracted analysis

NI = Not IANZ accredited for this test.

Frances Kenny

Frances Kenny
LABORATORY TECHNICIAN

Analytical results relate to sample as received.
Details of methods are available on request.
This report may only be reproduced in full.



235
565
808



All tests reported herein have been performed in accordance with the laboratory's scope of accreditation unless otherwise indicated.

Interpretation Notes

- E coli:** Generally accepted indicator for the presence of pathogenic viruses and bacteria. However it is not a good indicator for presence of the pathogenic protozoa *Giardia* and *Cryptosporidium*. Sources - gut of warmblooded animals eg sewage, septic tanks, animal manure and bird droppings.
- Total coliforms:** Used to indicate the probable contamination of water by organic material and that the possibility of faecal contamination needs to be checked. Performed in conjunction with E.coli.

9 May 2008

58 Kilmore Street, Christchurch

Lab Phone: 03 353 9720

Email: lab@ecan.govt.nz

Fax: 03 365 3194

website: www.ecan.govt.nz

Dianne Jarratt
839 Waterholes Road
RD 5
CHRISTCHURCH

ECan LABORATORY REPORT

Report No:	2800798	Date Collected:	05/05/2008 ✓
Sample Description:	Kitchen tap	Time Collected:	1315
Lab. No.	2803901	Date Received:	05/05/2008
		Sampled By:	Dianne Jarratt

Parameter	Result	MAV (Health)	GV (Aesthetic)	Units
E coli	<1	<1	-	MPN/100mL
Total Coliforms	<1	-	-	MPN/100mL

This sample **complies** with the Drinking-Water Standards for New Zealand 2005 for the parameters analysed.

Results in **bold type** are greater than half the MAV or outside the GV.

Comments:

MAV - (Maximum Acceptable Values for determinands of health significance)

GV - (Guideline Values for aesthetic determinands; i.e. appearance, taste, odour, etc.)

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Methods:	Method
E coli	APHA 9223 Colilert Kit
Total Coliforms	APHA 9223 Colilert Kit

APHA - American Public Health Association
21st Edition 2005

* = subcontracted analysis

NI = Not IANZ accredited for this test.

Marta Torok
Marta Torok
LABORATORY TECHNICIAN



235
565
808



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- E coli:** Generally accepted indicator for the presence of pathogenic viruses and bacteria. However it is not a good indicator for presence of the pathogenic protozoa Giardia and Cryptosporidium. Sources - gut of warmblooded animals eg sewage, septic tanks, animal manure and bird droppings.
- Total coliforms:** Used to indicate the probable contamination of water by organic material and that the possibility of faecal contamination needs to be checked. Performed in conjunction with E.coli.

FILE COPY

15 October 2007

TODAY HOMES LIMITED
PO BOX 8043
RICCARTON
CHRISTCHURCH

Dear Sir/Madam

**RE: APPLICATION FOR CODE COMPLIANCE CERTIFICATE FOR
BUILDING CONSENT NO. 061359
DOMESTIC DWELLING
WATERHOLES ROAD, ROLLESTON**

To enable me to process the above application, would you please supply the following information.

Your Code Compliance Certificate cannot be issued until this information is received.

- As the electrical work carried out included the Mains, Main Earthing System and Switchboard, the electrical certificate will need to be inspected and signed-off by a Registered Electrical Inspector.
- As the water tests have revealed Elevated Nitrate levels in your water supply, please advise the council on how you intend to resolve this matter.

No further processing of this application will take place until **all** of the above information is received.

It is important that any enquires/correspondence relating to the above is addressed for the attention of: Building Consent Officer, Private Bag 1, LEESTON.

Yours faithfully

Dante S. Quiñanola
Technical & Compliance Officer



22 August 2007

Mr DJ & Mrs DM Jarratt
839 Waterholes Road
TEMPLETON



58 Kilmore Street, PO Box 345, Christchurch

General enquiries: 03 365 3828

Fax: 03 365 3194

Email: ecinfo@ecan.govt.nz

Customer services: 03 353 9007

or: 0800 EC INFO (0800 324 636)

Website: www.ecan.govt.nz

COPY

Dear Mr & Mrs Jarratt

WASTEWATER TREATMENT & DISPOSAL SYSTEM FOR DJ & DM JARRATT, 839 WATERHOLES ROAD, TEMPLETON, LOT 1 DP50079

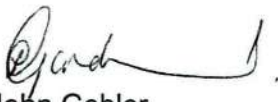
This letter is to confirm that on the 20 July 2007 Environment Canterbury received a Certificate of Construction confirming that at the above location the onsite wastewater treatment and land application system has been installed in accordance with the approved design plans. These plans and associated specification(s) have been assessed, and in my opinion the discharge will meet the requirements of the relevant rules set out in the operative and proposed regional plans and can be considered a permitted activity. To maintain this permitted activity authorisation you must ensure the following:

- The discharge will not result in sewage effluent flowing, seeping, or ponding on the surface of the ground.
- There will be no discharge of sewage effluent directly to surface water or directly into groundwater.
- The treatment and land application system will be operated and maintained in accordance with the system's design specifications for maintenance.
- The primary treatment tank or chamber will:
 - (a) Have an access point or points for inspecting and maintaining the effluent filter, monitoring the accumulation of sludge and desludging the tank or chamber. The access point or points will be accessible for these purposes at all times: and
 - (b) Be inspected at least once a year and the depth of accumulated sludge in the primary treatment tank or chamber measured: and
 - (c) Be deslugged when the accumulated scum and sludge occupy more than two thirds of the volume of the tank or chamber.
- The following information will be recorded, and a copy of these records made available to Environment Canterbury upon request:
 - (a) Maintenance of the treatment and land application system, including inspection, desludging or remedial work: and
 - (b) Dates works are undertaken and the name of the company undertaking the work.

Our Ref: WWPA041262/CRC071557
Contact: John Gebler
john.gebler@ecan.govt.nz

Failure to comply fully with these requirements may result in the requirement for resource consent to authorise the discharge.

Yours sincerely


p.p. John Gebler
Environmental Protection Officer

YESO

c.c. Ivan Fletcher, Selwyn District Council

Regards Peter B.

Please attend to 061359 not 1 waterholes Road
the inspection notice's Nos (22, 05.07.08
29.8.07) as per discussion, refer myself +
G Wild, and amend inspection Notice
A.A.U. to WC, not required.

Attention Vanessa Beaton

Telephone 3257603
Fax 3257604

SEWER, STORMWATER, WATERMAIN INSTALLATIONS
ALL UNDERGROUND PIPES ANY SIZE

P. F. BARRETT CONTRACTS LTD.

P.O. BOX 16146, HORNBY
CHRISTCHURCH

Selwyn District Council

MESSAGE FOR: 324 3531

DATE: 24-10-07

Total pages: (1)

fax

A.H. Brent

22 August 2007

Dianne Jarratt
839 Waterholes Road
RD 5
CHRISTCHURCH



58 Kilmore Street, PO Box 345, Christchurch

General enquiries: 03 365 3528

Fax: 03 365 3194

Email: ecinfo@ecan.govt.nz

Customer services: 03 353 9007

or: 0800 EC INFO (0800 324 636)

Website: www.ecan.govt.nz

ECan LABORATORY REPORT

Report No: 2701417

Date Collected: 17/08/2007

Sample Description: **Lifestyle block**

Time Collected: 0730

Date Received: 17/08/2007

Lab. No. 2705716

Sampled By: Client

Parameter	Result	MAV (Health)	GV (Aesthetic)	Units
Copper	0.02	1	2	mg/L
Iron	0.37	-	0.2	mg/L
Manganese	<0.01	0.4	0.04	mg/L

This sample **complies** with the Drinking-Water Standards for New Zealand 2005 for the parameters analysed.

Results in **bold type** are greater than half the MAV or outside the GV.

Comments:

MAV - (Maximum Acceptable Values for determinands of health significance)

GV - (Guideline Values for aesthetic determinands; i.e. appearance, taste, odour, etc.)

Symbols: < means less than the limit of detection.

Units of mg/L are equivalent to g/m3 and ppm.

Methods:	Method
Copper	APHA 3111 B acid soluble
Iron	APHA 3111 B acid soluble
Manganese	APHA 3111 B acid soluble

* = subcontracted analysis

NI = Not IANZ accredited for this test.

Paul Woods
SENIOR CHEMIST

Analytical results relate to sample as received.
Details of methods are available on request.
This report may only be reproduced in full.



235
565
808



All tests reported herein have been performed
in accordance with the laboratory's scope of
accreditation unless otherwise indicated.

Report no. 2701417

Page 1 of 2

Printed on 100% recycled material

Ent 64 3 3489136

Physical number of the Canterbury Region of Council

PAGE 01/01

STAYBRITE FAB LTD

+64-3-3489136

09/11/2007 13:30

INSPECTION NOTICE

Inspections are to be booked by the owner or builder.

Name: DJ & DM JarrattConsent No: 061359Site Address/Rapid No: Water Holes Road
Rolleston.Officer: G Wild

Name: _____

Type of building work: SewerOn 9 / 10 / 07 at _____

am / pm this site was inspected pursuant to the Building Act 2004 [Section 222/230] and the Local Government Act 1974. [Section 710]. The purpose of the inspection was:-

a	Siting & Founds	h	Bond Beam	o	Other
b	Slab	i	Blockfill	p	Resource Consent
c	Pre Wrap	j	Heating unit	q	Complaint/investigation
d	Post Wrap	k	Sanitary drainage	r	Compliance Schedule
e	Half height veneer	l	Stormwater drainage	s	WOF/ c/s audit
f	Preline/Plumbing	m	Pile/pole holes	t	Final
g	Post line bracing	n	Cladding	u	Inspection
					☐ Pass ☐ Fail

BUILDING WORK

MAY PROCEED ☒MAY NOT PROCEED ☐

REINSPECTION

YES ☐NO ☒

INSPECTION NOTES:

The main sewer is vented by an 80^{mm} terminal vent at the head of the line at the Kitchen Gully trap. The branch sewer line to a WC & bathroom Gully trap is also vented. All WC pans are situated on an exterior wall with no possibility that the water seal in the pans can be lost. It is in my considered opinion that AAV's need not be fitted or required.

ENTERED

NOTE: A Code Compliance Certificate Application is required for 2004 Building Act Consents

Owner/Builder/Contractor confirms floor height is as recommended by Environment Canterbury

☐

INSTRUCTIONS

All work inspected is in accordance with the Building Consent

☐

Satisfactory: Work may proceed when minor items above have been attended to

☐

Some work is not satisfactory or is incomplete, as detailed above, and rectification is required.

☐

A notice to fix will be issued

☐Notice to: Contractor ☐ Owner ☐ Agent ☐ Occupier ☐

Signed:

By: Telephone ☐ Fax ☐ Posting ☐ Left on Site ☐G Wild

PETER 0274344 211

061359

FAX:

32576004

ATTN → PETER

INSPECTION NOTICE

Inspections are to be booked by the owner or builder.

Name: D.J. & J.M. JARRAT Consent No: 06/359
 Site Address/Rapid No: LOT 1 WATERHOLES ROAD, ROLLESTON Officer: MARY C.
 Type of building work: DWELLING
 On 29/8/2007 at am / pm this site was inspected pursuant to the Building Act 2004 [Section 222/230] and the Local Government Act 2004 [Section 174]. The purpose of the inspection was:-

a	Siting & Founds	h	Bond Beam	o	Other
b	Slab	i	Blockfill	p	Resource Consent
c	Pre Wrap	j	Heating unit	q	Complaint/investigation
d	Post Wrap	k	Sanitary drainage	r	Compliance Schedule
e	Half height veneer	l	Stormwater drainage	s	WOF/ c/s audit
f	Preline/Plumbing	m	Pile/pole holes	t	Final Inspection
g	Post line bracing	n	Cladding	u	☐ Pass ☒ Fail

BUILDING WORK MAY PROCEED ☐ MAY NOT PROCEED ☐ RE-INSPECTION YES ☒ NO ☐

INSPECTION NOTES:

- REINSPECTION OF FINAL
- 2X A.A.V TO W.C OUTSTANDING.
- P.S.Y FOR THE INSTALLATION OF SKY LIGHT.
- ISSUE DATED ON 11/7/07 HAVE BEEN ATTENDED TO. THAT'S TICKED OFF.
- HEATING UNIT IN PLACE, AIRWIDEN PLANS RECEIVED. (CONFIRMED BY STACEY)

SB

NOTE: A Code Compliance Certificate Application is required for 2004 Building Act Consents

Owner/Builder/Contractor confirms floor height is as recommended by Environment Canterbury ☐

INSTRUCTIONS

All work inspected is in accordance with the Building Consent ☐

Satisfactory: Work may proceed when minor items above have been attended to ☐

Some work is not satisfactory or is incomplete, as detailed above, and rectification is required. ☒

A notice to fix will be issued ☐

Notice to: Contractor ☐ Owner ☒ Agent ☐ Occupier ☐ Signed: D.J. Jarrat

By: Telephone ☐ Fax ☐ Posting ☐ Left on Site ☐

INSPECTION NOTICE

Inspections are to be booked by the owner or builder.

Name: JARRATT Consent No: 061359
 Site Address/Rapid No: Water House Rd Officer: [Signature]
Roxburgh Name: Tim Dwyer

Type of building work: Dwelling
 On 14/8/07 at 3.00 am/pm this site was inspected pursuant to the Building Act 2004 [Section 222/230] and the Local Government Act 2004 [Section 174]. The purpose of the inspection was:-

a	Siting & Founds	h	Bond Beam	o	Other
b	Slab	i	Blockfill	p	Resource Consent
c	Pre Wrap	j	Heating unit	q	Complaint/investigation
d	Post Wrap	k	Sanitary drainage	r	Compliance Schedule
e	Half height veneer	l	Stormwater drainage	s	WOF/ c/s audit
f	Preline/Plumbing	m	Pile/pole holes	t	Final Inspection
g	Post line bracing	n	Cladding	u	☐ Pass ☐ Fail

BUILDING WORK MAY PROCEED ☐ MAY NOT PROCEED ☒ RE-INSPECTION YES ☐ NO ☐

INSPECTION NOTES:

Inspection booked by Draughtsman P JARRATT.

50mm open vent fitted to branch drain as required

OTHER ITEMS UNABLE TO INSPECT AS ~~KNOWN~~ HOME.

ENTERED

NOTE: A Code Compliance Certificate Application is required for 2004 Building Act Consents

Owner/Builder/Contractor confirms floor height is as recommended by Environment Canterbury ☐

INSTRUCTIONS Reinspection required for other ~~items~~ items

All work inspected is in accordance with the Building Consent ☐

Satisfactory: Work may proceed when minor items above have been attended to ☐

Some work is not satisfactory or is incomplete, as detailed above, and rectification is required. ☒

A notice to fix will be issued ☐

Notice to: Contractor ☒ Owner ☐ Agent ☐ Occupier ☐ Signed: _____

By: Telephone ☐ Fax ☐ Posting ☐ Left on Site ☐

INSPECTION NOTICE

Inspections are to be booked by the owner or builder.

Name: D.J. & D.M. JARLAS Consent No: 06/359
 Site Address/Rapid No: LOT 1 WATERHOLES ROAD, COLLESTON Officer: Maryl
 Type of building work: DWELLING
 On 11 / 7 / 2007 at am / pm this site was inspected pursuant to the Building Act 2004 [Section 222(230)] and the Local Government Act 1974. [Section 710]. The purpose of the inspection was:-

a	Siting & Founds	h	Bond Beam	o	Other
b	Slab	i	Blockfill	p	Resource Consent
c	Pre Wrap	j	Heating unit	q	Complaint/investigation
d	Post Wrap	k	Sanitary drainage	r	Compliance Schedule
e	Half height veneer	l	Stormwater drainage	s	WOF/ c/s audit
f	Preline/Plumbing	m	Pile/pole holes	t	Final Inspection
g	Post line bracing	n	Cladding	u	☐ Pass ☒ Fail

BUILDING WORK MAY PROCEED ☐ MAY NOT PROCEED ☒ REINSPECTION YES ☒ NO ☐

INSPECTION NOTES:

- EXTERIOR
 ① ✓ WEEPHOLES WITHIN 10m ✓ OF GAS BOTTLE TO BE SEALED OFF. ② M.V. & A.A.V. OUTSTANDING ON DRAIN LINES. X 2X W.C.

- INTERIOR -

③ ✓ LAUNDRY BENCH TO BE SEALED @ WALL.
 - MAIN BATHROOM: SAFETY GLASS TO WINDOW & SHOWER
 ④ ✓ VANITY TO BE SEALED @ WALL.
 - EN-SUIT, SAFETY GLASS TO WINDOW & SHOWER.
 • SMOKE DETECTORS IN POSITION
 - KITCHEN AREA: HEATSHIELD BEHIND HOB OUTSTANDING. ⑤ ✓ BENCH @ HOB TO BE SEALED @ WALL.
 - HOT WATER CYLINDER, OK.
 ⑥ ✓ SHOWER DOOR TO BE FITTED @ 2ND EN-SUIT

NOTE: A Code Compliance Certificate Application is required for 2004 Building Act Consents

Owner/Builder/Contractor confirms floor height is as recommended by Environment Canterbury ☐

INSTRUCTIONS

All work inspected is in accordance with the Building Consent ☐

Satisfactory: Work may proceed when minor items above have been attended to ☐

Some work is not satisfactory or is incomplete, as detailed above, and rectification is required. ☒

A notice to fix will be issued ☐

Notice to: Contractor ☒ Owner ☐ Agent ☐ Occupier ☐ Signed: LM

By: Telephone ☐ Fax ☐ Posting ☐ Left on Site ☐

Inspections are to be booked by the owner or builder.

Name: D.J. & DM JERRAT Consent No: 061.359
 Site Address/Rapid No: LOT 1 WATERHOLES Officer: _____
ROAD, ROLLERSON Name: Daryl
 Type of building work: DWELLING
 On 11 / 7 / 2007 at _____ am / pm this site was inspected pursuant to the
 Building Act 2004 [Section 222/230] and the Local Government Act 1974. [Section 710]. The purpose of the inspection was:-

a	Siting & Founds	h	Bond Beam	o	Other
b	Slab	i	Blockfill	p	Resource Consent
c	Pre Wrap	j	Heating unit	q	Complaint/investigation
d	Post Wrap	k	Sanitary drainage	r	Compliance Schedule
e	Half height veneer	l	Stormwater drainage	s	WOF/ c/s audit
f	Preline/Plumbing	m	Pile/pole holes	t	Final ☒ Inspection ☐ Pass ☒ Fail
g	Post line bracing	n	Cladding	u	

BUILDING WORK MAY PROCEED ☐ MAY NOT PROCEED ☐ REINSPECTION YES ☒ NO ☐

INSPECTION NOTES:

- CONT.
 * Single Toilet, Vanity to be sited @ wall.

- Documentation
 * PS4 For Septic Tank System & Soakage.
 * ELECTRICAL CERTIFICATE.
 * GAS CERTIFICATE FOR INSTALLATION OF GAS HOBS & PIPE FITTING. 9kg Gas Bottle.
 * INSTALLATION, PS4 FOR SKYLIGHT.
 * CONFIRMATION By NZ Drinking Water Board THAT WATER IS DRINKABLE.
 * AMENDED PLANS FOR CHANGE OF LOG BURNER (TYPE) * C.C.C APPLICATION FORM.

NOTE: A Code Compliance Certificate Application is required for 2004 Building Act Consents

Owner/Builder/Contractor confirms floor height is as recommended by Environment Canterbury ☐

INSTRUCTIONS

All work inspected is in accordance with the Building Consent ☐

Satisfactory: Work may proceed when minor items above have been attended to ☐

Some work is not satisfactory or is incomplete, as detailed above, and rectification is required. ☒

A notice to fix will be issued ☐

Notice to: Contractor ☒ Owner ☐ Agent ☐ Occupier ☐ Signed: _____

By: _____ Telephone ☐ Fax ☐ Posting ☐ Left on Site ☐

INSPECTION NOTICE

Inspections are to be booked by the owner or builder.

Name: D.J. & D.M. JARRAT Consent No: 06/359
 Site Address/Rapid No: LOT 1 WATERHOLES Officer: SARYL
ROAD, ROLLISTON Name: SARYL
 Type of building work: DWELLING
 On 11 / 7 / 2007 at am / pm this site was inspected pursuant to the
 Building Act 2004 [Section 222/230] and the Local Government Act 1974. [Section 710]. The purpose of the inspection was:-

a	Siting & Founds	h	Bond Beam	o	Other
b	Slab	i	Blockfill	p	Resource Consent
c	Pre Wrap	j	Heating unit	q	Complaint/investigation
d	Post Wrap	k	Sanitary drainage	r	Compliance Schedule
e	Half height veneer	l	Stormwater drainage	s	WOF/ c/s audit
f	Preline/Plumbing	m	Pile/pole holes	t	☒ Final Inspection
g	Post line bracing	n	Cladding	u	☐ Pass ☒ Fail

BUILDING WORK MAY PROCEED ☐ MAY NOT PROCEED ☐ REINSPECTION YES ☒ NO ☐

INSPECTION NOTES:

- CONT.
 ✓ - ROOF SPACE.
 ⊕ BATTS TO TIDY AROUND FLUE AREA
OF FIRE UNIT.
 ⊕ POLY BUTYLENE PIPES TO BE WITHIN
THERMAL BARRIER.

ENTERED

NOTE: A Code Compliance Certificate Application is required for 2004 Building Act Consents

Owner/Builder/Contractor confirms floor height is as recommended by Environment Canterbury ☐

INSTRUCTIONS

All work inspected is in accordance with the Building Consent ☐

Satisfactory: Work may proceed when minor items above have been attended to ☐

Some work is not satisfactory or is incomplete, as detailed above, and rectification is required. ☒

A notice to fix will be issued ☐

Notice to: Contractor ☒ Owner ☐ Agent ☐ Occupier ☐ Signed:

By: Telephone ☐ Fax ☐ Posting ☐ Left on Site ☐

INSPECTION NOTICE

Inspections are to be booked by the owner or builder.

Name: JARRATT Consent No: 061359
 Site Address/Rapid No: WATER HOUSES RD. Officer: [Signature]
ROXBOROUGH Name: T. Dwyer

Type of building work: Drainage

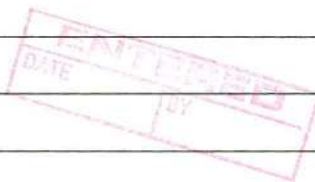
On 18/6/07 at 1-45 am/pm this site was inspected pursuant to the Building Act 2004 [Section 222(230)] and the Local Government Act 1974. [Section 710]. The purpose of the inspection was:-

a	Siting & Founds	h	Bond Beam	o	☒ Other <u>Drainage</u>
b	Slab	i	Blockfill	p	Resource Consent
c	Pre Wrap	j	Heating unit	q	Complaint/investigation
d	Post Wrap	k	Sanitary drainage	r	Compliance Schedule
e	Half height veneer	l	Stormwater drainage	s	WOF/ c/s audit
f	Preline/Plumbing	m	Pile/pole holes	t	Final
g	Post line bracing	n	Cladding	u	Inspection
					☐ Pass ☐ Fail

BUILDING WORK MAY PROCEED ☒ MAY NOT PROCEED ☐ REINSPECTION YES ☐ NO ☐

INSPECTION NOTES:

Driflex Pump TO STORGE WALS TO 1-800.
FIBRE GLASS TO STOP UPSTAND.
PRODUCER STATEMENT ATTACHED



NOTE: A Code Compliance Certificate Application is required for 2004 Building Act Consents

Owner/Builder/Contractor confirms floor height is as recommended by Environment Canterbury ☐

INSTRUCTIONS

All work inspected is in accordance with the Building Consent ☒

Satisfactory: Work may proceed when minor items above have been attended to ☐

Some work is not satisfactory or is incomplete, as detailed above, and rectification is required. ☐

A notice to fix will be issued ☐

Notice to: Contractor ☒ Owner ☐ Agent ☐ Occupier ☐ Signed:
 By: Telephone ☐ Fax ☐ Posting ☐ Left on Site ☒

Brian Hicks Tiling Ltd

Producer Statement

5 year limited warranty

Client name Jarrat (Today Homes)

Address Waterholes Rd

BC number

Waterproofing Contractor As above

Area Laid m² 5.5 m²

Product type & use Dryflex Pump/fibreglass matting
2 Coats

This warranty shall apply to the installation of the membrane which has been used for waterproofing directly over the Substrate behind the shower/bath tiles.

Signed: B Hicks Date: 18-8-07



PRIVATE BAG 1

LEESTON

PHONE

(03) 324-8080

FAX

(03) 324-3531

FACSIMILE COMMUNICATION

DATE: 18/06/07	NUMBER OF PAGES (including this page) 3
TO: ROLLESTON	FROM: ANNDREA
ATTENTION: TIM BOWYER	FAX No

TO COLLECT

MESSAGE:

TO

Ref: B166956

Valuation: 2352206101 NCS

Consent: 001359

RC req ? Not required

D J AND D M JARRATT

WATERHOLES ROAD, ROLLESTON

DOMESTIC DWELLING

Ph BRIAN

\$329,483 313m2

Truss design ok

Building Company: TODAY HOMES

Time:

Type: TANKING

TWO GARAGE DOORS.... ONE ON RIGHT YOU CAN LIFT UP AND SLAM
ON LEAVING....

BRIAN 021577354

PLEASE NOTE the information contained in this facsimile message and the accompanying papers is confidential and is for the above mentioned recipient only. If you are not the intended recipient, you should note that any use, dissemination, distribution or reproduction of the information in this message and the accompanying sheets is unauthorised and strictly prohibited. If you have received this message in error, please notify us by telephone immediately and return the original message to us by post. Thank you.

Building Consent Enquiry

Page 1 of 5

Selwyn District Council
Building Consent Enquiry

Prev [Change](#), [Inspection Log](#), [Create Invoice](#), [Print Forms](#), [Print Letters](#), [Search](#), [Resource Consent Search](#) Next

PIM/Consent No. 061359

The Building
Valuation No 2352206101
[General Property Enquiry](#)
Street Address ** WATERHOLES ROAD, ROLLESTON
Legal Description ** LOT 1 DP 50079 WITH AN UNDIVIDED 1/6 SH IN LOT 5 D
Floor (m2) 313
Current Status Signed Off B/A - Claudine Petric 7/02/07
Truss design ok
Process Days Taken To Issue 12

The Owner
Name D J AND D M JARRATT
Mailing Address 37 CHEYENNE STREET
RICCARTON
CHRISTCHURCH
Landline Phone 942 5285

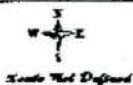
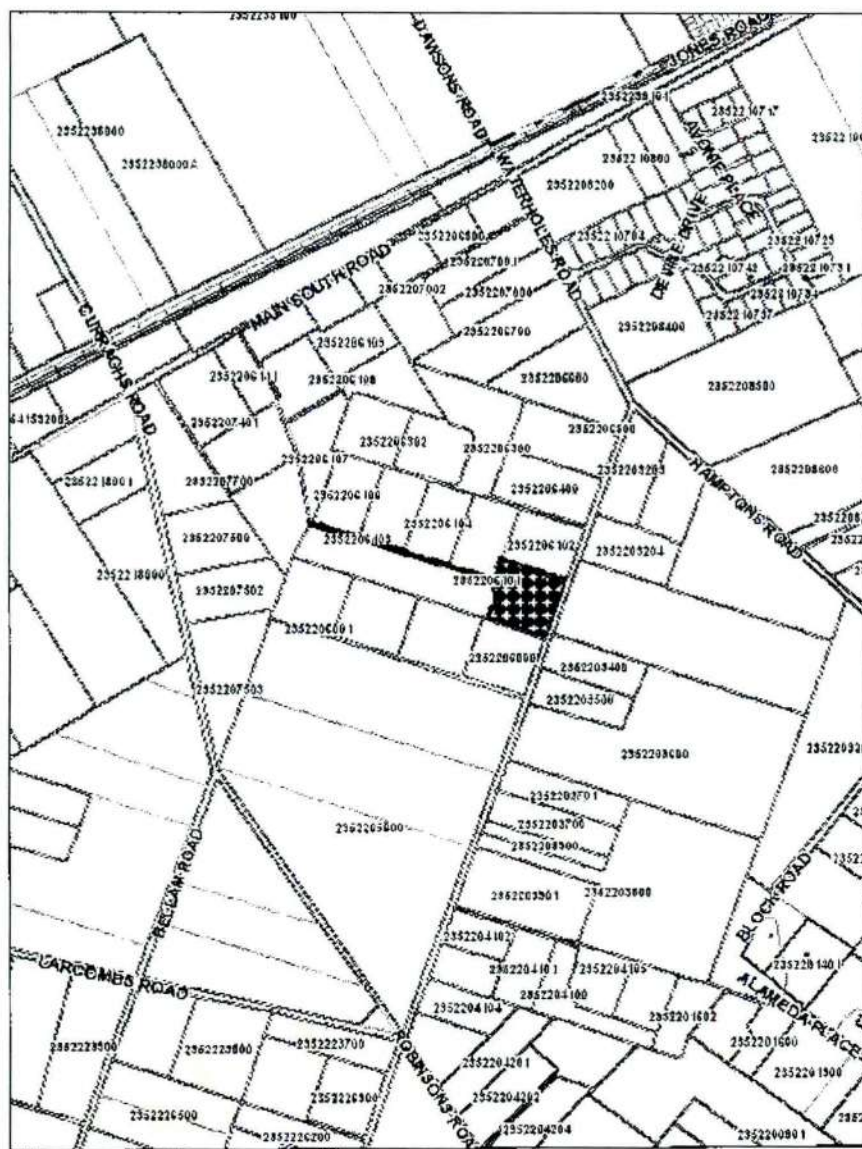
The Agent
Name TODAY HOMES LIMITED
Contact BRENDON HERD
Mailing Address PO BOX 8043
RICCARTON
CHRISTCHURCH
Landline Phone 341 6460
Daytime Phone 341 6460
Fax 341 6462
Email brendon@todayhomes.co.nz
Debtor [BC061359](#)
Balance \$ 0.00
Invoice 40157
Job Costing [BC061359](#)

[Edit Debtor](#)

Building Work
Type of Work DOMESTIC DWELLING
Intended use 4 Bedroom Dwelling with Study & attached 3 Car Garage (313.13m²) & Solid Fuel Heater.
Intended life INDEFINITE
Stats code 1100 New (& prebuilt) House, Unit, Bach, Crib, Town House c
Estimated value \$329,483
Pans 3
Resource Consent? Not required
Dev Contrib Notice?

Administration Fee \$542.25
Planning \$11.25
Building Research Levy \$330.00
DBH Levy \$650.10
9 Inspections \$1,376.87
Producer Stmt \$10.00
Total Charges \$2,920.47

Status history
LODGED 14/08/06
PIM FORMALLY RECEIVED 14/08/06 FOR PIM CIRC
CIRC ENGINEER - RJA 15/08/06 PIM CIRC
SIGN OFF ENGINEER - RJA 17/08/06
CIRCULATED TO BUILDING 17/08/06 for PIM
SIGNED OFF B/A - SHAUN EDWARDS 22/08/06 PIM only OK to issue
CIRCULATED TO

Assessment No. 2352206101*Property Map*

The Cadastral data is derived from LINZ's DCDB. Crown Copyright Reserved.

INSPECTION NOTICE

Inspections are to be booked by the owner or builder.

Name: Tarratt Consent No: 061359
 Site Address/Rapid No: Waterholes Road, Rolleston Officer: Andrew Kendall
 Name: _____

Type of building work: Dwelling
 On 22/05/07 at 4.05 pm this site was inspected pursuant to the Building Act 2004 [Section 222(230)] and the Local Government Act 1974. [Section 710]. The purpose of the inspection was:-

a	Siting & Founds	h	Bond Beam	o	Other
b	Slab	i	Blockfill	p	Resource Consent
c	Pre Wrap	j	Heating unit	q	Complaint/investigation
d	Post Wrap	k	Sanitary drainage	r	Compliance Schedule
e	Half height veneer	l	Stormwater drainage	s	WOF/ c/s audit
f	Preline/Plumbing	m	Pile/pole holes	t	Final Inspection
g	Post line bracing	n	Cladding	u	

☐ Pass
☐ Fail

BUILDING WORK MAY PROCEED ☒ MAY NOT PROCEED ☐ REINSPECTION YES ☐ NO ☒

INSPECTION NOTES:

- Drainlayer :- Peter F Barrett Contracts LTD
- Gradient :- 1:80, as confirmed by drainlayer
- Water test passed at inspection time
- Drains laid in accordance with plan dated: 22/05/07.
- Pipes laid on bedding chip
- 100mm uPVC stormwater lines to soak pits
- 100mm uPVC sewer lines to Oasis Clearwater sewage treatment tank.
- Oasis Clearwater tank unknown to inspector, appears to similar to a series 2000. Label on tanks & Model number: PL-20RC (Polylok)
- * WC's to be vented with AAV's or vented pans by final inspection
- * PSH required for septic tank system & soakage.

NOTE: A Code Compliance Certificate Application is required for 2004 Building Act Consents

Owner/Builder/Contractor confirms floor height is as recommended by Environment Canterbury ☐

INSTRUCTIONS

All work inspected is in accordance with the Building Consent ☐

Satisfactory: Work may proceed when minor items above have been attended to ☒ *

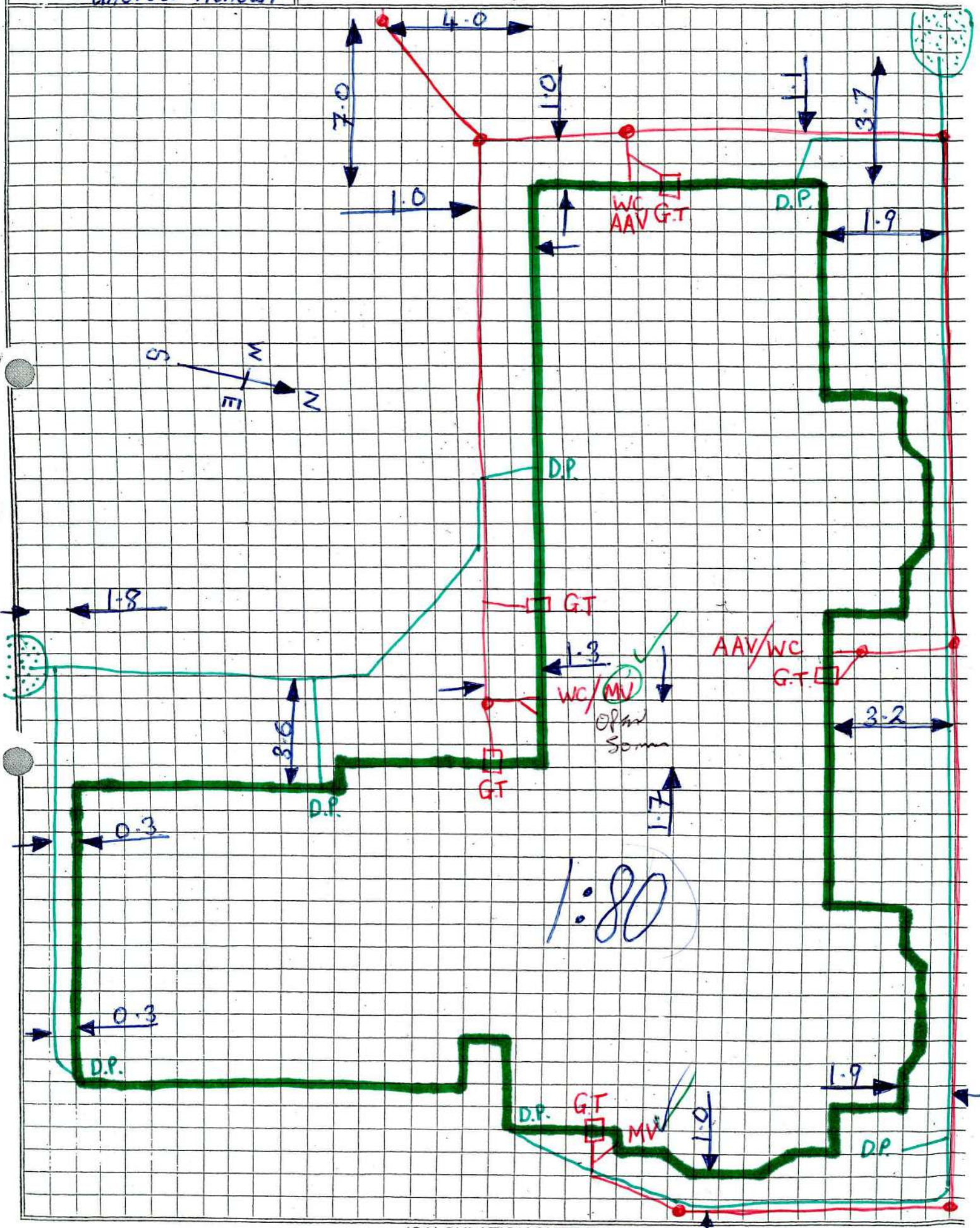
Some work is not satisfactory or is incomplete, as detailed above, and rectification is required. ☐

A notice to fix will be issued ☐

Notice to: Contractor ☒ Owner ☐ Agent ☐ Occupier ☐ Signed: _____

By: _____ Telephone ☐ Fax ☐ Posting ☐ Left on Site ☐

ENTERED



INSPECTION NOTICE

Inspections are to be booked by the owner or builder.

Name: JARRATT Consent No: 061359.
 Site Address/Rapid No: WATERHOLES RD Officer: W GRIFFS
 Name: W GRIFFS

Type of building work: DWELLING

On 8 / 5 / 07 at _____ am / pm this site was inspected pursuant to the Building Act 2004 [Section 222(230)] and the Local Government Act 1974. [Section 710]. The purpose of the inspection was:-

a	Siting & Founds	h	Bond Beam	o	Other
b	Slab	i	Blockfill	p	Resource Consent
c	Pre Wrap	j	Heating unit	q	Complaint/investigation
d	Post Wrap	k	Sanitary drainage	r	Compliance Schedule
e	Half height veneer	l	Stormwater drainage	s	WOF/ c/s audit
f	Preline/Plumbing	m	Pile/pole holes	t	Final
g	☒ Post line bracing	n	Cladding	u	Inspection
					☐ Pass ☐ Fail

BUILDING WORK MAY PROCEED ☒ MAY NOT PROCEED ☐ REINSPECTION YES ☐ NO ☒

INSPECTION NOTES:

Bathroom all aqualine
 Ensuite x2 all aqualine

All brace panels as per marks on floor

Any tiled shower ensure Gls varled accordingly.

ENTERED

NOTE: A Code Compliance Certificate Application is required for 2004 Building Act Consents

Owner/Builder/Contractor confirms floor height is as recommended by Environment Canterbury ☐

INSTRUCTIONS

All work inspected is in accordance with the Building Consent ☒

Satisfactory: Work may proceed when minor items above have been attended to ☐

Some work is not satisfactory or is incomplete, as detailed above, and rectification is required. ☐

A notice to fix will be issued ☐

Notice to: Contractor ☐ Owner ☐ Agent ☐ Occupier ☐ Signed: on
 Telephone ☐ Fax ☐ Posting ☐ Left on Site ☐

INSPECTION NOTICE

Inspections are to be booked by the owner or builder.

Name: Sampson Consent No: 061359
 Site Address/Rapid No: Wairarapa Rd Officer: [Signature]
Rollerton Name: [Signature]

Type of building work: Dwelling
 On 30 / 4 / 07 at am / pm this site was inspected pursuant to the Building Act 2004 [Section 222/230] and the Local Government Act 1974. [Section 710]. The purpose of the inspection was:-

a	Siting & Founds	h	Bond Beam	o	Other
b	Slab	i	Blockfill	p	Resource Consent
c	Pre Wrap	j	Heating unit	q	Complaint/investigation
d	Post Wrap	k	Sanitary drainage	r	Compliance Schedule
e	Half height veneer	l	Stormwater drainage	s	WOF/ c/s audit
f	☒ Preline/Plumbing	m	Pile/pole holes	t	Final
g	Post line bracing	n	Cladding	u	Inspection
					☐ Pass
					☐ Fail

BUILDING WORK MAY PROCEED ☒ MAY NOT PROCEED ☐ REINSPECTION YES ☐ NO ☒

INSPECTION NOTES:

- Structure as per NZS 3604
- Timber 90x45 Framing Thickness ok.
- Insulation yellow batts to walls & ceilings
- Plumbing polybute pipes inside of thermal barrier. Plumber to certify 150kpa pressure test achieved.
- Air seals to windows achieved.
- Ceiling battens 70x35 (DF) @ 400mm
- Bracing - all elements identified & marked on floor slab.
- * Carpenter completing bottom plate fixings to 9.6.2 bracing @ time of inspection.

NOTE: A Code Compliance Certificate Application is required for 2004 Building Act Consents

Owner/Builder/Contractor confirms floor height is as recommended by Environment Canterbury ☐

INSTRUCTIONS

All work inspected is in accordance with the Building Consent ☐

Satisfactory: Work may proceed when minor items above have been attended to ☒ *

Some work is not satisfactory or is incomplete, as detailed above, and rectification is required. ☐

A notice to fix will be issued ☐

Notice to: Contractor ☒ Owner ☐ Agent ☐ Occupier ☐ Signed: [Signature]
 By: Telephone ☐ Fax ☐ Posting ☐ Left on Site ☐



INSPECTION NOTICE

Inspections are to be booked by the owner or builder.

Name: Tarratt Consent No: 061359
 Site Address/Rapid No: Waterholes Rd, Rolleston Officer: Andrew Kendall
 Name: _____

Type of building work: Dwelling

On 28/04/07 at 1.28 am ☒ pm this site was inspected pursuant to the Building Act 2004 [Section 222/230] and the Local Government Act 1974. [Section 710]. The purpose of the inspection was:-

a	Siting & Founds	h	Bond Beam	o	☒ Other <u>lintels</u>
b	Slab	i	Blockfill	p	Resource Consent
c	Pre Wrap	j	Heating unit	q	Complaint/investigation
d	Post Wrap	k	Sanitary drainage	r	Compliance Schedule
e	Half height veneer	l	Stormwater drainage	s	WOF/ c/s audit
f	Preline/Plumbing	m	Pile/pole holes	t	Final ☐ Pass
g	Post line bracing	n	Cladding	u	Inspection ☐ Fail

BUILDING WORK MAY PROCEED ☒ MAY NOT PROCEED ☐ REINSPECTION YES ☐ NO ☒

INSPECTION NOTES:

- Galv lintel bars in position & bolted above bay windows. Bars flashed with Aluband sill tape to synthetic building wrap.



NOTE: A Code Compliance Certificate Application is required for 2004 Building Act Consents

Owner/Builder/Contractor confirms floor height is as recommended by Environment Canterbury ☐

INSTRUCTIONS

All work inspected is in accordance with the Building Consent ☒

Satisfactory: Work may proceed when minor items above have been attended to ☐

Some work is not satisfactory or is incomplete, as detailed above, and rectification is required. ☐

A notice to fix will be issued ☐

Notice to: Contractor ☒ Owner ☐ Agent ☐ Occupier ☐ Signed: _____

By: Telephone ☐ Fax ☐ Posting ☐ Left on Site ☒

Inspections are to be booked by the owner or builder.

Name: Tarratt Consent No: 061359
 Site Address/Rapid No: Waterholes Rd, Officer: Andrew Kendall
Rolleston Name: _____

Type of building work: Dwelling
 On 26/04/07 at 3.26 am pm this site was inspected pursuant to the Building Act 2004 [Section 222(230)] and the Local Government Act 1974. [Section 710]. The purpose of the inspection was:-

a	Siting & Founds	h	Bond Beam	o	☒ Other
b	Slab	i	Blockfill	p	Resource Consent
c	Pre Wrap	j	Heating unit	q	Complaint/investigation
d	Post Wrap	k	Sanitary drainage	r	Compliance Schedule
e	Half height veneer	l	Stormwater drainage	s	WOF/ c/s audit
f	Preline/Plumbing	m	Pile/pole holes	t	Final
g	Post line bracing	n	Cladding	u	Inspection
					☐ Pass
					☐ Fail

BUILDING WORK MAY PROCEED ☒ MAY NOT PROCEED ☐ REINSPECTION YES ☐ NO ☒

INSPECTION NOTES:

- Additional 20% of half height veneer
 (Road side, as confirmed by brick layer)
 in accordance with inspection dated
 18/04/07 details.

Bay window lintel bars yet to be inspected
 when positioned.

⇒ Next inspection - lintel bars

NOTE: A Code Compliance Certificate Application is required for 2004 Building Act Consents

Owner/Builder/Contractor confirms floor height is as recommended by Environment Canterbury ☐

INSTRUCTIONS

All work inspected is in accordance with the Building Consent ☒

Satisfactory: Work may proceed when minor items above have been attended to ☒

Some work is not satisfactory or is incomplete, as detailed above, and rectification is required. ☐

A notice to fix will be issued ☐

Notice to: Contractor ☒ Owner ☐ Agent ☐ Occupier ☐ Signed: _____
 By: Telephone ☐ Fax ☐ Posting ☐ Left on Site ☐

INSPECTION NOTICE

Inspections are to be booked by the owner or builder.

Name: DJ & DM Terratt Consent No: 061359
 Site Address/Rapid No: Water holes Rd Officer: _____
Rollerton Name: Ian B

Type of building work: Driveway
 On 18 / 4 / 07 at 1:30 am/pm this site was inspected pursuant to the Building Act 2004 [Section 222/230] and the Local Government Act 1974. [Section 710]. The purpose of the inspection was:-

a	Siting & Founds	h	Bond Beam	o	Other	
b	Slab	i	Blockfill	p	Resource Consent	
c	Pre Wrap	j	Heating unit	q	Complaint/investigation	
d	Post Wrap	k	Sanitary drainage	r	Compliance Schedule	
e	Half height veneer	l	Stormwater drainage	s	WOF/ c/s audit	
f	Preline/Plumbing	m	Pile/pole holes	t	Final Inspection	☐ Pass
g	Post line bracing	n	Cladding	u		☐ Fail

BUILDING WORK MAY PROCEED ☒ MAY NOT PROCEED ☐ REINSPECTION YES ☐ NO ☒

INSPECTION NOTES:

40 + cavity achieved to brickwork.
Bricks over ITM branded Framgard II wrap.
Bricks 80% done.
Reinspection of additional 20% to be done with
final inspection.
Nylon brick ties every 4th course at 600¢
good cover to windows & doors
Methold flashing replace to windows & doors.
Ok to top off 80% checked.

NOTE: A Code Compliance Certificate Application is required for 2004 Building Act Consents

Owner/Builder/Contractor confirms floor height is as recommended by Environment Canterbury ☐

INSTRUCTIONS

All work inspected is in accordance with the Building Consent ☒

Satisfactory: Work may proceed when minor items above have been attended to ☐

Some work is not satisfactory or is incomplete, as detailed above, and rectification is required. ☐

A notice to fix will be issued ☐

Notice to: Contractor ☒ Owner ☐ Agent ☐ Occupier ☐ Signed: W. Smith
 By: Telephone ☐ Fax ☐ Posting ☐ Left on Site ☐

INSPECTION NOTICE

Inspections are to be booked by the owner or builder.

Name: JARRATT Consent No: 061359
 Site Address/Rapid No: WATERHOLES RD. Officer: W GRIGGS
 Name: _____

Type of building work: DWELLING
 On 29 / 3 / 07 at _____ am / pm this site was inspected pursuant to the Building Act 2004 [Section 222/230] and the Local Government Act 1974. [Section 710]. The purpose of the inspection was:-

a	Siting & Founds	h	Bond Beam	o	Other
b	Slab	i	Blockfill	p	Resource Consent
c	Pre Wrap	j	Heating unit	q	Complaint/investigation
d	Post Wrap	k	Sanitary drainage	r	Compliance Schedule
e	Half height veneer	l	Stormwater drainage	s	WOF/ c/s audit
f	Preline/Plumbing	m	Pile/pole holes	t	Final
g	Post line bracing	n	Cladding	u	Inspection
					☐ Pass
					☐ Fail

BUILDING WORK MAY PROCEED ☒ MAY NOT PROCEED ☐ REINSPECTION YES ☐ NO ☒

INSPECTION NOTES:

Check work from prewrap at next inspection marked with circle
 Some still to complete.
 Frame gaud II wrap over polythene turned up - patch any holes.
 Banding to fit at mid dwarfing height

Aluband to sides & top corners
 Some to complete.

Meter box to seal.
 Air conditioning to sleeve
 Seal other penetrations.

Phy brace panel with meterbox change to

NOTE: A Code Compliance Certificate Application is required for 2004 Building Act Consents

Owner/Builder/Contractor confirms floor height is as recommended by Environment Canterbury Dracine ☐

INSTRUCTIONS

All work inspected is in accordance with the Building Consent ☒
 Satisfactory: Work may proceed when minor items above have been attended to ☒
 Some work is not satisfactory or is incomplete, as detailed above, and rectification is required. ☐
 A notice to fix will be issued ☐

Notice to: Contractor ☐ Owner ☐ Agent ☐ Occupier ☐ Signed: [Signature]
 By: Telephone ☐ Fax ☐ Posting ☐ Left on Site ☐

Inspections are to be booked by the owner or builder.

Name: Tarratt Consent No: 061359
 Site Address/Rapid No: Waterholes Road, Officer: Andrea Kendall
Rolleston Name: _____

Type of building work: Dwelling

On 16 / 03 / 07 at 11:15 am pm this site was inspected pursuant to the Building Act 2004 [Section 222(230)] and the Local Government Act 1974. [Section 710]. The purpose of the inspection was:-

a	Siting & Founds	h	Bond Beam	o	Other
b	Slab	i	Blockfill	p	Resource Consent
c	Pre Wrap	j	Heating unit	q	Complaint/investigation
d	Post Wrap	k	Sanitary drainage	r	Compliance Schedule
e	Half height veneer	l	Stormwater drainage	s	WOF/ c/s audit
f	Preline/Plumbing	m	Pile/pole holes	t	Final
g	Post line bracing	n	Cladding	u	Inspection
					☐ Pass
					☐ Fail

BUILDING WORK MAY PROCEED ☒ MAY NOT PROCEED ☐ REINSPECTION YES ☐ NO ☒

INSPECTION NOTES: - 90x45 MSG8 Framing **ENTERED**
 - Bottom plate anchors & shots in position
 (A) - (C3) SPI - now 800mm length due to window
 - S3 now 1m length & SP now 900mm length
 - Top plate, lintel & truss connections in accordance with approved fixing charts.
 - Purlin high wind fixings appear to be in position
 1) SPI+ bracing ply requires fixings to be within 75mm c/s
 2) C1 SPI 1.2m yet to position
 3) Slab overhang outside bedroom & to remove
 4) Some truss fixings yet to complete (No site plan). Marked on inspectors plan. Please re-check.

⇒ Items above to be re-checked at post-wrap inspection.

NOTE: A Code Compliance Certificate Application is required for 2004 Building Act Consents

Owner/Builder/Contractor confirms floor height is as recommended by Environment Canterbury ☐

INSTRUCTIONS

All work inspected is in accordance with the Building Consent ☐

Satisfactory: Work may proceed when minor items above have been attended to 1-4 ☒

Some work is not satisfactory or is incomplete, as detailed above, and rectification is required. ☐

A notice to fix will be issued ☐

Notice to: Contractor ☐ Owner ☐ Agent ☐ Occupier ☐ Signed: _____

By: Telephone ☐ Fax ☐ Posting ☐ Left on Site ☒

Selwyn District Council
Prompt sheet for inspection

Pre-Wrap

Building Consent Number 061359 Date 16/03/07

Inspecting officer Andrew Kendall

Consent Documents on site (Yes) (No). If **no** then **no** inspection can be carried out.

The truss design and fixing charts are also required for this inspection

1. ☒ ~~Ply~~ ^{Ply} Hardies bracing if applicable -check nailing and tie down.
- 2. ☐ Mulseal to foundation or adequate protection to the building at the floor wall intersection (yet to do)
3. ☒ Fixings- Purlin to truss, Truss to top plate, Top plate to stud, lintel connections, bottom plate to stud and bottom plate connection etc.
4. ☒ Timber type common sizes and treatment as required
5. ☒ Roof framing (NZS3604 or specific truss design)
6. ☒ Roof bracing (including ceiling plan, roof space, Roof plan and Gable End bracing)
- NA 7. ☐ Fire walls
- 8. ☐ Windows (if in place) (yet to position)
9. ☒ Obvious discrepancies from N.Z. standards and Building Code.
10. ☒ Services in cavities
11. ☒ Junction nailing.
- X 12. ☒ Slab edge in relation to framing.
13. ☒ Specific design lintels and general lintel sizing

Comments: _____

N.B. This prompt sheet may be used as part of the inspection documentation or as a prompt with full details of the inspection held on the inspection notice.

An inspection notice is required for all specified inspections forming part of the building consent issued.

INSPECTION NOTICE

Inspections are to be booked by the owner or builder.

Name: Saratt Consent No: 061359
 Site Address/Plot No: Waterholes Rd Officer: Michael
Wollerton Name: Mund
 Type of building work: knolling

On 22 / 02 / 07 at 2.20 am / pm this site was inspected pursuant to the Building Act 2004 [Section 222/230] and the Local Government Act 1974. [Section 710]. The purpose of the inspection was:-

a	☒	Siting & Founds	h	☐	Bond Beam	o	☒	Other
b	☒	Slab	i	☐	Blockfill	p	☐	Resource Consent
c	☐	Pre Wrap	j	☐	Heating unit	q	☐	Complaint/investigation
d	☐	Post Wrap	k	☐	Sanitary drainage	r	☐	Compliance Schedule
e	☐	Half height veneer	l	☐	Stormwater drainage	s	☐	WOF/ c/s audit
f	☒	Proline/Plumbing	m	☐	Pile/pole holes	t	☐	Final
g	☐	Post line bracing	n	☐	Cladding	u	☐	Inspection
								☐ Pass
								☐ Fail

BUILDING WORK MAY PROCEED ☒ MAY NOT PROCEED ☐ REINSPECTION YES ☐ NO ☒

INSPECTION NOTES:

- Colin - Builder on site:
 Plans on site
 Builder confirms tailings compacted by suppliers.
 Steel placement as detailed sheet Aly.
 DPM placement: 1000 Mesh and chairs
 Foundation - floor ties
 Waste pipes - sewer pipes & over blow copper
 rebar all tagged
- Colin advised to lift block ties and complete internal corner bars
 Looking on

NOTE: A Code Compliance Certificate Application is required for 2004 Building Act Consents

Owner/Builder/Contractor confirms floor height is as recommended by Environment Canterbury ☐

INSTRUCTIONS

All work inspected is in accordance with the Building Consent ☒

Satisfactory: Work may proceed when minor items above have been attended to ☐

Some work is not satisfactory or is incomplete, as detailed above, and rectification is required. ☐

A notice to fix will be issued ☐

Notice to: Contractor ☒ Owner ☐ Agent ☐ Occupier ☐ Signed ☒

By: Telephone ☐ Fax ☐ Posting ☐ Left on Site ☐

ENTERED

ea

INSPECTION NOTICE

Inspections are to be booked by the owner or builder.

Name: JARRATT Consent No: 061359
 Site Address/Rapid No: WATER HOUSE RD. Officer: [Signature]
ROXBOROUGH Name: [Signature]

Type of building work: Driveway

On 16 / 2 / 09 at 10-45 am / pm this site was inspected pursuant to the Building Act 2004 [Section 222/230] and the Local Government Act 1974. [Section 710]. The purpose of the inspection was:-

a	☒ Siting & Founds	h	☐ Bond Beam	o	☐ Other
b	☐ Slab	i	☐ Blockfill	p	☐ Resource Consent
c	☐ Pre Wrap	j	☐ Heating unit	q	☐ Complaint/investigation
d	☐ Post Wrap	k	☐ Sanitary drainage	r	☐ Compliance Schedule
e	☐ Half height veneer	l	☐ Stormwater drainage	s	☐ WOF/ c/s audit
f	☐ Preline/Plumbing	m	☐ Pile/pole holes	t	☐ Final
g	☐ Post line bracing	n	☐ Cladding	u	☐ Inspection
					☐ Pass
					☐ Fail

BUILDING WORK MAY PROCEED ☐ MAY NOT PROCEED ☐ REINSPECTION YES ☐ NO ☐

INSPECTION NOTES: Siting:- As per Building Consent, Contractor identified boundaries.

Foundation:- .300 + INTO SOIL GROUND

2x D16 RODS WITH D10 STARTERS @ 600φ.

ENSURE 75mm COVER TO BOTTOM ROD & 50mm
THROUGHOUT.

SLABES LEFT TO PLACE

* BACKFILL WILL REQUIRE COMPACTION (300+ Haul.)
IN 150 LAYERS.

NOTE: A Code Compliance Certificate Application is required for 2004 Building Act Consents

Owner/Builder/Contractor confirms floor height is as recommended by Environment Canterbury ☐

INSTRUCTIONS

All work inspected is in accordance with the Building Consent ☒

Satisfactory: Work may proceed when minor items above have been attended to ☒

Some work is not satisfactory or is incomplete, as detailed above, and rectification is required. ☐

A notice to fix will be issued ☐

Notice to: Contractor ☒ Owner ☐ Agent ☐ Occupier ☐ Signed: [Signature]

By: Telephone ☐ Fax ☐ Posting ☐ Left on Site ☒

Job: 23270

Client: DYERS ROAD TIMBER
Phone:

Site: TODAY HOMES
JARRETT
LOT 1 WATERHOLES RD
ROLLESTON

Description: JARRATT
Building Consent No.:

Phone: Print: 13:55:12 01 Feb 2007

Mitek 2000 - Engineering 4.4 Gamma1.3 (build 1907-5)

Mitek New Zealand Ltd.

PRODUCER STATEMENT
Mitek 2000™ TRUSS DESIGN PROGRAM

Certification of Mitek 2000™ Truss Design Program

The Mitek 2000™ truss design program has been developed by Gang-Nail Group Ltd for the design of Gang-Nail timber roof, floor and attic trusses in New Zealand. The truss designs computed by this program are prepared using sound and widely accepted engineering principles, and in accordance with NZS 4203, NZS 3603 and NZS 3604 as verification methods and acceptable solutions of the approved documents issued by the Building Industry Authority to satisfy the requirements of Clause B1:Structure of the Building Regulations 1992. This computer design for the proposed building complies with the relevant provisions of the NZ Building Code. This is subject to all proprietary products meeting their performance specification requirements, the provision of adequate bracing, fixings and the correct input of design data carried out by suitably trained personnel.

Summary of Mitek 2000™ Truss Design Data and Output

The Mitek 2000™ computer design output for this job titled and located at the site identified on the top of this page is based on the following parameters entered into the program. The owner must ensure that the following job details below are current and relevant to the project before fabrication and erection of the Gang-Nail trusses.

Job Details

Roof Truss

Timber Group: CDNP45
Roof Material: Galv Iron .5mm
Dead Load: 0.210 kPa
Restraints: 900 mm centres
Live Load: Q_u = 0.250 kPa
Q_c = 1.000 kN

Pitch: 10.000 deg
Ceiling Material: Standard
Dead Load: 0.200 kPa
Restraints: 400 mm centres

Std Overhang: 450 mm
Wind Area: High (44.0 m/s)
Pressure Coeff: C_{pe} = varies; C_{pi} = -0.30, 0.20
Snow Location: Christchurch at 100 m
Open Ground Load: 0.550 kPa
Basic Roof Load: 0.440 kPa

These trusses must be fabricated and erected in accordance with the Gang-Nail manual. Proper erection bracing must be installed to hold the components true and plumb and in a safe condition until permanent bracing is fixed. All permanent bracing and fixing must be installed before any loads are applied. The specifications for timber shall be as shown on the output. The timber shall be standard gauged and treated to the requirements of NZMP 3640. Unless otherwise noted, this design assumes that the steel fixings and timber connectors are situated in a closed environment, as defined by NZS3604:1999 Section 4.

Truss List

Legend: * = detail only, ? = input only, ~~xxx~~ = failed design, Unmarked trusses = designed successfully, LB = lateral bracing required

Truss	Qty	Span (mm)	Pitch (deg)	Spacing (mm)	Truss	Qty	Span (mm)	Pitch (deg)	Spacing (mm)	Truss	Qty	Span (mm)	Pitch (deg)	Spacing (mm)
V08	1	2169	35.000	900	S02	1	9070	35.000	841 LB	J05C	1	2712	35.000	900
V07	1	2007	35.000	900	S01	1	8250	35.000	900	J05B	1	2712	35.000	900
V06	1	1220	35.000	900	*R16A	1	433	10.000	900	J05A	1	2712	35.000	900
V05	1	2795	35.000	900	*R16	1	433	10.000	900	J05	1	2712	35.000	900
V04	1	1605	35.000	900	*R15A	1	1123	10.000	900	J04C	1	1787	35.000	900
V03	1	2452	35.000	900	*R15	1	1123	10.000	900	J04B	1	1787	35.000	900
V02	1	1552	35.000	900	*R14	1	2010	10.000	900	J04A	1	1787	35.000	900
V01	1	2580	35.000	900	*R13	1	1610	10.000	900	J04	1	1787	35.000	900
TR04	1	4535	35.000	900 LB	*R12	1	5480	35.000	900	J03D	1	2667	35.000	900
TR03	1	4535	35.000	900	*R11	2	5260	35.000	900	J03C	1	2667	35.000	900
TR02	1	9070	35.000	900	*R10	1	2228	26.341	900	J03B	1	2667	35.000	900
TR01	1	8250	35.000	900	*R09	1	788	35.000	900	J03A	1	2667	35.000	900
TG03	1	9070	35.000	900	*R08	1	1905	35.000	900	J03	1	2667	35.000	900
TG02	1	7180	35.000	900	*R07	1	2005	35.000	900	J02A	1	1815	35.000	900
TG01	1	8250	35.000	900	*R06	1	1413	35.000	900	J02	1	1815	35.000	900
T15	1	6230	35.000	900 LB	*R05A	1	1330	35.000	900	J01A	1	2715	35.000	900
T14	1	4535	35.000	900	*R05	1	1330	35.000	900	J01	1	2715	35.000	900
T13A	1	3220	35.000	932 LB	*R04A	7	763	35.000	900	*HB08	1	2796	7.107	900
T13	1	3220	35.000	932 LB	*R04	7	763	35.000	900	*HB07	1	2448	26.341	900
T12	1D	6015	35.000	900	*R03B	1	1378	35.000	900	*HB06	1	3940	26.341	900
T11	1	4380	35.000	545	*R03A	1	1375	35.000	900	*HB05	1	5850	26.341	900
T10	1	4580	35.000	545	*R03	1	1375	35.000	900	*HB04	2	6973	26.341	900
T09	1	8250	35.000	900 LB	*R02	1	1833	35.000	900	*HB03	2	5637	26.341	900
T08	1	9070	35.000	900 LB	*R01	1	1388	35.000	900	*HB02	1	1917	26.341	900
T07	1	4380	35.000	900	J08A	1	1850	35.000	900	*HB01	1	6393	26.341	900
T06	1	4380	35.000	900	J08	1	1850	35.000	900	EN03	1	4380	35.000	545
T05B	6	9070	35.000	900 LB	J07A	1	2750	35.000	900	EN02	1	4580	35.000	545
T05A	2	9070	35.000	900 LB	J07	1	2750	35.000	900	EN01	1	4380	35.000	900
T05	1	9070	35.000	900 LB	J06C	1	1812	35.000	900	CT06	1	4580	35.000	900
T04A	1	5490	35.000	920	J06B	1	1812	35.000	900	CT05	1	4535	35.000	900
T04	1	5490	35.000	920	J06A	1	1812	35.000	900	CT04	1	4535	35.000	900
T03	1	7180	35.000	900	J06	1	1812	35.000	900	CT03	2	4580	35.000	900
T02	4	7180	35.000	900	J05F	1	2712	35.000	900	CT02	2	4380	35.000	900
T01	1	8250	35.000	900 LB	J05E	1	2712	35.000	900	CT01	1D	4380	35.000	900
S02A	4	9070	35.000	841 LB	J05D	1	2712	35.000	900					

Total quantity : 133

Thursday, 1 February 2007

PLEASE NOTE

This set of plans MUST be available on site when inspections are carried out.

02 FEB 2007

Carters - Canterbury

Producer Statement : Page 1

Job: 23270

Client: DYERS ROAD TIMBER
Phone:

Site: TODAY HOMES
JARRETT
LOT 1 WATERHOLES RD
ROLLESTON

Description: JARRATT
Building Consent No.:
MTek 20/20 - Engineering 4.4 Clause 1.3 (build 1997-5)

MTek New Zealand Ltd.

Phone:
Printed: 13:56:13 01 Feb 2007

The computer design input has been carried out by:

Signed: *[Signature]*

Dated: Thursday, 1 February 2007

Name of Computer Operator:
Qualifications and Title:

Daniel Griffin
Truss Detailer

Company:

Carters - Canterbury

061359

PLEASE NOTE

This set of plans MUST be
available on site when
inspections are carried out

02 FEB 2007

DYERS ROAD FRAMES AND TRUSSES

291 Dyers Rd
PO Box 19-765 Christchurch
Ph (03) 384 4111

JOB No **23270**

Client: Today Homes
Job Name: Jarrett
Address: 839 Waterholes Rd
Springston

Pitch: 35
Roof Material: Longrun Iron
Soffit Overhang: 450
Wind Area: High
Snow Load: 0.5 kPa

Trusses And Rafters At 900 Centres
Unless Stated Otherwise

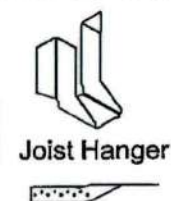
DRAWN BY Daniel

DATE 1-2-07

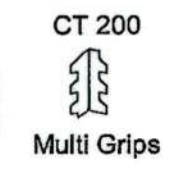
PAGE 1 of 4

FIXINGS

W=37x90 JH
X=37x120 JH
Y=37x190 JH
Z=70x180 JH



A=47x90 JH
B=47x120 JH
D=47x190 JH
E=95x165 JH



C=CT200
M=Multigrips
N=Nail On Plate
P=CPC 80



NOTE

Please contact your local CARTERS Manufacturing Branch for any queries regarding this layout or if any on site remedial work is required.

No modifications to Roof Trusses or Wall Frames are to be undertaken without first obtaining written authority from CARTERS Manufacturing.

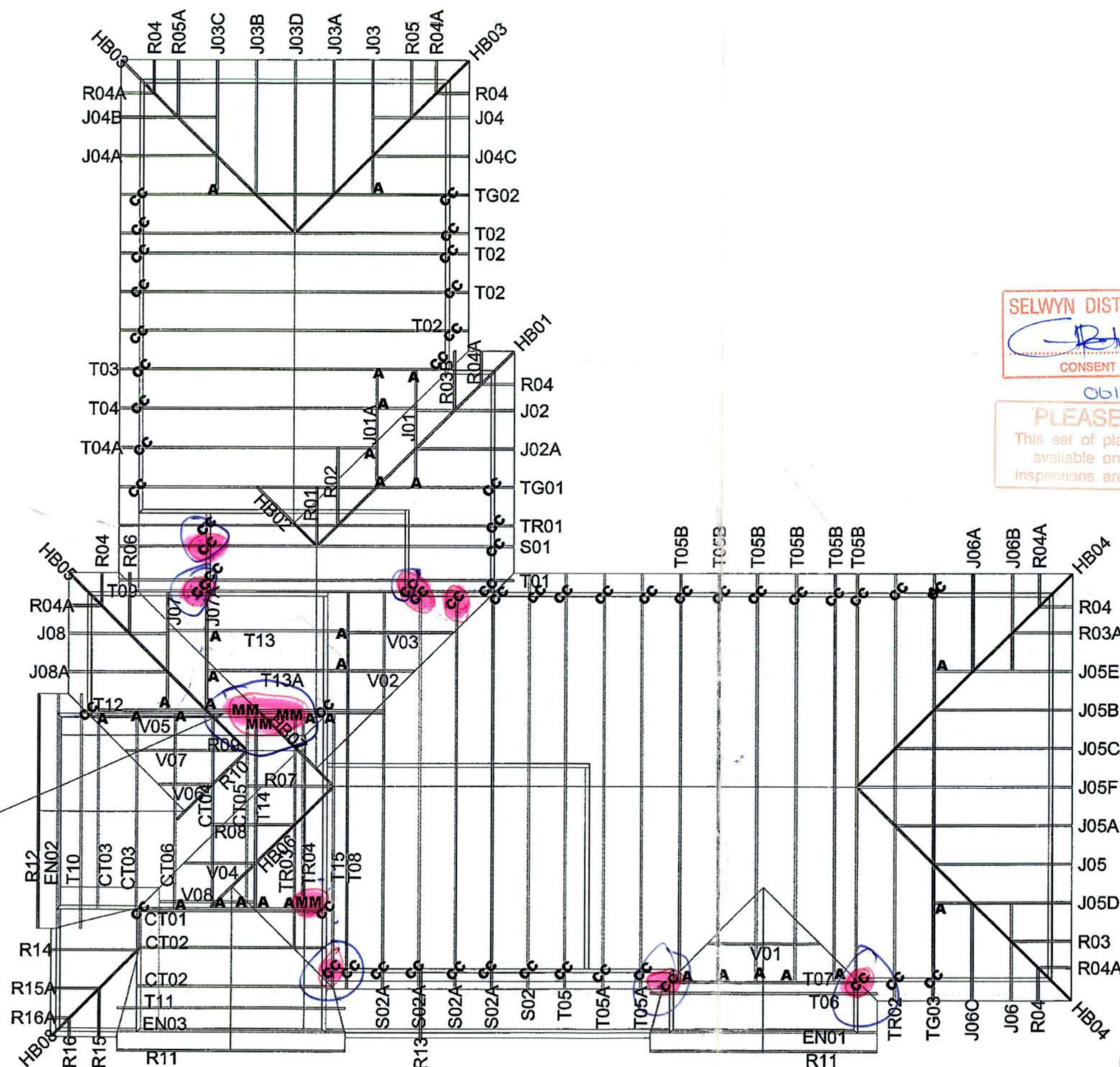


See Page Over for Dimensions
Lintel Statement and
Roof truss Bracing



PLEASE NOTE
This set of plans MUST be
available on site when
inspections are carried out.

90 x 45 Stringer to T12 to support
CT04, CT05, T14 & TR03



DYERS ROAD FRAMES AND TRUSSES

291 Dyers Rd
PO Box 19-765 Christchurch

Ph (03) 384 4111

JOB No **23270**

Client: Today Homes
Job Name: Jarrett
Address: 839 Waterholes Rd
Springston

Pitch: 35
Roof Material: Longrun Iron
Soffit Overhang: 450
Wind Area: High
Snow Load: 0.5 kPa

Trusses And Rafters At 900 Centres
Unless Stated Otherwise

DRAWN BY Daniel

DATE 1-2-07 PAGE 1 of 4

These lintels have been sized as per
the GANGLAM and FLITCH BEAM
selection manuals as provided by
MiTek NZ Ltd.

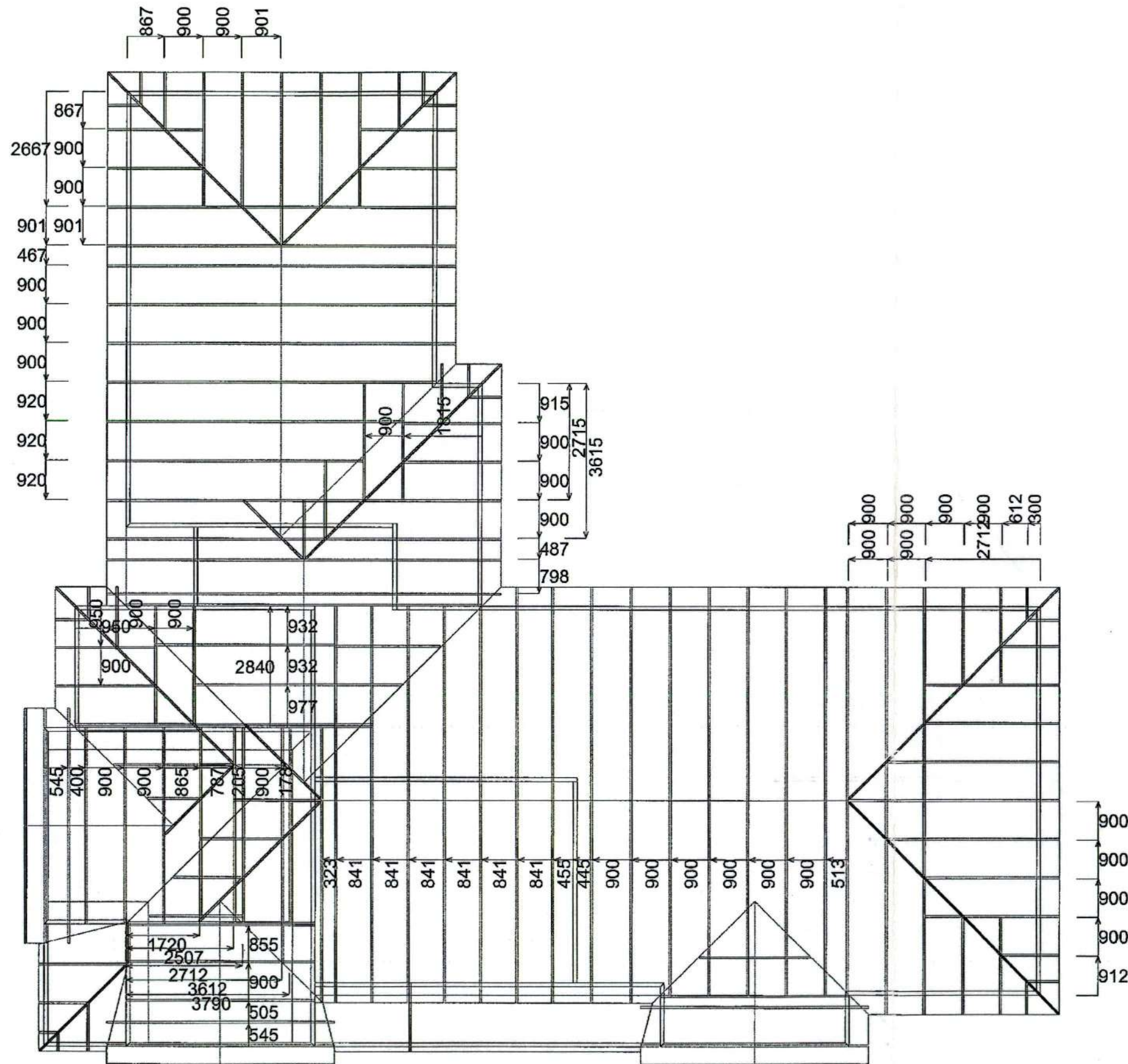
HYPAN lintels have been sized as per
the HYPAN selection charts.

Unless otherwise stated all lintels are
as per NZS3604 1999.

LINTEL	SIZE	LENGTH
A		



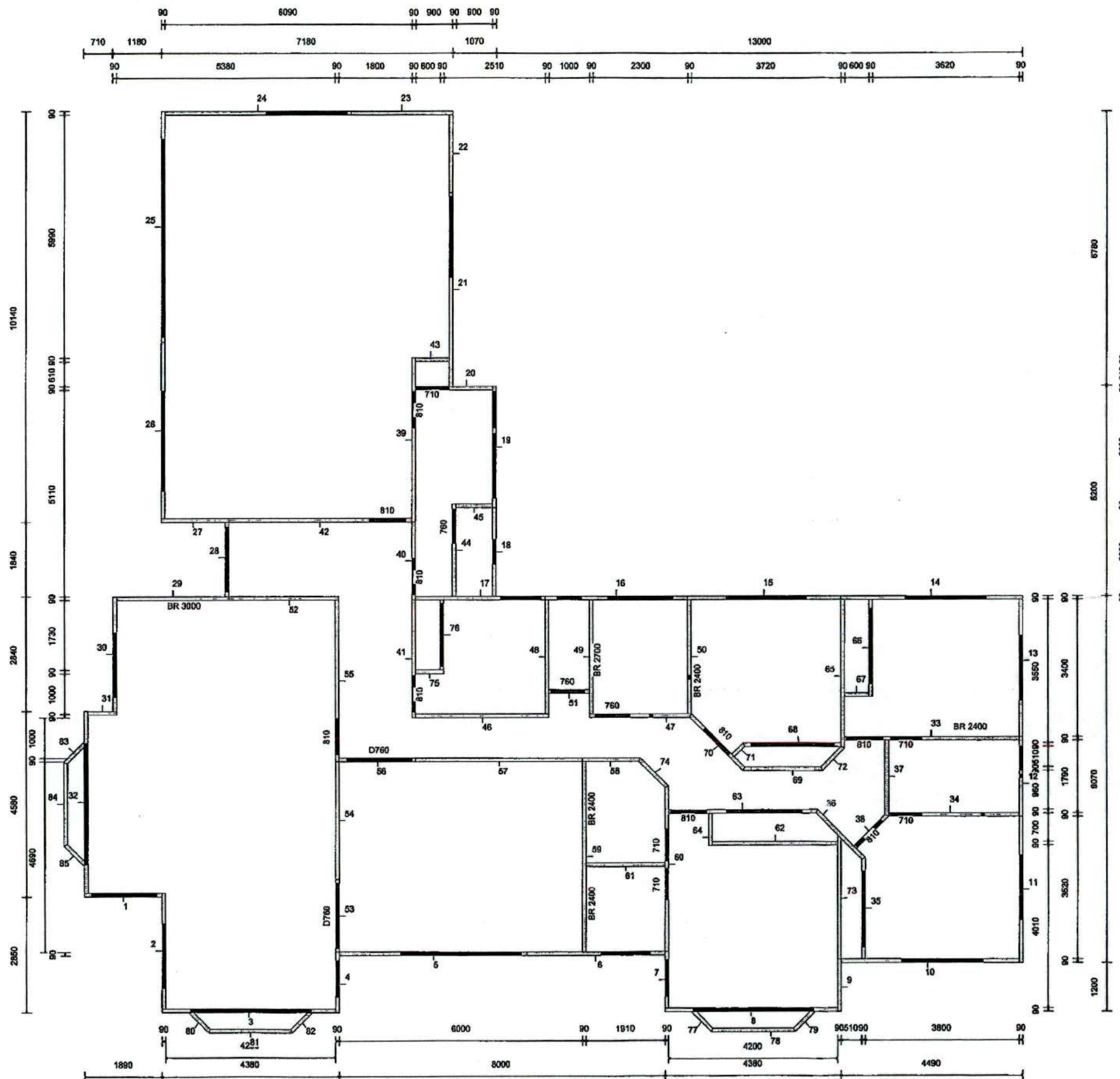
See Other Pages For
Truss Layout and
Fixings



SELWYN DISTRICT COUNCIL
07/02/07
CONSENT DOCUMENT

061359
PLEASE NOTE
This set of plans MUST be
available on site when
inspections are carried out.

Builder is to ensure all Stud Straps are fixed to Bottom Plates, where required, before standing walls



DYERS ROAD
FRAMES AND TRUSSES

291 Dyers Rd
PO Box 19-765 Christchurch
Ph (03) 384 4111

JOB No 23270

Client: Today Homes
Job Name: Jarrett
Address: 839 Waterholes Rd
Springston

Pitch: 35
Roof Material: Longrun Iron
Soffit Overhang: 450
Wind Area: High
Snow Load: 0.5 kPa

Trusses And Rafters At 900 Centres
Unless Stated Otherwise

DRAWN BY Daniel

DATE 1-2-07 **PAGE** 1 of 4

These lintels have been sized as per
the GANGLAM and FLITCH BEAM
selection manuals as provided by
MiTek NZ Ltd.

HYSPAN lintels have been sized as per
the HYSPAN selection charts.

Unless otherwise stated all lintels are
as per NZS3604 1999.

Level 1 Frames

SELWYN DISTRICT COUNCIL
Retrie 07/02/07
CONSENT DOCUMENT

061359

PLEASE NOTE
This set of plans MUST be
available on site when
inspections are carried out.

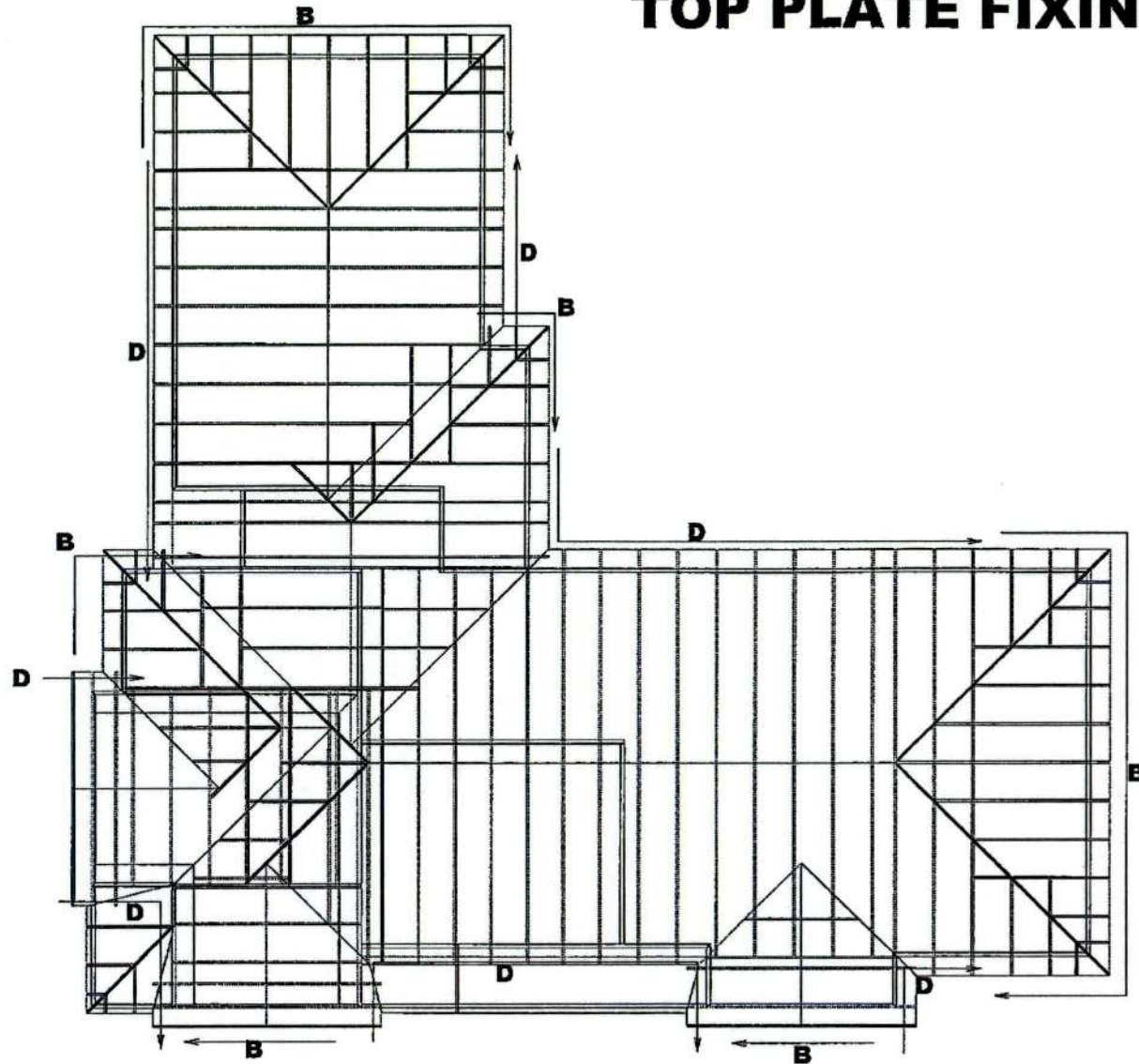
02 FEB 2007



See Other Pages For
Truss Layout and
Fixings

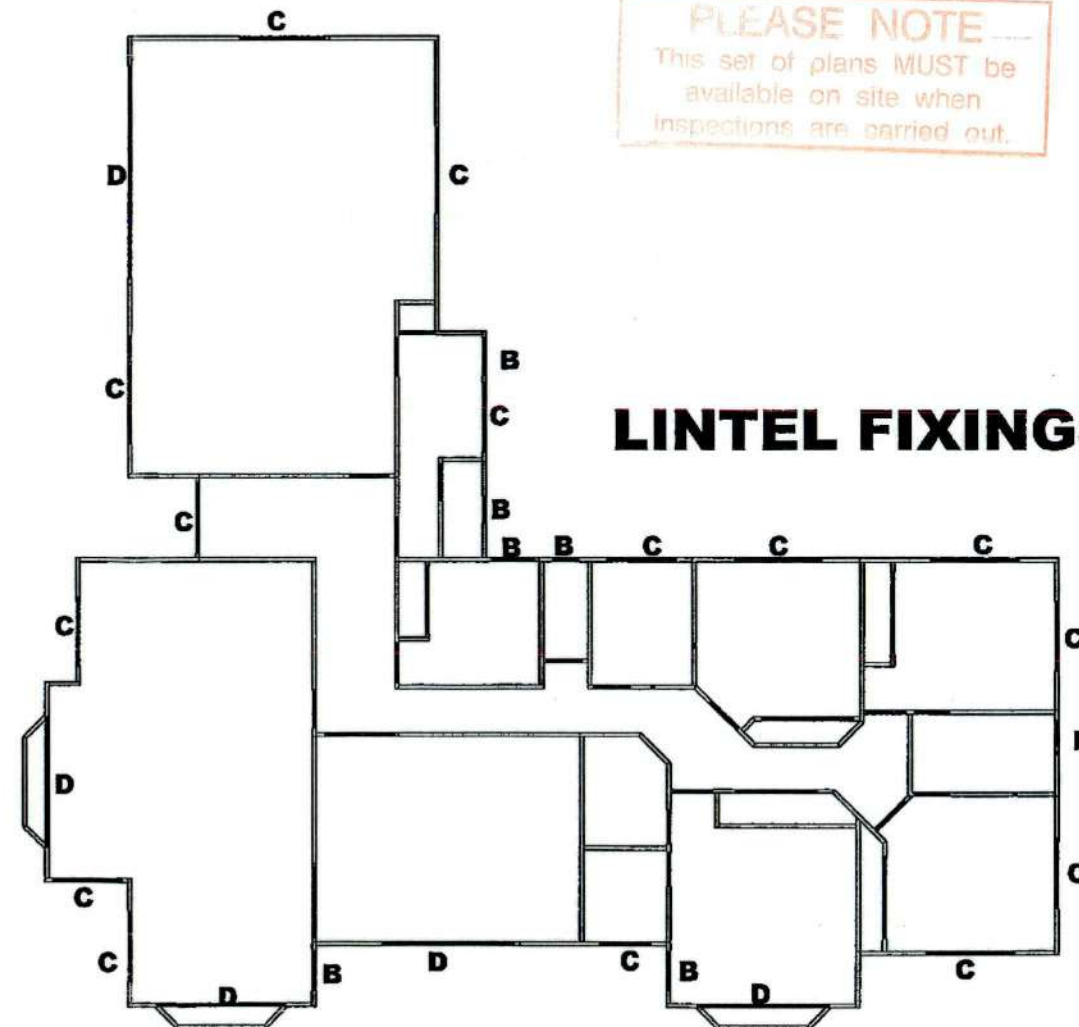
Builder is to ensure all Stud Straps are fixed to Bottom Plates, where required, before standing walls

TOP PLATE FIXINGS



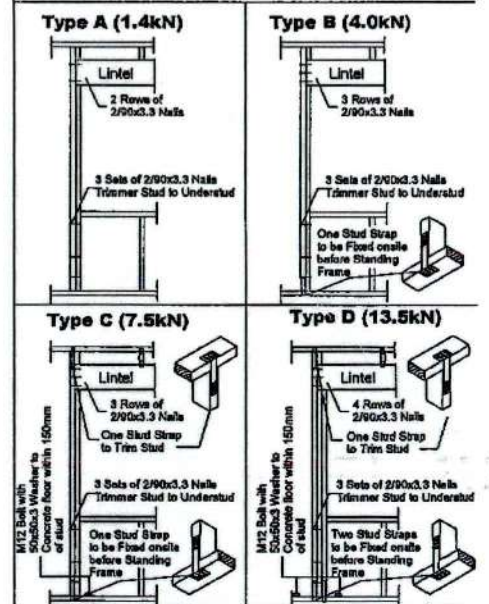
061359

PLEASE NOTE
This set of plans **MUST** be
available on site when
inspections are carried out.

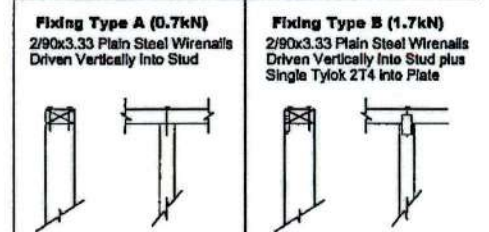


LINTEL FIXINGS

Lintel Fixings



Top Plate Fixings



Fixing Type D (6.0kN)



GANG NAIL Stud Strap
Design Capacity 6.1 kN
AS1720.1-1997

02 FEB 2007

This building consent is granted subject to the conditions specified below.
Selwyn District Council Building Consent Authority Officers will carry out the following inspections:

Tim ☐ **Inspection 1** 16-2-07 ✓

Excavation for foundations including ground bearing capacity.
Reinforcing steel in foundation before concrete is poured.

Dave ☐ **Inspection 2** 22-2-07 ✓

To check DPC, reinforcing/thickenings/waste pipes to floor slab before concrete is poured.

Andy ☐ **Inspection 3** 16-3-07 ✓

Structural framing and fixings prior to building wrap, soffit, and roofing installation.
Valley and secret gutter flashings prior to roofing installation.
Roofing substrate prior to membrane roof being applied.

W. J. Post N. P. P. ☐ **Inspection 4** 18-4-07 ✓

Veneer mid height inspection for cavity width, tie fixing, and check for mortar droppings.

Andy ☐ **Inspection 5** 26-4-07 ✓

Veneer at ground floor lintel height for shelf angle bearing, lintel fixings and flashings. *28/4*

John ☐ **Inspection 6** NOTE: A weathertight exterior is required before a preline inspection occurs. 30-4-07

Plumbing pipe work prior to fixing internal linings.
Preline moisture test and structural framing check including confirmation of treated timber where required.
Bracing elements prior to fixing of internal linings.
Completeness of insulation prior to fixing of internal linings.
Window installation to check ventilation, air seals, and glazing.

Andy ☐ **Inspection 7** NOTE:- All drainage work must be inspected prior to backfilling. 22-5-07

Inspection and testing of sanitary sewer.
On site sewerage treatment and disposal pipework.
Spouting including rain water heads, overflows and downpipes.
Stormwater disposal to soakholes.

Andrew ☐ **Inspection 8** 8-5-07 ✓

Check nailing off bracing panels before stopping work is carried out.

Tim Inspection of wet area, shower sealing, tanking of walls and floor substrate prior to installing surface finishes. 18-6-07

☒ Inspection 9 11-7-03 Daryl

14/8

- ✓ Hot water reticulation valving.
- ✓ Check temperature of hot water.
- ✓ Seismic restraints to hot water cylinder and storage tanks.
- Flue clearances, hearth and fire place fixing down.
- ✓ Smoke alarm installation.
- Inspection following application for Code Compliance Certificate. (The cost of the Code Compliance Certificate is invoiced separately).

Note:-

✓ An 'as built' truss layout, showing truss and top plate connectors, and a Producer Statement together with the lintel sizes outside the scope of NZS 3604 must be submitted to the Selwyn District Council Building Consent Authority for approval prior to the pre-wrap inspection.

Note:-

✓ Confirmation will be required from individual supply criteria of New Zealand Drinking Water Standards 1995, this should be supplied to the owner to submit with their documentation for Code Compliance Certificate application.

Any extraction of groundwater for a potable water supply will need to meet Environment Canterbury's conditions as set out in the Regional Plan; and the expectations of the Selwyn District Council relating to the requirement for a potable water supply in accordance with the New Zealand Building Code.

✓ Proof of potability of water supply must be demonstrated before the building is occupied by provision of suitable bacteriological and chemical test results from an approved laboratory. Sampling results provided from a sampling routine of one chemical and one bacteriological test from pipe work as close to the well head as possible, followed by two further bacteriological tests at 30 day intervals from the same sampling point will be accepted as giving adequate assessment of water quality.

Should any sampling assessment not comply then treatment will need to be installed.

The well and well head shall be constructed and located to avoid the risk of contamination.

✓ **Note:-**

Selwyn District Council inspects the structures and pipes included in the on-site effluent treatment and disposal system as part of its functions under the Building Act.

The control of the discharge of effluent from the point it leaves the piped system is a function of Environment Canterbury.

Environment Canterbury require that:-

When the construction of the treatment and land application system or soakage hole is completed:-

- a) The work be certified by a suitably qualified and competent person (typically the designer or registered Drainlayer) as having been carried out in accordance with the design plan; and

- b) A copy of the certificate shall be forwarded to Environment Canterbury within twenty working days following the completion of the work.

Applicants are advised that a Code Compliance Certificate for building work which includes on site effluent disposal will not be issued until Selwyn District Council has received confirmation from Environment Canterbury that their requirements have been met.

Compliance schedule

A compliance schedule is not required for this project.

Attachments

Code Compliance Certificate Application Form.


Signature

19 DEC 2006

Date of Granting

Selwyn District Council Building Consent Authority Signatory

Position

On behalf of: Selwyn District Council

Issue Date: 15/12/06

BC

UNITS

As built Inss	3
Amended SFH	5
ADMINISTRATION UNITS SUB-TOTAL	

X	\$4.50
---	--------

37

DATE	INITIALS	DETAILS	UNITS	TRAVEL	MILEAGE
20/3/07	L B	NOT READY	1	3	20
18/2/07	KCL				
9/10/07	CW	re inspection			
SUB-TOTALS					
RATE	X \$6.975	X \$6.975	x \$0.62		

\$

PROCESSING / REINSPECTIONS SUB-TOTAL	0.00
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§

Invoice Date:-

Invoice Number:-

Site Inspection Sheet

061359

Application

D J AND D M JARRATT
TODAY HOMES LIMITED
PO BOX 8043
RICCARTON
CHRISTCHURCH

Issue date

2/11/06

Project

Description	New (& prebuilt) House, Unit, Bach, Crib, Town House etc. Being Stage 1 of an intended 1 Stage DOMESTIC DWELLING
Intended Life	Indefinite, but not less than 50 years
Intended Use	4 Bedroom Dwelling with Study & attached 3 Car Garage (313.13m ²) & Solid Fuel Heater.
Estimated Value	\$329,483
Location	839 WATERHOLES ROAD, ROLLESTON RAPID:
Legal Description	LOT 1 DP 50079 WITH AN UNDIVIDED 1/6 SH IN LOT 5 D
Valuation No.	2352206101
Builder	

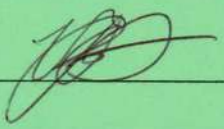


AMENDMENTS

Consent No: 061359Applicants Name: JARRATT.Date: 2 / 8 / 07.**MEMO**

GRAEME WILD HAS SPOKEN
TO PETER BARRATT (DRAINLAYER)
& CONFIRMED TO HIM THAT AN
OPEN VENT IS REQUIRED ON
THE BRANCH DRAIN.

PETER BARRATT HAS ADVISED THE
PLUMBER TO FIT AN OPEN VENT
(PLUMBER WANTS TO FIT AN
AAV & HAS BEEN TOLD
THAT THIS IS NOT ACCEPTABLE
- IT MUST BE AN OPEN VENT).

Signed 

SPECIFIED SYSTEMS

24. The following specified systems are contained on the **compliance schedule** for the building and, in the opinion of the personnel who installed them, are capable of performing to the performance standards set out in the Building Consent: (List Specified Systems): (use additional pages if required)

SIGNATORY

25. ☒ I request that you issue a code compliance certificate for this work under Section 95 of the Building Act 2004.

26. The code compliance certificate should be sent to:-
(unless otherwise advised the Code Compliance Certificate will be sent to the Agent/Applicant)

Fixed to 3416462
PO Box 8043 Riccarton Christchurch

27. Signed by or for and on behalf of the Applicant



28. Name of Person Signing:

 Felicity Burt

29. Date:

16/7/07

Note: if acting "for and on behalf", please read the following declaration before signing:- "I hereby declare that I am authorised to act as Agent / Applicant".

ATTACHMENTS

30. The following documents are attached to this application:-

- ☐ Certificates from the personnel who carried out the work.

You are required to supply certificates from all of the Trades involved in your project, such certificates should include the following information:-

- ▶ Name, address, and contact phone numbers.
- ▶ Registration Number (where applicable).
- ▶ Building Consent number.
- ▶ Project site address, and scope of work.
- ▶ Name of the tradesperson who carried out the work.
- ▶ A statement confirming which NZ Building Code Clauses which the work complies with, and compliance with the Approved Building Consent Documents including any variations.
- ▶ The Certificate must be signed and dated by the tradesperson responsible for the work.

- ☐ Certificates that relate to the energy work (Electrical and Gasfitter).

- ☐ Evidence that specified systems are capable of performing to the performance standards set out in the Building Consent (Installers certification).

APPLICATION INFORMATION

Code Compliance Certificate

A Code Compliance Certificate will be issued within 20 working days from application provided all the information required has been supplied. All inspections listed in the Building Consent documentation must have been booked and carried out to the Building Consent Authorities satisfaction during the construction phase. In the event that no application for Code Compliance is made within 2 years after the granting of the Building Consent the Building Consent Authority is obliged to issue a Notice To Fix for any outstanding work .

Notice to Fix

If a Notice to Fix is issued, it will state the building work that must be carried out and will set a timeframe in which this work must be completed. Once the work listed has been completed a further inspection shall be booked by phoning the Inspection Bookings Team on Phone 324 5848.

Fees

Please Note:- All work for the issue of a Code Compliance Certificate and Compliance Schedule will be invoiced and must be paid in full before the Code Compliance Certificate will be issued.

NOTES BY APPLICANT

Other notes or comments which you as the applicant may wish to add

This image shows a single sheet of white paper with horizontal blue or grey ruling lines. The lines are evenly spaced and run across the width of the page. There is no handwriting or printed text on the paper. A small, faint orange mark is visible near the top left corner.