

WDC LIM REPORT



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Land Information Memorandum

Sections 44A-C Local Government Official Information and Meetings Act 1987

LIM number: LM2600767

Received: 30 Apr 2026

Issued: 20 May 2026

Applicant

Own Real Estate
75 Forest View Road
RD 1
Kamo 0185

Site Information

Property ID: 107022

Street Address: 4 High Oaks Way (Pvt)
Whangarei 0110

Legal Description: LOT 8 DP 210099

Disclaimer

The information included in this LIM is based on a search of Council records only and there may be other information relating to the land which is unknown to the Council.

Please note that other agencies may also have information relevant to the use of the land, for example, the Northland Regional Council, Heritage New Zealand Pouhere Taonga, and Land Information New Zealand.

The applicant is solely responsible for undertaking comprehensive due diligence of this property.

Council records may not show illegal or unauthorised building or works on the property. Council has not carried out an inspection of the land or buildings for the purpose of preparing this LIM.

The LIM also includes information that identifies natural hazards known to Council. The existence of a natural hazard or potential natural hazard does not equal likelihood of that hazard occurring.

The LIM is not a risk assessment and does not quantify risk. The applicant is advised to seek further information to ensure that the land is suitable for a particular purpose.

A LIM is only valid at the date of issue as information is based only on information that was known to the Council at the time of that LIM application being made.

Further information about the property may be available in the Council records or the current Record of Title. The LIM and any attachments should be read together.

You may wish to seek independent advice to aid the understanding of any of the information included in this LIM.

Property details

- Location Map
- Aerial Photo
- Record of Title: NA138B/234
- Deposited Plan: DP 210099

This property is subject to a Consent Notice, information attached.

- Interest Number 5352699.3 – Dated 07/12/2001

s44A(2)(aa) Information identifying special features or characteristics of the land

Information identified on a site-specific scale for this property is attached for your information.

1. Refer Consent Notice 5352699.3 dated 07/12/2001 together with Report by Richardson Stevens Consultants (1996) Ltd dated 14/07/1999 reference 29 [309].
2. Refer also a copy of the following report as attached:
 - a. Engineering Report for Stability Assessment dated 28/09/2009 and Addendum to Engineering Report dated 12/11/2009 from BC0901368.

s44A(2)(b) Information on private and public stormwater and sewerage drains; s44A(2)(bb) Information Council holds regarding drinking water supply to the land

Information relating to Council Utility Services for this property is attached.

- Water, Wastewater and Stormwater Map

As-Built, House Connection and/or Drainage Plan for this property from the building file is attached.

- As-Built Services Plan – From BC0901368

For further information regarding Council Water Supply please refer:

<https://www.wdc.govt.nz/WaterSupply>

s44A(2)(c)(ca)(cb) Information relating to any rates owing in relation to the land

Information on Valuation, Rates and Water Meter location (if applicable) for the current financial year, is attached.

Outstanding water balance as at today's date is \$0.00.

A final reading of the water meter will be required.

s44A(2)(d) Any permit, consent, certificate, notice, order or requisition affecting the land or buildings;
s44A(2)(daa) Information relating to non-consented small stand-alone dwellings
s44A(2)(da) Information provided under s362T of the Building Act 2004;
s44A(2)(e) Certificate issued by a building certifier;
s44A(2)(ea) Information notified under s124 of the Weathertight Homes Resolution Services Act 2006

Copy of Building Consent and Code Compliance Certificate issued for this property is attached as listed below:

- BC0901368 – New Dwelling
Building Consent – Issued 30/12/2009
Code Compliance Certificate – Issued 10/06/2010

Copy of Application (e.g. Vehicle Crossing Permit and/or Public Utility Service) for this property is attached as listed below:

- PU100022 – Water Meter Only
Approved 02/02/2010

s44(2)(f) Information relating to the use to which the land may be put and conditions attached to that use

Plan Change 4A and 4C are currently progressing through the statutory planning process and may affect how the District Plan applies to this property.

Further information is available here:

<https://www.wdc.govt.nz/Services/Planning/District-Plan/District-Plan-changes/Current-plan-changes/PC4A-and-PC4C>

As part of Plan Change 4C - Minor Improvements, the Road Hierarchy mapping in the Whangarei District Plan is proposed to be updated. The updated layer identifies road centrelines and their classifications, which in turn influence various transport and setback rules in the District Plan. The proposed mapping updates can be viewed by selecting the "District Plan Changes" tile here:

<https://gismaps.wdc.govt.nz/GISMapsGallery/>

This property is located in a Low Density Residential Zone.

See map attached and for more information search the property address on Council's ePlan:

<https://eplan.wdc.govt.nz/plan>

s44(2)(g) Information regarding the land which has been notified to Council by another statutory organisation

Whangarei District Council is not aware of any classification attached to the land or building/s.

s44(2)(h) Information regarding the land which has been notified to Council by a network utility operator pursuant to Building Act 1991 or Building Act 2004

Information relating to any utility service other than Councils such as telephone, electricity, gas and regional council will need to be obtained from the relevant utility operator.

Further information may be available from other authorities; Northpower; Spark; Vector Limited; etc.

S44A(3) Other information Council considers relevant to the land

Whangarei District Council recommends that all Whangarei District residents visit the Northland Regional Council website for information on Civil Defence hazard response:

<https://www.nrc.govt.nz>.

This information includes Tsunami evacuation zones, maps and community response plans for flooding and extreme weather events etc.

Copies of site plan, floor plan and elevations are attached for your information.

s44B(2) Natural Hazards

This LIM includes natural hazard information held by Northland Regional Council and Whangarei District Council, however:

- There may be hazards the Councils do not have information about.
- Some hazard information may be held by other organisations.
- If a hazard is not mentioned in this LIM, it does not necessarily mean the hazard does not exist.

Information about a single hazard (such as flooding, erosion, or land instability) may be included in more than one part of this report. Please check all relevant sections to ensure you have a complete understanding of the hazard.

District Plan Information about Natural Hazards

The Whangarei Operative District Plan identifies this property as being in the following:

- Flood Susceptible Area

Refer to map attached.

Information about what this means, including District Plan rules that apply to this property, can be found in Part 2 - District-Wide Matters under Hazards and Risks - Natural Hazards:

<https://www.wdc.govt.nz/ePlanNaturalHazards>

The flood susceptible area maps provide a trigger layer for provisions to manage the risk of flooding in the Operative District Plan. These provisions are currently subject to Plan Change 1 - Natural Hazards (PC1).

This property is mapped under PC1 as **River Flooding**. The Whangarei District Council notified PC1 on 31 May 2023. The Plan Change introduces new provisions relating to natural hazards to the District Plan, including updated hazard maps and rules for land use, development, and subdivision in hazard susceptible areas.

As of 4 December 2024 the Decision Version PC1 rules have legal effect and must be considered in addition to the provisions relating to the flood susceptible area mapping in the Operative District Plan.

Refer to map attached and for more information on the proposed plan change please visit:

<https://www.wdc.govt.nz/PlanChanges>

This property is mapped under PC1 as **High Land Instability**. The Whangarei District Council notified PC1 on 31 May 2023. The Plan Change introduces new provisions relating to natural hazards to the District Plan, including updated hazard maps and rules for land use, development, and subdivision in hazard susceptible areas. As of 4 December 2024 the Decision Version PC1 rules have legal effect.

Refer to map attached and for more information on the proposed plan change please visit <https://www.wdc.govt.nz/PlanChanges>

Building Act Information about Natural Hazards

No Building Act Information about natural hazards applies to this property.

Flooding

Flooding occurs when rainfall exceeds the capacity of the river, land or urban stormwater systems to hold the water. In steep terrain or around rivers, floods can be fast-moving; in low-lying areas and wetlands, floods can cause ponding.

In coastal areas, storm surges can cause flooding affecting land.

Northland Regional Council has modelled the flood risk across Te Taitokerau Northland and maintains a monitoring and forecasting programme to predict flooding. However, the absence of flooding information contained in this report does not exclude the possibility of site flooding, including from local depressions or overland flow paths on nearby properties.

River flood maps

This property is in one or more areas identified by Northland Regional Council as River Flood Hazard Zones.

A river flood occurs when a river, lake or stream overflows its banks due to excessive rain. The duration and intensity (volume) of rainfall in the catchment area of the river determine the severity of a river flood. Other factors include soil water saturation due to previous rainfall, and the terrain surrounding the river system. In flatter areas, floodwater tends to rise more slowly and be shallower, and it often remains for days. In hilly or mountainous areas, floods can occur within minutes after a heavy rain, drain very quickly, and cause damage due to debris flow.

To determine the probability of river flooding, models consider past precipitation, forecasted precipitation, current river levels, as well as soil and terrain conditions. Flood risk will increase with climate change with the forecast increase in rainfall. Northland Regional Council's flood hazard models include predicted climate change impacts.

Since 2008, Northland Regional Council has undertaken detailed flood modelling of priority catchments, i.e. those catchments and rivers determined present the highest risk to our communities. The flood extent shown on the maps are produced at a catchment scale and is not intended to depict specific flooding details for individual properties. We recommend obtaining site-specific engineering assessments to assess flood risk. Priority catchment flood maps are available on the Northland Regional Council Natural Hazards Map viewer <https://www.nrc.govt.nz/environment/natural-hazards-portal/hazard-maps/advanced-hazard-map-viewer/>

The priority flood hazard maps include the following flood hazard zones:

- *River Flood Hazards Zone - Priority Rivers (10 year extent)*. Flood extent for the most common scenario - a flood with a 10% chance of happening in any year.
- *River Flood Hazards Zone - Priority Rivers (50 year extent)*. The extent of a flood that has a 2% annual probability of happening.
- *River Flood Hazards Zone - Priority Rivers (100 year extent CC)*. The extent of a flood that has a 1% annual probability of happening, taking the effects of climate change into account.

In 2019 - 2021 Northland Regional Council undertook regionwide flood modelling to model catchments not covered by the priority rivers programme. The flood extent shown on the maps are produced at a catchment scale and is not intended to depict specific flooding details for individual properties. We recommend obtaining site-specific engineering assessments to assess flood risk. The regionwide flood hazard maps are available on the Northland Regional Council Natural Hazards Map viewer <https://www.nrc.govt.nz/environment/natural-hazards-portal/hazard-maps/advanced-hazard-map-viewer/>

The regionwide flood hazard maps include the following flood hazard zones:

- *River Flood Hazards Zone - Regionwide models (10 year extent)*. Flood extent for the most common scenario - a flood with a 10% chance of happening in any year.
- *River Flood Hazards Zone - Regionwide models (50 year extent)*. The extent of a flood that has a 2% annual probability of happening.
- *River Flood Hazards Zone - Regionwide models (100 year extent CC)*. The extent of a flood that has a 1% annual probability of happening, taking the effects of climate change into account.

Northland Regional Council are continuing with their flood hazard modelling programme and as at October 2025 currently has draft flood models for Whangārei, Kerikeri, Northern Wairoa, Waima and Punakitere, Catchments. These models are not currently published as they go through peer review and quality checks. Flood hazards for these catchments can be requested from Northland Regional Council.

Surveyed and observed flood levels

Northland Regional Council records flood levels during flood and storm events which provides evidence of lands that are effected by flooding.

Surveyed River Flood Levels are available on the Northland Regional Council Natural Hazards Maps viewer.

<https://www.nrc.govt.nz/environment/natural-hazards-portal/hazard-maps/advanced-hazard-map-viewer/>

River Flood Hazard Technical Reports

1. Scope of report:	Whangarei Catchments
2. Report Title:	NRC Priority Rivers Modelling Report and Whangarei Modelling Report
3. Report date:	March 2011, October 2013
4. Report prepared by:	URS
5. Report commissioned by:	Northland Regional Council
6. Purpose of the report:	This report explains the technical aspects relating to the development of the Priority Rivers Flood Risk reduction project and specifically rivers in the Whangarei catchment. The 2013 report details the work that was done to merge the Hatea and Wairarohia/Raumanaga models and to recalibrate the new Hatea model.
7. Where or how to access report:	River modelling technical reports https://www.nrc.govt.nz/resource-library-summary/research-and-reports/river-modelling-technical-reports/

1. Scope of report:	Whangarei Catchment (Catchment M01)
2. Report Title:	Design Modelling Whangarei Catchment (M01)
3. Report date:	May 2021
4. Report prepared by:	Water Technology
5. Report commissioned by:	Northland Regional Council
6. Purpose of the report:	This report documents the calibration and design modelling methodology for Whangarei Catchment (M01), noting that this catchment was calibrated to the January 2020 flood event.
7. Where or how to access report:	River modelling technical reports https://www.nrc.govt.nz/resource-library-summary/research-and-reports/river-modelling-technical-reports/

Stormwater Catchment and Flood Management

This property has been identified as having information available under Stormwater Catchment and Flood Management, see map attached.

Overland flow paths provide indicative routes of where the surface stormwater may flow during rainfall events and the direction of this flow. Depression storage areas/surface depression ponding areas provide an indicative extent of ponding that may occur if the outlet to the ponding area is blocked or where the outlet capacity is exceeded, for example, if a pipe is either blocked or the design capacity of the pipe is exceeded during a rainfall event.

The Overland Flow Paths are a useful indicator of flow direction and location of where ponding will occur frequently during smaller events and before larger flooding may occur in major rainfall events.

The Overland Flow Path information was developed using LiDAR (Light Detection and Ranging) data. If the landform had changed since the LiDAR data was collected, the indicative Overland Flow Paths and depression ponding areas may not be accurate.

Climate change could make the natural hazard worse by increasing the amount and intensity of rain, which means more water could flow over land and follow these paths, leading to a higher risk of flooding.

Whangarei Stormwater Planning - Overland Flow Paths and Depression Storage Areas district wide report by Morphum Environmental Ltd, dated 4 October 2019, provided a technical overview of the scope, methodology, issues and limitations of the mapped Overland Flow Paths and indicative extent of surface depression areas.

The report can be viewed under the Whangarei Overland Flow Paths and Depression Storage Area section on our Natural Hazards web page: <https://www.wdc.govt.nz/NaturalHazards>

Refer disclaimer with the mapped OLFP and ponding
<https://geo.wdc.govt.nz/portal/sharing/rest/content/items/73a86bc1bfed41a3baf4842efbcf9ae1/data>

Land Instability

Whangarei District Council holds indicative information on land stability hazard for Whangārei. Information on land stability.

A landslide is defined as the downslope movement of a mass of earth, rock or debris under the influence of gravity. Whangarei District is susceptible to landslides due to a combination of steep topography, subtropical climate and the underlying geology which includes weak or expansive soil, weak rock and highly weathered, clay rich soils. Landslides are often triggered by intense or prolonged rainfall (as well earthquakes, loss of vegetation cover, leaky water infrastructure and earthworks) which will increase with the effects of climate change.

It is not possible to identify all potential or actual landslides or land instability. The absence of information in this section does not necessarily indicate the absence of a landslide risk.

‘Landslide susceptibility’ is the relative likelihood of future landsliding occurring based on underlying properties compared with surrounding areas. It does not indicate the size or frequency of potential landslides, or the potential for landslides to cause damage or loss.

This LIM includes maps which indicate Landslide Susceptibility in relation to this property and its surrounds - is **high**. These maps are based on a district wide study entitled ‘Landslide Susceptibility Assessment for Whangarei District Council, October 2022.

These maps are a generalisation of available data, and do not represent site specific assessment. They are not intended to be viewed or relied upon on a property-level scale.

The Whangarei District Council may require site-specific investigations before granting future subdivision or building consent for the property, the level of investigation or assessment would depend on the level of stability risk of the area the property is in.

Technical report

1. Report Title:	Landslide Susceptibility Assessment for Whangarei District Council
2. Report date:	October 2022
3. Report prepared by:	Tonkin & Taylor Ltd
4. Report commissioned by:	Whangarei District Council
5. Purpose of the report:	The purpose and outcomes of this analysis and mapping is to: Provide a landslide susceptibility assessment and map that covers the Whangarei District and follows on from the landslide susceptibility assessment and mapping done previously but covered discrete areas of the district only.
6. Scope of report:	Whangarei District
7. Where or how to access report:	You can find the above report under the Land Instability section on our Natural Hazards webpage. Additional reports that may be relevant to Land Instability are also available at: https://www.wdc.govt.nz/NaturalHazards

The property was visited in August 2020 in relation to concerns raised with regard to slippage/erosion in the vicinity of the private stream. No further action was taken by Council. Please see attached photos.

Liquefaction

This property is located within an area classified as Liquefaction vulnerability category:
- **undetermined** and can be viewed on the Council Hazard viewer:

<https://www.wdc.govt.nz/HazardsGISMap>

Please note: To view the liquefaction layer your map scale must be greater than 1:5000.

Liquefaction is a natural process where earthquake shaking increases water pressure in the ground in granular soils, resulting in temporary loss of soil bearing capacity. Liquefaction commonly leads to buildings 'sinking' on their foundations during the shaking - in line with that experienced in the 2011 Canterbury earthquakes.

Climate change is expected to cause sea level rise, and in turn an elevation of groundwater levels. Elevated ground water levels are likely to increase liquefaction susceptibility, but the extent of the increase has not been quantified by the report, nor Whangarei District Council.

Whangarei District Council commissioned Tonkin and Taylor Ltd to complete a district wide Liquefaction Vulnerability Study in August 2020. The report identifies and analyses the risk of liquefaction to help inform decisions about future development of land and buildings.

You can find the report under the Liquefaction section on our Natural Hazards web page:

<https://www.wdc.govt.nz/NaturalHazards>

Acid Sulphate Soils

This property is identified as being in an **Acid Sulphate Soil Risk** area - see map attached.

Acid sulphate soils are naturally occurring. They are caused by sulphate salts that were deposited in the land by the sea. When sulphate soils are disturbed, they react with oxygen and create an acidic environment which can corrode buried infrastructure including concrete and steel. Climate change is expected to cause sea level rise, and in turn an elevation of groundwater levels. This is likely to influence Acid sulphate soils, but the effect of this has not been quantified by the report, nor Whangarei District Council.

Whangarei District Council commissioned Opus International Consultants to produce Acid Sulphate Soil Planning Policy Basic Guide dated 05 August 2015. This District wide document provides guidance to assist in interpreting the Planning Policy for Acid Sulphate Soils.

It aims to provide a general overview of acid sulphate soils and common concerns regarding occupying or using land where these soils may be present. The report can be accessed on our website: <https://www.wdc.govt.nz/AcidSoil>

Tsunami

Tsunami are a series of waves, typically created by submarine or coastal earthquakes, landslides (including underwater landslides) and offshore submarine volcanic eruptions. Tsunami may travel hundreds of kilometres an hour and pass by unnoticed at sea, but slow down and grow as they move to shallow water, causing significant damage when they make landfall.

This property is located in an area identified as **Green Zone - Safe Area**

With funding from the Natural Hazards Commission Northland Civil Defence and Emergency Management have modelled the tsunami risk and created Tsunami Evacuation Zone and Safe Zone map:

<https://northlandcdem.maps.arcgis.com/apps/webappviewer/index.html?id=00bf741d369b4eb7802021004d123e3b>

Technical Report for Tsunami Evacuation Zone and Safe Zone map

1. Scope of report	Regional
2. Report Title:	Tsunami Inundation Modelling for Evacuation Planning in Northland
3. Report date:	2024
4. Report prepared by:	Orca Consulting
5. Report commissioned by:	Natural Hazards Commission
6. Purpose of the report:	The objective of this study was to produce tsunami inundation and evacuation zones for the Northland region that are compliant with guidelines set forth in the document 'Tsunami Evacuation Zones: Director's Guidelines for Civil Defence Emergency Management Groups' (MCDEM, 2016). To define these zones, numerical modelling was undertaken to determining the extents of the tsunami inundation zones for the Northland Region. The study used a Level 3/Level 4 modelling approach (as defined in MCDEM 2016) whereby a physics based numerical model was used to model the evolution of the tsunami from source through to inundation. The study used multiple sources, both local and distant.
7. Where or how to access report	A copy is available upon request from Northland Regional Council

Erosion and Landslide

Erosion is any movement of soil, rocks or sand, under the influence of wind, water or gravity. Landslides are a type of erosion. A landslide is the downslope movement of a mass of earth, rock or debris under the influence of gravity. Te Taitokerau Northland is susceptible to landslides due to its steep topography, subtropical climate, and underlying geology. Landslides are often triggered by intense or prolonged rainfall (as well as earthquakes, loss of vegetation cover, leaky water infrastructure and earthworks), which will increase with the effects of climate change. Climate change is expected to increase erosion in Te Taitokerau Northland.

Northland Regional Council has identified erosion prone land and this is mapped as part of our Proposed Regional Plan.

<https://nrcgis.maps.arcgis.com/apps/webappviewer/index.html?id=31f5c66ea0074f59908767452bcbc60d>

Technical Reports for erosion prone land

1. Scope of report	Regional
2. Report Title:	Sediment Process-Attribute Layer for Northland, Report 2018/35
3. Report date:	2019
4. Report prepared by:	Land and Water Science
5. Report commissioned by	Northland Regional Council
6. Purpose of the report:	This work uses regional airborne gamma-ray data, elevation maps, and geological information to understand how different natural features - like rock and sediment types, faults, and landforms - affect how likely the Northland region is to experience landslides, erosion, and better understanding sediment supply to the region's waterways, estuaries, and harbours.
7. Where or how to access report	Report available upon request from Northland Regional Council

1. Scope of report	Regional
2. Report Title:	Regional Water and Soil Plan for Northland
3. Report date:	2024
4. Report prepared by:	Northland Regional Council
5. Report commissioned by	Northland Regional Council
6. Purpose of the report:	This Plan has combined regional air, land, water and coastal plan, which sets controls for the sustainable management of natural and physical resources of the Northland Region.
7. Where or how to access report	Proposed Regional Plan 2024 https://www.nrc.govt.nz/your-council/about-us/council-projects/new-regional-plan/

Drought

Drought in Te Taitokerau Northland is a complex hazard to define and detect, and its impacts vary from one area to the other.

Technical Report for Northland Drought Assessment

1. Scope of report	Regional
2. Report Title:	Droughts in Northland: A Local and Regional Analysis
3. Report date:	2024
4. Report prepared by:	National Institute of Water and Atmosphere
5. Report commissioned by:	Northland Regional Council
6. Purpose of the report:	Analysis of the development, occurrence and severity of droughts in Northland Region.
7. Where or how to access report	Envirolink website: Droughts in Northland: A local and regional analysis https://www.envirolink.govt.nz/assets/Envirolink/2403-NLRC240-Droughts-in-Northland-A-Local-and-Regional-Analysis.pdf

In September 2024 the Ministry for the Environment and NIWA published national climate projections.

Droughts are expected to become more frequent and more severe in Te Taitokerau Northland by 2090.

Volcanic, Geothermal and Earthquake

There are many processes associated with volcanic eruptions, and these can be hazardous when they interact with people and/or infrastructure. The type and intensity of volcanic process will vary from volcano to volcano. There are two areas of past local volcanic activity in Northland, at Puhipuhi-Whangārei and at Kaikohe-Bay of Islands. While climate change does not affect volcanic eruptions, it can affect the risk from volcanic hazards such as lahars (volcanic mudflows) because of the forecast changes in rainfall.

Earthquakes occur when stress that has built up along a fault - a break in the Earth's crust - is suddenly released. Earthquakes can cause ground shaking, fault rupture, permanent ground movement, subsidence or lateral spreading, liquefaction, landslides, rock falls and tsunamis. Although climate change does not affect earthquakes, it can make some of the problems earthquakes cause, such as subsidence, liquefaction, and landslides, more likely or more severe. This is because climate change affects rainfall and groundwater, which play roles in these hazards.

While the earthquake risk in Northland is low, there have been earthquakes recorded in the region.

Northland Regional Council does not have a map of volcanic, geothermal or earthquake risk but did commission information on volcanic hazards as part of the review of natural hazards information for Northland region. This information relates to region-wide studies and may not reflect the on-site situation or natural hazard investigations and mitigation done on a site-specific property level.

Technical Report for earthquake information

1. Scope of report	Regional
2. Report Title:	A review of natural hazards information for Northland region Section 2.0 Seismic Hazards
3. Report date:	2004
4. Report prepared by:	Institute of Geological & Nuclear Sciences Limited
5. Report commissioned by:	Northland Regional Council and Whangarei District Council
6. Purpose of the report:	The aim of this report is to assemble and present a review of existing information on natural hazards, including earthquakes. The report identifies gaps and possible future work. Please note sections on flooding and erosion prone land have been superseded by more recent work and modelling.
7. Where or how to access report:	Northland Regional Council Website https://www.nrc.govt.nz/media/2itixwuo/naturalhazards.pdf

Signed for and on behalf of Council:



Sophia Shaw
Property Information Officer

Property Map



New Subdivisions

- Proposed Pre-223
- 223 Certificate

New subdivisions: Proposed as accepted, pre-223 and 223 Certificate with set Conditions.

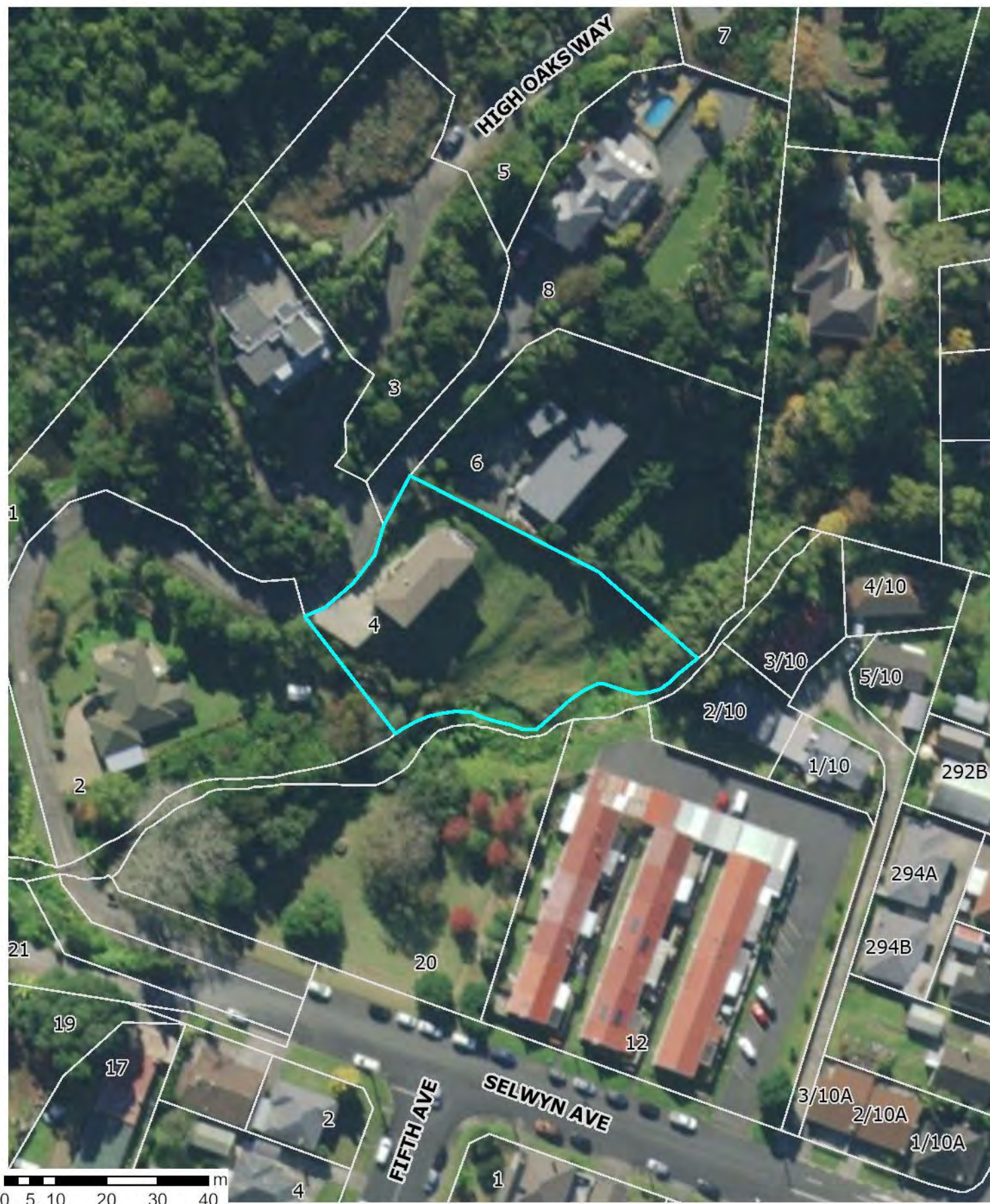
19 May 2026

Land Parcel boundaries are indicative only and are not survey accurate. Area measurement is derived from the displayed geometry and is approximate. True accurate boundary dimensions can be obtained from LINZ survey and title plans

Scale 1:1,000



Aerial Photography



This map includes New Zealand's most current publicly owned aerial imagery and is sourced from the LINZ Data Service.

19 May 2026

Scale 1:1,000



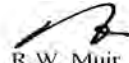
The information displayed is schematic only and serves as a guide. It has been compiled from Whangarei District Council records and is made available in good faith but its accuracy or completeness is not guaranteed. Parcel Information is sourced from the Land Information New Zealand (LINZ) Data Service. CROWN COPYRIGHT RESERVED. © Copyright Whangarei District Council.



**RECORD OF TITLE
UNDER LAND TRANSFER ACT 2017
FREEHOLD**

**Guaranteed Search Copy issued under Section 60 of the Land
Transfer Act 2017**




R.W. Muir
Registrar-General
of Land

Identifier **NA138B/234**
Land Registration District **North Auckland**
Date Issued 23 September 2002

Prior References
NA826/129

Estate Fee Simple
Area 2140 square metres more or less
Legal Description Lot 8 Deposited Plan 210099
Registered Owners
Deborah Jean Webb

Interests

5352699.3 Consent Notice pursuant to Section 221 Resource Management Act 1991 - 23.9.2002 at 3:19 pm
Appurtenant hereto is a right of way, rights to convey water, gas, rights to transmit electricity and telecommunications easements created by Easement Instrument 5352699.6 - 23.9.2002 at 3:19 pm
The easements created by Easement Instrument 5352699.6 are subject to Section 243 (a) Resource Management Act 1991
Land Covenant in Transfer 5822111.5 - 3.12.2003 at 9:00 am
5995494.2 Variation of the conditions of the easement created by Easement Instrument 5352699.6 - 7.5.2004 at 9:00 am
8392476.1 Mortgage to Westpac New Zealand Limited - 22.1.2010 at 2:31 pm

LT 210099 (Title Plan)
City - 01/01/Pu - 002-2498070-12-12
0600 31366549

APPROVED
D. Wilson M. Wilson S. Hamilton
Registered Owners

I hereby certify that this plan was approved by the Whangarei District Council pursuant to Section 223 of the Resource Management Act 1991 on the 9th day of November 2002 Subject to the amalgamation condition set out herein and subject to the granting or reserving of the easements set out in the Memoranda herein.

Authorised Officer:
Whangarei District Council

Amalgamation Condition:
That Lot 1 herein and Lot 2 DP 32214 (Reserve CT 826/129) be held in the same Certificate of Title.
Size A 634.879

MEMORANDUM OF EASEMENTS

Reference	Shown	Grantee's Tenement	Dominant Tenement
RIGHT OF WAY, RIGHT TO GRASS, RIGHT TO TRANSMIT ELECTRICITY & TELECOMMUNICATIONS	(F)	Lot 2 DP 32214	Lot 2, 3, 4, 5, 6, 7, 8 HERES
	(A)	Lot 1 HERES	Lot 2, 3, 4, 5, 6, 7, 8 HERES
	(B)	Lot 2 HERES	Lot 3, 4, 5, 6, 7, 8 HERES
	(C)	Lot 3 HERES	Lot 4, 5, 6, 7, 8 HERES
	(D)	Lot 4 HERES	Lot 5, 6, 7, 8 HERES
RIGHT TO TRANSMIT ELECTRICITY, TELECOMMUNICATIONS	(E)	Lot 5 HERES	Lot 6, 7, 8 HERES
	(G)	Lot 3 HERES	Lot 4, 5, 6, 7, 8 HERES
RIGHT TO GRASS, TRANSMIT ELECTRICITY, TELECOMMUNICATIONS	(H)	Lot 3 HERES	Lot 4, 5, 6, 7, 8 HERES
	(I)	Lot 3 HERES	Lot 4, 5, 6, 7, 8 HERES

CLASS OF SURVEY: 1

Total Area... 2.0800ha

Comprised in CT 826/129 (Part) 3
826/129 (5m) (5m)

I, Reyburn Bryant, being a person entitled to practice as a registered surveyor, certify that -
(a) The surveys to which this dataset relates are accurate, and were undertaken by me or under my direction in accordance with the Survey Act 1986 and the Survey Regulations 1986;
(b) This dataset is accurate, and has been created in accordance with that Act and those Regulations.

(Signature) [Signature] (Date) 20-11-01

Field Book **Reference Plans** **Examined** **Correct** **Accredited**

Approved as to Survey C. R. White
6.1.3.103 Deputy Chief Surveyor

Deposited this 23rd day of September 2002
[Signature] Registrar-General of Land

File Received 29 FEB 2002 **Instructions** DP 210099

LAND DISTRICT NORTH AUCKLAND
SURVEY BLK. & DIST. XII R. 12
NZMS 261 SHT RECORD MAP No

LOTS 1-8 BEING A SUBDIVISION OF LOT 1, DP 32214 AND EASEMENT OVER LOT 2, DP 32214.

TERRITORIAL AUTHORITY WHANGAREI DISTRICT
Surveyed by REYBURN & BRYANT
Scale 1:1000 **Date** FEB 2002 - JUL 2002

WILSON FAMILY TRUST 3937
SHEET 1 OF 2 SHEETS

A. J. BEVIN, SURVEYOR GENERAL, LAND INFORMATION NEW ZEALAND

Approvals

MEMORANDUM OF EASEMENTS INCURRED			
REFERENCE	SHOW	SEMI-SELF TOLERANCE	CREATOR
RIGHT TO CONVEY WATER	(F)	Lot 2 DP 32214	WHAINGARE DISTRICT COUNCIL
	(A)	Lot 1 HEREON	
	(B)	Lot 2 HEREON	
	(C) (H)	Lot 3 HEREON	

NEW SET ALLOCATED

Lot 1, 138°/227 Lot 5, 138°/231
 Lot 2, 138°/228 Lot 6, 138°/232
 Lot 3, 138°/229 Lot 7, 138°/233
 Lot 4, 138°/230 Lot 8, 138°/234

CLASS OF SURVEY: 1

Total Area 2.0800 ha

 Comprised in S.T. 826/129 (2nd)
 R26/129 (Rm) (L)

I, Reynold Raymond Woodward of Whangarei, being a person entitled to practice as a registered surveyor, certify that -
 (a) The surveys to which this dataset relates are accurate, and were undertaken by me or under my direction in accordance with the Survey Act 1986 and the Survey Regulations 1998;
 (b) This dataset is accurate, and has been created in accordance with that Act and those Regulations.

 (Signature) [Signature] 28-11-01
 (Date)

Field Book p. Traverse Book p.

Reference Plans p.

Examined Correct ALAN WOODWARDApproved as to Survey C.R. Lunt

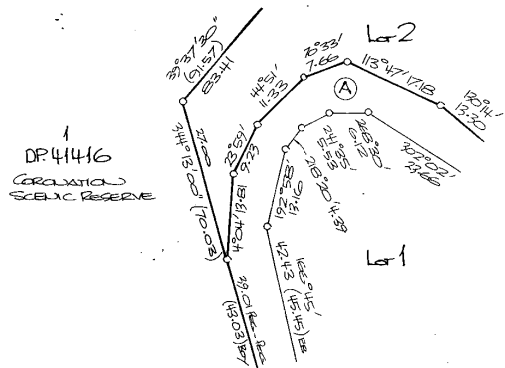
.. 6.13.02 Deputy Chief Surveyor

Deposited this .. 23rd .. day of September 2002By [Signature]

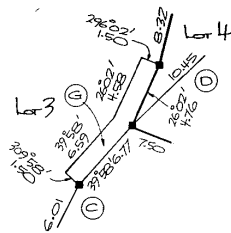
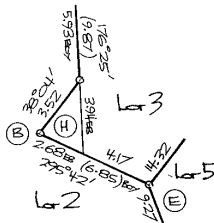
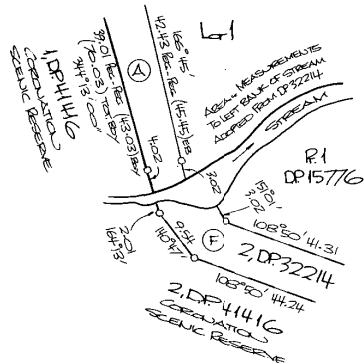
For Registrar-General of Land

File .. 20 FEB 2002

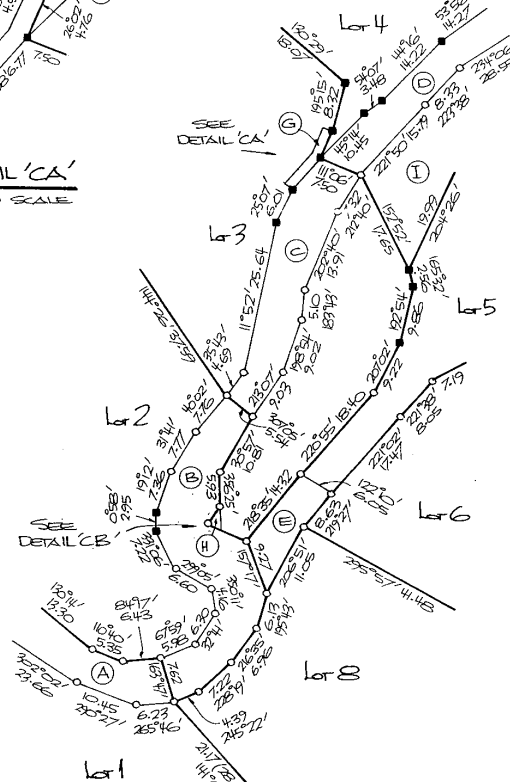
Instructions .. DP 210099



DETAIL 'B'

DETAIL 'CA'
NOT TO SCALEDETAIL 'CB'
NOT TO SCALE

DETAIL 'A'



DETAIL 'C'

WIGSON'S FAMILY TRUST 3937

SHEET 2 OF 2 SHEETS

TERRITORIAL AUTHORITY WHANGAREI DISTRICT

Surveyed by REYNOLD R. WOODWARD

Scale 1:500 Date FEB 2002 - JULY 2001

 LAND DISTRICT .. NORTH AUCKLAND ..
 SURVEY BLK. & DIST. .. XII R.M. ..
 NZMS 261 SHT .. RECORD MAP No ..

 LOTS 1-8 BEING A SUBDIVISION OF LOT 1, DP 32214
 AND EASEMENT OVER LOT 2, DP 32214.

A J BEVIN, SURVEYOR GENERAL, LAND INFORMATION NEW ZEALAND

APPROVED LMS2-01

LMS2 FORM 015

IN THE MATTER of the Resource Management Act 1991
("the Act")

A N D

IN THE MATTER of a subdivision consent as evidenced by
Land Transfer Plan No. 210099

A N D

IN THE MATTER of a Consent Notice issued pursuant to
Section 221 of the Act by THE
WHANGAREI DISTRICT COUNCIL
("the Council")

IT IS HEREBY CERTIFIED that the following conditions to be complied with on a continuing basis were imposed by the Council as conditions of approval for the subdivision as effected by Land Transfer Plan No. 210099 ("the plan")

1. That the registered proprietors for the time being of the properties being lots 1 to 8 (both inclusive) on the plan shall in undertaking any building development on any of such lots do so by means of foundation which shall be designed by a registered engineer which foundations shall in any event extend through the fill on the properties to the original ground.
2. That the registered proprietors for the time being of the properties being lots 1 to 8 (both inclusive) on the plan shall in undertaking any development thereon do so in accordance with the foundations and stormwater control restrictions identified in the engineering report of Richardson Stevens Consultants (1996) Limited dated 14 July 1999 ("the report") as annexed hereto and in particular shall:
 - (i) In constructing any house on lot 1 on the plan do so using the suitable house site situated between the existing road and the right of way servicing the other lots in the subdivision.
 - (ii) In constructing any buildings on lots 2, 3, 4, 6 and 7 on the plan ensure that all house foundations are keyed well into the ground with all stormwater from paved or impervious surfaces to be collected and piped to a reticulation system which

conveys all stormwater to the creek running along the southern and south eastern boundaries of lots 1, 6 and 8 on the plan.

DATED at Whangarei this 7th day of December 2001

SIGNED for THE WHANGAREI DISTRICT COUNCIL
pursuant to the authority of the Council given pursuant to the
Local Government Act 1974 and the Resource Management Act
1991



SD No	01/704
PID No	PO49209
Street	Selwyn Ave / High Oaks Way
Type	CN
Drawing No	210099



Email: rschd@clear.net.nz



Grant Stevens
B.E., M.I.P.E.N.Z.

Registered Engineer

Tim Pike
N.Z.C.E., B.E. (Hons), M.I.P.E.N.Z.

Registered Engineer

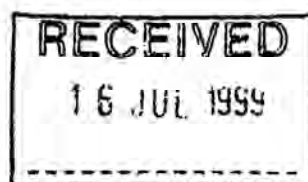
CIVIL & STRUCTURAL ENGINEERS, 2 SEAVIEW RD, WHANGAREI. PH: 09 438 3273, FAX: 09 438 5734

File: 29 [309]

14 July 1999

Reyburn & Bryant
PO Box 191
WHANGAREI

Attention: B. Woodward



Dear Sirs

**PROPOSED SUBDIVISION – SELWYN AVENUE, WHANGAREI
G. & M. Wilson**

Further to your instructions we have investigated the site of the proposed subdivision of Lots 1 and 2 DP 32214, and we report as follows:

Proposal

The proposed subdivision layout is shown on Reyburn & Bryant's plan S 3937 dated May 1999. Seven residential lots will be created, each with a minimum area of 2000 m² or more. Access to each lot will be provided by a newly formed ROW, as shown on plan S 3937. With the exception of Lot 1, all new lots are elevated with moderately steep slopes. The new lots will be serviced with reticulated stormwater and sewage disposal along with water, power and telephone.

Site Investigation

Our investigation included walkover inspection of the complete site together with examination of all cut batters on and adjacent to the property. Nine subsoil auger holes were drilled and in-situ shear vane readings were taken. Bore logs are included with this report. The site is generally underlain by greywacke which has been weathered to depths of 30 plus metres. The resulting weathered rocks and stiff clays are very firm with measured shear strengths in the range 80 – 120+ kPa.

Site Suitability

Lot 1

This lot comprises a small dam on the higher ground, together with gently sloping even ground below the existing road. A suitable house site is situated between the existing road and the proposed ROW. While bore 1 showed some fill, bores 2 and 3 disclosed stiff clays suitable for house foundations.

It is likely that bore 1 was situated in a local rubbish pit. The area marked on the plan is suitable for houses complying with NZS 3604. Foundation inspection a part of the building consent will disclose any problem areas.

Lots 2, 3, 4, 6, 7

All these lots are suitable for the construction of houses. These lots all comprise stiff clay overlying weathered rock at depth. Since the lots all contain moderate slopes, we recommend that house foundations be keyed well into the ground and that foundations should be designed by a registered engineer. All stormwater from paved or impervious surfaces should be collected and piped to a reticulation system which conveys all stormwater to the creek on the proposed esplanade reserve.

Access Road

The proposed access road will require imported fill to construct the formation across Lot 1. At Lot 2 two sharp curves with associated cuts and fills, including retaining walls, will be required. Above the curves the access road will be constructed on the alignment of an existing Track, to serve Lots 3, 4 and 7. The access road will be constructed to comply with the Whangarei District Council Environmental Engineering Standards including a maximum longitudinal grade of 1 in 4.5.

Conclusion

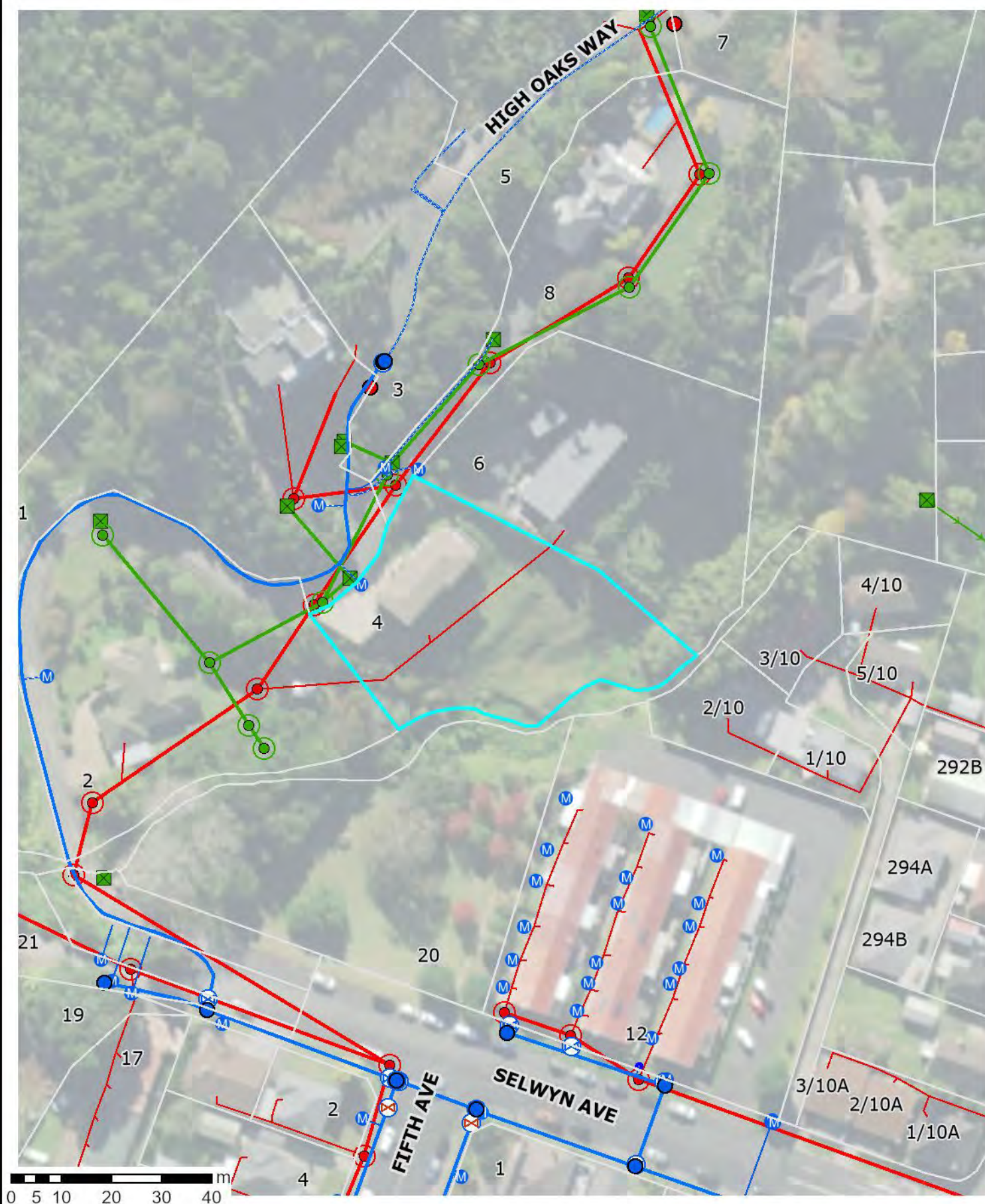
Proposed Lots 1, 2, 3, 4, 6, 7 will be suitable for the construction of residential dwellings.

Yours faithfully



M.J. Beazley
RICHARDSON STEVENS CONSULTANTS (1996) LTD

Water, Wastewater and Stormwater



This information is generalized and shows the approximate location of the Public pipeline services.
For digging, the As-Built engineering drawings must be used to accurately locate the services.
See WDC Customer Services.

19 May 2026

Scale 1:1,000



The information displayed is schematic only and serves as a guide. It has been compiled from Whangarei District Council records and is made available in good faith but its accuracy or completeness is not guaranteed. Parcel Information is sourced from the Land Information New Zealand (LINZ) Data Service. CROWN COPYRIGHT RESERVED. © Copyright Whangarei District Council.

Water, Wastewater and Stormwater – Map Legend

Water

Water Point

Actuator



WDC



Private

Backflow Device



WDC



Private

Bore



WDC



Private

End Structure



WDC



Private

Fitting Node



WDC



Private

Hydrant



WDC



Private

Meter



WDC

Meter Manifold



WDC



Private

Pump



WDC



Private

Valve



WDC



RED



Private

Water Line

Abandoned Pipe



Trunk Main



WDC



Private

Other Main



WDC



Private

Process Pipework



WDC



Private

Reticulation



WDC



Private

Service Line



WDC



Private

Water Area

Chamber



WDC



Private

Reservoir



WDC



Private

Stormwater

Stormwater Point

End Structure



WDC



Private

Fitting Node



WDC



Private

GPT



WDC



Private

Manhole



WDC



Private

Pump



WDC



Private

Stormwater Inlet



WDC



Private

Valve



WDC



Private

Stormwater Line

Abandoned Pipe



Culvert



WDC



Private

Drainage



WDC



Private

Main



WDC



Private

Service Line



WDC



Private

Surface Drain



WDC



Private

Stormwater Area

Basin



WDC



Private

Chamber



WDC



Private

Wastewater

Wastewater Point

Backflow Device



WDC



Private

End Structure



WDC



Private

Fitting Node



WDC



Private

Manhole



WDC



Private

Meter



WDC



Private

Motor Control Centre



WDC



Private

Pump



WDC



Private

Valve



WDC



Private

Wastewater Line

Abandoned Pipe



Main



Rising Main (Pressure)



Sewer Gravity Main



Private



Other

Process Pipework



WDC



Private

Service Line



WDC



Private

Wastewater Area

Chamber



WDC



Private

Pressure Sewer System



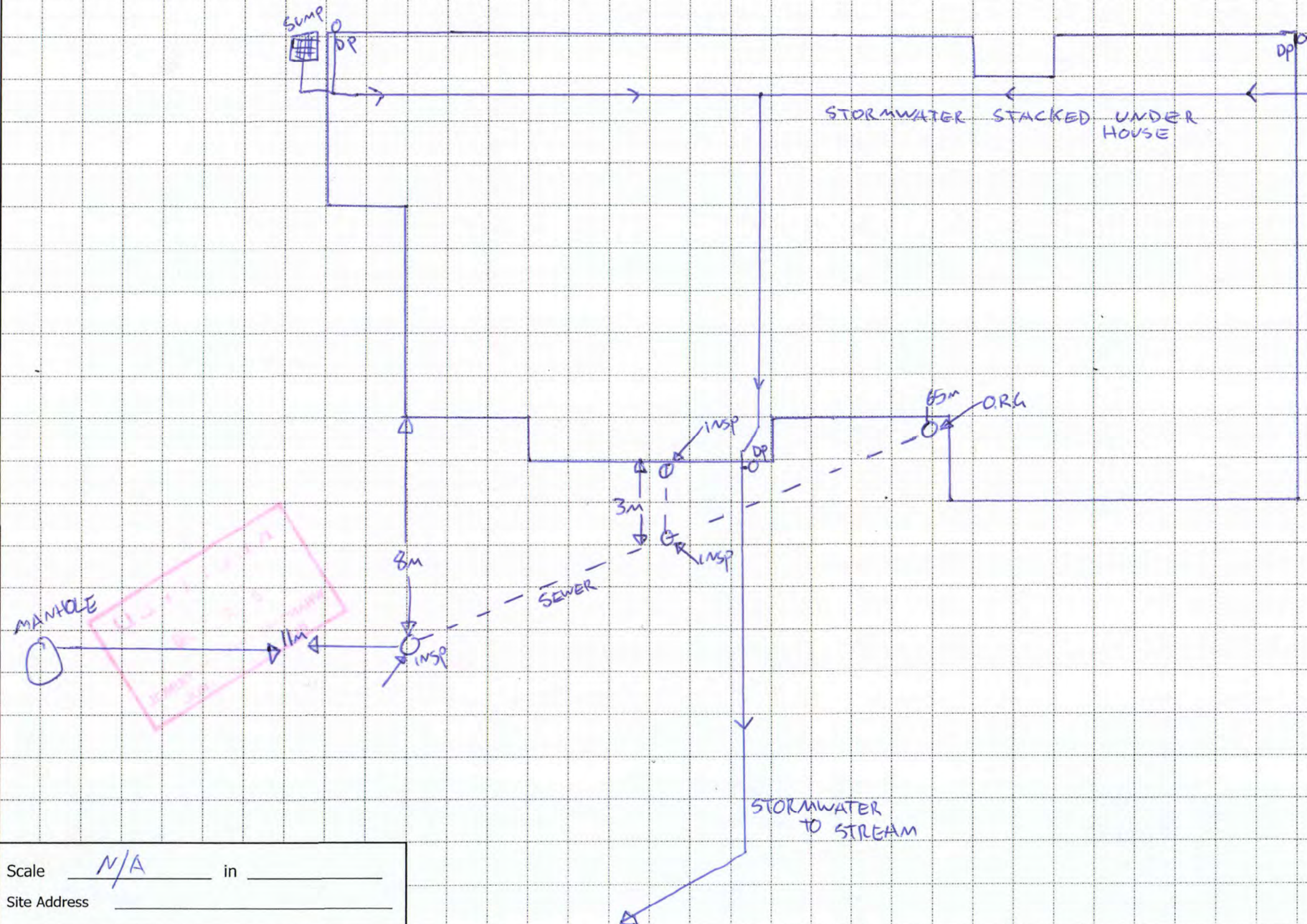
Public



Private

PART C As Built Services Plan

(To be completed in all cases. If details are already noted on separate drawings then provide copies in duplicate as appropriate and attach to this sheet. Ensure that drawing numbers, etc, is noted below)



Scale N/A in _____
Site Address _____



Whangarei District Council
Private Bag 9023, Te Mai
Whangarei 0143
Ph:0-9-430 4200
Email: mailroom@wdc.govt.nz

Rates LIM Report

As at: Tuesday, 19 May, 2026

Property Number 107022
Legal Description LOT 8 DP 210099
Assessment Number 0073189907
Address 4 High Oaks Way (Pvt) WHANGAREI 0110
Record of Title(s) 138B/234
Land Value \$385,000
Capital Value \$710,000
Date of Valuation 01-July-2024
Effective Date (used for rating purposes) 01-July-2025
Meter Location 10m RHB 1m KERB #4 2ND RHS

Rates Breakdown (up to 30 June 2026)

Rates Charge	Charge Total
Sewage Disposal - Residential	966.00
Uniform Annual General Charge	901.00
Regional Land and Freshwater Management	116.50
Regional Emergency & Hazard Management	67.31
General Residential	1,123.16
Stormwater	79.00
Regional Flood Infrastructure	41.66
Regional Economic Development	11.70
Regional Rescue Services	8.87
Regional Council Services	229.89
Regional Sporting Facilities	16.09
Regional Pest Management	109.47
Regional Urban Rivers Management - Gen Catchment	40.34
Regional Transport Rate	30.40
Annual Charge Total	\$3,741.39

Opening Balance as at 01/07/2025 **\$-429.77**

Rates Instalments	Total
20/07/2025 Instalment	\$936.39
20/10/2025 Instalment	\$935.00
20/01/2026 Instalment	\$935.00
20/04/2026 Instalment	\$935.00
Rates Total	\$3,741.39

Balance to Clear **\$0.01**

0901368

BUILDING CONSENT No: BC0901368
Section 51, Building Act 2004

Issued: 30 December 2009
Project Information Memorandum No: PM0901368



WHANGAREI
DISTRICT COUNCIL

The Building

Street address of building:	4 High Oaks Way (Pvt) Whangarei 0110
Legal description of land where building is located:	LOT 8 DP 210099 LLP: 102640
Building name:	N/A
Location of building within site/block number:	N/A
Level/unit number:	N/A

The Owner

D J Webb
554a State Highway 14
RD 9
Whangarei 0179

Phone number:	09 430 4900
Mobile number:	027 4759724
Facsimile number:	N/A
Email address:	N/A
Website:	N/A

Street address/registered office:	4 High Oaks Way (Pvt) Whangarei 0110
-----------------------------------	---

First point of contact for communications with council/building consent authority

Contact Person

The House Company (2003) Limited
PO Box 25024
Whangarei 0148

Phone number:	09 438 7124
Mobile number:	N/A
Facsimile number:	09 438 0180
Email address:	matt.crum@thehouse.co.co.nz
Website:	N/A

Building Work

The following building work is authorised by this consent:

New Dwelling

*Creating the ultimate
living environment*

Forum North, Private Bag 9023
Whangarei, New Zealand
Telephone: +64 9 430 4200
Facsimile: +64 9 438 7632
Email: mailroom@wdc.govt.nz
Website: www.wdc.govt.nz

BUILDING CONSENT NO BC0901368

This building consent is issued under section 51 of the Building Act 2004. This building consent does not relieve the owner of the building (or proposed building) of any duty or responsibility under any other Act relating to or affecting the building (or proposed building).

This building consent also does not permit the construction, alteration, demolition, or removal of the building (or proposed building) if that construction, alteration, demolition, or removal would be in breach of any other Act.

This building consent is subject to the following conditions:

Section 90 Building Act 2004

See attached list of required inspections.

Compliance Schedule

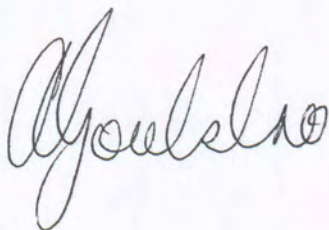
A compliance schedule is not required for the building.

Attachments

No attachments.

Additional Information

1. Dust Nuisance
The applicant must control dust nuisance created by any site or building works.
2. Toilet Facilities
Toilet facilities must be provided within reasonable distance of the construction site. Ground discharge is no longer acceptable.



Signature

Support Assistant - Issuing

Position

On behalf of: Whangarei District Council

30 December 2009

SW MH
SS MH

(pwr) power and telecom connection
cess pit

bottom of retaining wall

metalled formation

dummy peg R.L.25.99

bottom of retaining wall

engineers note:
strongly recommended during development of site,
drive in front of existing retaining wall, be stripped and
good quality compacted hardfill placed to buttress base
of undercut wall. the retained height must be limited to
2.2m max. fill must be compacted in layers no greater
than 200mm and the works must be supervised
by an engineer

water connection
(meter)
cess pit

SW MH
L.L.29.52

SS MH
L.L.29.43

footpath

s11

parking area retaining:
350sed h5 @ 900mm c-c 4.8m deep conc. footing
(max. 2m height)
250sed h5 @ 900mm c-c 3.7m deep conc. footing
(where pile height 1m or less)

handrail where
fall > 1.0m
ref. s10

f.f.l - 0.0m+300mm

dn100ugpvc ss
connection

inspection chamber

floor area: 132.m²
6% site coverage

served property

- (pwr) power connection
- (comm) communication connection
- (~) water supply connection
- (swg) sewer connection
- (sw) stormwater connection
- (datum @ 0.00m)

notes:
contractor must confirm all dimensions on site
before commencement of any work

owner must confirm proposed building location
from legal boundary line -
note this may not be the fence line

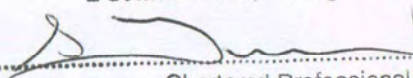
owner must confirm all services before
commencement of any work



RECEIVED
CUSTOMER SERVICES
- 1 DEC 2009
WHANGAREI
DISTRICT COUNCIL

APPROVED 2009
BC NUMBER 1 DAY 1MTH
01368 2212
WHANGAREI DISTRICT COUNCIL
BCA

This drawing is in accordance with
our calculations where applicable.
RICHARDSON STEVENS CONSULTANTS (1996) LTD
CONSULTING ENGINEERS
2 Seaview Road, Whangarei

per 
Chartered Professional Engineer
12 NOV 2009

all construction shall comply with the nz building code, nzs3604:1999 and all relevant codes & specific design. use plan dimensions in preference to scaling.

THE
HOUSE
COMPANY
BUILDERS

proposed new residence for

debbie webb
4 high oaks way
whangarei

at

sheet title

site plan

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or in part without written permission.

date

sketch

revision

05.08.09

sheet

01

of

14

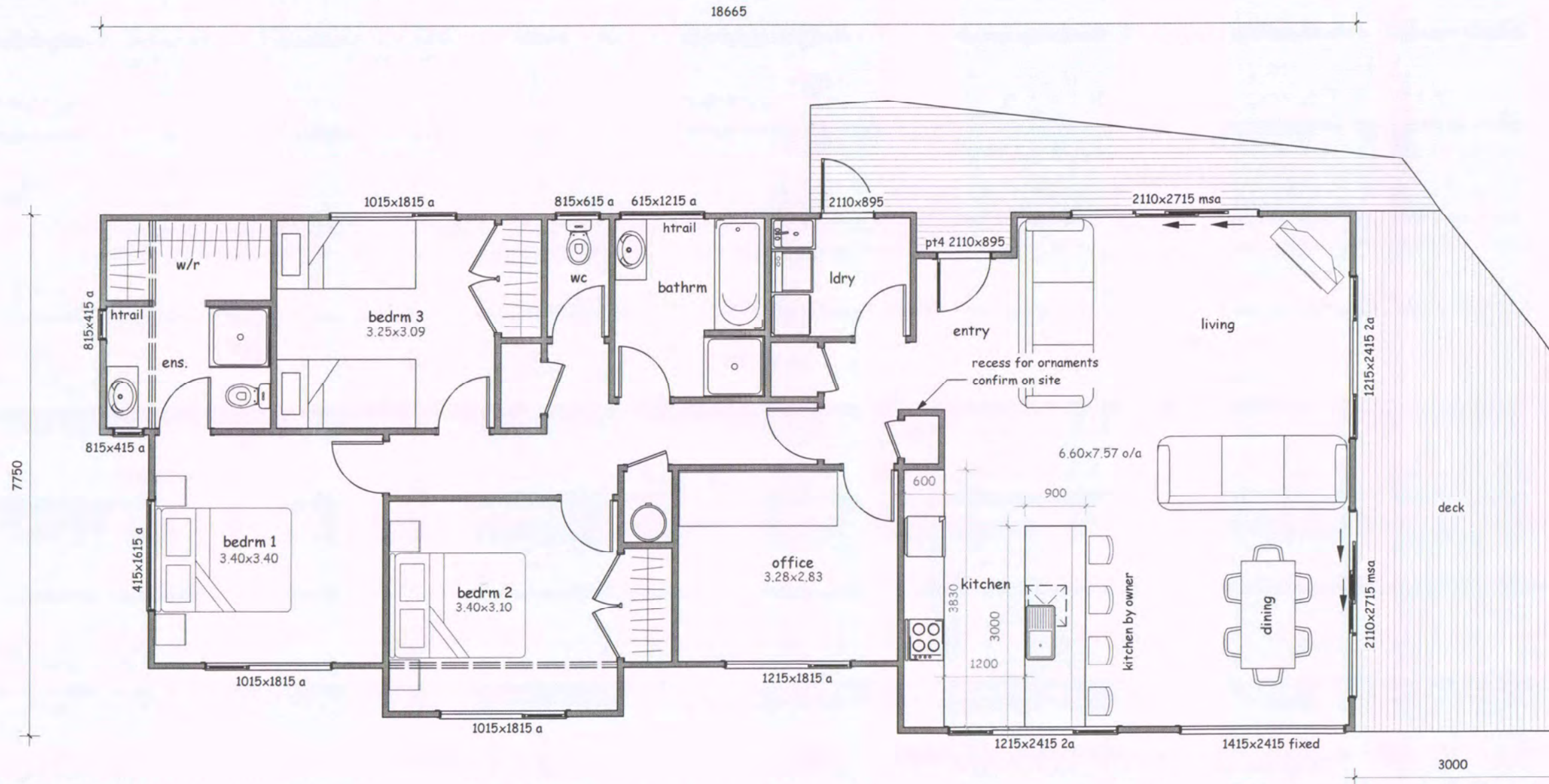
scale

1: 250

drawn

thc

RECEIVED
CUSTOMER SERVICES
- 1 DEC 2009
WHANGAREI
DISTRICT COUNCIL



APPROVED 2009
BC NUMBER 1 DAY 1MTH
01368 2212
WHANGAREI DISTRICT COUNCIL
BCA

all construction shall comply with the nz building code, nzs3604:1999 and all relevant codes & specific design. use plan dimensions in preference to scaling.

THE HOUSE COMPANY BUILDERS

proposed new residence for
Deborah Webb
at
4 high oaks way
whangarei

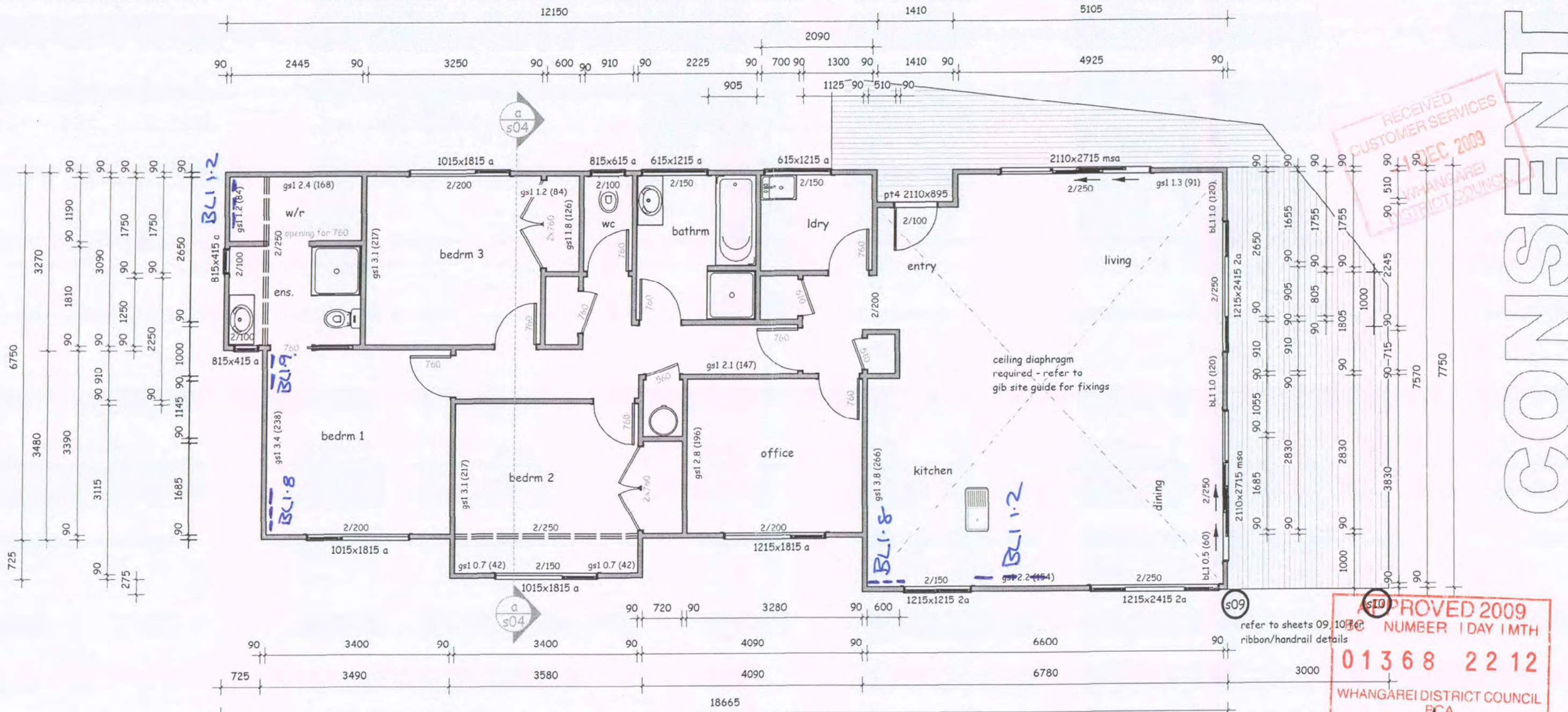
sheet title
client plan

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date
sketch
contract
05.08.09
16.11.09

revision

sheet
of
scale
drawn
02
14
1:75
thc



bracing as recommended by engineer -

bracing key

gs1 10mm gib@ standard one face fixed vert or horiz
bl1 gib@ bracing one face fixed vert or horiz
hold downs required

in water-serviced areas such as laundries, bathrooms, toilets and showers the floor must be covered with a moisture-impervious membrane. walls and ceilings in these areas must have an approved 3 coat paint system applied.

construction notes

interior door head heights - 2030mm.
doors are framed for 19mm jambs.

square stopped scotias,
60x12mdf square dressed skirtings & architraves
60x12 square dressed h3 pine skirting to wet areas

all external load bearing exterior studs to be msg8/vsg8 90x45 h1.2 @ 400 c-c max.
all exterior framing to have 2 rows of nog.
interior load and non load bearing framing 90x45 h1.2 msg8 @ 600mm c-c with 1 row of nog central to studs.

all lintels to be msg/vsg8 h1.2 timber
refer to sheet 10 for lintel fixing chart

lining key

10mm gib@ 'standard' wall linings
(or as required for bracing)
10mm gib@ 'ultraline' to ceilings
10mm gib@ 'aqualine' to wet areas (laundry)

This drawing is in accordance with
our calculations where applicable.

RICHARDSON STEVENS CONSULTANTS (1996) LTD
CONSULTING ENGINEERS
2 Seaview Road, Whangarei

per Chartered Professional Engineer

all construction shall comply with the nz building code, nzs3604:1999 and all relevant codes & specific design. use plan dimensions in preference to scaling.

THE HOUSE BUILDERS COMPANY

proposed new residence for

debbie webb
4 high oaks way
whangarei

sheet title

dimension plan
ground floor

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date

sketch

revision

05.08.09

12 NOV 2009

06

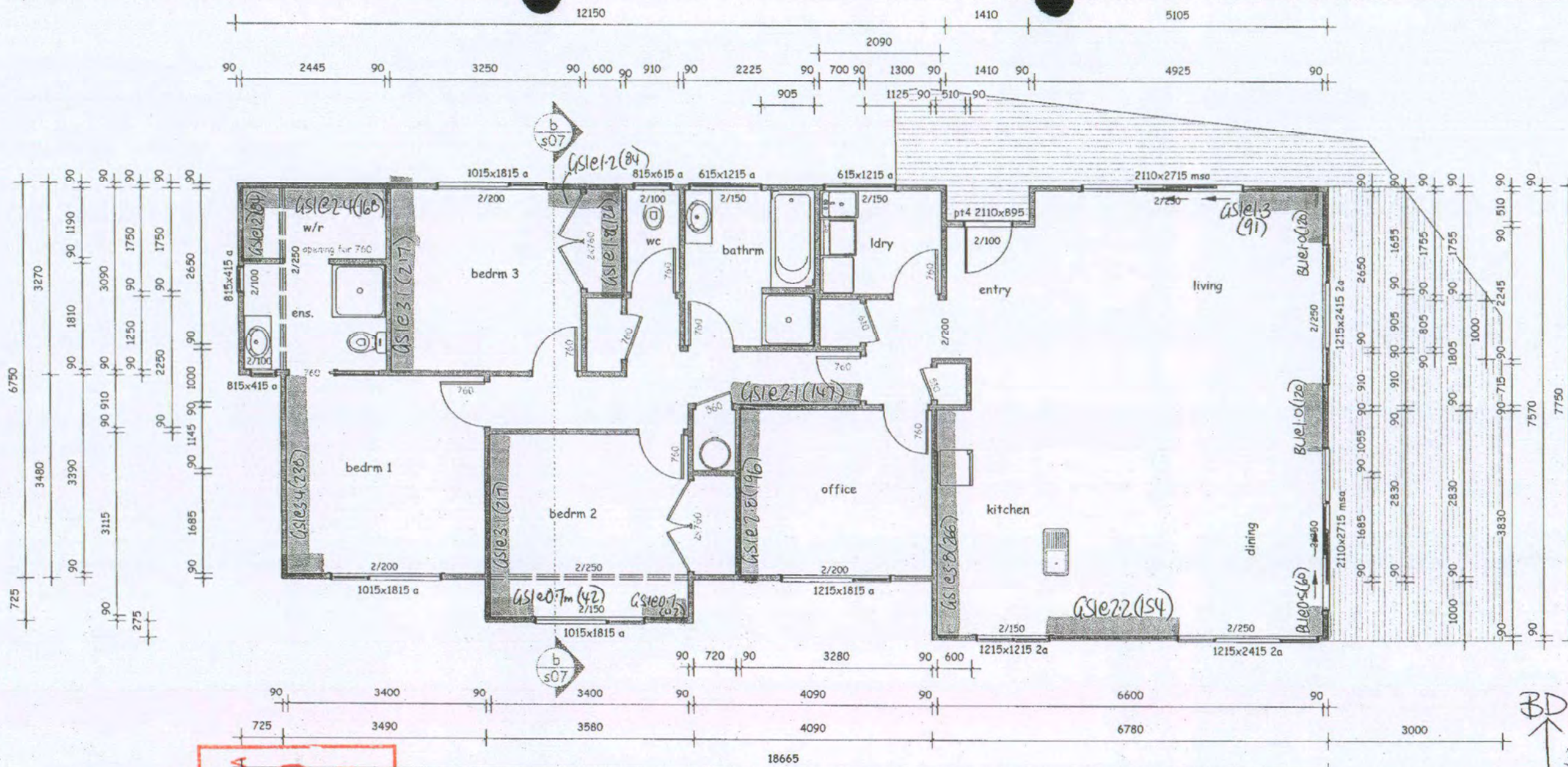
14

of
scale

1: 75

drawn

thc



bracing key

- gs1 10mm gib@ standard one face fixed vert or horiz
- bl1 gib@ bracceline one face fixed vert or horiz
- hold downs required

ply braces - internal linings fixed as braces

- sp1 9mm plygroove - type 1 hold down
- sp2 9mm plygroove - type 1 hold down
- sp8d 9mm plygroove - type 2 hold down
- all nailed @ 150mm c-c

in water-serviced areas such as laundries, bathrooms, toilets and showers the floor must be covered with a moisture-imperious membrane. walls and ceilings in these areas must have an approved 3 coat paint system applied.

construction notes

- interior door head heights - 2030mm.
- doors are framed for 19mm jombs.
- 40x12 mdf square dressed scotias,
- 60x12 mdf square dressed skirtings & architraves
- 60x12 square dressed h3 pine skirting to wet areas

all external load bearing exterior studs to be msg8/vsg8 90x45 h1.2 @ 400 c-c max. all exterior framing to have 2 rows of nog. interior load and non load bearing framing 90x45 h1.2 msg8 @ 600mm c-c with 1 row of nog central to studs.

bracing as recommended by engineer -

all lintels to be msg/vsg8 h1.2 timber refer to sheet 11 for lintel fixing chart

lining key

- 10mm gib@ 'standard' wall linings (or as required for bracing)
- 10mm gib@ 'ultraline' to ceilings
- 10mm gib@ 'aqualine' to wet areas (laundry)

BD 1571
BU
686
BC 1644
vok
728
vok

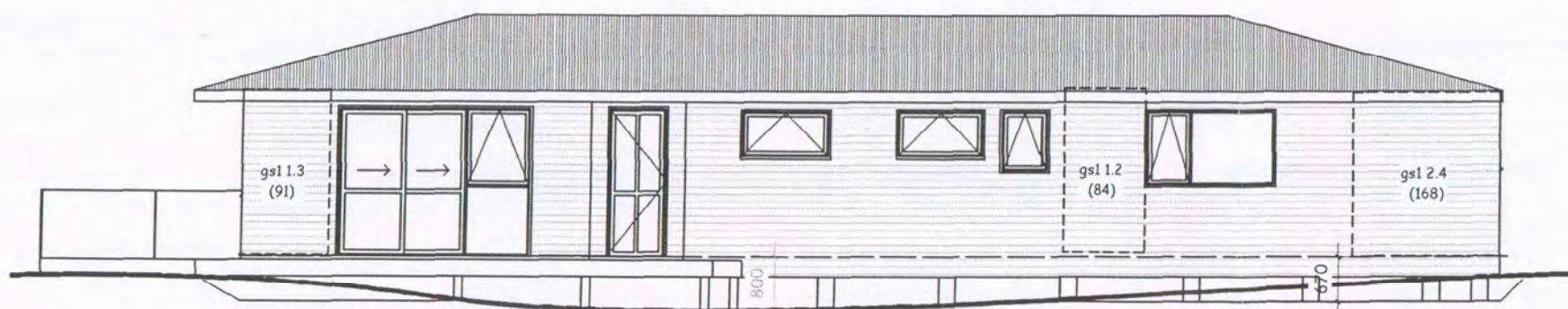
all construction shall comply with the nz building code, nz3604:1999 and all relevant codes & specific design. use plan dimensions in preference to scaling.

APPROVED 2009
BC NUMBER 1 DAY 1MT
01368 2212
WHANGAREI DISTRICT COUNCIL

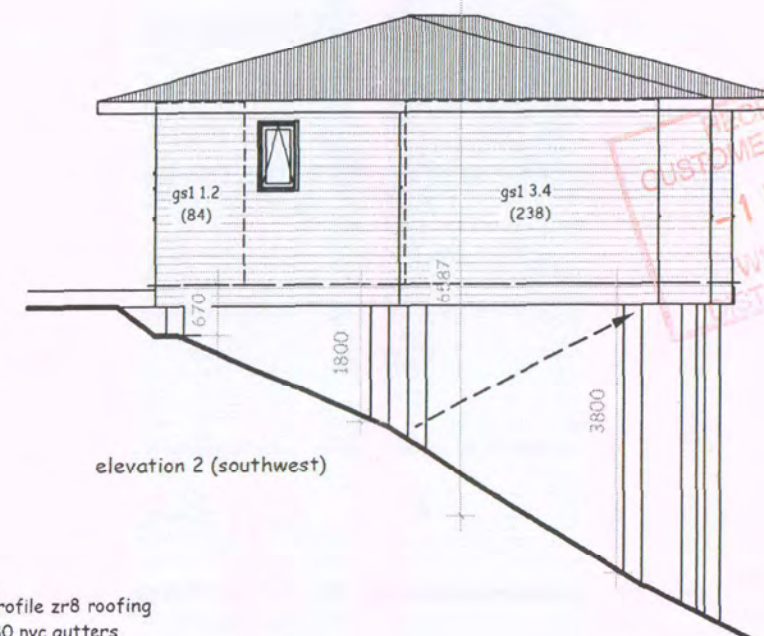
RECEIVED
CIVIL SERVICES
DEC 2009
WHANGAREI DISTRICT COUNCIL

CONTRACT

proposed new residence for debbie webb 4 high oaks way whangarei at THE HOUSE COMPANY	sheet title dimension plan ground floor © The House Company (Incorporated) 2005 (2009) these drawings remain the property of "the house company" and may not be used or reproduced in whole or in part without written permission.	date sketch revision 05.08.09	sheet 06 of 14 scale 1: 75 drawn thc
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elevation 1 (northwest)



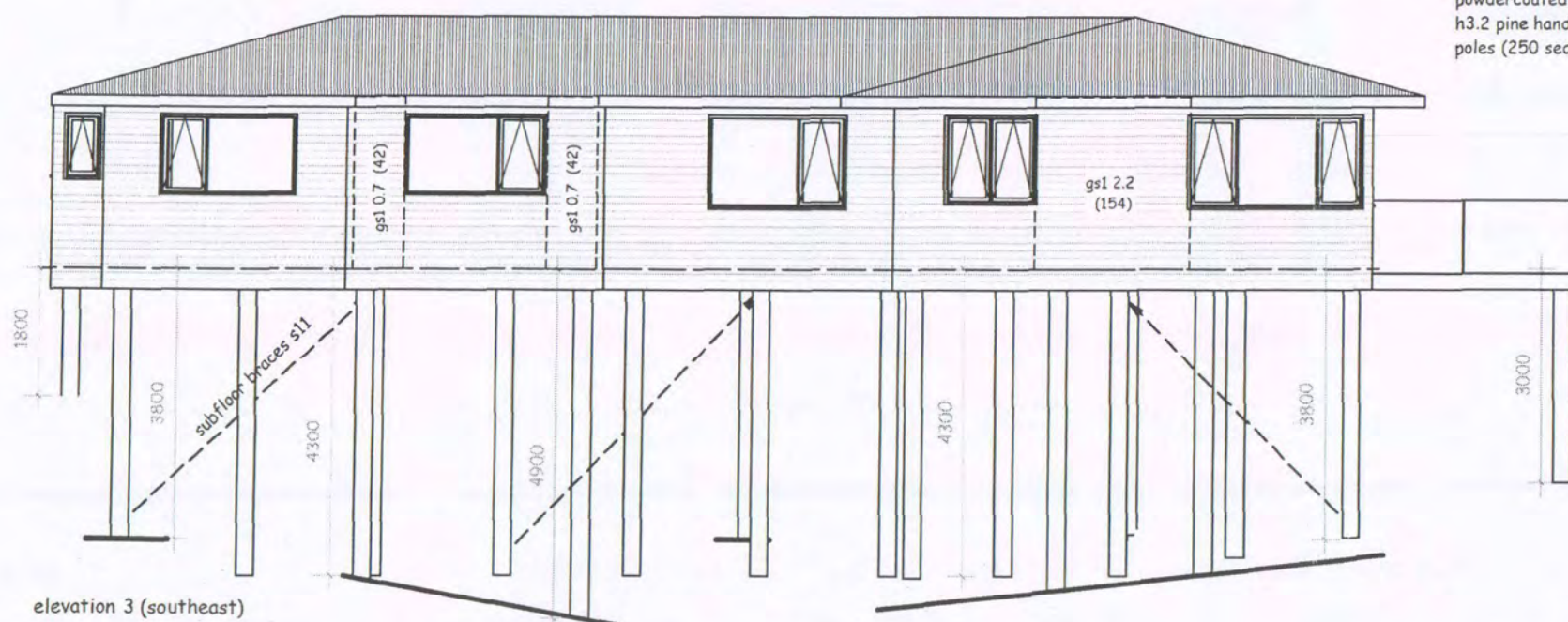
elevation 2 (southwest)

very high wind zone

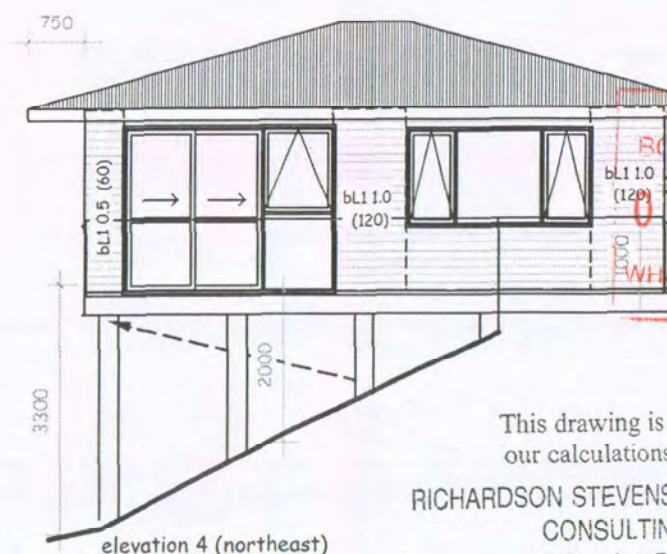
15° pitch to all roof planes

elevation notes:

0.40bmt colorcote corrugated profile zr8 roofing
pre-painted zr8 gutters with Ø80 pvc gutters
200x25 pre-primed pine fascias
silklime linings to roof overhangs
~~handplank smooth 180 weatherboards~~ *palliside 'traditional'*
~~with aluminium corner soakers~~
powdercoated aluminium joinery
h3.2 pine handrail/decking
poles (250 sed hd h5)



elevation 3 (southeast)



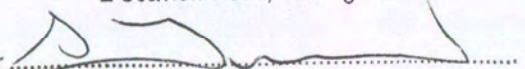
elevation 4 (northeast)

APPROVED
CUSTOMER SERVICES
1 DEC 2009
WHANGAREI
DISTRICT COUNCIL

APPROVED 2009
BC NUMBER 1 DAY 1MTH
01368 2212
WHANGAREI DISTRICT COUNCIL
BCA

This drawing is in accordance with
our calculations where applicable.

RICHARDSON STEVENS CONSULTANTS (1996) LTD
CONSULTING ENGINEERS
2 Seaview Road, Whangarei

per 
Chartered Professional Engineer

12 NOV 2009

all construction shall comply with the nz building code, nzs3604:1999 and all relevant codes & specific design. use plan dimensions in preference to scaling.

THE
HOUSE
COMPANY BUILDERS

proposed new residence for

debbie webb
at 4 high oaks way
whangarei

sheet title

elevations

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or in part without written permission.

date
sketch 05.08.09

revision

sheet
03
of
14
scale
1:100
drawn
thc

refer to addendum

ENGINEERING REPORT

For

Deborah Webb,
Lot 8 DP 210099, High Oaks Way
STABILITY ASSESSMENT



RICHARDSON STEVENS CONSULTANTS (1996) LTD.

Date: 28 SEPTEMBER 2009
File Number: 8496
Report By: IAIN MACKAY





Email: engineers@richardsonstevens.co.nz



Grant Stevens
B.E., M.I.P.E.N.Z. (Civil, Structural)
Chartered Professional Engineer

Steve Turner
B.E., M.I.P.E.N.Z. (Civil, Structural)
Chartered Professional Engineer

CIVIL & STRUCTURAL ENGINEERS, 2 SEAVIEW RD, WHANGAREI 0110. PH: 09 438 3273, FAX: 09 438 5734

Engineering Report for
Deborah Webb,
Lot 8 DP 210099, High Oaks Way
STABILITY ASSESSMENT

1.0 Introduction

The client proposes to construct a new three-bedroom dwelling on Lot 8 DP210099. Richardson Stevens Consultants (1996) Ltd has been commissioned to make an assessment of the property for stability for the proposed dwelling.

2.0 Site Description / Proposal

The 2140m² lot is located to the southeast of High Oaks Way, approximately 150m from the end of Selwyn Ave. An existing metalled access has been provided. The section has a steep southeast aspect with scrub and grass as ground cover. The metalled access forms part of a track which runs along the northwest and northeast boundaries. A small stream runs adjacent to the southern boundary.

The client proposes to construct a single storey dwelling on poles with provision to construct a lower storey in the future. A vehicle turning area to the southwest of the track is proposed. The vehicle turning area will be retained with a timber retaining wall.

3.0 Whangarei District Council Zonings

The Whangarei District Council (WDC) Hazard Maps show the land being in a High Instability Hazard Area and the southern area of the lot in a Flood Susceptible Hazard Area.

Flooding is not considered an issue to the property due the small catchment of the stream and proposed buildings located approximately 10-15 meters above the stream.

Refer attached Hazard Maps from WDC GIS web site.

4.0 Site Investigations

A site inspection including a walkover of the lot and subsoil investigations was conducted on 8th September 2009. Boreholes were excavated in the north and south corners of the proposed dwelling and in the southern corner of the proposed retaining wall location. In-situ undrained shear strengths were taken at regular intervals. The first borehole in the southern corner of the proposed retaining wall location found plastic clay to a depth of 0.8m. At this point firm silt was encountered to a depth of 3.8m, below this hard grey / black silt (mudstone) was encountered to a depth of 4.5m where the bore was terminated. Shear strengths ranged from 101kPa to greater than 236kPa. The second borehole at the northern corner of the proposed dwelling found a firm clayey silt to a depth of 1.1m. At this point silty clay was encountered to a depth of 1.8m where the auger could not penetrate further. Shear strengths ranged from 151kPa to 219kPa. The third borehole at the southern corner of the proposed dwelling found firm silt and clay to a depth of 1.5m. At this point soft silt (increasing in strength with depth) was found to a depth of 3.0m, below this hard dark brown silt (mudstone) was encountered to a tested depth of 3.3m. Shear strengths ranged from 76kPa to greater than 236kPa.

Refer attached site plan for proposed dwelling, retaining wall and testing locations.

5.0 Geology

The NZ Land Inventory Maps by the NZ Geological Survey describe the Geology as *"Mudstone with Blocks: matrix of closely fractured mudstone containing variable sized (cm-km) blocks of calcareous, non-calcareous or siliceous lithologies; moderately soft. Weathered to soft clay to depth of 10m, with weathering of blocks as given in descriptions. Unstable in places, even on gentle slopes."*

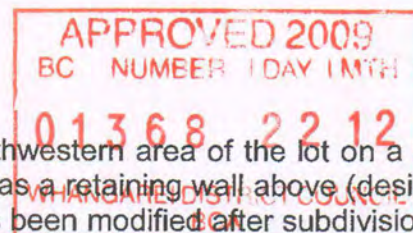
From inspection of the site and surrounding area, it is concluded that the site is consistent with the above description from the NZ Land Inventory Maps.

6.0 Stability Assessment / Foundations

The location of the proposed dwelling is in the northwestern area of the lot on a slope of approximately 27°. The metalled access to the lot has a retaining wall above (designed by this consultancy at subdivision stage). This wall has been modified after subdivision works and a review of the design has found that additional work will be required to the wall (see attached). A track has been cut below the location of the vehicle turn around area. No signs of instability were observed on the property.

Review of the subdivision documents outline that uncontrolled filling was conducted on this lot. This is consistent with the clayey silt over plastic clay found from subsoil investigations at the dwelling location in Boreholes 2 & 3.

A cross section analysis was completed through the proposed dwelling area and the proposed retaining wall area. The cross sections (attached) indicate the ground slope relative to the underlying soil strata.



The building site is underlain with firm clay followed by soft to firm silt and Mudstone as the parent rock. Hard weathered Mudstone rock is approximately 3m to 4m below ground level. As clays and silts overlying Mudstone can be unstable on slopes with a gradient as little as 7 degrees, we would recommend that the foundations for the dwelling be keyed into the mudstone layer. Foundations should be designed by a suitably qualified Chartered Professional Engineer (refer attached foundation design).

The top clay and silt layer below the retaining wall could become unstable with some minor slumping in the future. The retaining wall design must take into account the 2.0m fill (surcharge) on the potentially unstable slope. Specific design of the retaining wall will be required by a Chartered Professional Engineer (refer attached retaining wall design).

With regard to the future development of the lower storey, we suggest that it would be appropriate at the stage of that future development to construct a soldier pile wall immediately on the uphill side of the house in order to provide a stable construction site while cutting. This would need to be subject to engineering input at that time.

Provided the above recommendations are followed the risk of instability for the proposed development is considered to be low.

7.0 Conclusion

It is the conclusion of Richardson Stevens Consultants (1996) Ltd that the site is suitable for a residential dwelling designed in accordance with NZS 3604:1999 Timber Framed Buildings subject to the recommendations of this report.

Subject to the recommendations of this report, in terms of Section 72 of the Building Act 2004, it is our opinion that;

- (a) The building work to which an application for a building consent relates will not accelerate, worsen, or result in instability or inundation on the land on which the building work is to be carried out or any other property; and
- (b) The land is not subject or is not likely to be subject to instability or inundation

8.0 Limitations

Recommendations and opinions in this report are based on data obtained as previously detailed. The nature and continuity of subsoil conditions away from the test locations are inferred and it should be appreciated that actual conditions could vary from those assumed.

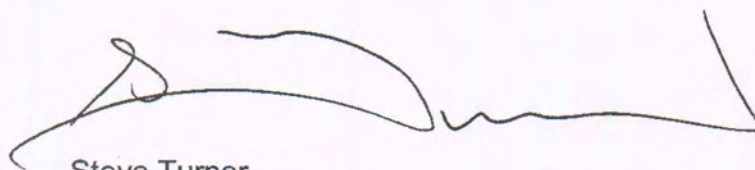
If during excavation and construction conditions are encountered that differ from the inferred conditions on which the report has been based, the site should be examined by a suitably qualified engineer to determine if any modification of the design based upon this report is required.

This report is prepared solely for the benefit of the client and the Whangarei District Council for the purpose of determining engineering suitability of the proposed development in relation to the areas covered by the report. The reliance by other parties on the information or opinions contained in the report shall, without our prior review and agreement in writing, be at such other parties own risk.

Prepared by:

Approved by:

Iain Mackay
Engineering Technician
Richardson Stevens Consultants (1996) Ltd.

A handwritten signature in black ink, appearing to read 'Steve Turner', written over a horizontal line.

Steve Turner
Chartered Professional Engineer

refer to eng. report.



Email: engineers@richardsonstevens.co.nz



Grant Stevens
B.E., M.I.P.E.N.Z. (Civil, Structural)
Chartered Professional Engineer

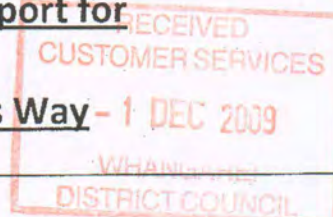
Steve Turner
B.E., M.I.P.E.N.Z. (Civil, Structural)
Chartered Professional Engineer

CIVIL & STRUCTURAL ENGINEERS, 2 SEAVIEW RD, WHANGAREI 0110. PH: 09 438 3273, FAX: 09 438 5734

Addendum to Engineering Report for

Deborah Webb,

Lot 8 DP 210099, High Oaks Way - 1 DEC 2009



An engineering report has been prepared by Richardson Stevens Consultants (1996) Ltd, reviewing the stability of Lot 8, DP 210099 for Deborah Webb and the construction of a House Company House. This report was dated 28th September 2009 and made reference to an existing retaining wall on site that required some attention. A copy is available from our office if required.

"The metalled access to the lot has a retaining wall above (designed by this consultancy at subdivision stage). This wall has been modified after subdivision works and a review of the design has found that additional work will be required to the wall (see attached). A track has been cut below the location of the vehicle turn around area."

Additional work has been conducted in evaluating the as-built wall design i.e. structure available versus retained height. We conclude that the maximum allowable retained wall height with the existing poles installed on site is 2.2m. We recommend that compacted hardfill be placed in front of the wall, raising the ground level and effectively buttressing the base of the wall. Good quality compacted hardfill must be used, and this must be supervised by an appropriately qualified person. The existing driveway surface must be stripped and benched as required before proceeding and the hardfill compacted in layers of not more than 200mm.

Yours faithfully,

Rachel Wright
Senior Engineer

BE(Civil),
MIPENZ (Structural),
CPEng.

Richardson Stevens Consultants (1996) Ltd





Code Compliance Certificate BC0901368
Section 95, Building Act 2004
Issued: 10 June 2010



WHANGAREI
DISTRICT COUNCIL

The Building

Street Address of building:	4 High Oaks Way (Pvt) Whangarei 0110
Legal Description of land where building is located:	LOT 8 DP 210099 LLP 102640
Building name:	N/A
Location of building within site/block number:	N/A
Level unit number:	N/A
Current, lawfully established use:	N/A
Year first constructed:	N/A

The Owner

D J Webb
4 High Oaks Way (Pvt)
Whangarei 0110

Phone number:	N/A
Mobile number:	027 475 9724
Facsimile number:	N/A
Email address:	N/A
Website:	N/A

First point of contact for communications with the building consent authority:

Contact Person

The House Company (Whangarei 2003) Limited
PO Box 25024
Whangarei 0148

Phone number:	09 438 7124
Mobile number:	N/A
Facsimile number:	09 438 0180
Email address:	N/A
Website:	N/A

Street address/registered office:	4 High Oaks Way (Pvt) Whangarei 0110
-----------------------------------	---

*Creating the ultimate
living environment*

Forum North, Private Bag 9023
Whangarei 0148, New Zealand
Telephone: +64 9 430 4200
Facsimile: +64 9 438 7632
Email: mailroom@wdc.govt.nz
Website: www.wdc.govt.nz

Building Work

Building Consent number

Issued by:

New Dwelling

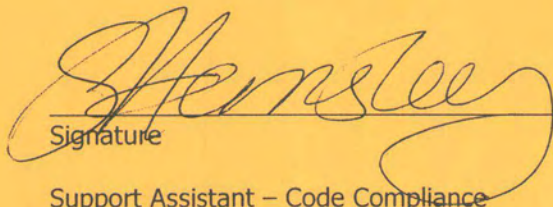
BC0901368

Whangarei District Council

Code Compliance

The building consent authority named below is satisfied, on reasonable grounds, that –

(a) The building work complies with the building consent.


Signature

Support Assistant – Code Compliance
Position

On behalf of: Whangarei District Council

10 June 2010

Code Compliance Certificate BC0901368

WT004846

WHANGAREI DISTRICT COUNCIL

Forum North • Private Bag 9023 • Whangarei • 0140 • New Zealand
 Telephone: (09) 430 4200 • 0800 WDC INFO • 0800 932 463 • Facsimile: (09) 438 7632
 Website: <http://www.wdc.govt.nz> • E-mail: mailroom@wdc.govt.nz



Creating the ultimate living environment

Application for Public Utility Service

FAST TRACK Water Meter Only

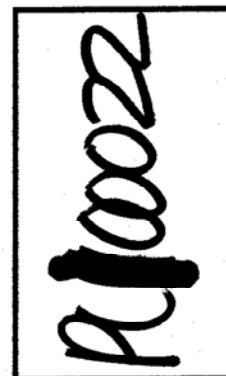
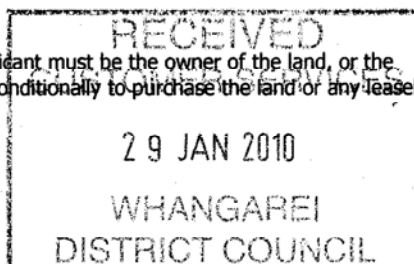
[This Form is not Required for a Subdivision]

General

(To be completed in all cases, ✓ each box as appropriate. The applicant must be the owner of the land, or the leaseholder, or a person who has agreed either conditionally or unconditionally to purchase the land or any leasehold)

Application Type

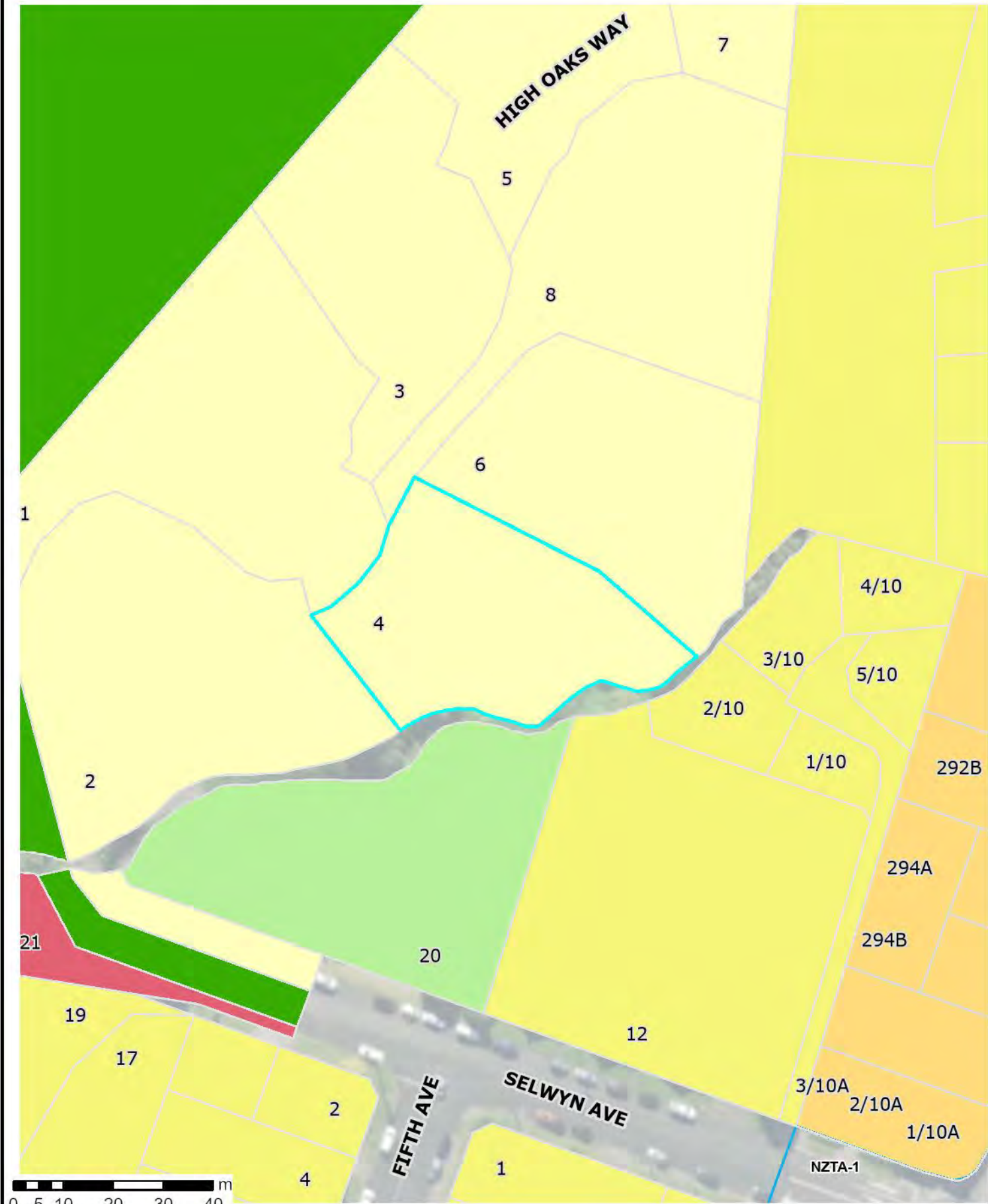
- 1 ☒ Public Utility Service – water meter only
- 2 ☒ Application linked to a Building Consent (No 0901368)

**Applicant**Name DEBORAH JEAN WEBBMailing Address 9 TANEKAHA DR WHANGAREIPhone 0274 759 724

Fax _____

AgentName THE HOUSE COMPANY (WHG 2003) LTDMailing Address PO BOX 25-024 WHANGAREI MAIL CENTREPhone 09 438 7124Fax 09 438 0180**Site**Street/Road No 4 Road Name HIGH OAK WAY (PUT)Town or Area WHANGAREI**Legal Description**Valuation Roll No 6073189907. Lot 8 DP 210099**Office Use Only**All correspondence/charges are to be directed to the ☐ Applicant ☒ AgentProperty ID 1070222Classified Use DomesticLLP Number 102640.Account Number 510043-129Date 29/01/10

PTO



The information displayed is schematic only and serves as a guide. It has been compiled from Whangarei District Council records and is made available in good faith but its accuracy or completeness is not guaranteed.

19 May 2026
Scale 1:1,000

Parcel Information is sourced from the Land Information New Zealand (LINZ) Data Service.
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Operative District Plan – Map Legend

District-Wide Matters

Energy, Infrastructure and Transport

- National Grid Tower
- Northpower Tower CEL-Cat1
- National Grid Line
- Northpower Overhead Critical Line Cel-Cat1
- Northpower Critical Overhead Lines CEL
- Northpower Critical Underground Lines CEL
- Airport Runway
- Indicative Road
- National Road
- Regional Road
- Arterial Road
- Primary Collector Road
- Secondary Collector Road
- Low Volume Road
- Access Road
- Strategic Road Protection Area
- Strategic Railway Protection Line

Hazards and Risks

- Coastal Hazard Area 1
- Coastal Hazard Area 2
- Flood Susceptible Areas
- Mining Hazard Area 1
- Mining Hazard Area 2
- Mining Hazard Area 3

Historical and Cultural Values

- Notable Tree Overlay
- Heritage Item Overlay
- Sites of Significance to Maori
- Heritage Area Overlay
- Areas of Significance to Maori

Natural Environment Values

- Esplanade Priority Area
- Coastal Marine Area (CMA) boundary
- Goat Control Areas
- Outstanding Natural Feature
- Outstanding Natural Landscape

General District-Wide Matters

- Airport Noise Boundary
- Outer Control Boundary
- Helicopter Hovering Area
- Noise Control Boundary Overlay
- Rail noise alert area
- Rail vibration alert area
- QRA Quarrying Resource Area
- QRA Mining Area
- QRA Buffer Area
- QRA 500m Indicative Setback
- Coastal Environment Overlay
- Outstanding Natural Character Area
- High Natural Character Area

Area Specific Matters

- Designation
- Precinct
- Development Area

Residential Zones

- Large Lot Residential Zone
- Low Density Residential Zone
- General Residential Zone
- Medium Density Residential Zone

Rural Zones

- Rural Production Zone
- Rural Lifestyle Zone
- Settlement Zone Residential Sub-Zone
- Settlement Zone Centre Sub-Zone
- Settlement Zone Industry Sub-Zone

Commercial and Mixed Use Zones

- Local Centre Zone
- Neighbourhood Centre Zone
- Commercial Zone
- Mixed Use Zone
- Town Centre Zone
- City Centre Zone

Industrial Zones

- Light Industrial Zone
- Heavy Industrial Zone

Open Space and Recreation Zones

- Natural Open Space Zone
- Open Space Zone
- Sport and Active Recreation Zone

Special Purpose Zones

- Airport Zone
- Future Urban Zone
- Fonterra Kauri Milk Processing SRIZ – Ancillary Irrigation Farms
- Hospital Zone
- Port Zone
- Ruakaka Equine Zone
- Shopping Centre Zone
- Strategic Rural Industries Zone
- Waterfront Zone

The information displayed is schematic only and serves as a guide.

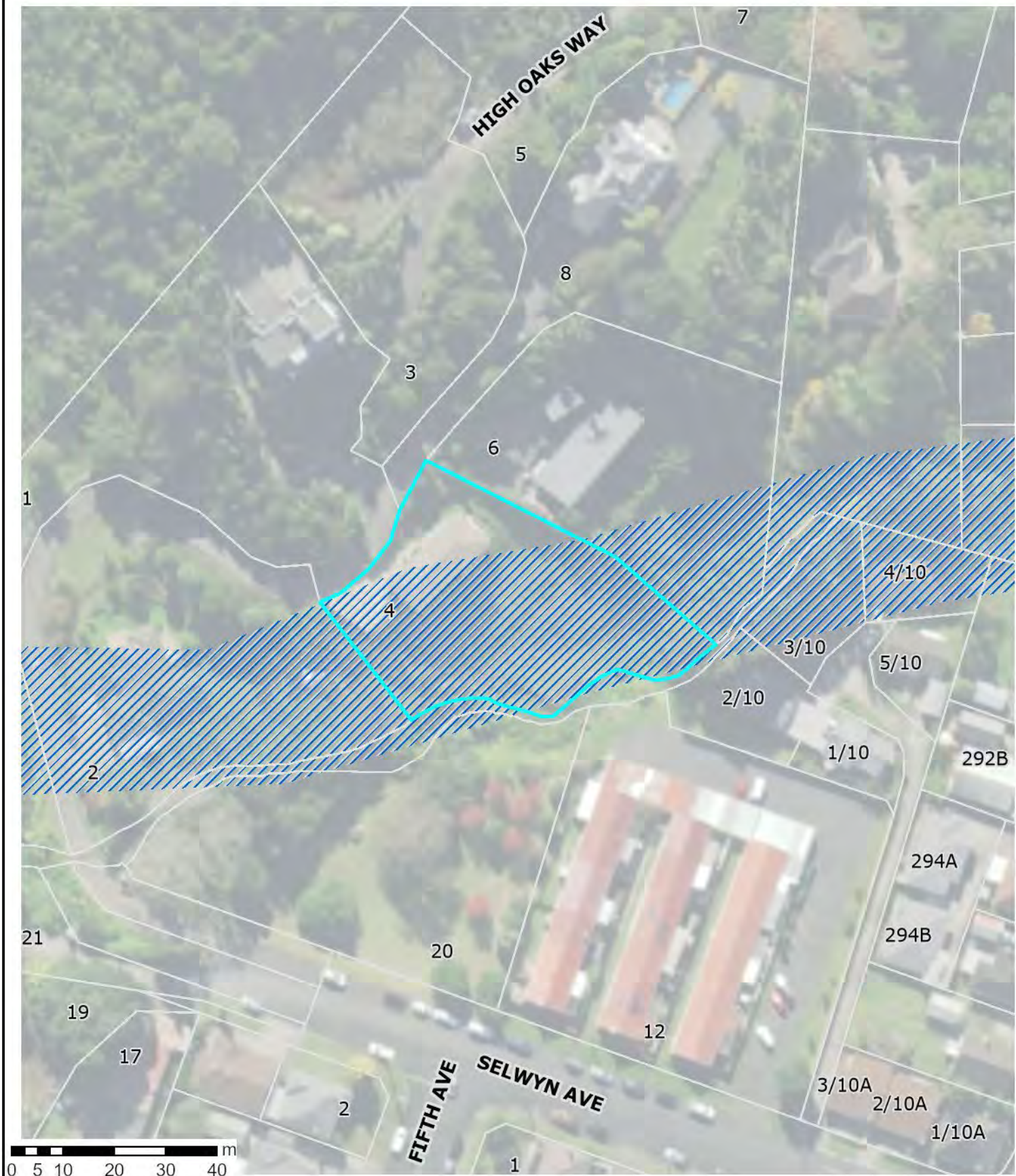
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The Whangarei District Council district plan GIS data was created at a specific point in time.

Land parcel Information is sourced from the Land Information New Zealand (LINZ) Data Service. The LINZ land parcel information may be updated by LINZ at any time from that time, which may result in misalignments with Whangarei District Council information.

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Flood Susceptibility Review



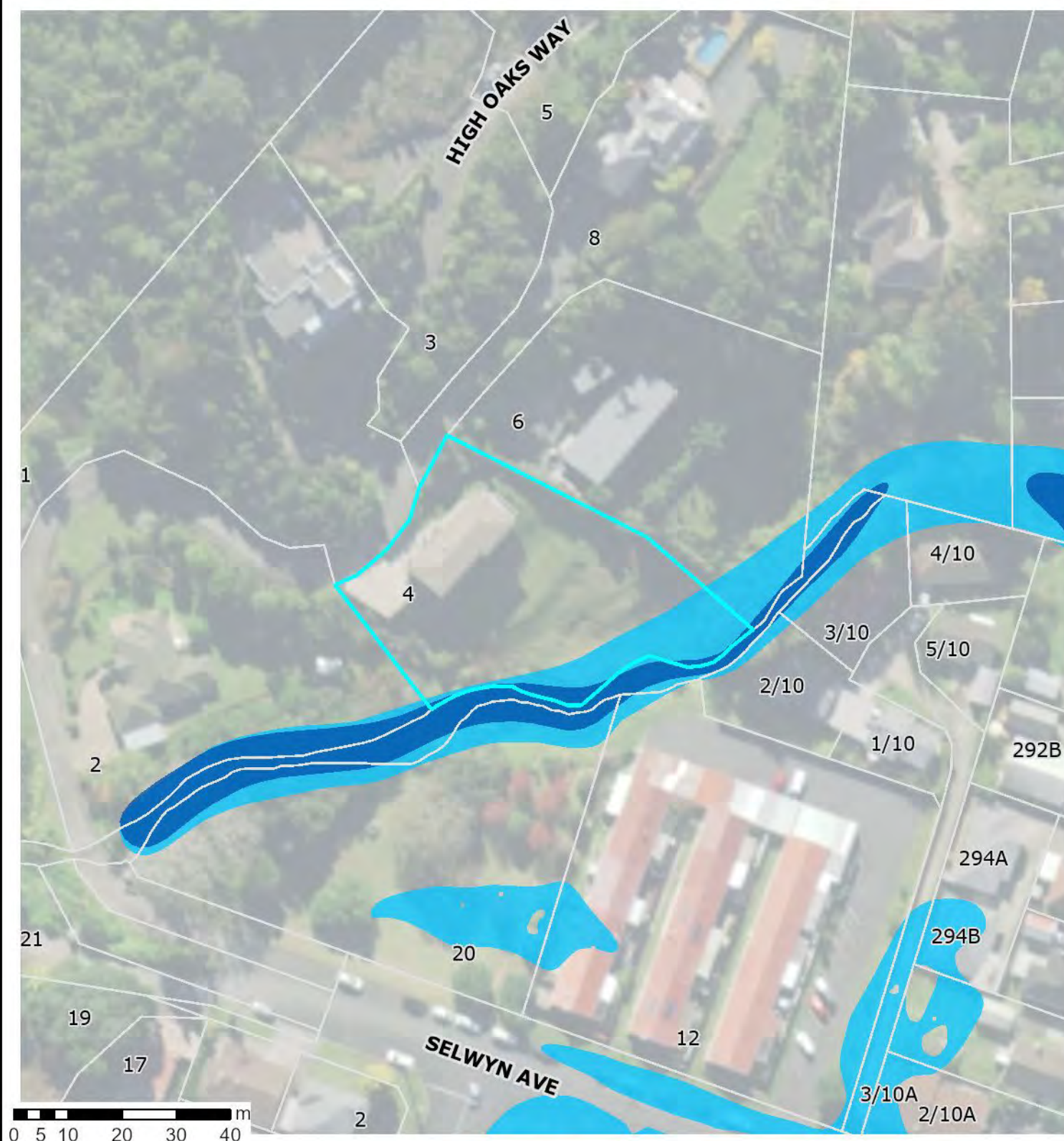
Flood Susceptible
Accepted by Council Decision for
District Plan

Flood susceptibility areas are symbolized to show the information from the District Plan Flood Susceptible Areas: 'Accepted by Council Decision' (in diagonal blue) Floods information shown is approximate and should not be used as a replacement for site specific investigation and assessments. The absence of hazard information shown does not mean that there is none, only that the information may not yet have been collected.

19 May 2026
Scale 1:1,000



District Plan Change 1 - Natural Hazards Flooding



PC1 - Natural Hazards

Flood Hazard Area

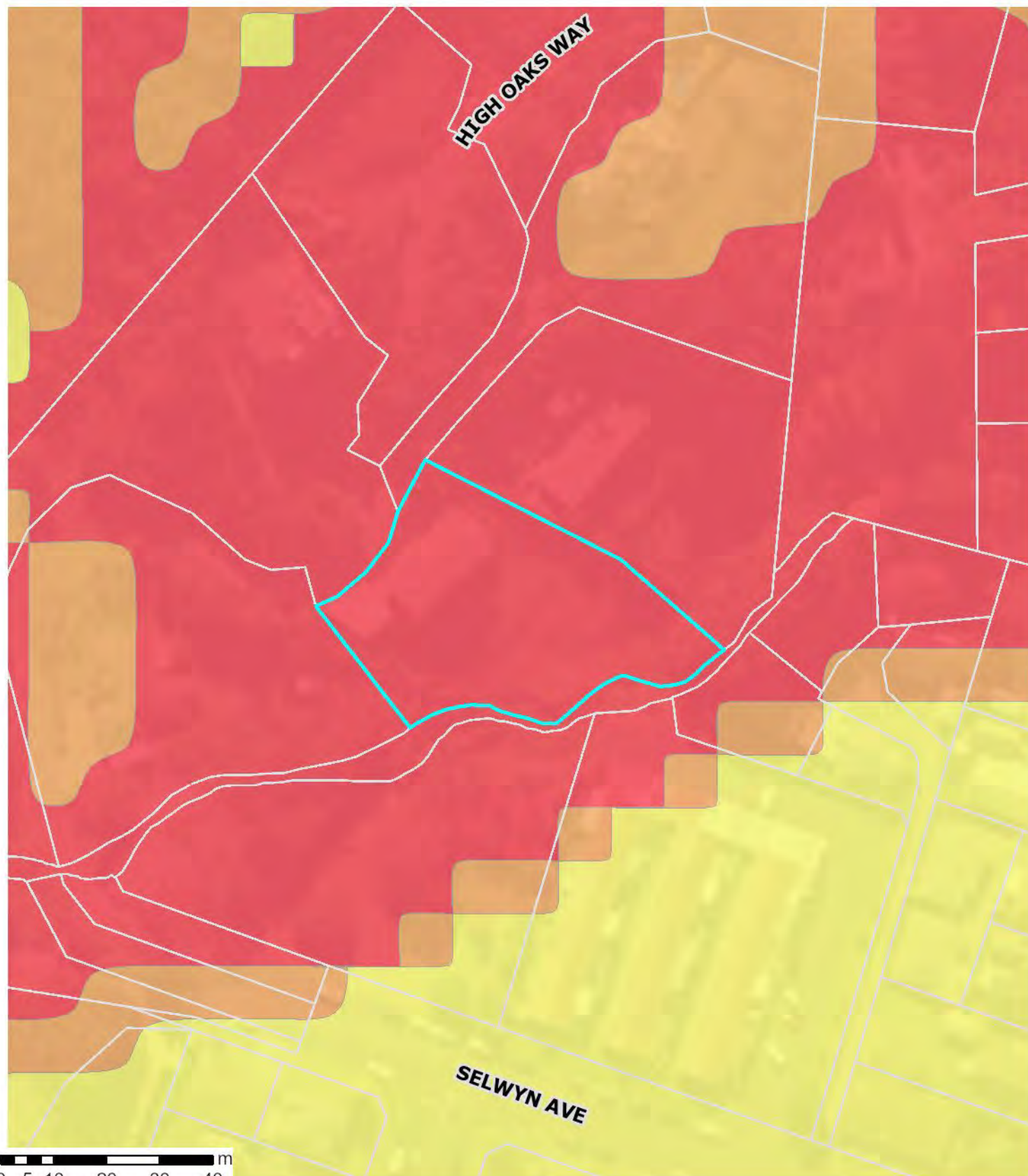
- 10 Year Flood Hazard Area
- 100 Year Flood Hazard Area

Information provided on this map forms part of Plan Change 1 – Natural Hazards.
To view the maps and see how the changes may affect the property please visit:
<https://www.wdc.govt.nz/Services/Planning/District-Plan-changes/Current-plan-changes>.

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Landslide Susceptibility Zone

- High
- Moderate
- Low

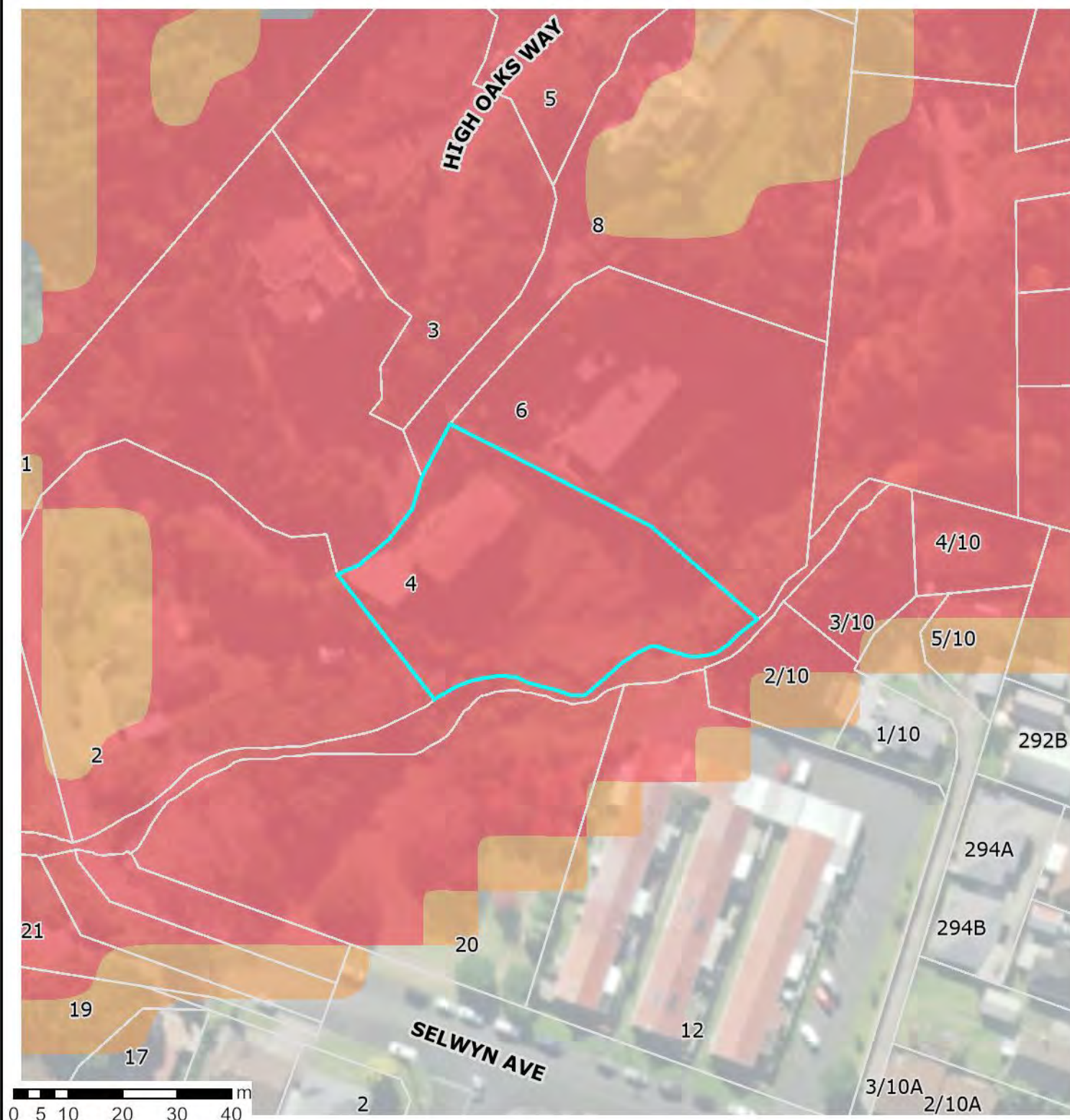
Whangārei District Council holds indicative information on land stability hazard for Whangārei. The Whangārei District Council may require site-specific investigations before granting future subdivision or building consent for the property, depending on the level of stability risk of the area the property is in. Tonkin + Taylor Ltd Landslide Susceptibility assessment report: <https://www.wdc.govt.nz/files/assets/public/v2/documents/council/reports/hazard-reports/land-stability/landslide-susceptibility-technical-report.pdf>

19 May 2026
Scale 1:1,000



District Plan Change 1 - Natural Hazards

Land Instability



PC1 - Natural Hazards

Land Instability

- High Susceptibility to Land Instability
- Moderate Susceptibility to Land Instability

19 May 2026

Scale 1:1,000



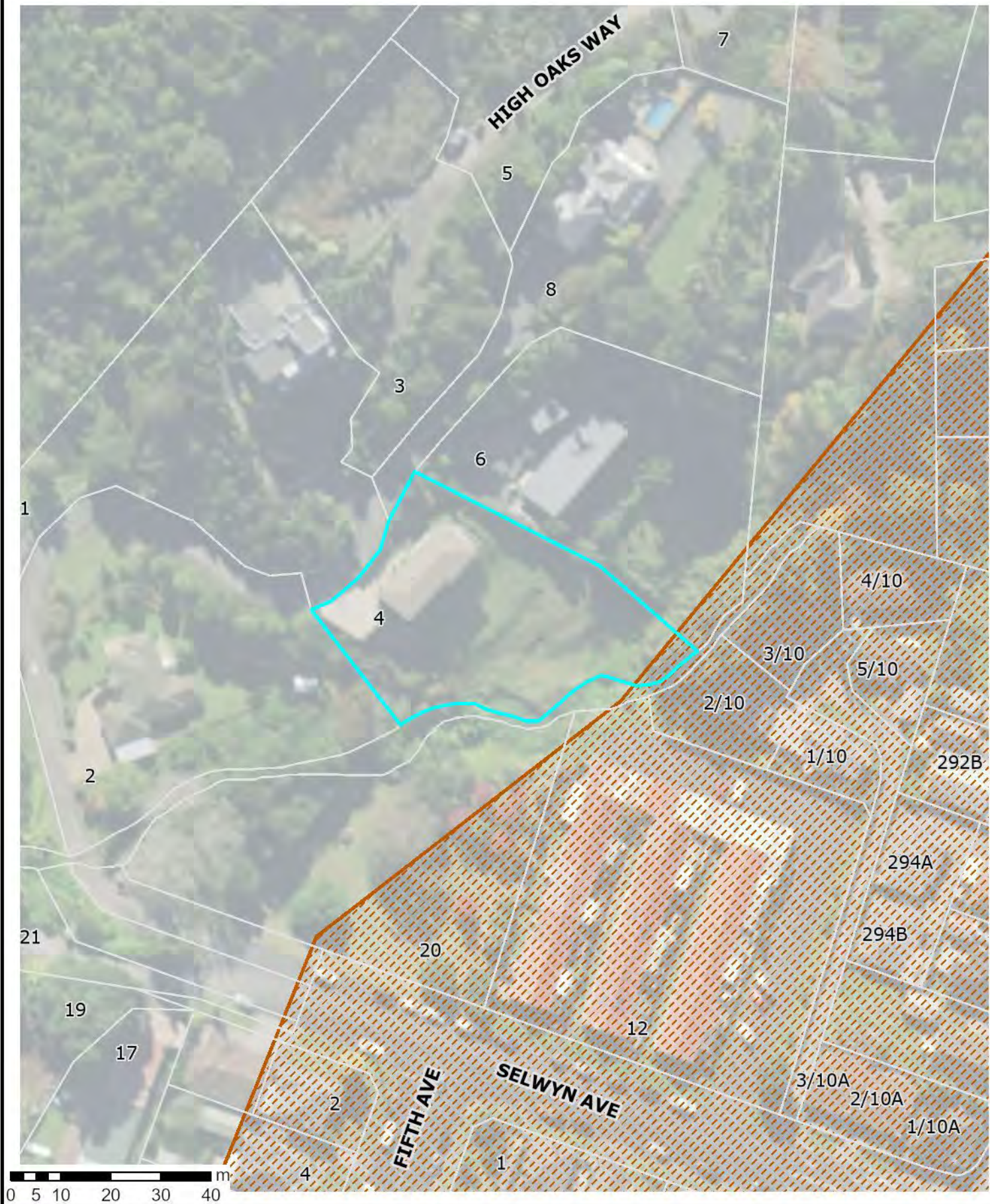
Information provided on this map forms part of Plan Change 1 – Natural Hazards.
To view the maps and see how the changes may affect the property please visit:
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Acid Sulphate Soil (Risk/Confirmed)



-  Confirmed Acid Sulphate Soil
-  Acid Sulphate Soil Risk

These soils, where present, can generate acidic groundwater and may require consideration with regard to land drainage and selection of building materials for buried structures.

19 May 2026
Scale 1:1,000



Stormwater Catchment and Flood Management



Overland Flow Paths 2021

Modelled Catchment Flowpaths 2021

- - 0.2 ha to 0.4 ha
- - 0.4 ha to 1.0 ha
- 1.0 ha to 3.0 ha
- 3.0 ha to 100.0 ha
- 100.0 ha and above

Surface Depression Ponding Areas 2021

- 0.200000 - 0.600000 m
- 0.600001 - 1.200000 m
- 1.200001 - 2.000000 m
- 2.000001 - 4.000000 m
- 4.000001 - 9.910000 m

Overland Flow Paths 2017

Catchment Area 2017

- 0.2 - 1.0 Ha
- 1.0 - 2.0 Ha
- 2.0 - 5.0 Ha
- > 5.0 Ha

Depression Storage Areas 2017

- Depression Storage Areas

19 May 2026
Scale 1:1,000

STATEMENT OF PASSING OVER

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