

Property File

Property Address: **26 Otuhiwai Crescent**

Property ID: **15167**

Legal Description: **LOT 28 DP 52110**

Date Issued: **17/7/26**

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5007

~~KERR N. T.~~

OGILVIE J.E.

26 OTUHIWAI CRES.

15 DOCUMENTS

4 PLANS

15167BC

Whangarei Borough Council

15107

BUILDING APPLICATION FORM

Please Note that any person wishing to take a vehicle over footpath, other than a proper crossing constructed for such purpose, shall apply to Council for a permit to do so and shall pay a fee of £10.

Date: Sept 14th 1963

To: The Borough Engineer,

Sir,

I hereby apply for permission to erect a dwelling
26 Otahiwai Cres. for Mr. N. T. Kerr
(House Number and Street) (Owner)
of Wh'pea according to locality plan and detail plans, elevations
(Address)

cross-sections and specifications of building deposited herewith in duplicate.

PARTICULARS OF LAND:

Assess. No.: 72/772

Lot No.: 28

D.P.: 52110

Allotment No.:

LENGTH OF BOUNDARIES:

Front:

Back:

Side: Area:

Side:

PARTICULARS OF BUILDING:

Foundations: concrete

Floors:

Walls: timber

Roofs:

Area of Ground Floor: 1084 square feet.

Area of Outbuildings: square feet.

Number of Storeys: Above kerb level: 1 Below kerb level:

Average distance of set back of front of buildings from street boundary line: 25'

ESTIMATED COST:

Building - - - - - £ 2950

Sanitary Plumbing and Drainage - - - - - £ 250

Access across road reserve. Total £ 3200.00

PERMIT FEE 13:10:0.

WATER : 4:0.

13 14:0.

Inspector.

Receipt No. 2287A Date 14.9.63

Proposed purposes for which every part of building is to be used or occupied (describing separately each part intended for use or occupation for a separate purpose): Domestic.

Proposed use or occupancy of other parts of buildings:

Nature of ground on which building is to be placed and on the subjacent strata:

Yours faithfully,

Builder's Postal Address:

F. Post Ltd.
Box 680 Wh'pea

.....Owner.

1/10/63.....Builder.

DEPARTMENT	OFFICERS INITIALS AND REMARKS
ENGINEERS DEPARTMENT	
BUILDING INSPECTOR	
BOROUGH INSPECTOR	<i>off/over 00000</i> <i>10/9/04</i>
TOWN PLANNING OFFICER	

790522

SPECIFICATION OF WORK TO BE DONE AND MATERIALS TO BE
USED IN THE ERECTION OF A BUILDING
for

MR. & MRS. E. T. KERR

RECEIVED
14 SEP 1964
WHANGAREI
COUNCIL

This specification is to accompany plan number

Lot No. 28

D.P. 52110

Situated at: Otuhiwai Crescent, Tikipunga, Whangarei.

Foundations: 8' Concrete blocks on 12" x 9" Foundations

Framing: Pressure treated timber.

Sheathing: Pressure treated weather boards

Roof: Corrugated galvanised iron, 26 gauge, 16° pitch.

GENERAL

The Contractors in all trades are requested to make a personal inspection of the site and satisfy themselves about all matters relating to the conditions of work, means of access and the rights and interests which may be interfered with by the execution of these works, and all matters referred to in the plans and specifications, which may influence the Contractor in making his tender.

The Contractor shall provide all materials and labour, supply and maintain the required tools, plant, scaffolding etc., obtain all necessary permits from the Local Building Inspector and pay all dues and generally complete the contract in the best trade manner in accordance with the true intent and meaning of the accompanying plans and this specification, taken separately or collectively. Any work indicated on plans but not specifically mentioned in this specification or vice versa, shall be taken as if no error or omission existed.

The levels shown on the plans are only approximate. The Contractor shall check this to his own satisfaction before making up his tender.

If the contract is partly or wholly financed either by the State Advances Corporation, or by any other financial institution the Contractor shall conform with the requirements and conditions set out by such an Institution.

BY-LAWS:

The Contractor shall conform in all respects to the requirements of the Local Authority having jurisdiction over the work.

INSURANCE:

The Contractor must have all his employees covered against accident by a correct Worker's Compensation Policy and to take out a correct insurance against fire for a sum sufficient to cover the full contract sum, both policies to remain in force until the building is taken over by the Owner. The Contractor shall advise the Owner of the expiry date of the Fire Insurance cover and serve adequate notice to the Owner so that he may arrange full Fire Insurance cover.

LIENS ACT:

The contract is subject to the "Liens Protection and Contractors' Liens Act, 1939" and its amendments.

DEFAULT AND BANKRUPTCY:

The usual laws of bankruptcy and default apply to this contract.

ARBITRATION:

In any dispute arising between the Owner-Employer and Contractor-Builder, not soluble by the terms of the contract, shall be referred to the arbitration within the meaning of the Arbitration Act, 1908.

PROGRESS PAYMENTS:

Progress payments, unless otherwise agreed upon, will be paid monthly up to 90% of the estimated value of the work performed and materials on the ground. Up to 95% of the value of the work will be paid within 31 days after tentative acceptance and completion, the balance of 5% will be paid at the end of the maintenance period. If the contract however, is financed by the State Advances Corporation, the Contractor will be satisfied with the manner of payment as set out by the Corporation.

SUB-CONTRACTORS:

This specification is subdivided into trade sections for the convenience of reference only and it shall not be construed that each trade section is an entire and separate contract, hence no claims will be admitted from sub-contractors for work not specifically mentioned in a trade section but which is provided for, expressed or implied elsewhere in this specification. Every trade jointly and severally shall collaborate, wait on, assist and render all necessary assistance to complimentary trades.

AVAILABILITY OF MATERIALS:

Should any of the materials specified for the contract be unprocureable or be prohibited by Government Regulations, negotiations shall be made for the provision of substitutes. Before any such substitutes are included in the contract, the approval of the Owner must be obtained. The price difference resulting from the inclusion of the substitutes must be agreed upon before the respective work is commenced. Any substitutes must also be acceptable to the Local Authority.

CONTINGENCIES:

Provision is to be made by the Owner and Contractor to meet any contingencies that may arise due to the fluctuations in prices of the various materials or labour. Should there be either a rise or fall in the prices of labour or materials from the date the tender is submitted until final payment, an adjustment to the contract price is to be made accordingly, provided that the contract price has been affected by such rise or fall in prices.

MAKE GOOD:

Repair all contiguous property or footings where damaged by reason of these operations and make good in all trades after all trades.

CLEAN UP:

Leave the building and surrounds thoroughly clean at completion, cart away all superfluous rubbish, and clean all windows and floors.

P. C. (PRIME COST)

The Owner reserves the right to select or purchase items under the P.C. (Prime Cost) sum and the accounts will be adjusted accordingly on completion.

ADDITIONAL WORK:

All additions, deductions, deviations, or alterations must be authorised by the Owner in writing and no claim shall be allowed for same which does not conform to this Clause.

EXCAVATION.

Excavate as required for all site levelling, foundations, footings, posts, blocks, walls, water pipes, etc., to the various depths, levels and grades required for the erection of the building and its appurtenances.

All subsoil from the foundations and other excavations is to be evenly spread or deposited on the site where and as directed by the Owner.

Backfill and ram carefully around footings, consolidating as work proceeds and make up to natural levels.

Hardfill if required under steps, etc., shall compose of brown rock, scoria, or any other hard substance, carefully consolidated, screened off with fine scoria, before concrete is actually laid.

Note- The site is approximately to the levels shown, but the Contractor shall examine the site and satisfy himself as to the nature and extent of the contract.

DRAIN LAYERDRAINAGE:

Excavate for and lay all necessary drains from gully traps and T.C. to sewer line. All pipes to be 4" first quality glazed earthenware with every joint of an approved flexible type.

Fill in trenches carefully after the work has been inspected and generally do a thorough job and leave in perfect working order. The whole of the drainage and sanitary arrangements to comply with the Local By-Laws and to the satisfaction of the Local Health Inspector. Allow for sewerage connection.

STORMWATER DRAINS:-

FROM EACH DOWNPIPE LAY 4" SELECTED SECOND QUALITY DRAIN TO EVEN GRADIENT AND FALL TO STORMWATER DRAIN AS SHOWN ON SITE PLAN AND AS DIRECTED BY THE INSPECTOR FOR THE SATISFACTORY DISPOSAL OF STORMWATER. ALLOW FOR CONNECTION TO STORMWATER LINE AND FOR THE FULL INSTALLATION OF ALL PIPE WHERE NECESSARY. ALLOW FOR THE SUPPLY AND INSTALLATION OF ALL FITTINGS AS REQUIRED BY THE LOCAL AUTHORITY.

REMARKS

MATERIALS:

Cement must be Portland Cement, and shall conform to the requirements of the N.E.S.3.43 for Portland Cement.

GRAVEL AGGREGATE:

Shall be an approved hard metal chip, free from dust or earthy matter and graded to best 1" mesh.

SAND:

All sand shall be clean, sharp, beach sands of mixed grades.

WATER:

Used for concrete must be clean and fresh, of drinking quality.

STEEL:

All steel used in concrete work must be of approved mild steel.

THE MIX:

The concrete for all work shall be composed of 1 part cement to 2 parts sand and 5 parts aggregate measured by volume. Mix the concrete thoroughly with just sufficient water to give a workable mass.

BOXING:

If boxing is required it must be well fitted together and wetted before the concrete is placed.

FOUNDATIONS:

12"x9" continuous - 2-1/2" dia. rods.  8" Block base

All foundation blocks shall be 8"x8" precast concrete of approved manufacture set upon 12"x12"x4" concrete pads with base vents at 6' cns. max. Exterior foundation wall 8" concrete blocks of approved manufacture such as Winstones. Allow for access door to basement.

CHIMNEY FOUNDATIONS:

The concrete slab carrying chimney will be not less than 6" thick reinforced with 1/2" round bars, placed 6" both ways. The size of the foundation slab shall be at least 9" wider than chimney work above.

VENTILATORS:

Fix purpose made mouse - proof ventilators of approved manufacture. Space at intervals of not more than 6' apart, and commencing not more than 2'6" from each corner.

PORCH FLOORS AND STEPS:

Will be of 4" thick reinforced with 3/8" dia. round bars placed 6" centres across shorter span and 3/8" dia. distributing bars placed 12" centres across longer span. Steps to be formed of concrete with 5 1/2" rises and 12" treads resting on properly rammed hardfill.

DAMP- PROOF COURSE:

Cover all concrete and brick faces in contact with timber work with one layer of three-ply healthoid or other approved damp-proof course with a minimum lap of 3" to joints where necessary. ~~Fix behind 3/16" fibrolite base 3-ply healthoid between jack studs and fibrolite and precast parallel chimney.~~

CHIMNEY HEARTH:

For chimney hearth, pour 4" concrete with 1/2" dia. rods placed 6" centres both ways, securely bonded into chimney back and breast work. This only applies to brick chimneys and some precast makes.

CARPENTER AND JOINER

TIMBER:

The whole of the timber throughout shall be true and straight, properly seasoned and free from shakes, large or dead knots and waney edges.

FRAMING:

All timber work shall be framed, trussed, braced and assembled in a workmanlike manner and in accordance with the best trade practice. All plates shall be halved and spiked at angles. Framing timber unless otherwise specified or shown shall be at not more than 18" centres. The floors, roof and walls shall be framed up in a workmanlike manner and in accordance with the best trade practice. All timbers shall be in as long lengths as possible.

All materials are to be the best of their respective kinds and grades and laid true to their various levels and constructed in a proper tradesmanlike manner to make the whole of the works a sound construction and to comply with the Local By-Laws, and to the entire satisfaction of the Inspector.

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SCHEDULE

OF

MATERIALS

Materials

Foundation blocks	8 x 8	Concrete	
Jack studs	4 x 3	No.1 Treated Pine	4'6" centres
Bearers	4 x 3	No.1 Treated Pine	8'0" centres
Foundation bracing	4 x 2	No.1 Treated Pine	
Floor joists	6 x 2	No.1 Treated Pine	18" centres
Floor joists (Over garage)	10 x 2	No.1 Treated Pine	18" centres
Heavy bone strutting	2 x 2	No.1 Treated Pine	Down centre of garage
Plates (bottom)	4 x 2	No.1 Treated Pine	
Plates (top)	4 x 2	No.1 Treated Pine	
Studs external and main bearing	4 x 2	No.1 Treated Pine	18" centres.
Studs internal	3 x 2	No.1 Treated Pine	18" centres
Studs to openings over 3'1"	4 x 3	No.1 Treated Pine	
Ceiling Joists	4 x 2	No.1 Treated Pine	20" centres
Runners, where ceiling joists span up to 12'0", one runner	4 x 2	up to 8'0" span of runner	
	5 x 2	up to 12'0" span of runner	
	6 x 2	thereafter.	
Diagonal braces cut in flush	6 x 1	No.1 Treated Pine	
Noggings to ceiling	3 x 2		To suit ceiling sheets
	or 2 x 2	No.1 Treated Pine	
Noggings to walls.	4 x 2		
	and 3 x 2	No.1 Treated Pine	3 rows
Rafters	4 x 2	No.1 Treated Pine	36" centres
Ridges and hips	9 x 1	No.1 Treated Pine	
Valley boards	6 x 1	No.1 Treated Pine	
Purlins	3 x 2	No.1 Treated Pine	2'6" centres
Rafter stringers	4 x 3	No.1 Treated Pine	
Roof struts	4 x 2	No.1 Treated Pine	
Collar ties	6 x 1	No.1 Treated Pine	
Hangers where required	4 x 1	No.1 Treated Pine	
Eave framing	3 x 1½		
	or 3 x 2	No.1 Treated Pine	3'0" centres
Spout and barge board (as required-1" finish)			
Weatherboards	6 x 1	Treated D.A. Rimu	
Flooring	4 x 1	Treated D.A. Rimu	
Architraves	2½ x ½	D.A. Rimu	Bullnosed
Skirting	3½ x ½	D.A. Rimu	Bullnosed
Interior door jambs	6 x 1		
	or 4 x 1	D.A. Rimu	
Sill boards	1"	D.A. Rimu	
Aprons	1½ x 1½	D.A. Rimu	Scotia
Window jambs	6 x 2		
	or 6 x 1½	D.A. Ht. Rimu, Totara or Matai.	
Frieze board	Ex. 1"	D.A. Ht. Rimu, Totara or Matai	
Window sills	6 x 2½	D.A. Ht. Rimu, Totara or Matai	
Door jambs (external)	6 x 2	D.A. Ht. Rimu, Totara or Matai	
	or 6 x 1½		
Door sills (external)	8 x 2½	D.A. Ht. Rimu, Totara or Matai	

BEAMS TO OPENINGS

4 x 2	up to 3'1" span
4 x 3	up to 4'6" span
5 x 4	up to 6'8" span
6 x 4	up to 8'10" span
8 x 4	up to 11'0" span
10 x 4	over 11'0" span

Beams from 5 x 4 and upwards may be formed with 2" members well spiked together.

Check beams of spans over 3'1" and not exceeding 8'10", ½" into studs. Support beams exceeding 8'10" at each end on full length 4 x 2 studs spiked to general wall framing.

FINISHING TIMBER:

The whole of the interior finishing timber unless otherwise specified, shall be of clean D.A. Rimu dry machine dressed and glass papered to a smooth, even surface, free of machine marks. Exterior finishing timbers, unless otherwise specified, shall be dressed treated D.A. Rimu.

FRAMING:

Unless otherwise mentioned all framing timbers shall be spaced 18' centres. The whole of the framework is to be well and properly braced and securely spiked together. All plates and bearers shall be halved together at all joints and angles and dovetailed halved at all partition intersections.

FLOOR FRAMING:

Solidly frame for flooring with 4"x3" bearers set on edge spaced at not more than 4'6" for span of bearers and 8'0" between bearers for span of joists. Floor joists shall be gauged over sleepers to a uniform level, and with all laps not less than 6" securely spiked together.

WALL FRAMING:

All wall framing shall be braced with flush braces cut in at 45° or as near as possible and with not less than one brace to each bay. Where this is not practicable cut in dogleg bracing as required. All external angles shall be framed with 3 studs, and all angles and inter-sections shall be blocked and spiked together with 2" packing blocks at not more than 18". Provide three rows of nogging to all walls to suit wall sheets.

FOUNDATION FRAMING:

Note piles poured full height. Shall have jack studs in rows not more than 8'0" between rows of bearers and 4'6" alongside bearers braced with 4x2. Foundation blocks under each jack stud shall be 8 x 8 precast concrete of approved manufacture set upon 12 x 12 x 4 concrete pads. Cover top of each block with three-ply lathoid.

CEILING FRAMING:

Ceiling joists shall be spaced at 20' centres well spiked to wall plates and to foot of rafters. Joists spanning more than 7'6" shall be secured to 6"x 2" stiffeners, well spiked to 4"x 1" hangers on the alternate side of stiffeners. Between ceiling joists cut in 3"x 2" or 2"x 2" noggings as required for cornices, etc., and at all edges of ceiling sheets. In no case shall noggings be more than 6'0" apart.

ROOF FRAMING:

Frame for roof with 4"x 2" rafters at 36" maximum centres, in single lengths and set at 16 degree pitch, birdsmouthed over and securely fixed to all plates. Extend rafters to give eaves projection of 24" minimum, see plan, from wall framing. Frame for flat soffit to eaves with 3 x 1½ or 3 x 2 bearers and 6 x 1 spout board. Strut the roof well directly from partitions to 4 x 3 stringers at mid points of rafters. Accurately mitre all fascia boards, bed moulds, and line soffit of eaves and floor offset with 3/16" tempered hardboard. Lining to soffit finished at edges with mould. Fix 3 x 2 purlins. Trim out for chimney stack with a minimum clearance of 1½" to the stack and trim out as required for any other vents, etc., passing through the roof.

EXTERIOR SHEATHING:

Walls from floor to soffits are to be covered with 6" bevelled back weatherboards, laps not to exceed 4½" to the weather. All exterior angles to be mitred and covered with galv. iron soakers and all joints to be butted and covered with flat soakers. All window and door facings to have 2½"x 5/8" scribes neatly scribed to weatherboards. All laps and joints are to be primed before fixing. Vertical ship lap boarding where shown on plan only.

SOFFIT LINING:

Soffit lining throughout shall be 3/16" tempered H.B.

CABLE ENDS:

Shall be porch panel fibrolite.

FLOORING:

Before laying flooring, remove all shavings, short ends and trade debris from under the floor joists. All flooring shall be in 4"x 1" T & G laid in lengths as long as possible, close butted, tightly cramped up and double nailed at each joint with 2½" floor brads well punched home. All floors to be laid continuously under all partitions, and their surface must present a perfectly level face, kept clean during the construction of the job and must be protected from weather or disfigurement of any kind.

NOTE:- On completion of all floors finish with an electric sanding machine, and apply two coats of approved plastic sealer and subsequent coats if necessary to obtain a good finish.

WINDOWS:

Generally to be casement and whitco hung and shall be constructed to standard detail, in an approved factory. Check all jambs and mullions into sills.

Window frames may be constructed either out of 6 x 2 or 6 x 1½ timber. Sills shall be D.A.Ht. Rimu, Totara or Matai. Jambs, mullions & heads shall be of D.A.Ht. Rimu, Totara or Matai. Allow for 4 x 4 mullions to corner windows. Set sills resting on timber framing on accurately fitted blocks 2' thick spaced at not more than 18" centres. Where corner windows occur return the nose of the sill around the angle.

WINDOW SASHES:

Construct all sashes of D.A. Ht. Totara, Kauri or Redwood. Sashes are to be of sizes given in the following sash schedule. All joints shall be penetrating tenon with metal or wood dowels, close fitting, close cramped, and shall show a flush finish on both sides. All sashes to have ¼"x½" weather groove around.

SCHEDULE OF SASHES

ALL sashes Whitco hung throughout.

Sashes generally 4'6" x 2'3". Landscape fixed sashes 4'6" x 4'0".

Service rooms generally 3'2" x 2'3" whitco hung.

Note: Whenever ½" plate glass is specified it shall be polished plate. ¾" plate for all landscape centre sashes.

Fit to all top hung sashes "Whitco" hardware of size as recommended by the manufacturers not less than 40% of width of sash. Fix selected catch and pull as commonly used. Two to each sash 'Universal' split rail fastener chrome finish.

DOORS AND THEIR FRAMES:

External door frames and sills shall be of D.A.Ht. Rimu, Totara or Matai. Jambs and heads out of 6 x 2 or 6 x 1½ sills out of 8 x 2 sunk weathered and throated with 1½ x ½" G.I. iron weather bars. Finish around frames with standard finishings.

Internal door frames shall be out of 6 x 1 Or 4 x 1 dressed rimu full width planted stops.

SCHEDULE OF DOORS

Door	Size.
Exterior front door	Single 6'6"x 2'10" 8 panel selected glass
Exterior back door	Single 6'6"x 2'8" glazed 1 pane - fig. 5A.
Laundry door	Single 6'6"x 2'6" flush
Lounge / dinette door\$	Double 6'6"x 2'6" flush - sliding type.

Wardrobes and similar cupboards

6'0" x 2'0" flush wooden panel.

Cupboards above wardrobes 2'0" wide out of ¾" coreboard

Interior doors generally 6'6"x 2'8" and 6'6"x 2'6" flush wooden panel.

Doors where possible shall be of approved manufacture. Hang all exterior doors on 1½ pairs 3½" butts with brass pins. Provide and fix selected mortice lockset to back door.

Hang all interior doors on 1½ pairs 3½" butts with loose pins and fix selected mortice locksets. Hang all wardrobe and similar cupboard doors on 1 pair of 3" butts. Fix selected latch sets. Any doors not mentioned will be fitted with selected hardware. All hardware chromium finish throughout.

Sliding doors: Where doors are to be of the sliding type, fittings of approved manufacture to be used.

Access Door under the house, 2'8" x 2'6" approx. shall be constructed of D.A.Ht. Totara frame, ledged, braced and vertically sheathed with 4 x 1 V-jointed T.O. heart timber. Hinge on 6" galv. T hinges to swing outward. Sill not required.

Door stops: Provide and fix approved rubber door stops to all main doors to be screwfixed as directed.

INTERIOR LININGS:

Line all interior walls with Gibraltar board $\frac{3}{8}$ " thick, fixed to the instructions of the manufacturers with $1\frac{1}{2}$ " galv. flat-headed nails. All fillings are to be done with the best Plaster of Paris and filled to an even surface with all spots and rises removed.

Line walls of bathroom to dado (4') with selected Hammerglaze board fixed to the manufacturers standard specifications. Cover all joints etc. with matching mouldings. Shower lining to be in tempered hardboard.

CEILINGS: Pinex throughout - Button mould joints.

SCOTIA:

Provide and fix a large wooden scotia around all ceilings. Fix 1" Scotia bead against ceilings of all wardrobes, cupboards, etc.

ACCESS DOOR IN CEILING:

Form trapdoor to roof in ceiling to Laundry 20" square of 1" material to match ceiling and provide $\frac{1}{2}$ " planted stops and finish around margin with 1" half round architrave, mitred at angles.

KITCHEN CUPBOARD WORK: As shown on plan.

CUPBOARDS GENERALLY:

Shall be built in positions shown on floor plan and to the details out of 1" dressed timber. Around all cupboards extending to the floor, form toe space $3\frac{1}{2}$ " high and recessed 3" with 3 x 3 mitres angle blocks in all internal angles. Build in false floors at this level. Fix latch rails if necessary to all pairs of doors, out of 2 x 1 cut in over shelving. Finish all internal angles against walls with $\frac{3}{4}$ " round beading. Construct all drawers with $\frac{1}{2}$ " thick finished backs and sides, $3/16$ " plywood or hardboard bottoms and $\frac{7}{8}$ " finished fronts, all properly framed, housed and dovetailed together. Fix solid full depth shelving at approximately 10" centres generally.

SINK BENCH, DRESSER AND BENCH TOPS:

Formica sink top selected colour 6'0" with S.S. sink flow-line with $\frac{1}{2}$ " starline fittings. Formica top to dresser top in selected colour. Cutlery drawers shall be subdivided into compartments. Hang doors under on 1 pair of 2" butts with selected fasteners. Allow for false floor to all kitchen cupboards. All kitchen cupboard doors to be flush panel out of coreboard not less than $\frac{1}{8}$ " thick.

FOR WATER CUPBOARD:

Size of cupboard to accommodate cylinder must be not less than 2'0" square. Allow for 3 rows of removable slotted shelves out of $2\frac{1}{2}$ x 1" battens spaced $\frac{1}{2}$ " apart.

BATHROOM CABINET: (2 x 3)

Recessed in wall where directed by owner. Frame door out of 2 x 1 and fix 16"x 12" plate glass mirrors and $3/16$ " plywood back with wood beads to each door. Finish around cabinet with $\frac{1}{2}$ " quarter round beads.

FINISH TO BATH:

Cradle bath on floor, frame up front (and end if open) and prepare same for selected Hammerglaze Bd. lining finished all round bath as for walls. Form toe space full length.

FINISH TO BASIN: Build in cabinet under basin with toe space around.

WARDROBES:

Construct wardrobes where shown on floor plan. Finish wardrobes internally with a full length shelf out of 12 x 1 at a height of 6'0". Provide a $1\frac{1}{2}$ " x $\frac{3}{4}$ " finished wood or a $\frac{1}{2}$ " diam. galv. iron pipe rod removable supported at ends on neat wood fillets 2" below upper shelf. Build in cupboards above all wardrobes, with coreboard doors to match. Polish finish.

LINEN PRESS:

Will be constructed on similar lines as wardrobes except that it will be divided in shelves 10" centres 1" thick.

SWITCHBOARD CUPBOARD:

Purpose made metal box, or form recess between studs for the switchboard in the thickness of the wall jambs to project 1" and be finished with $\frac{1}{2}$ " quarter round moulding. Line with fire-resistant material and hang flush door. Position to be indicated by the Local Power Authority.

TOWEL RAILS: Provide and fix three chrome plated towel rails in bathroom, laundry and kitchen where indicated by the Owner.

SOAP DISH: Provide and fix soap dish recessed into wall over bath.

TOILET PAPER HOLDER: Provide and fix in W.C. metal fitting.

SHOWER: Concrete base. Also provide & fix soap dish recessed into wall.

WASH TUB:

Supply and fix first quality concrete washtub of approved manufacture. Tub shall be completed with all required fittings. Support tub on 3 x 2 framing, with sides closed in with 1" timber. Fix coreboard door to front, hang door on 2" butt hinges and fix selected catch to same. Trim paint finish and polish doors.

WASHING MACHINE:

Will be supplied by Owner. Power point in Laundry. Fix ironing board in laundry and approx. 25 sup.ft. 12"x 1" open shelving above door height. See Owner.

PAINT:

Architraves shall be 2" x 1/2" of standard pattern. Sillboards shall be of width to suit of 1" (1/8" finish) and finished in a tradesmanlike manner. Fit skirting around all rooms, etc., with 3 1/2" x 1/2" of Standard pattern. Litre architraves throughout including junctions with skirting.

HARDWARE:

Allow the P.C. sum of £43. 0. 0. for the purchase of all locksets and other door furniture, catches, handles, hooks, towel rails, sliding gear, split rail fasteners, etc. Allow for fixing to complete the work and leave in good order. All hardware must be selected by Owner and chromium finish throughout.

ROOFER

26 g.c. iron and 24 gauge flashings, spouting and downpipe. Suitable scribes to be fixed under, Barge Boards with neat finish throughout.

PLUMBER

MATERIALS:

All materials used by the Plumber must be the best of their respective kinds, and must fully conform to all or any governing regulations or by-laws. Any part of parts omitted from this specification which are useful or necessary to complete this work in a proper manner shall be taken as though specially mentioned.

FLASHING:

Flash all openings through roof with 4lb. sheet lead to make a watertight job. Flash all windows and other openings where necessary to make watertight. Provide G.I. trays to all window sills where necessary.

SPOUTING:

Provide and fix 24 gauge galv. iron spouting supported on heavy galv. iron brackets fixed at 3'0" centres. Spouting to have graded fall to downpipes.

DOWNPIPES:

Provide and fix 3" galv. and copper to front iron downpipes in suitable positions. Fix off wall with purpose made brackets (metal clip type).

WASTE PIPES:

Carry waste pipes from all fittings with traps, cleaning eyes, etc., as required. Conceal traps and wastes wherever possible and support directly and continuously from framework on 1" Ht. Rimu or Totara.

VENT PIPE:

Carry up all vent pipes to drain and fittings as required by the Local Authority in cast or screwed galv. wrought iron concealed where possible within the framework.

Note: Fix back vent to W.C. to local requirements.

COLD WATER SUPPLY: (Check with Owner)

Lay on cold water supply from main at the boundary in 3/4" diam. copper piping.

Provide and fix water meter if required. Provide and fix stopcock in suitable accessible position.

All piping outside the building must be sunk at least 18" in the ground. Lead 3/4" copper branch to bath and 1/2" diam. copper branches to sink, basin, W.C. flush cistern, tubs, shower and two exterior standpipes

with hose connection located at front and back of house.

HOT WATER SUPPLY SYSTEM:

All piping in connection with the hot water system shall be in copper. Lead from cold water supply line to hot water cylinder in $\frac{3}{4}$ " piping. Provide and fix 'Ajax' valve to service. Provide and fix an approved 40 gallon electric water heater complete with 750 watt element and thermostatic control. Carry up exhaust from top of cylinder and take $\frac{3}{4}$ " branch to bath and $\frac{1}{2}$ " branch to sink, basin, shower and concrete tub. All pipe fittings must be of approved brand and flanges for securing to framing.

W.C. PAN:

To be flushed with a low-level, 24g. copper lines, wood cased cistern of 3 gals. capacity, fitted with all necessary fittings, such as ball cock, silencer tube, float, overflow, etc. To be connected to the pan with a 2" chrome-plated on brass flush pipe and necessary attachments.

TAPS:

All taps and extensions, except standpipes, to be chromium-plated streamlined bib and pillar cocks marked 'HOT' and 'COLD', respectively. Standpipe taps to be brass with hose connections. Star-line $\frac{1}{2}$ fitting to kitchen sink. Flow-line upstand. Provide 1 extension hot water tap for filling washing machine.

SANITARY FITTINGS:

Bath - First quality standard white, 5'6" long, porcelain, ~~seat iron~~ ^{selected}.

Sink - See under 'CARPENTER' for details.

W.C. - White pan - complete with selected colour xylonite or pyrlin (plastic covered) seat fitted with galv. iron hinge, adjustable to fit pan in plain and flap.

Basin - 22 x 16 first quality porcelain basin. ^{selected}.

Concrete wash tub and shower base: see under 'CARPENTER' for details.

Provide and fix all the above fittings complete with wastes, plugs and chains, washers, unions, vents, etc., as required. Conceal all piping, run in as short and easy flowing runs as possible with connections of approved type, and well and securely supported to prevent water hammer.

ELECTRICIAN

MATERIALS:

Materials used by the Electrician must be of approved manufacture (such as British) and must conform to the regulations of the Power Board and Local Authority.

WORKMANSHIP:

The whole of the Electrician's work must be carried out in compliance with the regulations of the said Power Board and the Underwriters' Association, by duly licensed tradesmen. Insofar as is possible all runs must be concealed from view.

MAINS:

All mains shall be longer than normally required and shall have the surplus neatly coiled at the rear of the switchboard, subject to the Supply Authority's approval, the point of entry will be at the eaves.

WIRING:

All cables shall be of 250 volt grade complying with B.S.S.7 Rubber Insulated and P.V.C. Cable and Flexible Cords for Electric Power and Lighting."

All plastic materials for switches, flush plates, light sockets, etc., shall be ivory colour or as may be chosen by the Owner.

LAMPS AND PLUGS:

Leave all lighting outlets with approved pearl or inside frosted lamps with opal shades and all other outlets complete with 3 pin plugs. Any selected light fittings will be taken as an extra.

LIGHTS:

Allow to fix a total of 14 light points. All positions to be selected by Owner. This number is inclusive of 2 exterior soffit lights.

POWER:

Allow to fix a total of 6 power plugs and make connections to range and hot water cylinder.

HOT WATER SERVICE:

Run service to hot water cylinder and connect to element as provided under 'PLUMBER'.

LAMP: Electric.

P.O. sum allowed \$50 to be selected by Owner.

SWITCHBOARD:

Metal unit with inspection panel. Provide and fix approved insulating composition switchboard where directed recessed and hinged to open out. All circuit fuses, switches and service to be neatly engraved on, or finished with transfers.

AERIAL AND EARTH PLATES:

Allow for a 2 pin aerial plug with bakelite flush plate neatly engraved 'Aerial' and 'Earth' in lounge. Run and couple earth wire to nearest cold water pipe with approved earthing clip.

Run aerial wire as directed by Owner.

PLASTER

MATERIALS:

Cement and water as specified for 'CONCRETE'. Sand shall be approved silver sand, hard, sharp and free from salt, loam or other deleterious matter.

EXTERNAL RENDERING:

External faces of concrete work shall be finished as follows:- Render and straighten with 3 to 1 sand and cement compo not less than $\frac{1}{2}$ " thick. The second and final coat shall be in 3 to 1 sand and Portland cement roughly $\frac{1}{2}$ " min. thick. Aggregate to be coarse sand graded down from $\frac{1}{4}$ ". Exterior chimney, concrete work stucco finish throughout.

FLOORS, STEPS

All surfaces of these floors and steps shall be thoroughly cleaned, hacked, and well soaked with clean water. Render and straighten with $2\frac{1}{2}$ to 1 sand and cement compo not less than $\frac{3}{4}$ " thick and finish with steel float to a perfectly smooth, straight and even surface. Form small cove in all internal angles. Allow for concrete path from front of house to pavement, and path 2'0" wide to position of Rotary clothes line. All paths 3" thick with expansion control joints at 6' crs.

PAINT

MATERIALS:

All materials used in this trade must be the best of their respective kinds, and be of approved manufacture.

WORKMANSHIP:

Must be of the highest standard carried out by skilled tradesmen and finished to the Owner's satisfaction and approval.

FINISHES: All colours and tints shall be selected by the Owner.

EXTERIOR WOODWORK:

Exterior woodwork to receive one coat of first quality priming. Putty all nail holes and finish with two more coats of first quality H.G.H.F. as selected.

FIBROLITE OR H.B. SURFACES: (Tempered H.B. soffit and offset)

Sealing coat as for hardboard and Gibraltar board surfaces, then finished as specified for outside timber work.

POINTING, DOWNPIPES etc.

To be given two coats of approved paint as selected.

PAINT:

Kitchen, dinette, laundry, W.C., and bathroom walls, ceiling, woodwork and cupboards are to have a priming coat on woodwork, a sealing coat on hardboard or Gibraltar board and then given two coats of flat and one coat of selected enamel in shades as selected. Allow to polish all doors to units or as directed by Owner.

CEILINGS:

Ceilings not enamelled are to be given a sealing coat and two coats of approved flat paint as selected.

INTERIOR FINISHING:

All interior finishing timbers not enamelled or painted are to have a coat of light oil stain. Stop all nail holes and defects with matching putty and apply a coat of knotting and finish with a coat of clear varnish. Inside of sashes are to be painted as for exterior.

GLAZING

Sashes generally shall be glazed by an experienced glazier firm, with 16 oz. or 24oz. sheet glass. (To ascertain the thickness of panes for sashes the following guide may be used.

If the area of glass does not exceed 3.5 square feet use 18 oz., over 3.5 square feet to 7 square feet use 24 oz., while over 7 square feet 26 oz. to be used. (For large sashes, such as landscape windows, $\frac{1}{2}$ " sheet plate glass must be used). Single pane doors shall have $\frac{1}{4}$ " sheet plate glass or selected fancy glass. Four pane or three pane doors shall be glazed with selected glass.

Glaze all louvres with $\frac{1}{4}$ " drawn plate glass as selected.

In bathroom cabinet doors provide $\frac{1}{4}$ " plate glass mirrors of best silvering quality.

If other mirrors are specified they must be of the same high quality.

PAPERHANGER

All walls except where otherwise specified shall be papered with selected wallpapers. Fresh flour or cold water paste shall be used.

The Paperhanger must ensure that all walls are free from blemish of any sort that will show on the finished work. Allow the sum of 10/- per roll average for the purchase of selected wallpapers. All papers shall be butt jointed and hung true and plumb and neatly cut to all architraves skirtings, fittings, etc.

NOTE: Mix with paste sodium pentachlorophenate added in the proportion of 4 oz. to each gallon of mixed paste.

SPECIAL

CONDITIONS

F. 5007

15187

WHANGAREI CITY COUNCIL

BUILDING APPLICATION FORM

B. 124601 ✓
To: The City Engineer,

Sir,

Please Note that any person wishing to take a vehicle over footpath, other than a proper crossing constructed for such purpose, shall apply to Council for a permit to do so and shall pay a fee of £10.

Date 23rd May 1967

I hereby apply for permission to erect a garage
at 26 Otahimairi Crescent, Dikipunga for John Edward Ogilvie
(House Number and Street) (Owner)
of 26 Otahimairi Crescent, Dikipunga, according to locality plan and detail plans, elevations
(Address)

cross-sections and specifications of building deposited herewith in duplicate.

PARTICULARS OF LAND:

Assess. No. 72/824/17
Lot No. 28
D.P. 52110
Allotment No. _____

LENGTH OF BOUNDARIES:

Front _____
Back _____
Side _____ Area _____
Side _____

PARTICULARS OF BUILDING:

Foundations Concrete
Walls Wood & Fibrous

Floors Concrete
Roofs Cont. Iron

Area of Ground Floor 192 square feet
Area of Outbuildings _____ square feet
Number of Storeys: Above kerb level _____ Below kerb level _____

Average distance of set back of front of buildings from street boundary line _____

ESTIMATED COST:

Building _____ £ 100
Sanitary Plumbing and Drainage _____ £
Total _____ 100

PERMIT FEE	: 10: -
WATER	: 1: -
	: 11: -
<u>Wab</u> Inspector	
Receipt No. <u>1506</u> Date <u>23/5/67</u>	

Proposed purposes for which every part of building is to be used or occupied (describing separately each part intended for use or occupation for a separate purpose) _____

Proposed use or occupancy of other parts of buildings _____

Nature of ground on which building is to be placed and on the subjacent strata _____

Yours faithfully,

Builder's Postal Address:

26 Otahimairi Cres.

Builder's Phone 70-532

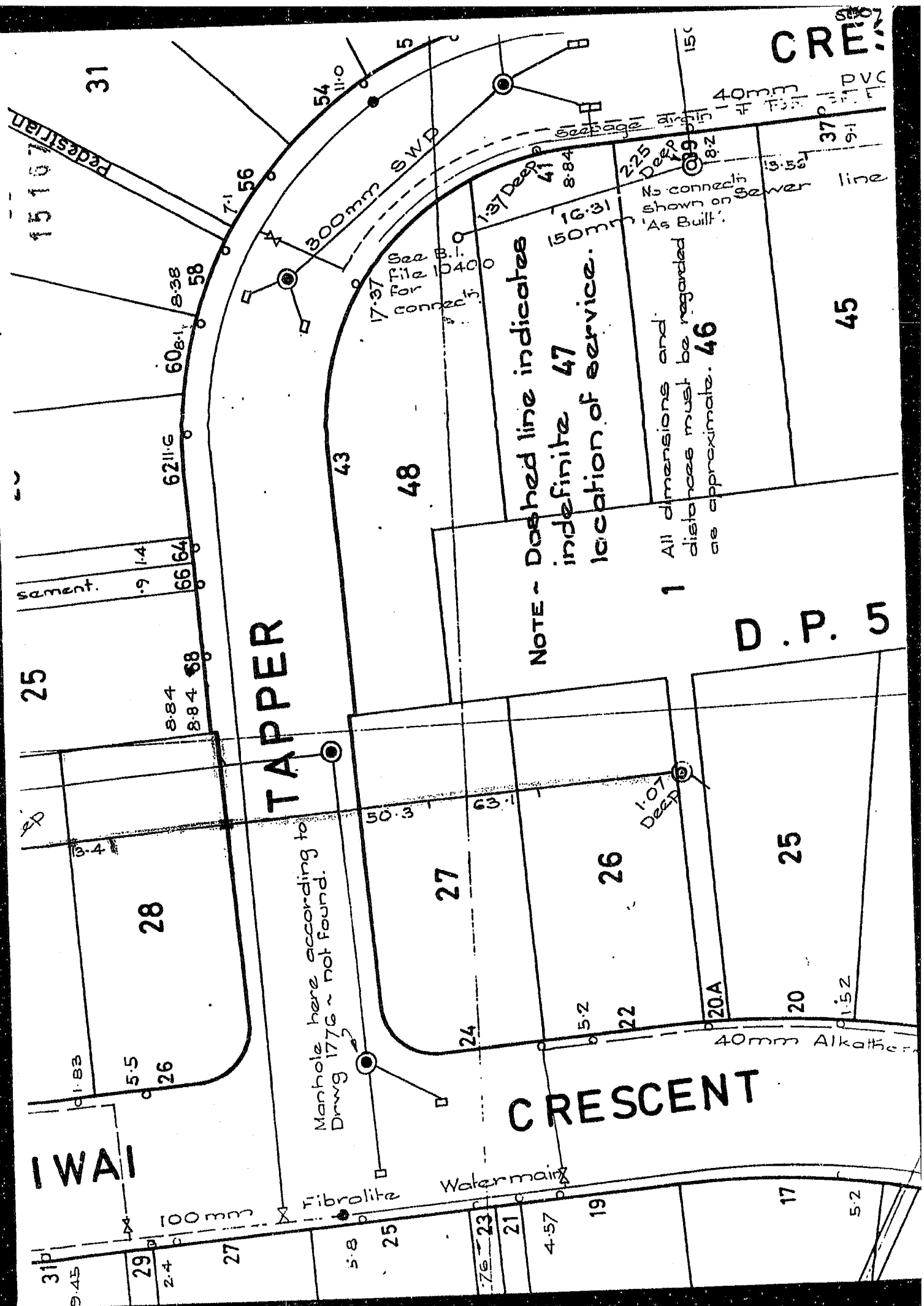
RECEIVED

23 MAY 1967

WH

CITY

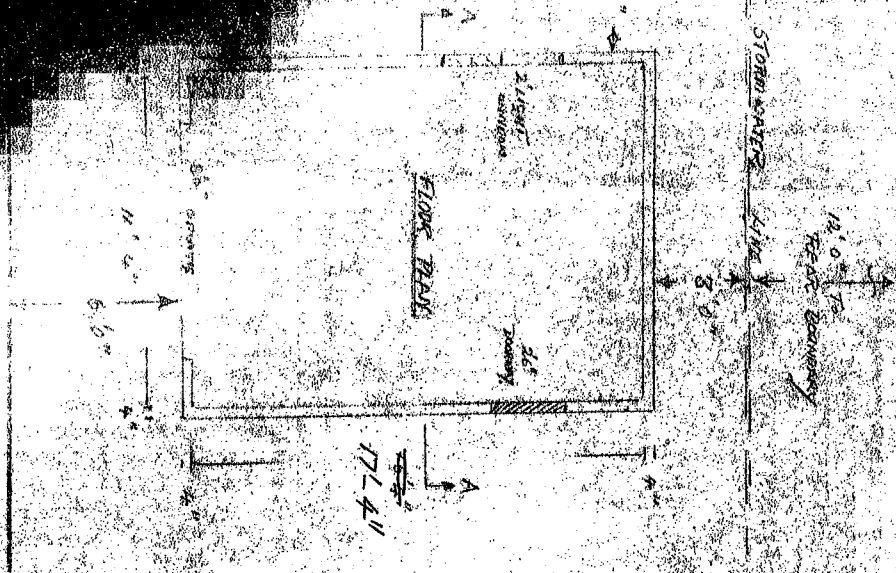
Calder Print 5000/2/66



15167

SIDE BOUNDARY

4



SPECIFICATIONS

FOUNDATIONS: 4x4 TREATED PINE @ 24" (spacing 8x8)

Columns: 3x4 Treated pine. Spacing: 4x4 @ 30"

ROOF TRUSS: Built up of 4x4 @ 36" Treated pine (Spacing 8x8)

RAFTERS: Cut in 4x4 Treated pine, one to each 16' or less, rest to the next load.

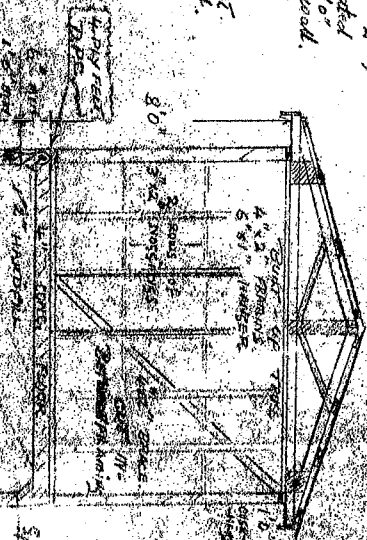
BARRETT'S BORDS: 6"x1" treated pine (dressed).

ENTRANCE STEERING: 2" x 4" Fiberglass "boards" of all joints.

WALLS: 2x4 studs between 4x4 purlins and concrete base. Stud spacing: 2' x 4" max. purlin spacing: 3' x 4" max. frame above 5' x 8" framing, 4x4 into street.

ALL details to be approved per council on the spot of local plans.

WALLS: 2x4 studs between 4x4 purlins and concrete base. Stud spacing: 2' x 4" max. purlin spacing: 3' x 4" max. frame above 5' x 8" framing, 4x4 into street.



SECTION A-A

2 1/2" x 4" into wall 1/2" studs 24" c/c

23 MAY 1987
WAIKATO
CITY COUNCIL

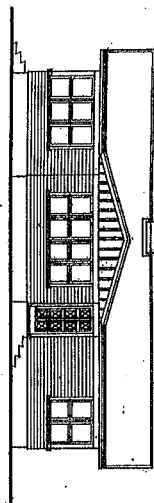
THIS OF GARAGE TO BE ERECTED ON LOT 28 DP 52110 OTAHURU CITY

MICROBOX

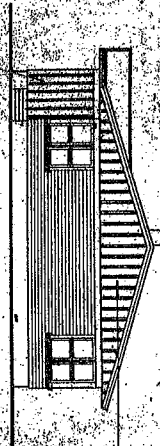
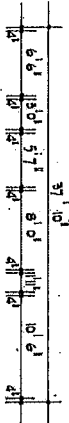
MICROFILM RECORDS (WAIKATO) LTD, HAMILTON

20/10/93

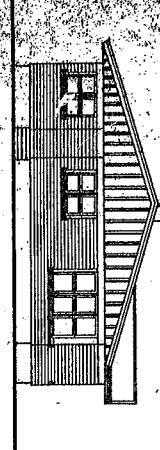
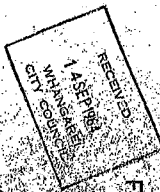
15167



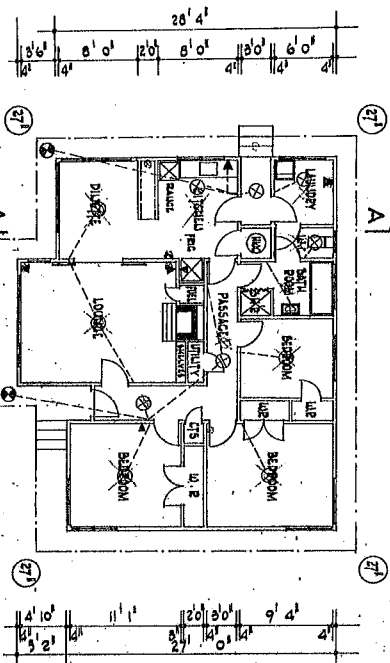
SIDE ELEVATION



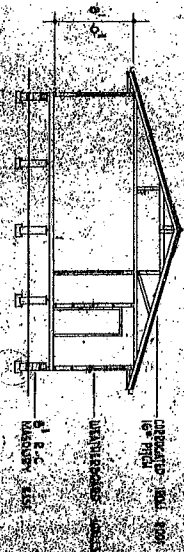
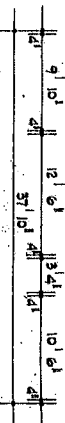
FRONT ELEVATION



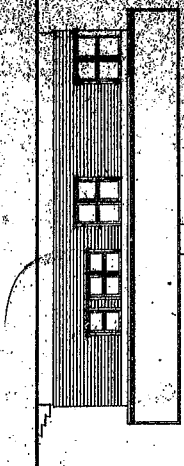
BACK ELEVATION



FLOOR PLAN



SECTION A-A



SIDE ELEVATION

AREA 2540 M²

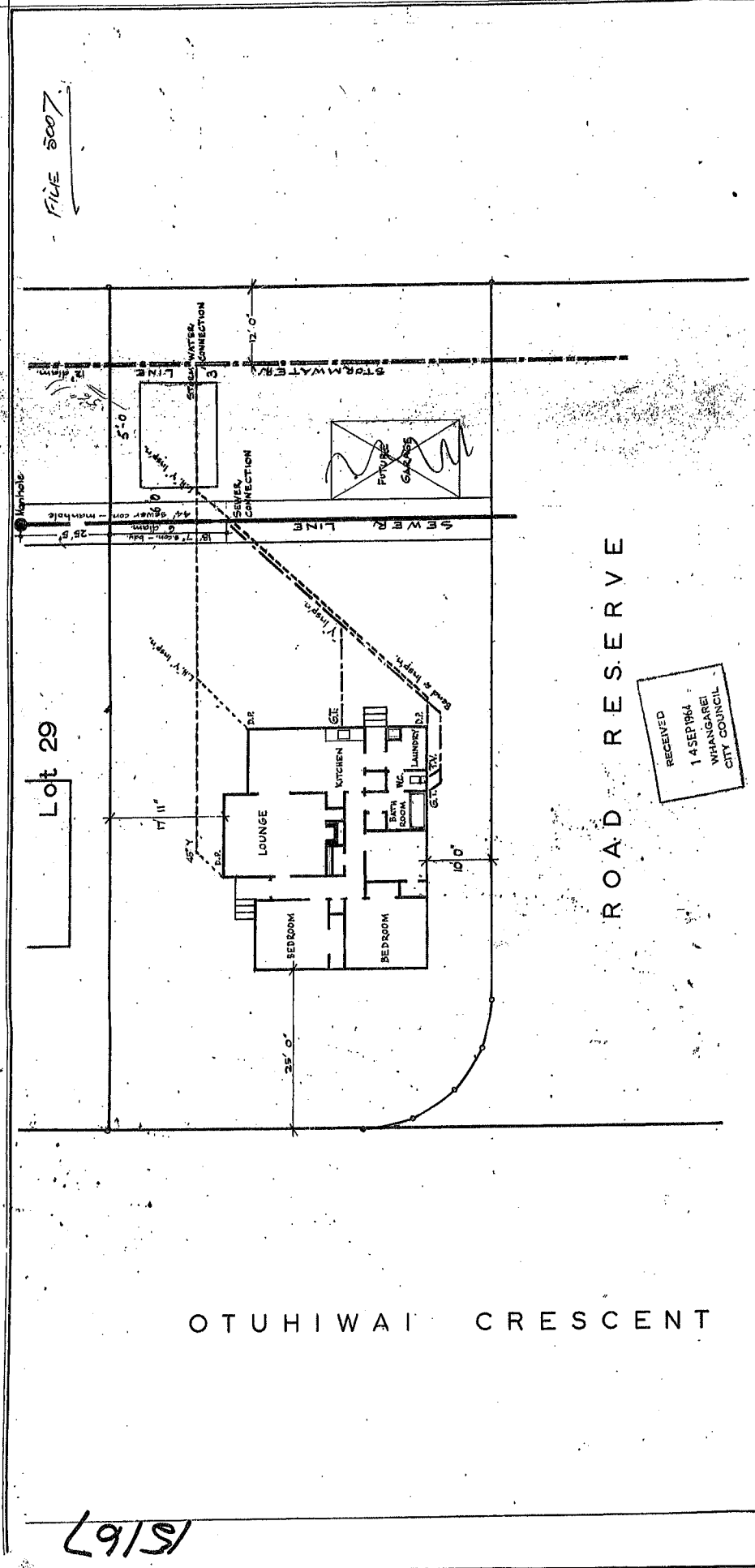
SCALE 1 inch = 8 feet

PROPOSED RESIDENCE FOR MR & MRS N. I. KERR
SITUATED AT LOT 28 D. P. 52110 TUKIPUNGA DISTRICT

PLAN 2540 M

TRIPARTITE BY
D. W. DICKSON & A. D. J. J. D.

BUILDER
F. POST



SCALE 1 inch = 10 feet	SITE & DRAINAGE PLAN OF PROPOSED RESIDENCE AT LOT 28 - D.P. 52110 - TIKIPUNGA	with Plan 2540 H	Prepared by N. T. Kerr M.N.Z.I.S.	BUILDER F. POST
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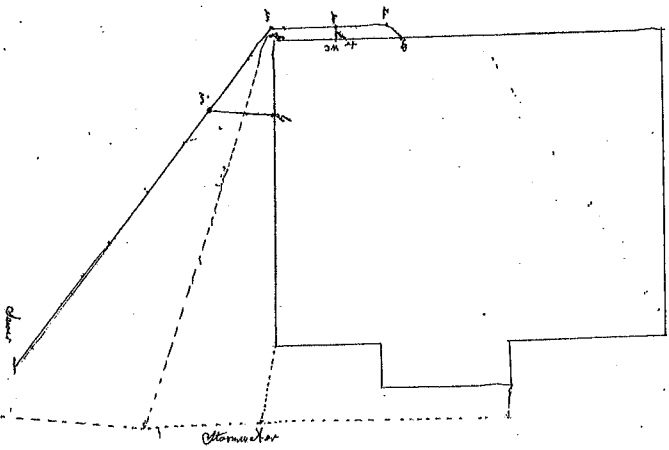
Whangarei Corporation

HOUSE CONNECTION PLAN

PERMIT No. 3620
DATE 7 May 1965

Scale: 1/8in. to a Foot
New Sewerage Drains: Red
Storm Water: Dotted Black
Old Drains: — Full Black
4594

5007



Binding Margin to be left Blank

15167

Owner West
Street 88 Makurahi Crescent Assessment No. Stem & Star

Plumber Don. J. Allen
Drainer Stanley & W. Reed

MICROBOX

MICROFILM RECORDS (WAIKATO) LTD. HAMILTON

20/10/93

3

2

