

21 July 2026

HGRE Limited

LAND INFORMATION MEMORANDUM (LIM)

The attached LIM provides you with information about 51B Elizabeth Street Waikanae.

The information provided in this LIM has been gathered from all the information the Council holds on this property, as at the date of your application.

It is important to note that the Council has not undertaken an on-site inspection of the property and there may be information which is not known to Council - for example, illegal or unauthorised building or works on the property.

If you have any future plans to develop this property please contact us for advice about how to proceed and the process for obtaining the necessary approvals.

In addition to the information in this LIM you may be interested to find out more about the Kapiti Coast District. Information and advice on council services and our District Plan are available on our website: www.kapiticoast.govt.nz

Finally, if you have any questions about your LIM, please don't hesitate to contact us at kapiti.council@kapiticoast.govt.nz or 0800 486 486.



Jackie Adams
Manager Consenting

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Land Information Memorandum (LIM)

Prepared by Kāpiti Coast District Council for the property located at:

51B Elizabeth Street Waikanae

Application Details

Applicant	HGRE Limited
LIM number	L260636
Application date	09/07/2026
Issue Date	21/07/2026

Property Details

Property address	51B Elizabeth Street Waikanae
Legal description	Lot 1 DP 560121
Area (hectares)	0.1053

Valuation Information

Valuation number	1496016802
Capital value	\$690,000
Land Value	\$340,000
Improvements Value	\$350,000

Please note that these values are intended for ratings purposes only.

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Document information

This document has been prepared in accordance with legislation

This Land Information Memorandum (LIM) has been prepared for the purpose of section 44A of the Local Government Official Information and Meetings Act 1987 (LGOIMA) – to provide information relating to matters which may affect the identified property.

This Land Information Memorandum (LIM) has also been prepared for the purpose of section 44B of the Local Government Official Information and Meetings Act 1987 (LGOIMA), which requires Council to identify natural hazards and potential natural hazards, the impact of climate change that exacerbate hazards and potential hazards on the identified property.

As such, each heading or 'clause' in this LIM corresponds to a part of section 44A and 44B of LGOIMA, and the supporting Local Government (Natural Hazard Information in Land Information Memoranda) Regulations 2025.

This LIM contains information held by Council

This LIM is a summary of information Council holds on the identified property, based on a search of Council database records as at the date of your application. Some of this information may have come from third parties, may be in draft form, or may be historical in nature. A LIM is not an inspection of the property, and Council has made no risk assessment or review of the information for the purposes of this document.

There may be other information relating to the property, which is unknown to Council and therefore not contained within this document. For example, information regarding illegal or unauthorised building or works on the property, or information held by other regional and central government agencies.

Due diligence is recommended

Any person obtaining a LIM is solely responsible for undertaking appropriate due diligence and ensuring that the property is suitable for its intended purpose.

Attachments

- Aerial Photograph
- Deposited Plan/Record of Title
- District Plan Zones
- District Plan Precincts and other overlays
- District Plan Features
- District Plan Natural Hazards – Active Faults
- District Plan Natural Hazards – Flooding
- Latest Flood Hazards
- Resource Consents - Maps and Summary Detail (if applicable)
- Health and Alcohol Licenses
- Services Network
- As Built Drainage Plan (if applicable)
- Building Consent geotechnical report (if applicable)
- Resource Consent documents (if applicable)
- Resource Consents geotechnical report (if applicable)
- Earthquake-Prone Building documents (if applicable)

1. Rates

In this section: information relating to any rates owing in relation to the property.

Rates are charged in four instalments for the period commencing 1 July and ending 30 June each year. Amounts stated are inclusive of GST.

Current rates year	2026/2027
Annual Rates 1 July to 30 June	\$5,392.54 These Rates include: - Greater Wellington Regional Council rates. The final Rates figures will be available in early August when the Kapiti Coast District Council and Greater Wellington Regional Council rates are calculated.
Next instalment date	09/09/26
Rates arrears	\$0.00
Water Rates	\$121.56 For the 2026/2027 rating year, all water used is charged at a volumetric rate of \$1.72 per cubic metre (1000 litres) on the water rates invoice, and a fixed annual charge of \$318.60 per separately used or inhabited part of a rating unit, is charged on the property rates invoice.
Water Rates balance due	\$34.40

For further information on this section, contact the **Rates Team** on 0800 486 486.

2. Consents, Certificates, Notices, Orders or Requisitions affecting the land and buildings

In this section: information concerning any consent, certificate, notice, order, or requisition affecting the land or any building on the land previously issued by Council; information required to be provided to a territorial authority under section 362T(2) of the Building Act 2004; and information concerning any certificate issued by a building certifier pursuant to the Building Act 1991 or the Building Act 2004.

Building Consents

22/03/04	BUILDING CONSENT 031935 : Dwelling adds & alts. : Code Compliance Certificate issued 11/06/10 (Found on related property: 1496016800)
14/08/03	BUILDING CONSENT 031134 : NEW F/S FIRE-METRO WEE RAD/WETBACK : Code Compliance Certificate issued 18/11/10
31/03/95	BUILDING CONSENT 950244 : ALTERATION TO DWELLING : No Code Compliance Certificate has yet been issued.
06/02/73	Building Permit E18435 ADDITIONS 800 SQF
13/06/62	Building Permit 112937 ADDITIONS 60 SQF
06/01/59	Building Permit 1028 ADDITIONS

Other building notes

To date Building Consent 950244 has not been issued a Code Compliance Certificate. Under the Building Act 2004 and Building Act 1991 a new owner inherits the responsibility, including any outstanding fees, for this consent and any additional work that may be required before the Code Compliance Certificate can be issued. Please contact Council for further information.

No other building files have been identified for this property.

Note that building consents and code compliance certificates came into existence with the passing of the Building Act 1991. Before then, councils issued only building permits. Building work carried out earlier than July 1992 may therefore not have a code compliance certificate.

Engineer's report

Further building may require an engineer's soil report and, if necessary, a foundation design.

Wind

Indicative wind zones can be found at [BRANZ Map](#). Wind zones should be determined in accordance with the New Zealand Building Code.

For further information on this section, contact the **Building Team** on 0800 486 486.

Swimming Pools: Compliance with the Building Act 2004

No information found.

For further information on this section, contact the **Building Team** on 0800 486 486.

Registered Environmental Health Premises and Licences

No information located.

For further information on this section, contact the **Environmental Health Team** on 0800 486 486.

3. Weathertightness

In this section: information notified to the Council under section 124 of the Weathertight Homes Resolution Services Act 2006.

The Council has received no correspondence from the Ministry of Business, Innovation and Employment in relation to this property.

4. Land use and Conditions

In this section: information relating to the use to which the land may be put, and conditions attached to that use. This section may provide some information relating to the natural hazards, which may impact this property. More information relating to these and other potential natural hazards can be found in Section 6 Natural Hazards.

Planning/Resource Management

District Plan Zone/Precinct/Development Area: High Density Residential Zone

The District Plan maps provided with this LIM provide a useful visual overview of the planning information provided in this LIM. However, the planning information provided is not exhaustive and reference to the Operative District Plan (2021) is recommended.

Full details of the relevant zone, precinct or development area requirements are contained within the [Operative District Plan 2021](#) on our website.

There may be policies or rules in the Greater Wellington Regional Council's Natural Resources Regional Plan (and/or a proposed change to that Plan) that regulate land use on this property. This Plan is available from the [Greater Wellington Regional Council](#) website.

Questions about the impact of that Plan on this property should be made to the Greater Wellington Regional Council on 0800 496 734.

This property is zoned High Density Residential in the Operative District Plan (2021).

This property was created via subdivision in 2021 under resource consent numbers RM180272 and RM180272A (To undertake a two lot residential subdivision, and variation to Conditions 1 and 2 of RM180272 to update the approved plans to reflect changes to the vehicle access). A copy of the Decision is provided with this LIM. Copies of the Deposited Plan (DP 560121) and Record of Title are provided with this LIM.

This property is shown to be subject to and/or appurtenant to a right to drain water and sewage, and a right to convey electricity. It is recommended that the Record of Title is checked for any interests registered against the property such as easements or covenants.

There is no record of any further resource consents for this property. For information about any resource consents for surrounding properties refer to the Resource Consents map and Summary Details Report provided with this LIM.

If you are interested in reading the full resource consent files then these can be viewed at the Council administration building at 175 Rimu Road, Paraparaumu. Note: some resource consent files may be archived offsite; however these can be retrieved for you. Please call the Resource Consents Team on 0800 486 486 to check the availability of the files.

There is no record of any identified cultural or archaeological sites contained on this site.

For further information on this section, contact the **Resource Consents Team** on 0800 486 486.

5. Special Features and Characteristics of the Land

This section identifies information held by Council about other special features or characteristics of the land concerned, including information about the likely presence of hazardous contaminants that are known to Council, but are not apparent from its District Plan under the Resource Management Act 1991.

Contaminated Sites

Greater Wellington Regional Council holds information on properties with a history of hazardous activity or industry. Refer to the Selected Land Use Register available on the Greater Wellington Regional Council website [Selected Land Use Register \(HAIL Database\)](#).

Other Information

Part of the property is shown to be subject to and adjacent to a flood hazard in the Operative District Plan (2021), and the latest Flood Hazard Maps. The flood hazard identified on the maps provided with this LIM is based on the projected future flooding risk to the property including climate change projections. The maps show the projected flood extent arising from the 1% AEP or 1% Annual Exceedance Probability Flood Event (that is, a flood event that has a 1% probability of occurring in any one year, often referred to as a 1 in 100 year storm), incorporating the projected 2090 climate change impacts, in conjunction with a 20 year return period high tide. The nature of the controls imposed by the District Plan depends on where individual sites are located within the 1 in 100 year flood extent; which flood hazard map (operative or latest) is referenced in legislation or the District Plan, and which flood hazard category applies.

Part of the property is shown to be subject to and adjacent to a shallow surface flow area which is affected by a direct flood risk on the Operative District Plan (2021) Natural Hazard Maps, and the latest Flood Hazard Maps. Shallow surface flow areas are floodplain areas, typically on steeper catchments, where shallow moving flood waters could occur during a flood event. A shallow surface flow area is subject to a direct flood risk. This hazard is associated with high intensity rainfall that overwhelms the primary drainage paths resulting in shallow flows across the ground surface.

The adjacent road carriageway (Elizabeth Street) is shown to be subject to ponding on the Operative District Plan (2021) Flood Hazard Maps, and the latest Flood Hazard Maps. Ponding are areas where slower-moving flood waters could pond either during or after a flood event. A Ponding Area may be affected by a direct flood risk. Ponding can be associated with rivers and streams as well as the piped stormwater network. Ponding is a direct risk.

For further information on flood hazards please contact the Stormwater and Coastal Asset Manager on 0800 486 486.

Greater Wellington Regional Council holds flood hazard information relating to the major rivers and streams in the District. For further information on these flood hazards, please contact the Greater Wellington Regional Council (Flood Control Department) on 0800 496 734.

For information on minimum floor levels for buildings and the potential implications for building consents on this property please contact the Building Team on 0800 486 486.

The Ohariu earthquake fault avoidance zone (Section described as 'well defined') traverses the adjacent Elizabeth Road carriageway.

For further information on this section, contact the Resource Consents Team on 0800 486 486.

6. Natural Hazards

This section identifies information held by Council about natural hazards, which may present a risk to the land in question, as required section 44B of LGOIMA and the Local Government (Natural Hazard Information in Land Information Memoranda) Regulations 2025.

A natural hazard is any atmospheric or earth or water related occurrence (including earthquake, tsunami, erosion, volcanic and geothermal activity, landslip, subsidence, sedimentation, wind, drought, fire, or flooding) the action of which adversely affects or may adversely affect human life, property, or other aspects of the environment.

The impacts of some natural hazards may also be worsened by the effects of climate change. Where Council holds information relating to climate change, it will be included within the natural hazards section.

Natural hazard information held by Council

Natural hazards identified in the District Plan

The Operative District Plan 2021 contains information relating to natural hazards, which may present a risk to property and people within the Kāpiti Coast District. These are discussed below, with further information relating to how this property could be impacted available in the Operative District Plan 2021, and on the attached maps.

Earthquakes

Due to its geographical features, the Kāpiti Coast District may be at risk of earthquakes. Earthquake fault traces within the Kāpiti Coast are mapped in the [Operative District Plan 2021](#), and can help you identify whether this property may fall within a fault area.

Further mapping is also available in the information provided by the Greater Wellington Regional Council later in this section.

Liquefaction

Due to its geographic location and soil typology, the Kāpiti Coast District may be susceptible to liquefaction in the event of an earthquake.

More information on this risk can be found in the [Operative District Plan 2021](#), and is also available in the information provided by the Greater Wellington Regional Council later in this section.

If this property has been subject to a Building or Resource Consent, a geotechnical assessment may have been completed and could provide more detailed and site-specific information about this property. Hazard information regarding Building or Resource Consents for this property can be found later in this section.

Slope failure

Due to its geographic location and soil typology, the Kāpiti Coast District may be susceptible to slope failure in the event of an earthquake. Those areas in the southern or southeastern parts of the District such as Paekākāriki and Raumati, may be particularly susceptible.

More information detailing earthquake-related hazards can be found in the [Operative District Plan 2021](#), and is also available in the information provided by the Greater Wellington Regional Council later in this section.

If this property has been subject to a Building or Resource Consent, a geotechnical assessment may have been completed and could provide more detailed and site-specific information about this property. Hazard information regarding Building or Resource Consents for this property can be found later in this section.

Fire

Due to its climate and geographical features, the Kāpiti Coast District can be susceptible to risks of fire, including wildfire. More information on this risk can be found in our [Operative District Plan 2021](#).

Further information relating to fire risks, can also be found in the information provided by the Greater Wellington Regional Council later in this section.

Tsunami

Under certain circumstances, the Kāpiti Coast District may be at risk of experiencing a tsunami. To understand the potential risk to this property and the evacuation zones please see the updated tsunami evacuation maps for Kāpiti these can be viewed at the Council's website at [Tsunami Zones](#).

Flooding

Due to its physical landscape, the Kāpiti Coast District presents with a varying level of flood risk. For more information about this risk and the property can be found under "flood hazard categories" on the District Plan Maps and in the [Operative District Plan 2021](#)

Council is currently undertaking an update of its flood modelling, which will provide up-to-date information regarding flood hazards within the Kāpiti Coast District, including at a property level. This information is only in draft currently, which has been released for consultation with the community. As it is only in draft form, the information may change prior to its finalisation, which may influence how the risk of flooding could affect this property.

More information on flood hazard modelling, including currently available information can be found on the Council website

www.kapiticoast.govt.nz/environment/flood-hazard-management/flood-hazard-modelling/.

For more information, please contact the Stormwater and Coastal Assets team on 0800 486 486.

If this property has been subject to a Building or Resource Consent, a geotechnical or liquefaction assessment may have been completed and could provide more detailed and site-specific information about this property. Hazard information regarding Building or Resource Consents for this property can be found later in this section.

Coastal Erosion and Inundation Hazards

Council holds a number of reports that assess the possibility that areas of the Kāpiti Coast District shoreline may be susceptible to current and future coastal erosion and inundation. The available information on coastal hazards that are specific to the District are available on the following link: www.kapiticoast.govt.nz/coastal-science. The science of coastal erosion and inundation continues to develop as national and international best practice changes, and new information is released. The information received by Council will therefore outline different perspectives.

Currently, information specific to the Kāpiti Coast District includes:

- Council-commissioned assessments by Jacobs NZ Ltd, including coastal area-specific risk assessments, a hazard and susceptibility assessment, and the coastal hazards GIS map viewer allowing you to assess how any particular property may be affected.
- A community commissioned coastal hazard risk assessment report by Dr Willem de Lange and related predicted shoreline maps.
- Advice from the Ministry for the Environment and the Department of Conservation on coastal hazard risk identification and management of coastal risks.

Council will consider the information and its possible impact on Kāpiti properties, as part of its review of coastal provisions in the Council's Operative District Plan. On 30 January 2025 Council resolved that this work is a priority to progress.

Natural hazards identified under the Building Act 2004

Natural hazards identified under the Building Act 2004 during a consenting process may influence whether land can be built on and/or the specifications required to mitigate risk. Natural hazards under Section 71(3) of the Building Act include erosion, falling debris, subsidence, inundation, and slippage.

Consents notified relating to a natural hazard

If this property has had a Building Consent issued, which required notification for a natural hazard, it will be found in *Section 2: Consents, Certificates, Notices, Orders or Requisitions affecting the land and buildings*.

Notices issued under 133BT

Under certain conditions, for example if a building presents a risk of injury or death to people or has been evacuated during an emergency event, a notice may be issued.

A Notice under 133BT of the Building Act 2004 **has not** been identified for this property. For further information on this section, contact the Building Team on 0800 486 486.

Geotechnical assessment

If this property has been the subject of a Building Consent since 1 July 2020, a geotechnical assessment may have been supplied with that application. A geotechnical report may contain advice about ground conditions and natural hazards at that site including liquefaction and slope stability assessment as well as commentary on ground bearing capacity.

A geotechnical report supplied under the Building Act 2004 **has not** been identified for this property.

All available Building Consent geotechnical assessments are located in attached building files. For further information on this section, contact the **Building Team** on 0800 486 486.

Natural hazards identified under the Resource Management Act 1991

Natural hazards identified under Resource Management Act 1991 during a consenting process could influence how land may be used and/or whether land can be built on, as well as any specification required to mitigate the risk of natural hazards. The definition of a natural hazard under the Resource Management Act can be found at the beginning of this section.

If this property has been the subject of a Resource Consent since 1 July 2020, a geotechnical assessment may have been supplied with that application. A geotechnical report may contain advice about the risk of natural hazards at the property.

A geotechnical report supplied under the Resource Management Act 1991 **has** been identified for this property.

Title	Geotechnical Site Suitability Report
Purpose	Resource Consent Application
Scope	51 Elizabeth Street, Waikanae
Author	CGW Consulting Engineers
Date	14 September 2020
Commissioner	N/A

For further information contact the **Resource Consents Team** on 0800 486 486.

Natural hazard information provided by Greater Wellington Regional Council

This information has been provided by Greater Wellington Regional Council in accordance with the Local Government (Natural Hazard Information in Land Information Memoranda) Regulations 2025. No alteration has been made to this information.

Hazard information

Greater Wellington Regional Council holds information on natural hazards relevant to the region. Greater Wellington's hazard information has been developed to help the public, local authorities and others manage risk and make informed decisions about their exposure to natural hazards.

Please note this information has been produced at a range of scales and may not be property specific. Local Council District Plans may hold more detailed hazard information and rules on how they are applied in your area. This information is periodically updated as new studies and modelling is carried out.

- Fluvial (river) flood hazard
- Coastal flood hazard
- Tsunami hazard
- Wildfire hazard
- Seismic hazard

Climate change has the potential to exacerbate some of these hazards. More information about future changes to the regional climate can be found on the Greater Wellington website: <https://mapping1.gw.govt.nz/gw/ClimateChange/> and https://mapping1.gw.govt.nz/GW/ClimateChange_StoryMap/#.

Please contact **Greater Wellington Regional Council** at info@gw.govt.nz for more information.

For information on fluvial flood hazard please contact the Greater Wellington Regional Council's **Flood Advisory Team**

www.gw.govt.nz/your-region/emergency-and-hazard-management/flood-protection/flood-hazard-advice.

Be prepared

If your home, or place of work is vulnerable to a natural hazard we advise that you are prepared, with enough supplies for 7 days and an effective emergency plan. For further guidance please visit the Wellington Regional Emergency Management Office for more information www.wremo.nz. It is also recommended that you check that your insurance cover is appropriate for the hazards present.

Other natural hazard information

No other information found.

8. Private and Public stormwater and sewerage drains

In this section: Information on private and public stormwater and sewerage drains as shown in the Council's records.

There is Council sewer reticulation available with a lateral. The location of the sewer lateral is shown on the services network plan. An as-built plan of private drainage is provided with this LIM.

Stormwater discharges to the Council drain. There is no record of any Council services running through the property.

For further information on this section, contact the **Plumbing & Drainage Team** on 0800 486 486.

9. Drinking water supply

In this section: information on whether the land is supplied with drinking water and if so, whether the supplier is the owner of the land or a networked supplier; any conditions that are applicable; and any information the Council has about the supply.

Council has a potable water supply system available with an ordinary on demand metered water supply connection. The Council service valve (manifold/toby) is shown on the services network plan provided with this LIM.

For further information on this section, contact the **Plumbing & Drainage Team** on 0800 486 486.

10. Network utility information

In this section: information which has been notified to the Council by any network utility operator pursuant to the Building Act 1991 or the Building Act 2004.

Contact Electra for power availability and Vector for gas availability.

11. Other information about the property

In this section: information concerning the land and the property that the Council has the discretion to include if it considers it to be relevant

No information found.

Cultural and Archaeological

The settlement history of the Kāpiti Coast suggests that there are still an unknown number of unidentified cultural and archaeological sites within the District and indeed these are still being discovered during earthworks from time to time. The Heritage NZ Pouhere Taonga Act 2014 provides for substantive penalties for unauthorised destruction or modification of an archaeological site.

More detail on what to look for and who to contact can be found on our website:

www.kapiticoast.govt.nz/Our-District/Tangata-Whenua

Development Impact Fees

Development Impact Fees consist of a combination of development contributions and financial contributions (including Reserves Contributions) from all new developments e.g. a new residential dwelling or a subdivision as well as new or expanded non-residential buildings.

Further information on the range of Development Impact Fees can be found on

[Development impact fees - Kāpiti Coast District Council](#)

12. Glossary of Terms and Maps attached

Aerial Photograph

A birds-eye view in colour of the property and its surrounds.

Deposited Plan

Sometimes referred to as a 'Flats Plan' or 'Title Plan.' A Deposited Plan covers more than one lot (or property) and has a diagram showing the boundary distances and the land area. A Record of Title relates to a specific property and shows current owner and interests (such as mortgages, encumbrances, and easements).

Building Information

This includes any information Council holds about any structure that is on the lot (property), e.g. plumbing, drainage and floor plans and elevation drawings of the building and any alterations or additions to it, together with any code compliance certificates. This may also include technical reports (such as geotechnical and/or structural reports) if available.

Services Network Map

Information on private and public stormwater and sewerage drains on the property as shown in Council's records.

Location of Health and Alcohol Licenses

This map shows the location of registered businesses in the neighbourhood that hold health and alcohol licenses.

Resource Consents

Included with this LIM are Reports and Maps of resource consents (if applicable that relate to the property) and a list of resource consents in the neighbourhood of the property that have been notified. The District Plan contains rules about different types of activities in different parts of the district. Anything not permitted by the Plan requires a resource consent. When a resource consent application is received the Council determines whether or not to notify it on the basis of the environmental effects under Section 95A-F of the Resource Management Act 1991.

Designation(s) (if applicable)

A designation is a planning technique used by Ministers of the Crown, councils and network utility operators approved as requiring authorities under section 167 of the Resource Management Act 1991. It provides for 'spot zoning' over a site, area or route in a district plan which authorises the requiring authority's work and activity on the site, area, or route without the need for a land use resource consent.

District Plan

Every city and district council is required to have a District Plan under the [Resource Management Act 1991](#). The District Plan plays a big part in how Kāpiti develops. The rules in the Plan determine what you can and can't do on your property without permission from Council - whether it be subdividing, renovating, building a new garage or deck, or starting a home business. This LIM includes maps which show the Zone, Precinct, or Development Area (if relevant), the Features, Overlays and the Natural Hazards that relate to the rules in the District Plan.

Latest Flood Hazards

To better understand the extent of the flood hazard risk in the District and to assist in the potential mitigation of this risk, Council has over the years undertaken a number of floodplain management investigations. This map shows the latest flood hazard information; these are not necessarily included in the Operative District Plan (2021). This information is particularly relevant if you are considering subdividing the land or constructing a building.



RECORD OF TITLE
UNDER LAND TRANSFER ACT 2017
FREEHOLD
Historical Search Copy




R.W. Muir
Registrar-General
of Land

Identifier **987724**
Land Registration District **Wellington**
Date Issued 13 July 2021

Prior References
WN34D/146

Estate Fee Simple
Area 1053 square metres more or less
Legal Description Lot 1 Deposited Plan 560121
Original Registered Owners
Richard John Halliday

Interests

8937898.3 Mortgage to Kiwibank Limited - 9.12.2011 at 2:32 pm

Subject to a right to drain water and a right to convey electricity over part marked B on DP 560121 created by Easement Instrument 12078618.3 - 13.7.2021 at 3:30 pm

Appurtenant hereto is a right to drain sewage created by Easement Instrument 12078618.3 - 13.7.2021 at 3:30 pm

The easements created by Easement Instrument 12078618.3 are subject to Section 243 (a) Resource Management Act 1991

Subject to a right (in gross) to convey electricity over part marked B on DP 560121 in favour of Electra Limited created by Easement Instrument 12217760.2 - 10.9.2021 at 12:47 pm

The easements created by Easement Instrument 12217760.2 are subject to Section 243 (a) Resource Management Act 1991



CSD Plan - DP 560121

Survey Number	DP 560121
Surveyor Reference	KAP-0293 - 51 Elizabeth Street, Waikanae
Surveyor	Thomas Edward Mills
Survey Firm	Leith Consulting Limited
Surveyor Declaration	I Thomas Edward Mills, being a licensed cadastral surveyor, certify that: (a) this dataset provided by me and its related survey are accurate, correct and in accordance with the Cadastral Survey Act 2002 and the Rules for Cadastral Survey 2010, and (b) the survey was undertaken by me or under my personal direction. Declared on 13 Jul 2021 02:21 PM

Survey Details

Dataset Description	Lots 1 and 2 being a subdivision of Lot 30 DP 17939		
Purpose	LT Subdivision		
Status	Deposited	Type	Survey
Land District	Wellington	Survey Class	Class A
Meridional Circuit	Wanganui 2000	Vertical Datum	None

Survey Dates

Surveyed Date	11/03/2021	Certified Date	13/07/2021
Submitted Date	13/07/2021 14:21:04	Survey Approval Date	02/08/2021
Deposit Date	13/07/2021		

Referenced Surveys

Survey Number	Land District	Bearing Correction
LT 554602	Wellington	0°00'00"
LT 89818	Wellington	0°00'00"
SO 28631	Wellington	-0°01'10"
DP 23735	Wellington	-0°01'10"
DP 47124	Wellington	-0°01'10"
SO 35042	Wellington	-0°01'10"
DP 17939	Wellington	-0°06'50"
DP 413488	Wellington	0°00'00"
DP 480800	Wellington	0°00'00"

Territorial Authorities

Kapiti Coast District

Comprised In

RT WN34D/146

Created Parcels

Parcels	Parcel Intent	Area	RT Reference
Lot 1 Deposited Plan 560121	Fee Simple Title	0.1053 Ha	987724
Lot 2 Deposited Plan 560121	Fee Simple Title	0.0601 Ha	987725
Area A Deposited Plan 560121	Easement		



CSD Plan - DP 560121

Created Parcels

Parcels	Parcel Intent	Area	RT Reference
Area B Deposited Plan 560121	Easement		
Total Area		0.1654 Ha	



Mark and Vector

Survey Number DP 560121
Meridional Circuit Wanganui 2000

From	To	Code	Bearing	Adpt Surv	Bearing Correction	Distance	Adpt Surv	Class
IR II DP 82045	SP I SO 35042	ob0	305°25'10" M			77.08 M		
SP I SO 35042	SP 9 DP 413488	ob2	134°06'45" M			140.63 M		
SP 9 DP 413488	SP 1 DP 560121	ob6	11°29'00" M			49.59 M		
SP 1 DP 560121	SP 2 DP 560121	ob30	292°04'00" M			19.48 M		
SP 2 DP 560121	IR II DP 82045	ob36	264°53'00" M			30.10 M		
SP 1 DP 560121	SP I SO 35042	ob31	293°58'40" M			121.31 M		
SP 2 DP 560121	SP I SO 35042	ob37	294°20'30" M			101.85 M		
SP 9 DP 413488	SP 2 DP 560121	ob7	351°41'00" M			56.51 M		
SP 9 DP 413488	LP 12 DP 413488	ob8	73°34'40" M			88.35 M		
LP 12 DP 413488	LP 5 DP 413488	ob13	86°17'00" M			37.14 M		
LP 5 DP 413488	SP 9 DP 413488	ob14	257°20'00" M			124.84 M		
SP 9 DP 413488	SP 11 DP 413488	ob9	162°25'50" M			267.21 M		
SP I SO 35042	IT II DP 58406	ob3	17°37'40" M			232.61 M		
SP I SO 35042	IS IV DP 47124	ob4	18°18'30" M			65.51 M		
SP I SO 35042	IR I DP 77162	ob5	17°57'50" M			102.86 M		
IR II DP 82045	SP 10 DP 413488	ob1	105°27'50" A	LT 554602	0°00'00"	30.48 A	LT 554602	
SP 10 DP 413488	SP 9 DP 413488	ob11	168°59'10" A	DP 480800	0°00'00"	45.95 A	DP 480800	
SP 2 DP 560121	PEG (1) DP 17939	ob38	39°51'30" M			66.75 M		
PEG (1) DP 17939	PEG 5 DP 560121	ob15	214°10'10" A	DP 17939	-0°06'50"	24.92 C		Class A
PEG 5 DP 560121	DISK 6 DP 560121	ob41	214°10'10" A	DP 17939	-0°06'50"	36.79 C		Class A
DISK 6 DP 560121	PEG VII SO 28631	ob16	304°10'10" A	DP 17939	-0°06'50"	3.66 A	SO 28631	
PEG VII SO 28631	PEG (4) DP 17939	ob18	304°10'10" A	DP 17939	-0°06'50"	11.58 A	SO 28631	
PEG (4) DP 17939	PEG (5) DP 17939	ob19	304°10'10" A	DP 17939	-0°06'50"	17.37 A	DP 17939	
PEG (5) DP 17939	PEG (1) DP 47124	ob20	304°10'10" A	DP 17939	-0°06'50"	17.37 A	DP 17939	
PEG (1) DP 47124	PEG (2) DP 47124	ob21	304°10'10" A	DP 17939	-0°06'50"	27.77 A	DP 47124	
PEG (2) DP 47124	SP I SO 35042	ob22	267°03'20" A	SO 35042	-0°01'10"	36.63 A	SO 35042	
SP 10 DP 413488	PEG A DP 480800	ob12	92°54'00" A	DP 480800	0°00'00"	22.40 A	DP 480800	
PEG A DP 480800	PEG (10) DP 17939	ob23	344°12'40" A	DP 17939	-0°06'50"	3.75 A	DP 480800	
PEG (10) DP 17939	UNMK 3 DP 560121	ob24	53°07'20" A	DP 17939	-0°06'50"	3.13 C		Class A
UNMK 3 DP 560121	PEG (2) DP 17939	ob49	53°07'20" A	DP 17939	-0°06'50"	56.16 C		Class A



Mark and Vector

Survey Number DP 560121

Meridional Circuit Wanganui 2000

From	To	Code	Bearing	Adpt Surv	Bearing Correction	Distance	Adpt Surv	Class
PEG (2) DP 17939	PEG (11) DP 23735	ob25	164°12'40"	A DP 17939	-0°06'50"	38.49 A	DP 480800	
PEG (11) DP 23735	DISK 42 DP 413488	ob27	164°12'40"	A DP 17939	-0°06'50"	1.83 A	DP 23735	
DISK 42 DP 413488	LP 5 DP 413488	ob28	108°27'20"	A DP 413488	0°00'00"	53.60 A	DP 413488	
DISK 6 DP 560121	UNMK 1 DP 560121	ob17	124°10'10"	A DP 17939	-0°06'50"	9.02 C		Class A
UNMK 1 DP 560121	PEG 1 DP 560121	ob50	124°10'10"	A DP 17939	-0°06'50"	2.12 C		Class A
PEG 1 DP 560121	PEG (10) DP 17939	ob42	124°10'10"	A DP 17939	-0°06'50"	4.10 C		Class A
PEG (2) DP 17939	PEG (3) DP 17939	ob26	344°12'40"	A DP 17939	-0°06'50"	18.29 A	DP 17939	Class A
PEG (3) DP 17939	PEG (1) DP 17939	ob29	287°31'10"	A DP 17939	-0°06'50"	21.40 A	DP 17939	Class A
PEG 1 DP 560121	UNMK 2 DP 560121	ob43	53°07'20"	C		3.14 C		Class A
UNMK 2 DP 560121	PEG 2 DP 560121	ob47	53°07'20"	C		26.57 C		Class A
PEG 2 DP 560121	PEG 3 DP 560121	ob44	21°22'00"	C		5.03 C		Class A
PEG 3 DP 560121	PEG 4 DP 560121	ob46	334°36'00"	C		5.00 C		Class A
PEG 4 DP 560121	PEG 5 DP 560121	ob45	308°43'00"	C		15.41 C		Class A
SP 1 DP 560121	PEG 1 DP 560121	ob32	331°09'00"	M		1.45 M		
SP 1 DP 560121	PEG 2 DP 560121	ob33	50°22'00"	M		29.95 M		
SP 1 DP 560121	PEG 3 DP 560121	ob34	46°18'00"	M		34.43 M		
SP 1 DP 560121	PEG 4 DP 560121	ob35	38°48'00"	M		36.32 M		
SP 2 DP 560121	PEG 5 DP 560121	ob39	43°13'00"	M		42.03 M		
SP 2 DP 560121	DISK 6 DP 560121	ob40	88°40'00"	M		8.12 M		
UNMK 1 DP 560121	UNMK 2 DP 560121	ob51	80°42'00"	C		4.33 C		Class A
UNMK 2 DP 560121	UNMK 3 DP 560121	ob48	124°10'10"	C		4.10 C		Class A
SP 9 DP 413488	PEG 7 DP 560121	ob10	17°10'00"	M		45.95 M		
PEG 7 DP 560121	PEG A DP 480800	ob52	23°23'00"	C		0.07 C		



Mark and Vector

Survey Number	DP 560121
Meridional Circuit	Wanganui 2000
Mark Name	Description
IR I DP 77162	dn 0.02 in seal
IR II DP 82045	SS pin under cast iron cover
IS IV DP 47124	dn 0.02 in seal
IT II DP 58406	flush in seal
LP 12 DP 413488	flush in kerb
LP 5 DP 413488	flush in kerb
PEG 7 DP 560121	PEG A DP 480800 disturbed
SP 1 DP 560121	flush in vehicle crossing
SP 11 DP 413488	flush in kerb
SP 2 DP 560121	flush in vehicle crossing
SP 9 DP 413488	flush in footpath
SP I SO 35042	flush in kerb

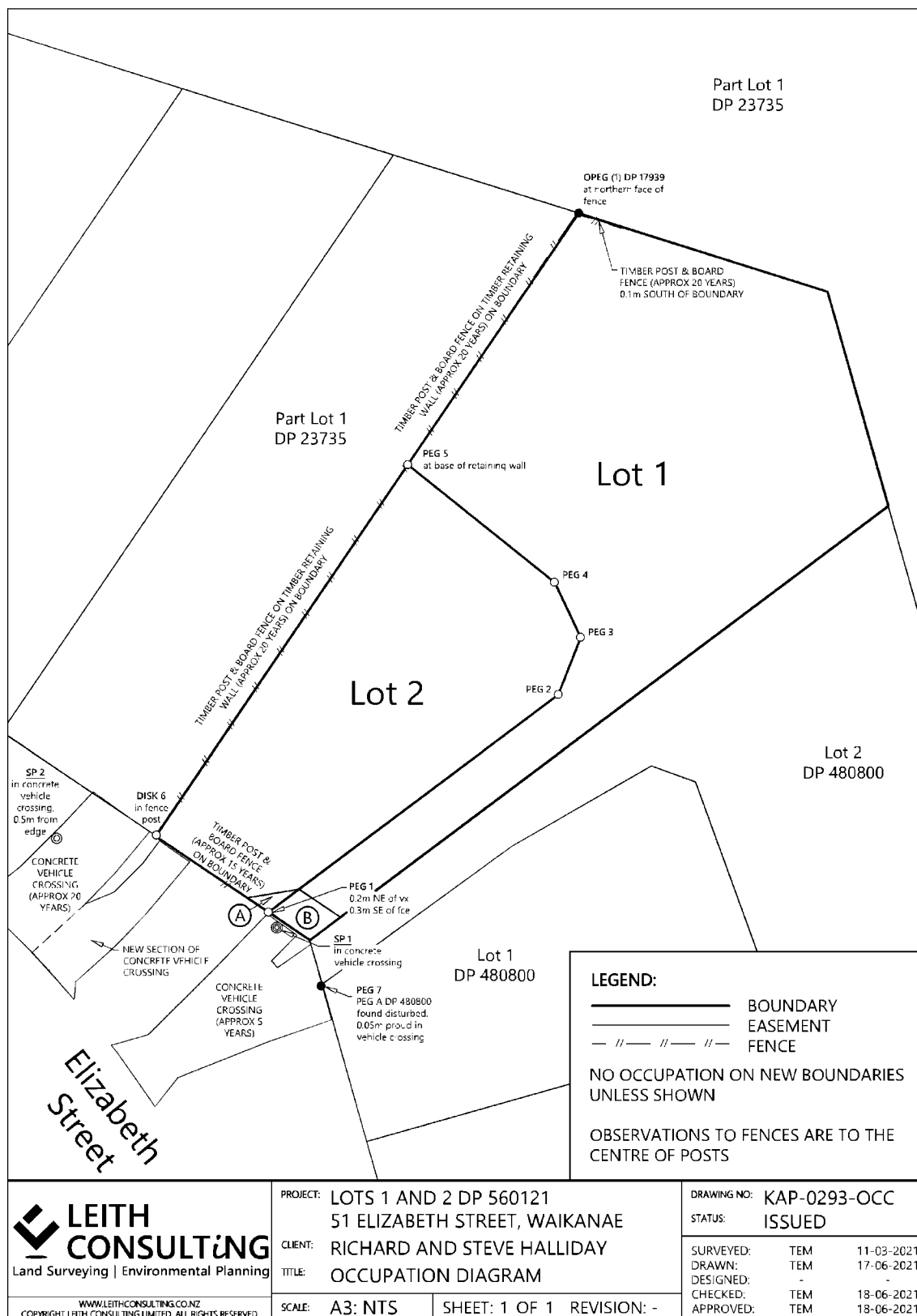
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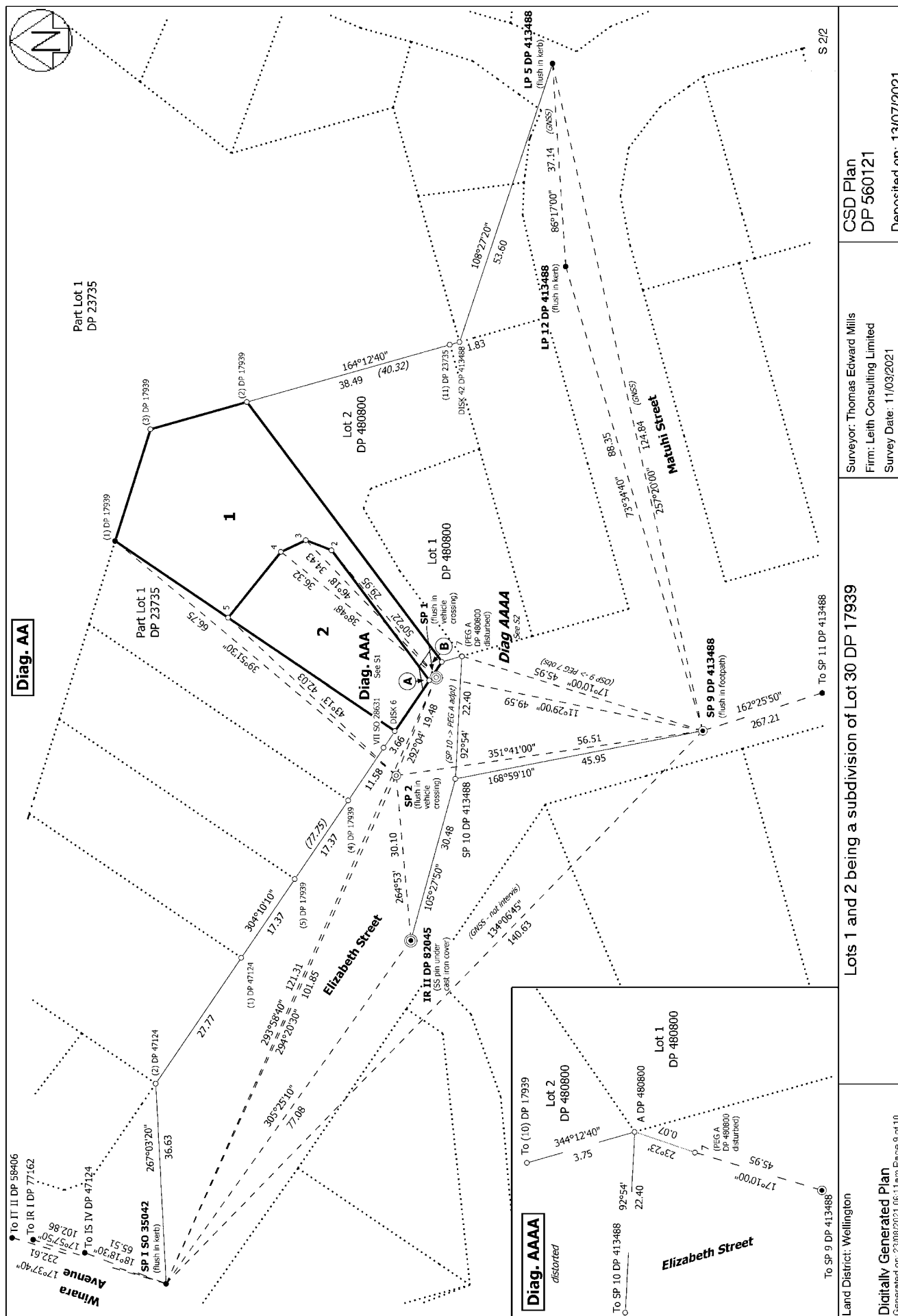
Schedule / Memorandum

Memorandum of Easements (Pursuant to s243 Resource Management Act 1991)			
Purpose	Shown	Servient Tenement (Burdened land)	Dominant Tenement (Benefited land)
Right to drain sewage	A	Lot 2	Lot 1
Right to drain water, right to convey electricity	B	Lot 1	Lot 2

Memorandum of Easements in Gross (Pursuant to s243 Resource Management Act 1991)			
Purpose	Shown	Servient Tenement (Burdened land)	Grantee
Right to convey electricity	B	Lot 1	Electra Limited

Occupation Diagram





Aerial Photography

51B Elizabeth Street, Waikanae (LOT 1 DP 560121)



0 10 20 Metres

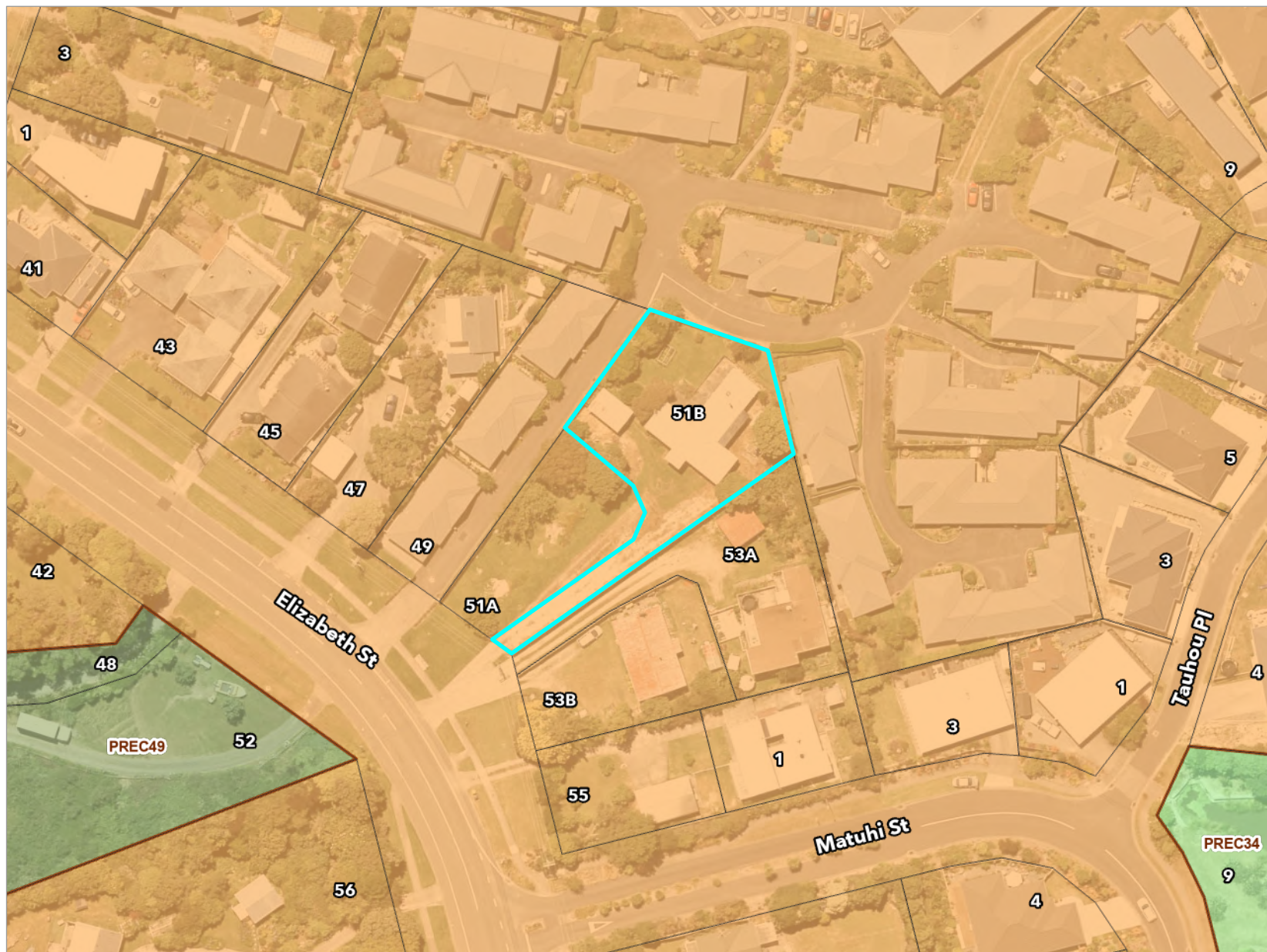
Scale @ A4 - 1:500

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Operative District Plan 2021 - Zones and Precincts

51B Elizabeth Street, Waikanae (LOT 1 DP 560121)



Key to map symbols

- Precinct
- High Density Residential Zone
- Rural Production Zone
- Open Space Zone



0 20 40 Metres

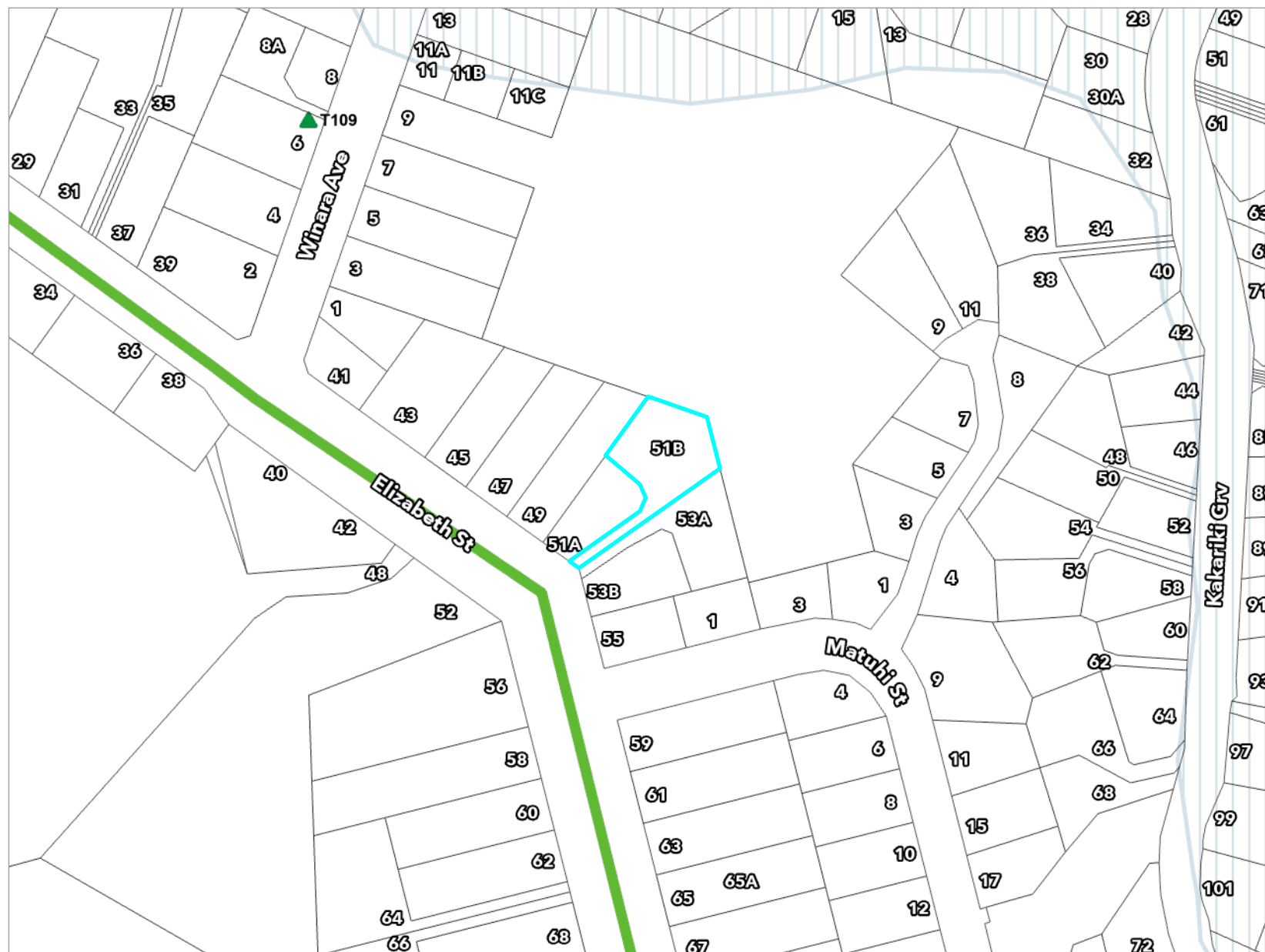
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Operative District Plan 2021 - Historical, Cultural, Infrastructure & Districtwide

51B Elizabeth Street, Waikanae (LOT 1 DP 560121)



Key to map symbols

-  Major Community Connectors
-  Notable Trees
-  Coastal Environment

The 'Key to map symbols' column above will be empty if no relevant District Plan Features are present in the area shown on this map.



0 40 80 Metres

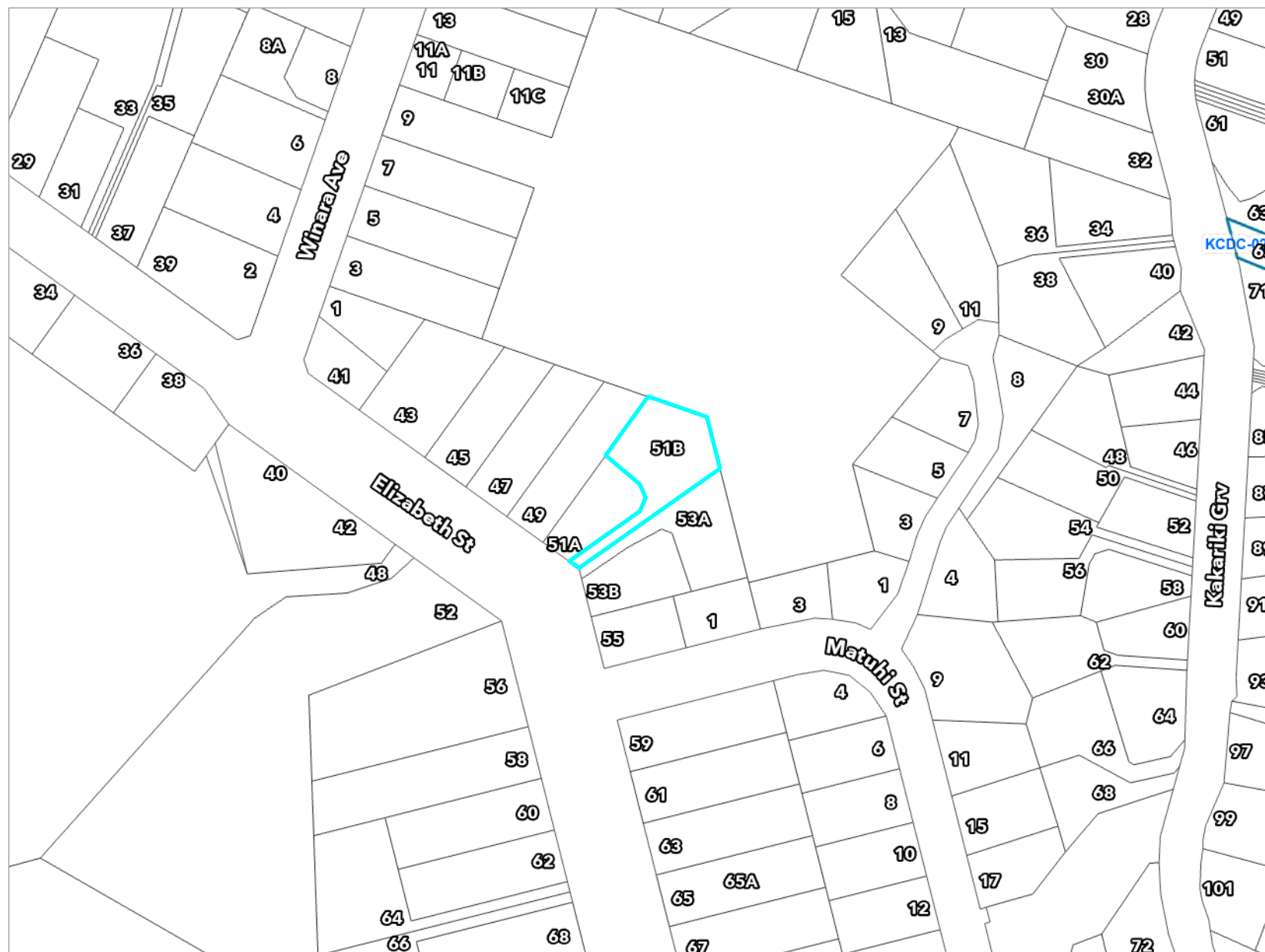
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Operative District Plan 2021 - Designations & Miscellaneous Features

51B Elizabeth Street, Waikanae (LOT 1 DP 560121)



Key to map symbols

Designation

The 'Key to map symbols' column above will be empty if no relevant District Plan Features are present in the area shown on this map.



0 40 80 Metres

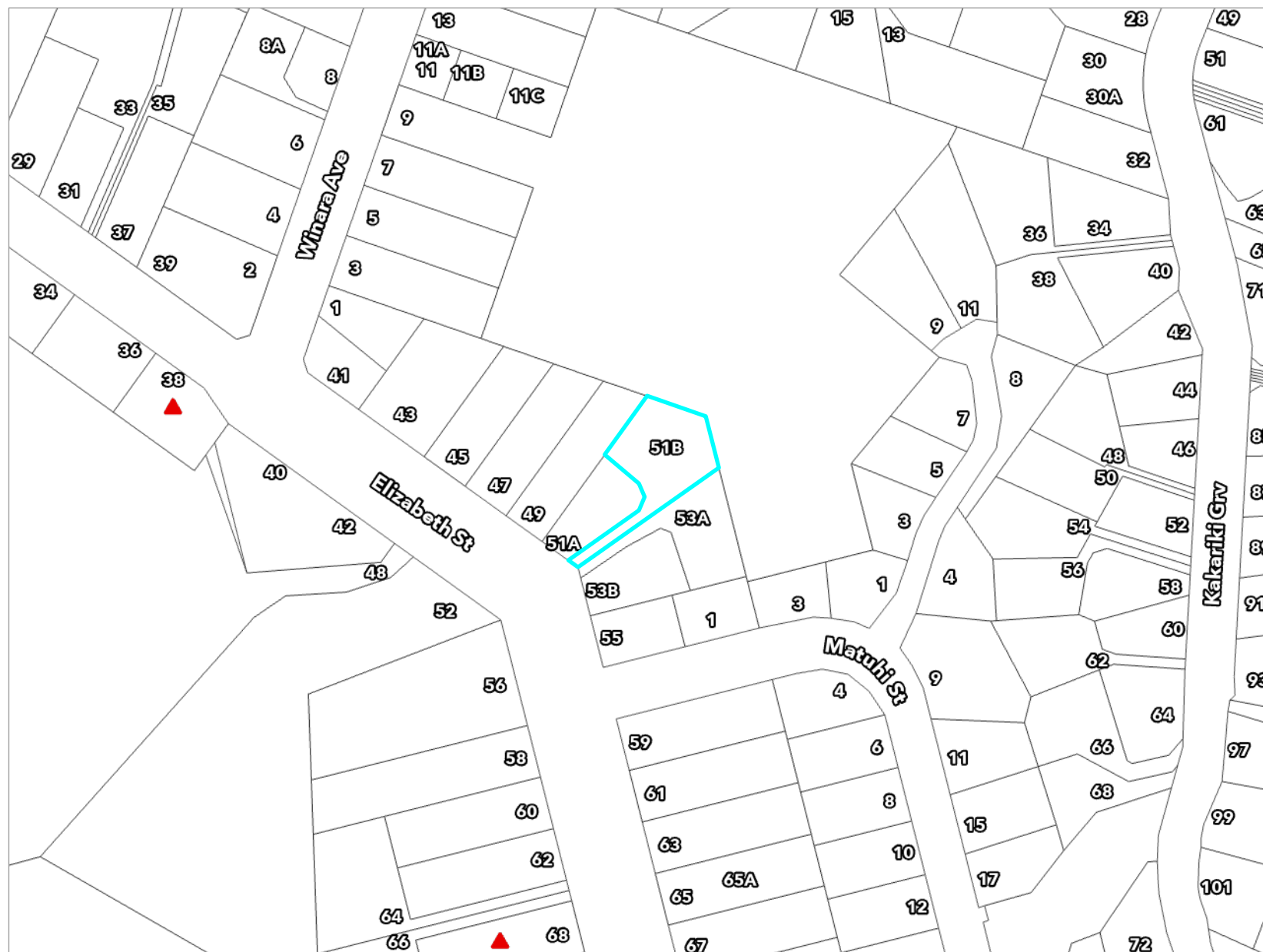
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Operative District Plan 2021 - Natural Features

51B Elizabeth Street, Waikanae (LOT 1 DP 560121)



Key to map symbols

▲ Key Indigenous Trees

The 'Key to map symbols' column above will be empty if no relevant District Plan Features are present in the area shown on this map.



0 40 80 Metres

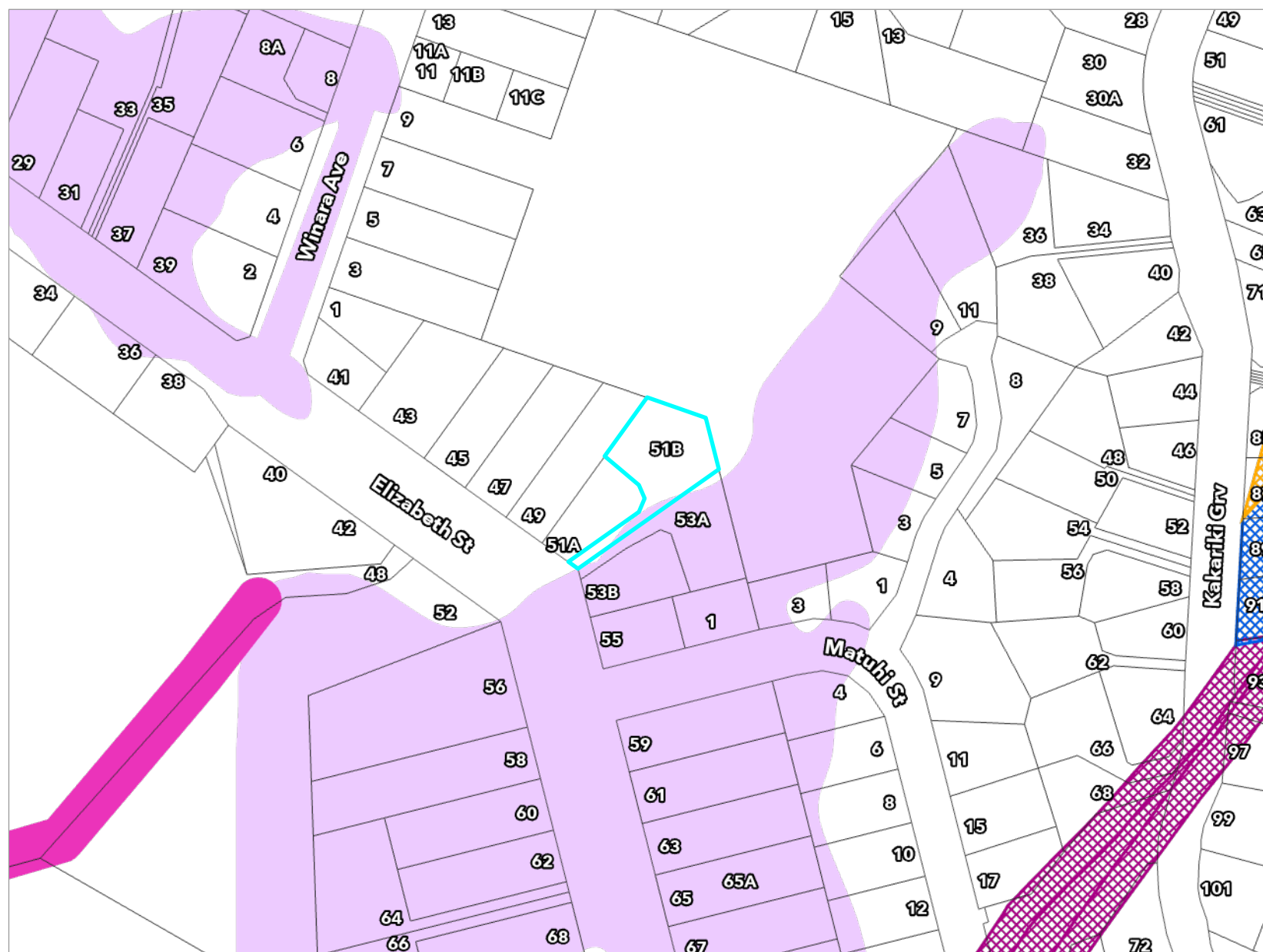
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Operative District Plan 2021 - Natural Hazards

51B Elizabeth Street, Waikanae (LOT 1 DP 560121)



Key to map symbols

-  Well Defined
-  Well Defined Extension
-  Uncertain Constrained
-  Stream Corridor
-  Shallow Surface Flow

The 'Key to map symbols' column above will be empty if no relevant District Plan Features are present in the area shown on this map.



0 40 80 Metres

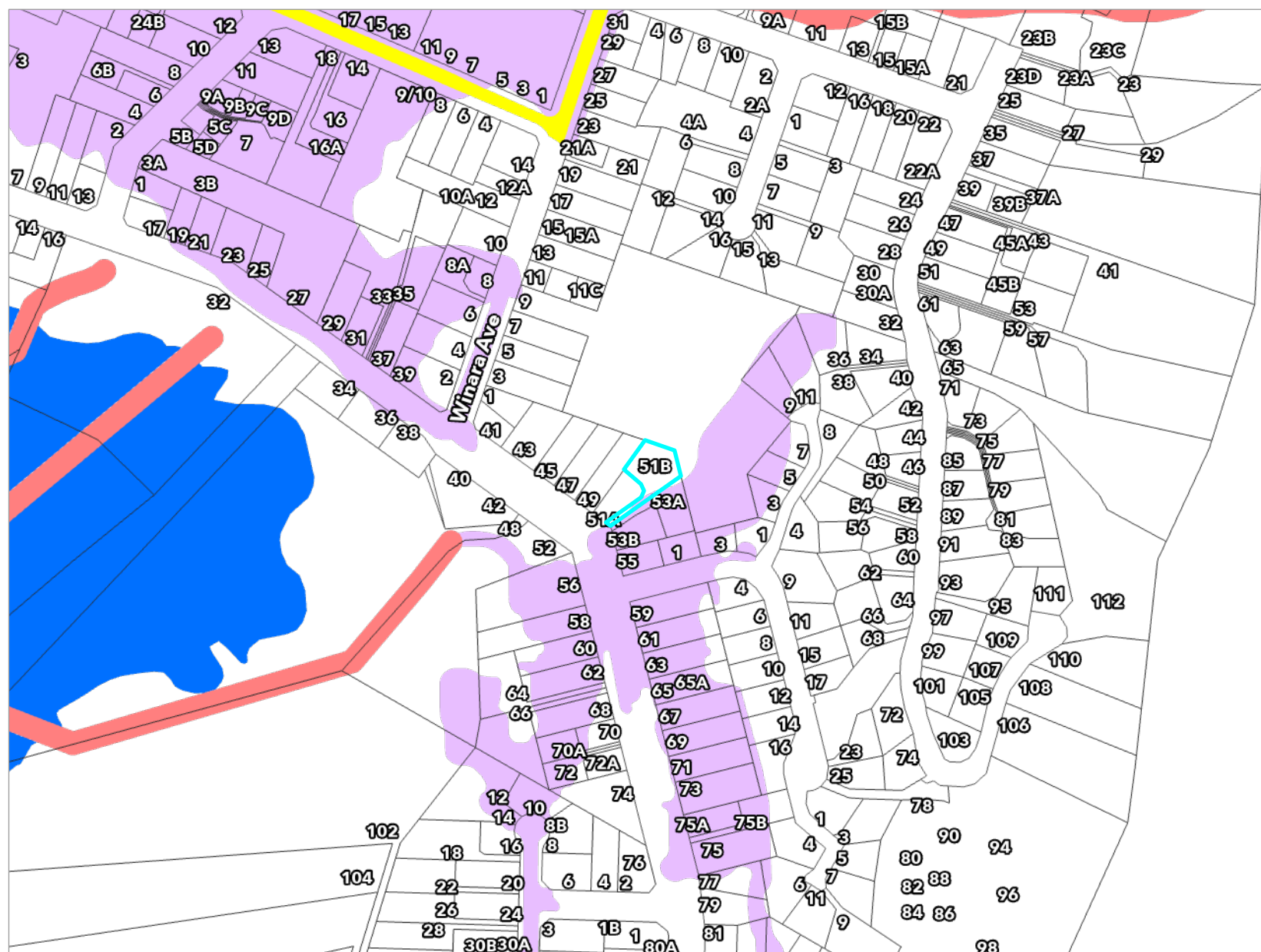
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Latest Flood Hazards

51B Elizabeth Street, Waikanae (LOT 1 DP 560121)



Key to map symbols

- Stream Corridor
- Overflow Path
- Ponding
- Shallow Surface Flow

The 'Key to map symbols' column above will be empty if no Flood Hazards are present in the area shown on this map.



0 90 180 Metres

Scale @ A4 - 1:4,000

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Resource Consents Map

51B Elizabeth Street, Waikanae (LOT 1 DP 560121)



Key to map symbols

 Resource Consents

The 'Key to map symbols' column above will be empty if no Resource Consents are present in the area shown on this map.



0 20 40 Metres

Scale @ A4 - 1:1,000

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Resource Consents Report

Resource Consent Number	Location	Valuation Number	Property Legal Description	Consent Type	Consent Proposal	Notified Yes/No	Hearing Yes/No	Consent Status	Decision Date	App.Date
010321	1 Winara Avenue, Waikanae	1496016300	LOT 1 DP 47124 SEC 1 SO 35042 CT 32C/353	LC	PROPOSED RELOCATION OF DWELLING TO SITE AND FRONT YARD	N	N	Decision Issued	16/11/2001	29/10/2001
030180	9 Winara Avenue, Waikanae	1496014000	PT LOT 1 DP 23735	LD	EXTENSIONS TO EXISTING RETIREMENT VILLAGE	Y	Y	Appeal With drawn	9/12/2003	15/7/2003
040312	9 Winara Avenue, Waikanae	1496014000	PT LOT 1 DP 23735	LC	Trimming of Native Trees and removal/r eplacement	N	N	Decision Issued	22/11/2004	6/10/2004
050090	9 Winara Avenue, Waikanae	1496014000	PT LOT 1 DP 23735	LD	Modification work on indigenous trees	N	N	Decision Issued	27/4/2005	18/4/2005
040335	9 Winara Avenue, Waikanae	1496014000	PT LOT 1 DP 23735	LN	15 additional serviced suites at Winara House	N	N	Decision Issued	27/3/2006	8/11/2004
110151	59 Elizabeth Street, Waikanae	1496017200	LOT 34 DP 17939 CT 12C/763	LC	Home occupation for small hairdressin g salon in garage at 59	N	N	Decision Issued	21/10/2011	11/10/2011
080278	9 Winara Avenue, Waikanae	1496014000	PT LOT 1 DP 23735	LD	Extension of existing Winara Resthome facility to include an	Y	Y	Decision Issued	13/11/2009	29/12/2008
130239	9 Winara Avenue, Waikanae	1496014000	PT LOT 1 DP 23735	LD	Alterations and additions to the existing care home wing of	N	N	Decision Issued	3/1/2014	9/12/2013
160264	5 Tauhou Place, Waikanae	1496020036	LOT 26 DP 413488 CT 731772	LD	Undertake earthwork s to facilitate residential development	N	N	Decision Issued	8/12/2016	10/11/2016

Resource Consent Number	Location	Valuation Number	Property Legal Description	Consent Type	Consent Proposal	Notified Yes/No	Hearing Yes/No	Consent Status	Decision Date	App.Date
130115	53B Elizabeth Street, Waikanae	1496016900	LOT 31 DP 17939	LSC	Proposed re-locate a dwelling and a 2 lot subdivision at 53	N	N	s.224 Issued	26/7/2013	18/7/2013
180272	51A Elizabeth Street, Waikanae	1496016801	LOT 2 DP 560121	SR	To undertake a two lot residential subdivision	N	N	s.224 Issued	4/4/2019	18/12/2018
180272A	51A Elizabeth Street, Waikanae	1496016801	LOT 2 DP 560121	SD	Variation to Conditions 1 and 2 of the RM180272 to	N	N	Decision Issued	8/6/2020	7/5/2020
170325	51A Elizabeth Street, Waikanae	1496016801	LOT 2 DP 560121	SC	To undertake a two lot residential subdivision	N	N	Application Returned incomplete		14/12/2017
230027	59 Elizabeth Street, Waikanae	1496017200	LOT 34 DP 17939 CT 12C/763	SN	To undertake a two-lot residential subdivision creating one	N	N	Decision Issued	4/12/2024	27/2/2023
210314	55 Elizabeth Street, Waikanae	1496017001	Lot 1 DP 598028	SN	Undertake a two-lot residential subdivision and construct a	N	N	s.224 Issued	31/3/2022	14/12/2021
970182	9 Winara Avenue, Waikanae	1496014000	PT LOT 1 DP 23735	LD	EXTENSIONS AND ALTERATIONS TO EXISTING RESTHOME SO THAT	N	N	Decision Issued	18/8/1997	4/6/1997
990336	1 Winara Avenue, Waikanae	1496016300	LOT 1 DP 47124 SEC 1 SO 35042 CT 32C/353	SD	ONE ADDITIONAL RESIDENTIAL LOT	N	N	s.224 Issued	23/9/1999	26/8/1999
990219	9 Winara Avenue, Waikanae	1496014000	PT LOT 1 DP 23735	SC	BOUNDARY ADJUSTMENT AROUND EXISTING DEVELOPMENT	N	N	s.224 Issued	12/7/1999	14/6/1999

Health and Alcohol Licenses

51B Elizabeth Street, Waikanae (LOT 1 DP 560121)



Key to map symbols

The 'Key to map symbols' column above will be empty if no Health and Alcohol Licences are present in the area shown on this map.



0 20 40 Metres

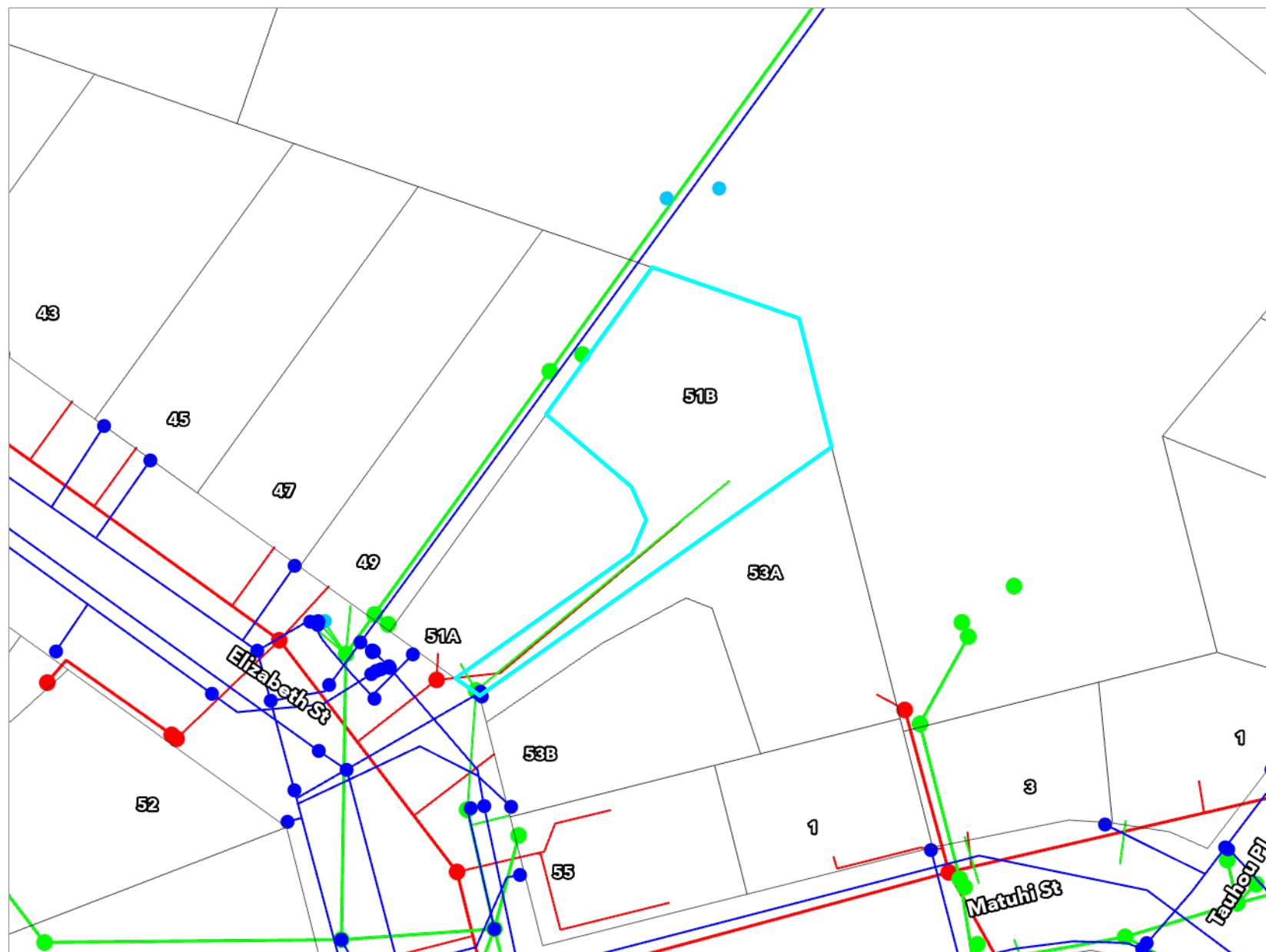
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Services Network

51B Elizabeth Street, Waikanae (LOT 1 DP 560121)



Key to map symbols

- WS Node
- Non-KCDC WS Node
- WS Pipe
- SW Point
- SW Pipe
- SW Lateral
- WW Point
- WW Pipe
- WW Lateral

The 'Key to map symbols' column above will be empty if no Services are present in the area shown on this map.

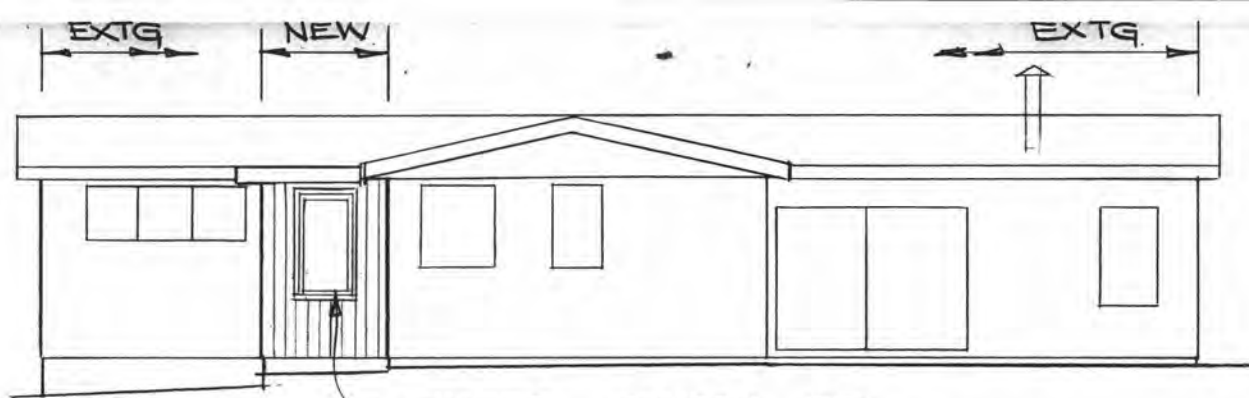


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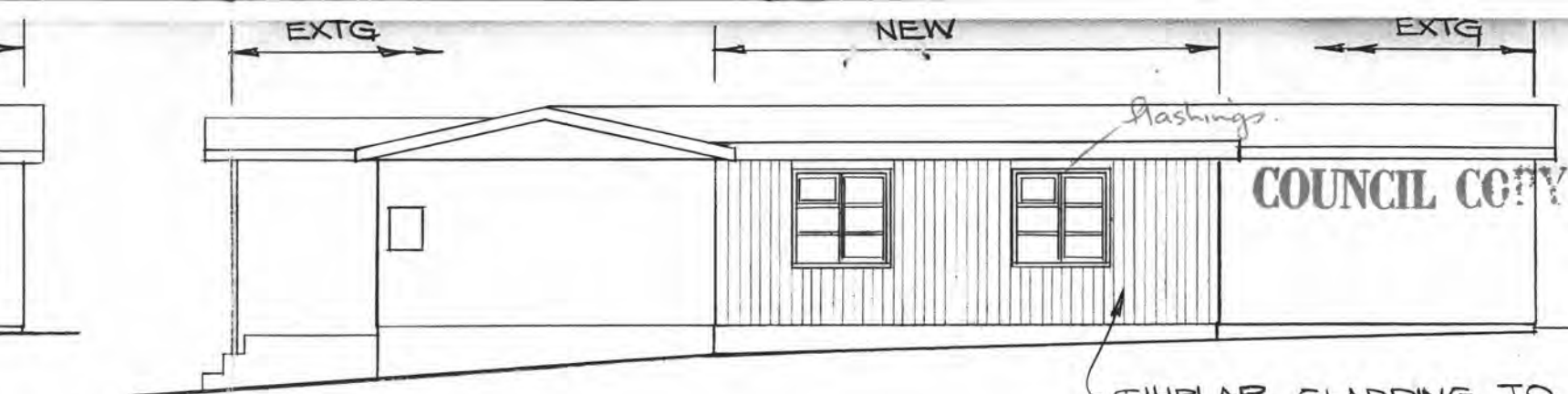
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TIMBER JOINERY TO
MATCH EXTG

NORTH



SHIPLAP CLADDING TO
MATCH EXISTING
TYP

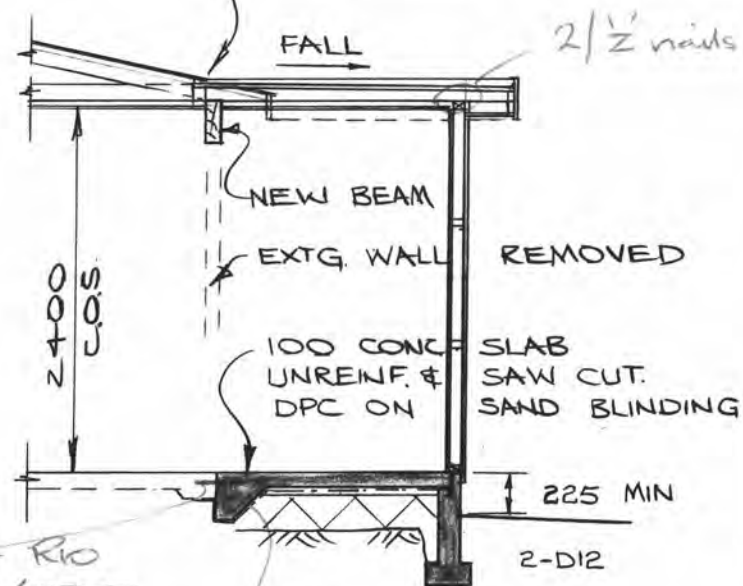
EAST

NOTES:

1. DETAIL & WORKMANSHIP TO COMPLY WITH NZS 3604 1990.
2. MATERIALS TO COMPLY WITH RELEVANT NZ STANDARD.
3. ALL MATERIALS TO BE FITTED IN ACCORDANCE WITH THEIR MANUFACTURERS RECOMMENDATIONS.
4. INSULATION TO NZS 4218 P.
5. PLUMBING & DRAINAGE TO COMPLY WITH N.Z. BUILDING CODE.
6. EXTG SHED TO BE USED AS ^{non habitable} GAME/HOBBY AREA.
- * Ventilation to the exterior eg an opening window

- ROOF : BUTYNOL ON 17.5mm ^{Fix with Stainless Steel screws} 12mm PLY - and to manufacturers Specs.
- RAFTERS : 100x50 - 600 CRS
- BEAM : 300x100 R.S. RADIATA
- CEILING & WALL LININGS : 9.5 GIBBOARD ^{Dwag for 450 max ceiling fixings}
- SOFFIT : 6mm FIBROLITE

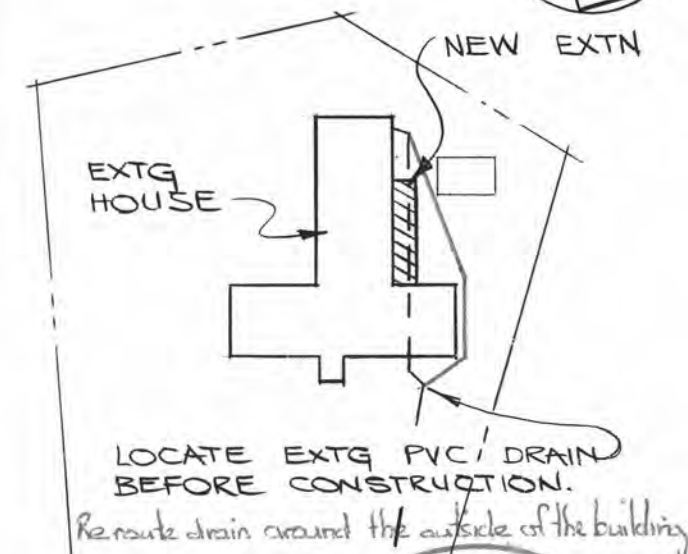
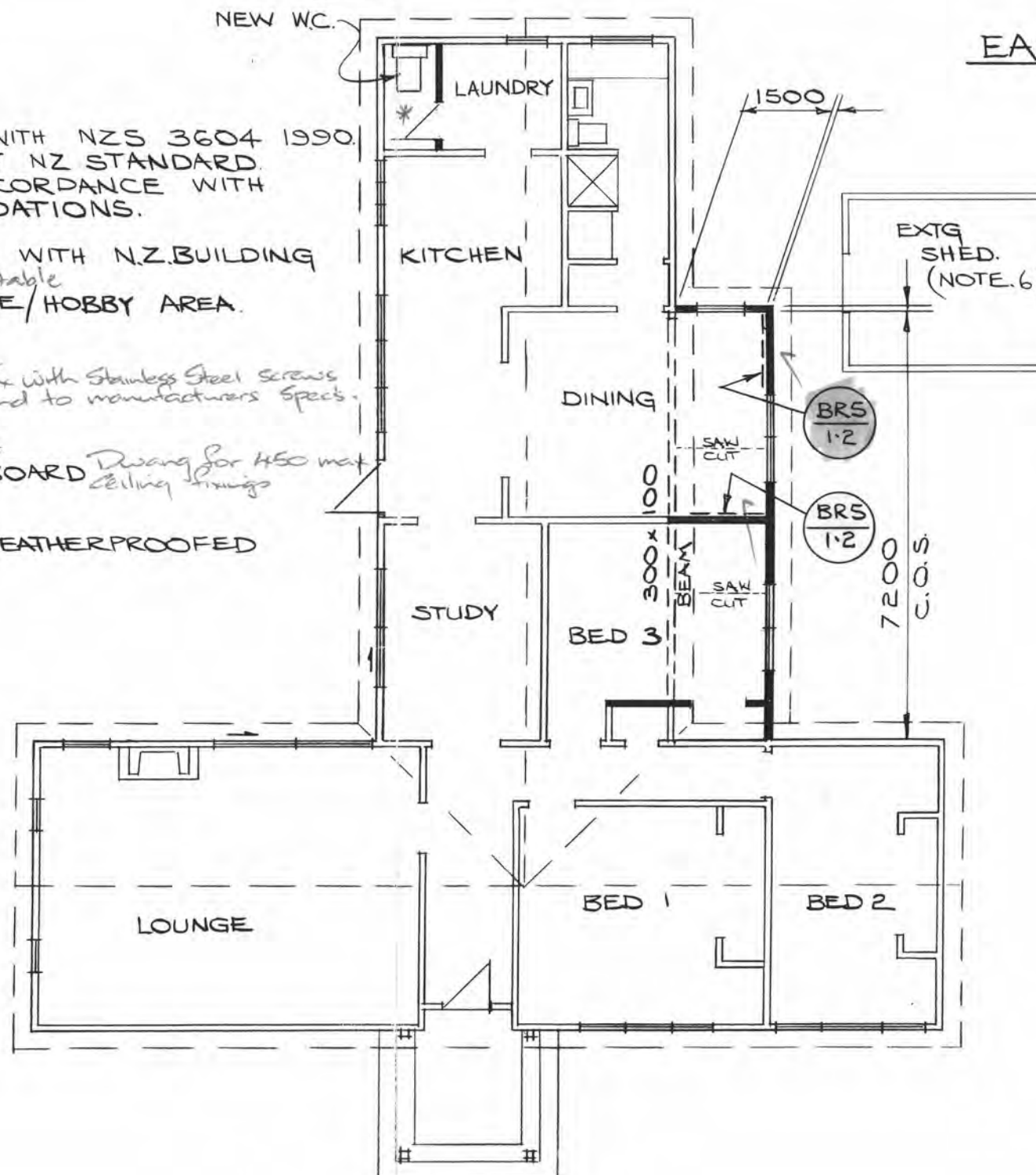
EXTG ROOF CUT BACK & WEATHERPROOFED



drill & grout R10
Starters @ 600 CRS
max.

Dr continuous

SECTION.



24/3/95

Elizabeth St

ELIZABETH ST

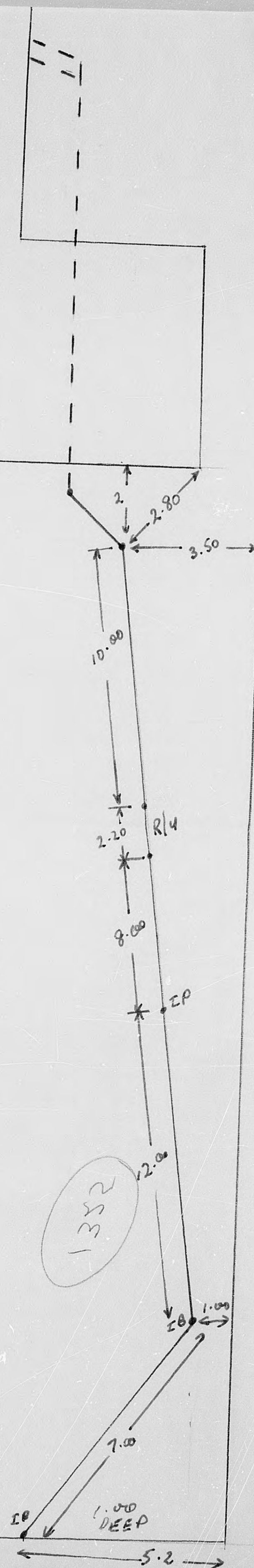


EXTENSION FOR MR & MRS R. HALLIDAY
51 ELIZABETH ST.
WAIKANAЕ.

PLAN & ELEVATIONS.

SCALE 1:100, 1:50, 1:500
DATE 20 3 95
DRAWN *[Signature]*
DWG No 9412 D-1

ROAD - 51 ELIZABETH
 LOT - 30
 D.P. - 17939
 DRAIN LAYER - N LEAK
 DATE - 4-3-82
 PIPE - P.V.C



17-51

3 INCHES

MICROBOX

3

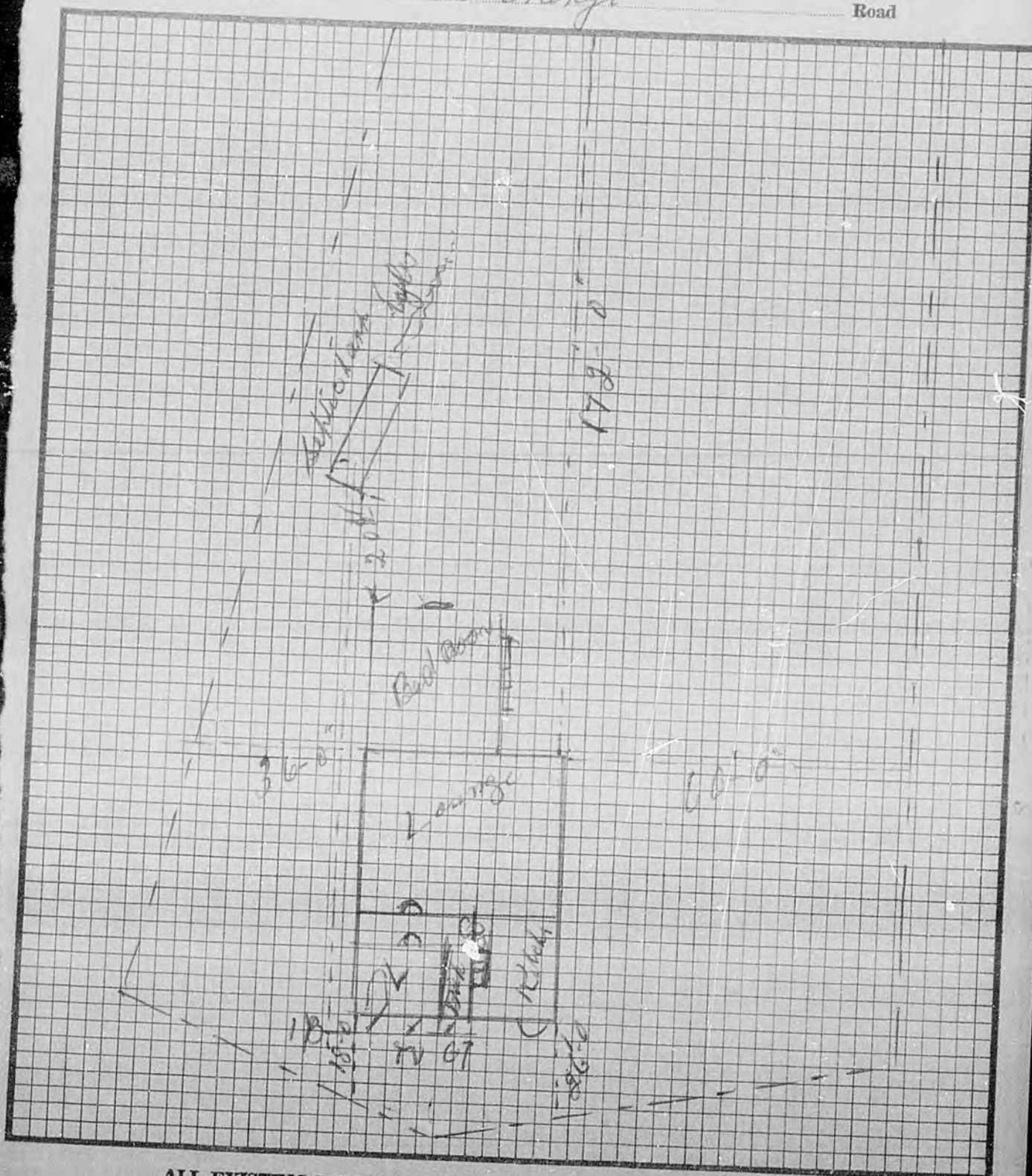
2

PLAN OF ALLOTMENT

Showing position of proposed buildings on such allotment.
 NOTE—Distances of each building from boundary lines must be clearly indicated.
 (Scale: Two feet to a square.)

Boundary Lines to be shown thus: ————
 BUILDINGS must NOT be ERECTED within FIVE FEET of ADJOINING properties.

Frontage to Railorangi Road



ALL EXISTING BUILDINGS TO BE SHOWN IN RED ON THIS PLAN

17-51

W 41

Waikanae County Water Supply

PLAN OF ALLOTMENT

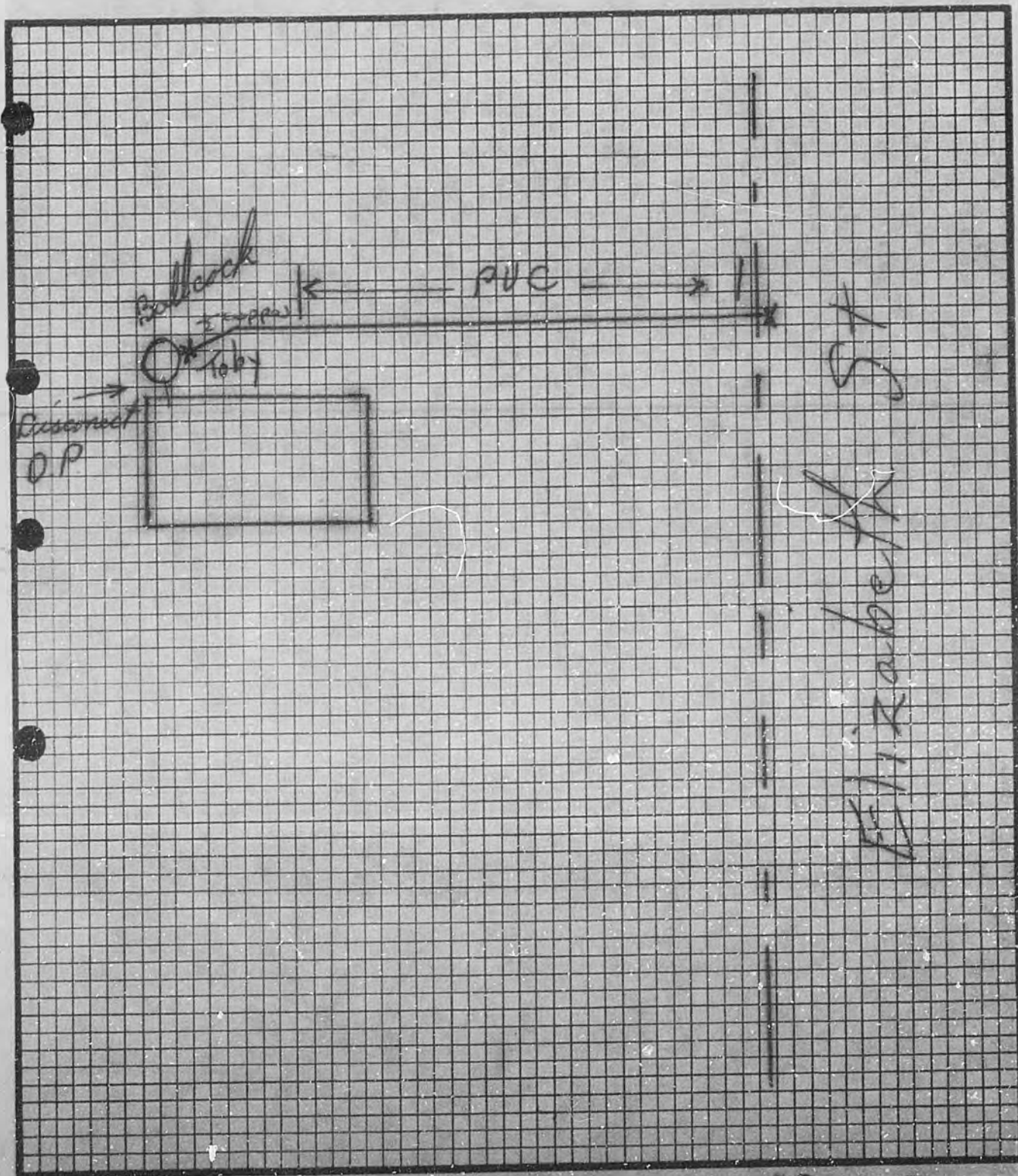
Mr Cowl

Showing position of buildings and existing water supply and pipes
(Particular care to be taken to show location and distribution pipes from bores)

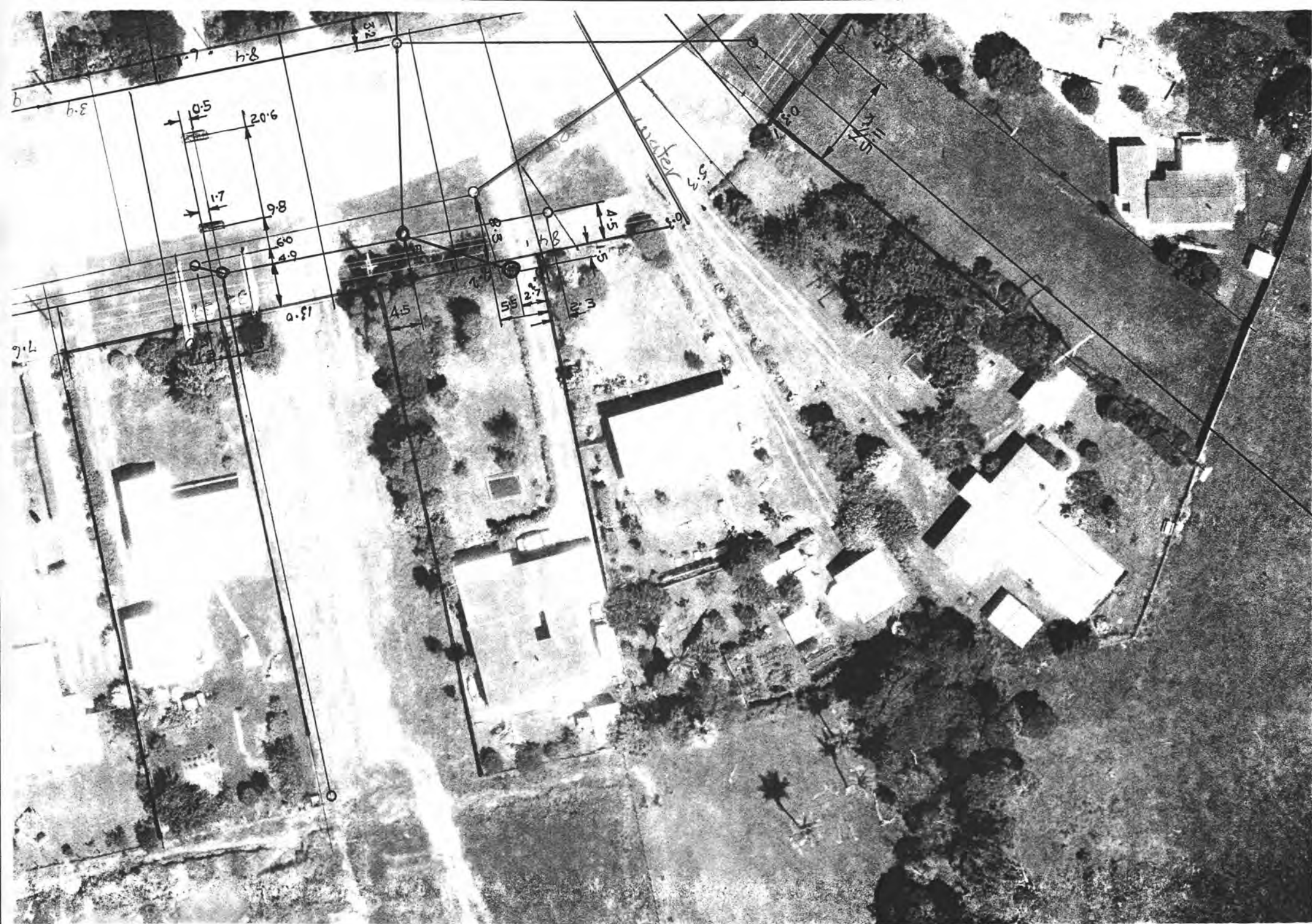
Boundary Lines to be shown thus: ————

Frontage to

Elizabeth St. Lot 30 DP 17939 Road



17-51



Council owns most of the manholes, pipes, connections etc shown on this plan including where they cross private property. It is illegal to interfere with any of Council services.

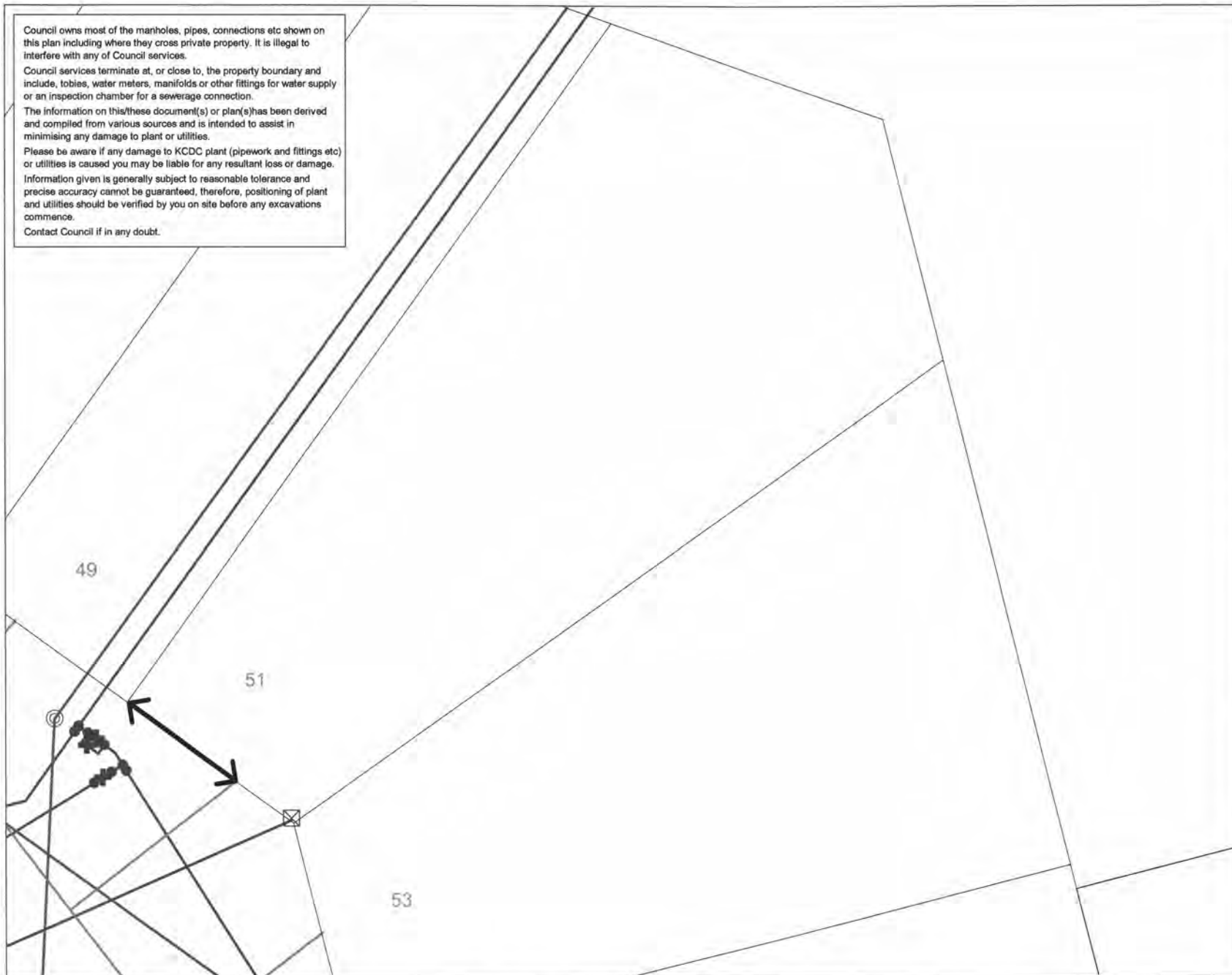
Council services terminate at, or close to, the property boundary and include, tobies, water meters, manifolds or other fittings for water supply or an inspection chamber for a sewerage connection.

The information on this/these document(s) or plan(s) has been derived and compiled from various sources and is intended to assist in minimising any damage to plant or utilities.

Please be aware if any damage to KCDC plant (pipework and fittings etc) or utilities is caused you may be liable for any resultant loss or damage.

Information given is generally subject to reasonable tolerance and precise accuracy cannot be guaranteed, therefore, positioning of plant and utilities should be verified by you on site before any excavations commence.

Contact Council if in any doubt.



LEGEND



- Sewer Pump
- Sewer Manhole
- ★ Stormwater Soak Hole
- Stormwater Pump
- ◎ Stormwater Manhole
- Stormwater Sump
- ◆ Stormwater Outlet
- ▲ Stormwater Inlet
- Water Hydrant
- ✚ Water Valve
- ⊠ Water Toby
- Sewer Rising Main
- Sewer Pipe
- Stormwater Pipe
- Stormwater Rising Main
- Water Pipe

Map Drawn Date: 13/01/2004 By PC96

Scale: A4 1:410

Date of Aerial Photography:

Cadastral information derived from Land Information New Zealand. Crown Copyright reserved. Approved for internal reproduction by Kapiti Coast District Council. Boundary accuracy is variable.



SERVICE NETWORK

APPENDIX TWO: CGW Consulting Engineers Soil Investigation Report





Geotechnical Site Suitability Report

51 Elizabeth Street, Waikanae

Mr. Richard & Mr. Steve Halliday c/- Leith
Consulting Ltd

Document Number: 20538-RPTGEO-001-A

Date: 14 September 2020

Prepared by

Emma Cody

Engineering Geologist

Reviewed / Approved by

Martin Williams

Principal Geotechnical Engineer

Consulting Civil, Structural, Environmental & Geotechnical Engineers

Directors: V.J. Anderson BE C&M • R.A. Puklowski NZCE (Civil) REA MEngNZ • C.F. Short BBS PG Dip Man • A.R. Wilton BE CMEngNZ CPEng IntPE DipMS

Cameron Gibson & Wells Limited
Nelson Office Level 4, 241 Hardy Street, PO Box 711, Nelson • Tel: +64 3 548 8259
Christchurch Office Level 2, 124 Peterborough Street, PO Box 21441, Edgware, Christchurch • Tel: +64 3 348 1000
Wanaka Office 4 Helwick St, PO Box 169, Wanaka • Tel: +64 3 548 8259
office@cgwl.co.nz • www.cgwl.co.nz



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Executive Summary

Table 1: Report Summary			
Project	Site Address		51 Elizabeth Street, Waikanae
	Consent Application		Resource Consent
	Consent Authority		Kapiti Coast District Council
Site Assessment	Geotechnical Hazard Assessment	Liquefaction Risk	Low (TC2)
		Slope Stability Risk	N/A
		Groundwater Level	2.0 m bgl
		Site Subsoil Classification	Class C – Shallow Soils Site
		AS2870:2011 Expansive Soils Classification	Class S – Slightly Expansive
		Inundations	Low Risk
		Fault Rupture	Low to Moderate Risk
	HAIL Assessment		Not part of CGW scope
	If fill present, is the fill engineered and to what depth		Fill not encountered
	Foundation Recommendations		Shallow Foundations

1. Introduction

CGW Consulting Engineers (CGW) have been engaged by Mr Richard Halliday (client) c/ Leith Consulting, to undertake a site suitability investigation and assessment for a proposed residential subdivision at 51 Elizabeth Street, Waikanae (site).

The purpose of the investigation and reporting is to assess the site in accordance with Section 106 of the Resource Management Act, identify any geotechnical hazards and assess the site's suitability for subdivision.

The report summarises our findings and recommendations and may be used to support a resource consent to Kapiti Coast District Council (KCDC). Our geotechnical limitations are presented within Appendix A of this report.

2. Proposed Development

It is understood the client is proposing to subdivide their property at 51 Elizabeth Street, Waikanae as per Figure 1 below. The figure below was supplied by Leith Consulting and shows the property will be subdivided into two lots. A new residential Lot 2 will be formed adjacent the road (Elizabeth Street) and the existing house, which will remain, will become Lot 1. Access is to be formed along the south eastern boundary.

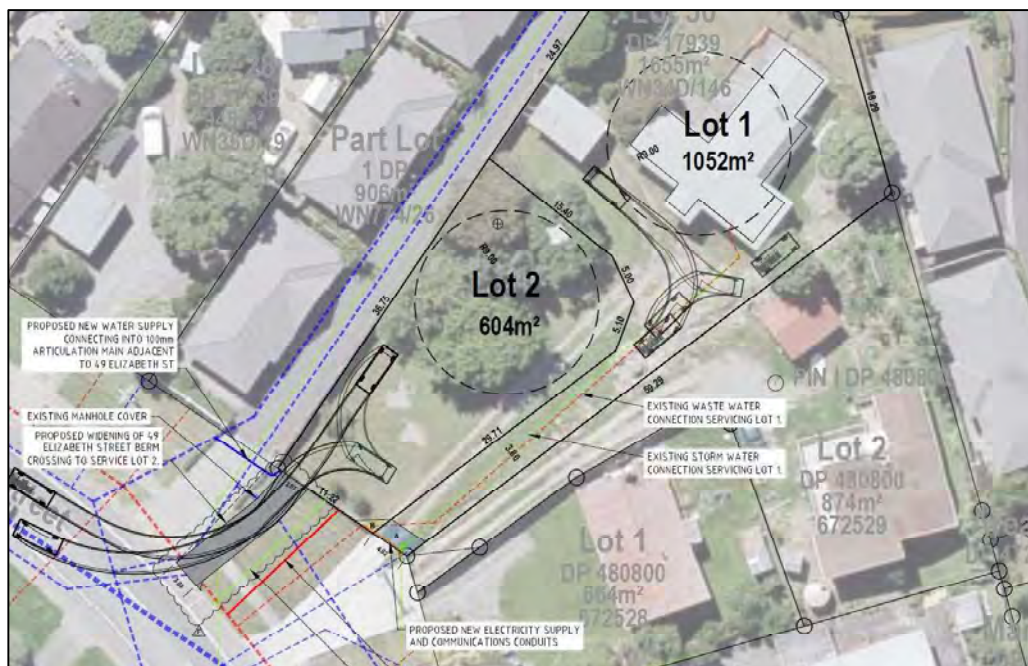


Figure 1: Proposed Development as per Leith Consulting Drawing

3. Scope of Works

Our scope of works, as per the signed short form agreement dated 24 August 2020, is as follows:

- BeforeUdig Services check and locate, if required;
- 1 X CPT and 1 x Window Sampler hole, to 6m or prior refusal
- Report indicating whether NZ3604 or Specific Engineering Design (SED) required, either raft or piled foundations is required for Lot 2.

4. Site Information

4.1 Site Description

The site, 51 Elizabeth Street, Waikanae is located approximately 1 km east of Waikanae town and is legally described as Lot 30 DP 17939.

Topographically the site is relatively flat, with a slight slope down to Elizabeth Street. The proposed Lot 2 is currently grassed garden. The existing house is located to the north of the proposed new lot and the ground rises slightly to the back of the site.

4.2 Published Geology

According to GNS mapping of the Wellington region (2000), the site is underlain by Alluvial deposits (Q2a), described as gravels.

Mapping indicates the closest major active fault is the Ohariu Fault. It is mapped approximately 200 m east of the site and trends north east, with a recurrence interval of 2000<3500 years.

Hazard mapping of the Kapiti Coast region shows the site to have no liquefaction or slope stability risk.

4.3 NZGD Review

A review of the New Zealand Geotechnical Database (NZGD) identified the following ground investigations within 200m of the site:

Table 2: Nearby Ground Investigation Data – Sourced from NZGD			
Hole ID	Distance from Site (m)	Depth of Hole (m bgl)	Comments
BH112061 36 Elizabeth St	160m North West	9.5m	Stiff Clay to 3.5m overlying Dense Gravels. No groundwater encountered

4.4 Property Review

A review of the KCDC hazard mapping and GIS database indicate the following:

- The site is zone as residential.
- The eastern edge of the site is mapped within a KCDC flood extent.

5. CGW Investigation

A CGW engineering geologist attended the site on 4 September 2020 and undertook investigations on the new proposed Lot 2.

The following investigations were undertaken using a Pagani CPT rig from Piling and Drilling Ltd:

- 1 cone penetrometer test (CPT) to final depth of 4.0 m bgl, where refusal was met by tip refusal/anchor failure.
- 1 tube sample borehole to depth of 4.0 m bgl, where refusal was reached.

The site investigations were undertaken by a CGW engineering geologist who set out the investigation locations, supervised the sub-contractor and carried out in-situ testing.

A visual tactile classification of the soils encountered during the investigation was carried out in accordance with the NZGS guidelines (2005).

Investigation details are provided in Table 3 below, with testing locations indicated on the site investigation plan, Figure 2 below. Test locations are approximate only. Investigation logs and photographs are presented within Appendix B of this report.

Table 3: Site Specific Investigation Details			
Test ID	Location	Termination Depth (m bgl)	Elevation RL (m)
CPT01	Proposed Lot 2	4.0	43
TS01	Proposed Lot 2	4.0	42

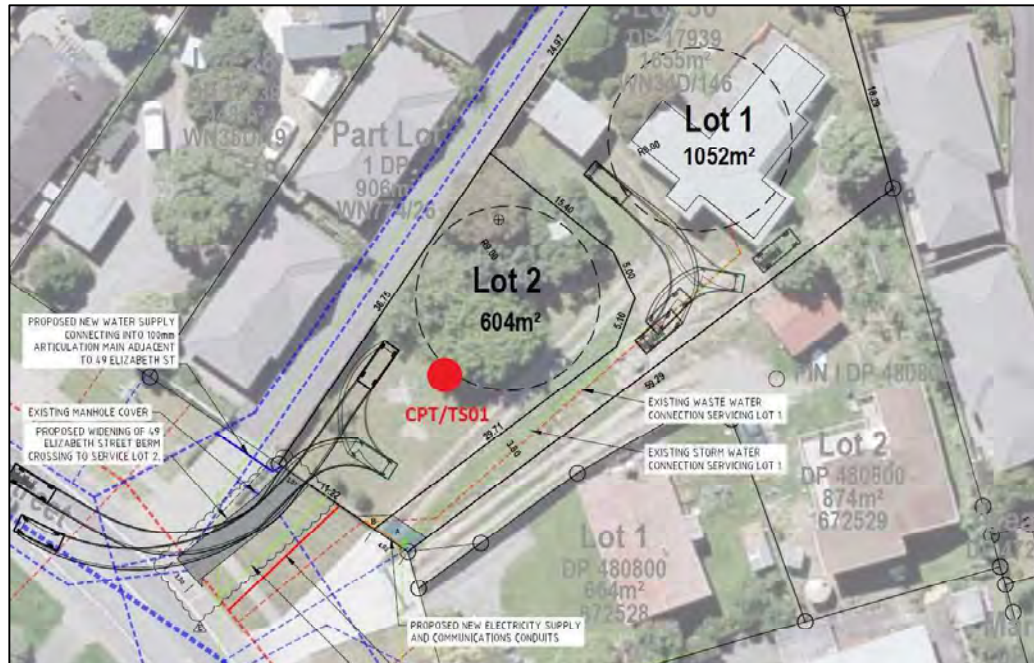


Figure 2: Investigation location plan.

6. Ground Model

Ground conditions are summarised from the CGW investigations at the site, as follows.

6.1 Subsurface Conditions

Table 4 below present the soils conditions encountered at the site.

Table 4: Site Ground Model			
Soil Type	Depth to base of layer (m bgl)	Thickness (m)	Relative Density / Consistency
Topsoil – Sandy SILT and coarse gravel	0.1	0.1	-
Grey Silty CLAY, some gravel	0.8	0.7	Soft becoming firm
Brown Silty CLAY with gravel	4.0	3.2	Stiff
Sand & Gravel (Inferred)	>4.0		Dense

6.2 Groundwater

Groundwater was encountered in TS01 at approximately 2 m bgl. Groundwater conditions and levels may vary in response to environmental factors including seasonal variations or weather events.

6.3 Site Subsoil Classification

We consider that the site subsoil category in terms of NZS1170.5 Clause 3.1.3 is Class C (Shallow soils) based on the following:

- Shallow site specific investigations indicate Alluvial deposits
- Geology mapping of the Wellington region (2000)
- NZGD: 83317 which encounters greywacke rock at 86.5 m
- Clause 3.1.3 and Table 3.2 of NZS1170.5:2004

7. Liquefaction

Liquefaction analyses of CPT data was undertaken using CLiq (v.2.2.0.28) software. Boulanger & Idriss (2014) was used for liquefaction triggering and fines correction, and Zhang et al (2002) for post liquefaction induced ground subsidence. Liquefaction analyses have considered the serviceability limit state (SLS) 1:25 year return period and ultimate limit state (ULS) 1:500 year return period with design levels based on a design magnitude 7.5 earthquake.

Peak ground acceleration (PGA) values were calculated for the site following the guidelines in the Earthquake Geotechnical Practice Module 1, which is different than previous calculations for the neighbouring site. A residential structure with an importance level (IL) of IL2 provides the following PGA values for a Class D subsoil classification in the Kapiti Coast area:

$$A_{max} = 0.43 \times (0.25/1.3) \times 1.0 = 0.09 \text{ g (SLS)}$$

$$A_{max} = 0.43 \times (1.0/1.3) \times 1.0 = 0.33 \text{ g (ULS)}$$

In-situ groundwater levels were based on the push tube sampling at around 2 m bgl.

7.1 Liquefaction Induced Settlement

Table 5 - CPT Based Liquefaction Analysis Results for Design Events

Test No (Termination Depth)	Predicted Liquefaction Induced Settlement (mm) (Index of 10.0m)	
	SLS	ULS
CPT01 (7.6 m)	<15	28

The settlements presented in Table 5 above are to the nearest 5 mm. Due to the inherent uncertainty in calculating liquefaction induced settlement, the calculated free field settlements are indicative only.

Our CPT based liquefaction analysis indicates that liquefaction is minimal at SLS levels of shaking.

Liquefaction analysis for ULS levels of shaking indicate that potentially liquefiable soils are present between 2m depth to 4m depth.

From the calculated settlements we consider potential differential settlements in the order of less than 15 mm following an SLS earthquake event and possibly up to 25 mm following a ULS earthquake event.

7.2 Lateral Displacement Assessment

7.2.1 Global Lateral Movement

The site is not located within an area of identified major global lateral ground movement (within 100m of a major waterway free face) and no visual evidence of major global lateral movement was noted at the site or in the surrounding area. Therefore, we consider the site should be designated as minor to moderate for global lateral movement (i.e. < 300 mm at ULS levels of shaking) in accordance with the MBIE Guidelines.

7.2.2 Lateral Stretch

Based on the site location, we consider the site should be designated as minor for lateral stretch (i.e. < 50 mm at ULS levels of shaking) in accordance with the MBIE Guidelines.

7.3 Expected Future Land Performance

Although not developed for non-residential building or construction outside of Canterbury, the MBIE Canterbury earthquake guidance provides a useful benchmark in classifying the liquefaction risk to a property and is now being used more widely across New Zealand.

The MBIE Guidelines provide broad classifications of land for future land performance based on index values of expected settlements. Given in Table 6 below is a summary of expected future land performance criteria for the site based on MBIE Technical Category and our analysis of the deep geotechnical data collected from the site.

Table 6 - Expected Future Land Performance Categories								
Technical Category	Expected SLS Land Settlement (mm)		Expected ULS Land Settlement (mm)		Expected Global Lateral Movement (mm)		Expected ULS Lateral Stretch (mm)	
TC1	0 - 15	✓	0 - 25		Nil		Nil	
TC2	0 - 50		0 - 100	✓	<300 (Minor to moderate)	✓	<50 (Minor)	✓

Table 6 - Expected Future Land Performance Categories							
TC3	>50		>100		300 – 500 (Major)		0 – 200 (Minor to Moderate)

Our liquefaction analysis indicates that liquefaction-induced ground subsidence is generally consistent with an MBIE Technical Category TC2 land performance designation based on ULS levels of shaking.

8. RMA Section 106 Suitability Assessment

8.1 Criteria

In accordance with the Resource Management Act 1991 (RMA), the site has been assessed in accordance with Section 106 for natural hazards. Section 106 states:

- *There is significant risk from natural hazards; or*
- *Sufficient provision has not been made for legal and physical access to each allotment to be created by the subdivision.*

For the purpose of subsections 1a, an assessment of the risk from natural hazards requires a combined assessment of:

- *The likelihood of natural hazards occurring;*
- *The material damage to land in respect of which consent is sought, other land or structures that would results from natural hazards;*
- *Any likely subsequent use of land in respect of which the consent is sought that would accelerate, worsen or result in material damage of the kind referred to in paragraph b.*

8.2 Assessment

The site is considered based on site mapping, site investigations and local knowledge, to not be at major risk from the following natural hazards:

- **Fault Rupture** – the site is not situated within an identified fault hazard area by KCDC, however the site does sit within 300 m of an identified fault hazard area.
- **Global Slope Stability** – The site and surrounding areas show no signs of global or major instability.
- **Inundations (water, soil, rock debris)** – the site is not considered to be at significant risk from inundation, although the eastern edge of the site is within a KCDC flood extent. Debris inundation from higher ground is not considered to be a risk.

- **Liquefaction and Settlement** – The site is classified as TC2 which is a low liquefaction risk.

9. Geotechnical Engineering Recommendations

The following geotechnical recommendations are for the proposed new residential development on the proposed new Lot 2 only. If alternative development is proposed for the site, then further site investigations may be required to be undertaken.

9.1 Suitability of Development

Based on our brief desktop study, site specific site investigations and RMA assessment we consider the site is generally suitable for subdivision and residential development.

9.2 Earthworks and Site Preparation

We understand minor earthworks may be required at the site. However, at this stage CGW have not been provided with proposed earthworks plans.

All earthworks across the site should be undertaken in accordance with NZS4431:1989.

Site preparation should include the following procedures:

- Remove vegetation, topsoil and soil containing significant amounts of organic material from beneath building footprints, foundations and proposed fill areas;
- Remove any existing 'uncontrolled' fill materials, if encountered, from beneath building footprints and fill areas;
- Excavate where required to the design foundation and roading levels;
- Proof roll and compact the exposed subgrade materials using a heavy roller to reveal soft or loose areas and to densify the subgrade soils. Soft or loose areas which do not improve with compaction should be over excavated and replaced with compacted engineered fill; and
- Backfill where required to the design foundation and roading levels with compacted engineered fill.

Fill should be placed in layers not exceeding 200 mm loose thickness and compacted to the recommended level prior to placing the next layer.

The recommended compaction level is a density ratio of at least 95% Standard Compaction MDD (Maximum Dry Density). If required, additional imported fill materials will need to be tested for geotechnical suitability/compaction criteria and

be approved by CGW prior to use. Earthworks should be supervised by a suitably qualified person and compaction levels checked and certified by field density (Nuclear Density – ND) testing, at appropriate spacings and lift intervals.

9.3 Foundations and Building Areas

Lot 2, in our opinion, generally meets the definitions of NZS3604 'good ground' and Specific Engineering Design (SED) is not considered mandatory.

It is considered that a stiffened slab on ground footing system (raft) or shallow/pad foundations would be suitable for the proposed building.

An ultimate bearing capacity (UBC) of 300kPa is available from around 0.8m depth. NZS3604 allows for the over excavation of shallow foundations to reach shallow competent strata. Refer to bearing assessment from CPT data in Appendix B.

Soil beneath the topsoil cover to a depth of around 0.8m is considered to provide an UBC of 200kPa, which would be suitable for a concrete raft foundation (eg. Ribraft) requiring a lower bearing capacity.

TC2 liquefaction classification allows for the use of either NZS3604 or concrete raft foundations (options 1 to 4 of the MBIE guidance).

It is recommended that foundation excavations are inspected by a geotechnical engineer to confirm that founding conditions are consistent with those on which the design recommendations are based.

10. References

- Begg, J.G. & Johnston, M.R. (compilers) (2000) - *Geology of the Wellington Area, Scale 1:250,000, Geological Map 10*.
- Boulanger, R.W., and Idriss, I.M., (2014) - *CPT and SPT based liquefaction triggering procedures, CGM Report 14-01, University of California, Davis, California*.
- Idriss, I.M., and Boulanger, R.W., (2008) - *Soil liquefaction during earthquakes, Earthquake Engineering Research Institute Monograph, MN012*.
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- Ministry of Business, Innovation & Employment. (2016) - *Earthquake Geotechnical Engineering Practice Module 3: Identification, Assessment and Mitigation of Liquefaction Hazards*.
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- New Zealand Geotechnical Society (2005) – *Field Description of Soil and Rock. Guideline for the Field Classification and Description of Soil and Rock for Engineering Purposes.*
- Robertson, P.K., Cabal K.L., (2012) - *Guide to Cone Penetration Testing for Geotechnical Engineering, 5th ed. Gregg Drilling & Testing, Inc.*
- Standards New Zealand. (1988) - *NZS4402.6.5.2:1988 Methods of testing soils for civil engineering purposes - Soil strength tests - Determination of the penetration resistance of a soil - Test 6.5.2 Hand method using a dynamic cone penetrometer.*
- Standards New Zealand. (1989) - *NZS4431:1989 Code of Practice for Earth Fill for Residential Development.*
- Standards New Zealand (2011) – *NZS3604:2011 Timber Framed Buildings*
- Zhang, G, Robertson, PK & Brachman, RW (2002) - *Estimating Liquefaction-Induced Ground Settlements from CPT for Level Ground, Canadian Geotechnical Journal, vol. 39, pp. 1168 – 1180.*
- Van Dissen, R. & Heron, D. (2003) - *Earthquake Fault Trace Survey, Kapiti Coast District.*

Appendix A: Limitations

CGW REPORT LIMITATIONS

- a. This report has been prepared solely for the benefit of the named client, as per our brief and an agreed consultancy agreement. The reliance by any other parties on the information or opinions contained in this report shall, without our prior agreement in writing, be at such parties' sole risk.
- b. Any assessments made in this document are based on the conditions indicated from published sources and the investigations described.
- c. The conclusions and recommendations contained within this report are based on the investigations as described in detail above.
- d. These Limitations should be read in conjunction with the IPENZ/ACENZ Standard Terms of Engagement as per our proposal and agreed consultancy agreement.
- e. The nature and continuity of subsoil conditions, including groundwater, are inferred and it must be appreciated that actual conditions could vary. Defects and unforeseen ground conditions may remain undetected which might adversely affect the stability of the site and the recommendation made herein.
- f. The conclusions and recommendations contained within this document are based on industry accepted methods for site investigation for ground conditions – these include published sources, site inspections and subsurface investigations as described in this document. As this is finite amount of information the conclusions and recommendations do not purport to completely describe all the site characteristics and properties for the whole of work site.
- g. In addition, it is recognised that the passage of time affects the information and assessment provided in this document. CGW's opinions are based upon information that existed at the time of the production of the document. It is understood that the services provided allowed CGW to form no more than an opinion of the actual conditions of the site at the time the site was visited and cannot be used to assess the effect of any subsequent changes in the quality or features of the site, or its surroundings, or any laws or guidance or regulations.
- h. Subsurface conditions relevant to construction works should be assessed by contractors who can make their own interpretation of the factual data provided. Contractors should perform any additional tests as necessary for their own purposes.

Appendix B: CGW Site Investigation Logs & Liquefaction Analysis Results

LIQUEFACTION ANALYSIS REPORT

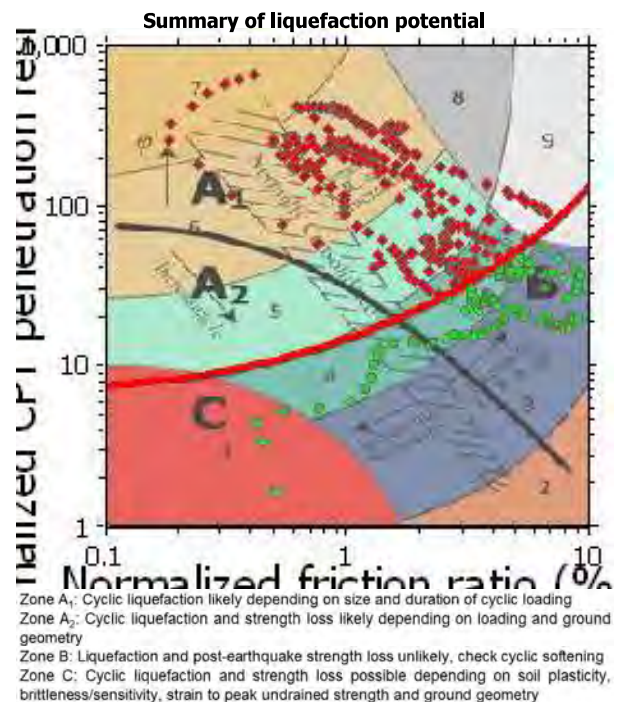
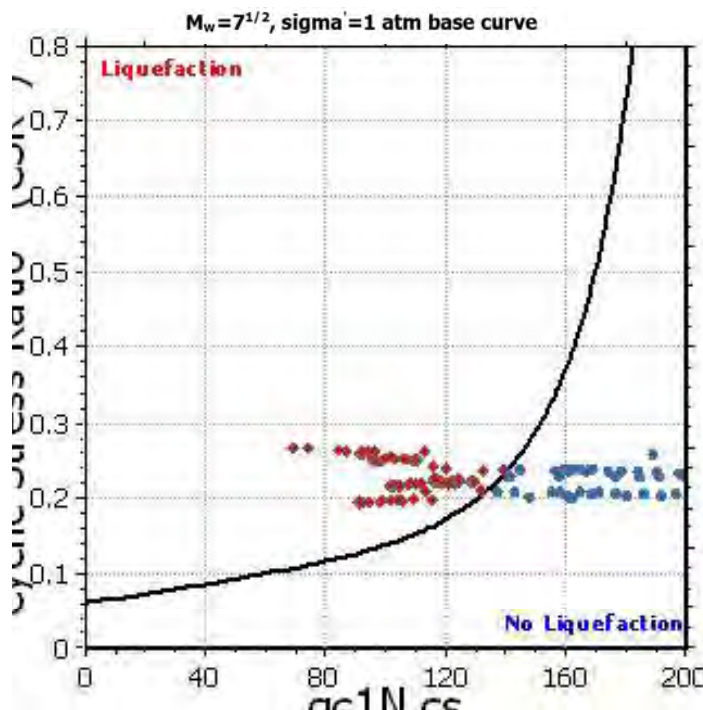
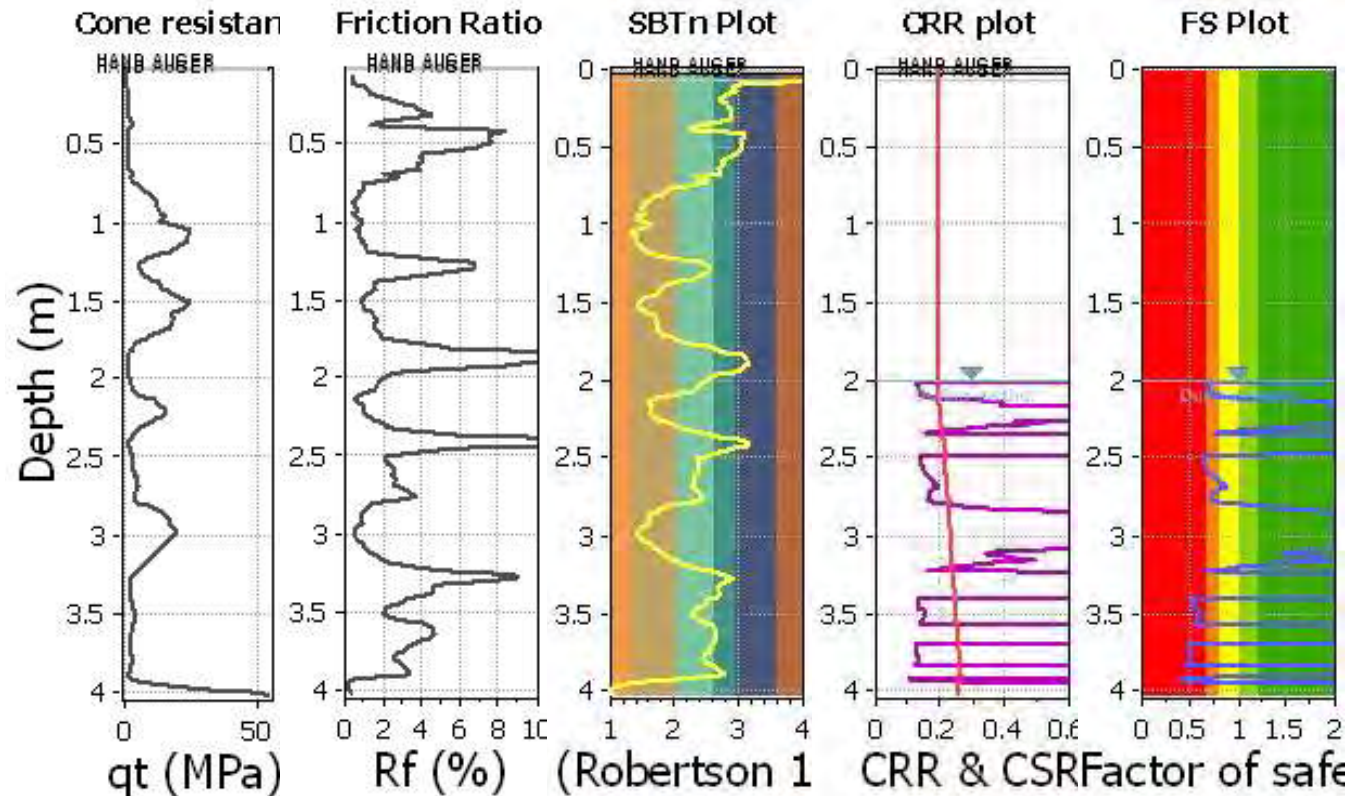
Project title : 51 Elizabeth Street

Location : Waikanae

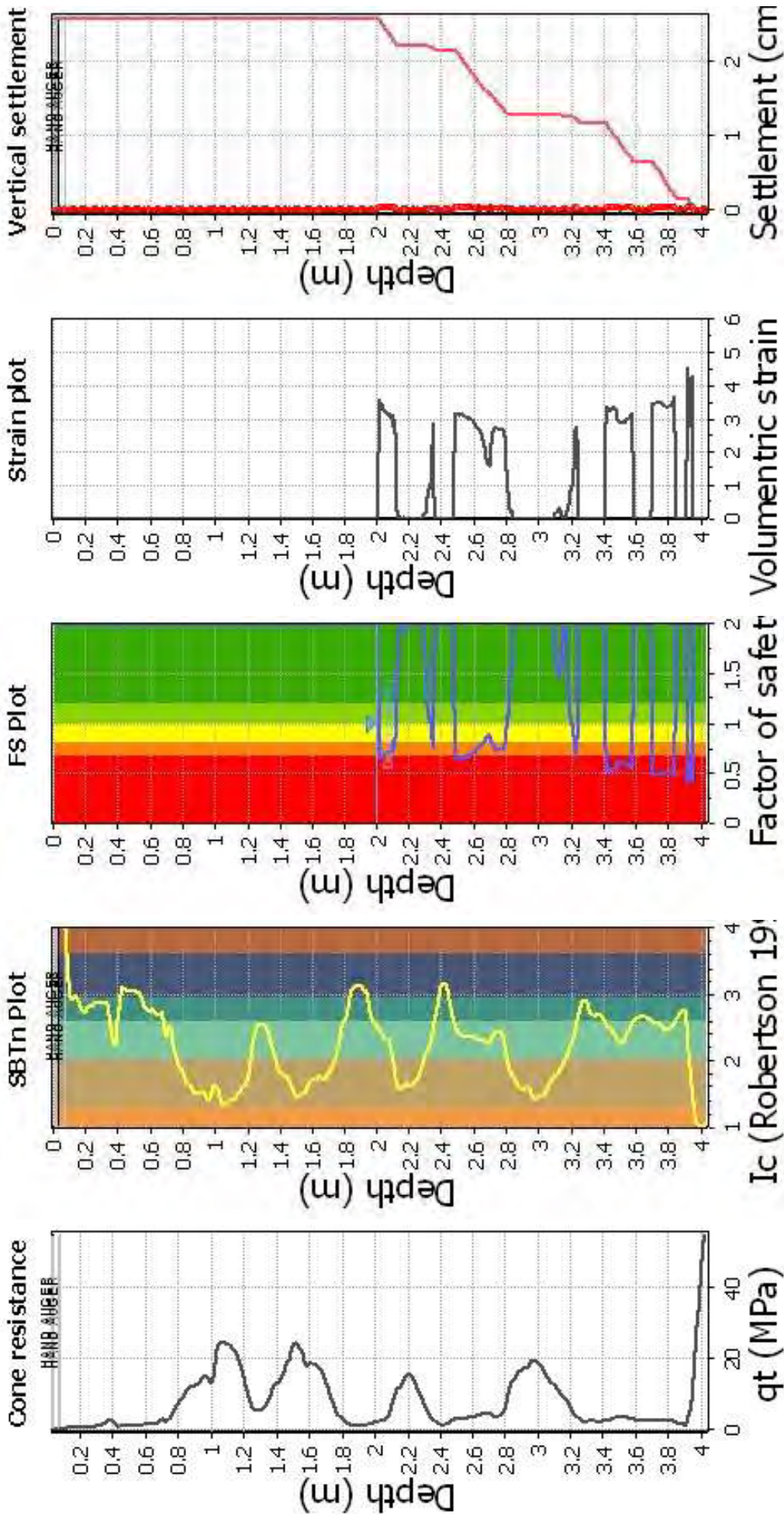
CPT file : CPT-1-ULS

Input parameters and analysis data

Analysis method:	B&I (2014)	G.W.T. (in-situ):	2.00 m	Use fill:	No	Clay like behavior	
Fines correction method:	B&I (2014)	G.W.T. (earthq.):	2.00 m	Fill height:	N/A	applied:	Sands only
Points to test:	Based on Ic value	Average results interval:	3	Fill weight:	N/A	Limit depth applied:	No
Earthquake magnitude M_w :	7.50	Ic cut-off value:	2.60	Trans. detect. applied:	No	Limit depth:	N/A
Peak ground acceleration:	0.33	Unit weight calculation:	Based on SBT	K_0 applied:	Yes	MSF method:	Method



Estimation of post-earthquake settlements



Abbreviations

- q_t: Total cone resistance (cone resistance q_c corrected for pore water effects)
- I_c: Soil Behaviour Type Index
- FS: Calculated Factor of Safety against liquefaction
- Volumetric strain: Post-liquefaction volumetric strain

LIQUEFACTION ANALYSIS REPORT

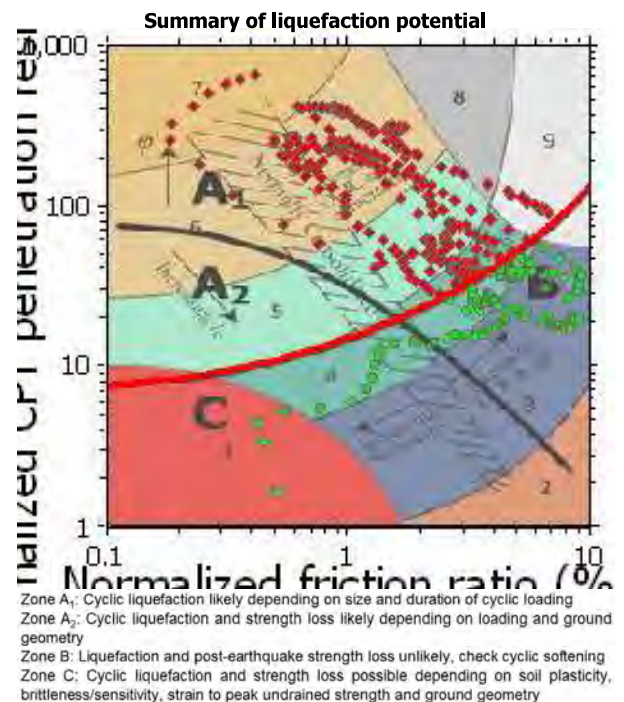
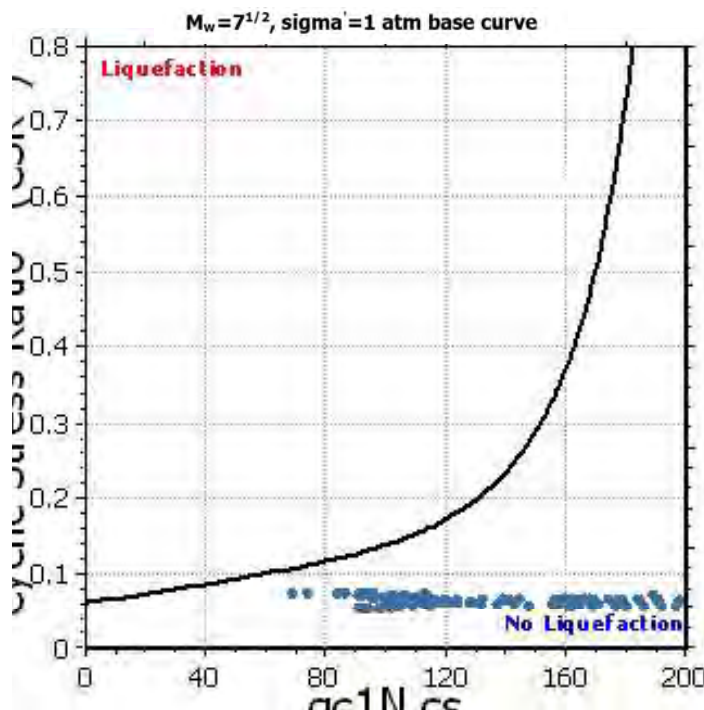
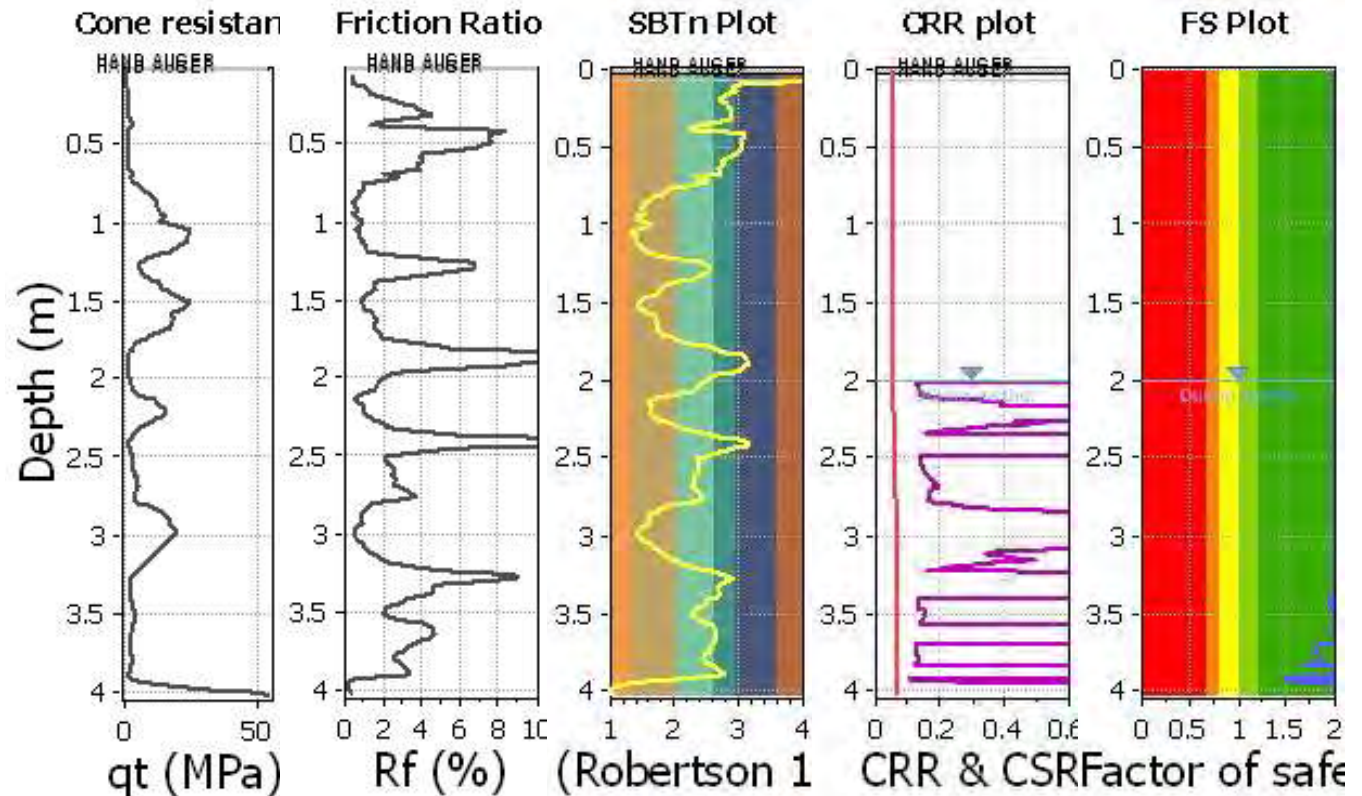
Project title : 51 Elizabeth Street

Location : Waikanae

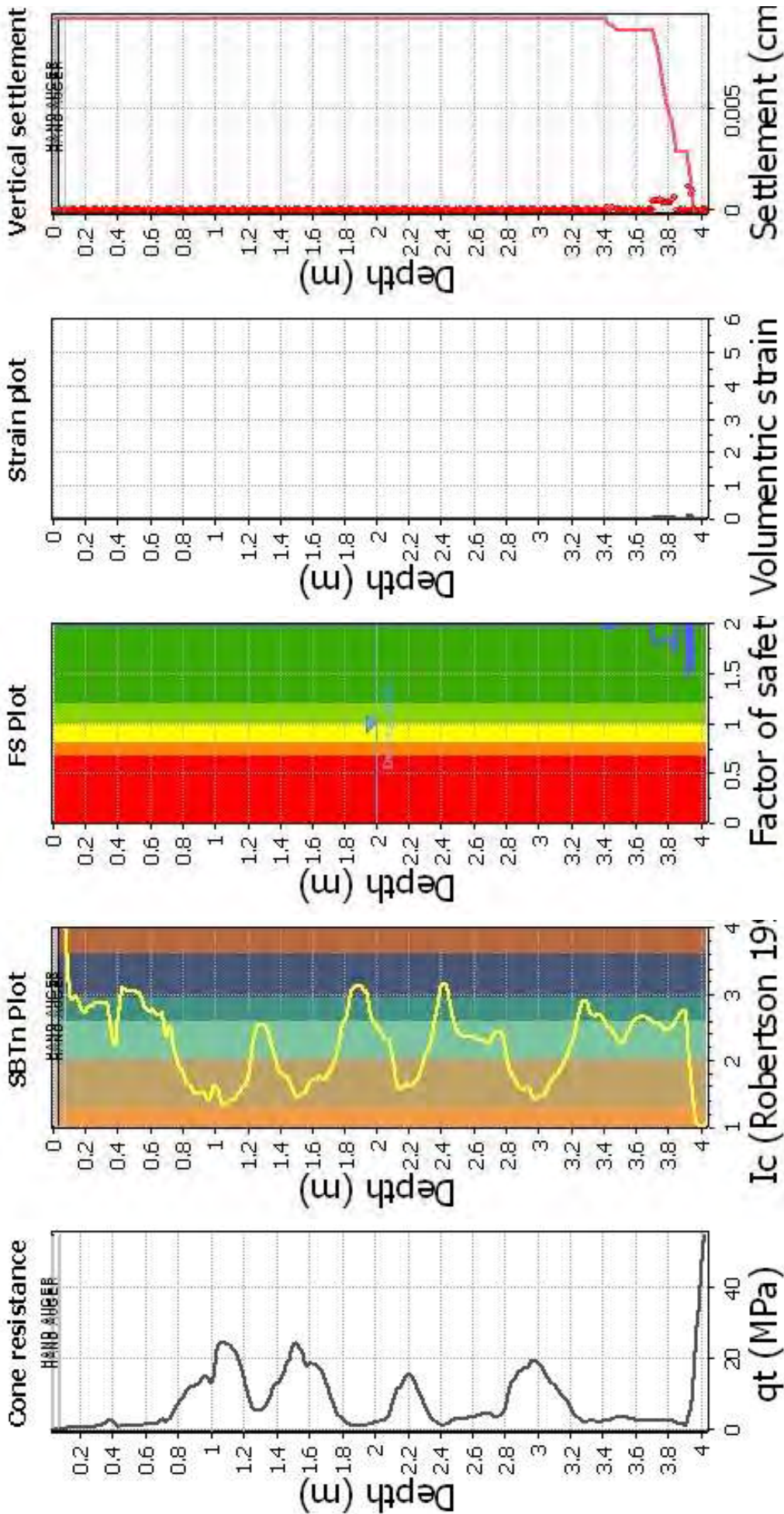
CPT file : CPT-1-SLS

Input parameters and analysis data

Analysis method:	B&I (2014)	G.W.T. (in-situ):	2.00 m	Use fill:	No	Clay like behavior	
Fines correction method:	B&I (2014)	G.W.T. (earthq.):	2.00 m	Fill height:	N/A	applied:	Sands only
Points to test:	Based on Ic value	Average results interval:	3	Fill weight:	N/A	Limit depth applied:	No
Earthquake magnitude M_w :	7.50	Ic cut-off value:	2.60	Trans. detect. applied:	No	Limit depth:	N/A
Peak ground acceleration:	0.09	Unit weight calculation:	Based on SBT	K_0 applied:	Yes	MSF method:	Method



Estimation of post-earthquake settlements

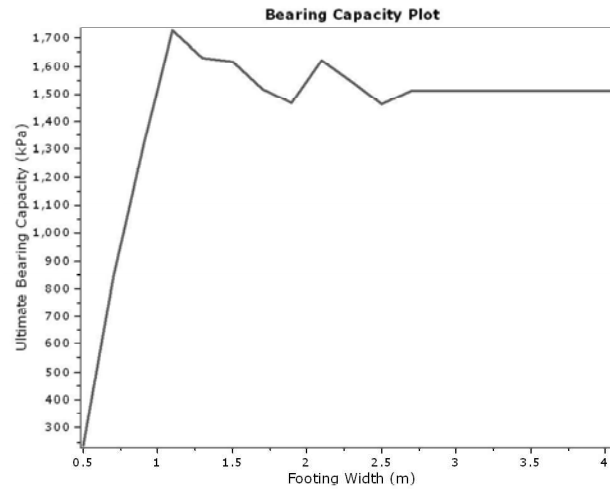
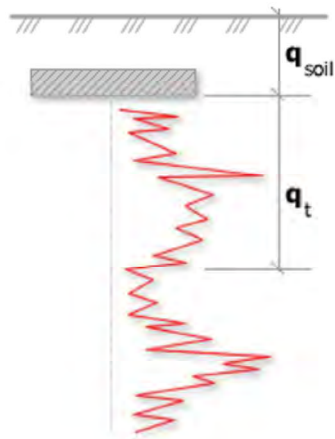


Abbreviations

- qt: Total cone resistance (cone resistance q_c corrected for pore water effects)
- Ic: Soil Behaviour Type Index
- FS: Calculated Factor of Safety against liquefaction
- Volumetric strain: Post-liquefaction volumetric strain

				Project Title: 51 Elizabeth Street, Waikanae				TS1				
				Project Number: 20538		Client: Leith Consulting						
				GL (mAOD):		N Coord: 0		E Coord: 0				
Date: 04/09/2020				Method: Tube Sampling		Logged By: EC		Scale: 1:100 Sheet 1 Of 1				
Blows (per 100mm) 3 6 9		UBC (kPa) (Stockwell) 100 200 300		Samples / Testing		Level mAHD	Legend	Depth (m)	Description			Water
								0.20	Dark brown Silty Clay with roots, soft Grey Silty CLAY with some gravel, soft becoming firm Light brown Silty CLAY with some gravel, stiff			
								0.80				
								1.00				
								2.00				
								3.00	End Of Hole At 4.00 m			
								4.00				
								5.00				
								6.00				
								7.00				
								8.00				
								9.00				
								10.00				
								11.00				
								12.00				
								13.00				
								14.00				
								15.00				
KEY									REMARKS			
D - Disturbed Sample												
B - Bulk Sample												
W - Water Sample												
V - Hand Shear Vane kPa												
- Groundwater Strike - Groundwater Level												

Project: 51 Elizabeth Street
Location: Waikanae



Bearing Capacity calculation is performed based on the formula:

$$Q_{ult} = R_k \times q_t + q_{soil}$$

where:

R_k : Bearing capacity factor
 q_t : Average corrected cone resistance over calculation depth
 q_{soil} : Pressure applied by soil above footing

:: Tabular results ::

No	B (m)	Start Depth (m)	End Depth (m)	Ave. q_t (MPa)	R_k	Soil Press. (kPa)	Ult. bearing cap. (kPa)
1	0.50	0.00	0.75	1.19	0.20	0.00	237.82
2	0.70	0.00	1.05	4.22	0.20	0.00	843.29
3	0.90	0.00	1.35	6.59	0.20	0.00	1317.43
4	1.10	0.00	1.65	8.64	0.20	0.00	1728.90
5	1.30	0.00	1.95	8.16	0.20	0.00	1632.06
6	1.50	0.00	2.25	8.09	0.20	0.00	1617.88
7	1.70	0.00	2.55	7.58	0.20	0.00	1515.79
8	1.90	0.00	2.85	7.34	0.20	0.00	1468.03
9	2.10	0.00	3.15	8.11	0.20	0.00	1622.17
10	2.30	0.00	3.45	7.71	0.20	0.00	1542.87
11	2.50	0.00	3.75	7.31	0.20	0.00	1461.84
12	2.70	0.00	4.05	7.57	0.20	0.00	1513.77
13	2.90	0.00	4.35	7.57	0.20	0.00	1513.77
14	3.10	0.00	4.65	7.57	0.20	0.00	1513.77
15	3.30	0.00	4.95	7.57	0.20	0.00	1513.77
16	3.50	0.00	5.25	7.57	0.20	0.00	1513.77
17	3.70	0.00	5.55	7.57	0.20	0.00	1513.77
18	3.90	0.00	5.85	7.57	0.20	0.00	1513.77
19	4.10	0.00	6.15	7.57	0.20	0.00	1513.77

**CONSENT NOTICE
PURSUANT TO SECTION 221 OF
THE RESOURCE MANAGEMENT ACT 1991**

**IN THE MATTER OF A PLAN LODGED FOR
DEPOSIT UNDER NUMBER 560121
AND RESOURCE CONSENT NO. RM180272**

**(being the subdivision of Lot 30 DP 17939)
At 51 Elizabeth Street, Waikanae
For Richard Halliday**

The Regional Regulatory Titles Officer at Wellington

PURSUANT to Section 221 of the Resource Management Act 1991 the Kapiti Coast District Council hereby gives notice that it has consented to the subdivision and in respect to **Lot 2** the following conditions are to be complied with on a continuing basis:

1. Foundation design and construction for any new building or additions and alterations to a building shall take into account the findings and recommendations within the *Geotechnical Site Suitability Report* prepared by CGW Consulting Engineers and dated 14 September 2020, submitted to Council in relation to application no. RM180272.

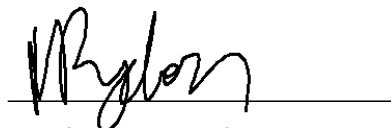
A copy of the report is available in Council's Office at any time the office is open to the public and is stored electronically under reference no. 8180718.

2. An onsite stormwater attenuation/disposal system shall be provided that complies with the requirements and intent of the *Stormwater Disposal Design Report* prepared by Stephen Halliday, dated 26 March 2019 and submitted to Council in relation to application no. RM180272.

A copy of the report is available in Council's Office at any time the office is open to the public and is stored electronically under reference no. 5205279.

It shall be the ongoing responsibility of the owner to construct and maintain a system that meets the above performance standard.

Issued in respect of application no. RM180272 on this 4th day of June 2021.



**Marnie Shayne Rydon
AUTHORISED OFFICER**



**Yolanda Jean Morgan
AUTHORISED OFFICER**

8 June 2020

Richard John Halliday
C/- Steve Halliday
115 Heke Street
Ngaio
Wellington 6035

Dear Richard

RM180272A: Variation to Conditions 1 and 2 of the RM180272 to update the approved plans to reflect changes to the vehicle access

We are pleased to enclose the decision on your Resource Consent application.

As you will see from the decision, there are a number of conditions that need to be complied with.

If you do not agree with the conditions of your consent you may lodge an objection with the Council in accordance with Section 357 of the Resource Management Act 1991. The objection would be heard by Hearing Commissioners. Please note that, if you do wish to object, you must advise the Resource Consents Manager no later than 15 working days from the date of receiving this consent.

If you have any concerns regarding the conditions please contact me prior to lodging an objection to discuss on (021) 02709067 as it may be possible to make minor amendments or corrections outside of the objection process.

If the deposit paid at the time of lodging your resource consent application has not been sufficient to cover the Council's costs of considering your application you will receive an invoice in the next few weeks.

Please note that this consent will lapse within 5 years of the date of issue of this decision unless it is given effect to within that time. You may apply for an extension of the consent before the consent lapses. Please contact the Council to find out more if you wish to do this.

The Resource Consents Team is continually working to improve the service we provide and would appreciate your feedback. We would be grateful if you could please take the time to complete an online survey.

Yours sincerely



Yolanda Morgan
Consultant Resource Consent Planner

**RESOURCE CONSENT UNDER PART VI OF THE
RESOURCE MANAGEMENT ACT 1991
CONSENT NO: RM180272A**

APPLICANT:	Richard John Halliday
LOCATION OF ACTIVITY:	51 Elizabeth Street, Waikanae
DESCRIPTION OF ACTIVITY:	Variation to Conditions 1 and 2 of the RM180272 to update the approved plans to reflect changes to the vehicle access

DECISION:

Granted subject to conditions on .

That the undersigned officers, acting under authority delegated from the Council and pursuant to sections 104, 104B and section 127 of the Resource Management Act 1991, hereby **grant** consent to vary the conditions of RM180272, as follows:

(Deletions ~~striketrough~~ and additions underlined).

Conditions:

1. The activity shall be undertaken in general accordance with the information supplied with application RM180272, and 180272A including the following:
 - Plan titled "Lot 1 and 2 Being Proposed Subdivision of Lot 30 DP 17939, drawing number 17939-01, Rev G E, dated ~~March 2019~~ May 2020.

Stamped as 'Final Approved Plans' on 4th ~~April 2019~~, 8th June 2020 except where modified by conditions of consent.

2. The e-survey dataset shall be in general conformity with the with the information supplied with application RM180272 and 180272A including the following:
 - Plan titled "Lot 1 and 2 Being Proposed Subdivision of Lot 30 DP 17939, drawing number 17939-01, Rev G E, dated ~~March 2019~~ May 2020.

Stamped as 'Final Approved Plans' on 4th April 2019, 8th June 2020 except where modified by conditions of consent.

A full copy of the conditions, as amended by this consent, are presented below:

General

1. The activity shall be undertaken in general accordance with the information supplied with application RM180272 and 180272A including the following:
 - Plan titled "Lot 1 and 2 Being Proposed Subdivision of Lot 30 DP 17939, drawing number 17939-01, Rev E, dated May 2020.

Stamped as 'Final Approved Plans' on 8th June 2020, except where modified by conditions of consent.

2. The e-survey dataset shall be in general conformity with the with the information supplied with application RM180272 and 180272A including the following:
 - Plan titled "Lot 1 and 2 Being Proposed Subdivision of Lot 30 DP 17939, drawing number 17939-01, Rev E, dated May 2020.

Stamped as 'Final Approved Plans' on 8th June 2020, except where modified by conditions of consent.

Fees, Levies and Contributions

3. A Reserve Contribution for the additional lot is payable and has been assessed at \$13,097.54 including GST.

The contribution must be paid prior to the issue of any certificate pursuant to section 224(c) of the Resource Management Act 1991.

4. Prior to the issue of a Section 224(c) certificate under the Resource Management Act 1991, the consent holder shall pay Council Engineering Fees of \$612.00 plus \$306.00 per lot, total \$1,224.00 GST inclusive, for work that may be required for plan approvals, site inspections and consent compliance monitoring, plus any further monitoring charge or changes to recover the actual and reasonable costs that have been incurred to ensure compliance with the conditions attached to this consent.

Engineering

Prior to works commencing:

5. Prior to works commencing, the consent holder shall submit copies of the plans and specifications for the engineering development for approval to the satisfaction of the Council's Development Engineer. The engineering development must be in accordance with Paragraphs 1 to 5 of Schedule 1 contained in Part 4 of the Kapiti Coast District Council's (KCDC's) Subdivision and Development Principles and

Requirements: 2012 (SDPR: 2012). No works shall commence until the plans are approved by KCDC's Development Engineer.

Note: *Engineering drawings shall contain sufficient detail to clearly illustrate the proposal to enable assessment of compliance with the KCDC's SDPR: 2012 and to enable accurate construction.*

6. The consent holder shall comply with the requirements of the Kapiti Coast District Council's Subdivision and Development Principles and Requirements 2012, unless alternatives are proposed by the consent holder and accepted by the Council's Development Engineer.
7. The consent holder shall advise the names and professional qualifications of any Suitably Qualified Persons required in terms of Clause B(iii) of Part 3 of the KCDC's SDPR: 2012. Suitably Qualified Persons are required for, but not necessarily limited to, the following areas:
 - Water and wastewater design & construction
 - Foundation Design
 - Road design & construction (for Right of Way)

Note: *If the Council considers any of the nominated persons are not acceptable then the consent holder shall nominate alternative persons, or the Council may require the consent holder to employ a specified Suitably Qualified Person or Persons at the consent holders cost.*

8. The consent holder shall notify Council's Development Engineer prior to commencement of the following stages of work, so that the Council's Development Engineer, or their authorised representative, are present on site to inspect certain stages of the works. These stages are as follows:
 - Commencement of works or recommencement after a substantial lapse;
 - Lot 2's water reticulation services and connections to mains in Elizabeth Street prior to back fill;
 - Completed right of way earthworks and prepared subgrade;
 - Finished right of way base course before the commencement of road sealing;
 - Clegg testing for right of way.
 - Right of way sealing – waterproof and final seal coat;
 - Final inspection.

Foundations

9. Prior to the issue of a Section 224(c) certificate the consent holder shall supply to the satisfaction of the Council's Development Engineer a report by a suitably qualified person detailing site investigation work and findings together with recommendations for foundation design for Lot 2.

Note: *If specifically designed foundations may be required in accordance with the Building Act 2004, then a Consent Notice under Section 221 of the Resource*

Management Act will be issued to facilitate the recording of this condition which is to be complied with on an on-going basis.

Stormwater

10. Consent holder shall provide a stormwater attenuation/disposal system on Lot 2 which shall comply with the requirements and intent of the "Stormwater Disposal Design Report" by Stephen Halliday dated 26 March 2019.

Note: In the event that the certified stormwater disposal design is not installed prior to the issue of the 224(c) certificate, a Consent Notice under Section 221 of the Resource Management Act will be issued to facilitate the recording of this condition, which is to be complied with on an on-going basis. The Consent Notice shall include reference to the following:

- (1) the certified stormwater disposal design as an option for compliance;
- (2) the owners' responsibility to construct a system to meet the above performance standard;
- (3) the owners' responsibility to maintain the system on an on-going basis to meet the above performance standard as it applied at the time of approval.

Wastewater

11. The consent holder shall provide Lot 2 with a new wastewater lateral which complies with the Council standard drawings and Part 3, section F & Part 4 Schedule 5 of KCDC's SDPR: 2012.
12. The construction of wastewater reticulation systems shall only be undertaken by an approved contractor as defined in Part 3, section F(ix) of KCDC's SDPR: 2012.

Water Supply

13. The consent holder shall provide Lot 2 with a metered water supply which complies with Council standard drawings and Part 3, section G & Part 4 Schedule 5 of KCDC's SDPR: 2012.
14. The construction of water supply reticulation systems shall only be undertaken by an approved contractor as defined in Part 3, section G(vii) of KCDC's SDPR: 2012.

Power and Telecommunications

15. Underground power and telecommunication services shall be provided to the boundary of Lot 2.

Note: *Services shall be installed in accordance with NZS4404: 2010.*

Miscellaneous

16. The consent holder must ensure that no nuisance effect is caused by discharge of material beyond the boundary of the subject site, including dust. For the avoidance of doubt material includes but is not limited to silt, sediment, vegetation and aggregate.

17. Should there be potential for wind-blown sand, soil or other material to be transported onto other properties the consent holder shall erect suitable fabric fencing (sarlou cloth or similar) or take other acceptable mitigation measures, to the satisfaction of Council's Enforcement Officer.

Easements

18. Prior to approval under Section 223 of the Resource Management Act 1991, any rights-of-way and utility services serving an allotment within the subdivision, where contained within another allotment of this subdivision, must have appropriate easements duly granted or reserved. The easements, as necessary and subject to other conditions of this consent, are to ensure that the lots can be serviced for water supply, drainage, domestic energy supply, and telecommunications (including broadband) and that access is provided to lots. Any easement must be subject to Section 243 of the Resource Management Act 1991.

As-built information upon completion of works

19. Completion documentation, including operation and maintenance manuals, shall be submitted in support of an application for s224c certification in accordance with Part 1 of NZS4404: 2010 and Part 4, Schedule 1 of the KCDC's SDPR: 2012.

Plans and meeting of conditions

20. The consent holder shall supply a copy of the title sheets of the e-survey dataset and shall list and indicate how each condition has been met to the satisfaction of the Council.

ADVICE NOTES:

- All costs arising from any of the above conditions shall be borne by the consent holder.
- It is the consent holder's responsibility to comply with any conditions imposed on this resource consent prior to and during (as applicable) exercising this resource consent.
- Under Section 125 of the Resource Management Act 1991, this resource consent will lapse in five years, unless it is given effect to within that time.
- Please note that a resource consent is not a consent to build. A building consent must be issued prior to any building work being undertaken.
- Contravention of the Land Drainage Act is not permitted and natural drainage patterns are to be preserved.
- Access, manoeuvring and vehicle movements relating to the development of the Lots must be compliant with the provisions of the District Plan and be in accordance with relevant standards in NZS4404 and AS2890 including but not limited to:
 - i. Driveway gradient and break over angles;
 - ii. Minimum parking requirements;

- iii. On site manoeuvring;
- iv. Road design standards;
- v. Garage and parking dimensions;
- vi. Visibility splays;
- vii. Councils standard drawings; and
- viii. Sight distances.

Where permitted standards are not complied with additional resource consent will be required.

- The approval of any works within the road reserve must comply with Council procedures and processes which are set out below:

Before undertaking work in the legal road you must make a Corridor Access Request (CAR) and receive a Works Access Permit (WAP) from us.

Some examples of activities requiring a permit are:

- trenching works
- footpaths and entranceways
- work within the berm or shoulder of the road, and
- tree work scaffolding and crane work.

Ensure that before any excavations are undertaken a "Before U Dig" inquiry is made to check for locations of any underground services. This is a web based service that you or your contractor use to get plans and information emailed out to you. This also provides the mechanism for you to make a Corridor Access Request and provide us with a Traffic Management Plan to protect your site, contractors, and the public during operations.

Please note: The "Before U Dig" service has no information on council's buried water, wastewater or stormwater assets. Our mapping tools show the location of the buried council assets.

- Should a waahi tapu or other cultural site be unearthed during earthworks the contractor and/or owner shall:
 - cease operations;
 - inform local Iwi (*Insert name of local iwi – Ngati Raukawa, Te Ati Awa ki Whakarongotai, Ngati Toa or Ngati Haumia*);
 - inform the Heritage NZ and apply for an appropriate authority if required;
 - Take appropriate action, after discussion with Heritage NZ, Council and Iwi to remedy damage and/or restore the site.

Note: In accordance with the Heritage New Zealand Pouhere Taonga Act 2014, where an archaeological site is present (or uncovered), an authority from Heritage NZ is required if the site is to be modified in any way.

- The consent holder should not encroach onto adjacent land owned by others without having first obtained their written consent.

- If you disagree with any of the above conditions or disagree with the additional charges relating to the processing of the application, you have a right of objection pursuant to sections 357A or 357B of the Resource Management Act 1991. Any objection must be made in writing to the council within 15 working days of notification of the decision.
- Additional fees will be required by the Council with the application(s) for the Section 223 and 224 certificates. The section 224 certificate will be issued following compliance with all conditions of consent set out above, and payment of any development contribution that may be payable.
- Development Contributions will be required pursuant to Section 198 of the Local Government Act 2002 and the Council's 2018/2019 Development Contribution Policy for additional dwellings on a lot (except the first on the lot if the fees have been paid at the time of the subdivision consent). The contributions will be calculated and levied for each additional allotment created by this resource consent in accordance with the fees that apply at the time consent is granted. The fees are listed below:

Items	Fees including GST(NZD)
Roading - District	\$1,974.00
Water Treatment - Central	\$4,834.00
Water Reticulation - Waikanae	\$2,152.00
Wastewater - Central	\$584.00
Wastewater Reticulation - Waikanae	\$1,150.00
Stormwater - Waikanae/Peka Peka	\$787.00
Stormwater - District	\$490.00
Community Infrastructure - District	\$1,678.00
Total	\$13,649.00

There is 1 additional allotment being created by this resource consent.

The contribution must be paid prior to the issue of any certificate pursuant to section 224(c) of the Resource Management Act 1991.

Reasons for Decision:

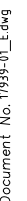
In accordance with Sections 104, 104B and 127 of the Resource Management Act 1991, the actual and potential effects associated with the proposed activity have been assessed.

I consider that the adverse effects of the proposed activity on the environment will be less than minor and that the proposed activity is not contrary to the Objectives and Policies of the Kapiti Coast Operative and Proposed District Plans.

A full copy of the reasons for granting consent is contained in the decision report.

A handwritten signature in black ink, appearing to read 'M Rydon', is positioned above the printed name.

Marnie Rydon
Principal Resource Consent Planner



**POST OR FAX THIS COMPLETED PAGE AT LEAST 48 HOURS
BEFORE CONSTRUCTION TAKES PLACE**

TO:

The RMA Compliance Officer
Kāpiti Coast District Council
Private Bag 60601
PARAPARAUMU
Email: compliance.dutyofficer@kapiticoast.govt.nz

Application No:	RM180272A
Site Address:	51 Elizabeth Street, Waikanae LOT 30 DP 17939 CT 34D/146
Proposal:	Variation to Conditions 1 and 2 of the RM180272 to update the approved plans to reflect changes to the vehicle access

Construction will take place on (date):

Owner's Contact Details	
Name:	
Postal Address:	
Telephone:	Mobile:

Contractor's Contact Details (e.g. house relocation contractors)	
Name:	
Telephone:	Mobile:

SIGNED:

.....
NAME

.....
DATE