

MAP Enclosed

Site Inspection Sheet

090147

Application

D J & D M JARRATT
TOTALSPAN BUILDINGS
PO BOX 16555
HORNBY
CHRISTCHURCH 8441

Issue date

6/03/09

Project

Description	OUTBUILDINGS Being Stage 1 of an intended 1 Stages FARM BUILDING
Intended Life	Indefinite, but not less than 50 years
Intended Use	Steel Framed Farm Building - unlined and non habitable - 122.77sqm
Estimated Value	\$40,000
Location	831 WATERHOLES ROAD, TEMPLETON
Legal Description	RAPID: LOT 1 DP 50079 WITH AN UNDIVIDED 1/6 SH IN LOT 5 DP 81942
Valuation No.	2352206101
Builder	



AMENDMENTS

09014

BCA CODE COMPLIANCE CERTIFICATE CIRCULATION SHEET

OWNER: Jarratt
AGENT: Totalspan

CONSENT NO: 090147
ON ACCOUNT: YES / NO

	INSPECTOR SIGN OFF	T & C OFFICER SIGN OFF	BCA SIGNATORY	CUSTOMER SERVICES	FINANCE OFFICER (For Reconciliation)	T/LEADER STAT CHECK
INITIAL & DATE COMPLETED						

INTENDED USE (if changed from BC):

CUSTOMER SERVICES		INITIAL & DATE		FURTHER INFORMATION REQUESTED:		FI APPROVED:	
RECEIVED & ENTERED BY:		21-7-09					
COC SENT BY:							
INSPECTOR		INITIAL & DATE					
ALL INSPECTIONS CARRIED OUT	YES / NO						
ALL INFORMATION INCLUDED	YES / NO						
ALL CONSENT CONDITIONS/NOTES MET	YES / NO						
ENERGY CERTIFICATES PROVIDED	YES / NO NA						
P/S 3's & P/S 4's	YES / NO NA						
INTENDED USE CORRECT	YES / NO						

POST BC AND CCC COSTINGS

[illegible]

Reconciliation Completed:	Invoice Generated:	Refund:	No further action resulting from reconcile:
---------------------------	--------------------	---------	---

A tick (✓) in any space indicates an item has been assessed / provided & is approved / acceptable

A cross (x) in any space indicates an item has not been assessed / provided & a comment / reason should be added

N / A should be used if an item is not applicable to the consent signoff process

Owner: JARRATT Consent N° 090147

Agent: TOTAL SAN (344 0331)

Complete all sections below using either ✓, x or N/A	✓ x N/A	Comments / Reasons for decision
All listed inspections completed & copies of site inspection records in file:	✓	
Have all consent conditions been met:	✓	
Have energy works certificate(s) been supplied: Electrical: Gas:	N/A	
List PS3(s) & PS4(s) supplied if any; in support of reasonable grounds: 1. 2. 3.	N/A	
Compliance Schedule ok to issue; T&C notified & schedule / Statement produced. (One copy attached to CCC for sending to applicant; and one copy for file):	N/A	
Has any other documentation been provided to support the issue of the CCC? List documents: 1. 2. 3.	N/A	
Is the owner(s) name correct: (Check certificate of title if necessary)	✓	
Has the mailing address been checked / updated: (Use rates database or CCC application form)	✓	
Check lawfully established use is correct, same as BC: (E.g. detached dwelling, commercial etc). Ensure amendments have not altered description.	✓	
Check legal description:	✓	

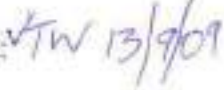
Complete all sections below using either ✓, x or N/A	✓ x N/A	Comments / Reasons for decision
Check the location address aligns with Rates database:	✓	
Check year construction commenced (The year work started not the year consent was issued).	✓	2009.
Further Information Requested: N/A.		
All Further information received & approved:	Signed:	Date:
CCC OK to Issue:	Signed: 	Date: 28/7/09
CCC Refused: (Provide reasoning).	Signed:	Date:
This signoff has been completed under the supervision of:	Signed:	Date:
This file /signoff has been reviewed by:	Signed:	Date:

Additional BC & CCC Work

Date	Initials	Administration	Units

Date	Initials	Processing	Units
28/7/09	A.F.	C.C.C.	5

Date	Initials	Extra & Re-inspections	Units	Travel	Mileage

Date Reconciliation Completed:  13/9/09 Date Invoice Generated: 78279. Date of Refund:

No further actions resulting from reconcile:



Facsimile

Fax To:	Tim - Building Inspector	Fax From:	Allan Martyn
Company:	SOC	Position:	0272 341 351
Fax Number:	3472 799	Fax Number:	(03) 3441332

Date:	18-3-09	Number of Pages:	
-------	---------	------------------	--

Subject:	Prepour Inspection BC # 090147 for Friday the 20 th March
----------	---

CHCH →

Main South Rd

Rollleston
←

Please Close gates

839 Water holes Rd 9px
1.4 Ks

Water holes Rd

Total Span Sign

Existing House

Totalspan Sign

Fence

Trees

gate

New Slab

gate

Existing Barn



Code Compliance Certificate**090147****Section 95, Building Act 2004**

COPY

The Owner

Name of Owner:	Jarratt David John & Jarratt Dianne Michelle
Mailing address:	831 Waterholes Road, RD 8, Christchurch 7678
Street address/registered office:	
Phone number:	
Landline:	Daytime: 3480733
Mobile:	After hours:
Facsimile number:	
Email address:	
Website:	

The Building Work

Street Address of Building:	831 WATERHOLES ROAD, TEMPLETON
Legal Description of land where building is located:	LOT 1 DP 50079 WITH AN UNDIVIDED 1/6 SH IN LOT 5 DP 81942
Valuation Number:	2352206101
Current lawfully established use:	FARM BUILDING
Type of work:	Steel Framed Farm Building - unlined and non habitable - 122.77sqm
Estimated Value:	\$40,000
Location of building within site/block number:	
Building Name:	Year Construction Commenced: 2009

Code Compliance Certificate:

The Building Consent Authority named above is satisfied on reasonable grounds, that the Building work complies with the Building Consent


Selwyn District Council Building Consent Authority Signatory

Issue Date: 28/07/09



Code Compliance Certificate Application

(Only complete items that are applicable to your project)

SCANNED

090723045
(BAM 006)

FOR OFFICE USE ONLY

Project No: 090147
Date Received: 2/7/09

APPLICATION	
Street Address (or Rapid No if applicable): 839 Waterholes Rd Templeton	Legal Description: Lot: 1 DP: 50079
Project Memorandum No. BC090147	Valuation Roll Number:
Type of Building work: (eg. Domestic Dwelling) Farm Shed	Building Consent No. BC090147
Building Consent issued by: (Name of Building Consent Authority) Selwyn District Council	
Address Code Compliance Certificate to be posted to: 839 Waterholes Road Templeton RD8 CHCH 7678	
THE OWNER	
Owner's Name: DJ+DM Jarratt	Contact Person: David (if owner is not an individual)
Mailing/Billing Address: 839 Waterholes Rd Templeton	
Street Address/Registered Office:	
E-mail Address:	Phone Day: 3440049
Phone A/Hours:	Fax: Cellphone: 0272109843
THE AGENT	
Note - The Agent will be the first point of contact for communications with the Council/Building Consent Authority regarding this application/building work and will receive all correspondence including all invoices.	
Agent's Name: Totalspen	Contact Person: Mark Furber (if Agent is not an individual)
Mailing/Billing Address:	
Street Address/Registered Office:	
E-mail Address:	Phone Day:
Phone A/Hours:	Fax: Cellphone:
KEY PERSONNEL	
Name of Designer: Totalspen Canterbury	Registration Number:
Mailing Address: 16555 Hornby CHCH	
E-mail Address: mark.furber@totalspen.co.nz	Phone Day: 3440331
Name of Engineer:	Registration Number:
Mailing Address:	
E-mail Address:	Phone Day:
Name of Builder: Same as Above	Registration Number:
Mailing Address:	
E-mail Address:	Phone Day:
Name of Craftsman Plumber:	Registration Number:
Mailing Address:	
E-mail Address:	Phone Day:

KEY PERSONNEL (continued)

Name of Registered Drainlayer: <u>STEVE BARRETT</u>		Registration Number:
Mailing Address:		<u>06243</u>
E-mail Address:	Phone Day:	
Name of Registered Electrician:		Registration Number:
Mailing Address:		
E-mail Address:	Phone Day:	
Name of Craftsman Gasfitter:		Registration Number:
Mailing Address:		
E-mail Address:	Phone Day:	
Other:		Registration Number:
Mailing Address:		
E-mail Address:	Phone Day:	

Add any additional people on another sheet.

NOTES BY APPLICANT (Other notes or comments which you as the applicant may wish to add)**SIGNATURE**

☒ I request that you issue a Code Compliance Certificate for this work under Section 95 of the Building Act 2004.

Signed by or for and on behalf of the Owner:

☒ Owner ☐ Agent

Date:

[Signature]
21/7/09

Note: If acting "for and on behalf", please read the following declaration before signing: "I hereby declare that I am authorised to act as Agent of the Owner".

ADDITIONAL INFORMATION TO NOTE:

1. You must submit your Code of Compliance Certificate Application prior to a final inspection being carried out.
2. The Code Compliance Certificate will be based on the approved building consent documents, so any variations to the original approved plans are required to be documented and approved prior to the work being carried out.
3. A Code Compliance Certificate will not be issued until all of the information required on this form that is relevant to the job is provided to the Council. This includes all Names, Certificates from personnel who carried out the work, Registration Numbers, Producer Statements, or any other required documents. Refer to our Customer Guide 'Applying for a Code Compliance Certificate' for further details.
4. Certificates that relate to energy work (Electrical and Gasfitters).
5. The specified systems listed on the attached form are to be contained in the compliance schedule for the building. In the opinion of the personnel who installed them, they are capable of performing to the performance standards set out in the building consent.

	Code Compliance Certificate Application Checklist (BAM 006-C) (In conjunction with Code Compliance Certificate Application Form)	Building Consent No: <u>090147</u>
		Date Received: <u>21/7/09</u>

Project address: 831, Lot 1 WATERHOLES RD, Tangleton

Have all the inspections listed in the Building Consent been carried out

YES / NO (Please circle)

If NO, please book the inspections before proceeding with this application.

NB The following is required on application in sufficient detail to show compliance with all aspects of the relevant Building Consent. Please complete this Checklist in FULL by placing a tick (✓) in the supplied or Not Applicable boxes. Additional information may be requested during processing of the application.

Check You Have Included -

COMPLETED, dated & signed Application Form

The Valuation number and Building Consent number

An Address for the CCC to be posted to

A copy of the Current Certificate of Title

Check You Have Listed The Key Personnel -

- Name, address, phone number, registration number for ALL key personnel
- Eg. Builder, Electrician, Drain layer, Plumber, etc
- Trade Certificates * - Provided for all Key Personnel

Check You Have Included The Documentation -

Electrical Certificate

Gas Certificate

Water Pressure Test (1500KPA) statement, if requested by Building Inspector

Producer Statement Construction (PS3) if required by Building Consent conditions

Producer Statement Construction Review (PS4) if required by Building Consent conditions

Proof of potability of water (3 tests results- 1x chemical + 3x Bacteria)

Exterior Cladding - Construction Statement required by Building Consent conditions. Eg Plaster Cladding, Classic Stone

Relocated Buildings - Copy of Code Compliance Certificate for the building issued by the local authority whom's district the building was constructed in

Pile Driving records for driven piles

Septic tanks- Confirmation from Ecan that they have received and approved the certificate of construction from the drain layer / designer (Compliance Monitoring report)

Evidence that specified systems are capable of performing to the performance standards set out in the Building Consent including-

Installers Certificates

FPIS Certificates

Dangerous Goods Location - Test Certificate issued by an ERMA approved test certifier.

Approvals from Other Authorities - Approvals for discharges to land, air, or water from Ecan, or the like

NOTE: Once received by the BCA, your CCC application will be considered and either issued or refused within 20 working days. Please note if any further information is requested this time is suspended until that information is received.

* Refer to Selwyn District Council's guide to applying for a Code Compliance Certificate booklet for requirements for information to be included in trade certificates.

For BCA Use Only:-

This application is accepted / declined as all relevant information has / has not been supplied - signed: 

CCC APPLICATION CHECKLIST

INSPECTION NOTICE

Inspections are to be booked by the owner or builder.

Name: JARRATT Consent No: 090147
 Site Address/Rapid No: LOT 1, 831 WATERHOLES RD, TEMPLETON Officer: Daryl
 Type of building work: FARM BUILDING
 On 21.1.7.2009 at 14:54 am / pm this site was inspected pursuant to the Building Act 2004 [Section 222/230] and the Local Government Act 2004 [Section 174]. The purpose of the inspection was:-

a	Siting & Foundations	h	Bond Beam	o	Other
b	Slab	i	Blockfill	p	Resource Consent
c	Pre Wrap	j	Heating unit	q	Complaint/Investigation
d	Post Wrap	k	Sanitary drainage	r	Compliance Schedule
e	Half height veneer	l	Stormwater drainage	s	WOF/ c/s audit
f	Preline/Plumbing	m	Pile/pole holes	t	☒ Final Inspection
g	Post line bracing	n	Cladding	u	☒ Pass ☐ Fail

BUILDING WORK MAY PROCEED ☒ MAY NOT PROCEED ☐ RE-INSPECTION YES ☐ NO ☒

INSPECTION NOTES: REINSPECTION OF FINAL
 • Issues dated on 9/7/2009 FROM 1-2 HAVE BEEN ATTENDED TO.
 • DOCUMENTATION RECEIVED.
 ① C.C. APPLICATION FORM & CHECKLIST..

ENTERED

NOTE: A Code Compliance Certificate Application is required for 2004 Building Act Consents

Owner/Builder/Contractor confirms floor height is as recommended by Environment Canterbury ☐

INSTRUCTIONS

All work inspected is in accordance with the Building Consent ☒

Satisfactory: Work may proceed when minor items above have been attended to ☐

Some work is not satisfactory or is incomplete, as detailed above, and rectification is required. ☐

A notice to fix will be issued ☐

Notice to: Contractor ☐ Owner ☐ Agent ☐ Occupier ☐ Signed: ☒

By: Telephone ☐ Fax ☐ Posting ☐ Left on Site ☒

Inspections are to be booked by the owner or builder.

Name: JARRATT Consent No: 090147
 Site Address/Rapid No: 831 WATER HOLE Officer: _____
ROAD, TEMPLETON Name: Daryl
 Type of building work: Farm Building
 On 9 / 1 / 2009 at 14:00 am / pm this site was inspected pursuant to the
 Building Act 2004 [Section 222/230] and the Local Government Act 2004 [Section 174]. The purpose of the inspection was:-

a	String & Founds	h	Bond Beam	o	Other
b	Slab	i	Blockfill	p	Resource Consent
c	Pre Wrap	j	Heating unit	q	Complaint/investigation
d	Post Wrap	k	Sanitary drainage	r	Compliance Schedule
e	Half height veneer	l	Stormwater drainage	s	WOF/ c/s audit
f	Preline/Plumbing	m	Pile/pole holes	t	Final Inspection
g	Post line bracing	n	Cladding	u	☐ Pass ☒ Fail

BUILDING WORK MAY PROCEED ☐ MAY NOT PROCEED ☒ RE-INSPECTION YES ☒ NO ☐

INSPECTION NOTES:

- EXTERIOR

- 7 RIB CLADDING TO ROOF & WALLS
- ① UPGRADE DOWN PIPE SIZE OR INSTALL 1X 65mm ON OTHER SIDE OF SPACING, AS INDICATED ON PLAN.
- ② ACHIEVE 100mm GROUND CLEARANCE AROUND BUILDING

- INTERIOR

- ALL PORTAL FRAMES DESIGNED & FIXED AS PER SPECIFICATIONS.
- HEAVY DUTY BUILDING ROOF UNDERLAY IN PLACE TO ROOF & SLOPE & CALV. NOTING
- ROOF & WALL BRACING AS PLAN.
- PULLIN. FIXINGS OK. WITH STIFFENERS.
- FLASHINGS OK.
- ✓ DOCUMENTATION TO COMPLETE
- ③ C.C.C. APPL. FORM & CHECKLIST.

NOTE: A Code Compliance Certificate Application is required for 2004 Building Act Consents

Owner/Builder/Contractor confirms floor height is as recommended by Environment Canterbury ☐

INSTRUCTIONS

All work inspected is in accordance with the Building Consent ☐

Satisfactory: Work may proceed when minor items above have been attended to ☐

Some work is not satisfactory or is incomplete, as detailed above, and rectification is required. ☒

A notice to fix will be issued ☐

Notice to: Contractor ☐ Owner ☐ Agent ☐ Occupier ☐ Signed: _____

By: Telephone ☐ Fax ☐ Posting ☐ Left on Site ☒

ENTERED



Building Consent Inspection Prompt Sheet Final Inspection – Garages and Sheds

(BAM 211)

PROJECT DETAILS			
Building Consent No.	090 147	Site Copy Viewed:	Yes ☒ No ☐
Inspector's Name:	D. FORTIN		
Time Arrived:	Time Departed:	Date: 9/7/09	

ITEMS INSPECTED	
Exterior	Drainage and Plumbing
☒ Building Height Above Ground	☒ HWC vent pipe support
☒ Height of landscaping	☒ Air admittance valves protection
☒ Flashing and Sealing of Windows	☒ Waste venting
☒ Sealing of Exterior Claddings	☒ WC's, Urinals, Venting, flushing and water saving
☒ Parapet and roof flashings	☒ Gully traps, sealing of wastes through back, overflow relief
☒ Cladding control joints	☒ TV clipped, positioning
	☒ Down pipes clipped
	☒ Storm water disposal
Framing Items	Other
☒ Bracing completed	☒ Firewall stopping
☒ Truss, post and beam fixings	☒ Smoke alarms
☒ Bottom Plate fixings	☒ As laid plan REVERSE side of Admin/Prompt
☒ Connections (Pole Buildings)	☒ PS4 and producer statements

This is not an inspection record, it serves as a prompt and simply indicates that the items listed have been inspected. The Inspection Notice (BAM 130) provides the record of items inspected and decisions made with respect to progression of building work, together with reasons for these decisions as inspection notes.

INSPECTION NOTICE

Inspections are to be booked by the owner or builder.

Name: O Terratt Consent No: 090147

Site Address/Rapid No: 831 Waterholes Road Officer: _____

Templeton

Name: Goeff Stevens

Type of building work: Farm Building

On 18 / 1 / 06 at 09 am / 10-06 this site was inspected pursuant to the Building Act 2004 [Section 222/230] and the Local Government Act 2004 [Section 174]. The purpose of the inspection was:-

a	Siting & Foundations	h	Bond Beam	o	Other
b	Slab	i	Blockfill	p	Resource Consent
c	Pre Wrap	j	Heating unit	q	Complaint/Investigation
d	Post Wrap	k	Sanitary drainage	r	Compliance Schedule
e	Half height veneer	l	✓ Stormwater drainage	s	WOF/ c/s audit
f	Preliner/Plumbing	m	Pile/pole holes	t	Final
g	Post line bracing	n	Cladding	u	Inspection
					☐ Pass
					☐ Fail

BUILDING WORK MAY PROCEED ☒ MAY NOT PROCEED ☐ RE-INSPECTION YES ☐ NO ☒

INSPECTION NOTES: Drainlayer Peter Barrett Rego N° 06243

upvc laid in chip to soakage holes. Two rises for downpipes. Downpipe sizes still to check.

Soakage hole has central pipe approx 3m long to
Soakage confirmed by drainlayer by phone

* y Ensure downpipes are sized correctly for catchment area.

ENTERED

(Drainlayer contacted by phone)

NOTE: A Code Compliance Certificate Application is required for 2004 Building Act Consents.

Owner/Builder/Contractor confirms floor height is as recommended by Environment Canterbury ☐

INSTRUCTIONS

All work inspected is in accordance with the Building Consent ☐

Satisfactory: Work may proceed when minor items above have been attended to * ☒

Some work is not satisfactory or is incomplete, as detailed above, and rectification is required. ☐

A notice to fix will be issued ☐

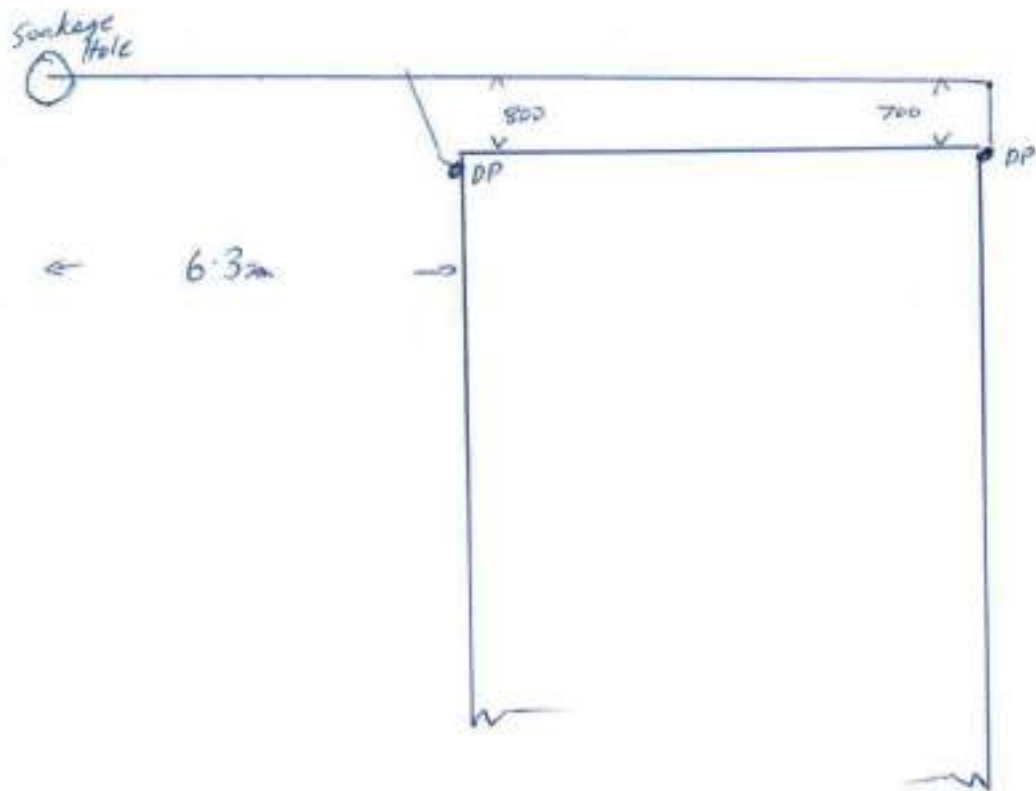
Notice to: Contractor ☒ Owner ☐ Agent ☐ Occupier ☐ Signed: _____

By: Telephone ☒ Fax ☐ Posting ☐ Left on Site ☒

B/C 090147

Peter Barrett Rego N° 06243

Stormwater: Grade 1:80





**Building Consent Inspection Prompt Sheet
Postline Inspection**

(BAM 205)

PROJECT DETAILS

Building Consent No.	Site Copy Viewed:	☐ Yes	☐ No
Inspector's Name:			
Time Arrived:	Time Departed:	Date:	

ITEMS INSPECTED

Bracing			
☐	Edge Nailing	☐	
☐	Bracing Material Type	☐	
☐	Ceiling Diaphragms	☐	

This is not an inspection record, it serves as a prompt and simply indicates that the items listed have been inspected. The Inspection Notice (BAM 130) provides the record of items inspected and decisions made with respect to progression of building work, together with reasons for these decisions as inspection notes.

Building Consent Inspection Prompt Sheet Drainage

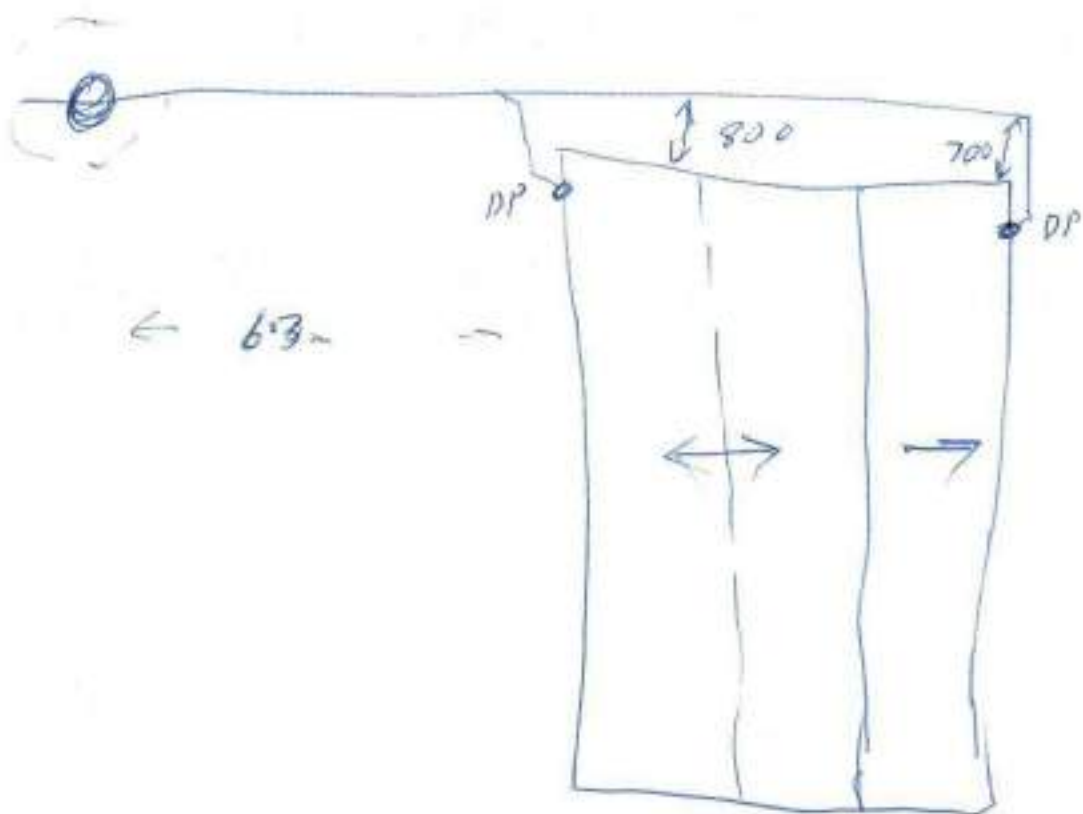
(BAM 210)

PROJECT DETAILS			
Building Consent No. _____	Site Copy Viewed:	Yes	No
Inspector's Name: _____			
Time Arrived: _____	Time Departed: _____	Date: _____	

ITEMS INSPECTED	
Sewage Systems	Stormwater Systems
✓ Drain material	✓ Drain material <i>UPVC</i>
✓ Gradients	✓ Gradients <i>1:80</i>
✓ Drain inspection points	✓ Drain inspection points
✓ Drain venting	✓ Drain venting
✓ Bedding material	✓ Bedding material <i>chip</i>
✓ Cover	✓ Cover
✓ Connection to lateral	✓ Connection to lateral <i>NA</i>
✓ Drain test	✓ Soakage pits <i>1 off with central pipe drainage system change.</i>
On Site Wastewater System	Downpipe sizes <i>TO CHECK</i>
✓ Septic tank	✓ Downpipe positions
✓ Venting	✓ Deck drains <i>NA</i>
✓ Effluent trench depth	✓ Deck overflows <i>NA</i>
✓ Trench Length	✓ Gutter sizes and overflows
Advanced Systems	Bubble up sump <i>NA</i>
✓ Dripper lines	Other Items
✓ Disposal bed	✓ Complete the database for on site systems
✓ Venting	✓ As laid plan
✓ Location of wastewater systems	✓ Tradesman's registration <i>Peter Burt</i>

06243 3m

This is not an inspection record, it serves as a prompt and simply indicates that the items listed have been inspected. The Inspection Notice (BAM 130) provides the record of items inspected and decisions made with respect to progression of building work, together with reasons for these decisions as inspection notes.



INSPECTION NOTICE

Inspections are to be booked by the owner or builder

Name: DJ+DM Jarratt Consent No: 090147
 Site Address/Rapid No: 831 Waterholes Road Officer: _____
Templeton Name: GEOFF STEVENSON

Type of building work: Form Building

On 24 / 03 / 09 at 1-06 am / pm this site was inspected pursuant to the Building Act 2004 [Section 222/230] and the Local Government Act 2004 [Section 174]. The purpose of the inspection was:-

a	☒ Siting & Founds	h		Bond Beam	o		Other
b	☒ Slab	i		Blockfill	p		Resource Consent
c		j		Heating unit	q		Complaint/Investigation
d		k		Sanitary drainage	r		Compliance Schedule
e		l		Stormwater drainage	s		WOF/ c/s audit
f		m		Pile/pole holes	t		Final
g		n		Cladding	u		Inspection
							☐ Pass
							☐ Fail

BUILDING WORK MAY PROCEED ☒ MAY NOT PROCEED ☐ RE-INSPECTION YES ☐ NO ☒

INSPECTION NOTES: Remspection of items noted on inspection
notice dated 20-03-09.
All four items have been completed as requested.

ENTERED

NOTE: A Code Compliance Certificate Application is required for 2004 Building Act Consents

Owner/Builder/Contractor confirms floor height is as recommended by Environment Canterbury ☐

INSTRUCTIONS

All work inspected is in accordance with the Building Consent ☐

Satisfactory: Work may proceed when minor items above have been attended to ☐

Some work is not satisfactory or is incomplete, as detailed above, and rectification is required ☐

A notice to fix will be issued ☐

Notice to: Contractor ☒ Owner ☐ Agent ☐ Occupier ☐ Signed: _____

By: Telephone ☐ Fax ☐ Posting ☐ Left on Site ☒

INSPECTION NOTICE

Inspections are to be booked by the owner or builder.

Name: TOTAL SPAN Consent No: 090147
 Site Address/Rapid No: 881 WATERLOO RD. Officer: [Signature]
TEMPERED Name: [Signature]

Type of building work: FARM BOUNDARY
 On 26/3/09 at 3.45 am / pm this site was inspected pursuant to the Building Act 2004 [Section 222/230] and the Local Government Act 2004 [Section 174]. The purpose of the inspection was:-

a	☒ Siting & Founds	h	☐ Bond Beam	o	☐ Other
b	☒ Slab	i	☐ Blockfill	p	☐ Resource Consent
c	☐ Pre Wrap	j	☐ Heating unit	q	☐ Complaint/Investigation
d	☐ Post Wrap	k	☐ Sanitary drainage	r	☐ Compliance Schedule
e	☐ Half height veneer	l	☐ Stormwater drainage	s	☐ WOF/ c/s audit
f	☐ Preline/Plumbing	m	☐ Pile/pole holes	t	☐ Final
g	☐ Post line bracing	n	☐ Cladding	u	☐ Inspection
					☐ Pass
					☐ Fail

BUILDING WORK MAY PROCEED ☐ MAY NOT PROCEED ☒ RE-INSPECTION YES ☒ NO ☐

INSPECTION NOTES:

Site: - AS per consent plan issued Canterbury
 100mm Boundary.

Foundation: - 100mm INTO GROUND
 EXCAVATE AREA AT P.O.E PILE DOWN TO 100mm.
 1X D16 ROD TO REINFORCE, TIED AT CORNERS AND
 CHAIRED.

668 mesh THROUGHOUT. TO BE CHAIRED
 EXCAVATE 100mm BELOW CLEARANCE DOOR OPENING AREA
 TO CREATE FULL 200mm EDGE THICKENING

STEP ROD FOR LEAN TO AREA, 75mm STEP.

ENTERED

NOTE: A Code Compliance Certificate Application is required for 2004 Building Act Consents

Owner/Builder/Contractor confirms floor height is as recommended by Environment Canterbury ☐

INSTRUCTIONS

All work inspected is in accordance with the Building Consent ☐

Satisfactory: Work may proceed when minor items above have been attended to ☐

Some work is not satisfactory or is incomplete, as detailed above, and rectification is required. ☒

A notice to fix will be issued ☐

Notice to: Contractor ☒ Owner ☐ Agent ☐ Occupier ☐ Signed: [Signature]

By: Telephone ☒ Fax ☐ Posting ☐ Left on Site ☒

Building Consent**090147****Section 51, Building Act 2004**

Street address of building:	831 WATERHOLES ROAD, TEMPLETON
Legal description:	LOT 1 DP 50079 WITH AN UNDIVIDED 1/6 SH IN LOT 5 DP 81942
Valuation number:	2352206101
Rapid number:	
Building name:	
Building location on site:	
Level/unit number:	

Name of Owner:	D J & D M JARRATT
----------------	-------------------

Applicant/Agent:	TOTALSPAN BUILDINGS
Contact person:	MARK FAIRBROTHER
Mailing address:	PO BOX 16555, HORNBY, CHRISTCHURCH 8441
Street address/registered office:	
Phone number:	
Landline:	0272938126
Mobile:	
Daytime:	
After hours:	
Facsimile number:	3441332
Email address:	mfairbrother@totalspan.co.nz
Website:	

The following building work is authorised by this building consent:

Description:	FARM BUILDING
Intended Use:	Steel Framed Farm Building, unlined and non habitable – 122.77sqm
Estimated Value:	\$40,000

Building Consent

This building consent is granted under Section 51 of the Building Act 2004. This building consent does not relieve the owner of the building (or proposed building) of any duty or responsibility under any other Act relating to or affecting the building (or proposed building).

This building consent also does not permit the construction, alteration, demolition, or removal of the building (or proposed building) if that construction, alteration, demolition, or removal would be in breach of any other Act.

This Building consent is invalid unless work has commenced within 12 months from the date of granting.

The Code Compliance Certificate must be applied for within 24 months of the date of granting.

Note:- Where conflict may occur between plan/specification information and/or any other specific instruction in application documentation, the applicant and/or designer is to note that the Schedule confirming the method of compliance with the NZ Building Code **will always be the prime default control for Council.**

Any amendment to this Approved Building Consent will require approval prior to the work being carried out. This will require an Amended Building Consent application to be made.

Booking Inspections

1. The Building Consent Authority, is to be advised that the work is ready for inspection at least 1 clear working day before that inspection is required. Please note this may not guarantee an inspection at the desired time if an inspector is not available at that time.
2. All inspections are to be booked by phoning 03 347 2848 between the hours of 8:30am and 5:00pm.
3. The complete set of Approved Building Consent documents (including stamped plans and specifications) **MUST** be available on site for the Officer carrying out the inspection. No inspection will be undertaken if the approved documentation is not available.

This building consent is granted subject to the conditions specified below.
Selwyn District Council Building Consent Authority Officers will carry out the following inspections:

☒ **Inspection 1** *LOS 24-3-09 Reinspection of item 20-3-09*

Excavation for foundations including ground bearing capacity.

Foundation reinforcing, floor slab and plate fixings before concrete is poured.

MS

☐ **Inspection 2** NOTE:- All drainage work must be inspected prior to backfilling and a fully dimensioned 'as-built' drainage plan for Council records must be available when the Inspector visits the site.

☒ Final Inspection including:-

☒ Structural framing and fixings.

MS

☒ Spouting including rain water heads, overflows and downpipes.

MS

☒ Stormwater disposal to soakholes.

When the final inspection has been carried out and all building work approved, the Code Compliance Certificate can be applied for (The Code Compliance Certificate is invoiced separately with any additional costs if applicable).

Compliance schedule

A compliance schedule is not required for this project.

Attachments

Code Compliance Certificate Application Form.

Signature

G Ellis

18 MAR 2009

Date of Granting

Selwyn District Council Building Consent Authority Signatory

Position

On behalf of: Selwyn District Council

Issue Date: 6/03/09

TERRITORIAL AUTHORITY PIM CIRCULATION SHEET

OWNER: Jarratt.
 AGENT: Totalspan.

CONSENT NO: 090147P.

FORMALLY RECEIVED DATE	DEADLINE DATE	PLANNING PIM OK TO ISSUE	ASSETS PIM OK TO ISSUE	BUILDING PIM OK TO ISSUE	TA SIGNATORY	AUDIT
26/2/09		5/3/09		3/3/09		
	INITIAL & DATE OF DECISION	mc 5/3/09		Shirlock 4/3/09	Heus 11-3-09	

TYPE OF WORK:

farm Building

PIM FEE PAID: \$ 200-00

SITE CONDITIONS:

EQUAKE: 0 SNOW: 0.4 kPa WIND: 44 m/s high ALTITUDE: 40 m CORROSION: 1

PROCESS SIGN OFFS	INITIAL & DATE
PREVIEWED BY:	<u>[Signature]</u> 27/2/09
LOADED BY:	<u>[Signature]</u> 27/2/09
ENVIRONMENT CANTEBURY CONTAMINATION INFORMATION PROVIDED:	
A COMPLETE COPY OF THE PIM IS TO BE SENT TO THE FOLLOWING PARTIES WHEN ISSUED:	
	YES NO
PLANNING:	
HISTORIC PLACES TRUST	/
LOCAL IWI	/
(Address for service required)	
BUILDING:	
FOOD & HEALTH	
ORION	
OTHER:	
PIM SENT OUT TO ALL PARTIES IDENTIFIED ABOVE WITH ALL ATTACHMENTS BY:	

ATTACHMENTS:	
PROPERTY MAP	✓
WATER RACE MAP	X
WATER SUPPLY MAP	X
PIPED STORMWATER MAP	X
SEWER MAP	X
EXISTING / AS BUILT DRAINAGE PLAN	✓
RM CERTIFICATE	NA
DEVELOPMENT CONTRIBUTION NOTICE	
OTHER (specify):	
Water Connection Form	

ASSETS:	
SEWER	
STORMWATER	
WATER	
HAZARDS	
ENTRANCES	
COMMENTS:	
PIM COMPLETED	

CHECKSHEET, FURTHER INFORMATION & FILE NOTES TO BE ATTACHED TO THIS PAGE.



**Residential PIM / Building Consent
Application Checklist (BAM 002-R)**
(in conjunction with Building Consent Application Form)

PROJECT NO:

DATE RECEIVED:

26/2/08

Project address: 834 Waterholes Road.

	Supplied	N/A	Council
PIM			
NB The following is required on application in sufficient detail to show compliance with all aspects of the District Plan and the New Zealand Building Code. Please complete this Checklist in FULL. Additional information may be requested during processing of the application.			
Application form COMPLETED & signed including Building Code Assessment	✓		✓
Application fee:- \$200.00 for PIM Only <u>\$400.00</u> for Combined PIM and Building Consent (GST Incl.)	✓		✓
Certificate of Title: Recent search copy less than 6 months old, plus a sale & purchase agreement if not in the applicant's name. A subdivision scheme plan is required for a new site where Title is not yet available.	✓		✓
Site Plan - showing:			
- All new & existing buildings, swimming pools	✓		✓
- Any heritage buildings / trees or archaeological site information known		✓	NA
- Legal & notional boundaries (existing & proposed), easements, waterways, shared access ways / other areas with building setbacks dimensioned	✓		✓
- Building & site areas (including floor areas (m²) for all floors)	✓		✓
- Vehicle access, crossing location, manoeuvre, and parking area	✓		✓
- Street trees, poles, sumps, manholes, traffic islands outside the property		✓	NA
- Any hard-standing (sealed or concrete) areas with proposed drainage		✓	✓
- Landscaped areas required by District Plan indicated		✓	✓
- Any significant trees on the site		✓	✓
- All activities on a site indicated		✓	✓
- Proposed & existing site & floor levels		✓	✓
- Existing & proposed contours, drive gradients and building heights (for hill or sloping sites)		✓	✓
- Intentions for the disposal of stormwater & sewer	✓		✓
- Storage location and capacity of Hazardous Substances (ie LPG, diesel, home heating oil etc)		✓	NA
Outline Floor plans (for all floors)	✓		✓
Outline Elevations	✓		✓
Outline Cross Sections - (if required to show recession plane / daylight plane & height compliance)	✓		✓

STOP HERE IF THIS IS A PIM ONLY APPLICATION

BUILDING CONSENT (in addition to the above)			
Project Information Memorandum (if already issued) plus all attached forms		✓	
Foundation Plans (timber or concrete slab) including all details	✓		✓
Drainage Plans - full design details including both Sewer & Stormwater and any disposal methods	✓		✓
Detailed Floor Plans - fully dimensioned and notated, including location of Smoke Alarms	✓		✓
Detailed Elevations - including door & windows showing opening sashes	✓		✓
Cross Sections - to show all relevant construction, especially through difficult areas of the building and changes in building form	✓		✓
Timber Treatment - the species, grading & treatment of all timber specific to the project is to be specified on the drawings, ideally on the cross section <u>steel</u>	✓		✓
Insulation - R-values on drawings, method of compliance identified (Schedule / Calculation / Modelling)		✓	NA
Electrical Plan - showing all lighting and electrical outlets including fitting types		✓	✓
Framing Details - including floor joist layout plans if applicable	✓		✓
Construction Details - with all materials, fixings etc noted	✓		✓
Weathertightness Details - including a risk assessment matrix for all walls & all flashings	✓		✓
Internal Waterproofing Details - including all wet areas & surface finishes		✓	NA
Plumbing Details - including layout plan / schematic & water supply details		✓	✓
Specifications - relevant to the project	✓		✓
Heating Appliance - installation details including clearances, flue installation and flashings for Solid Fuel and Liquid Fuel Appliances		✓	NA
Bracing Design - calculations, schedule and layout plans	✓		✓
Roof Truss Design - including layout plan, fixings and specific design for lintels where required	✓		✓
Ground Conditions report - this will be either a report to show why it is assumed that the ground is "good ground" using Section 3 of NZS 3604:1999, or a specific ground assessment & foundation design by a suitably qualified & experienced engineer		✓	NA
Engineers Details, Producer Statement & Design Calculations - where any specific design has been carried out (e.g. steel beams)	✓		✓
Approvals from Other Authorities - Approvals for discharges to land, air, or water from Ecan, or the like.		✓	NA

For BCA Use Only:-

This application is accepted / declined as all relevant information has / has not been supplied - signed:-

Project Information Memorandum
090147P
Section 34, Building Act 2004
Application

Owner: D J & D M JARRATT	No.	090147P
TOTALSPAN BUILDINGS	Issue date	11/03/09
PO BOX 16555	Formally Received Date	26/02/09
HORNBY		
CHRISTCHURCH 8441		

Project

Description	OUTBUILDINGS Being Stage 1 of an intended 1 Stages FARM BUILDING
Intended Life	Indefinite, but not less than 50 years
Intended Use	Steel fully enclosed Farm Building with awning - unlined and non-habitable - 122.77sqm
Estimated Value	\$40,000
Location	831 WATERHOLES ROAD, TEMPLETON
Legal Description	LOT 1 DP 50079 WITH AN UNDIVIDED 1/6 SH IN LOT 5 DP 81942
Valuation No.	2352206101

Building work can proceed following formal notification of Building Consent Approval being received from the Selwyn District Council Building Consent Authority and approvals being obtained from the agencies identified in this project information memorandum.

This Project Information Memorandum does NOT constitute a Building Consent.

Signed for and on behalf of the Council:
Name: *Helen*
Date: 11-3-09

Building Department Comments

Building Control Officer: - Sandra McCormick

Site Constraints

The following design criteria are indicated as being acceptable on and around the proposed construction site.

Earthquake Zone	:	B
Snow Load (Sg)	:	0.4 kPa
Site Wind Speed	:	44 m/s (High)
Altitude	:	40 m (amsl)
Corrosion	:	1

The above loading information is based on the current edition of NZS3604, the use of AS/NZS1170 may result in different values. Where specific design is required loading information relevant to the conditions expected at the proposed site will need to be used in accordance with the current edition of AS/NZS1170.

Special Land Features

Ground bearing capacity on this site should meet the requirements of the NZ Building Code Section B1 without a subsoil investigation being carried out.

Other Information

Potential contamination may exist resulting from the previous use of this site as an orchard and associated spray programmes.

A soil analysis report is required to provide confirmation that any such contamination issues have been resolved to demonstrate compliance with the New Zealand Building Code Section F1 – Hazardous Agents on Site.

Planning Department Comments

Buildings Compliance : Planner – R Carruthers

Resource Consent Required? Not required

Based on the plans and details submitted with this application, this building complies with the relevant provisions of the Partially Operative District Plan and no resource consent is required.

Please note that the vehicle crossing serving any new dwelling or principal building is required to be formed and sealed/metalled to Council standards or a resource consent will be required. This requirement also relates to any new vehicle crossing regardless of whether or not it serves a dwelling/principal building.

Activity:

Activity: Farm Building

Zoning: Inner Plains

Current Resource Consents:

Previous resource consents granted / refused for this property?

R307723 : TO ERECT DWELLING ON AN UNDERSIZED RURAL LOT : DECISION NOTIFIED 19/10/05

R305474 : EXTENSION TO R304324 - TO ERECT A DWELLING ON EACH OF 7 LOTS < 4 HA IN GREEN BELT : DECISION NOTIFIED 17/04/02

R304324 : TO ERECT A DWELLING ON EACH OF 7 LOTS < 4 HA IN RURAL ZONE GREEN BELT : DECISION NOTIFIED 19/05/00

Land Features:

Designations: None Found

Heritage Items : None Found

Registered by the New Zealand Historic Places Trust (NZHPT) : Not Applicable

Special Land Features : The flight paths for Christchurch International Airport take air traffic over this general area.

PF Barrett

Address:

alternative solution

all WC Pans² are on external walls and are connected to the sewer by short branches

← 1.8' loss of water seal Not Possible

1:80

Terminal Vent
fitted 1.9

(CALCULATION SHEET)

TOTALSPAN BUILDINGS
 PO BOX 16555
 HORNBY
 CHRISTCHURCH 8441
 Attn: MARK FAIRBROTHER

 GST Number: 53-113-451
 Invoice Date: 11/03/09
 Customer No: BC090147P

Tax Invoice 71071

Quantity	Description	Rate	Amount
	090147P : 831 WATERHOLES ROAD, TEMPLETON FARM BUILDING Owner: D J & D M JARRATT		
	ADMINISTRATION/PROCESSING/ISSUE FEE		155.00 *
	PLANNING		45.00 *
			\$200.00
	(* Incl GST \$22.22)		
	Cash Received		200.00CR

Total incl. GST \$0.00

This is a PIM invoice only.
 Any Building Consent fees will be invoiced separately.

(Please detach and return this portion with your payment)

REMITTANCE ADVICE

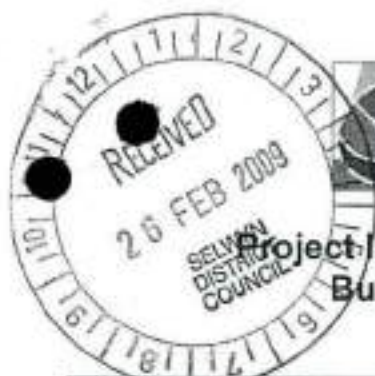
 TOTALSPAN BUILDINGS
 PO BOX 16555
 HORNBY
 CHRISTCHURCH 8441

 Customer No.: BC090147P
 Invoice No.: 71071
 Total Due: \$0.00

Amount Enclosed:

Payment can be made by internet banking to the following account: 03 1587 0050000 00.

Please enter your invoice number in the particulars field, and your customer number in the code field.

**PIM ONLY**

(BAM 002)

SCANNED

FOR OFFICE USE ONLY

Project No:

0901478

Date Received:

090226028

**Project Information Memorandum and/or
Building Consent Application**

(Only complete items that are applicable to your project)

APPLICATION

I request that you issue a:

(please tick one)

☐ Project Information Memorandum only (PIM)☐ Building Consent only (for existing PIM) No: _____ (attach copy)☒ Building Consent (including Project Information Memorandum)**THE BUILDING**

Street Address (or Rapid No if applicable):

839 Waterholes Rd Templeton Lot 1

Building Name (if applicable):

Farm Shed

Legal Description: Lot: 1

DP: 50049

Valuation Roll Number: 23522-06-61

Number of Levels:

Single

Level/Unit No:

—

Total Floor Area: (all floors included) 122.77m²Existing: _____ m² Add: _____ m²

Current lawfully established use:

N/A

Approx year building first constructed:

New

Is a Swimming or Spa Pool on this Site or associated with this Project?

Yes

☒ No**THE PROJECT**

Description of building work:

(eg dwelling, commercial, farm shed, garage etc)

Farm Shed (Steel)

Will the building work result in a change of use of the building?

Yes

☒ No

(Refer to Building (Specified Systems, Change of Use, and Earthquake-prone Buildings) Regulations 2005 if in doubt)

If "Yes", provide details of the new intended use:

Intended life of the building:

Indefinite but not less than 50 years

☒

or specified as

years

List Building Consents previously issued for this building (if any); (ie is this project being constructed in stages? Is this consent for a relocated or transportable building?)

Nil

Estimated Value (inc GST) (ie the estimated aggregate of the values of all goods and services): \$ 40,000

THE OWNER

Owner's Name:

David & Dianne Jarrahl

Contact Person:

(if owner is not an individual)

David

Mailing/Billing Address:

839 Waterholes Rd Templeton

Street Address/Registered Office:

E-mail Address:

Phone Day: 3480733

Phone A/Hours:

Fax:

Cellphone:

THE AGENT

Note - The Agent will be the first point of contact for communications with the Council/Building Consent Authority regarding this application/building work and will receive all correspondence including all invoices.

Agent's Name:

Totalspen

Contact Person:

(if Agent is not an individual)

Mark Fairbrother

Mailing/Billing Address:

PO Box 16555 Hornby

Street Address/Registered Office:

738 Main St Rd Templeton

E-mail Address:

m.fairbrother@totalspen.co.nz

Phone Day: 3440331

Phone A/Hours:

Fax: 3441332

Cellphone: 0272438126

Project Information Memorandum and/or Building Consent Application

FILE COPY
090147

FORM BAM 002-v1.0.2

Page 1 of 4

REQUIRED ATTACHMENTS

Evidence of ownership attached to this application:



Certificate of Title



Sale and Purchase Agreement

Complete and attach **ONE** of the following checklists, and provide **ALL** of the information and plans requested on that checklist:

Form BAM 002-R Residential work



Form BAM 002-I Commercial/Industrial work

Application Fee (Deposit)

Application Fee of \$ 400 - 00

(refer to customer guide for appropriate fees)

KEY PERSONNEL

Name of Designer: Total Span

Registration Number:

Mailing Address: PO Box 16555 Hornby

E-mail Address: mfaibrother@totalspan.co.nz

Phone Day: 344 0331

Name of Engineer:

Registration Number:

Mailing Address:

E-mail Address:

Phone Day:

Name of Builder:

Registration Number:

Mailing Address:

E-mail Address:

Phone Day:

Name of Craftsman Plumber:

Registration Number:

Mailing Address:

E-mail Address:

Phone Day:

Name of Registered Drainlayer:

Registration Number:

Mailing Address:

E-mail Address:

Phone Day:

Name of Craftsman Gasfitter:

Registration Number:

Mailing Address:

E-mail Address:

Phone Day:

NOTES BY APPLICANT (Other notes or comments which you as the applicant may wish to add)**SIGNATURE**

Signed by or for and on behalf of the Owner:



Owner



Agent

Date:

25-2-09

Note: If acting "for and on behalf", please read the following declaration before signing: "I hereby declare that I am authorised to act as Agent of the Owner".



COMPUTER FREEHOLD REGISTER UNDER LAND TRANSFER ACT 1952



Search Copy

R. W. Muir
Registrar-General
of Land

Identifier **CB47B/509**
Land Registration District **Canterbury**
Date Issued **09 February 2000**

Prior References

CB30A/1166	CB30A/1167	CB30A/1168
CB30A/1169	CB30A/1170	CB30A/1171
CB30A/1172	CB30A/1173	CB30A/1174
CB30A/1175	CB30A/1176	

Estate Fee Simple
Area 3.5656 hectares more or less
Legal Description Lot 1 Deposited Plan 50079
Proprietors
David John Jarratt and Dianne Michelle Jarratt

Estate Fee Simple - 1/6 share
Area 6859 square metres more or less
Legal Description Lot 5 Deposited Plan 81942
Proprietors
David John Jarratt and Dianne Michelle Jarratt

Interests

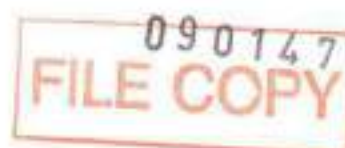
Subject to Sections 241 (2) & 242 (1) and (2) Resource Management Act 1991 by The Selwyn District Council (affects DP 81942)

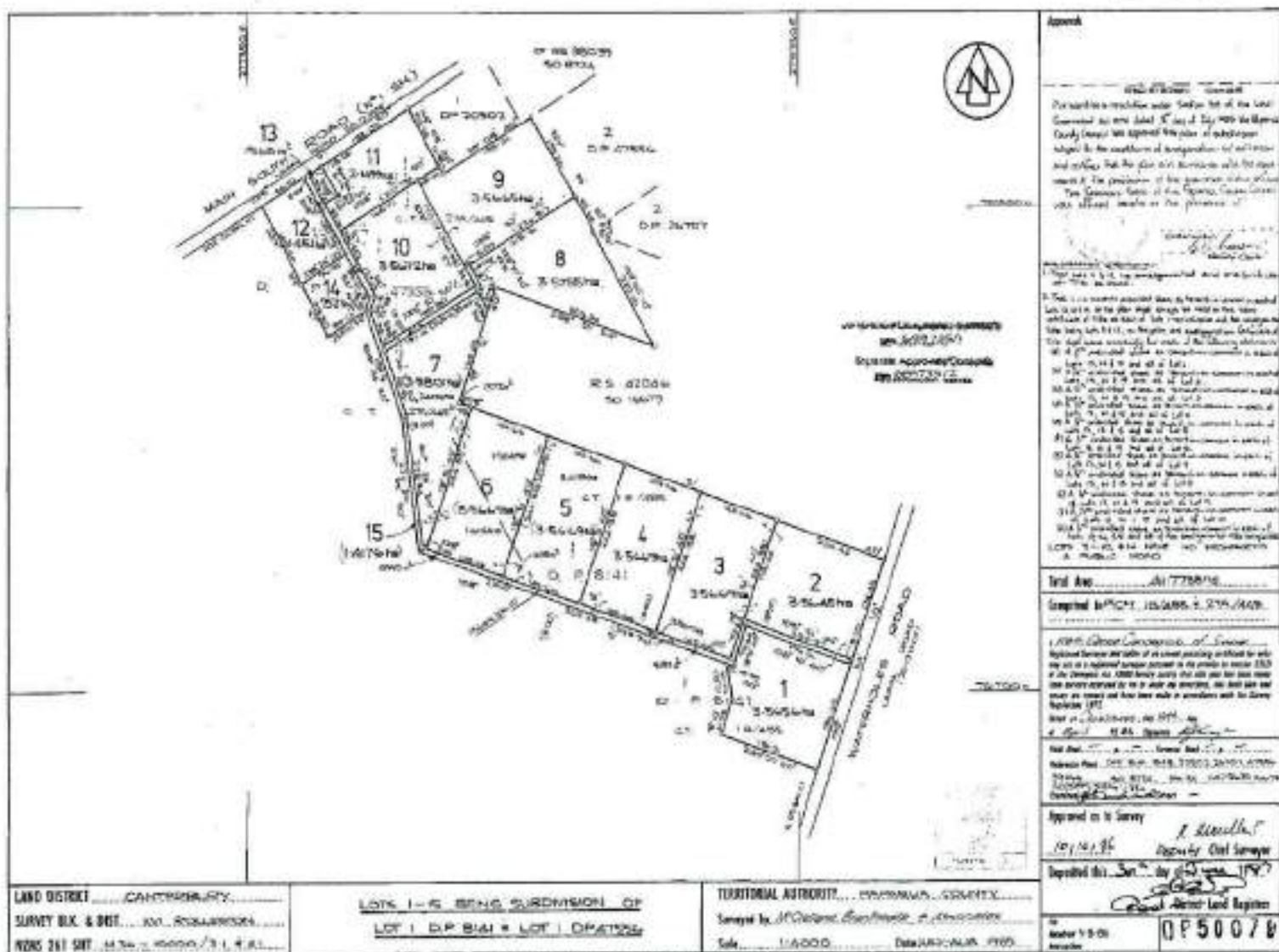
Subject to Section 206 Land Act 1924 (affects the part formerly contained in CT CB27A/445)

A445158.16 Easement Certificate specifying the following easements - 9.2.2000 at 11:40 am

Type	Servient Tenement	Easement Area	Dominant Tenement	Statutory Restriction
Convey water	Lot 7 Deposited Plan 50079 - CT CB47B/505	K DP 81942	Lot 1 Deposited Plan 50079 - herein	
Convey water	Lot 6 Deposited Plan 50079 - CT CB47B/514	L DP 81942	Lot 1 Deposited Plan 50079 - herein	
Convey water	Lot 5 Deposited Plan 50079 - CT CB47B/513	M DP 81942	Lot 1 Deposited Plan 50079 - herein	
Convey water	Lot 4 Deposited Plan 50079 - CT CB47B/512	N DP 81942	Lot 1 Deposited Plan 50079 - herein	
Convey water	Lot 3 Deposited Plan 50079 - CT CB47B/511	O DP 81942	Lot 1 Deposited Plan 50079 - herein	
Convey water	Lot 2 Deposited Plan 50079 - CT CB47B/510	P DP 81942	Lot 1 Deposited Plan 50079 - herein	

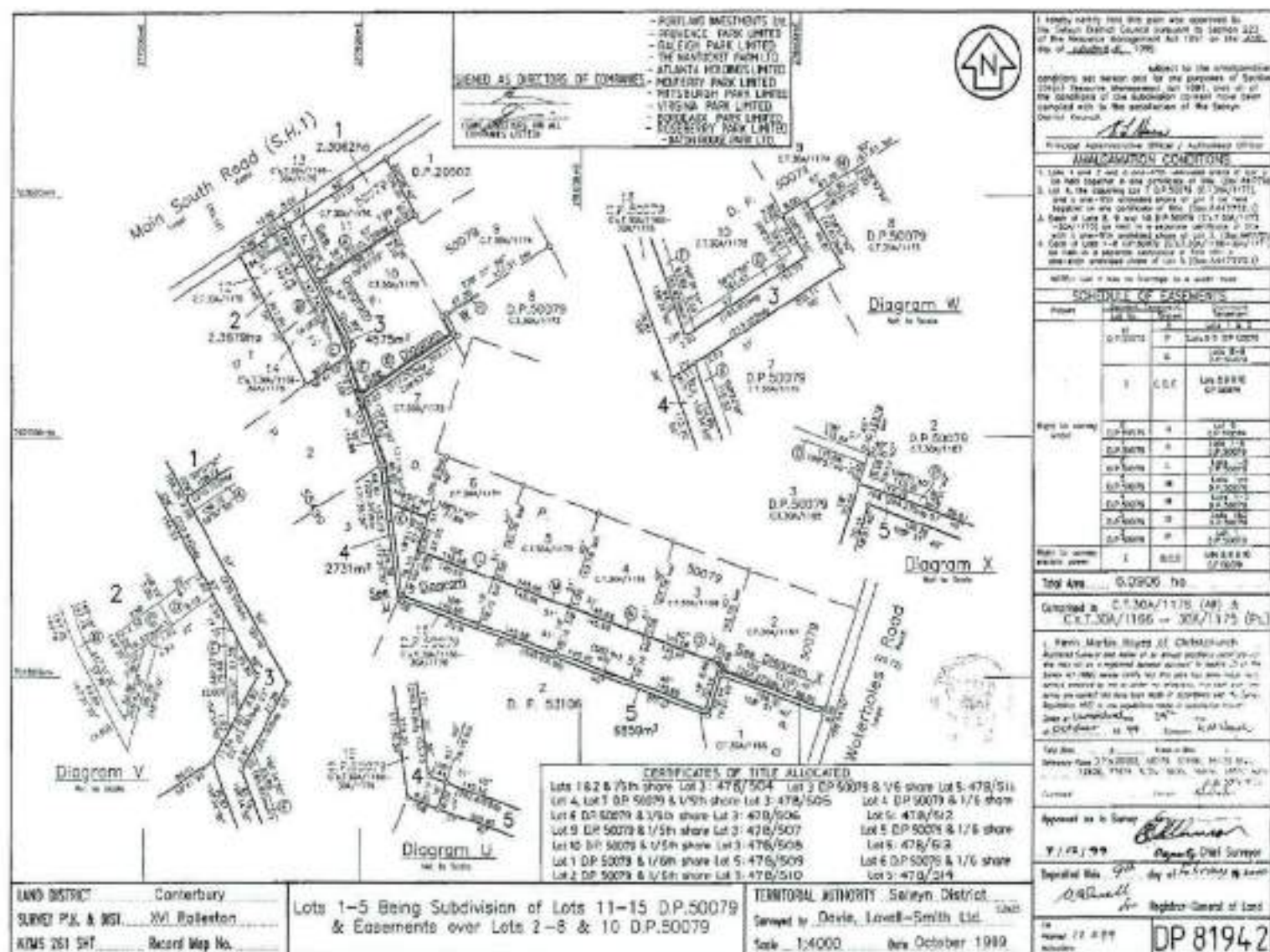
Land Covenant in Transfer 5024586.1 - 16.2.2001 at 11:51 am

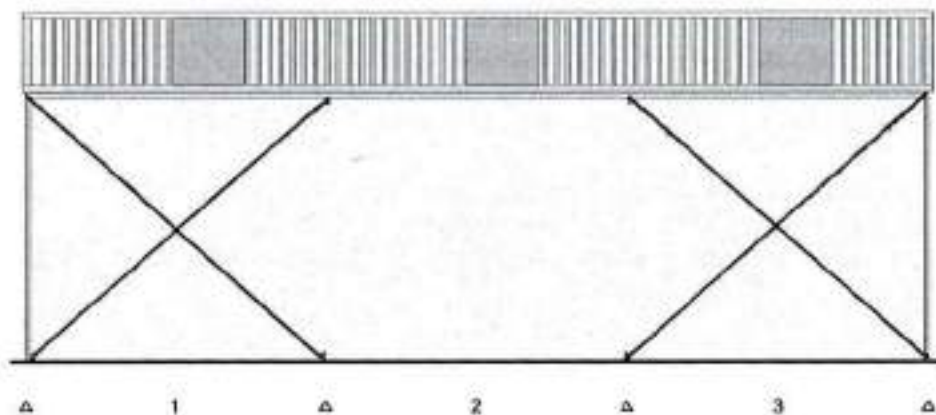




FILE COPY

090147





Rear Elevation

FILE COPY

090147

TOTALSPAN BUILDINGS

A Division of Spansid New Zealand Ltd

112 Watatua Road, Hornby,
P.O. Box 11-013, Christchurch
PH: (09) 261 2304 FAX: (09) 262 1535

PREPARED BY: Mark Fairbrother, Totalspan Canterbury, 03 3440331

FOR: David & Dianne Jarrett

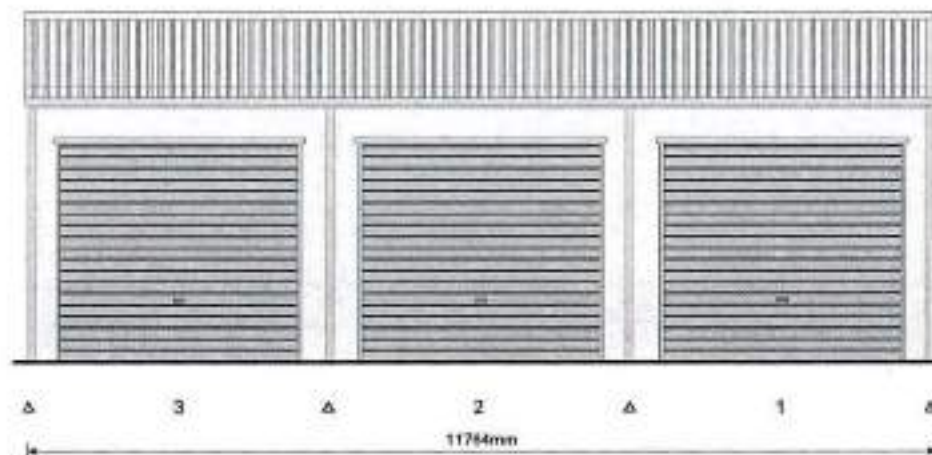
REFERENCE: Mark-004

SITE ADDRESS: 839 Waterholes Road
Templeton
ChCh

Scale 1 : 100

REAR ELEVATION

Sheet 7 of 7



Front Elevation

FILE COPY

090147

TOTALSPAN BUILDINGS

A Division of Spanbild New Zealand Ltd

112 Waterloo Road, Riccarton,
P.O.Box 11-013, Christchurch
PH: (09) 281 2306 FAX: (09) 282 1535

PREPARED BY: Mark Fairbrother, Totalspan Canterbury, 03 3440331

FOR: David & Dianne Jamell

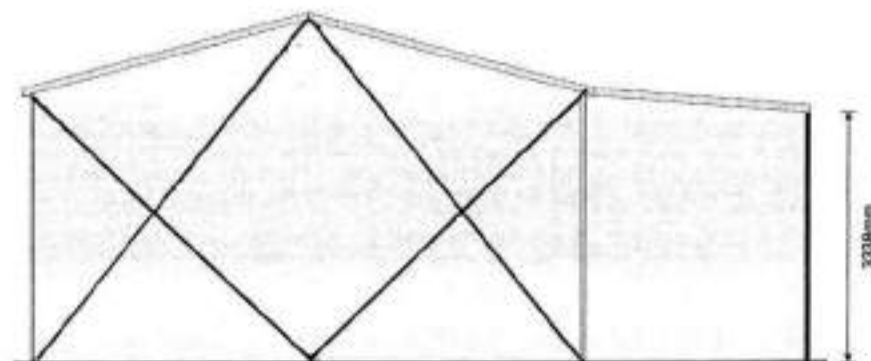
REFERENCE: Mark-864

SITE ADDRESS: 839 Waterholes Road
Templeton
ChCh

Scale 1 : 100

FRONT ELEVATION

Sheet 6 of 7



Left Elevation

FILE COPY

090147

TOTALSPAN BUILDINGS
A Division of Spanbild New Zealand Ltd

112 Waterloo Road, Hornby,
P.O.Box 11-013, Christchurch
PH: (09) 261 2306 FAX: (08) 262 1535

PREPARED BY: Mark Fairbrother, Totalspan Canterbury, 03 3440331

FOR: David & Dianne Jarrett

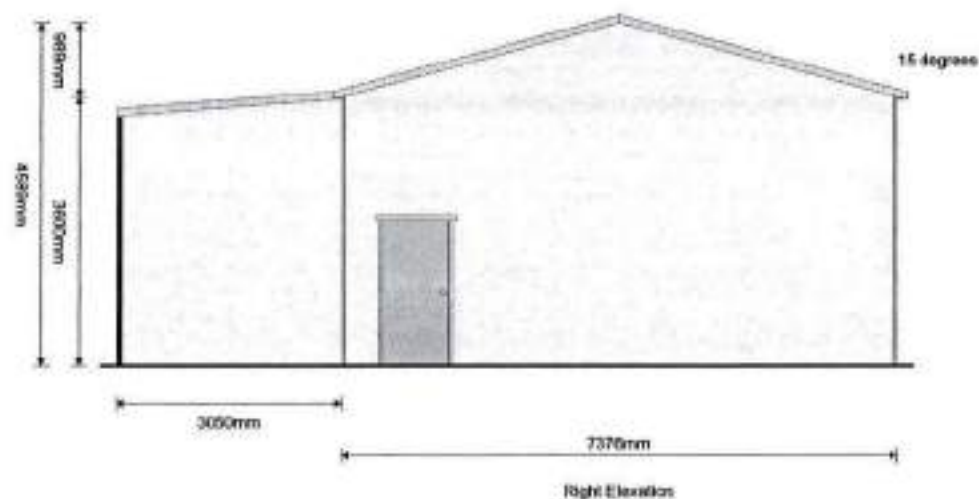
REFERENCE: Mark-864

SITE ADDRESS: 839 Waterholes Road
Templeton
ChCh

Scale 1 : 100

LEFT ELEVATION

Sheet 5 of 7



FILE COPY

090147

TOTALSPAN BUILDINGS
A Division of Spanbild New Zealand Ltd

112 Waterloo Road, Hornby,
P.O. Box 11-013, Christchurch
Ph: (09) 261 2306 FAX: (09) 262 1536

PREPARED BY: Mark Fairbrother, Totalspan Canterbury, 03 3440331

FOR: David & Dianne Jarrett

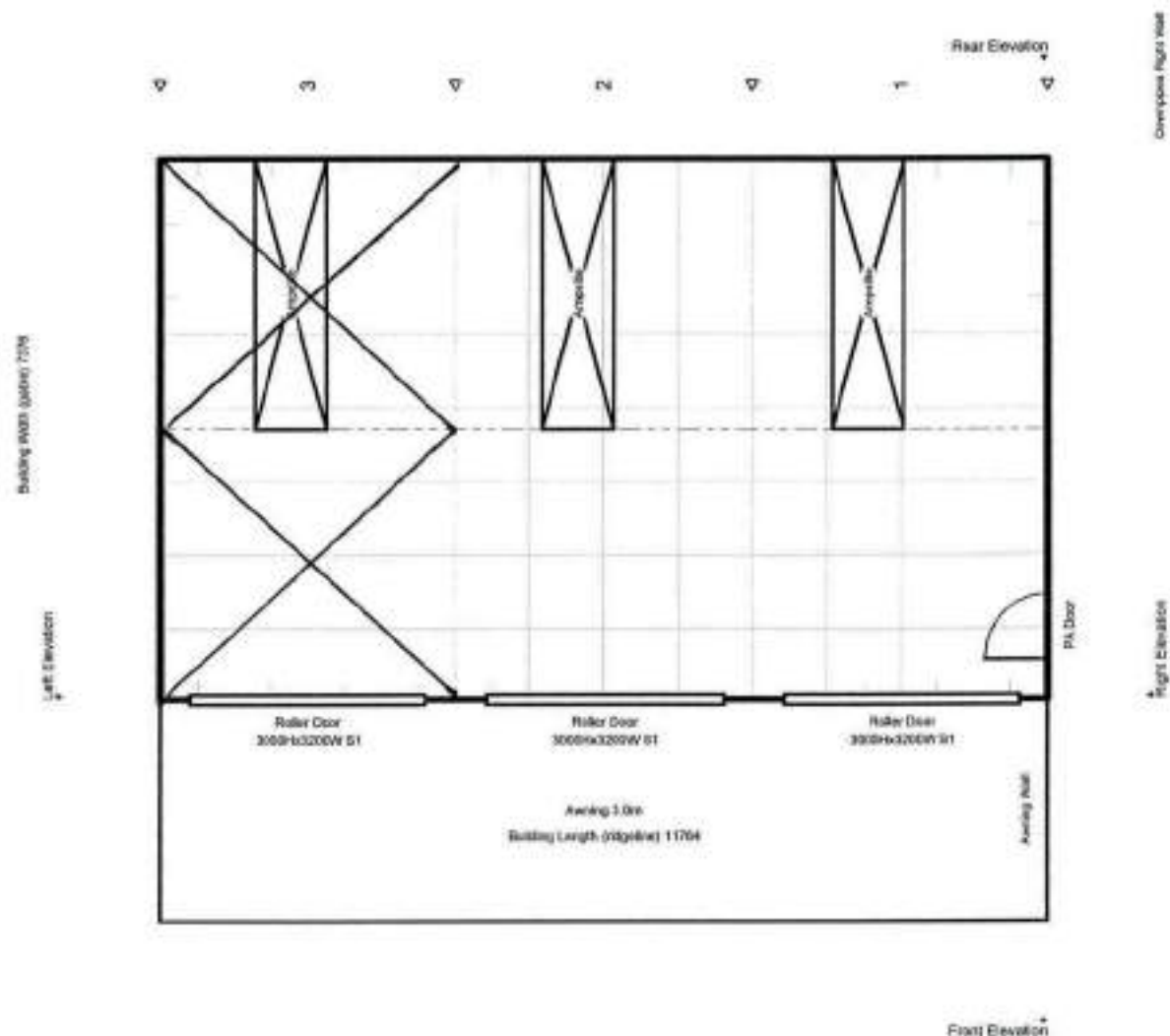
REFERENCE: Mark-054

SITE ADDRESS: 838 Waterholes Road
Templeton
ChCh

Scale 1 : 100

RIGHT ELEVATION

Sheet 4 of 7



090147
FILE COPY

TOTALSPAN BUILDINGS
A Division of Spanbild New Zealand Ltd

112 Waterloo Road, Hornby,
P.O. Box 11-013, Christchurch
PH: (09) 261 2306 FAX: (09) 262 1535

PREPARED BY: Mark Fairbrother, Totalspan Canterbury, 03 3440331

FOR: David & Dianne Jarrett

REFERENCE: Mark-864

SITE ADDRESS: 839 Waterholes Road
Templeton
ChCh

Scale 1 : 100

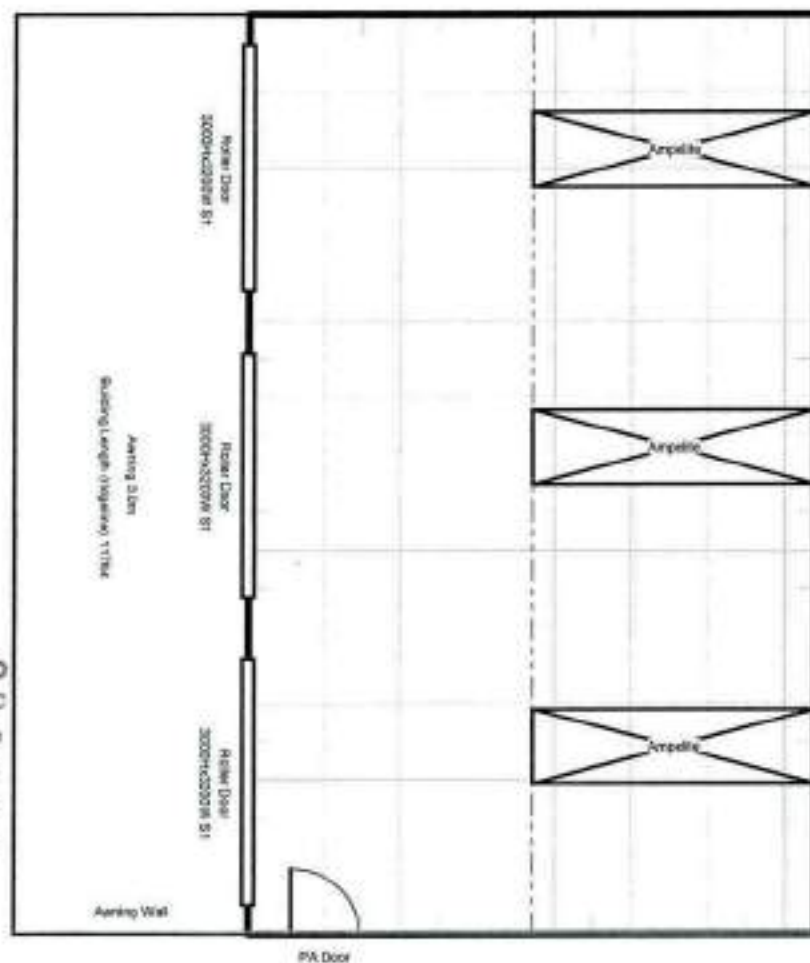
PLAN

Sheet 3 of 7

DIMENSIONS IN mm UNLESS OTHERWISE STATED
Building Width (gables) 7306

THIS IS A C.A.D. DRAWING AND MUST NOT BE ALTERED BY MANUAL METHODS

Left Elevation

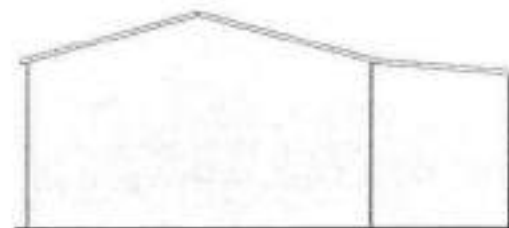


Right Elevation

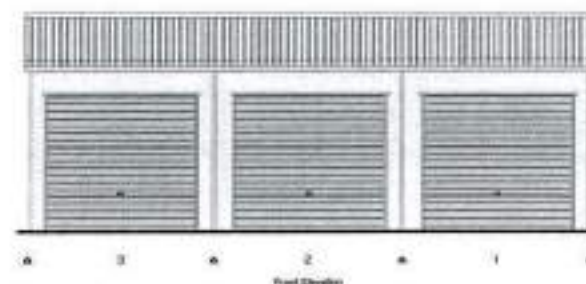
Downsides Right Wall



Right Elevation



Left Elevation



Front Elevation



Rear Elevation

FILE COPY

Front Elevation

090147

TOTALSPAN BUILDINGS
A Division of Spanbild New Zealand Ltd

112 Waterloo Road, Hornby,
P.O.Box 11-013, Christchurch
PH: (09) 261 2306 FAX: (09) 262 1635

PREPARED BY: Mark Fairbrother, Totalspan Canterbury, 03 3440331

FOR: David & Dianne Jarrett

REFERENCE: Mark-854

SITE ADDRESS: 839 Waterholes Road
Templeton
ChCh

N.T.S

PLAN & ELEVATIONS

Sheet 2 of 7

COPYRIGHT: THESE DRAWINGS MUST NOT BE REPRODUCED WITHOUT THE EXPRESS PERMISSION OF SPANBILD NEW ZEALAND LTD.

Client Name: Jarret

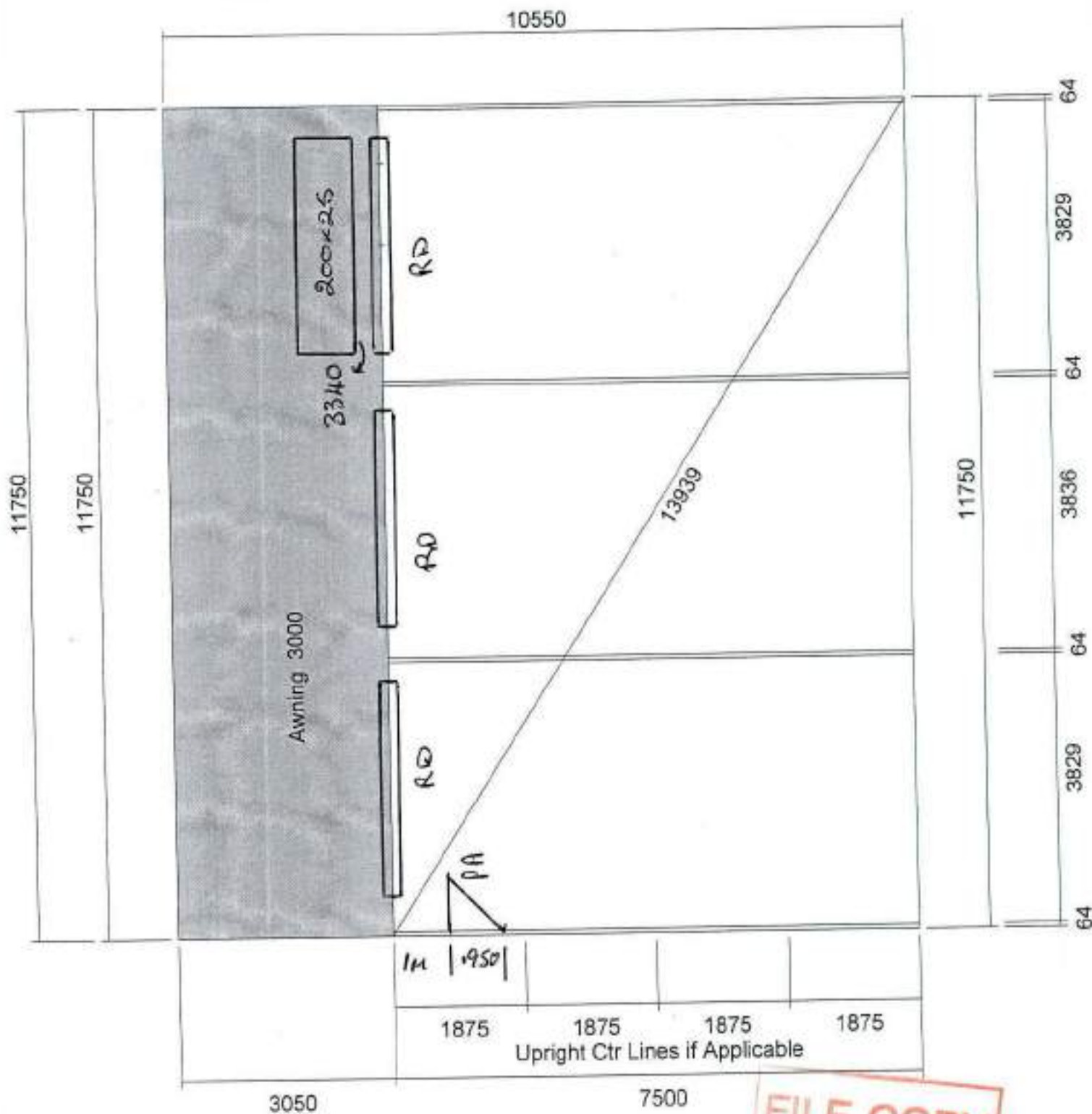
Job No:

Date:

Nominal Length: 12000

Nominal Span: 7500

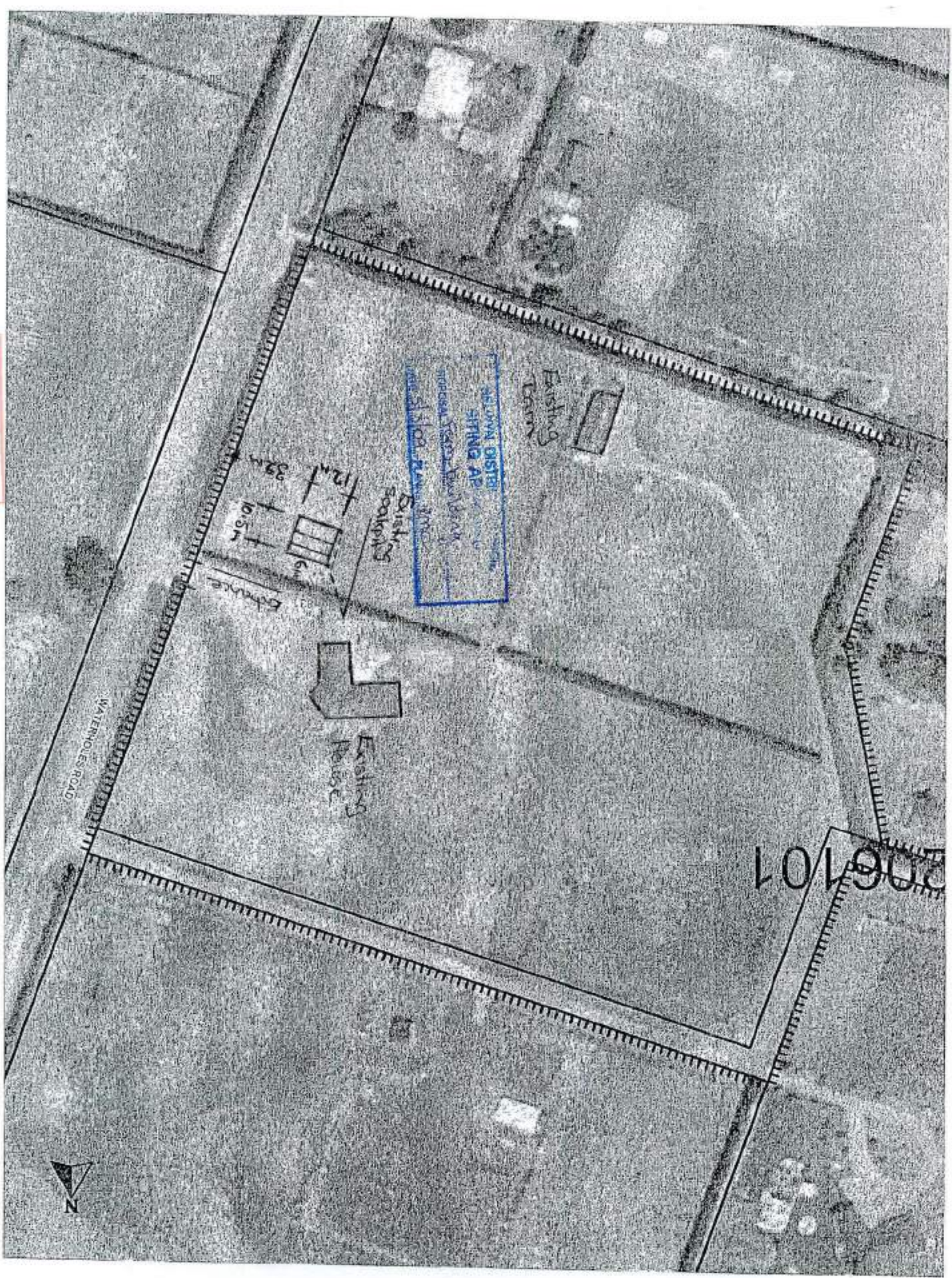
FILE COPY



FILE COPY

090147

839 Waterholes Road Templeton Lot 1



Proposed
New Farm Shed
12m x 10.5 x 3.6m
Lot 1
DP 50079
3.5656 Hectares
More or less.

FILE COPY

090147

PIM DOCUMENTS TO BE ATTACHED TO THIS PAGE.

PROJECT INFORMATION MEMORANDUM RECORD

LEGAL

DESCRIPTION: Lot 1 DP50049

VALUATION NO: 23522 - 061 - 01

CONSENT NO: 090144P.

PROPERTY

ADDRESS: Waterholes Road Templeton.

OWNER:

Jarratt.

PROJECT

DESCRIPTION: Farm Bldg.

AGENT:

Totalspan

BUILDING CONSENT AUTHORITY BC CIRCULATION SHEET

OWNER: JARRATT
 AGENT: totalspan

CONSENT NO: 090147

FORMALLY RECEIVED DATE	DEADLINE DATE	PLANNING REVIEW COMPLETE	BUILDING CONSENT ON HOLD FOR F.I.	BUILDING CONSENT OK TO ISSUE	BUILDING CONSENT DECLINED	AUDIT
<u>26/2/09</u>		<u>18/3/09</u>		<u>16/3/09</u>		<u>6/3/09</u>
	INITIAL & DATE OF DECISION	<u>mc5/3/09</u>		<u>GA/16/03/09</u>		<u>5</u>

TYPE OF WORK:
 INTENDED USE
 (if changed from PIM):

Farm Building

ALLOCATED TO: CE

ALLOCATED BY: VB CATEGORY: 1

AREA/ROOM:	LEVEL:	PURPOSE GROUP:	FHC:	OCCUPANT LOAD:	INFORMATION FROM:

PREVIEWED BY:	INITIAL & DATE
<u>[Signature]</u>	<u>24/2/09</u>
LOADED BY:	<u>27/2/09</u>
BC COPIED & COMPILED BY:	<u>TP 9.3.09</u>

ATTACHMENTS TO BE INCLUDED:	THIS PROJECT REQUIRES A COMPLIANCE SCHEDULE: YES / NO
AMENDMENT TO COMPLIANCE SCHEDULE FORM	EXISTING / NEW
CODE COMPLIANCE CERTIFICATE APPLICATION FORM	NO:
OTHER:	COMPLIANCE SCHEDULE SYSTEMS / FEATURES LIST:

COPY OF DOCUMENTS SENT TO OTHER AGENCIES FOR ASSESSMENT

AGENCY	PEER REVIEW OR ASSESSMENT OF:	DATE SENT:	DATE RECEIVED:	COSTS ADD TO CHARGE SHEET:
NZ FIRE SERVICE				
FOOD & HEALTH STANDARDS				
TRUSS DESIGN	TRUSS DESIGN ACKNOWLEDGEMENT			

CHECKSHEET, FURTHER INFORMATION & FILE NOTES TO BE ATTACHED TO THIS PAGE.

Farm Buildings and Sheds Processing Sheet BAM104

Property File Information Considered:					YES / NO
PIM Information Considered:					YES / NO
EQ: B		SNOW: 04kPa		WIND: 44m/s (H)	CORROSION: 1
					ALTITUDE: 40m
					BC No. 090147
Clause	Non Compliant	Compliant	N/A	Means of compliance	Comments
HB New Zealand Building Code Handbook	✓				
A1 Classified Use		✓			Outbuilding - Steel framed unlined non habitable farm building - 122.77m ²
B1 Structure		✓		VMI	As per Totalspan drawings and specifications
Foundations/Poles		✓			D16 bars
Slab		✓			100mm concrete slab with 62mesh
Framing/Poles		✓			80 x 40 x 0.75 BMT purlins
Stud cns/Girts		✓			80 x 40 x 0.75 BMT girts
Bracing		✓			See sheet - Bracing-walls & roof
Roof Framing/Rafters		✓			Steel framed - see drawings and specifications
Roof Bracing		✓		↓	See sheet - Bracing-walls & roof
Producer Statement		✓		VMI	Frederick Roland Smith Pst, checked TMS-012 - ok
B2 Durability		✓		As1	As per Totalspan Durability Statement
Generic materials		✓			
Timber Treatments			✓		
C1 Outbreak of Fire			✓		N/A
C2 Means of Escape			✓		N/A
Escape Path Lengths.(24m max)			✓		
C3 Spread of Fire			✓		N/A - over 1m from boundary and adjacent buildings
Distance off boundary (1m)			✓		
Building Height (10m Max)			✓		
C4 Structural...			✓		
D1 Access Routes			✓		
D2 Mechanical...			✓		
E1 Surface Water		✓		As1/VMI	As per Totalspan drawings and specifications
Minimum floor levels		✓			
Gutters		✓			
Down pipes		✓			2 x downpipes
Soak Pit or other		✓		VMI	Stormwater to soakholes
E2 External Moisture		✓		As1	As per Totalspan drawings and specifications
Floors		✓			
Weather tightness risk factors		✓			
Cladding Systems		✓			
Flashings		✓			
Roofing systems		✓			
E3 Internal Moisture			✓		N/A - unlined non habitable farm building

BC No. 090147					
Clause	Non Compliant	Compliant	N/A	Means of compliance	Comments
F1 Hazardous...			✓		
F2 Hazardous...			✓		
F3 Hazardous...			✓		
F4 Safety from...			✓		
F5 Construction			✓		
F6 Lighting...			✓		
F7 Warning Systems			✓		
F8 Signs			✓		
G1 Personal Hygiene			✓		N/A - no facilities
location			✓		
G2 Laundering			✓		
G3 Food Prep...			✓		
G4 Ventilation			✓		
G5 Interior Environment			✓		
G6 Airborne...			✓		N/A
G7 Natural Light			✓		N/A
Vertical window in external walls			✓		
G8 Artificial Light			✓		
G9 Electricity			✓		
G10 Piped Services			✓		
G11 Gas...			✓		
G12 Water Supply			✓		N/A - no facilities
Water supply system			✓		
G13 Foul Water			✓		N/A - no facilities
Sanitary Plumbing			✓		
Gully traps			✓		
Vent pipes			✓		
Bedding & backfill			✓		
Drains under buildings			✓		
G14 Industrial			✓		
G15 Solid Waste			✓		
H1 Energy Efficiency			✓		

Any additional comments should be recorded on the Additional Comments form (BAM 120), which complements the BAM 100 series of processing sheets. Sufficient detail must be given on the Additional Comments form to enable cross-reference between this processing sheet and the additional comments provided, including the date, building consent number and clause item referred to.

If extra pages are used to record additional comments, state the number of extra pages here: _____

☐ Ok to proceed with further information requested

signed: _____

☒ Ok to proceed with issuing building consent

signed: G. J. 11/6 06/02/09



(BAM 002)

FOR OFFICE USE ONLY

Project No:

090147

Date Received:

090226028

**Project Information Memorandum and/or
Building Consent Application**

(Only complete items that are applicable to your project)

APPLICATION

I request that you issue a:

(please tick one)

Project Information Memorandum only (PIM)

Building Consent only (for existing PIM) No:

(attach copy)

☒ Building Consent (including Project Information Memorandum)**THE BUILDING**

Street Address (or Rapid No if applicable):

839 Waterholes Rd Templeton Lot 1

Building Name (if applicable):

Farm Shed

Legal Description: Lot:

1

DP: 50049

Valuation Roll Number:

Number of Levels:

Single

Level/Unit No:

—

Total Floor Area: (all floors included) 122.77/m²

Existing:

m²

Add:

m²

Current lawfully established use:

NA

Approx year building first constructed:

New

Is a Swimming or Spa Pool on this Site or associated with this Project?

Yes

☒ No**THE PROJECT**

Description of building work:

(eg dwelling, commercial, farm shed, garage etc)

Farm Shed (Steel)

Will the building work result in a change of use of the building?

Yes

☒ No

(Refer to Building (Specified Systems, Change of Use, and Earthquake-prone Buildings) Regulations 2005 if in doubt)

If "Yes", provide details of the new intended use:

Intended life of the building:

Indefinite but not less than 50 years

☒

or specified as

years

List Building Consents previously issued for this building (if any): (ie is this project being constructed in stages? Is this consent for a relocated or transportable building?)

Nil

Estimated Value (inc GST) (ie the estimated aggregate of the values of all goods and services): \$ 40,000

THE OWNER

Owner's Name:

David & Dianne Jarratt

Contact Person:

(if owner is not an individual)

David

Mailing/Billing Address:

839 Waterholes Rd Templeton

Street Address/Registered Office:

E-mail Address:

Phone Day: 3480733

Phone A/Hours:

Fax:

Cellphone:

THE AGENT

Note - The Agent will be the first point of contact for communications with the Council/Building Consent Authority regarding this application/building work and will receive all correspondence including all invoices.

Agent's Name:

Totalspen

Contact Person:

(if Agent is not an individual)

Mark Fairbrother

Mailing/Billing Address:

PO Box 16555 Hornby

Street Address/Registered Office:

738 Main St Rd Templeton

E-mail Address:

m.fairbrother@totalspen.co.nz

Phone Day: 3440331

Phone A/Hours:

Fax: 3441332

Cellphone: 0272938126

Project Information Memorandum and/or Building Consent Application

FILE COPY
090147

FORM BAM 002-v1.0.2

Page 1 of 4

REQUIRED ATTACHMENTS

Evidence of ownership attached to this application:



Certificate of Title



Sale and Purchase Agreement

Complete and attach **ONE** of the following checklists, and provide **ALL** of the information and plans requested on that checklist:

Form BAM 002-R Residential work



Form BAM 002-I Commercial/Industrial work

Application Fee (Deposit)

Application Fee of \$ 400.00

(refer to customer guide for appropriate fees)

KEY PERSONNELName of Designer: Totol Span

Registration Number:

Mailing Address: PO Box 16555 HornbyE-mail Address: mfaibrother@totolspan.co.nzPhone Day: 344 0331

Name of Engineer:

Registration Number:

Mailing Address:

E-mail Address:

Phone Day:

Name of Builder:

Registration Number:

Mailing Address:

E-mail Address:

Phone Day:

Name of Craftsman Plumber:

Registration Number:

Mailing Address:

E-mail Address:

Phone Day:

Name of Registered Drainlayer:

Registration Number:

Mailing Address:

E-mail Address:

Phone Day:

Name of Craftsman Gasfitter:

Registration Number:

Mailing Address:

E-mail Address:

Phone Day:

NOTES BY APPLICANT (Other notes or comments which you as the applicant may wish to add)**SIGNATURE**

Signed by or for and on behalf of the Owner:



Owner



Agent

Date:

25-2-09**Note:** If acting "for and on behalf", please read the following declaration before signing: "I hereby declare that I am authorised to act as Agent of the Owner".



Residential PIM / Building Consent
Application Checklist (BAM 002-R)
(In conjunction with Building Consent Application Form)

PROJECT NO:

DATE RECEIVED:

26/2/08

Project address: 839 Waterholes Road

NB The following is required on application in sufficient detail to show compliance with all aspects of the District Plan and the New Zealand Building Code. Please complete this Checklist in FULL. Additional information may be requested during processing of the application.

Supplied
N/A
Council

PIM

Application form COMPLETED & signed including Building Code Assessment	✓	✓	✓
Application fee:- \$200.00 for PIM Only / \$400.00 for Combined PIM and Building Consent (GST incl.)	✓	✓	✓
Certificate of Title: Recent search copy less than 6 months old, plus a sale & purchase agreement if not in the applicant's name. A subdivision scheme plan is required for a new site where Title is not yet available.	✓	✓	✓ CT
Site Plan - showing:			
- All new & existing buildings, swimming pools	✓	✓	✓
- Any heritage buildings / trees or archaeological site information known	✓	✓	NA
- Legal & notional boundaries (existing & proposed), easements, waterways, shared access ways / other areas with building setbacks dimensioned	✓	✓	✓
- Building & site areas (including floor areas (m ²) for all floors)	✓	✓	✓
- Vehicle access, crossing location, manoeuvre, and parking area	✓	✓	✓
- Street trees, poles, sumps, manholes, traffic islands outside the property	✓	✓	NA
- Any hard-standing (sealed or concrete) areas with proposed drainage	✓	✓	✓
- Landscaped areas required by District Plan indicated	✓	✓	✓
- Any significant trees on the site	✓	✓	✓
- All activities on a site indicated	✓	✓	✓
- Proposed & existing site & floor levels	✓	✓	✓
- Existing & proposed contours, drive gradients and building heights (for hill or sloping sites)	✓	✓	✓
- Intentions for the disposal of stormwater & sewer	✓	✓	✓
- Storage location and capacity of Hazardous Substances (ie LPG, diesel, home heating oil etc)	✓	✓	NA
Outline Floor plans (for all floors)	✓	✓	✓
Outline Elevations	✓	✓	✓
Outline Cross Sections - (if required to show recession plane / daylight plane & height compliance)	✓	✓	✓

STOP HERE IF THIS IS A PIM ONLY APPLICATION

BUILDING CONSENT (in addition to the above)

Project Information Memorandum (if already issued) plus all attached forms	✓	✓	✓
Foundation Plans (timber or concrete slab) including all details	✓	✓	✓
Drainage Plans - full design details including both Sewer & Stormwater and any disposal methods	✓	✓	✓
Detailed Floor Plans - fully dimensioned and notated, including location of Smoke Alarms	✓	✓	✓
Detailed Elevations - including door & windows showing opening sashes	✓	✓	✓
Cross Sections - to show all relevant construction, especially through difficult areas of the building and changes in building form	✓	✓	✓
Timber Treatment - the species, grading & treatment of all timber specific to the project is to be specified on the drawings, ideally on the cross section Steel	✓	✓	NA
Insulation - R-values on drawings, method of compliance identified (Schedule / Calculation / Modeling)	✓	✓	NA
Electrical Plan - showing all lighting and electrical outlets including fitting types	✓	✓	NA
Framing Details - including floor joist layout plans if applicable	✓	✓	✓
Construction Details - with all materials, fixings etc noted	✓	✓	✓
Weather-tightness Details - including a risk assessment matrix for all walls & all flashings	✓	✓	✓
Internal Waterproofing Details - including all wet areas & surface finishes	✓	✓	NA
Plumbing Details - including layout plan / schematic & water supply details	✓	✓	NA
Specifications - relevant to the project	✓	✓	✓
Heating Appliance - installation details including clearances, flue installation and flashings for Solid Fuel and Liquid Fuel Appliances	✓	✓	NA
Bracing Design - calculations, schedule and layout plans	✓	✓	✓
Roof Truss Design - including layout plan, fixings and specific design for lintels where required	✓	✓	✓
Ground Conditions report - this will be either a report to show why it is assumed that the ground is "good ground" using Section 3 of NZS 3604:1999, or a specific ground assessment & foundation design by a suitably qualified & experienced engineer	✓	✓	NA
Engineers Details, Producer Statement & Design Calculations - where any specific design has been carried out (e.g. steel beams)	✓	✓	✓
Approvals from Other Authorities - Approvals for discharges to land, air, or water from Ecan, or the like.	✓	✓	NA

For BCA Use Only:-

This application is accepted / declined as all relevant information has / has not been supplied - signed:-

PIM / Building Consent Residential Checklist

FORM BAM 002-R-v1.0.3

Page 1 of 1

Building Consent**090147****Section 51, Building Act 2004**

Street address of building:	831 WATERHOLES ROAD, TEMPLETON
Legal description:	LOT 1 DP 50079 WITH AN UNDIVIDED 1/6 SH IN LOT 5 DP 81942
Valuation number:	2352206101
Rapid number:	
Building name:	
Building location on site:	
Level/unit number:	

Name of Owner:	D J & D M JARRATT
----------------	-------------------

Applicant/Agent:	TOTALSPAN BUILDINGS
Contact person:	MARK FAIRBROTHER
Mailing address:	PO BOX 16555, HORNBY, CHRISTCHURCH 8441
Street address/registered office:	
Phone number:	
Landline:	0272938126
Mobile:	
Daytime:	
After hours:	
Facsimile number:	3441332
Email address:	mfairbrother@totalspan.co.nz
Website:	

The following building work is authorised by this building consent:

Description:	FARM BUILDING
Intended Use:	Steel Framed Farm Building, unlined and non habitable – 122.77sqm
Estimated Value:	\$40,000

Building Consent

This building consent is granted under Section 51 of the Building Act 2004. This building consent does not relieve the owner of the building (or proposed building) of any duty or responsibility under any other Act relating to or affecting the building (or proposed building).

This building consent also does not permit the construction, alteration, demolition, or removal of the building (or proposed building) if that construction, alteration, demolition, or removal would be in breach of any other Act.

This Building consent is invalid unless work has commenced within 12 months from the date of granting.

The Code Compliance Certificate must be applied for within 24 months of the date of granting.

Note:- Where conflict may occur between plan/specification information and/or any other specific instruction in application documentation, the applicant and/or designer is to note that the Schedule confirming the method of compliance with the NZ Building Code **will always be the prime default control for Council.**

Any amendment to this Approved Building Consent will require approval prior to the work being carried out. This will require an Amended Building Consent application to be made.

Booking Inspections

1. The Building Consent Authority, is to be advised that the work is ready for inspection at least 1 clear working day before that inspection is required. Please note this may not guarantee an inspection at the desired time if an inspector is not available at that time.
2. All inspections are to be booked by phoning 03 347 2848 between the hours of 8:30am and 5:00pm.
3. The complete set of Approved Building Consent documents (including stamped plans and specifications) **MUST** be available on site for the Officer carrying out the inspection. No inspection will be undertaken if the approved documentation is not available.

This building consent is granted subject to the conditions specified below.
Selwyn District Council Building Consent Authority Officers will carry out the following inspections:

☐ **Inspection 1**

Excavation for foundations including ground bearing capacity.

Foundation reinforcing, floor slab and plate fixings before concrete is poured.

☐ **Inspection 2** NOTE:- All drainage work must be inspected prior to backfilling and a fully dimensioned 'as-built' drainage plan for Council records must be available when the Inspector visits the site.

Final Inspection including:-

Structural framing and fixings.

Spouting including rain water heads, overflows and downpipes.

Stormwater disposal to soakholes.

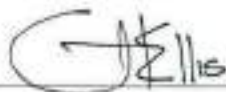
When the final inspection has been carried out and all building work approved, the Code Compliance Certificate can be applied for (The Code Compliance Certificate is invoiced separately with any additional costs if applicable).

Compliance schedule

A compliance schedule is not required for this project.

Attachments

Code Compliance Certificate Application Form.



Signature

18 MAR 2009

Date of Granting

Selwyn District Council Building Consent Authority Signatory

Position

On behalf of: Selwyn District Council

Issue Date: 6/03/09

TOTALSPAN BUILDINGS
 PO BOX 16555
 HORNBY
 CHRISTCHURCH 8441
 Attn: MARK FAIRBROTHER

 GST Number: 53-113-451
 Invoice Date: 6/03/09
 Customer No: BC090147

Tax Invoice 70945

Quantity	Description	Rate	Amount
	090147 : 831 WATERHOLES ROAD, TEMPLETON FARM BUILDING Owner: D J & D M JARRATT		
	ADMINISTRATION/PROCESSING/ISSUE FEE		201.80 *
	PLANNING		12.00 *
	BUILDING RESEARCH LEVY		40.00 0G *
	CONSULTANTS FEES - OTHER		10.00 *
	DBH LEVY		78.80 *
	INSPECTIONS (INCL. TRAVEL)		217.60 *
	PRODUCER STMT ASSESSMENT		15.00 *
	BEFORE GST		515.73
	(* Includes GST) GST		59.47
	Cash Received		200.00CR

Total incl. GST \$375.20

Once we have received the balance of the fees owing on this
 consent, it may then be uplifted or mailed as requested.
 Building consent is not valid until fees are paid in full.

(Please detach and return this portion with your payment)

REMITTANCE ADVICE

 TOTALSPAN BUILDINGS
 PO BOX 16555
 HORNBY
 CHRISTCHURCH 8441

 Customer No.: BC090147
 Invoice No.: 70945
 Total Due: \$375.20

Amount Enclosed:

Payment can be made by internet banking to the following account: 03 1587 0050000 00.

Please enter your invoice number in the particulars field, and your customer number in the code field.

BUILDING CODE ASSESSMENT

Building Code Clause		Means of Compliance (note that a project may include both Acceptable and Alternative solutions)		
		Acceptable Solution	Alternative Solution (details verifying compliance are required)	Waiver/Modification required? (Provide separate details for justification of acceptance if yes)
B1	Structure	B1/AS 2/AM		
B2	Durability	B2/AS 1		
C1	Outbreak of fire			
C2	Means of escape			
C3	Spread of fire			
C4	Structural stability during fire			
D1	Access Routes			
D2	Mechanical installations for access			
E1	Surface water	E1/AS 1/AM		
E2	External moisture	E2/AS 1		
E3	Internal moisture			
F1	Hazardous agents on site			
F2	Hazardous building materials			
F3	Hazardous substances and processes			
F4	Safety from falling			
F5	Construction and demolition hazards			
F6	Lighting for emergency			
F7	Warning systems			
F8	Signs			
G1	Personal hygiene			
G2	Laundrying			
G3	Food prep. and prevention of contamination			
G4	Ventilation			
G5	Interior environment			
G6	Airborne and impact sound			
G7	Natural light			
G8	Artificial light			
G9	Electricity			
G10	Piped services			
G11	Gas as an energy source			
G12	Water supplies			
G13	Foul water			
G14	Industrial liquid waste			
G15	Solid waste			
H1	Energy efficiency provisions			

090147

FILE COPY

COMPLIANCE SCHEDULE LIST

Are there any Specified Systems associated with this project? Please tick below:		Existing	New / Modified	Removed	Do the systems use the Performance Standards plus Inspection, maintenance & reporting procedures from the Building Code Handbook	If no, Performance Standards plus inspection, maintenance & reporting procedures identified in building consent documents
YES	NO	Yes				No
SS1	Automatic systems for fire suppression (for example, sprinkler systems)					
SS2	Automatic or manual emergency warning systems for fire or other dangers (other than a warning system for fire that is entirely within a household unit & serves only that unit).					
SS3/1	Electromagnetic or automatic doors or windows (for example, ones that close on fire alarm activation)					
SS3/2	Access Controlled Doors					
SS3/3	Interfaced fire or smoke doors or windows					
SS4	Emergency lighting systems					
SS5	Escape route pressurisation systems					
SS6	Riser mains for fire service use					
SS7	Automatic back-flow preventers connected to a potable water supply					
SS8	Lifts, escalators, travelators, or other systems for moving people or goods within buildings					
SS8/1	Passenger Carrying lifts					
SS8/2	Service Lifts					
SS8/3	Escalators and moving walks					
SS9	Mechanical ventilation or air conditioning systems					
SS10	Building maintenance units for providing access to the exterior and interior walls of buildings					
SS11	Laboratory fume cupboards					
SS12	Audio loops or other assistive listening systems					
SS13	Smoke control systems					
SS13/1	Mechanical Smoke Control					
SS13/2	Natural Smoke Control					
SS13/3	Smoke Curtains					
SS14	Emergency power systems for, or signs relating to, a system or feature specified in any of the clauses 1 to 13					
SS14/1	Emergency Power Systems					
SS14/2	Signs relating to Specified Systems 1 to 13					
SS15	Other Fire Safety Systems or Features					
SS15/1	• Systems for communicating spoken information intended to facilitate evacuation					
SS15/2	• Final exit (as defined by A2 of the Building Code); and					
SS15/3	• Fire separations;					
SS15/4	• Signs for communicating information intended to facilitate evacuation;					
SS15/5	• Smoke separations					
SS16	• Cable Cars					
PURPOSE GROUP		FIRE HAZARD CATEGORY		MAX OCCUPANT LOAD		
		090147				

FILE COPY



COMPUTER FREEHOLD REGISTER UNDER LAND TRANSFER ACT 1952



R. W. Muir
Registrar-General
of Land

Search Copy

Identifier CB47B/509
Land Registration District Canterbury
Date Issued 09 February 2000

Prior References

CB30A/1166	CB30A/1167	CB30A/1168
CB30A/1169	CB30A/1170	CB30A/1171
CB30A/1172	CB30A/1173	CB30A/1174
CB30A/1175	CB30A/1176	

Estate Fee Simple
Area 3.5656 hectares more or less
Legal Description Lot 1 Deposited Plan 50079

Proprietors

David John Jarratt and Dianne Michelle Jarratt

Estate Fee Simple - 1/6 share
Area 6859 square metres more or less
Legal Description Lot 5 Deposited Plan 81942

Proprietors

David John Jarratt and Dianne Michelle Jarratt

Interests

Subject to Sections 241 (2) & 242 (1) and (2) Resource Management Act 1991 by The Selwyn District Council (affects DP 81942)

Subject to Section 206 Land Act 1924 (affects the part formerly contained in CT CB27A/445)

A445158.16 Easement Certificate specifying the following easements - 9.2.2000 at 11.40 am

Type	Servient Tenement	Easement Area	Dominant Tenement	Statutory Restriction
Convey water	Lot 7 Deposited Plan 50079 - CT CB47B/505	K DP 81942	Lot 1 Deposited Plan 50079 - herein	
Convey water	Lot 6 Deposited Plan 50079 - CT CB47B/514	L DP 81942	Lot 1 Deposited Plan 50079 - herein	
Convey water	Lot 5 Deposited Plan 50079 - CT CB47B/513	M DP 81942	Lot 1 Deposited Plan 50079 - herein	
Convey water	Lot 4 Deposited Plan 50079 - CT CB47B/512	N DP 81942	Lot 1 Deposited Plan 50079 - herein	
Convey water	Lot 3 Deposited Plan 50079 - CT CB47B/511	O DP 81942	Lot 1 Deposited Plan 50079 - herein	
Convey water	Lot 2 Deposited Plan 50079 - CT CB47B/510	P DP 81942	Lot 1 Deposited Plan 50079 - herein	

Land Covenant in Transfer 5024586.1 - 16.2.2001 at 11:51 am

090147
FILE COPY

[illegible][illegible]

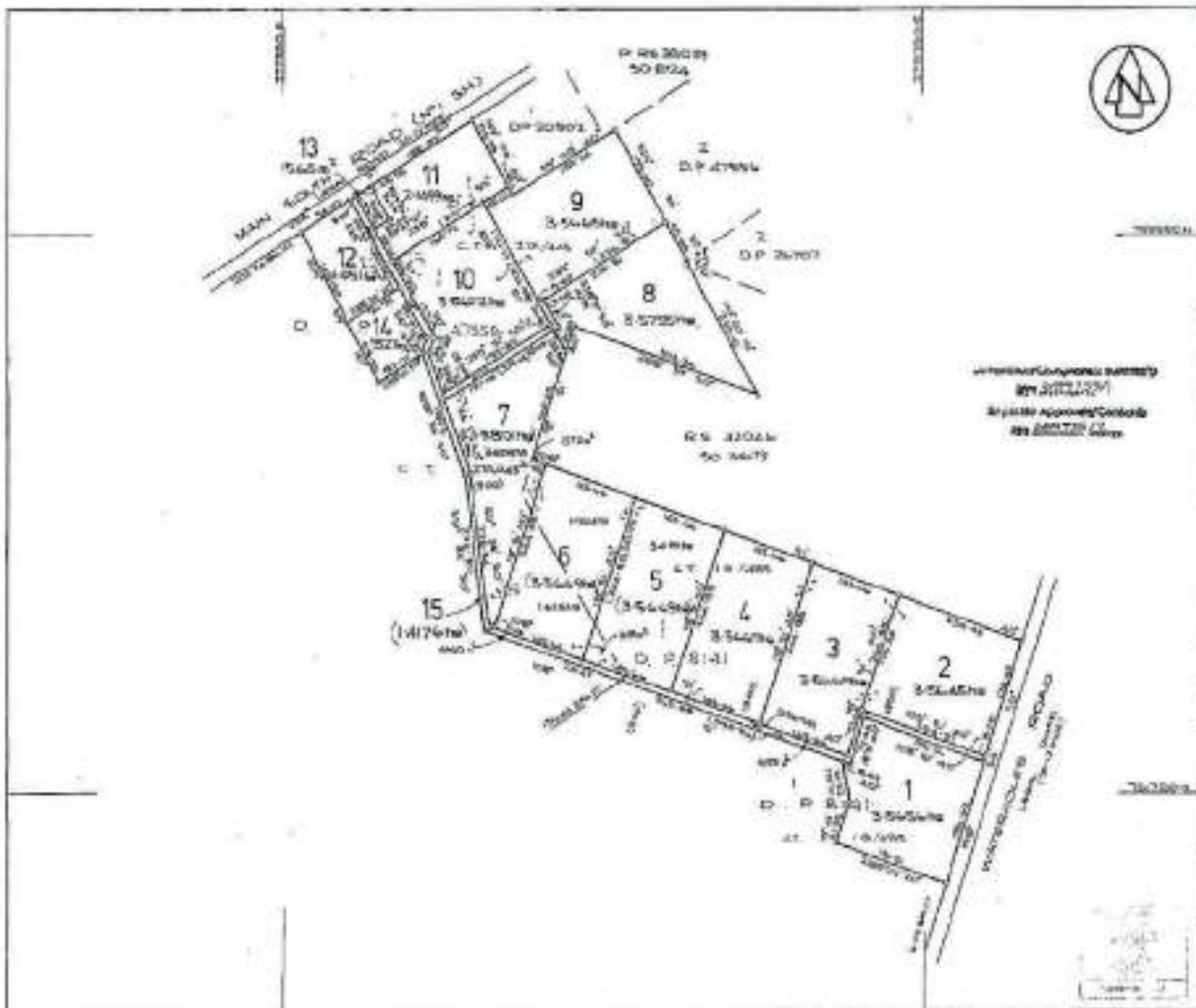
Total Area: 44,779 Acres
Unimproved 30,727 Acres, 68.6%

LARRY GORDON *Journalist, St. Louis*
 "My father was not able to do his own printing anymore for very long in a traditional newspaper business in the weeks in October 2003 of the Iraqis that 2003 inside Iraq they did not do any more than I could control in me to stop my activities, but that was not money or money and have been made a procedure with the Iraqi Revolution. 2003."

State of South Carolina, No. 075, do
 of April 1986 between State of South Carolina
 and State of South Carolina
 For and to the effect of the same
 Witness my hand and seal of said State, at Columbia, this 19th day of April, 1986.
 Governor James B. Edwards
 Secretary of State James B. Edwards
 Notary Public James B. Edwards
 State of South Carolina
 County of South Carolina

Approved as to Service *J. R. Roush*
10/10/86 Deputy Chief Sergeant
 Decanted this *5* day of *Nov* 1986
[Signature]
 Chief of Police

1A Serial 7-12-56 Initials	0950076
----------------------------------	---------



LAND DISTRICT _____ CANTONMENT _____
SURVEY BLK. & DWT. XVI. ROLLSTON _____
RANGE 261 SBT. N. 34. - 10000 / 3.1 4.1

LOT 1 - 15: REINA SUBDIVISION, CP
LOT 1: SUP @ 10' x LOT 1: 10' x 15' x 15'

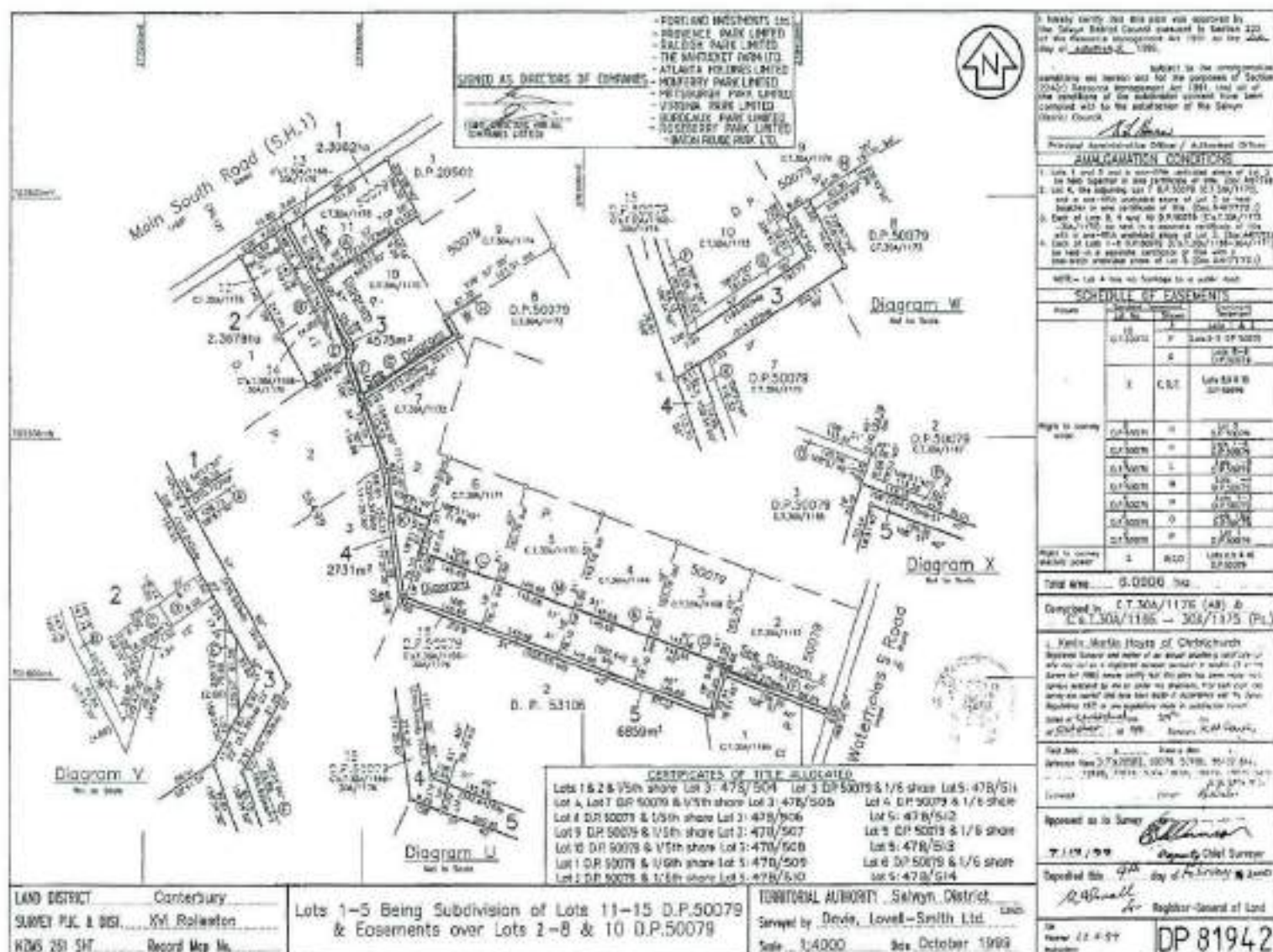
TERRITORIAL AUTHORITY: MARICOPA COUNTY
 Surveyed by: *M. J. West Associates, Inc.* a *subsidiary*
 Scale: 1:4000 Date: *JULY 1985*

© 2004 Blackwell Publishing Ltd, *Journal of Internal Medicine* 255: 105–112

© 2004 Blackwell Publishing Ltd *Journal of Internal Medicine* 255: 105–112

FILE COPY

090147





SEDIMENT CONTROL MANAGEMENT PLAN.

WE PROPOSE TO MANAGE EROSION ON SITE IN THE FOLLOWING WAYS.

IF EXCAVATION IS NECESSARY, ONLY THE AREA OF THE BUILDING WILL BE EXCAVATED, LEAVING THE BALANCE OF THE SITE COVERED IN HEALTHY VEGETATION, OR UNDISTURBED GROUND.

OUR BUILDINGS ARE BUILT RELATIVELY QUICKLY, SO THE SITE IS KEEP TIDY AND RUBBISH FREE.

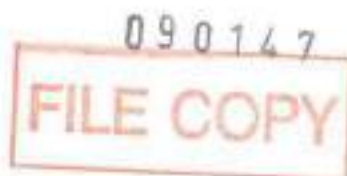
OUR COMPANY HAS INSTRUCTED, OUR CONCRETE SUPPLIER TO CLEAN ALL TRUCKS ON SITE, AND THE CONTAMINATED WATER CONTAINED WITHIN A BUNDED AREA.

GUTTERS AND DOWNPIPES ARE CONNECTED PRIOR TO OUR ROOFS GOING ON, REDUCING THE POSSIBILITY OF ON SITE FLOODING .

YOURS FAITHFULLY,

A handwritten signature in black ink, appearing to read "Mark Fairbrother".

MARK FAIRBROTHER
BUILDING CONSULTANT
TOTALSPAN BUILDINGS.





PO Box 16 555
CHRISTCHURCH

DATE: 24/2/09

TO WHOM IT MAY CONCERN

RE: PROPOSED TOTALSPAN BUILDING

SITE ADDRESS: 839 Waterholes Rd Templeton Lot 1

This letter serves to authorize MARK FAIRBROTHER FROM TOTALSPAN
CHRISTCHURCH to act as our my agent with all dealings with the Selwyn
District Council.

Thanking you

Yours faithfully

Signature:

090147

FILE COPY

Date Drawn: 22/01/2009
Main Building Length: 11784mm
Main Building Width: 7378mm
Main Building Area: 86.771m²

Awning Length: 12000mm
Awning Width: 3000mm
Awning Area: 36.000m²

Total Building Length: 11784mm
Total Building Width: 10378mm
Total Building Area: 122.771m²

Stud Height: 3600
Wind Rating: High (A6-A7)
Bay Size: 4000
Cladding: 7 Rib Cladding Colour: TBC
Foundation: Concrete Slab & Footings

Notes:

The design has been checked in accordance with B1/VM1 and B1/VM4 of the approved documents issued by the Building Industry Authority and the work is described on drawings prepared by Frederick R Smith Consulting Engineer.

Durability requirements for wall cladding detailed in Manufacturers Statement-Durability.

This specification is to be read in conjunction with the attached Totalspan Specification drawings and Producer Statement by Frederick R Smith, Registered Consulting Engineer.

Construction to comply with the New Zealand Building Code.

FILE COPY

09 0 1 4 7

TOTALSPAN BUILDINGS
A Division of Spanbild New Zealand Ltd

112 Waterloo Road, Hornby,
P.O.Box 11-013, Christchurch
PH: (09) 261 2306 FAX: (09) 262 1536

PREPARED BY: Mark Fairbrother, Totalspan Canterbury, 03 3440331

FOR: David & Dianne Jarrett

REFERENCE: Mark-864

SITE ADDRESS: 838 Waterholes Road
Templeton
ChCh

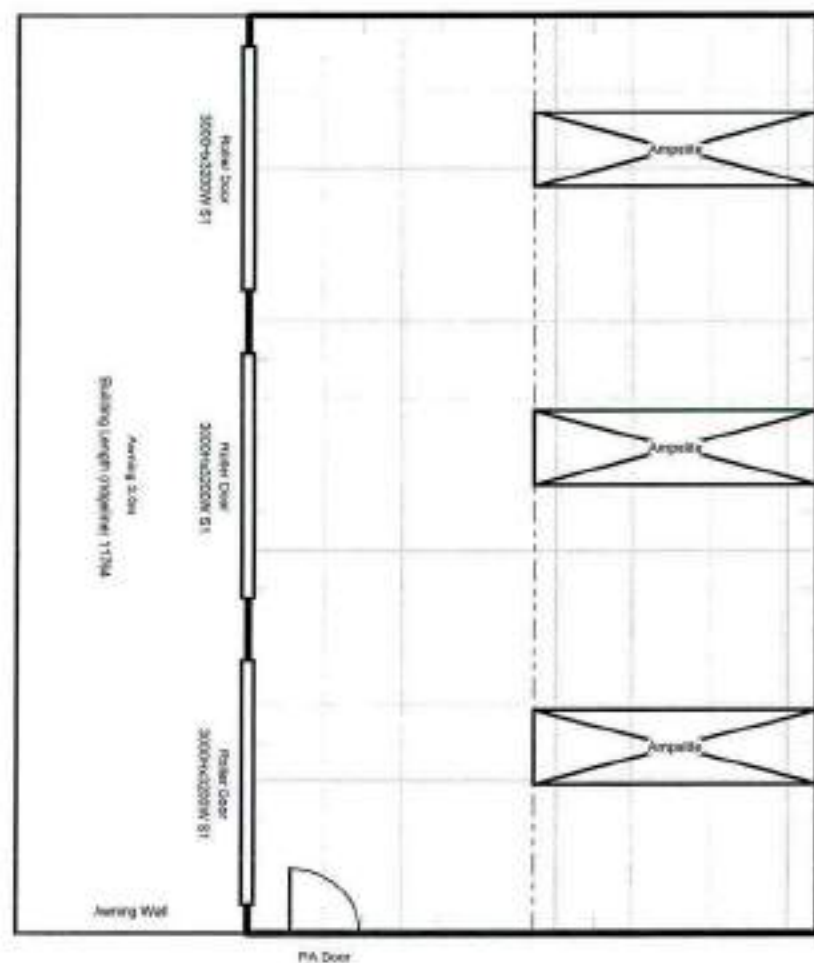
SPECIFICATIONS

Sheet 1 of 7

DIMENSIONS IN mm UNLESS OTHERWISE STATED
Building Width (galle) 7326

THIS IS A C.A.D. DRAWING AND MUST NOT BE ALTERED BY MANUAL METHODS

Left Elevation



Right Elevation

Downpipes Right Wall

4

3

4

2

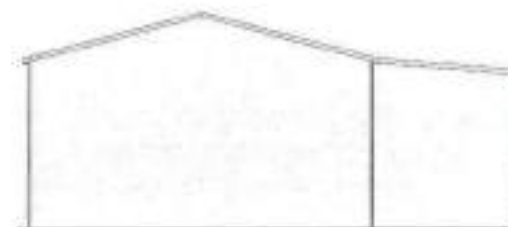
4

1

Right Elevation



Right Elevation



Left Elevation



Front Elevation



Rear Elevation

TOTALSPAN BUILDINGS
A Division of Spansid New Zealand Ltd

112 Waterloo Road, Hornby,
P.O.Box 11-013, Christchurch
PH: (09) 261 2305 FAX: (09) 262 1535

PREPARED BY: Mark Fairbrother, Totalspan Canterbury, 03 3440331

FOR: David & Dianne Jarrett

REFERENCE: Mark-854

SITE ADDRESS: 839 Waterholes Road
Templeton
ChCh

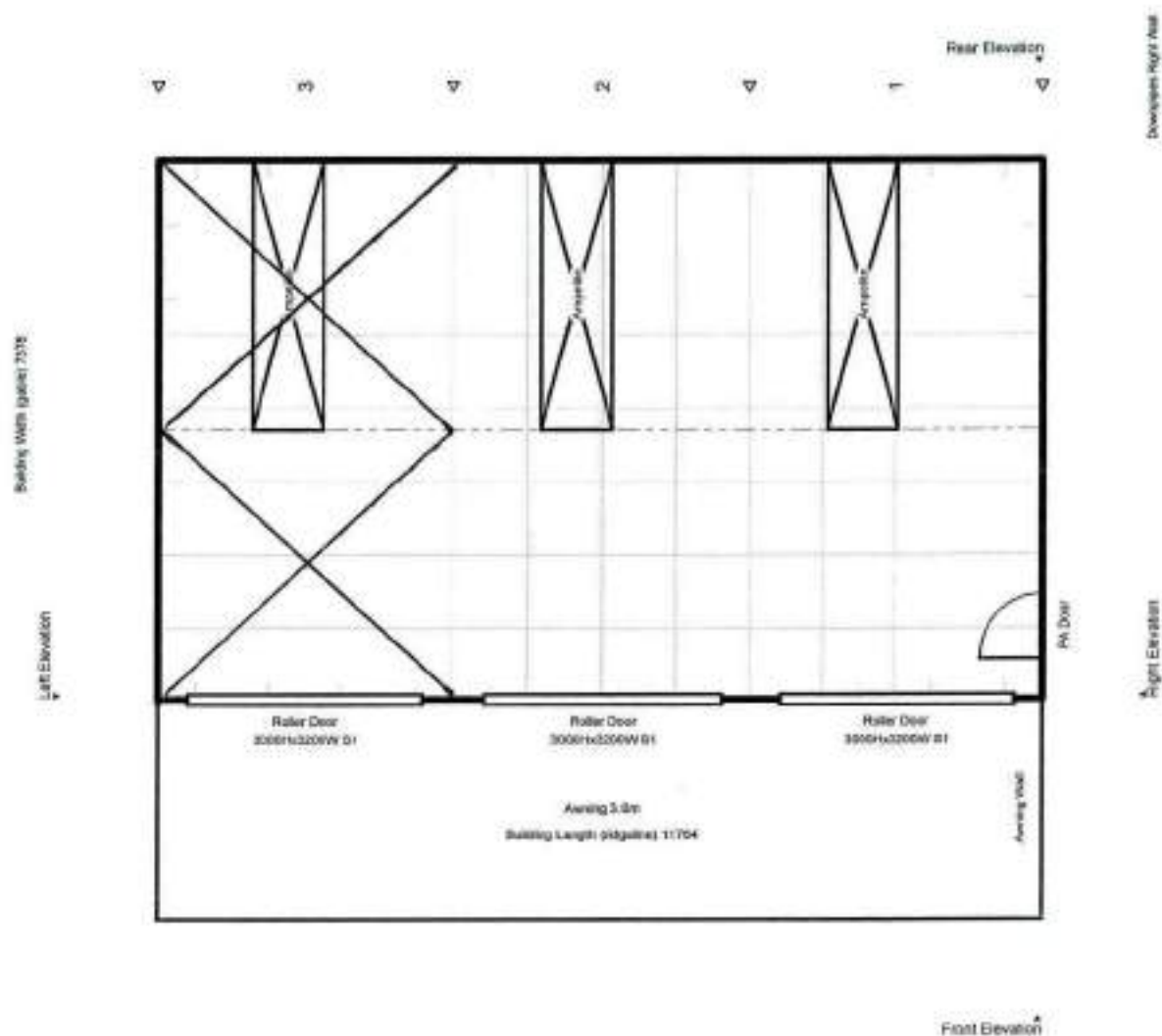
N.T.5

PLAN & ELEVATIONS

Sheet 2 of 7

CONSENT: THESE DRAWINGS MUST NOT BE REPRODUCED WITHOUT THE EXPRESS PERMISSION OF SPANSID NEW ZEALAND LTD.

FILE COPY 090147



FILE COPY

090147

TOTALSPAN BUILDINGS
A Division of Scanbild New Zealand Ltd

A Division of Spacelab New Zealand Ltd

112 Waterloo Road, Hornby,
P.O. Box 11-013, Christchurch
PH: (09) 361 2306 FAX: (09) 362 1635

PREPARED BY: Mark Fairbrother, Totalspan Canterbury, 03 3440331

FOR: David & Dianne Jarrett

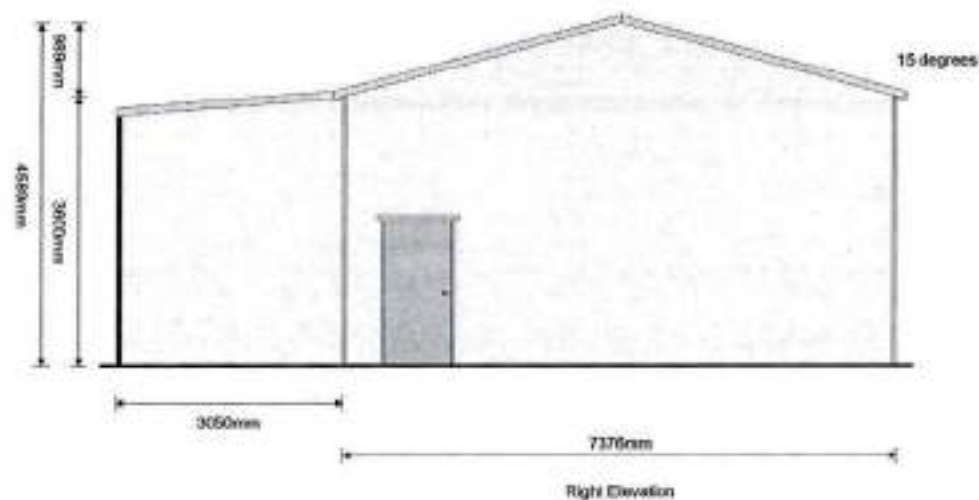
REFERENCE: Mark-804

SITE ADDRESS: 839 Waterholes Road
Templeton
ChCh

Scale 1 : 100

PLAN

Sheet 3 of 7



Right Elevation

FILE COPY

090147

TOTALSPAN BUILDINGS
A Division of Spanbild New Zealand Ltd

112 Waterloo Road, Hornby,
P.O. Box 11-013, Christchurch
PH: (09) 261 2306 FAX: (09) 262 1535

PREPARED BY: Mark Fairbrother, Totalspan Canterbury, 03 3440331

FOR: David & Dianne Jarrett

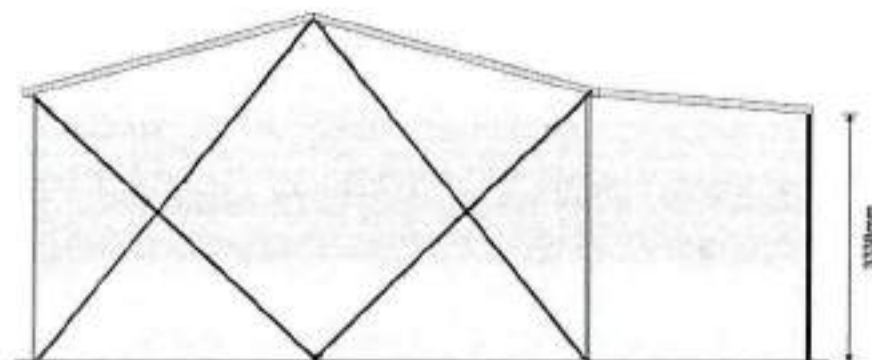
REFERENCE: Mark-884

SITE ADDRESS: 839 Waterholes Road
Templeton
ChCh

Scale 1 : 100

RIGHT ELEVATION

Sheet 4 of 7



Left Elevation

FILE COPY

090147

TOTALSPAN BUILDINGS

A Division of Sparbild New Zealand Ltd

112 Waterloo Road, Hornby,
P.O.Box 11-013, Christchurch
PH: (09) 261 2306 FAX: (09) 262 1838

PREPARED BY: Mark Fairbrother, Totalspan Canterbury, 03 3440331

FOR: David & Dianne Jarrett

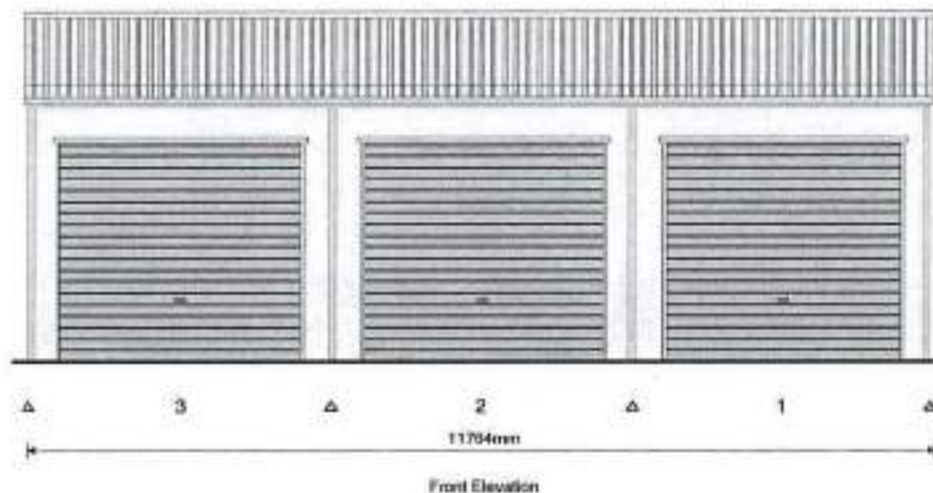
REFERENCE: Mark-884

SITE ADDRESS: 839 Waterholes Road
Templeton
ChCh

Scale 1 : 100

LEFT ELEVATION

Sheet 5 of 7



FILE COPY

090147

TOTALSPAN BUILDINGS
A Division of Spanbild New Zealand Ltd

112 Waterloo Road, Hornby,
P.O.Box 11-013, Christchurch
PH: (09) 261 2306 FAX: (09) 262 1535

PREPARED BY: Mark Fairbrother, Totalspan Canterbury, 03 3440331

FOR: David & Dianne Jarrett

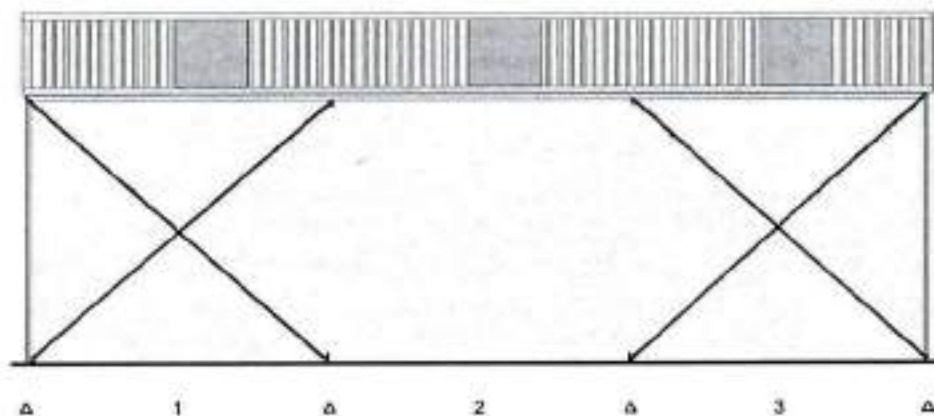
REFERENCE: Mark-864

SITE ADDRESS: 839 Waterholes Road
Templeton
ChCh

Scale 1 : 100

FRONT ELEVATION

Sheet 6 of 7



Rear Elevation

FILE COPY

090147

TOTALSPAN BUILDINGS

A Division of Spanbild New Zealand Ltd

112 Waterloo Road, Hornby,
P.O.Box 11-053, Christchurch
PH: (09) 261 2306 FAX: (09) 262 1535

PREPARED BY: Mark Fairbrother, Totalspan Canterbury, 03 3440331

FOR: David & Clanne Jarrett

REFERENCE: Mark-864

SITE ADDRESS: 839 Waterholes Road
Templeton
ChCh

Scale 1 : 100

REAR ELEVATION

Sheet 7 of 7

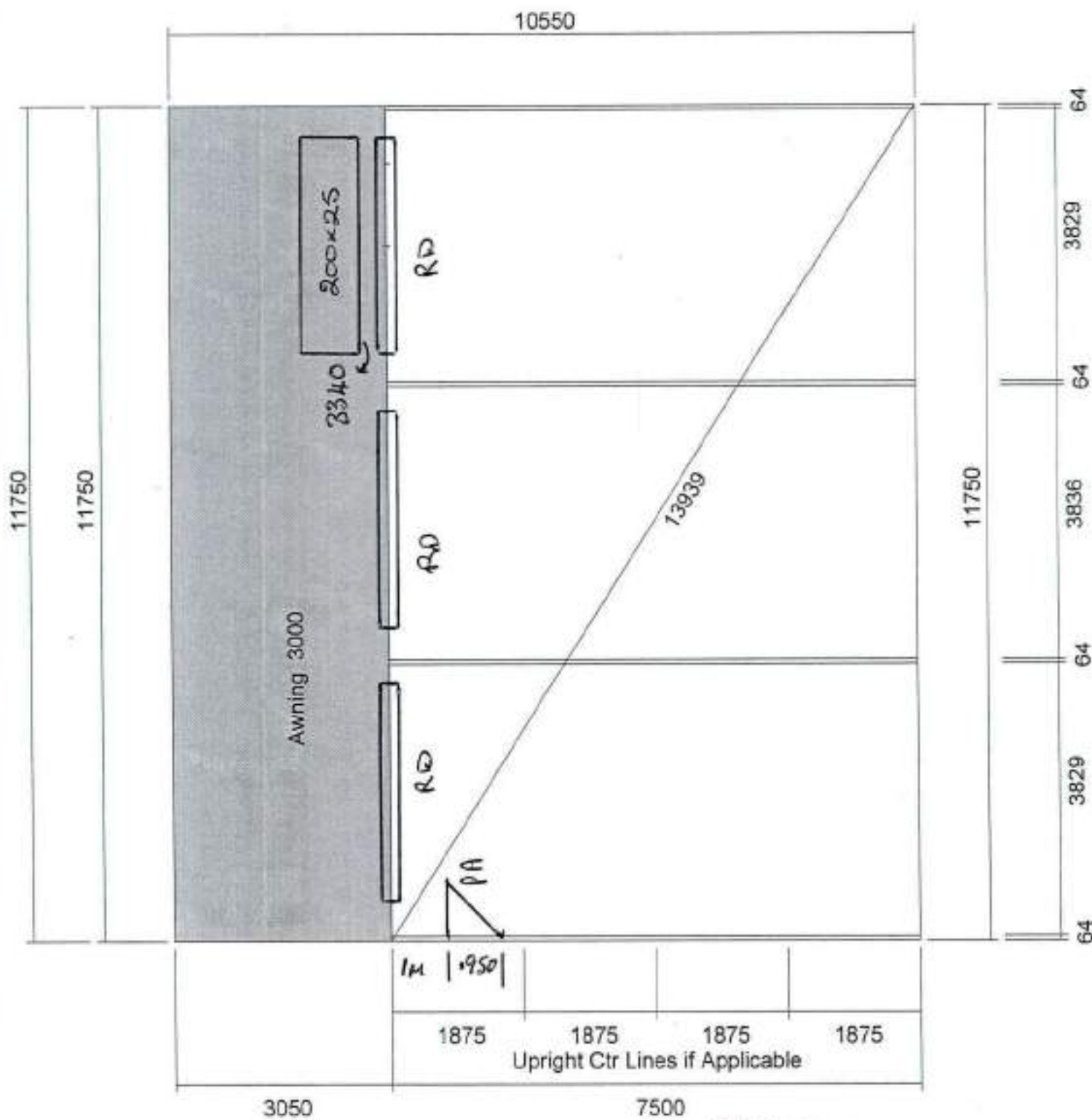
Client Name: Jarret

Job No:

Date:

Nominal Length: 12000

Nominal Span: 7500



090147
FILE COPY

TOTALSPAN[®]

GARAGES • SHEDS • CARPORTS

Engineered By:

F R Smith Consultant

consulting engineer, civil - structural

Producer Statement Structural Details

CLIENT:

David & Dianne Jarrett
839 Waterholes Road
Templeton
ChCh

BUILDING:

Size & Stud Height: 11.764m long x 7.376m wide, with 3.600m stud height, Bay Size 4.000m
Awning(s): 1 x Awning 12.000m long x 3.000m wide
Wind Zone: HIGH (A6-A7)
Area: 122.771m²

Steel Framed Enclosed Buildings

090147

FILE COPY

NOTES

Copyright:

These drawings must not be reproduced without express permission from Fred R. Smith Consultants and Versatile Buildings Limited

INDEX

Cover Page (this page)
Producer Statement: F.R. Smith Consultants - Design
Producer Statement: Versatile Buildings/BHP - Durability
Specifications - Building Components
Site Plan
Building Elevations
Foundation Details
Section - End Wall
Building Details
Roof Plans
Flashing Details
Bracing Reference
Awning
8M Lintel

I certify that buildings erected in accordance with these drawings will conform to the requirements of the New Zealand and Australian Building Codes.



F R Smith BE (civil) MIPENZ, MACENZ, MEIAust, no. 2410880, Cp.Eng. RPEQ (6225)

090147

FILE COPY

PRODUCER STATEMENT - DESIGN

Issued by: Fredrick Roland Smith
to: Totalspan Buildings, a division of Versatile Buildings Limited
for the: Local Territorial Authority
in respect of: Steel Framed Totalspan Buildings

Client Name: David & Dianne Jarrett
839 Waterholes Road
Client Address: Templeton
ChCh

Frederick R Smith Consulting Engineer has been engaged to provide design services in respect of the requirements of Clause B1 and B2 of the Building Regulations 1992 for all of the work as specified of the building work.

The design has been checked in accordance with B1/VM1, B1/VM4, B2/VM1, AS/NZS 1170:2002, NZS 3101, and AS/NZS 4600 of the approved documents issued by the Department of Building and Housing and the work is described on drawings prepared by Frederick R Smith Consulting Engineer and Versatile Buildings Limited.

As an independent design professional covered by a current policy of Professional Indemnity Insurance to a minimum value of \$5,000,000 I BELIEVE ON REASONABLE GROUNDS that subject to:

1. Foundation support ground to have a safe bearing capacity of at least 75kPa
2. The ultimate basic wind speed in the area not exceeding 45 or 50 metres per second, depending on the wind (Regions A6, A7 and W)
3. Basic roof snow loading does not exceed what is listed in these specifications
4. Roof live loads not exceeding 0.25kPa and not being used as an access path
5. All proprietary products meeting the requirements of the performance specification
6. Building being cleaned and inspected bi-annually by owner and any corrosion being treated and repaired

then the drawings and other documents according to which the buildings are proposed to be constructed comply with the relevant provisions of the Building code.

As a designer I have taken all reasonable steps to verify design assumptions. I am satisfied on reasonable grounds that in relation to the building work specified above the provisions of the Building Code would be met if the building work were properly completed in accordance with the drawings, specifications and other documents according to which the building is proposed to be constructed and which have been submitted with the application. I understand this Producer Statement if accepted may be relied upon for the purpose of establishing compliance with the Building Code

Insurance: NZ Professional Indemnity Insurance.

Policy Number: IG08001-EN0105

Valid: 1-7-2008 to 30-6-2009

Insurers: Insurance through AON NZ for: Lumley General Insurance Company (N.Z) Ltd, Indemnity and General Insurance Company Ltd.

Cover: \$5,000,000.



Signed: _____
BE(Civil), CPEng(NZ), MIPENZ, MACENZ,
CPEng(Aust), MIEAust 2410880, RPEQ 6225,

Date: 1 December 2008
Address: 504 Blenheim Road
Christchurch

090147

FILE COPY

MANUFACTURERS STATEMENT - DURABILITY

Cladding

To satisfy the requirements of Clause B2: "Durability" of the NZBC and to ensure the cladding material meets a 15-year durability life the following provisions must apply:

Cladding Range of Product and Use

- * Coating Type: Zinc/Aluminium & Painted (Coloured Steel).
- * Steel thickness range: 0.35mm - 0.55mm BMT
- * Steel grade range: G300 - G550
- * Application: Standard Totalspan Roof and Wall Cladding
- * Profile: Totalspan 7 Rib, Totalspan 6 Rib

Requirements, Limitations and Exclusions

- * Fixing and installation of the cladding must be done exactly in accordance with Totalspan Buildings instructions and specifications.
- * Normal and regular maintenance must be carried out on the exterior surface of the cladding and the following guide must be followed to ensure the durability requirements are met.

Regular Maintenance

- * Normal Maintenance to be completed in accordance with Durability - Acceptable Solution B2/AS 2.1.3
- * Corrosion Zones 1, 2, 3, 4. (*Reference NZS 3604:1999 Corrosion Zone Figure 4.1)
Rain-washing only required on *exposed* (open to airborne salts and rain wetting) material. *Sheltered* (open to airborne salts, but not rain washed) or protected areas such as under spouting, top-cladding sheets and tops of doors require washing every 3 months.
- * Sea Spray Zones (Within 500m from the sea or 100m from sheltered harbours or inlets - *Reference NZS 3604:1999 4.2.3) and areas of Geothermal Activity (*Reference NZS 3604:1999 4.2.4).
Rain-washing only required on *exposed* (open to airborne salts and rain wetting) areas. *Sheltered* (open to airborne salts, but not rain washed) and protected areas such as under spouting, top cladding and tops of doors require washing down every month and whenever corrosive salts are present.

Extended Maintenance, Painting or Repainting

- * Extended Durability
Once the metallic coating or the paint system has weathered away, signs of red rust for bare material or signs of the metallic coating for painted material, painting of the entire surface is required to extend the life of the cladding product. Paint manufacturers recommendations are to be followed for surface preparation and paint type to be used.
- * Evident Corrosion
Areas that show signs of white or red rust/corrosion (typically in unwashed areas) require cleaning back with a stiff brush and cleaner to remove all dust, surface contaminants and corrosion products and present a sound substrate for painting. Priming of the surface and application of two coats of paint as per the Paint Manufacturer's recommendations is then required.
Particular attention needs to be paid to laps (side, end, flashing etc) where earlier corrosion may start due to moisture and dirt entrapment.
If evident corrosion is not treated quickly rapid deterioration of the sheet may occur which could result in perforation. At this stage replacement of the affected sheet is the best option.

Steel Framing

To satisfy the requirements of Clause B2: "Durability" of the NZBC and to ensure the structural framing material meets a 50-year durability life the following provisions must apply:

Steel Framing Range of Product and Use

- * Coating Type: Galvanised
- * Steel thickness range: 0.75mm - 2.4mm BMT
- * Steel grade range: G450 - G550
- * Application: Standard Totalspan Purlins, Girts, Portal Frames, Door Jambs, Wall Uprights, Bridging
- * Profile: C Sections - 80x40, 150x64, 220x64, 250x85
Z Sections - 100x53, 150x65
Tophat Sections - 100x163, 120x170, 150x183

Regular Maintenance

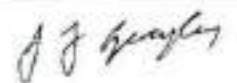
- * Normal Maintenance to be completed in accordance with Durability - Acceptable Solution B2/AS 2.1.3
- * Corrosion Zones 1, 2, 3, 4. (*Reference NZS 3604:1999 Corrosion Zone Figure 4.1)
Rain-washing only required on *exposed* (open to airborne salts and rain wetting) material. *Sheltered* (open to airborne salts, but not rain washed) or protected areas such as under spouting, top-cladding sheets and tops of doors require washing every 3 months.
- * Sea Spray Zones (Within 500m from the sea or 100m from sheltered harbours or inlets - *Reference NZS 3604:1999 4.2.3) and areas of Geothermal Activity (*Reference NZS 3604:1999 4.2.4).
Rain-washing only required on *exposed* (open to airborne salts and rain wetting) areas. *Sheltered* (open to airborne salts, but not rain washed) and protected areas such as under spouting, top cladding and tops of doors require washing down every month and whenever corrosive salts are present.

References

1. NZBC - Compliance Document - Clause B2 - Durability
2. NZS 3604, Clause 4, Durability*

* - Totalspan Buildings acknowledges and understands that NZS 3604 is a Timber Framed Building standard. Totalspan Buildings has used NZS 3604 as a reference only to identify Corrosion Zones, Sea Spray Zones and areas of Geothermal activity.

Jeffrey Geayley



for Totalspan Buildings Limited
112 Waterloo Road
Christchurch
New Zealand

Dated: 28th August 2007

090147

FILE COPY

Building Tables

Zoned:	T.C.2 Rural	Wind Region:	Region A6-A7 (High)
Wind Zone:	High (A6-A7)		
Bay Size:	4.0m		
Live Roof Load:	0.25 kPa		
Roof Snow Load:	0.86kPa		
Inner Purlins:	B80x40(1)	Row Numbers:	10
Ridge & Gutter Purlins:	C80x40		
Girts:	B80x40	End Wall:	4
End Wall Post - On Edge:	C15010		
Roof Frames - Portals:	B15010		

GENERAL

- 1 - All work shall conform to the New Zealand Building Code.
- 2 - Check diagonals to ensure building is square.

LOADINGS

- 1 - Buildings are designed to AS/NZS 1170 for NZS 3604 HIGH and VERY HIGH. Design Wind Speeds to limit state levels of 45 and 50m/s, T.C.2 roof live load of 0.25kPa, and basic Roof Snow loads of 0.86kPa. Heavier snow loads will be a specific design as will buildings used for habitable purposes.
- 2 - The roofing is not designed for point loads of 1 Kn.

FOUNDATIONS

- 1 - Support ground to have a safe bearing capacity of at least 75 kPa. In weaker ground building loads to be taken to subsoil which has a bearing capacity of at least 75 kPa.

CONCRETE

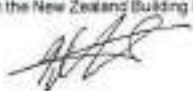
- 1 - Remove vegetation, 60mm of top soil and loose material from the site of the building, backfill with compacted hardfill, if required, and lay a blinding of sand to the underside of the concrete slab. Ensure the surface of the slab will be at least 100mm above the highest level of cleared ground around the slab.
- 2 - Concrete shall have a maximum aggregate size of 20mm, slump of 80mm maximum and a 20 MPa compression strength at 28 days.
- 3 - The concrete floor slab shall be 100mm thick with a 200 x 200 mm edge thickening and a D16 rod continuous around the perimeter of the slab with 600 laps and 75 bottom cover.
- 4 - Concrete slab to be reinforced with 668 mesh placed 30mm maximum below the slab surface with 225mm laps.
- 5 - Provide a 0.25mm black polythene dampproof and slip layer under the slab taped with 100mm laps (optional but recommended).
- 6 - Fix roof frames to concrete with M10 galvanised screwbolts screwed into holes drilled in the slab.

STEELWORK

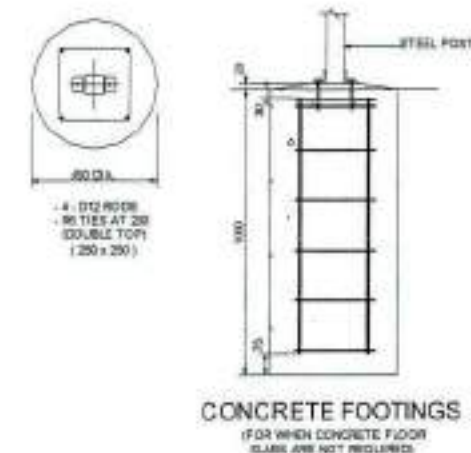
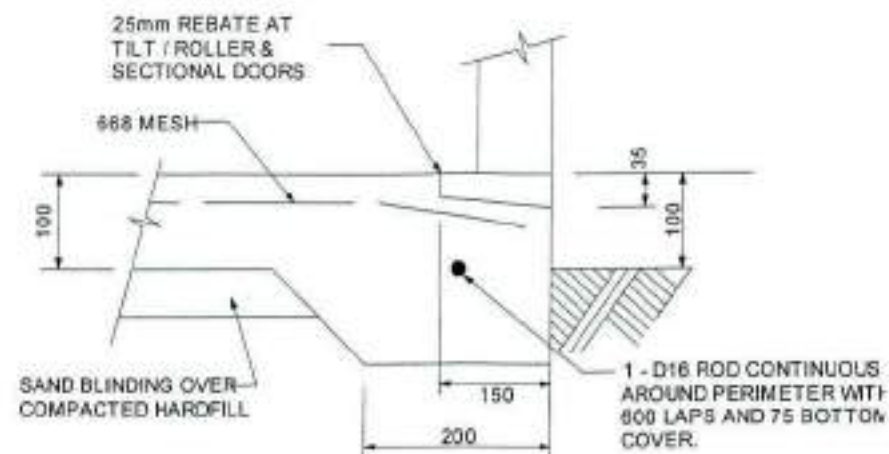
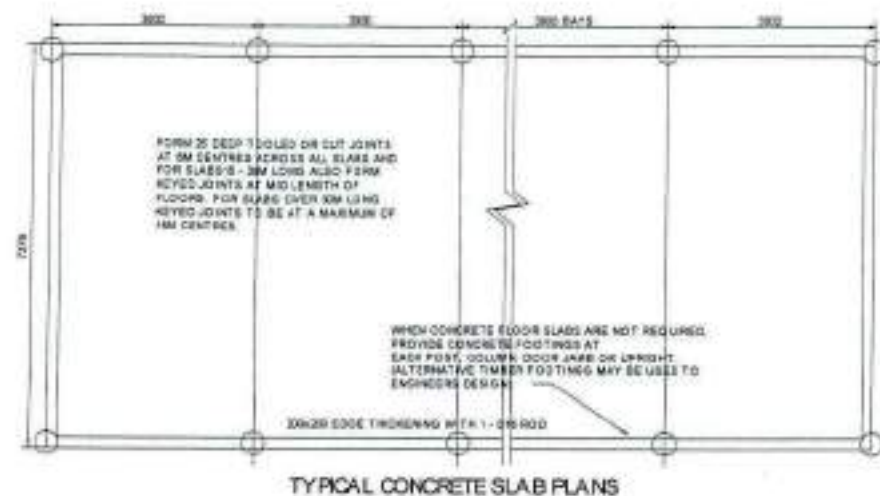
- 1 - All structural framing members shall be G550-1.0mm BMT, G500-1.2mm BMT, G450-1.5mm, 1.9mm BMT grade steel galvanised to Z200 (G550 for 80 x 40 boxed and single channels). Cleats to be G450, Z200.
- 2 - Purlins and girts shall be 80 x 40 x 0.75 B.M.T. lipped, crimped channel located at centres shown on the drawings.
- 3 - Boxed members to be flange fixed with #10 Tek screws at 600 centres.
- 4 - Screws to be #10 x 16mm long Tek screws Class 3 zinc plated, fixed at a minimum edge distance of 6mm and to a 12mm minimum pitch.
- 5 - Girts to be connected with 2 #10 Tek screws each side of girt.
- 6 - Steelwork shall conform to:
 - NZ/AS 4600 Cold Formed Steel Structures Code
 - NZ/AS 1397:1993
 - AS 1562:1992 Design and Installation of Metal Roofing
 - AS 1111/1112 Hex Commercial Bolts and Screws
 - AS 3556 Self Drilling Screws for Building

CLADDING

- 1 - Roof and wall sheeting shall be 0.35 B.M.T., G550 grade steel zincaluminated to AZ150 and rolled to profile as detailed.
- 2 - Roof sheets shall be fixed to ridge and eaves purlins with a Tek screw at every rib, as shown, tek screw to alternative ribs at intermediate fixings, all complete with neoprene washers tightened firmly but not to form depressions in the roof cladding. Ensure all roof fixings are waterproof.
- 3 - Wall sheeting shall be fixed to the eave purlins and to the rafters of the end wall frames with a Tek screw at third points of each pan and to third points of alternate pans at other girts and fixings.
- 4 - Ridges, gables and all penetrations to be flashed with similar sheet steel.
- 5 - Guttering to be fixed with Tek screws and joint sealed with silicone. Fit downpipes to guttering to discharge to an approved stormwater drainage system, provided by the Owner.
- 6 - Frame for personnel door and windows with 80 x 40 x 0.75 unlipped channels. Flange connect members with 2 screws to each flange. Fix jambs to floor with 40x40x1.2 angle cleat having 1/M10 screwbolt to concrete and 2 Tek screws to jamb.

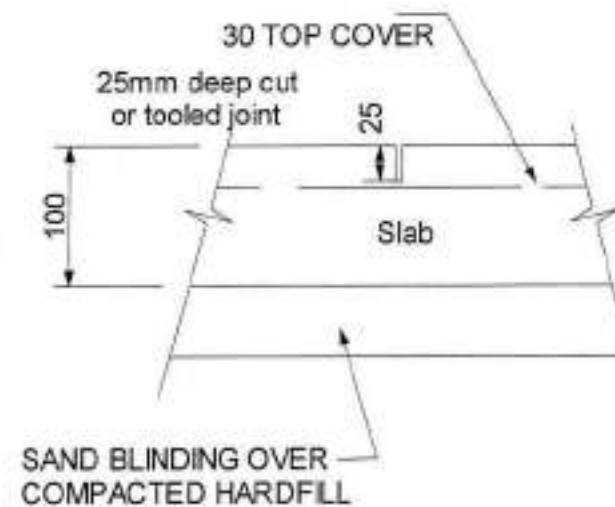
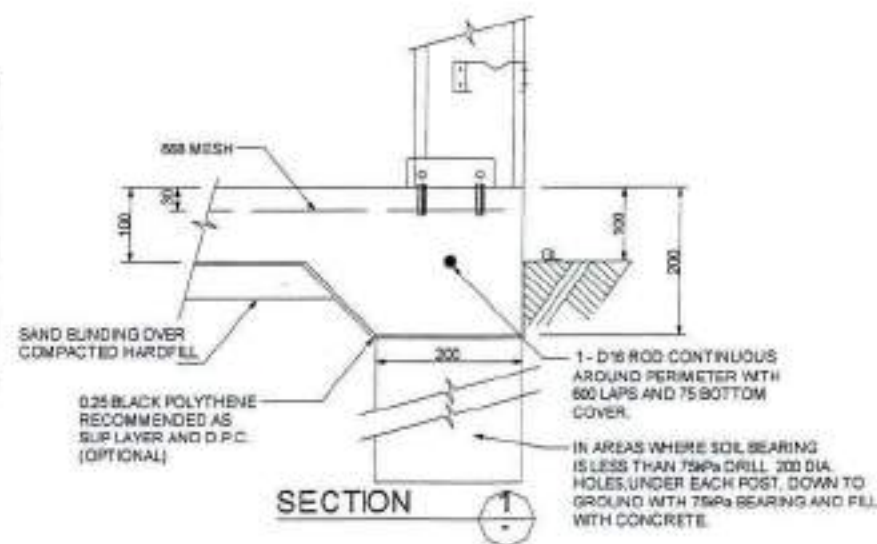
FREDERICK R SMITH chartered consulting engineer 504 Blenheim Road Christchurch Phone 03 348 1521	I certify that buildings erected in accordance with these drawings will comply with the New Zealand Building Code.  F.R. Smith BE (CIVIL) MPENZ MACENZ ME(Aust) CP Eng RPEQ (5225)	 A Division of VERSATILE BUILDINGS LTD 112 WATERLOO ROAD, HORNBY P.O. BOX 11-013, CHRISTCHURCH PH: (03) 261 2306 FAX: (03) 262 1535	Drawing Title: SPECIFICATIONS	For: David & Dianne Jarrett 838 Waterholes Road Templeton ChCh
---	---	--	---	---

090147
FILE COPY



SCREWBOLT NOTE

- 1 EMBEDMENT DEPTH OF SCREW BOLTS= 70mm
- 2 SCREWBOLTS SHALL BE M10/75 ZINC PLATED IN 10DIA. HOLES 80 DEEP.



FREDERICK R SMITH
chartered consulting engineer

504 Birnie Road
Christchurch
Phone 03 345 1521

I certify that buildings erected in accordance with these drawings will comply with the New Zealand Building Code.

F R Smith
SE (civil) MIPENZ MACENZ MIEAust
CPEng RPED (5225)

TOTALSPAN

A Division of VERSATILE BUILDINGS LTD

112 WATERLOO ROAD, HORNBY
P.O. BOX 11-013, CHRISTCHURCH
PH: (09) 261 2308 FAX: (09) 262 1535

Drawing Title:

FOUNDATION DETAILS

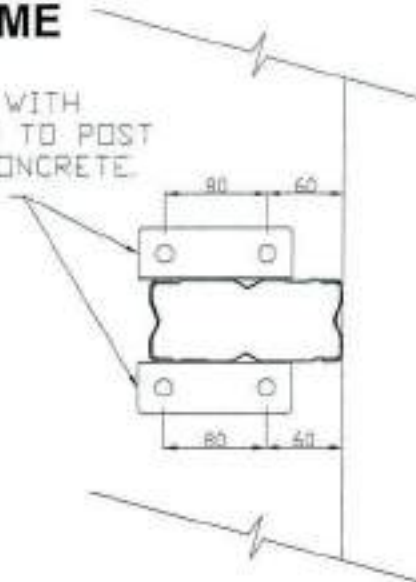
For: David & Dianne Jarrett
839 Waterholes Road
Templeton
ChCh

090147

FILE COPY

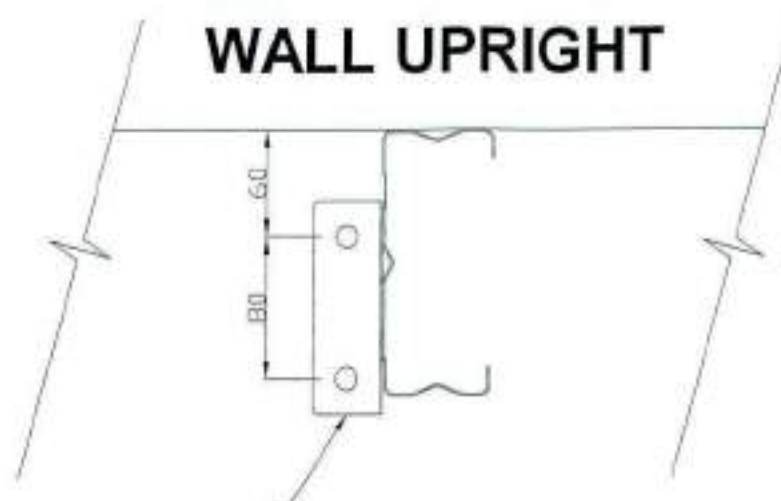
BOXED C150 INTERIOR FRAME

40X40X1.2 ANGLE 120 LONG WITH
8#10 TEKS OR 2/M10 BOLTS TO POST
& 2/M10 SCREWBOLTS TO CONCRETE.



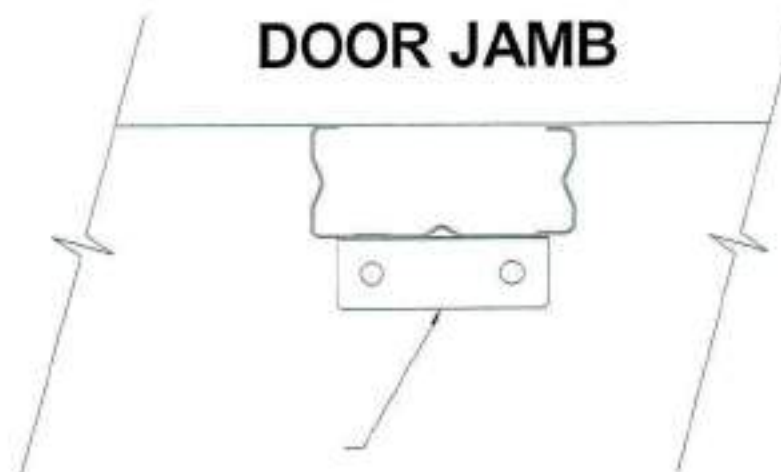
SINGLE C150 END WALL UPRIGHT

40X40X1.2 ANGLE 120 LONG WITH
8#10 TEKS OR 2/M10 BOLTS TO POST
& 2/M10 SCREWBOLTS TO CONCRETE.



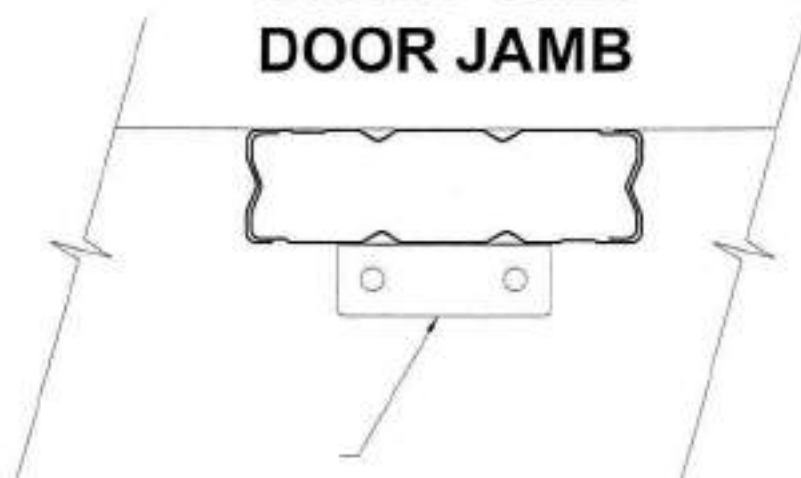
SINGLE C150 DOOR JAMB

40X40X1.2 ANGLE 120 LONG WITH
8#10 TEKS OR 2/M10 BOLTS TO POST
& 2/M10 SCREWBOLTS TO CONCRETE.



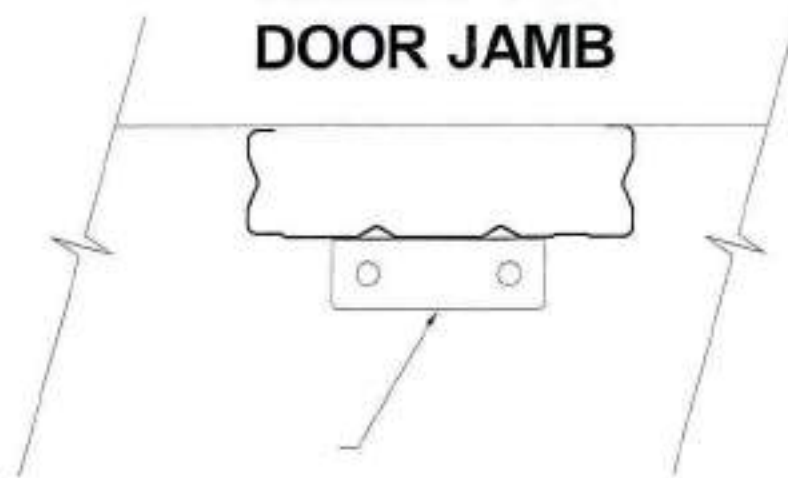
BOXED C220 DOOR JAMB

40X40X1.2 ANGLE 120 LONG WITH
8#10 TEKS OR 2/M10 BOLTS TO POST
& 2/M10 SCREWBOLTS TO CONCRETE.



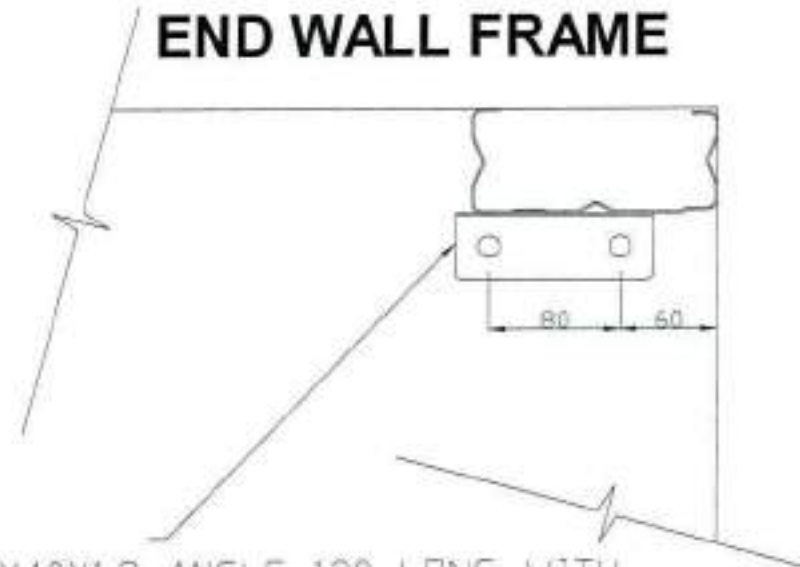
SINGLE C220 DOOR JAMB

40X40X1.2 ANGLE 120 LONG WITH
8#10 TEKS OR 2/M10 BOLTS TO POST
& 2/M10 SCREWBOLTS TO CONCRETE.



C150 END WALL FRAME

40X40X1.2 ANGLE 120 LONG WITH
8#10 TEKS OR 2/M10 BOLTS TO POST
& 2/M10 SCREWBOLTS TO CONCRETE.



FREDERICK R SMITH
chartered consulting engineer
524 Glenheim Road
Christchurch
Phone 03 348 1521

I certify that buildings erected in accordance with these
drawings will comply with the New Zealand Building Code.

F R Smith
BE (CIVIL) MIPENZ MACENZ MIEAust
CPEng RPEQ (5225)

TOTALSPAN

A Division of VERSATILE BUILDINGS LTD
112 WATERLOO ROAD, HORNBY
P.O. BOX 11-013, CHRISTCHURCH
PH: (09) 261 2306 FAX: (09) 262 1535

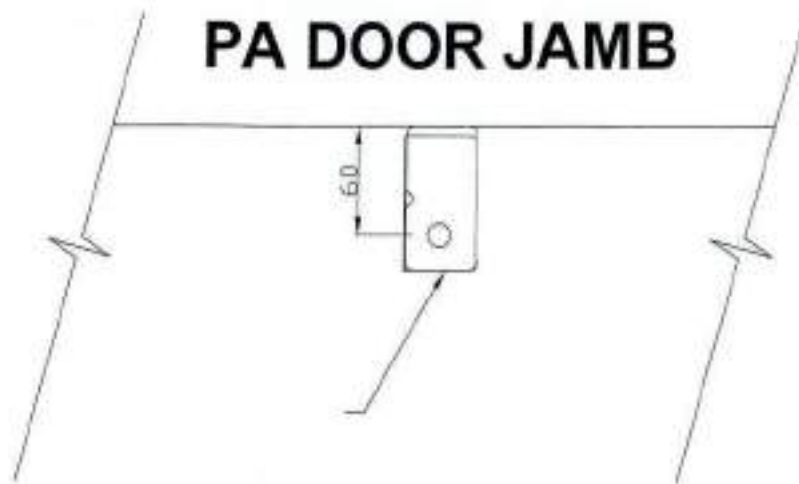
Drawing Title:
FOUNDATION DETAILS

For: David & Dianne Jarrett
839 Waterholes Road
Templeton
ChCh

090147

FILE COPY

SINGLE C80x40 PA DOOR JAMB



40X40X1 ANGLE 75 LONG WITH
4#10 TEKS OR 1/M10 BOLTS TO POST
& 1/M10 SCREWBOLTS TO CONCRETE.

FREDERICK R SMITH
chartered consulting engineer
504 Blenheim Road
Christchurch
Phone 03 348 1521

I certify that buildings erected in accordance with these
drawings will comply with the New Zealand Building Code.

[Signature]
F R Smith
BE (civil) MIPENZ MACENZ MIEAust
CPEng RPEQ (5225)

TOTALSPAN
A Division of VERSATILE BUILDINGS LTD
112 WATERLOO ROAD, HORSLEY
P.O. BOX 11-013, CHRISTCHURCH
PH: (09) 281 2305 FAX: (09) 282 1535

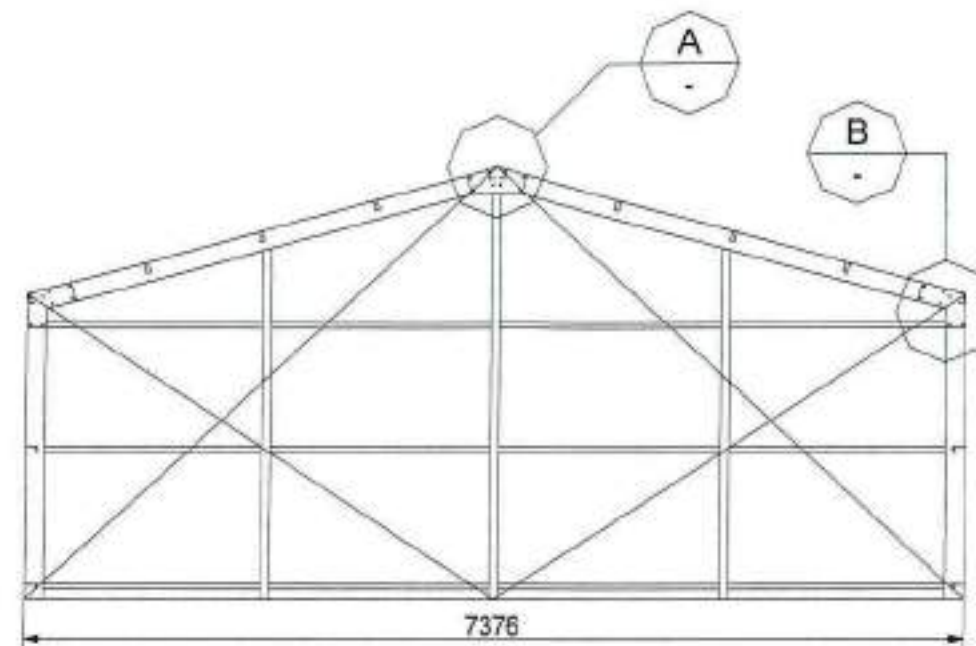
Drawing Title:
FOUNDATION DETAILS

For: David & Dianne Jarrett
839 Waterholes Road
Templeton
ChCh

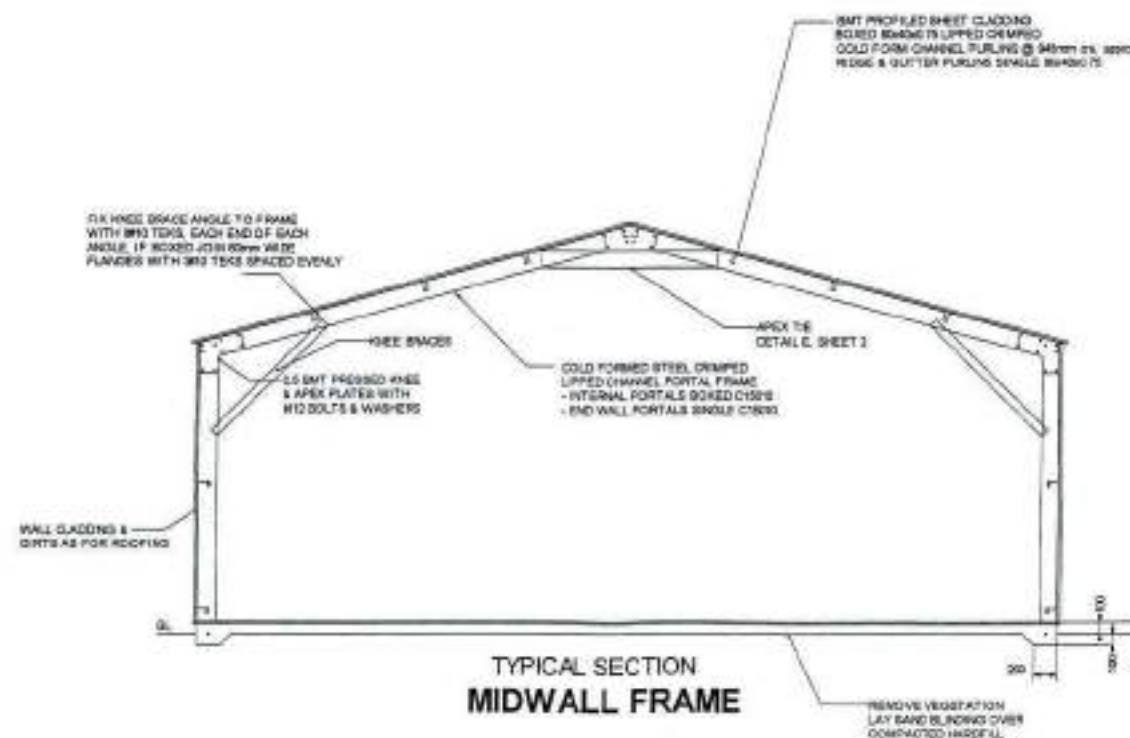
090147
FILE COPY

Apex Height (mm): 4589
Wall Height (mm): 3600

Girts Centre Lines mm (above floor level):					
Girts Rows:	1	2	3	4	5
	95	1200	2400	3400	-



END WALL FRAME



TYPICAL SECTION
MIDWALL FRAME

FREDERICK R SMITH
chartered consulting engineer
504 Blenheim Road
Christchurch
Phone 03 348 1521

I certify that buildings erected in accordance with these drawings will comply with the New Zealand Building Code.

[Signature]
F R Smith
BE (civil) MIPENZ MACENZ MEAust
CPEng RPEQ (6225)

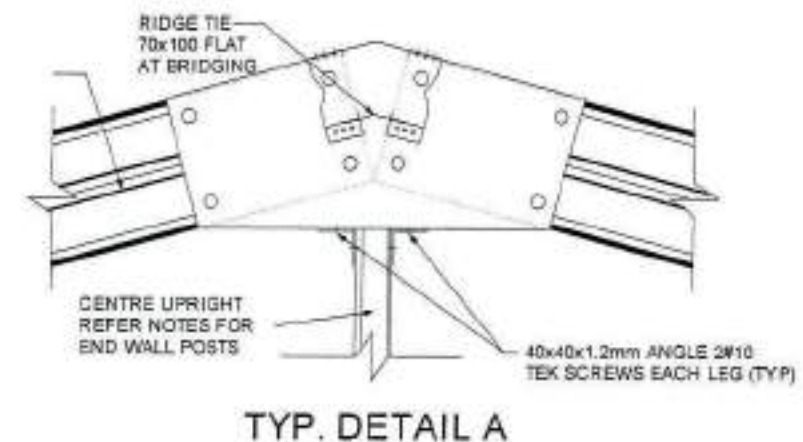
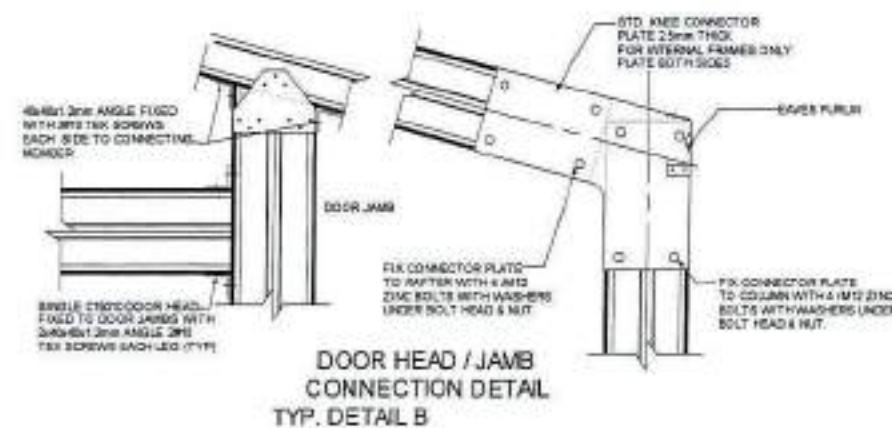
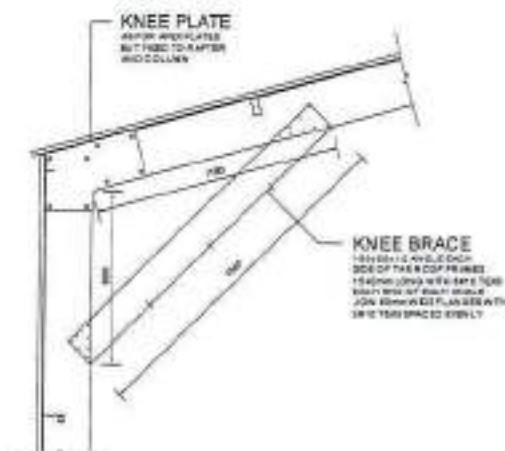
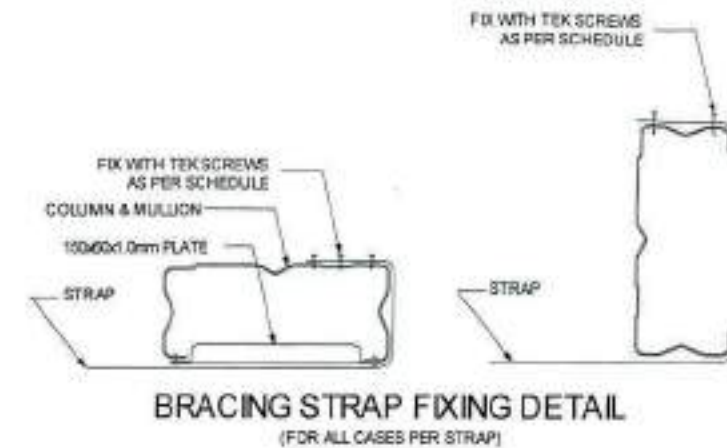
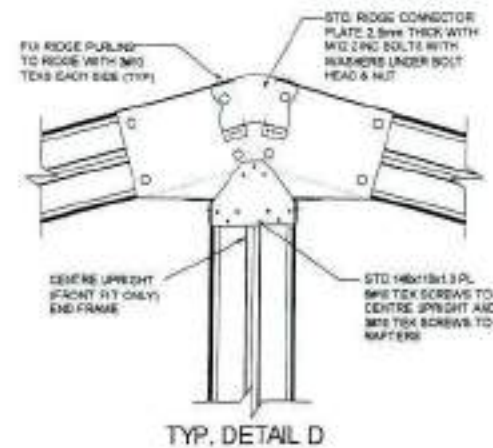
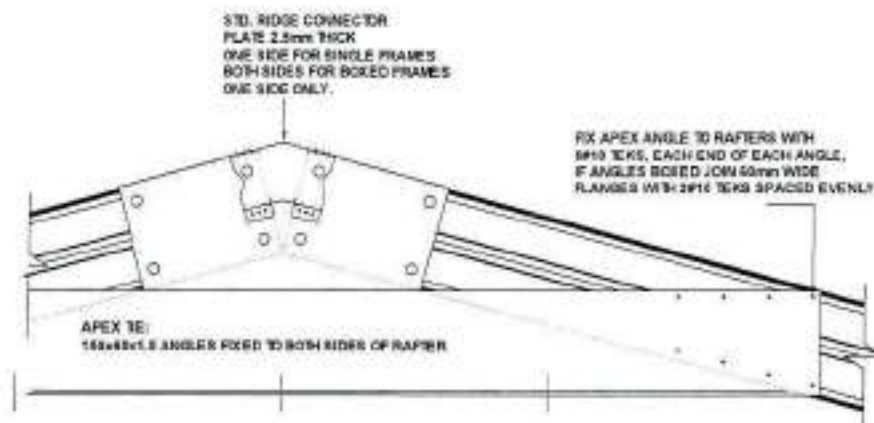
TOTALSPAN
A Division of VERSATILE BUILDINGS LTD
112 WATERLOO ROAD, HORNBY
P.O. BOX 11-015, CHRISTCHURCH
PH: (09) 261 2308 FAX: (09) 262 1535

Drawing Title:
SECTION - END WALL

For: David & Dianne Jarrett
339 Waterholes Road
Templeton
ChCh

090147

FILE COPY



FREDERICK R SMITH
chartered consulting engineer

504 Blenheim Road
Christchurch
Phone 03 348 1521

I certify that buildings erected in accordance with these drawings will comply with the New Zealand Building Code.

F R Smith
BE (civil) MPENZ MACENZ MIEAust
CPEng RPEQ (6225)

TOTALSPAN

A Division of VERSATILE BUILDINGS LTD
112 WATERLOO ROAD, HORNBY
P.O. BOX 11-013, CHRISTCHURCH
PH: (09) 261 2306 FAX: (09) 262 1535

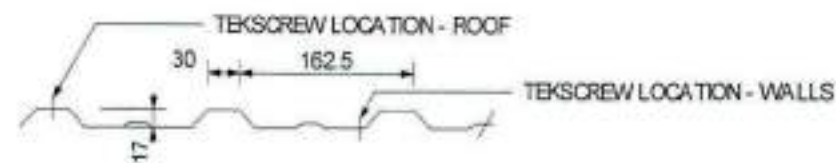
Drawing Title:

BUILDING DETAILS

For: David & Dianne Jarrett
839 Waterholes Road
Templeton
ChCh

FILE COPY

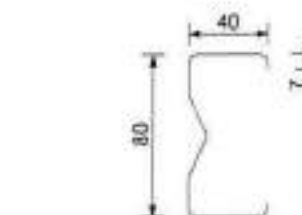
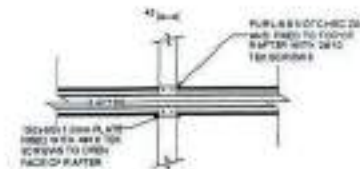
090147



SHEETING PROFILE 0.35 T.C.T.

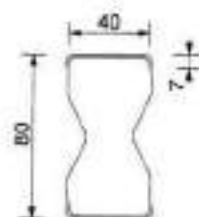


TYPICAL PURLIN TO RAFTER DETAILS



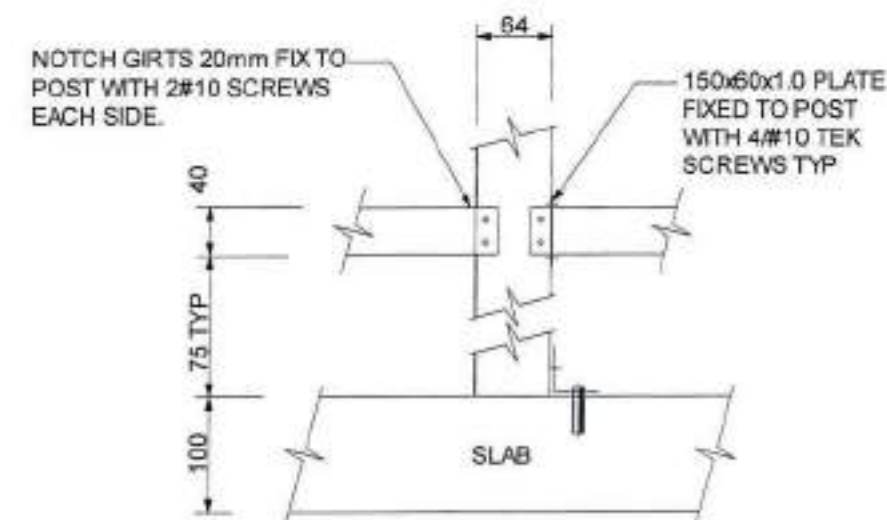
TYPICAL CRIMPED LIPPED CHANNEL SECTION (EX 0.75 BMT)

ALL PURLINS AND GIRTS SINGLE UNLESS NOTED TO BE BOXED.



TYPICAL BOXED CRIMPED LIPPED CHANNEL SECTION (EX 0.75 BMT)

ALL PURLINS AND GIRTS SINGLE UNLESS NOTED TO BE BOXED.



TYP. GIRT TO POST DETAIL

FREDERICK R SMITH
chartered consulting engineer

504 Blenheim Road
Christchurch
Phone 03 348 1521

I certify that buildings erected in accordance with these drawings will comply with the New Zealand Building Code.

F R Smith
BE (CIVIL) NIPENZ MACENZ MEAust
CREng RPEQ (6225)

TOTALSPAN

A Division of VERSATILE BUILDINGS LTD

112 WATERLOO ROAD, HORNBY
P.O. BOX 11-013, CHRISTCHURCH
PH: (09) 261 2306 FAX: (09) 262 1535

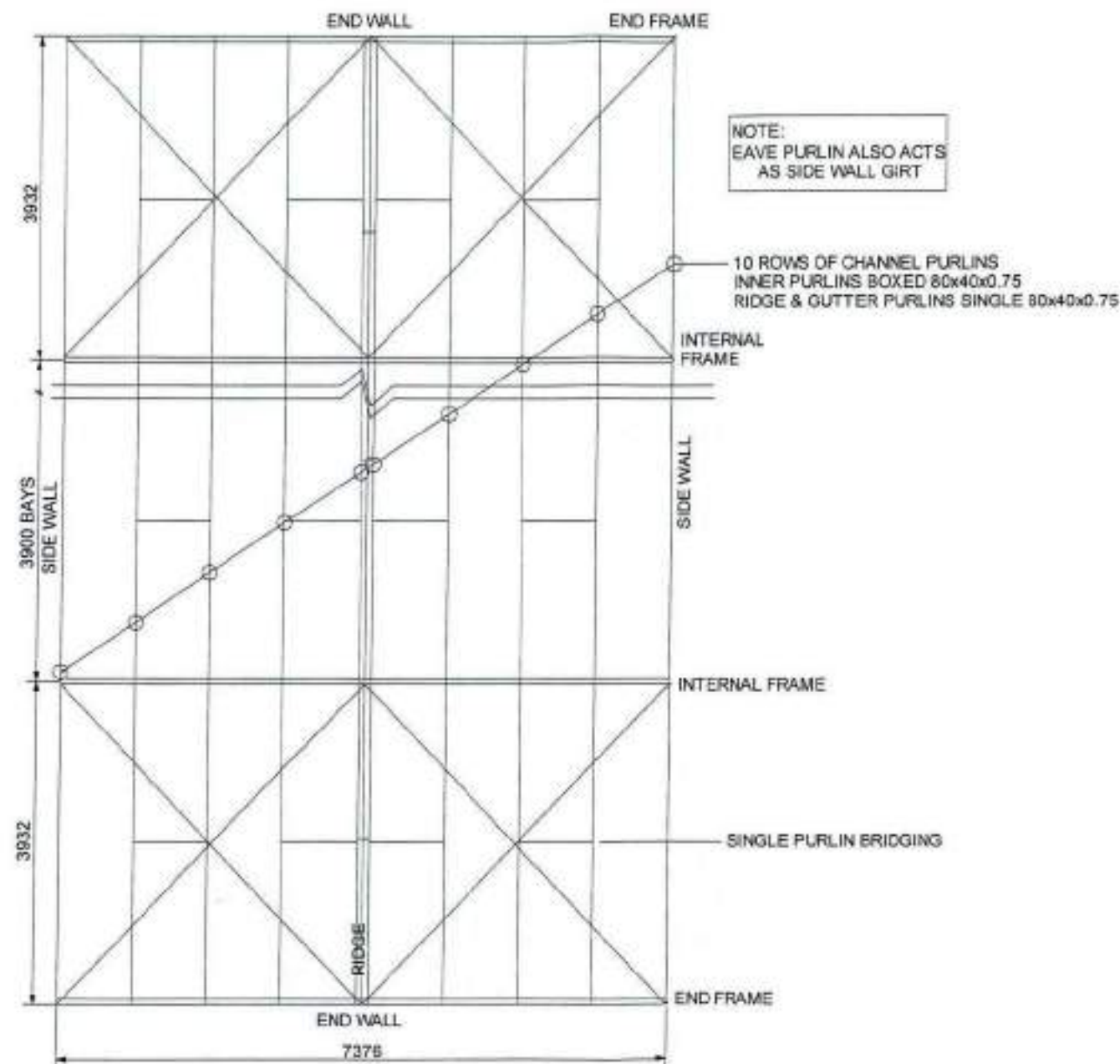
Drawing Title:

BUILDING DETAILS

For: David & Dianne Jarrett
839 Waterholes Road
Templeton
ChCh

FILE COPY

090147



FRAMING PLAN 4.0M BAYS

FREDERICK R SMITH
chartered consulting engineer

504 Birnie Road
Christchurch
Phone 03 348 1521

I certify that buildings erected in accordance with these drawings will comply with the New Zealand Building Code.

[Signature]
F R Smith
BE (civil) MPENZ MACENZ MIEAust
CPEng RPEQ (5225)

TOTALSPAN

A Division of VERSATILE BUILDINGS LTD
112 WATERLOO ROAD, KORNRY
P.O. BOX 11-013, CHRISTCHURCH
PH: (09) 261 2306 FAX: (09) 262 1535

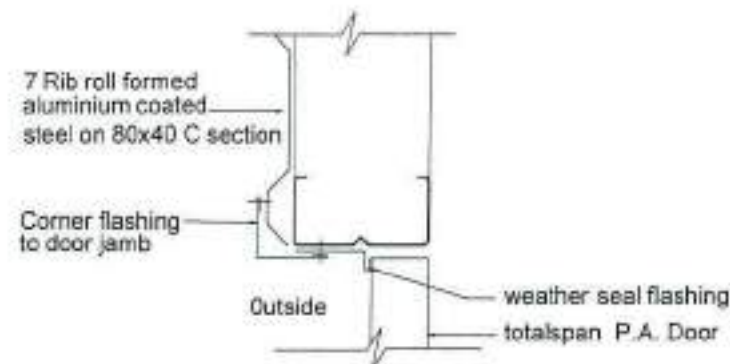
Drawing Title:

ROOF PLANS

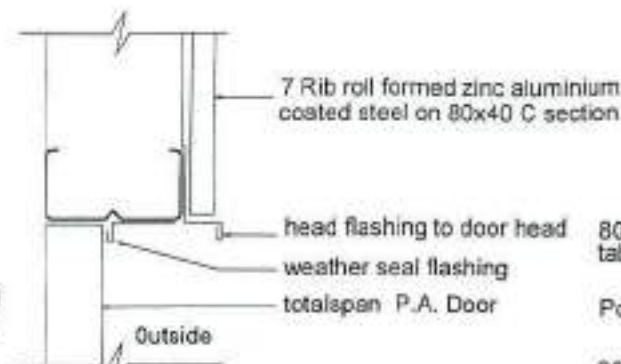
For: David & Dianne Jarrett
839 Waterholes Road
Templeton
ChCh

090147

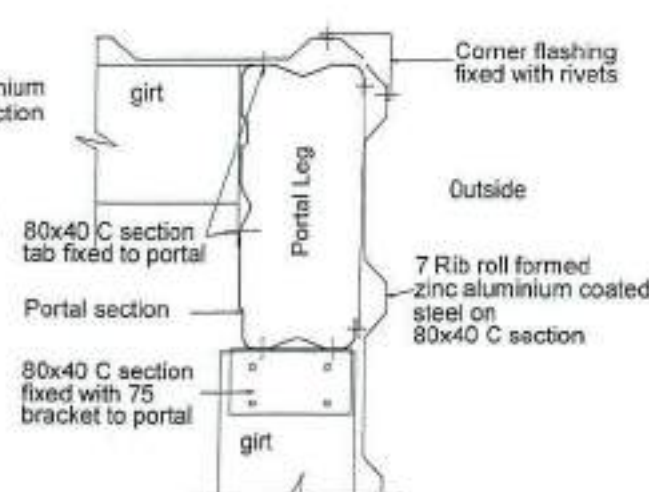
FILE COPY



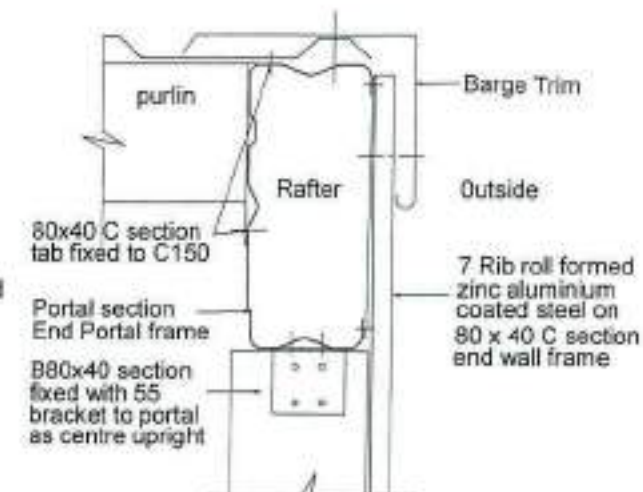
P.A. Door Jamb Detail



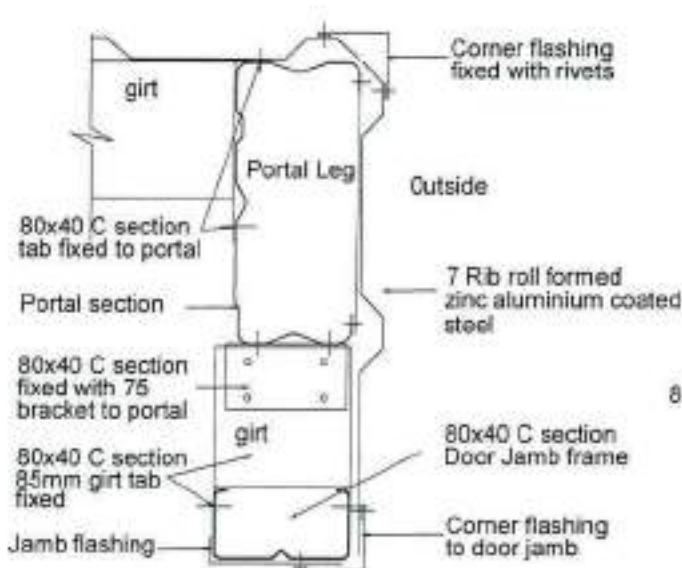
P.A. Door head Detail



External corner



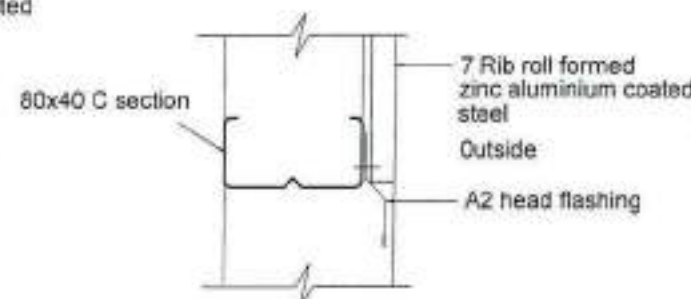
Barge Detail



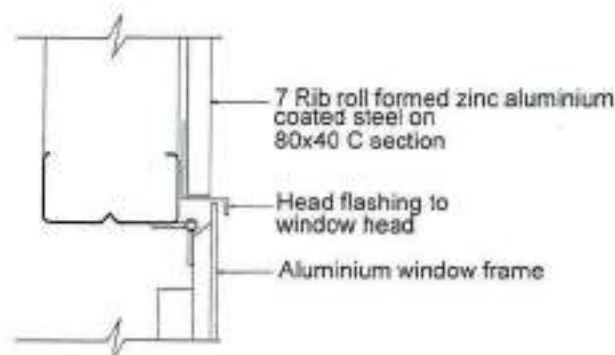
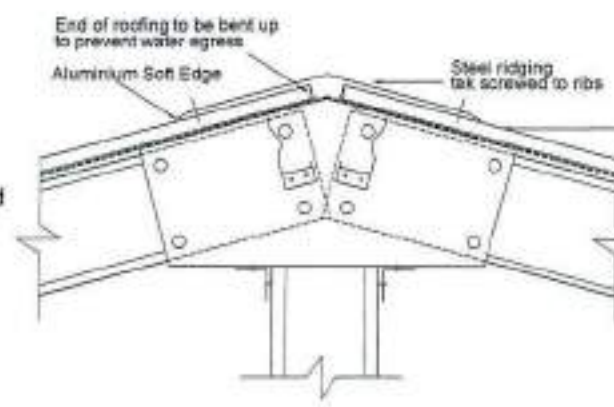
Roller Door Jamb Detail



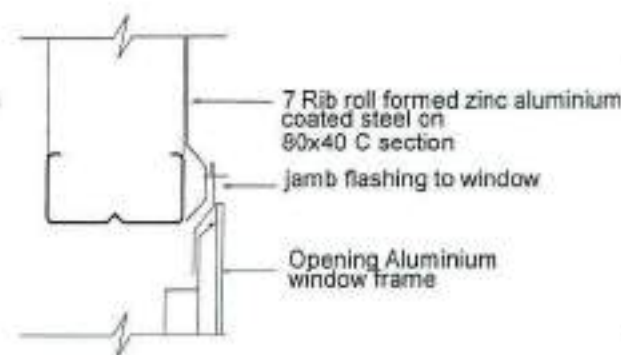
Gutter Profile



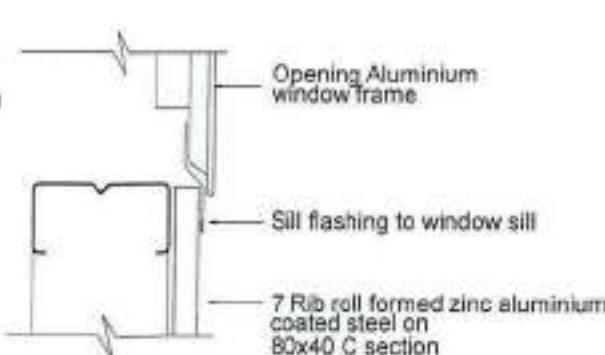
Roller Door head Detail



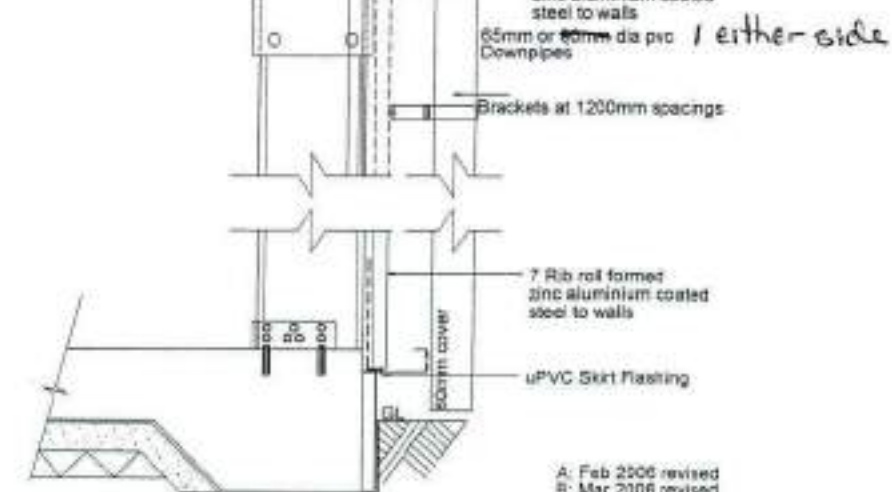
Window head Detail



Window Jamb Detail



Window Sill Detail



A: Feb 2006 revised
B: Mar 2006 revised
C: Apr 2006 revised
D: Aug 2006 revised

FREDERICK R SMITH
Chartered Consulting Engineer

504 Blenheim Road
Christchurch
Phone 03 348 1621

I certify that buildings erected in accordance with these drawings will comply with the New Zealand Building Code.

F R Smith
BE (div 6) MPENZ MACENZ MIEAust
CPEng RPED (3225)

TOTALSPAN

A Division of VERSATILE BUILDINGS LTD
112 WATERLOO ROAD, HORNBY
P.O. BOX 11-013, CHRISTCHURCH
PH: (09) 261 2306 FAX: (09) 262 1535

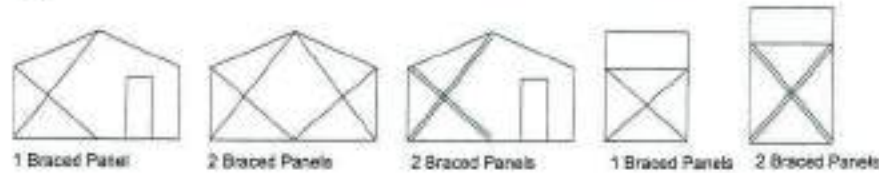
Drawing Title:

Flashing Details

090147
FILE COPY

NOTE:

1. Bracing shall be 27X0.6mm G550 steel strap fixed with 4 #10 tek screws each end.



2. BRACING LOCATION GABLE WALLS:

Building 2 to 4 Bays long, excluding garaport bays shall have 2 braced panels in at least one gable wall.

Building 5 bays and longer, excluding garaport bays shall have 2 braced panels in each of the gable walls.

When building is gable entry, braced panels in gable wall shall be relocated to the side wall as close as possible to the gable with the doors.

3. BRACING LOCATION SIDE WALLS

Buildings 2 to 4 bays long shall have 1 braced panel located as close as possible to the gable end wall on each side wall of the building.

Buildings 5 bays and longer excluding garaport bays shall have at least 2 braced panels in each side wall.

There must be 1 braced panel in the first four bays and 1 braced panel in the last four bays, both located as close as possible to the gable end walls and there must be no more than 5 bays between each braced panel.

4. BRACING RELOCATION SIDE WALLS:

If a braced panel can not be achieved with the above rules, then the conflicting braced panel shall be relocated in the opposite wall side and as close as possible directly opposite the original location. This can be relocated into or beside an existing braced panel.

If 1 or more braced panels are relocated from one side wall to the other, then add 1 braced panel to a gable wall. This can be relocated into or beside an existing braced panel.

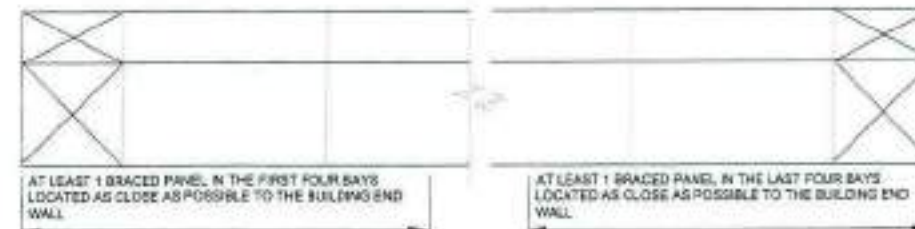
5. ROOF BRACING LOCATION

Buildings, 2 to 4 bays excluding garaport bays shall have 1 braced panel located in one of the end bays.

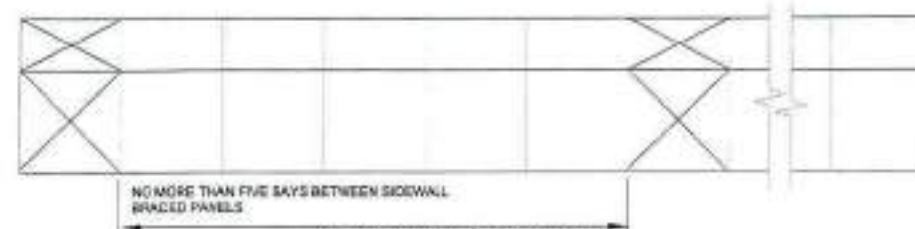
Buildings, 5 bays and longer excluding Garaport bays, shall have at least 3 braced panels, 2 located in each end bay and there must be no more than five bays between each braced panel.

Refer to sheet 1 for single cross or double cross roof bracing patterns per bay per side.

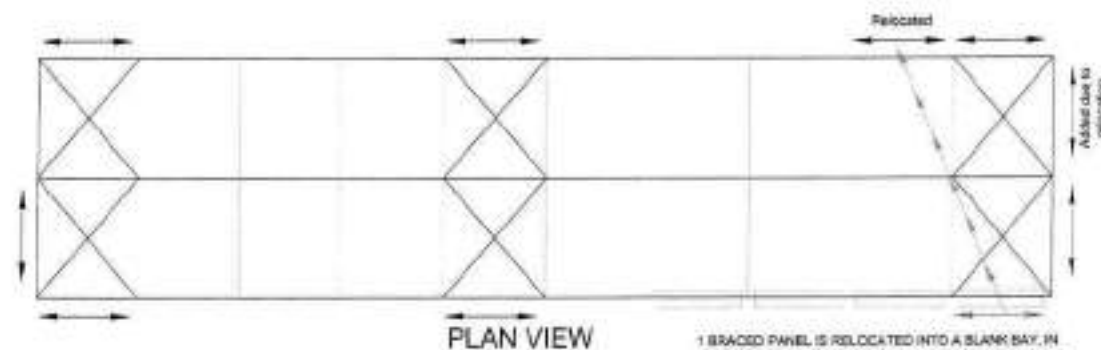
Other configurations of openings shall be specific design.



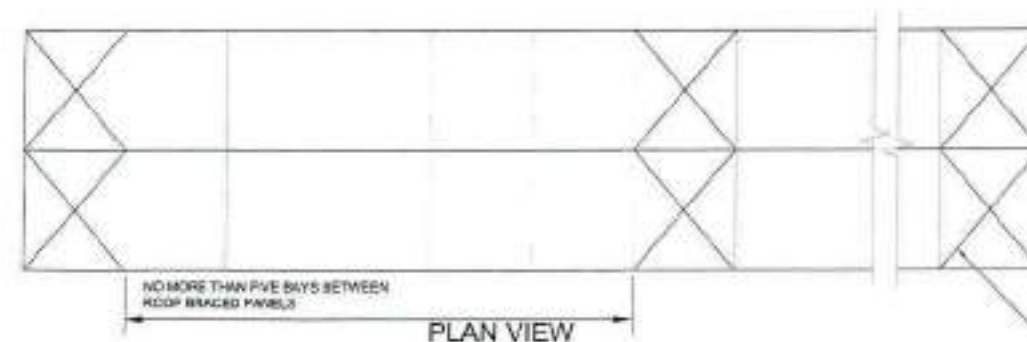
SIDE WALL ELEVATION



SIDE WALL ELEVATION



PLAN VIEW



PLAN VIEW

REFER TO SHEET 1 FOR SINGLE CROSS OR DOUBLE CROSS ROOF BRACING PATTERNS PER BAY PER SIDE

FREDERICK R SMITH
chartered consulting engineer

504 Blenheim Road
Christchurch
Phone 03 348 1521

I certify that buildings erected in accordance with these drawings will comply with the New Zealand Building Code.

F R Smith
BE (civil) MPENZ MACENZ MIEAust
CPÉng RPED (5225)

TOTALSPAN

A Division of VERSATILE BUILDINGS LTD
112 WATERLOO ROAD, HORNBY
P.O. BOX 11-013, CHRISTCHURCH
PH: (09) 261 2306 FAX: (09) 262 1535

Drawing Title:

BRACING - WALLS AND ROOF

For: David & Dianne Jarrett
838 Waterholes Road
Templeton
ChrCh

090147

FILE COPY

NOTES:

1. Bracing shall be 27x.06mm G550 steel strap fixed with 4 #10 tek screws each end.

2. SIDE WALL BRACING LOCATIONS
Garaports: 1 braced panel located in each side wall adjacent to the Garaport.

8.0M Lintels: 1 braced panel located if possible adjacent to both sides of the lintel.

If a braced panel can not be achieved with the above rules, then the conflicting braced panel can be shifted one bay only adjacent from its original location or can be relocated into the opposite side wall and as close as possible directly opposite the original location. This can be relocated into or beside an existing braced panel.

If 1 or more braced panels are relocated from one side wall to the other, then add 1 braced panel to a gable wall. This can be relocated into or beside an existing braced panel.

3. ROOF BRACING LOCATIONS:

Garaports: There must be braced panels located in all Garaport bays as shown in the Garaport drawings on this sheet.

8.0M Lintels: There must be half braced panels located in all lintel bays and if applicable half braced panels located in both bays adjacent to the lintel.

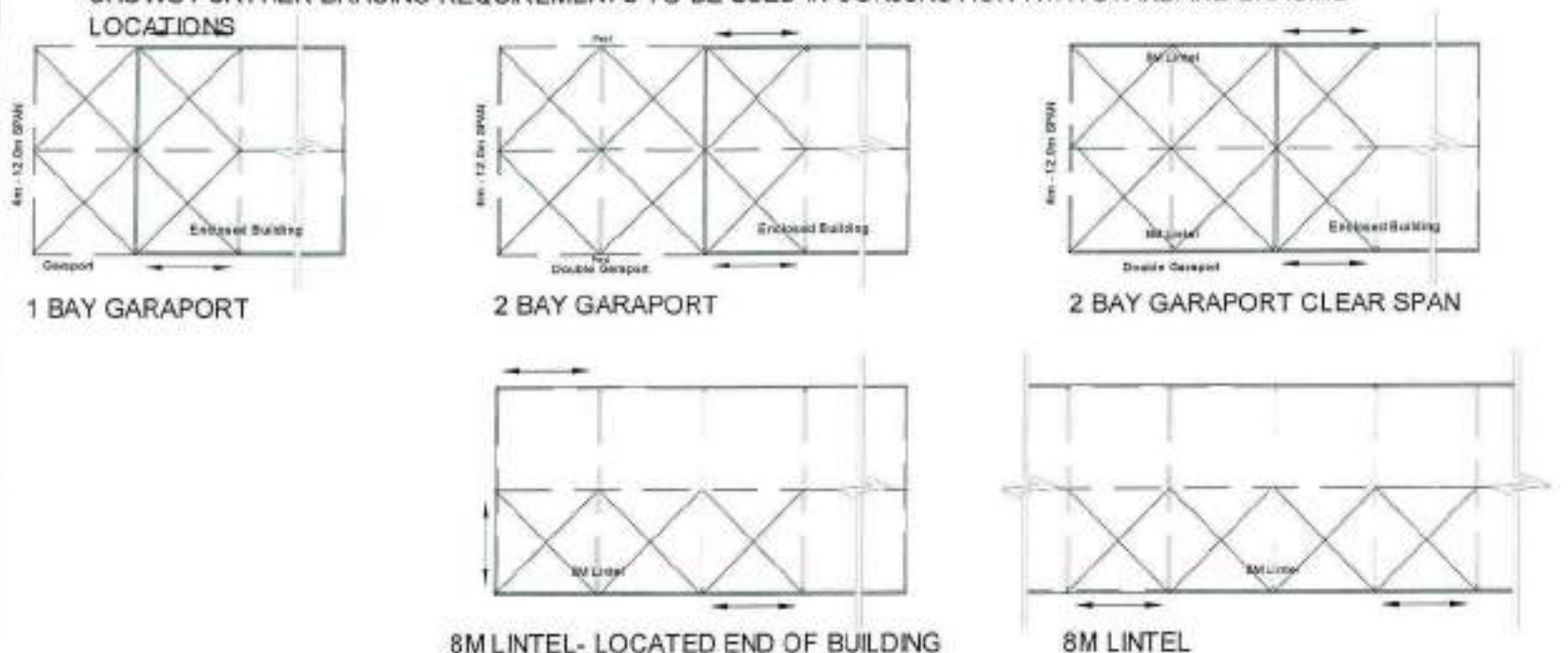
Refer to sheet 1 for single cross or double cross roof bracing patterns per bay per side.

4. SPECIFIC DESIGN:

Garaports: Garaports longer than two bays or on both ends of the building.

8.0M Lintels: Lintels in the same wall directly adjacent each other.

SHOWS FURTHER BRACING REQUIREMENTS TO BE USED IN CONJUNCTION WITH STANDARD BRACING LOCATIONS



SIDE WALL BRACING PANEL POSITIONS & RELOCATION



FREDERICK R SMITH
chartered consulting engineer

504 Blenheim Road
Christchurch
Phone 03 348 1521

I certify that buildings erected in accordance with these drawings will comply with the New Zealand Building Code.

F R Smith
BE (civil) MIPENZ MACENZ MEAUT
CPENG RPEO (6225)

TOTALSPAN

A Division of VERSATILE BUILDINGS LTD
112 WATERLOO ROAD, HORMBY
P.O. BOX 11-013, CHRISTCHURCH
PH: (09) 251 2305 FAX: (09) 262 1535

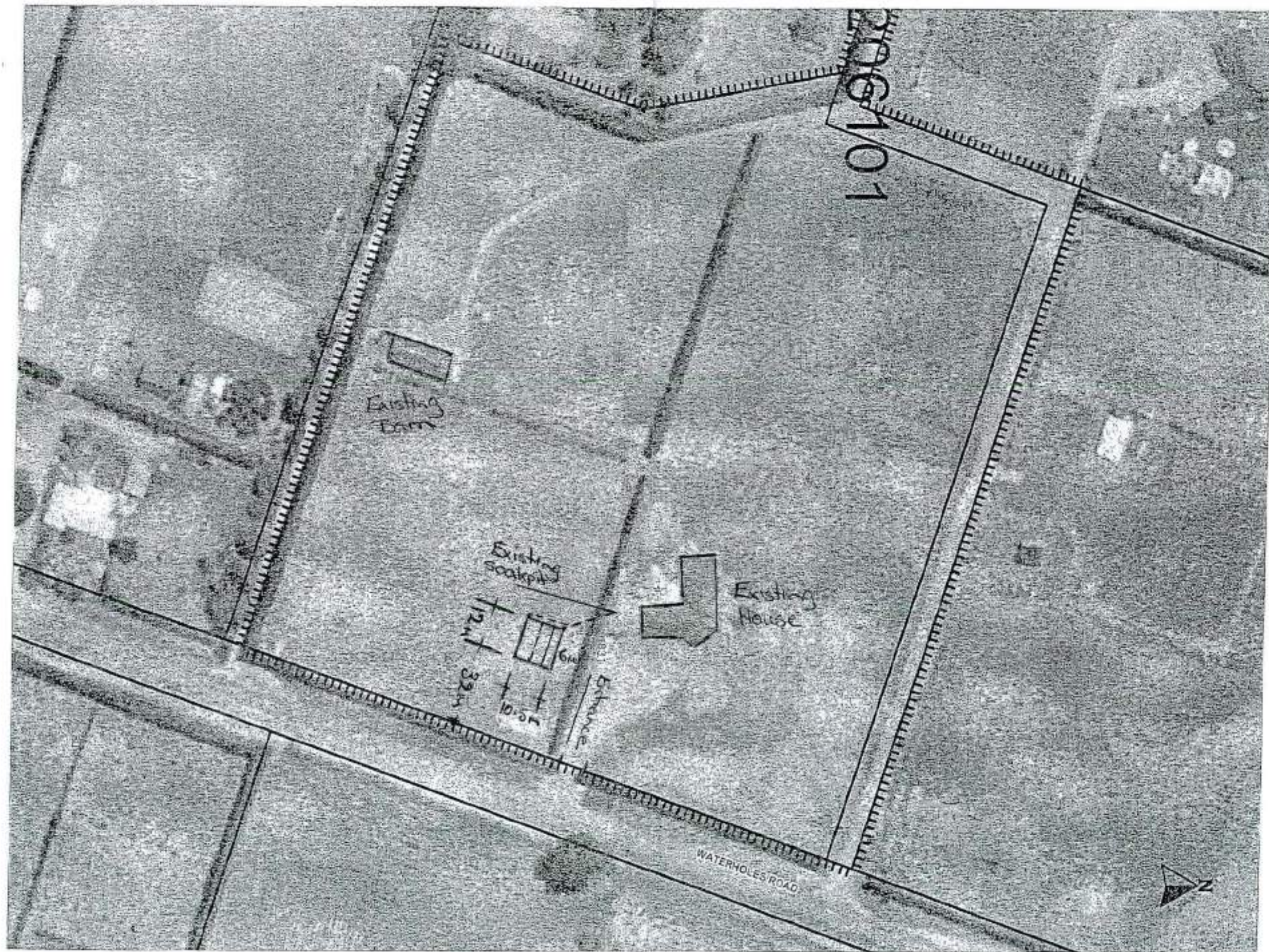
Drawing Title:

BRACING - ADDITIONAL REQUIREMENTS

For: David & Dianne Jarrett
839 Waterholes Road
Templeton
ChCh

090147

FILE COPY



Proposed
New Farm Shed
12m x 10.5 x 3.6m

Lot 1
DP 50079
3.5656 Hectares
More or less.

BUILDING CONSENT COSTINGS

Note:- DBH & BRANZ Levies are calculated automatically in the NCS system based on the Estimated Value of the project.

ADMINISTRATION

	UNITS	RATE/UNIT
Processing Consent	4 - 4	8
Issue, photocopy & administer consent CCC 6 +	3 + Mail 4	13
Inspection recording (Inspections x 3)	6	
ADMINISTRATION UNITS SUB-TOTAL	27	
	X	\$5.40
		\$ 145.80

PROCESSING

Processing Building Consent	5	
Further Information		
Truss Sign Off (BN03)		
Sign Off / Audit Approval	2	
PROCESSING UNITS SUB-TOTAL	7	
	X	\$8.00
		\$ 56.00

INSPECTIONS

1	20.01, 30.10	5	
2	10.01, 40.02, 70.01, 50.10, 70.21	10	
3			
4			
5			
6			
7			
8			
9			
10			
11			
12			
13			
14		15	
Inspections	2	X	Travel Time
			4
			=
			8
			Subtotal
			23
		X	\$8.00
			\$ 184.00
Inspections	2	X	Distance
			24
			=
			48
		X	\$0.70
			\$ 33.60

BUILDING NOTES

CONSULTANTS

Certificate of Title	\$ 10	Other (List):	\$
Producer Statement	\$ 15.00		\$
Water Connection Fee	\$		\$
Planning Check	1 x \$12.25		\$
	\$ 12.25		\$

LESS DEPOSIT \$ 200.00

INVOICE NUMBER: 70945

TOTAL CHARGES FOR CONSENT

\$ 375.20

BUILDING CONSENT RECORD

LEGAL
DESCRIPTION: Lot 1 DP50079

VALUATION NO: 23522-061-01

PROPERTY
ADDRESS: Wateholes Road Templeton

CONSENT NO: 090147

OWNER: Jarratt.

PROJECT
DESCRIPTION: 14 Farm Building

AGENT: Talalpa



Private Bag 1, Leeston
Phone (03) 324-3859
Fax (03) 324-3531

23 NOV 2009

Pim/Consent No B0002329

Application for BUILDING CONSENT

PLEASE FILL OUT THE FIRST TWO PAGES AND
THE LOCATION MAP.

TICK BOXES WHERE APPROPRIATE.

PROVIDE TWO COPIES OF ALL PLANS,
INFORMATION AND SPECIFICATIONS

APPLICANT*

Name: AR + J Turner

Mailing address: 10 Azalea Close

Templeton, Christchurch.

Contact (Print name and position):

Richard or Jenny Turner

Phone: 03 3492-361 Fax: 3492-037.

*Under section 30 of the Building Act 1991, the applicant must be the owner of the land on which building work is contemplated or a person who or which has agreed in writing, whether conditionally or unconditionally, to purchase the land or leasehold estate or interest in the land, or to take a lease in the land, while the agreement remains in force.

LEGAL DESCRIPTION

(As shown on certificate of title or rates notice)

Valuation Roll Number: 23522-06101

Lot: 1 DP: 50079

Section: Block:

Survey District:

LOCATION OF BUILDING WORK

Street address: Waterholes Rd

Broadfield.

Rapid Number (if available)

N/A

BUILDING WORK

Type of Building: Stables

New ☒ Change of Use ☐

Demolition ☐ Relocated ☐

Alteration ☐ Extension ☐

Intended Life:

Indefinite but not less than 50 years ☒

or specified as years

Being stage of an intended stages

Estimated value (incl GST): \$ 15,000.

No of Dwelling Units

Floorspace - Existing

Proposed 144 m²

No. of Storeys

This application is for:

- ☐ Project information memorandum only
☐ Building consent only, in accordance with project information memorandum no.
☒ Both building consent and a project information memorandum.

Signed by/for and on behalf of/the applicant

Note: If acting "for and on behalf of", please read the following declaration before signing:-

"I hereby declare that I am authorised to act as Agent of the Applicant".

Name Jenny Turner Position

Signature Date 20 / 11 / 09

KEY PERSONNEL

(Complete as far as possible in all cases. Give names, addresses, and telephone numbers. Give relevant registration numbers if known).

Designer(s): Name: R Turner Phone: 349 3617
Address: 12 Atalaia Clark, Templeton 3492 361
Building certifier(s): Name: _____ Phone: _____
Address: _____
Builder(s): Name: Paul Cameron Phone: 3494 676
Address: Templeton 021-
Registered drainlayer: Name: N/A Phone: _____
Address: _____
Craftsman plumber: Name: N/A Phone: _____
Address: _____
Other Trades: Name: N/A Phone: _____
Address: _____

CONFIDENTIALITY.

Plans and Specifications

- ☐ I/WE require that my/our ☐ plans ☐ specifications
☐ be treated as confidential in order to protect ☐ the security of the building ☐ copyright

Names

- ☒ I/WE require that my name/our names and addresses be treated as confidential other than for information memorandum enquiries.

Privacy Clause The information provided on this form will be used to process your building consent application. Council staff having direct access to this information include Regulatory and Engineering Design Services Departments. In appropriate circumstances, this information may be shared with the Fire Service, Valuation NZ and Engineering and Environmental Health Consultants assisting the Council. The information requested is required under the Building Act 1991. If insufficient information is provided you will be requested to supply the required information and your application will be suspended until the information is received. Under the Privacy Act 1993, you have a right of access to personal information about you held by the Selwyn District Council and you are entitled to request information about you to be corrected.

BUILDING DETAILS

This application is accompanied by :-

- ☒ The drawings, specifications, and other documents according to which the building is proposed to be constructed to comply with the provisions of the building code, with supporting documents, if any, including —
- ☐ Building certificates
 - ☐ Producer statements
 - ☐ References to accreditation certificates issued by the Building Industry Authority
 - ☐ References to determinations issued by the Building Industry Authority
- ☐ Proposed procedures, if any, for inspection during construction

PROJECT DETAILS

The project involves the following matters :-

- ☐ Location, in relation to legal boundaries, and external dimensions of new, relocated, or altered buildings.
- ☐ New provisions to be made for vehicular access, including parking.
- ☐ Provisions to be made in building over or adjacent to any road or public place.
- ☐ New provisions to be made for disposing of stormwater and wastewater.
- ☐ Precautions to be taken where building work is to take place over existing drains or sewers or in close proximity to wells of water mains.
- ☐ New connections to public utilities.
- ☐ Provisions to be made in any demolition work for the protection of the public, suppression of dust, disposal of debris, disconnection from public utilities, and suppression of noise.
- ☐ Any cultural heritage significance of the building or building site, including whether it is on a marae.

Code Compliance Certificate
002329

Section 43(3), Building Act 1991

APPLICANT

 A R & J TURNER
 10 AZALEA CLOSE
 TEMPLETON
 CHRISTCHURCH

Issue date 24/08/01

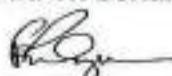
Project

Description	New Construction Being Stage 1 of an intended 1 Stage STABLES
Intended Life	Indefinite, but not less than 50 years
Intended Use	STABLES
Estimated Value	\$15,000
Location	WATERHOLES ROAD, BROADFIELD
Legal Description	LOT 1 DP 50079 WITH AN UNDIVIDED 1/6 SH IN LOT 5 D
Valuation No.	2352206101

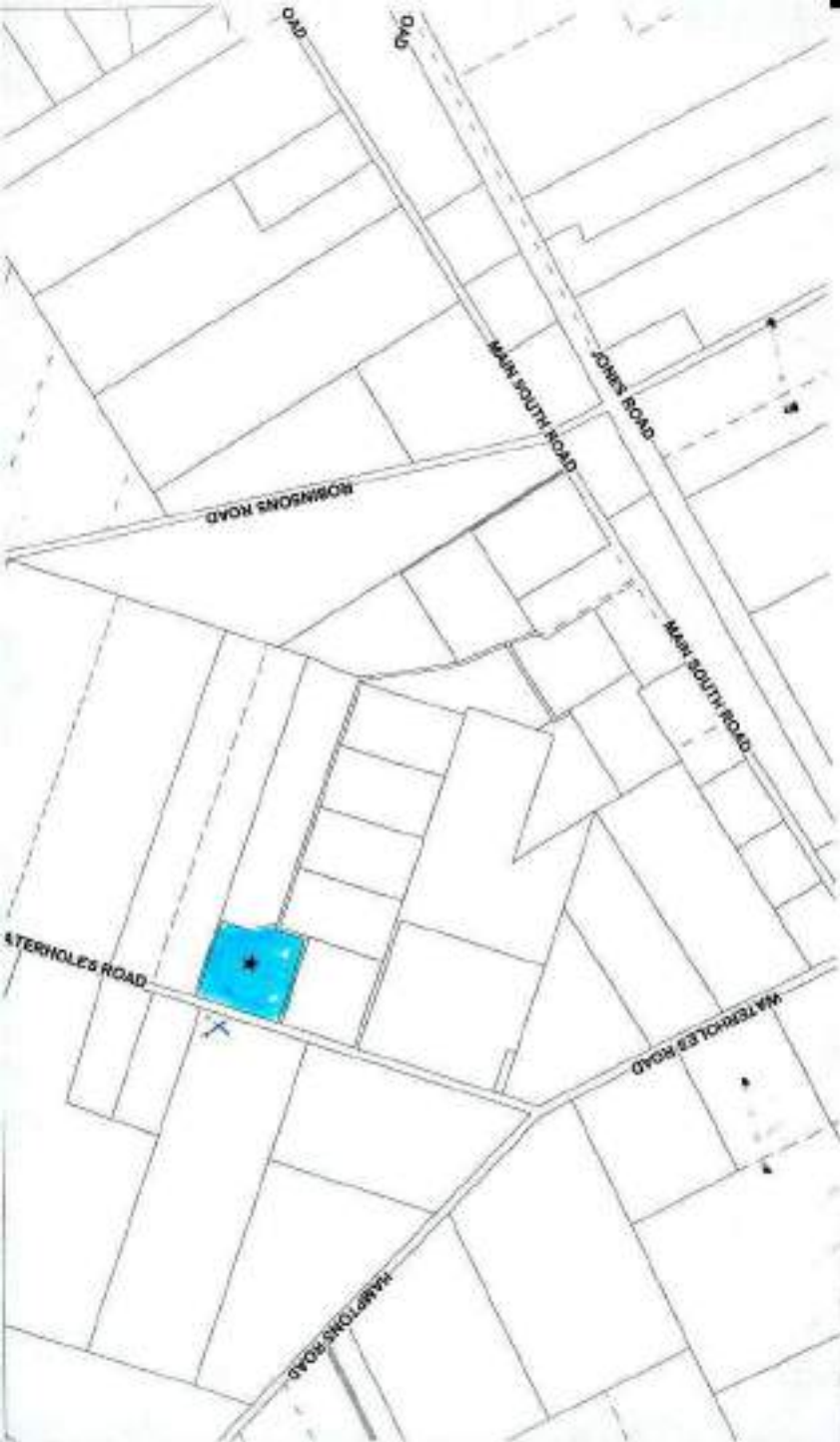
This is a final Code Compliance Certificate issued in respect of all the building work under the above building consent.

Signed for and on behalf of the Council:

Name:



Date: August 24, 2001

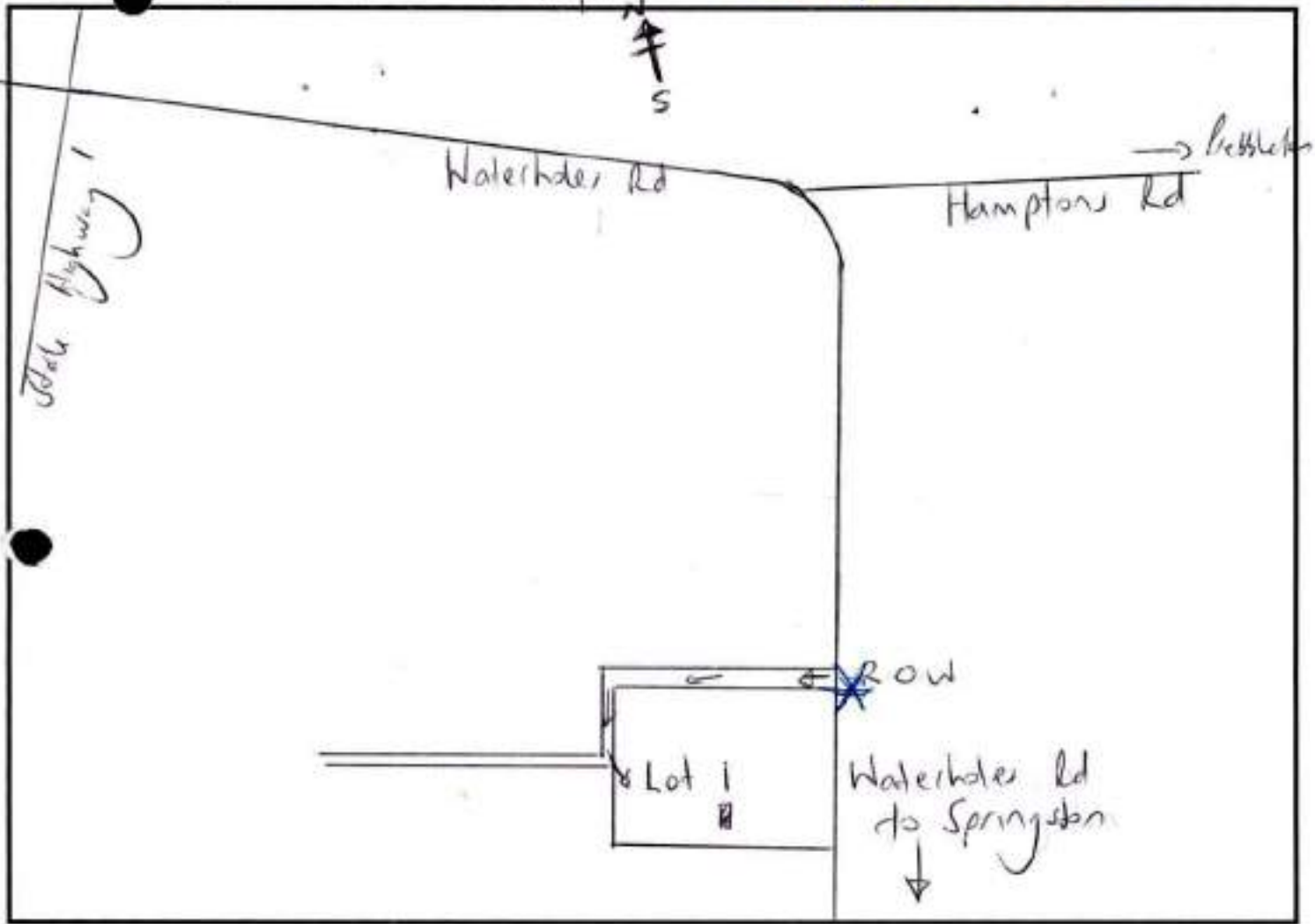


LOCATION MAP GIVING DIRECTIONS TO BUILDING SITE

Rapid Number (if available)

N/A

through
steeped fence



FOR OFFICE USE ONLY

Owners Name AR & J. TURNER Type of Building Work STABLES

Address WATERHOLES ROAD - BEAUFIELD

REFERRALS

	Signature	Date	Consent	Pim
Environmental Health Officer			☐	☐
Building Officer	<u>[Signature]</u>	<u>29/11/00</u>	☒	☒

CODE COMPLIANCE CERTIFICATES NOT YET ISSUED

Consent No	Type of Building Work

Valuation No 23522/061/01 Consent No BC002329

CONDITIONS

Consent No B0002329

C01, C22, C37, C39

2 INSPECTIONS ALLOWED

SITE INSPECTION / NOTES / NOTICE TO RECTIFY

N281900 / EQ: B / W: A / S: 0.4 / 40M

AMENDED DWG^s FORWARDED SHOWING ROOF CHANGED FROM
FLAT TO GABLE, REVISED DWG^s ~~APPROVED~~ APPROVED SENT
BACK TO APPLICANT

PR 26/3/01

NOTICE OF INSPECTION

 Owners Name: AR & S Turner

 Consent No. CD2329

 Site Address: Whitewholes Rd

 Officer: Mr. [Signature]
Broadfield

 Name: David

 Type of Building: Stables 4 Bay

Advice to the Owner/Agent/Occupier/Contractor by

☒ Direct Notification

☐ Telephone contact

☐ Leaving on site

☐ Posting

 On 16/08/01 at 9.30 am/pm this site was inspected pursuant to the Building Act 1991 [Section 77(1)] and the Local Government Act 1974. [Section 710]

 The purpose of the Inspection was: ☒ Structure ☐ Sanitary Plumbing ☐ Sanitary Drainage

☐ Siting
☐ Foundation
☐ Slab
☐ Preline/Bracing
☐ Post Lining Bracing
☐ Half Height Veneer

☐ Bondbeam
☐ Heating Unit
☐ Pole/Pole Holes
☐ Swimming Pool
☒ Stormwater
☐ Other (Specify)

☐ Resource Consent
☐ Complaint
☐ Compliance Schedule
☒ WOF Monitoring
☒ Final
☒ CCC Issue - Yes ☒ No ☐ Partial

 BUILDING WORK: MAY PROCEED MAY NOT PROCEED REINSPECTION: YES NO

INSPECTION NOTES:

Final inspection complete.
Pole - Rafter connections. 2 x 6 pole.
Rafter - Rafter connections 3x6x8x8.
Wall bracing.
Roof cladding (color steel).
and building paper.
Looking good.

W
David.

 Owner/Builder/Contractor confirms floor height is as recommended by CRC ☐

INSTRUCTIONS:

 All work inspected is in accordance with the Building Consent. ☒

Some work is not satisfactory or is incomplete, as detailed above, and rectification is required.

A formal notice to rectify will be issued.

SIGNED: Contractor/Owner/Agent/Occupier:

[Signature]

Owners Name: AROS Turner

 Consent No: B-02329

 Site Address: Waterholes Road

 Officer: [Signature]
Broadfield

 Name: Richard

 Type of Building: Stables

Advice to the Owner/Agent/Occupier/Contractor by

☐ Direct Notification

☒ Leaving on site

☐ Telephone contact

☐ Posting

 On 23/1/01 at 9:20am this site was inspected pursuant to the Building Act 1991 [Section 77(1)] and the Local Government Act 1974. [Section 710]

 The purpose of the inspection was: ☒ Structure ☐ Sanitary Plumbing ☐ Sanitary Drainage

☒ Siting

☐ Foundation

☐ Slab

☐ Preline/Bracing

☐ Post Lining Bracing

☐ Half Height Veneer

☐ Bondbeam

☐ Heating Unit

☒ Pole/Pole Holes

☐ Swimming Pool

☐ Stormwater

☐ Other (Specify)

☐ Resource Consent

☐ Complaint

☐ Compliance Schedule

☐ WOF Monitoring

☐ Final

☐ CCC Issue - Yes No Partial

 BUILDING WORK: MAY PROCEED MAY NOT PROCEED REINSPECTION: YES NO

INSPECTION NOTES:

Post hole inspection

All post holes appear to be in accordance with the building Consent

please ensure adequate concrete around posts, and also underneath, clear of loose dirt after pouring

Owner/Builder/Contractor confirms floor height is as recommended by CRC

☐
INSTRUCTIONS:

 All work inspected is in accordance with the Building Consent. ☒

Some work is not satisfactory or is incomplete, as detailed above, and rectification is required.

A formal notice to rectify will be issued.

SIGNED: Contractor/Owner/Agent/Occupier: _____

25 March, 2001

To: Selwyn District Council,
Private Bag 1,
Leeston.

Attention Mr L.K Faulkner,
Technical Building Officer.

Re: Building Consent 002329 - Stables.

As a result of the "untidy" initial placement and concreteing of poles into position (i.e. the barn was square but central poles poorly placed), we would like to change the shape of the proposed barn from a lean to type to a gable roof. This is to reduced to optical illusion these poles create.

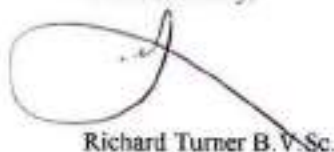
As to this stage the holes were checked by the SDC, bored to 1.4 m.
17.5 mPA Concrete was poured in the bottom 0.4m of the hole before pole placement and a further 1.0 m of concrete about the poles to fix them.

Enclosed are revised plans for this change.

The rafters have been cut and nailed in place, in anticipation of this being in order.
We would appreciate being able to proceed with bolting the rafters and the purlins placed on Saturday 31 March 2001, and the roof being placed on Monday the 2 April 2001.

Could you please advise of any changes required on the plans, if any, for the building to proceed.

Yours sincerely,



Richard Turner B. V. Sc.

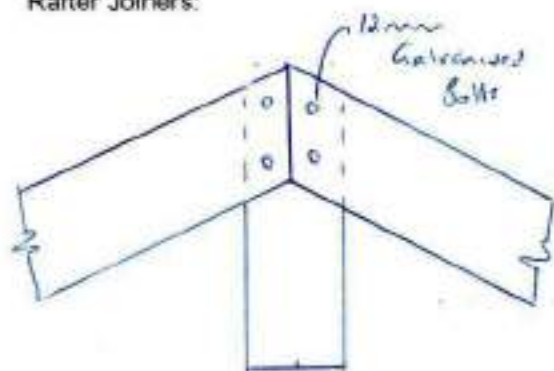
FILE COPY
BC 002329

23522/061/01

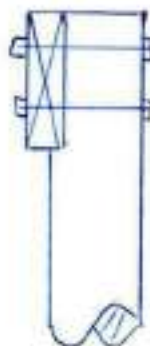
Specifications for Barn, Waterholes Rd, R.D. 5, Broadfields.

- Poles: 150mm diameter, set in 500*500mm * 1 metre deep concrete. (holes 1.4 m deep, 0.4 concrete in bottom)
- Rafters: 200*50mm checked into poles, and bolted with two 12mm galv. bolts and washers
- Double Rafters: Spaced with 200*50mm purlin blocks at 800mm centres.
- Purlins: 10 rows 150*50mm at 800mm centres.
Purlins fixed to rafters with joist hangers.
- Girds: 150*50mm on flat, let into poles,
4 rows at 1000mm centres.
- Roof Bracing: - Metal braced as indicated.
- Diagonals thru centre of each bay.
- Iron: 0.4-gauge colour steel.
Nailed at 150mm centres.
Building Paper - Netting in roof.

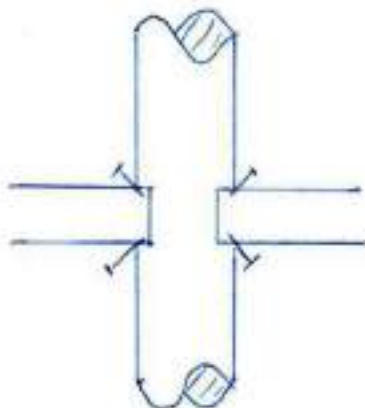
Rafter Joiners:



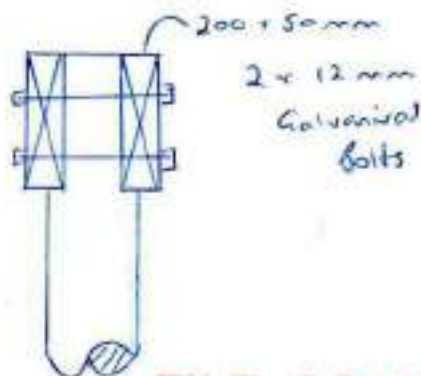
Single Rafters:



Gird Joint:



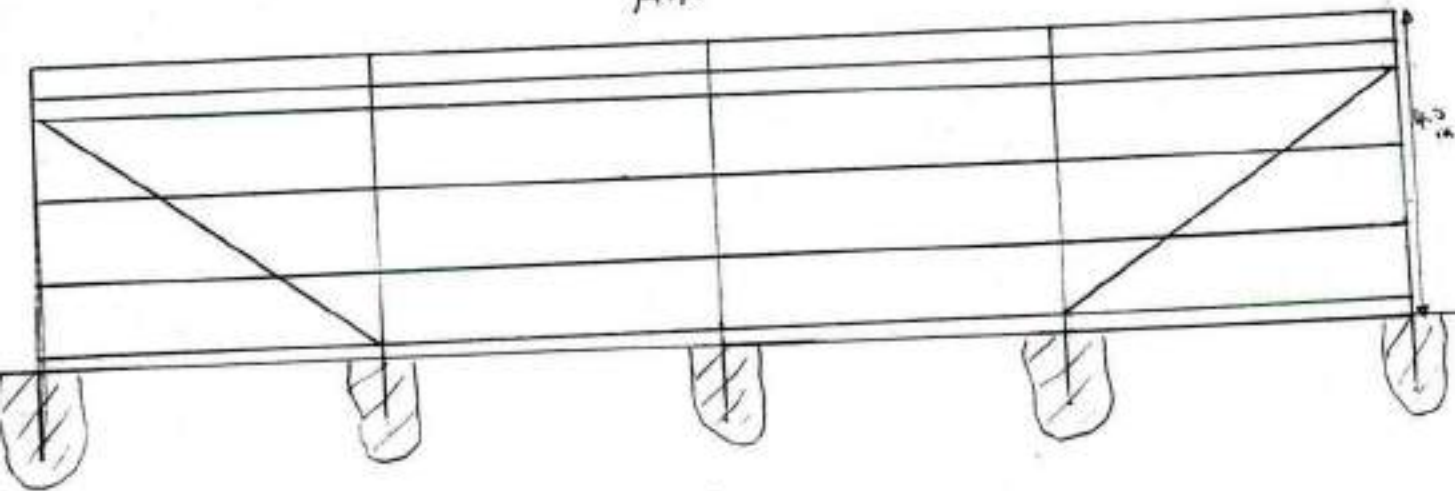
Double Rafters:



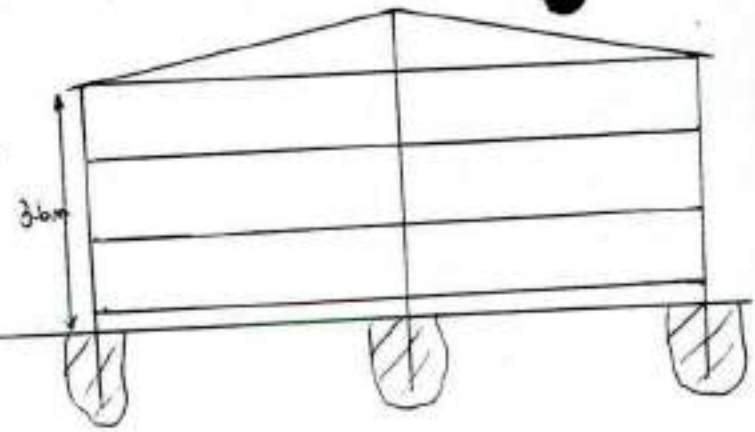
FILE COPY
Bc 002329

12/3/01
Revised Barn for AR-J Turner, Wotulake Rd Broadfields

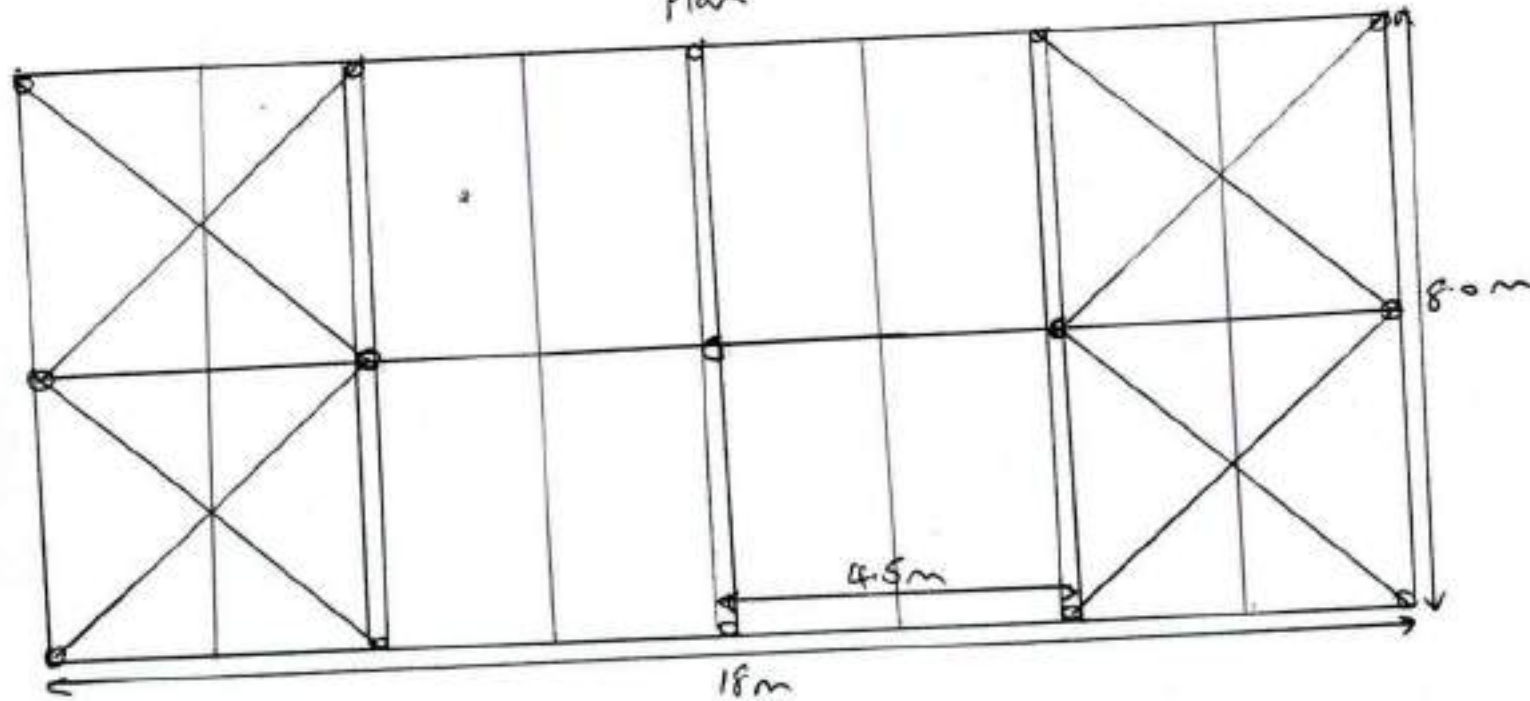
A.P.



Lateral



Plan



FILE COPY
BC00 2329

FILE COPY

REF No. _____

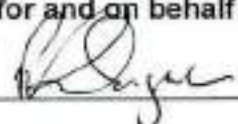
Building Consent**002329****Section 35, Building Act 1991****Application**A R & J TURNER
10 AZALEA CLOSE
TEMPLETON
CHRISTCHURCHIssue date 1/12/00
Application date 24/11/00**Project**

Description	New Construction Being Stage 1 of an intended 1 Stage STABLES
Intended Life	Indefinite, but not less than 50 years
Intended Use	STABLES
Estimated Value	\$15,000
Location	WATERHOLES ROAD, BROADFIELD
Legal Description	LOT 1 DP 50079 WITH AN UNDIVIDED 1/8 SH IN LOT 5 D
Valuation No.	2352206101

COUNCIL CHARGES

This consent will be issued when the quoted costs are paid in full. The quote was sent to you earlier with the Project Information Memorandum Document. Where any work fails to meet required standards a re-inspection of that work may be required. Costs associated with that re-inspection will be invoiced separately as identified in the quote. These inspections are extra charges over and above the quoted costs.

This building consent is a consent under the Building Act 1991 to undertake building work in accordance with the attached plans and specifications so as to comply with the provisions of the building code. It is not a consent under the Resource Management Act and does not affect any duty or responsibility under any other Act nor permit any breach of any other Act.

Signed for and on behalf of the Council:Name: 

Date: 1/12/00

INFORMATION TO APPLICANT/OWNER

1. **PLEASE NOTE:** In terms of the Building Act you **MUST BY LAW** give:
 - (a) At least 2 working days notice of the intended commencement of construction.
 - (b) Advise that an inspection is required at least one working day (24 hours) before the inspection is to be carried out and prior to 4.00pm that day.
2. ALL inspections are to be booked through the Leeston Service Centre of Selwyn District Council. Ph. 324 8080 Extn. 848 (Christchurch calling area) or 318 8338 Extn. 848 (Darfield calling area).
3. The complete set of Building plans and specifications as approved for the issue of this consent (stamped) **MUST** be on site at ALL times when inspections are being carried out.
4. This Building Consent is issued subject to any condition or requirement set out in the associated Project Information Memorandum.
5. This Building Consent shall lapse and be of no effect if the building work concerned has not been commenced within six calendar months after the date of issue of the consent.
6. Builders and applicants for building consents are advised that it is necessary to provide construction workers on site with readily accessible toilet facilities. Failure to meet this request will result in Council taking action under the Health Act against any person identified as responsible for creating insanitary conditions.
7. **NOTE:** These should not necessarily be taken as individual inspections and may be requested in any combination as they are made ready.

This building consent is issued subject to the conditions specified below.

Selwyn District Council Officers will carry out the following inspections:

- C22 Pole hole excavations.
- C37 Reinspection to confirm remediation of non-complying work as considered necessary by the Building Inspector.
- C39 Final inspection for issue of the Code Compliance Certificate.

NOTE

1. THE ISSUE OF THIS BUILDING CONSENT DOES NOT:
 - (A) RELIEVE THE OWNER OF THE BUILDING, OR PROPOSED BUILDING, TO WHICH THE BUILDING CONSENT RELATES OF ANY DUTY OR RESPONSIBILITY UNDER ANY OTHER ACT RELATING TO OR AFFECTING THE BUILDING OR PROPOSED BUILDING; OR
 - (B) PERMIT THE CONSTRUCTION, ALTERATION, DEMOLITION OR REMOVAL OF THE BUILDING IF THAT CONSTRUCTION, ALTERATION, DEMOLITION OR REMOVAL WOULD BE IN BREACH OF ANY OTHER ACT.
2. INCLUDED WITH YOUR BUILDING CONSENT YOU WILL FIND A FORM HEADED "ADVICE OF COMPLETION OF BUILDING WORK". IT IS IMPORTANT THAT ON COMPLETION OF ALL WORK, THIS IS COMPLETED AND RETURNED.

FILE COPY

REF No.

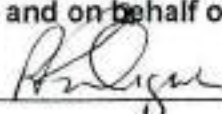
Project Information Memorandum**002329****Section 31, Building Act 1991****Application**A R & J TURNER
10 AZALEA CLOSE
TEMPLETON
CHRISTCHURCHIssue date 30/11/00
Application date 24/11/00**Project**

Description	New Construction Being Stage 1 of an intended 1 Stage STABLES
Intended Life	Indefinite, but not less than 50 years
Intended Use	STABLES
Estimated Value	\$15,000
Location	WATERHOLES ROAD, BROADFIELD
Legal Description	LOT 1 DP 50079 WITH AN UNDIVIDED 1/6 SH IN LOT 5 D
Valuation No.	2352206101

This project information memorandum is confirmation that the proposed building work may be undertaken, subject to the provisions of the Building Act 1991, and any requirements of the building consent.

This project information memorandum includes:

___ Information identifying relevant special features of the land concerned.

Signed for and on behalf of the Council:Name: 

Date: 1/12/00

BUILDING INFORMATION

The building which is the subject of this application is to be designed in accordance with the loadings set out in NZS 1900 : Chapter II Div. 11.2 1985 for the site on which it is to be constructed.

Those loadings criteria are to be identified on the application to complement confirmation of the design.

Earthquake Zone	:B
Site Wind Speed	:44m/sec high
Snow Load [Sg]	:0.4 kPa
Altitude	:40m

1]

Solid foundation bearing (at least 300 kPa ultimate capacity) should be available at this site. (this equates to 100 kPa serviceability bearing capacity) N.Z.S. 3604 : 1999.

2]

ZINCALUME PRODUCTS:

These products must be installed in accordance with the manufacturer's recommendations and should take into account the need to avoid the following:

- (a) Extended contact with water (ponding)
- (b) Electrolytic corrosion through contact with dissimilar metals, including fixings.
- (c) Corrosion through proximity to the ground or materials such as animal wastes.

3]

All building work shall comply with the New Zealand Building Code notwithstanding any inconsistencies that may occur in the drawings and specifications.

Plumbing & Drainage Information:

1]

Building not to be erected over any existing drain or sewage treatment and disposal system.

2]

Not to be used for human habitation.

Planning Comments BC002329

Activity: Stables
Zoning: Rural 3 Paparua

☒ Permitted ☐ Controlled ☐ Discretionary ☐ Non-Complying
☐ Prohibited ☐ Existing Use

Previous resource consents granted/refused?

None known

Designations:

N/A

Special Land Features

N/A

PERFORMANCE STANDARDS

Performance Element	Comments
Setback from Road	7.5 m minimum
Setback from other boundaries	6 m minimum
Separation Distances	3 m minimum from any building 15 m minimum from a dwelling
Setback from waterways	7.5 m minimum setback
Loading	All loading / unloading to be done onsite.

COMMENTS

The proposed stables as long as there are no other buildings or waterways in the surrounding area complies with the relevant planning requirements.

01 December 2000

A R & J TURNER
10 AZALEA CLOSE
TEMPLETON
CHRISTCHURCH

Dear Sir/ Madam

REINSPECTION IF REQUIRED FOR BUILDING CONSENT 002329 STABLES

When you lodged your application for a Project Information Memorandum (PIM) and Building Consent, a deposit fee towards the cost of the consent was paid to Council, which was GST inclusive.

Your application is now being processed and once compliance with the Building Code has been confirmed your consent will be issued.

The quote given on the next page is for the work involved with the application including processing, inspections, travel, consultants' fees such as engineering, fire service, planning etc. (as required) and the issue of the Code Compliance Certificate (CCC) for finishing of the project. It is based on all information being made available with the application to allow processing and issue of the consent and the stated number of inspections for the work.

If all the necessary information is not provided, changes are made to the project, or the work fails to meet the required standard on site, and a reinspection is deemed necessary, extra cost will be incurred. These will be invoiced separately.

Reinspection work will be charged at \$102.00 per inspection (GST inclusive).

Total costs for this Building Consent are as per the attached invoice.

Your consent will be issued if all information and compliance with the Building Act and associated Regulations have been achieved and upon receipt of the amount stated.

Any enquiries regarding this quote please call Lance Faulkner on 3245-833 (direct dial).

Yours faithfully

L K Faulkner
TECHNICAL OFFICER BUILDINGfor K L Harmer
REGULATORY**MANAGER**



HIGH STREET, LEESTON
PRIVATE BAG 1, LEESTON
PH: (03) 324-8080 FAX: (03) 324-3531

REF No.

TAX INVOICE ONLY

A R & J TURNER
10 AZALEA CLOSE
TEMPLETON
CHRISTCHURCH

GST REG No. 53-113-451
Cust No. BC002329
1/12/00

Tax Invoice 52548

002329 : WATERHOLES ROAD, BROADFIELD
STABLES

Qty	Description	Rate	Amount
	ADMINISTRATION/PROCESSING/ISSUE FEE		154.20 *
	PLANNING & ENGINEERING		27.00 *
	INSPECTIONS (INCL. TRAVEL)		179.60 *
(* Incl Gst	\$40.09)	Total	\$360.80
		Cash Received	100.00CR
		NET DUE	260.80

SERVICE
CENTRES

LEESTON
HIGH STREET, LEESTON
PH: (03) 324-8080

DARFIELD
SOUTH TERRACE, DARFIELD
PH: (03) 318-8416

LINCOLN
GERALD STREET, LINCOLN
PH: (03) 325-3288

ROLLESTON COMMUNITY CENTRE
ROLLESTON DRIVE, ROLLESTON
PH: (03) 347-9669



HIGH STREET, LEESTON
PRIVATE BAG 1, LEESTON
PH: (03) 324-8080 FAX: (03) 324-3531

REF No.....

30/11/00

A R & J TURNER
10 AZALEA CLOSE
TEMPLETON
CHRISTCHURCH

Dear Sir/Madam

PROJECT INFORMATION MEMORANDUM - ref: 002329

Please find enclosed your Project Information Memorandum in respect of the
proposed: STABLES
at: WATERHOLES ROAD, BROADFIELD.

Your application for a Building Consent in respect of the above proposal
is being processed and will be issued when all relevant information has
been received.

This Project Information Memorandum may reveal matters affecting compliance
with the Building Act 1991. You are advised to check the attached memorandum
thoroughly as this may affect the ability of your Project to be processed for
a building consent.

In the event that you wish the processing of the Building Consent application
to be cancelled or suspended, please notify the Council as soon as possible
as you are charged for all processing and inspections carried out on a time
and cost basis.

Additional fees that may be payable in respect of your application for the
Project Information Memorandum and Building Consent ref: 002329 will be
invoiced separately.

Please quote the above reference No. in all communication with the Council.

Yours faithfully

TECHNICAL OFFICER

*** NB: THIS IS NOT A BUILDING CONSENT ***

SERVICE
CENTRES

LEESTON
HIGH STREET, LEESTON
PH: (03) 324-8080

DARFIELD
SOUTH TERRACE, DARFIELD
PH: (03) 318-8416

LINCOLN
GERALD STREET, LINCOLN
PH: (03) 325-3288

ROLLESTON COMMUNITY CENTRE
ROLLESTON DRIVE, ROLLESTON
PH: (03) 347-9069

PIM APPLICATION WORK SHEET

NAME TURNER

CONSENT NO. Bc002329

BUILDING: Winton / Richard / Sue / Fiona / Philip

date req'd 27/11/00

EHO: Alan / Peter

date req'd _____

PLANNER: Tim / Rosie pm 30/11/00

date req'd 28/11/00

EDS: Andrew / Ray

date req'd _____

BUILDING

NZS 3604: 1990

NZS 3604: 1999

NZS 1900

NZS 4203

Earth: B

Wind: H.

Snow: 0.4

Altitude: 90M

PIM INFO PB10, PB15, PB17,

MORE INFO REQUEST LETTER _____

PLUMBING & DRAINAGE

PIM INFO P16, P26.

MORE INFO REQUEST LETTER _____

Consent No. BC C02329

CODE COMPLIANCE ISSUE

\$ 45.00 (i)

ADMINISTRATION

Processing P.I.M.

7

Processing Consent

6+3

Administration total units

16x 4.50 \$ 72.00 (ii)

BUILDING

Processing P.I.M.

A 3

Processing Consent

B 3

HEALTH

Processing P.I.M.

C

Processing Consent

D

total A+B+C+D

6x 6.20 \$ 37.20 (iii)

Extra Admin. etc.

\$ (iv)Processing Total (i+ii+iii+iv) \$ 154.20

1	<u>C22</u>	<u>3</u>
2	<u>C39</u>	<u>3</u>
3		
4		
5		
6		
7		
8		
9		
Total E		<u>6</u>

Inspections x traveltime

2

x

8

= F

16

Total E + F =

22x 6.20 \$ 136.40

Inspections x distance

2

x

48

96

x 45

\$ 43.20Inspection total \$ 179.60

CONSULTANTS

PLANNING

4x 6.75 \$ 27.00

ENGINEERING

\$

OTHERS

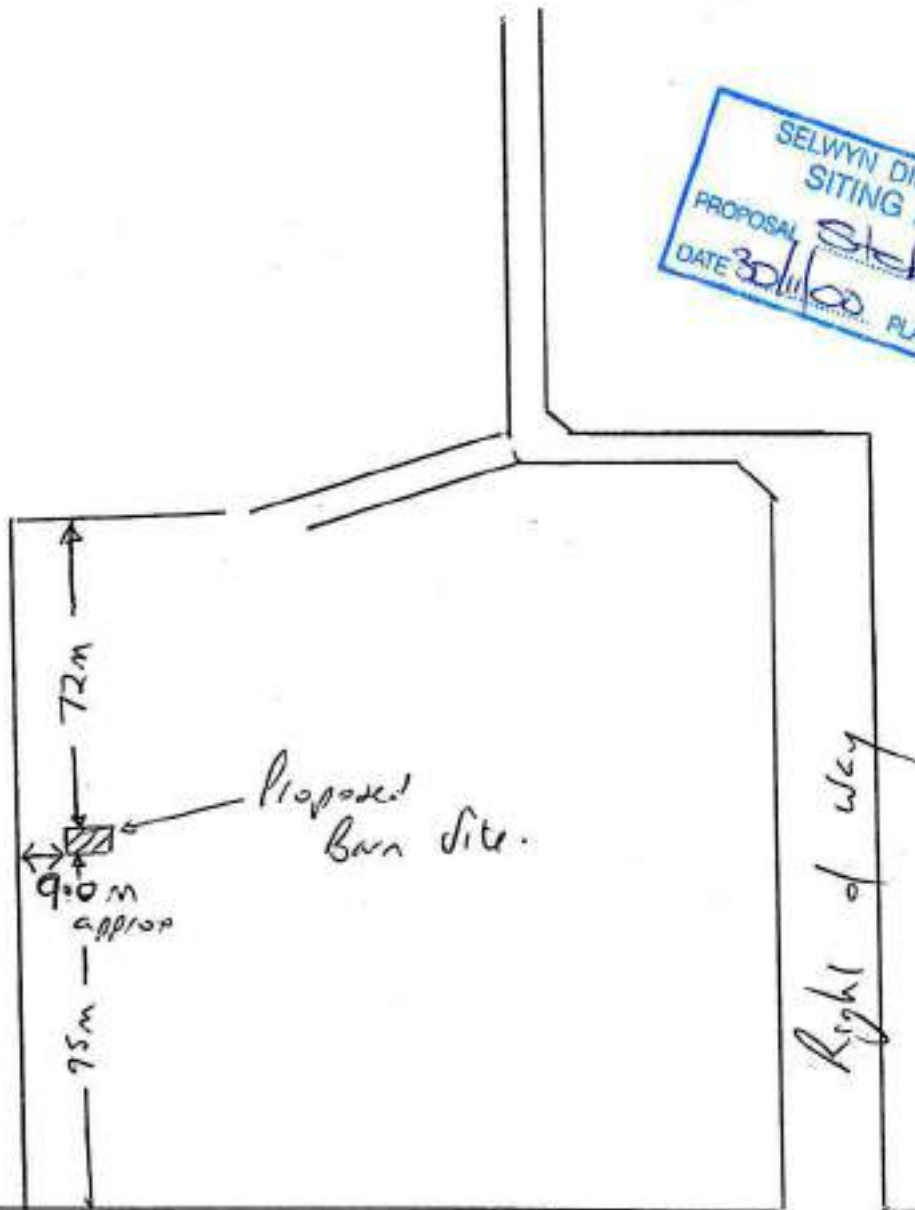
\$ Consultants total \$ Total \$ Less deposit paid \$ 100.00Quote \$

INFORMATION		COMMENT
Intended Use		
<i>habitable</i>		
<i>non-habitable</i>		
<i>definition required (schedule)</i>		
Site		
<i>flood zone</i>		
<i>ground bearing</i>		
<i>notifications other authorities</i>		
Fire Wall		
Floor Slab		
<i>mesh</i>		
<i>DPC</i>		
Foundation		
<i>reinforcing</i>		
<i>depth/width</i>		
<i>engineer certification</i>		
Piles		
<i>pile bracing</i>		
<i>pile fixings</i>		
Truss Design		
<i>wind speed</i>		
<i>snow load</i>		
<i>roof cladding</i>		
<i>heavy/light</i>		
Bracing		
<i>calculations</i>		
<i>layout plan</i>		
Garage Lintel		
<i>type</i>		
<i>P/Statement</i>		
Lintels/Beams		
<i>span</i>		
<i>cantilevered lintels</i>		
Producer Statement		
<i>assumptions</i>		
<i>work covered (specifically)</i>		
<i>drawings</i>		
Insulation		
Heating Type		
<i>specifications</i>		
<i>interior environment G5</i>		
Ventilation		
<i>window safety-glass</i>		
<i>natural lighting</i>		
<i>extract ventilation G4</i>		

INFORMATION		COMMENT
Exterior cladding		
<i>masonry veneer</i>		
<i>70/100 series</i>		
<i>stucco/plaster</i>		
<i>fibre cement</i>		
<i>weatherboard</i>		
<i>other</i>		
2nd storey		
<i>joist length</i>		
<i>supporting beams</i>		
<i>roof bracing</i>		
<i>2nd storey bracing</i>		
<i>load bearing walls</i>		
<i>stud sizing, long studs</i>		
<i>stairs/handrails spacings</i>		
<i>balconies/stairs from</i>		
<i>safety from falling</i>		
Fire C1 – C4		
<i>means of escape</i>		
<i>structural stability</i>		
<i>access routes</i>		
Access & Facilities D1		
Compliance Schedule		
<i>lighting F6</i>		
<i>warning systems F7</i>		
<i>signs F8</i>		
Water		
<i>supply</i>		
<i>backflow</i>		
<i>plumbing</i>		
Sewer		
<i>drainage</i>		
<i>disposal effluent</i>		
Stormwater		
<i>need for consent</i>		
Food Preparation G3		
Gas G10 – G11		
Sound		
<i>tenancy separation G8</i>		
Demolition		
Services		
Swimming Pools		
<i>fencing</i>		
<i>hydrostatic valve</i>		
<i>non-slip surfaces</i>		
Farm Building		
<i>timber sizes</i>		
<i>pole hole depth/size</i>		
<i>bracing</i>		

Comments: _____

Consent No.: Bc002329



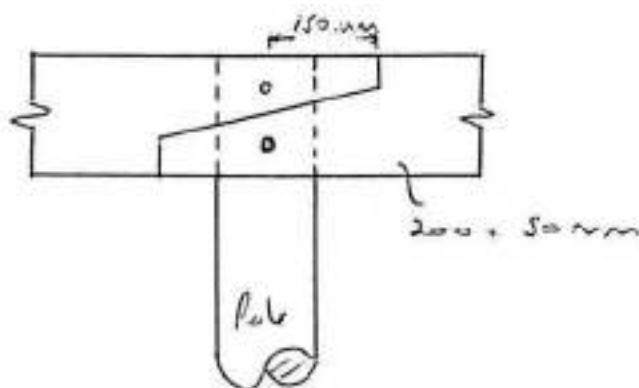
Waterhole Rd

FILE COPY
BC002329

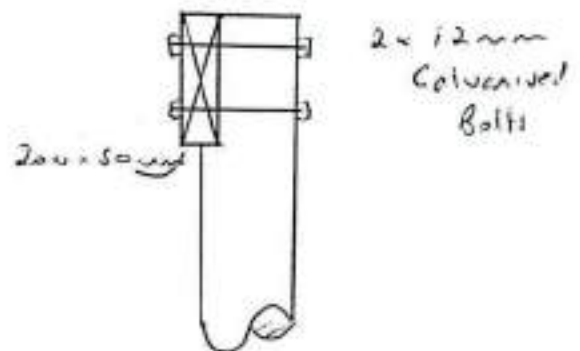
Specifications for Barn, Waterholes Rd, R.D. 5, Broadfields.

- Poles: 150mm diameter, set in 500*500mm * 1 metre deep concrete.
- Rafters: 200*50mm checked into poles, and bolted with two 12mm galv. bolts and washers.
- Double Rafters: Spaced with 200*50mm purlin blocks at 800mm centres.
- Purlins: 10 rows 150*50mm at 800mm centres.
Purlins fixed to rafters with joist hangers.
- Girds: 150*50mm on flat, let into poles.
4 rows at 1000mm centres.
- Roof Bracing: Metal braced as indicated.
- Iron: 0.4-gauge colour steel.
Nailed at 150mm centres.
Building Paper - Netting in roof.

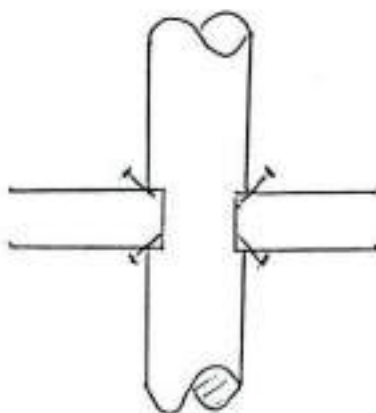
Rafter Joiners:



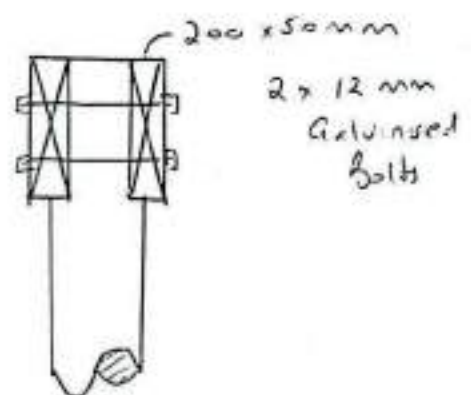
Single Rafters:



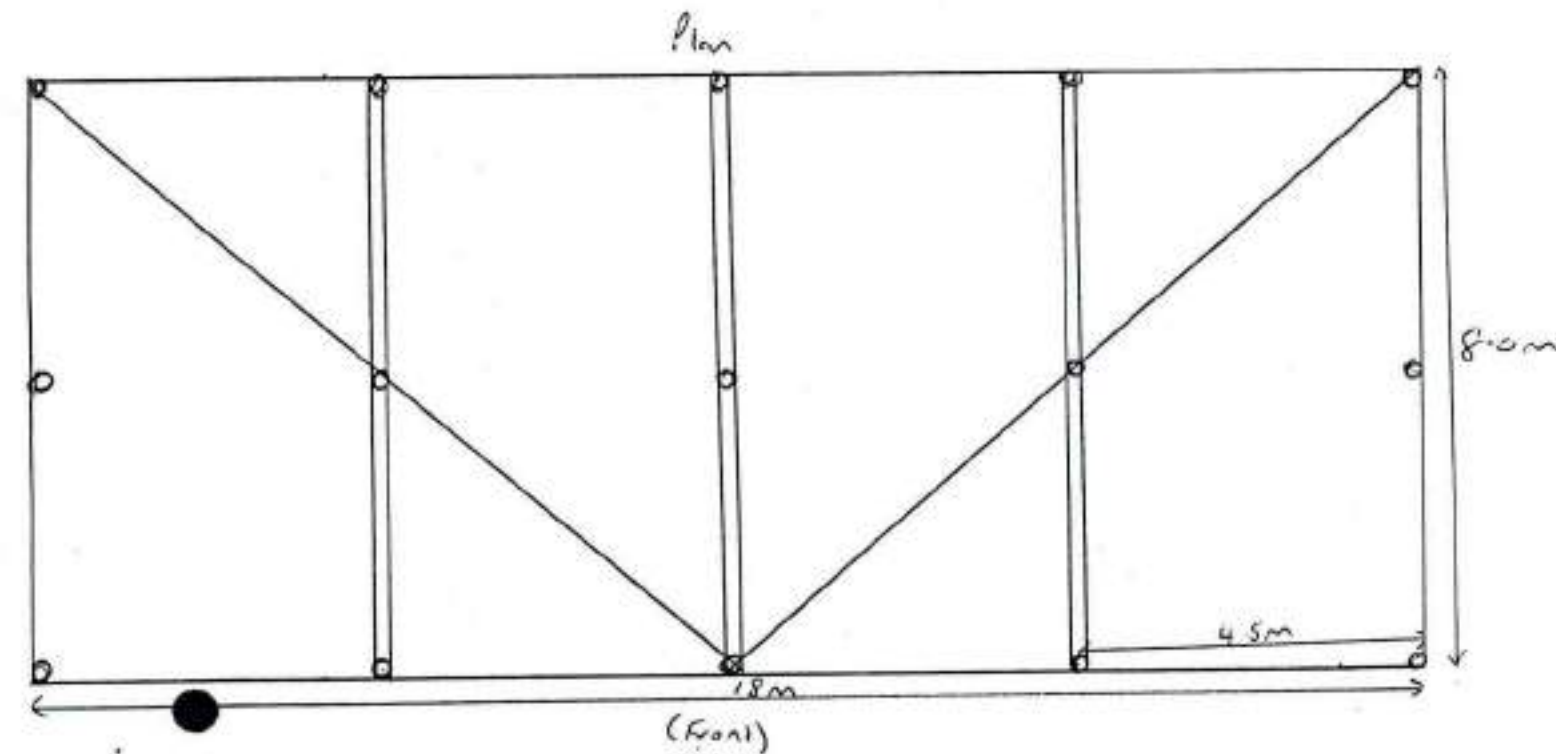
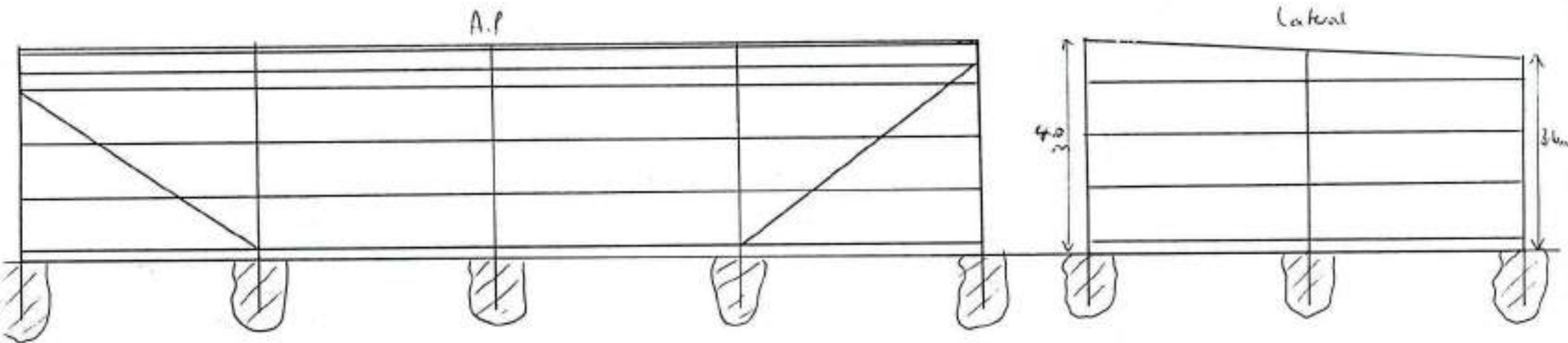
Gird Joint:



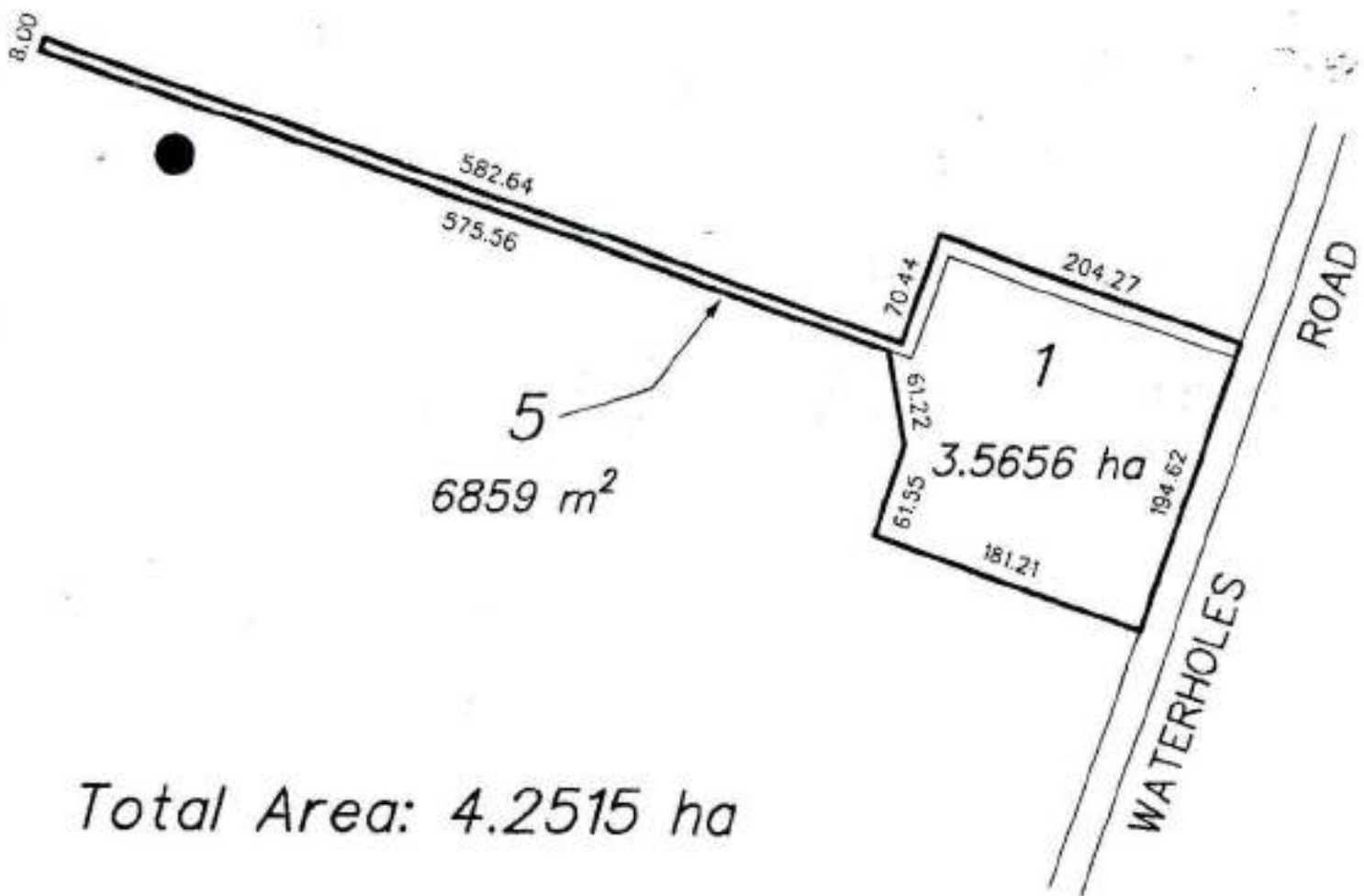
Double Rafters:



Proposed Barn for A.R.-J Turner Watershed Rd Broadfield



FILE COPY
B2002329



Total Area: 4.2515 ha

FILE COPY
8202327

Reference:

Prior CT: 30A/1166-1176

Document: A445158.22



LT69

47B/509

CERTIFICATE OF TITLE UNDER LAND TRANSFER ACT 1952

This Certificate dated the 9th day of February Two Thousand under the seal of the Registrar-General of Land, New Zealand, for the Land Registration District of CANTERBURY

WITNESSETH that **PORTLAND INVESTMENTS LIMITED**

is seized of an estate in fee simple (subject to such reservations, restrictions, encumbrances and interests as are notified by memorial endorsed hereon) in the land hereinafter described, delineated on the plan hereon, be the several admeasurements a little more or less, that is to say: All that parcel of land containing 3.5656 hectares, more or less being **LOT 1 DEPOSITED PLAN 50079** and an undivided sixth share in 6859 square metres more or less being **LOT 5 DEPOSITED PLAN 81942**



Subject to Section 241(2) and Section 242(1) and (2)
Resource Management Act 1991 by The Selwyn District
Council (affects DP 81942)

Subject to Section 206 Land Act 1924 (affects the part
formerly contained in CT 27A/445)

A237214.2 Mortgage to Trust Executors and
Agency Company Ltd, Limited of 13.3.1996 at
11.06 (affects the parts formerly contained in CT
30A/1166) Transfer

A445158.16 Easement certificate specifying intended
easements on DP 81942

NATURE	SERVIENT LAND	DOMINANT LAND
Right to convey water	Lot 7 DP 50079 CT 47B/505 - K	Lot 1 DP 50079

"	Lot 6 DP 50079 CT 47B/514 - L	"
---	----------------------------------	---

"	Lot 5 DP 50079 CT 47B/513 - M	"
---	----------------------------------	---

"	Lot 4 DP 50079 CT 47B/512 - N	"
---	----------------------------------	---

"	Lot 3 DP 50079 CT 47B/511 - O	"
---	----------------------------------	---

"	Lot 2 DP 50079 CT 47B/510 - P	"
---	----------------------------------	---

- 9.2.2000 at 11.40

[Signature]
For RGL

A449589.1 Transfer in exercise of power of
sale in Mortgage A237214.2 to Grant Gerald
Hopewell and Debra Hopewell

A449589.3 Mortgage to Bank of New Zealand
all 13.3.2000 at 9.00

for RGL

A464322.2 Transfer to Andrew Richard
Turner and Jennifer Turner

A464322.3 Mortgage to Bank of New Zealand

all 30.6.2000 at 9.00

[Signature]
for RGL

FILE COPY
BC 002329

47B/509

INFORMATION FOR APPLICANTS FOR A BUILDING CONSENT

● NOTE: APPLICATIONS CANNOT BE PROCESSED UNTIL ALL THE REQUIRED INFORMATION IS PROVIDED

- (A) Current 'Search Copy' of your **Certificate of Title**. (This can be obtained from the District Land Registry Office – phone 379-8140.) If the Certificate of Title is **not available**, a copy of your agreement to purchase must be supplied.
- (B) An accurate **site plan showing distances to ALL boundaries and existing buildings** (metric).
NOTE: This is not the same as the location plan on the Application for Consent which enables any inspector to locate your property.
- (C) A location plan marked from main roads is essential, a space is allocated on the next page of the application for this.
- (D) The application form for Property Identification Number (when enclosed) must also be completed, and a further accurate location map attached.
- (E) Please list your builder's name and address.
- (F) Does the project include any plumbing or drainlaying? If yes, has the following information been supplied?
(a) Name, contact phone and address of Registered Drainlayer
(b) Name, contact phone and address of Registered Plumber.
- (G) If a potable (drinking) water supply is part of your proposal, details including site plan, source of water and treatment (if any) are required. Wells on adjoining properties are important and measurements to them should be included. The extraction of groundwater for use as a potable supply will also need to meet Canterbury Regional Council requirements.
- (H) Where on site sewage treatment and disposal is part of your proposal, the system must meet the requirements of both the Canterbury Regional Council and the Selwyn District Council. Please provide a site plan including the location of any disposal systems on adjoining properties together with plans and specifications for the system proposed for your site.
- (I) Is the consent form signed (bottom of page one)?
- (J) Are the two front pages of the application form complete?
- (K) Fees and conditions for the issue of building consents.
- (L) TWO COPIES OF ALL PLANS AND SPECIFICATIONS must be included with your application. An approved set of plans and specifications will be returned with the building consent. This information must be available on site when inspections are carried out:
- (a) **Deposit payable \$100.00** (no application accepted without the deposit attached).
 - (b) A quote for consent issue and inspection costs is provided with the Project Information Memorandum.
 - (c) Balance of fees is to be paid before the consent is uplifted or mailed out.
 - (d) Where any work fails to meet required standards a reinspection of that work may be required. Costs associated with that reinspection will be invoiced separately as identified in the quote.
 - (e) Fees are inclusive of Building Research Association and Building Industry Authority levies where these levies are required to be charged.
 - (f) The Building Regulations 1992 require that the Project Information Memorandum and Building Consent be issued within 10 working days after having advised the applicant that all required information has been received.
 - (g) The processing period may be suspended on specified reasonable grounds such as lack of information, the proposal not meeting the requirements of the Building Code or the unsuitability of the site.
 - (h) **PROJECTS ARE NOT COMPLETE UNTIL A CODE COMPLIANCE CERTIFICATE HAS BEEN ISSUED.**

PLANS AND SPECIFICATIONS MUST INCLUDE

DWELLINGS AND OTHER MAJOR PROJECTS:

- (a) Bracing schedule (wind load in the district varies depending on the building site).
- (b) Truss design.
- (c) Snow loading design calculated from snow zones for the proposed building site (minimum design load 0.3 kPa). Snow load in the district varies depending on your building site.
- (d) Foundation and fixing detail, including confirmation of 100kPa minimum bearing capacity.
- (e) A Producer Statement for any structural steel work involved, or timber work outside the scope of N.Z.S. 3604 will save the costs of Council Engineering Consultants checking the design.
- (f) Where full Engineering Design is required for the building, a Producer Statement Design should accompany the application OR extra costs will be incurred as Council will charge for verification of the design by our Engineering Consultant.
- (g) Do the specifications indicate how the work is to be carried out? E.g. If New Zealand Building Code Acceptable Solutions (AS1) Standards are being used, has the following been addressed:
(Please state which sections apply):
 - B1 Structure
 - B2 Durability
 - E1 Surface water (for stormwater)
 - G12 Water supplies (plumbing)
 - G13 Foul water (plumbing wastes and drainage)
 - G14 Industrial Liquid Waste (effluent treatment and disposal)
- (h) If the acceptable solutions are not being used please supply documentation which clearly shows how compliance with the New Zealand Building Code will be achieved.

(If this doesn't appear in your specification it is likely to be incorrect.)

FARM BUILDINGS AND OTHER MINOR PROJECTS

Design in accordance with either:

- (i) NZS 1900 Chapter 11, Division 11.2 (Farm Building Code)
- or
- (ii) NZS 4203 (1992) for buildings outside the scope of (i) above.

NOTE: A Producer Statement covering work designed to NZS 4203 (1992) can be provided to establish compliance with all or any provisions of the building code.

SOLID FUEL HEATERS – LOG BURNERS/MULTIFUEL BURNERS ETC.

Only the following information is required with your application for a heater:

- (a) An accurate plan of the room where the heater is located (2 sets).
- (b) Manufacturer's specifications relating to the model you are installing (2 sets).
- (c) Is the heater being installed free standing/in-built into chimney (please indicate).
- (d) Does the heater have a wetback/water booster?
- (e) If connected to hotwater system please supply name and address of Craftsman Plumber.
- (f) Is hot water system fitted with a tempering valve?
- (g) Name of person installing heater.
- (h) If heater being installed is a second hand appliance you will need to have it inspected by a Council Accepted Heating Engineer and a report on its condition supplied with your application.