

STATEMENT OF PASSING OVER INFORMATION

This information has been supplied by the vendor or the vendor's agents. Accordingly, Ownly (REAA 2008) and Sold On Kapiti Limited is merely passing over the information as supplied to us by the vendor or the vendor's agents.

We cannot guarantee its accuracy and reliability as we have not checked, audited, or reviewed the information and all the intending purchasers are advised to conduct their own due diligence investigation into the same.

To the maximum extent permitted by law Ownly (REAA 2008) and Sold On Kapiti Limited does not accept any responsibility to any person for the accuracy of the information herein.



CODE COMPLIANCE CERTIFICATE

SECTION 95, BUILDING ACT 2004

THE OWNER

Doran Terry James & Lally Jacqueline Ann	No.	130232
PO Box 30318	Issue date	1/08/13
Lower Hutt 5040	Application date	26/04/13

THE BUILDING

Street Address	8 Hughes Street, Waikanae
Valuation No.	1491028000
Legal Description	LOT 2 DP 23534
Intended Use	Dwelling
Intended Life	Indefinite, but not less than 50 years
Current Use	Dwelling
Proposal	Construction of split-level deck area to rear of property. Not attached to the existing dwelling.
Estimated Value	\$20,000

Code Compliance

The building consent authority named below is satisfied, on reasonable grounds, that –

- The building work complies with the building consent; and
- The property owner must follow and carry out the manufacturers prescribed maintenance procedures.

Signed for and on behalf of the Kapiti Coast District Council:

Signature:



Date:

2/8/13

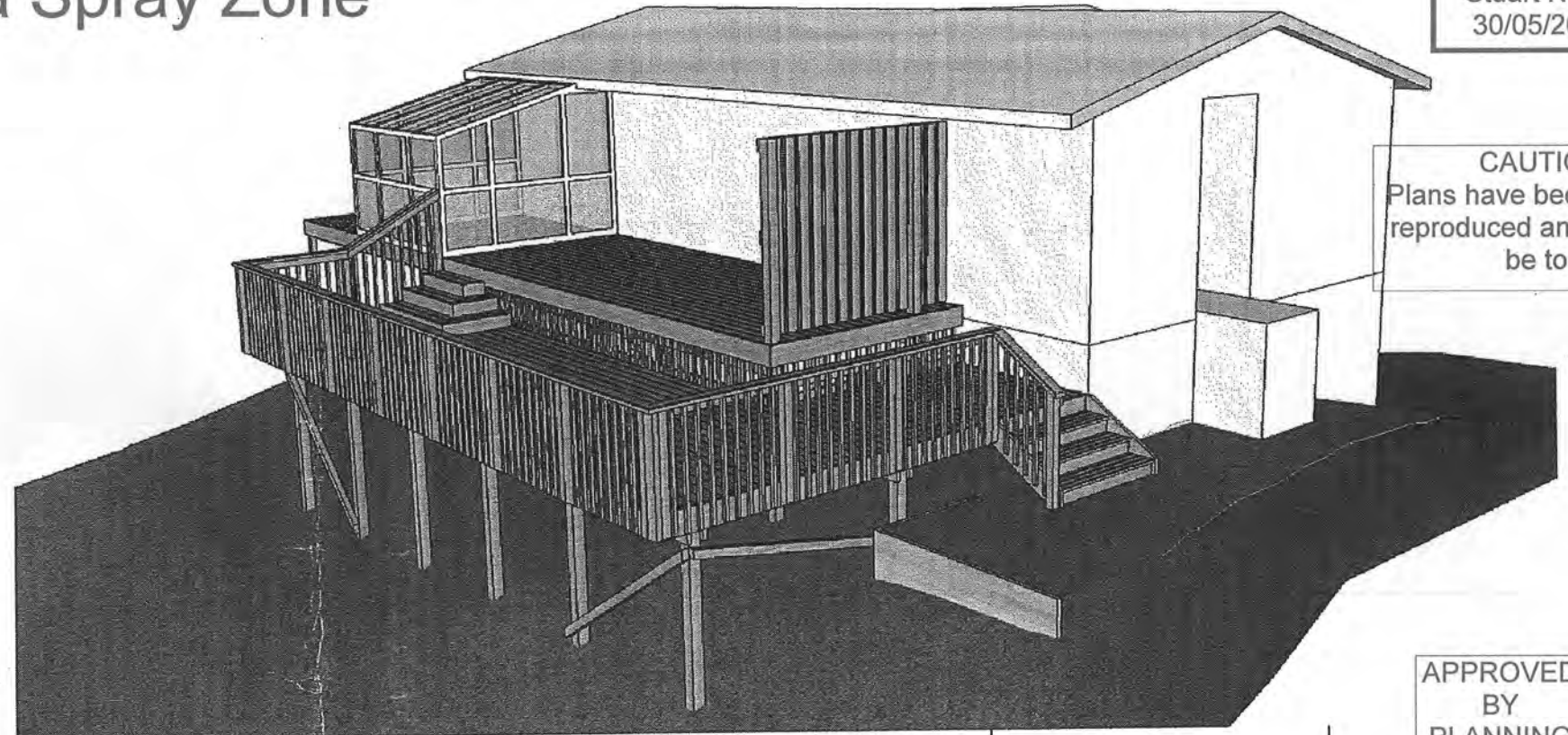
Very High Wind Zone Sea Spray Zone

BC 130232

Endorsements made on any
single
page apply equally to the entire
project

APPROVED
BY BUILDING
Stuart Nepia
30/05/2013

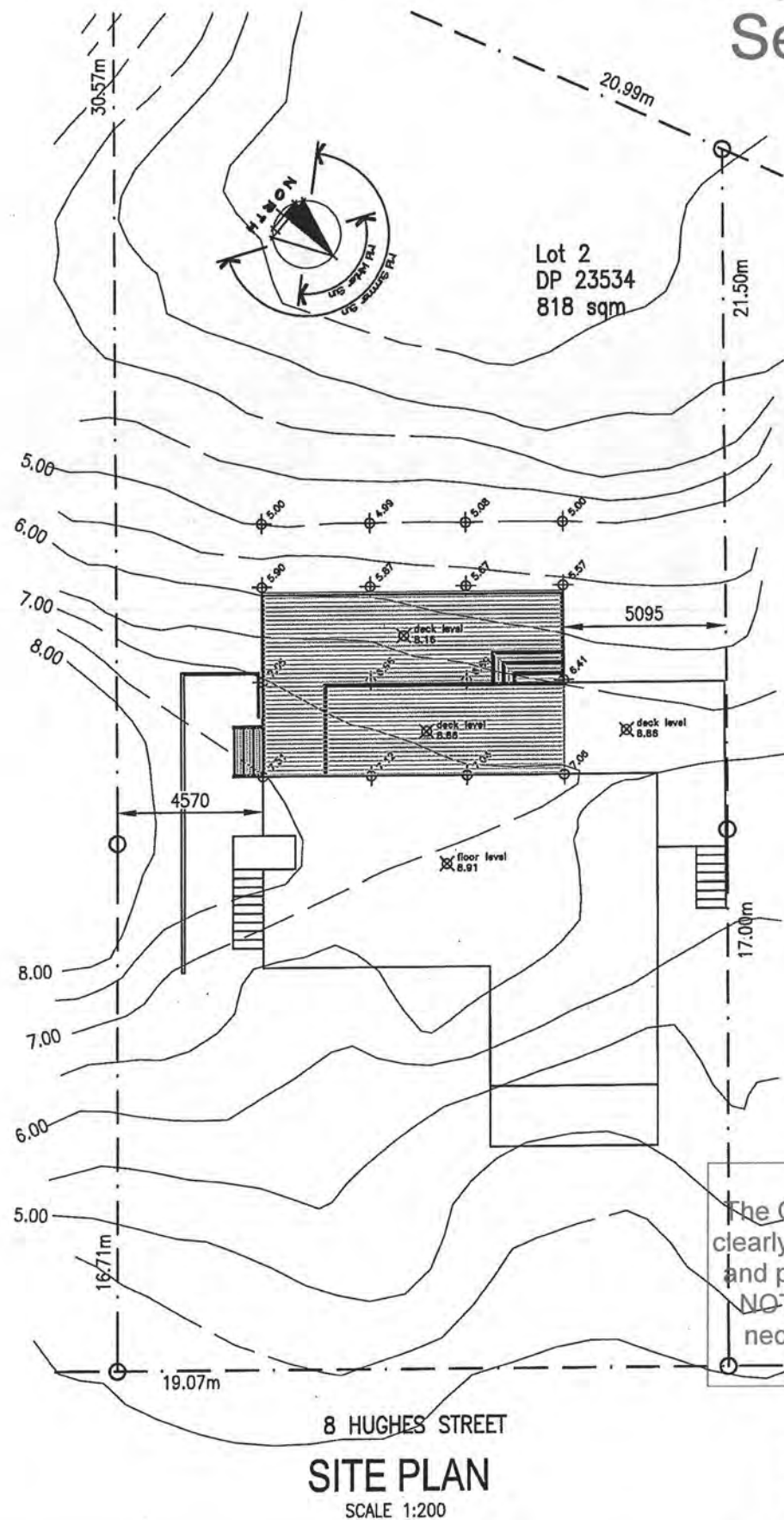
CAUTION
Plans have been digitally
reproduced and may not
be to scale.



Council has no record of any services in the vicinity of
of the proposed work. Take care

APPROVED
BY
PLANNING
Janice Lee
23/05/2013

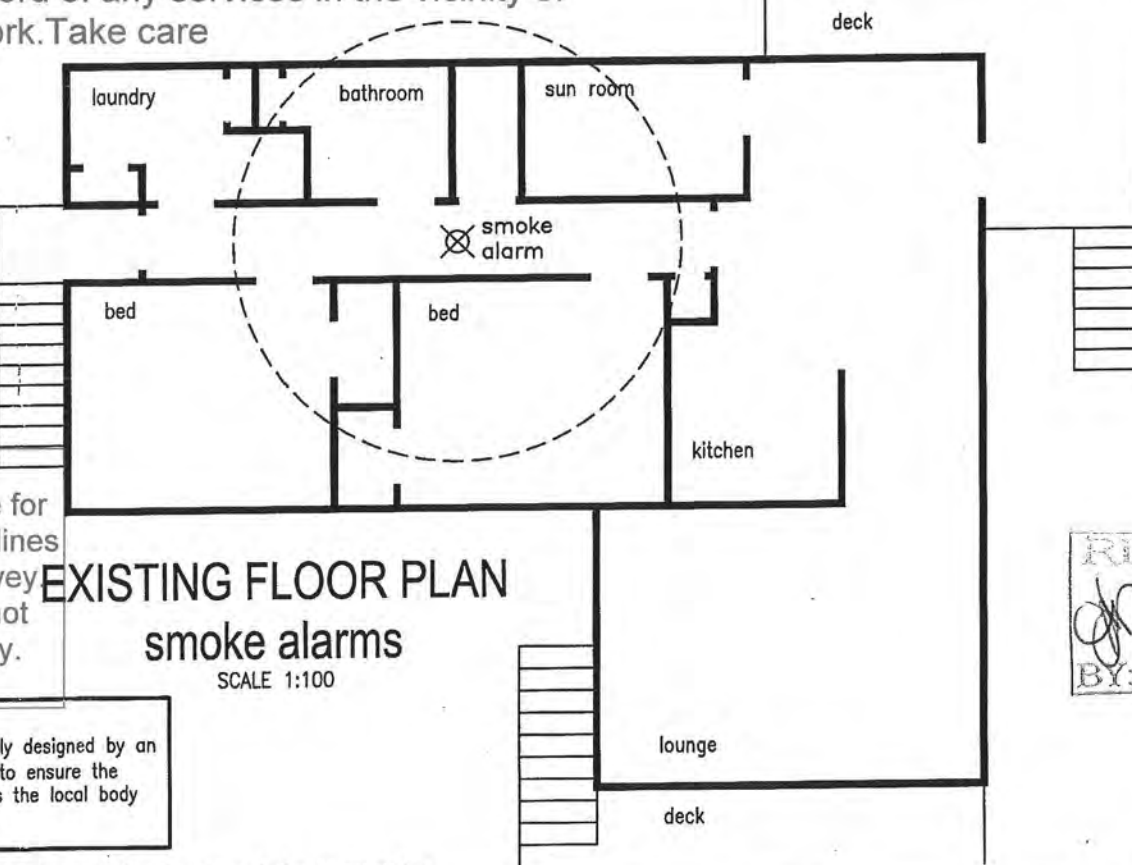
CHECKED
THROUGH
PLUMBING
AND
DRAINAGE
2/5/2013



BOUNDARY LINES
The Owner/Builder is responsible for
clearly defining the site boundary lines
and pegs. This may require a survey
NOTE: established fences are not
necessarily on the site boundary.

ENGINEERS DESIGN:
this project contains elements specifically designed by an
engineer. the owner/builder is required to ensure the
engineer inspects the work and provides the local body
with written evidence of the inspection.

the contractor shall check and verify dimensions before construction



RECEIVED
29 APR 2013
BY: 00.01

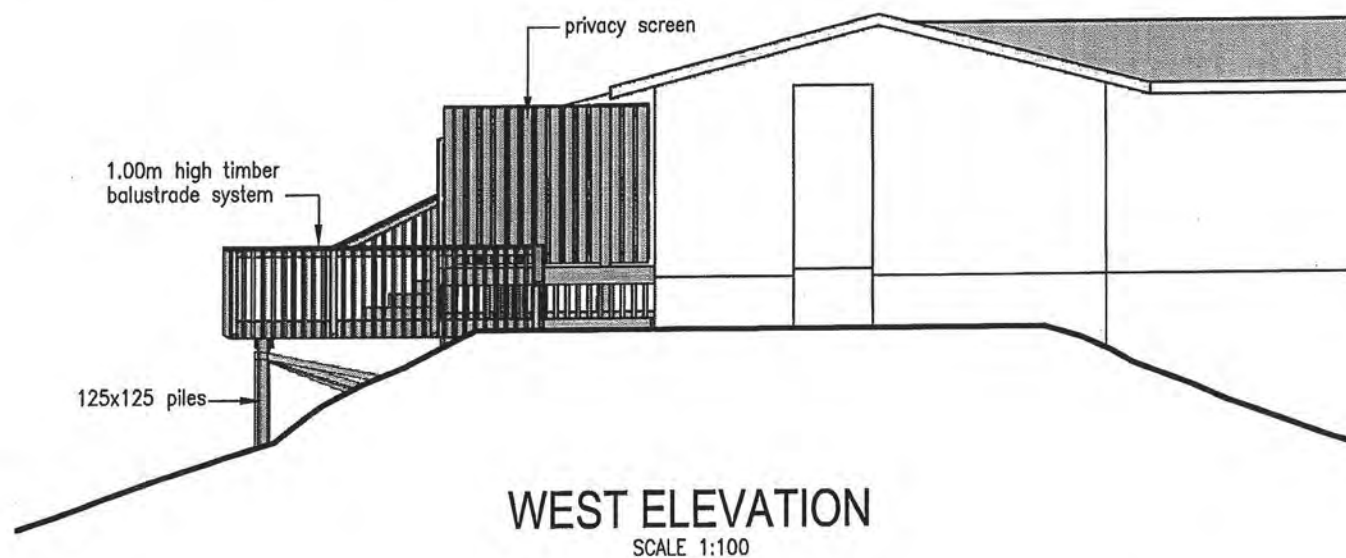
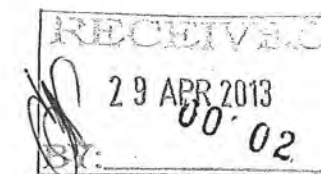
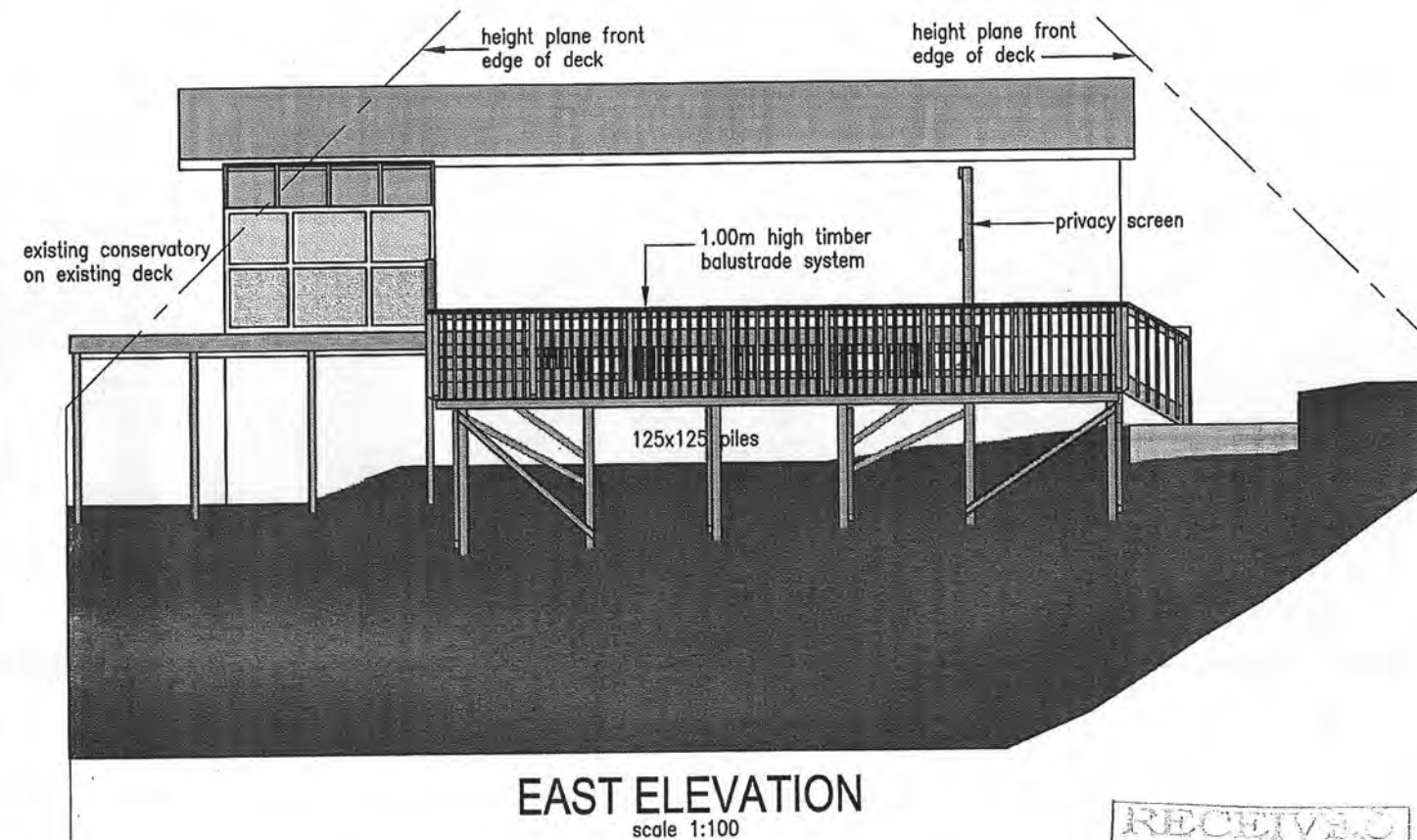
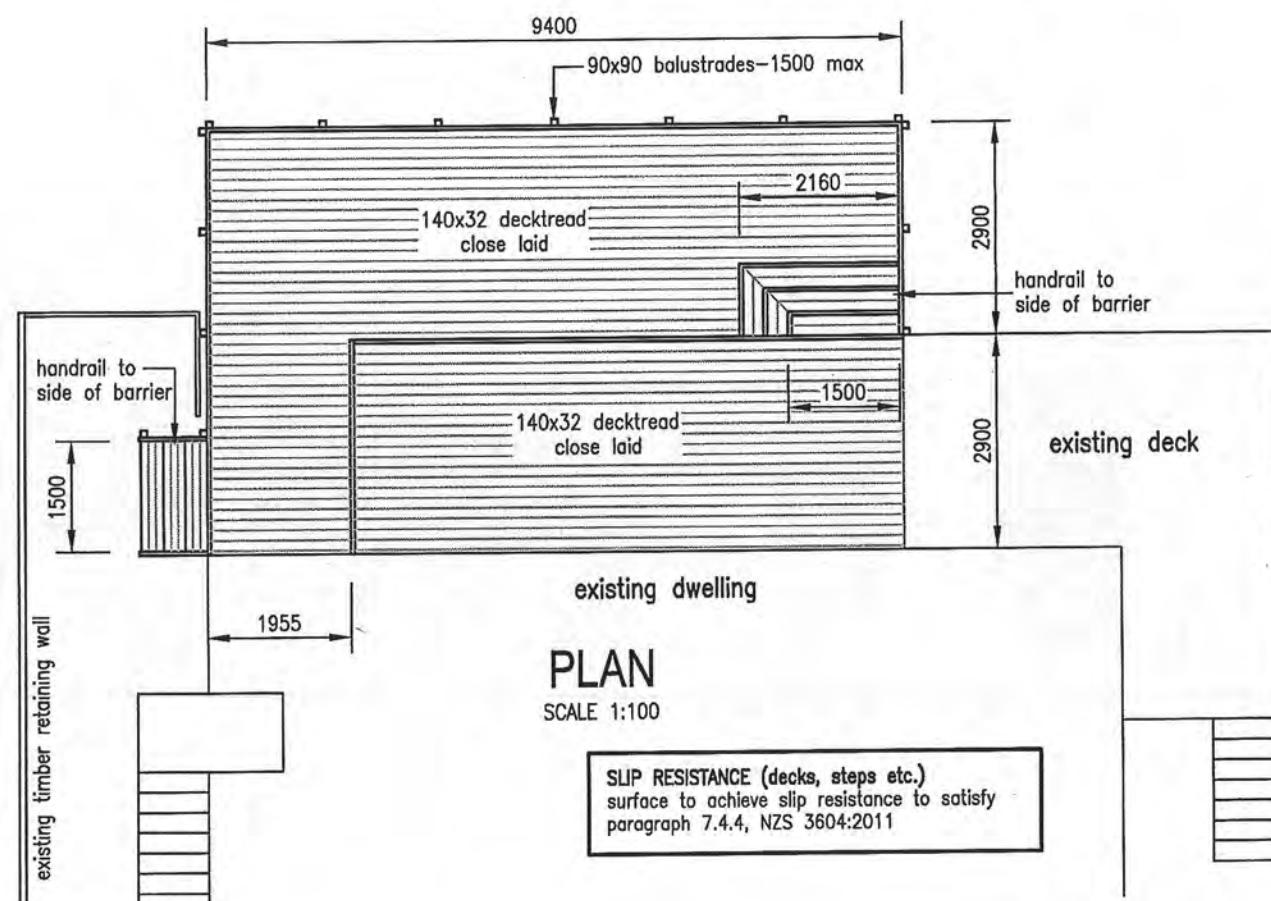
Bluegum Design

Stuart Jackson Phone 04-905-0550
39 Bluegum Road Cell 021-153-5889
Paraparaumu Email bluegum_design@clear.net.nz

DORAN HOUSE
8 HUGHES ST - WAIKANAE
PROPOSED DECK

scale as shown
date april 2013
drawn Stuart Jackson
designed Stuart Jackson

plan number
3006-01
Sheet 01 of 6



the contractor shall check and verify dimensions before construction

Bluegum Design

Stuart Jackson
39 Bluegum Road
Paraparaumu Email bluegum_design@clear.net.nz

Phone 04-905-0550
Cell 021-153-5889

DORAN HOUSE
8 HUGHES ST - WAIKANAE
PROPOSED DECK

scale 1:100
date april 2013
drawn Stuart Jackson
designed Stuart Jackson

plan number
3006-01
Sheet 02 of 6

SCOPE OF INSPECTION SHEET

Date 25/7/13 SR or BCA 130232 Inspection No. 2
Time 15:20 Documents on site YES / NO
Owner Name DORAN Project Description Deck Adds - 1st
Site Address 8 HUGHES ST WAIKARE Restricted Building Work YES / NO

Building Plumbing

Circle appropriate Type & Inspection Other

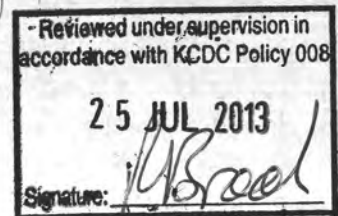
Site Found Piles PreSlab Subfloor Drainage PreWrap PreClad Weathertight PreLine PostLine Block Brick Ret.Wall Final

Engineer Supervision Yes No n/a - Name P. Boyton

Notes * 190x45 H3-2 S48 Beams Both sides
of Posts
* 6mk ties Holding down joists & M12
bolts with washer plates through posts
* H4 100x100 cross braces with
M12 Bolts connecting
* 1 metre High ballustrade with 90x90
H4 balusters @ 1500 cts and 40x40
infill bars at 90 cts
* 140mm x 32 H3-2 floor decking nailed
with 75mm decking nails.

Diagram (if necessary)

All Straps, bolts, Plates &
Washers are Stainless
Steel



Photo's Taken - Nos. 4 saved / scanned? Y / N

Site instruction issued
* Engineers report & site notes to be submitted
with CCC application.

Confirmation of person on site

Name LBP No.

Result: Pass Part pass Fail

J. HARRIS 12/9/11

Your next inspection will be.....
(Guidance notes for inspection on the rear of this sheet)

Agreed, Jared Harris Sign [Signature]
(Print Name)

Officer Name Craig Water Sign [Signature]

Information entered into data base ☐ Initial Date/...../.....

SCOPE OF INSPECTION

Inspections are made in conjunction with, and with the cooperation of, the owner/owner's agent to ensure that the building work complies with the provisions of the Building Act and NZ Building Code. The inspection is general in nature and involves an audit of the following aspects:

Engineer – Civil/Structural/Fire/Geotechnical: An engineer has been engaged to carry out inspections on behalf of the owner. Please ensure those inspections are carried out. A Certificate of Expert Opinion is required to be supplied to Council.

Site: A surveyor's report, or visible boundary markers provided, so that the set out of the project can be clearly identified.

Foundation: When all formwork has been completed, footings have been excavated and reinforcement is in place.

Piles: When all holes are excavated prior to installation.

Pre-slab plumbing (concrete slab): When all plumbing and drainage pipes have been installed, prior to backfilling.

Pre-slab building (concrete slab): When DPM has been placed with all laps and penetrations sealed, reinforcing in place and in position with chairs as appropriate.

Sub-floor (timber suspended floor): When all sub-floor connections, joists and required blocking, and any suspended plumbing pipe work have been completed, but before any flooring or base boards have been fitted. Relocated dwellings require a sub-floor inspection prior to the base boards being fitted.

Drainage: When all drainage works is completed and is under test, before backfilling occurs. As laid drainage plan is required at time of inspection.

Pre-wrap: When all roof and wall framing is complete, including any exterior sheet bracing, but before building wrap has been installed.

Pre-clad: When building wrap and window and door flexible flashing tape has been installed, cavity battens (cavity systems), cavity closers and all flashing systems are in place, but before joinery has been installed.

Weathertightness: When exterior cladding has been installed, flashings in place, air seals fitted to openings, but before any coating system have been applied.

Pre-line (plumbing): When all internal plumbing is complete and plumbing pipe work is under test pressure.

Pre-line (building): When the exterior of the building is weather tight, all structural components (including bracing) have been completed and wall insulation is in place.

Wet area membranes, decks, roofs and shower area: Pre application of wet area membrane, when all outlets and flashings have been installed, ready for membrane installation.
Post application of wet area membrane.

Post-line: When all interior linings have been installed, but before skirting, Scotia or plastering stopping. Installation details of screws check of wall bracing element.

Block: When all masonry block work including block foundations for slab floors, is completed, reinforcing in place and washout openings in place.

Brick Veneer: When veneer is at half height and all flashings are in place.

Retaining wall: Pre application of waterproof membrane system.

Post application of waterproof membrane system.

Protection installed for membrane system and installation of perforated drainage system before back filling.

Final: Final inspections are carried out at the completion of the project and may include entire project, plumbing, drainage and storm water. The Code Compliance Certificate is issued if the building work complies with the approved building consent.

Free Standing Fireplace: Final inspection required only.

In Built Fireplace: Inspection required before installation and after installation.

PRIVACY STATEMENT

1. The information contained on the Building Inspection Report Sheet is held by the Kapiti Coast District Council, whose address is Private Bag 601, Paraparaumu.
2. The information is available for public inspection as part of the Building Record of the property concerned.
3. You have the right under the Privacy Act 1993 to obtain access to, and to request correction of any personal information held by Council concerning you.

Council has a Privacy Officer. If you have any concerns regarding privacy issues please telephone (04) 296 4700

FINAL INSPECTION

Date 25/7/13 SR or BCA 130232 Inspection No. 2
 Time 15:20 Documents on site YES / NO
 Owner Name DORAN Project Description Deck Additions
 Site Address 8 HUGHES ST WAIKANA

All inspections are carried out with strict reference to the building consent granted.

P = Pass F = Fail NA = Non-Applicable

Inspection decisions are based on the extent of work inspected at the time of inspection.

Please refer to the related scope sheet for definition of the inspections extent.

Applicable to all inspections

Sighted previous inspection notes	<u>Y</u>	N	NA	Conforms with approved drawings	<u>Y</u>	N	NA	Confirm Additional information/amended plan	Y	N	<u>NA</u>
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FINAL – Exterior

Sub-floor ventilation	P	F	<u>NA</u>	Roof fixings	P	F	<u>NA</u>	Spouting + Down-pipes	P	F	<u>NA</u>
Deck Structure	<u>P</u>	F	NA	Flashings – Roof	P	F	NA	Penetrations – Flashings	P	F	NA
Barriers	<u>P</u>	F	NA	Gully Dishes	P	F	NA	Storm-water + site drainage	P	F	NA
Handrails	<u>P</u>	F	NA	Wastes to gully	P	F	NA	Fixings – Durability	<u>P</u>	F	NA
Steps/Stairs	<u>P</u>	F	NA	Terminal vents/AAV's	P	F	NA	Cladding painted/sealed	P	F	NA
Flashings – Windows/Doors	P	F	<u>NA</u>	Cladding Ground Clearance	P	F	NA		P	F	NA

FINAL – Interior

Service areas – floors/walls	P	F	NA	Food storage/preparation	P	F	NA	Hot water temp	P	F	NA
Stair design	P	F	NA	Ventilation	P	F	NA	Solid fuel heater	P	F	NA
Handrails	P	F	NA	Insulation + clearance	P	F	NA	Water supply tank	P	F	NA
Balustrades	P	F	NA	HWC flues	P	F	NA	Trap seals + AAV's	P	F	NA
Lightings	P	F	NA	HWC valves	P	F	NA	Cistern flushing	P	F	NA
Laundrying	P	F	NA	HWC restraint	P	F	NA	WC pan connection	P	F	NA
Cooking facilities	P	F	NA	Tempering valve	P	F	NA	Septic tank	P	F	NA
Smoke detectors	P	F	NA	Glazing – Human Impact	P	F	NA	Window labels	P	F	NA

FINAL – Intertency/Commercial

Fire/Life systems sighted	P	F	NA	Guarantees/Warranties/Certificates/Expert Opinion	P	F	NA	Intertency STC	P	F	NA
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All Inspections

Road Crossing Complete	P	F	<u>NA</u>	Energy Certificates supplied	P	F	<u>NA</u>	Final Check Complete	<u>Y</u>	N	
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Name: Craig Notben Officer Sign: CN Date: 25/7/13

SCOPE OF INSPECTION SHEET

Date 24/6/13 SR or BCA 130232 Inspection No. 1

Time 14:00 Documents on site YES / NO

Owner Name Project Description ADDS - AGTS

Site Address 8 HUGHES ST WAIKANAE

☒ Building ☐ Plumbing

Circle appropriate Type & Inspection Other

Site Found ☒ Piles ☐ PreSlab ☐ Subfloor ☐ Drainage ☐ PreWrap ☐ PreClad ☐ Weathertight ☐ PreLine ☐ PostLine ☐ Block ☐ Brick ☐ Ret.Wall ☐ Final

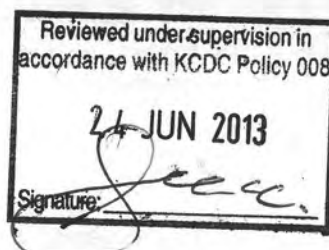
Engineer Supervision ☒ Yes ☐ No ☐ n/a - Name Peter Bolton

Notes Diagram (if necessary)

* 18 125x125 H5 treated posts in correct position ready to concrete.

* correct position sited of posts

A D12 Reinforcing steel Ready to install in concrete when pumped in on site



Photo's Taken - Nos. 4 saved / scanned? Y / N

Site instruction issued
* Engineering report to be submitted before final.

Confirmation of person on site

Result: ☒ Pass ☐ Part pass ☐ Fail

Name J. Harris LBP No. 121911

Your next inspection will be Final
(Guidance notes for inspection on the rear of this sheet)

Agreed, [Signature] Sign [Signature]
(Print Name)

Officer Name Craig Watson Sign CW

Information entered into data base ☐ Initial Date 24/6/13

SITE / FOUNDATIONS / PILES / PRE SLAB / SUBFLOOR / DRAINAGE

Date 24/6/13 SR or BCA 130232 Inspection No. 1

Time 14:00 Documents on site YES / NO

Owner Name Project Description ADDS - ALTS

Site Address 8 HUGHES ST WAIKANAE

All inspections are carried out with strict reference to the building consent granted.

P = Pass F = Fail NA = Non-Applicable

Inspection decisions are based on the extent of work inspected at the time of inspection.

Please refer to the related scope sheet for definition of the inspections extent.

SITE

Conforms with approved drawings	☒ Y	☐ N	☐ NA	Checked driveway	☐ Y	☐ N	☐ NA	Engineer supervision required	☐ Y	☐ N	☐ NA
Scope of Resource consent granted?	☐ Y	☐ N	☐ NA	Checked position off relevant boundaries and datum height	☐ Y	☐ N	☐ NA		☐ Y	☐ N	☐ NA
Expert Opinion (Producer statement) required	☐ Y	☐ N	☐ NA	Name of Surveyor Company				Name of Engineer Company			

FOUNDATIONS

PILES

SUBFLOOR

Footing Depth	☒ P	☐ F	☒ NA	Pile size	☒ P	☐ F	☐ NA	Pile/Bearer/Joist Fixings	☐ P	☐ F	☒ NA
Good bearing (NZS 3604)	☐ P	☐ F	☒ NA	Pile layout is to plan	☒ P	☐ F	☐ NA	Notching, Holes, etc	☐ P	☐ F	☒ NA
Reinforcing	☒ P	☐ F	☐ NA	Special piles - point load	☐ P	☐ F	☐ NA	Solid Blocking	☐ P	☐ F	☒ NA
Siting	☒ P	☐ F	☐ NA	Timber Treatment	☒ P	☐ F	☐ NA	Joists	☐ P	☐ F	☒ NA
Sub-floor vents	☐ P	☐ F	☒ NA	Hole depth	☒ P	☐ F	☐ NA	Beams/Bearers	☐ P	☐ F	☒ NA

PRE SLAB

Rebate for brick veneer	☐ P	☐ F	☐ NA	Sand blinding	☐ P	☐ F	☐ NA	Steel reinforcing	☐ P	☐ F	☐ NA
Ground clearance	☐ P	☐ F	☐ NA	Slab thickenings	☐ P	☐ F	☐ NA	Bar chairs	☐ P	☐ F	☐ NA
Concrete Cover	☐ P	☐ F	☐ NA	Vapour barrier (DPC)	☐ P	☐ F	☐ NA	DPC penetrations taped	☐ P	☐ F	☐ NA
Driveway s/w control	☐ P	☐ F	☐ NA	Bottom plate fixings	☐ P	☐ F	☐ NA	Minimum Floor Level	☐ P	☐ F	☐ NA
Secondary flow path	☐ P	☐ F	☐ NA	TPR line	☐ P	☐ F	☐ NA	Wastes and drains - size / fall	☐ P	☐ F	☐ NA
Pipe material	☐ P	☐ F	☐ NA	Plumbing layout	☐ P	☐ F	☐ NA	Test - Water / Air	☐ P	☐ F	☐ NA
Pipe protection	☐ P	☐ F	☐ NA	Pipes supported	☐ P	☐ F	☐ NA	Visual leak check	☐ P	☐ F	☐ NA

DRAINAGE

Pipe diameter	☐ P	☐ F	☐ NA	Connections/Angles	☐ P	☐ F	☐ NA	Holding water	☐ P	☐ F	☐ NA
Bedding material	☐ P	☐ F	☐ NA	Branch length	☐ P	☐ F	☐ NA	Terminal vent	☐ P	☐ F	☐ NA
Gully trap(s)	☐ P	☐ F	☐ NA	Direction/Fall	☐ P	☐ F	☐ NA	LBP/Registration No:			

Officer Name: Craig Sign: [Signature] Date: 24/6/13

SCOPE OF INSPECTION SHEET

Date 24/6/13 SR or BCA 130232 Inspection No. 1

Time 14:00 Documents on site YES / NO

Owner Name Project Description ADDS - ALTS

Site Address 8 HUGHES ST WAIKANAE

Building Plumbing

Circle appropriate Type & Inspection Other

Site Found Piles PreSlab Subfloor Drainage PreWrap PreClad Weathertight PreLine PostLine Block Brick Ret.Wall Final

Engineer Supervision Yes No n/a - Name

Notes Diagram (if necessary)

* 18 125x125 H5 treated posts in correct position ready to concrete

* correct position sited of posts

* D12 Reinforcing steel Ready to install in concrete when pumped in on site

Photo's Taken - Nos. 4 saved / scanned? Y / N

Site instruction issued

* Engineering report to be submitted before final.

Confirmation of person on site

Result: Pass Part pass Fail

Name J. Harris LBP No. 121911

Your next inspection will be Final
(Guidance notes for inspection on the rear of this sheet)

Agreed, J. Harris Sign [Signature]
(Print Name)

Officer Name Craig Watson Sign [Signature]

Information entered into data base ☐ Initial Date / /

SCOPE OF INSPECTION SHEET

Date 25/7/13 SR or BCA 130232 Inspection No. 2
Time 15:20 Documents on site YES / NO
Owner Name DORAN Project Description Deck Adds + 1st
Site Address 8 HUGHES ST WAIKANA Restricted Building Work YES / NO

Building Plumbing

Circle appropriate Type & Inspection Other

Site Found Piles PreSlab Subfloor Drainage PreWrap PreClad Weathertight PreLine PostLine Block Brick Ret.Wall Final

Engineer Supervision Yes No n/a - Name P. Bolton

Notes * 190x45 H13.2 S48 Beams Both sides Diagram (if necessary)

of Posts
* 6mm tie Hddn down joists + M12
bolt with washer plates through posts
* 114 100x100 cross braces with
M12 Bolts connecting
* 1 metre High balustrade with 90x90
H4 balusters @ 1500 cts and 40x40
infill bars at 90 cts
* 140mm x 32 H13.2 floor decking nailed
with TSun decking nails.
All Straps, bolts, Plates +
Washers are Stainless
Steel.

Photo's Taken - Nos. 4 saved / scanned? Y / N

Site instruction issued * Engineers report + site notes to be submitted
with CCC application.

Confirmation of person on site

Name J. HARRIS LBP No. 121911 Result: Pass Part pass Fail

Your next inspection will be.....
(Guidance notes for inspection on the rear of this sheet)

Agreed, Jared Harris Sign [Signature]
(Print Name)

Officer Name Craig Watson Sign [Signature]

Information entered into data base ☐ Initial Date/...../.....

Site Inspection Report - New BC Applications

BC Application number: 130232 Lot 2 DP 23534

Site Address: 8 HUGHES

Building Project: Deck

Check NCS status is currently "To Site Inspection"

Item to be checked	Decision	Record any relevant information	Action required
Contours match application?	Yes / No		
Datum point identified?	Yes / No		
Boundaries identified?	Yes / No	Fence ONLY	
Check ground conditions?	Yes / No	ENGINEER	
Check f/path, kerb & channel, grass berm, note existence/damage.	Yes / No	OLD CONCRETE	
Vehicle entrance crossing installed (describe condition)	Yes / No	OLD CONCRETE NO GRASS	
Photos taken? (Save & link to NCS)	Yes / No		
Dogs or other hazards on property?	Yes / No		
Is there a requirement for further foundation investigation e.g Engineers design	Yes / No		Referred to Approvals T/L Yes / No
Record all decisions in accordance with KCDC Policy 007. Circle Yes or No in each case.			

Note: if there is a requirement for further information or some areas which do not appear to comply refer file to Team Leader Consent Approvals for action.

Inspecting Officer:

Name: Alan Signature: [Signature] Date: 1/5/13

Unless further foundation information required, change NCS status to "To Plumbing & Drainage" and place file in P&D shelf area for Approvals. If further information is required, then Status change to "To Senior Building Inspector" and hand to Team Leader Consent Approvals for action.

FOR COUNCIL USE:

DEPARTMENT	TICK FOR REFERRAL	COMMENTS	APPROVING OFFICER/ DATE
Site Inspection	✓	Refer to Form 241 for completion of site inspection & sign off this form when completed.	
Resource Consents (refer PIM Sheet)	✓		
Plumbing and Drainage	✓		
Building	✓		2/5/2013 30-05-13
Fire Design			
Compliance Schedule			
Environmental Health			
Other.....			
NOTES:			



Building Consent No.	130232
Building Project	Split level deck
Location (Site Address)	8 Hughes St, Waikanae
Building Category	Circle appropriate category 0 1 2 3

Application workflow checklist		
RECEIVED 29 APR 2013 BY:	Name & Signature Note # A signature confirms that the application contains sufficient information to enable compliance with the building code to be assessed	Date
# Note: Checked, date stamped and initialled by TO/BCO. Select and circle appropriate category above & identify allocation to appropriate technical groups and if required to go to "site inspection" AP-WI-001		
Payment taken and receipted (details entered inside this cover sheet) by CSO CS-WI-008		
Data entered and invoiced by CSO CS-WI-008		
Pages numbered by CSO CS-WI-008		
BC Application and documentation scanned, checked & status update by CSO CS-WI-009		
BC Application signed over to BC CS-WI-009		
Application reviewed by Technical Officers who sign off at back of this form AP-WI-026 & AP-WI-009		
Once Technical review complete, passed to CS for Plan Production and Invoicing AP-WI-009		
CSO checks data entry input, including required inspections CS-WI-012		
BC, plans and other appropriate paperwork produced by CSO CS-WI-012		
BC, Approved plans and appropriate paperwork sent to applicant or agent with receipt by CSO CS-WI-012		
Inspection envelope prepared by CSO with endorsed plans and other appropriate paperwork and filed to cabinet. CS-WI-012		

CONSENT DATA INPUT REQUIREMENTS

REQUIRED INSPECTIONS	32		Lapse and cancellation after 12mths of consent	23		Installation of solid fuel appliance (wood burner) comply and secured
✓ Foundation/Piles		✓				
Block	2	✓	Engineer design specific components	23A		Second hand wood burner certified
Pre-Slab (Plumbing)	3		Foundations to solid bearing of 200mm	25	✓	Contractor to leave site clean and clear
Pre-Slab (Building)	4		NZS3604 as acceptable solution in terms of NZ Building Code	30		To comply with Food Hygiene Regulations 1974
Sub-Floor	6		Not approved as Habitable Room	31	✓	As in CCZ, all fixings need to be stainless steel
Drainage	9	✓	Note and comply with all endorsements on approved plans	33		Approval only given for relocation purposes
Pre-Wrap	10		Names and Registration of plumber and drain-layer required	34	✓	If cladding to have pre-finished colour coating, to be appropriate for coastal conditions
Pre-Clad	11		Concealed soil and TV pipes and gas flues only allowed in ducts or minimum framed	38		Window sashes on upper levels less than 760mm above floor to have stays fixed
Pre-lining (Building)	12		Hot & Cold water pipes tested to 1500kPa	39		Construction of playground to comply with NZS5828
Pre-lining (Plumbing)	13		Roof stormwater to be connected to existing	40		Fencing, gates, doors directly leading to swimming pool to comply with Pool Act 1987
Wet areas - membrane	14		Copper water pipes not permitted	43		Textured systems should be applied by licensed, trained applicators – supply warranty
Post Lining	15		Owner/builder to ensure prop foundation height will allow satisfactory connection	44		Exterior cladding system to be completed and inspected prior to internal lining
Brick Veneer	21		Minimum FFL to comply with NZS3604			
Retaining Wall						
✓ Final (Dwelling)						
Final (Commercial & Multi-resd)						

STANDARD CONSENT CONDITIONS		
37		
72		
80		

NON-STANDARD ADDENDA

FOR OFFICE USE ONLY

FEES		APPLICATION FEE
Building Fee	\$596.00	\$724.20
Sewer Connection	\$.....	RECEIPT NO
Water Connection	\$.....	DATE.....
Vehicle Crossing	\$.....	INVOICE NO
Damage Deposit	\$.....	DATE 26/4/13
Code Compliance Administration	\$.....	55089
Building Research Levy	\$20.20	RECEIPT NO
Development Levy	\$.....	DATE 26/4/13
DBH Levy	\$40.20	438425
Compliance Schedule	\$.....	FEES PAID BY:
Digital Storage Fee	\$41.00	Mr. Mrs Doran
Certificate of Title Charge	\$27.00	BUILDING CONSENT
Photocopying	\$.....	NUMBER
SUBTOTAL	\$.....	DATE ISSUED
Less Fee Paid	\$.....	BC130232 30/4/13
TOTAL	\$.....	AUTHORISATION FOR REFUND OF DEPOSIT
GST INCLUDED	\$724.20	Deposit held = \$.....
		Cost to Repair Damage Caused During Construction = \$.....
		Total Balance to be Refunded
		Authority Number:
		Authorised: DATE:

GST 51-860-608

Received with thanks by 36/01
KAPITI COAST DISTRICT COUNCIL

26-04-13 17:01 Receipt no.438425

DR BC130232
MR & MRS DORAN 697.20-
Mr & Mrs Doran:::
CQ EFT
Mr & Mrs Doran 697.20

Building consent 130232

Section 51, Building Act 2004

The building

Street address of building: 8 Hughes Street, Waikanae

Legal description of land where building is located: LOT 2 DP 23534

Valuation number: 1491028000

Building name:

Location of building within site/block number: Central

Level/unit number:

The owner

Name of owner: Mr & Mrs Doran

Contact person:

Mailing address: 8 Hughes Street, Waikanae 5036

Street address/registered office:

Phone number: Landline:

Mobile: 027 443 7605

Daytime: 04 587 0311 wk

After hours:

Facsimile number:

Email address:

Website:

First point of contact for communications with the council/building consent authority:

Full Name: Stuart Jackson

Mailing Address: 39 Bluegum Road, Paraparaumu 5032

Phones:: 021 1535889: 905 0550

Email: bluegum_design@clear.net.nz

Building work

The following building work is authorised by this building consent:

Construction of split-level deck area to rear of property. Not attached to the existing dwelling.

Dwelling

This building consent is issued under section 51 of the Building Act 2004. This building consent does not relieve the owner of the building (or proposed building) of any duty or responsibility under any other Act relating to or affecting the building (or proposed building).

This building consent also does not permit the construction, alteration, demolition, or removal of the building (or proposed building) if that construction, alteration, demolition, or removal would be in breach of any other Act.

Compliance schedule

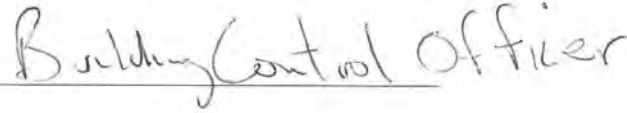
A compliance schedule is not required for the building.

Attachments

Copies of the following documents are attached to this building consent:



Signature



Position

On behalf of: KAPITI COAST DISTRICT COUNCIL

Date: 30/05/13

4 June 2013

Mr & Mrs Doran
8 Hughes Street
Waikanae 5036

Dear Sir/Madam

Approval of Building Consent: 130232

Description: Construction of split-level deck area to rear of property. Not attached to the existing dwelling.
Location: 8 Hughes Street, Waikanae
Legal Description: LOT 2 DP 23534

I am pleased to inform you that the above building consent application has been approved. The building consent documents have been issued and are enclosed.

Before starting any work please read ALL the building consent documents carefully and in full so that you as the owner understand the conditions under which the consent has been issued.

As the owner you are also responsible for the following:

- ensuring that building work starts within 12 months of the approval of the building consent and that work progresses at a reasonable pace.
- ensuring that all required inspections are completed and that a Code Compliance Certificate is obtained once the work has been completed – please be aware that before a Code Compliance Certificate is issued, the building work must comply with the Building Act 2004 and the Building Code as at the date of this consent.
- that no work with noisy equipment is to be carried out before 7.30 a.m. or after 6 p.m. Monday to Saturday. During the week there may be workers on site from 6.30 a.m. quietly preparing for work. Work with noisy equipment is not permitted on Sundays and public holidays.
- ensuring that no damage occurs to public property, for example footpaths or retaining structures. Should damage occur you will be required to pay for any repairs.
- ensuring that if you wish to make any changes to the approved building consent, then an amendment to the building consent will need to be lodged with us.

If you have any questions regarding your building consent or your responsibilities, please contact Kapiti Coast District Council on (04) 2964 700.

Addenda to Application

Application

Stuart Jackson
39 Bluegum Road
Paraparaumu 5032

No.

130232

Project

Description	Dwellings - Alterations & additions Being Stage 1 of an intended 1 Stages Construction of split-level deck area to rear of property. Not attached to the existing dwelling.
Intended Life	Indefinite, but not less than 50 years
Intended Use	Dwelling
Estimated Value	\$20,000
Location	8 Hughes Street, Waikanae
Legal Description	LOT 2 DP 23534
Valuation No.	1491028000

Designer: Bluegum Design BP 120943 39 Bluegum Road,
Paraparaumu : 021 1535889 / 9050550

General Requirements

- a) The Building Inspector is to be given 24 hours' notice before carrying out the following inspections:
1. Foundations
 2. Final Inspection
- b) To arrange for any of the above required inspections by Building Control Team, please contact the Call Centre on (04) 296 4700 between the hours of 8am and 5pm.

1. LAPSE AND CANCELLATION OF BUILDING CONSENT. A building consent shall lapse and be of no effect if the building work concerned has not been commenced within 12 calendar months after the date of issue. Or within such further period as the territorial authority allows.
2. The inspection of all specific design components of the building is the responsibility of the Design Engineer who is also required to supply a written report to Council.
3. Note and comply with endorsements on approved plans.
4. Contractor to leave site clear of all demolition materials and in a tidy state.
5. As this site is located in the Severe Coastal Corrosion Zone, all exposed fixings and cladding fixings need to be stainless steel.
6. If cladding is to have pre-finished colour coating, that coating shall be appropriate for the designated coastal conditions of that site.

I have read the foregoing addenda to application, and the Owner/Builder/Authorised Person hereby agrees to comply with them.

**OWNER/BUILDER/
AUTHORISED PERSON**

Date: _____

BC 130232

all references to standards and codes etc. shall be taken as reference to the latest version including amendments

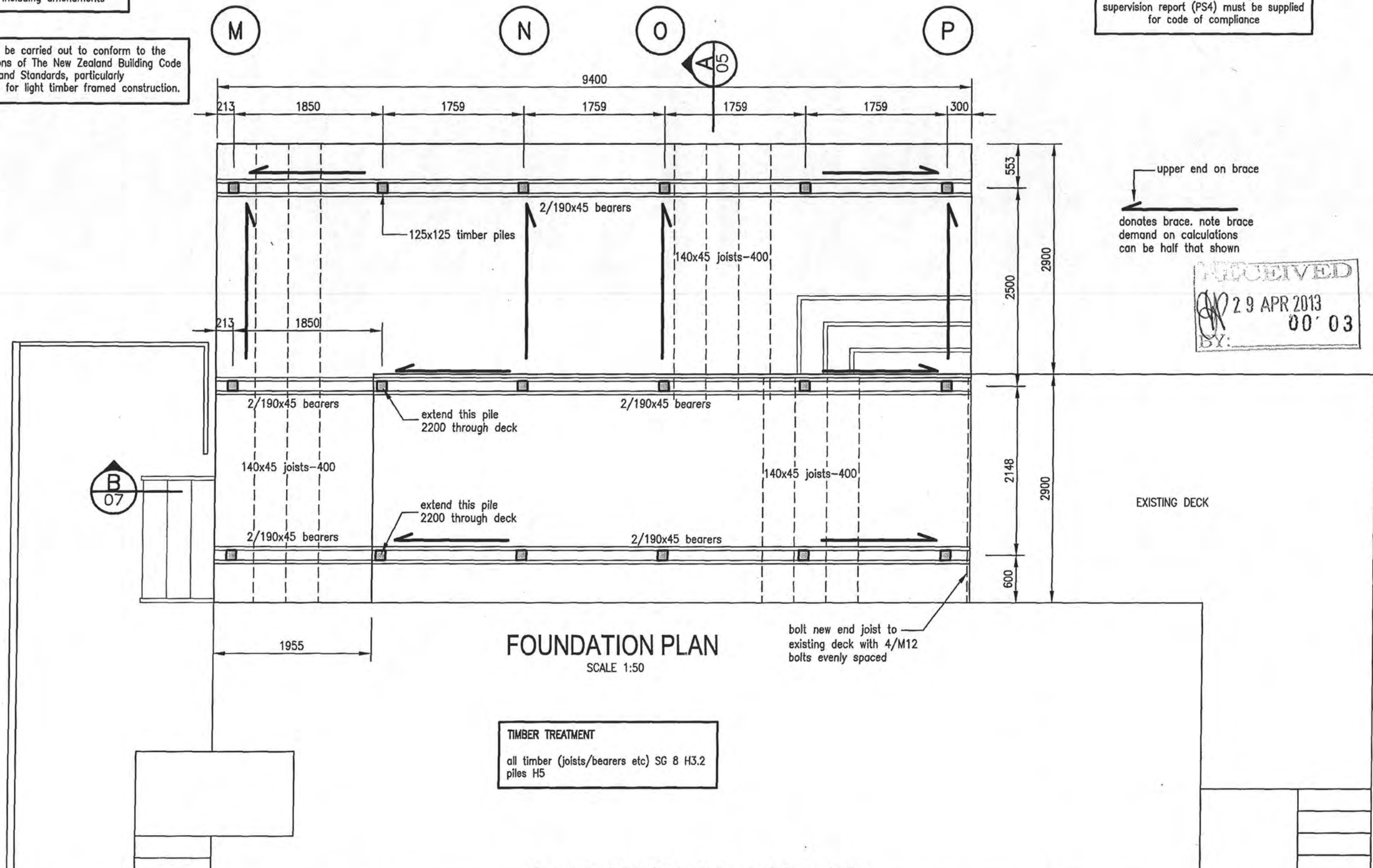
all work must be carried out to conform to the relevant sections of The New Zealand Building Code and New Zealand Standards, particularly NZS3604:2011 for light timber framed construction.

engineers foundation design and supervision report (PS4) must be supplied for code of compliance

A

B

C



Bluegum Design

Stuart Jackson
39 Bluegum Road
Paraparaumu Email bluegum_design@clear.net.nz

Phone 04-905-0550

Cell 021-153-5889

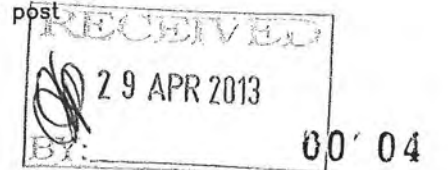
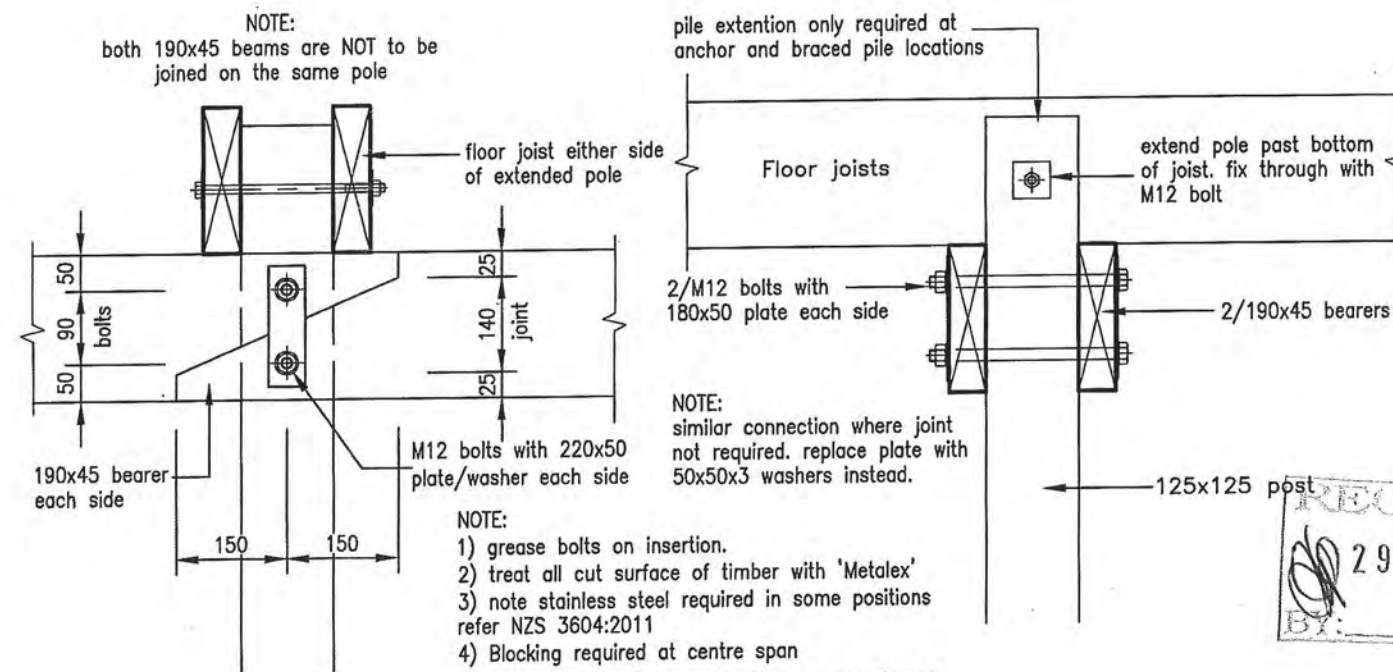
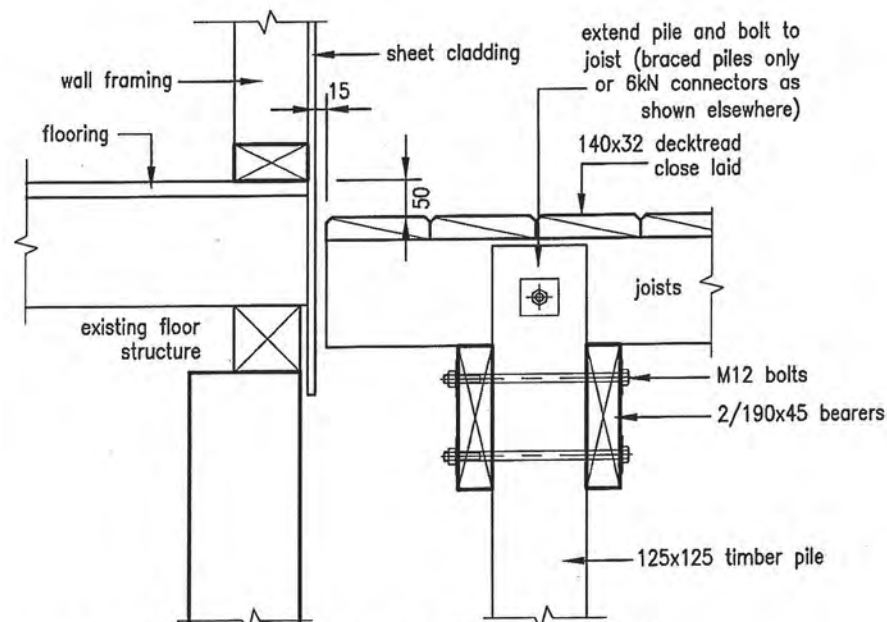
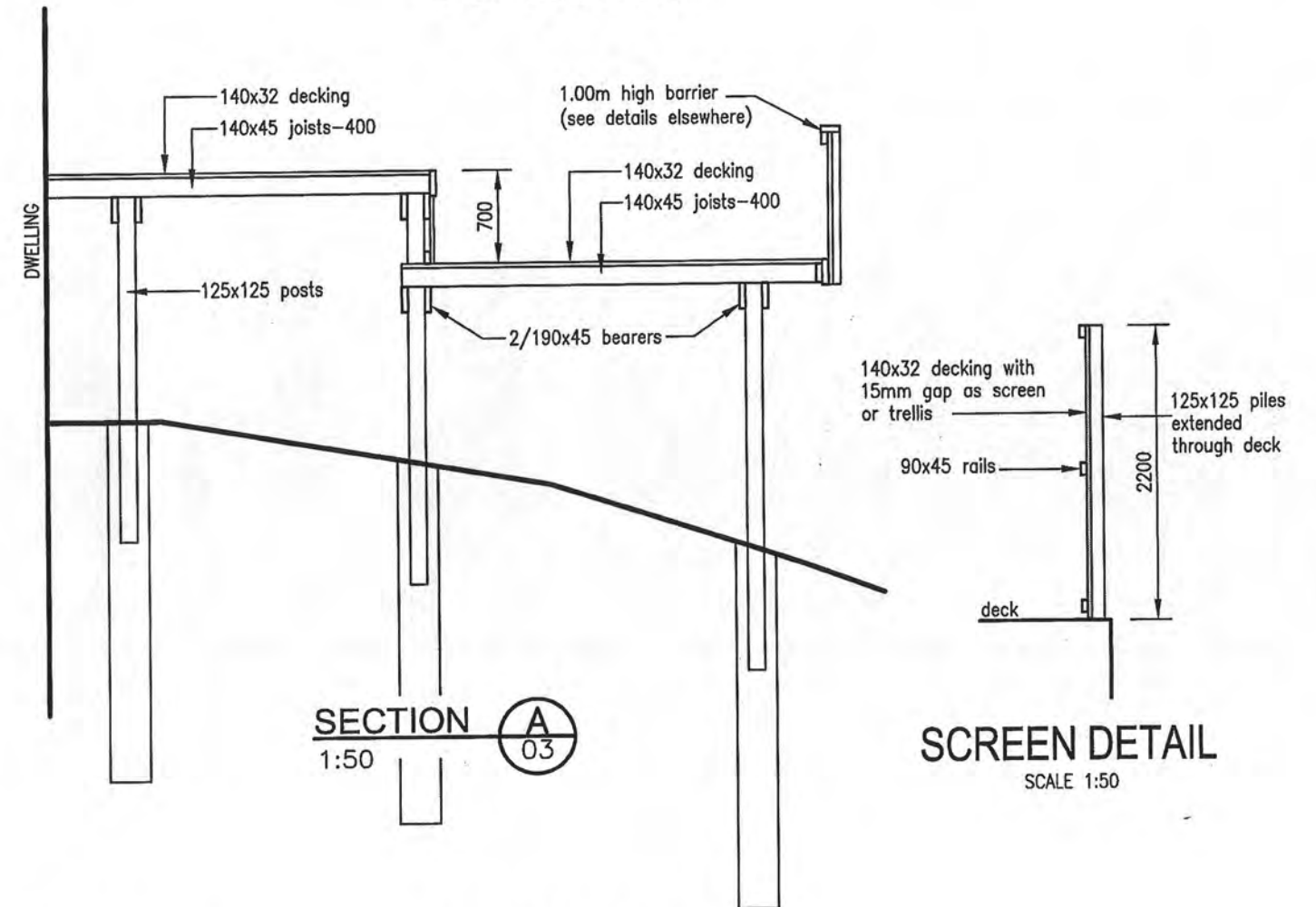
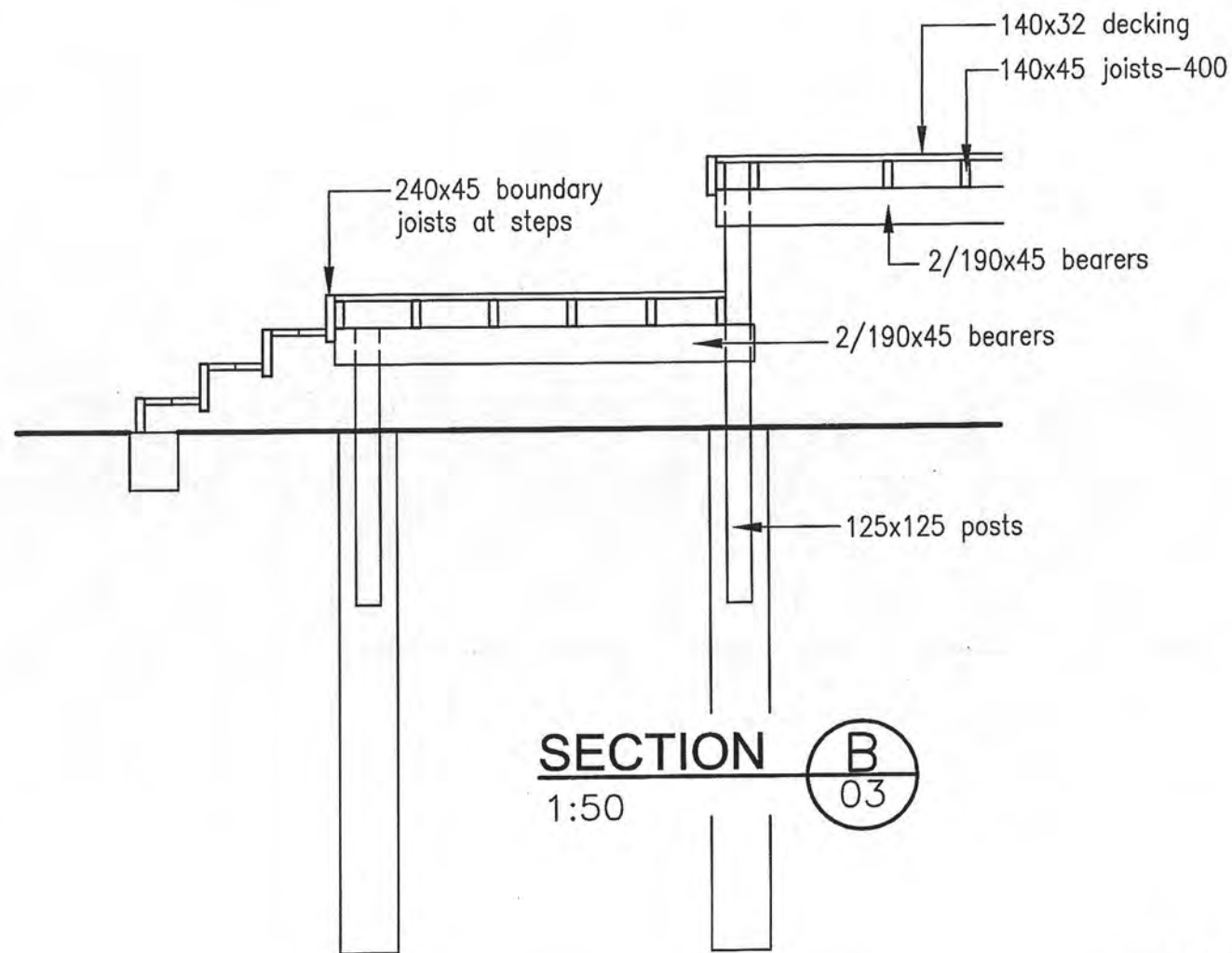
the contractor shall check and verify dimensions before construction

DORAN HOUSE
8 HUGHES ST - WAIKANAE
PROPOSED DECK

scale 1:50
date april 2013
drawn Stuart Jackson
designed Stuart Jackson

plan number
3006-01
Sheet 03 of 6

BC 130232



the contractor shall check and verify dimensions before construction

Bluegum Design

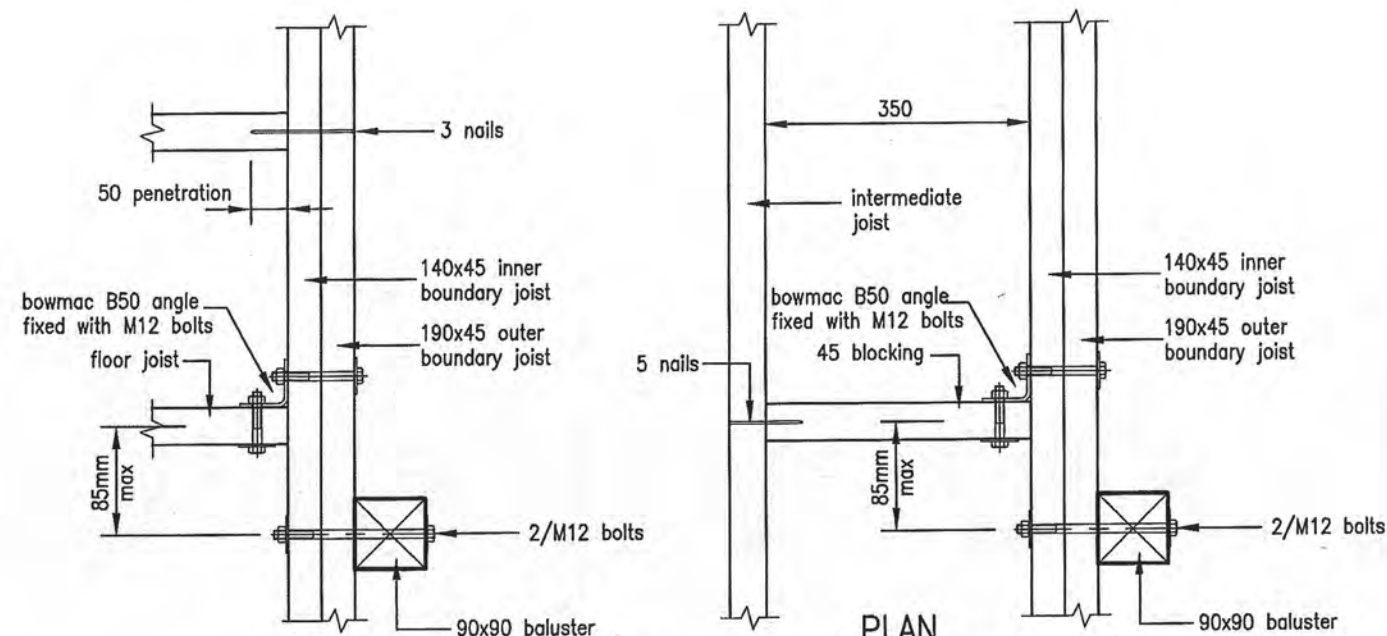
Stuart Jackson
39 Bluegum Road
Paraparaumu Email bluegum_design@clear.net.nz

Phone 04-905-0550
Cell 021-153-5889

DORAN HOUSE
8 HUGHES ST - WAIKANAE
PROPOSED DECK

scale as shown
date april 2013
drawn Stuart Jackson
designed Stuart Jackson

plan number
3006-01
Sheet 04 of 6

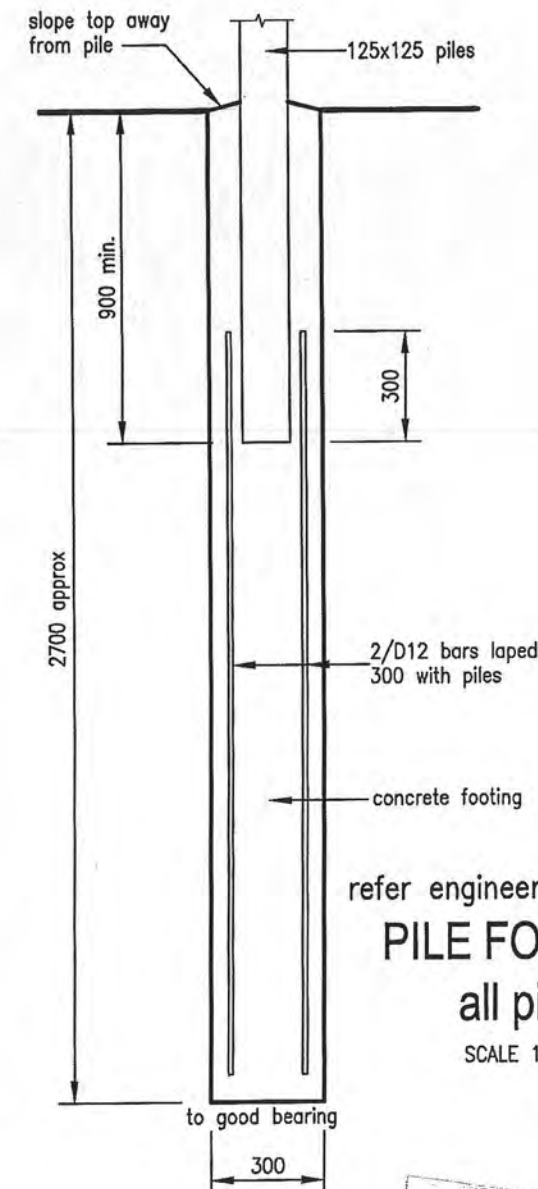


PLAN
BALUSTER FIXING
BOUNDARY JOIST

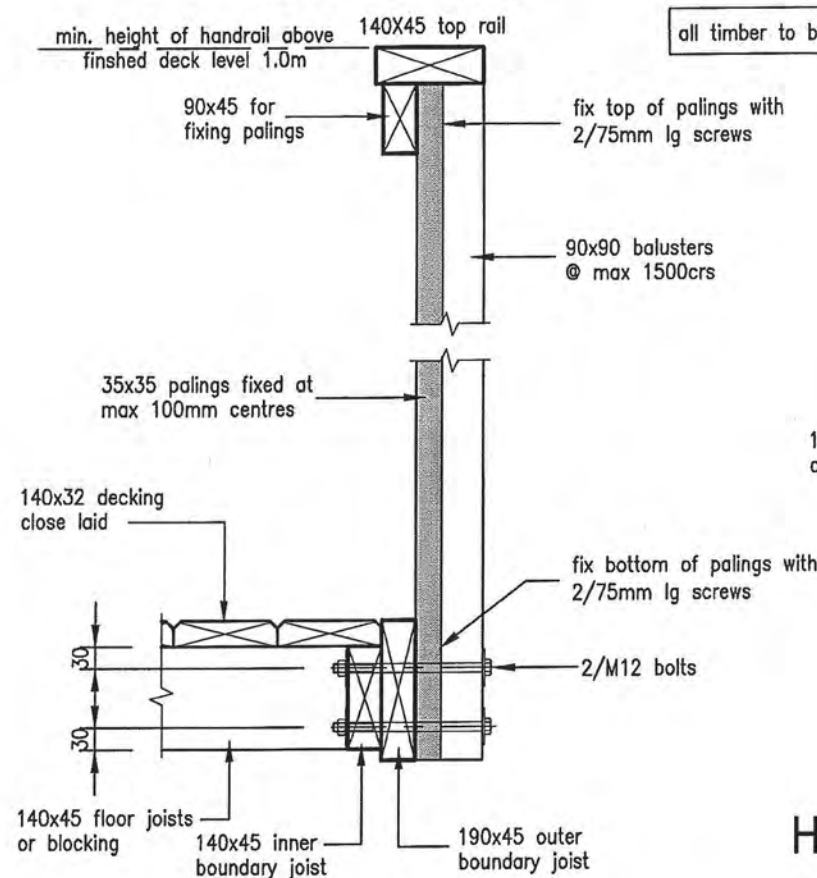
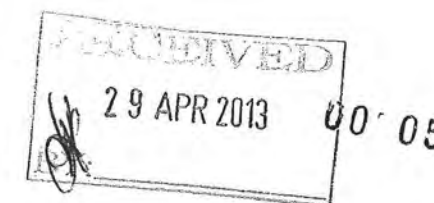
PLAN
BALUSTER FIXING
END JOIST

BOLT FIXING:
all nuts and bolts to have
50x50x3 washers when in contact
with timber

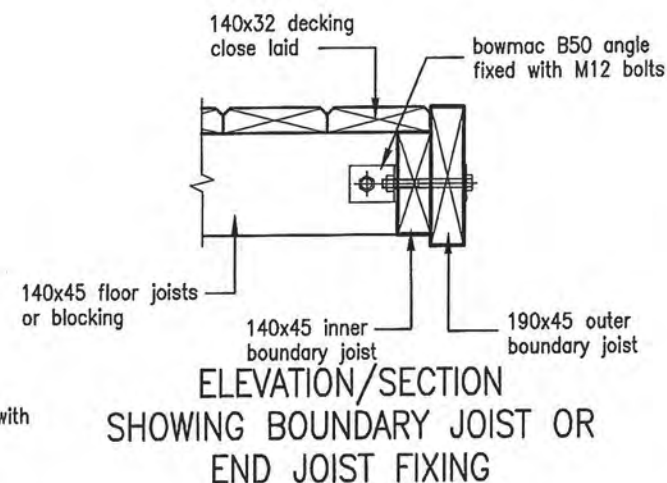
CONCRETE STRENGTH:
to be 25 Mpa @ 28 days unless
detail elsewhere



refer engineers calculations
PILE FOOTING
all piles
SCALE 1:20



ELEVATION/SECTION
SHOWING BALUSTER FIXING



ELEVATION/SECTION
SHOWING BOUNDARY JOIST OR
END JOIST FIXING

BOLTS, PLATES, WASHERS etc
all external fixing plates, nuts, bolts,
washers etc to be stainless steel

all timber to be H3.1

refer engineers calculations
**HANRAIL DETAIL AND FIXING FOR
HOUSE DECK**

SCALE 1:10

the contractor shall check and verify dimensions before construction

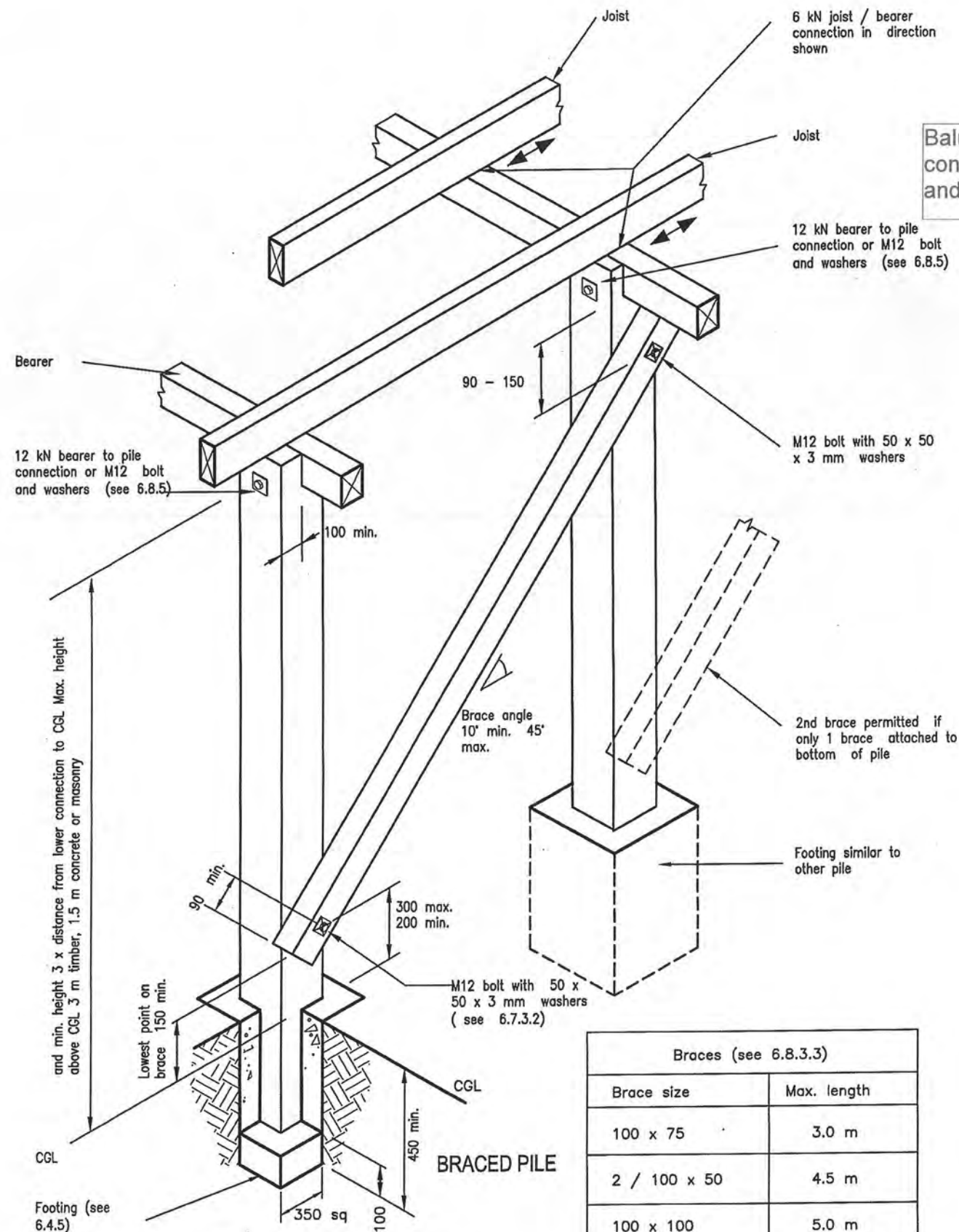
Bluegum Design

Stuart Jackson Phone 04-905-0550
39 Bluegum Road Cell 021-153-5889
Paraparaumu Email bluegum_design@clear.net.nz

DORAN HOUSE
8 HUGHES ST - WAIKANAE
PROPOSED DECK

scale as shown
date april 2013
drawn Stuart Jackson
designed Stuart Jackson

plan number
3006-01
Sheet 05 of 6



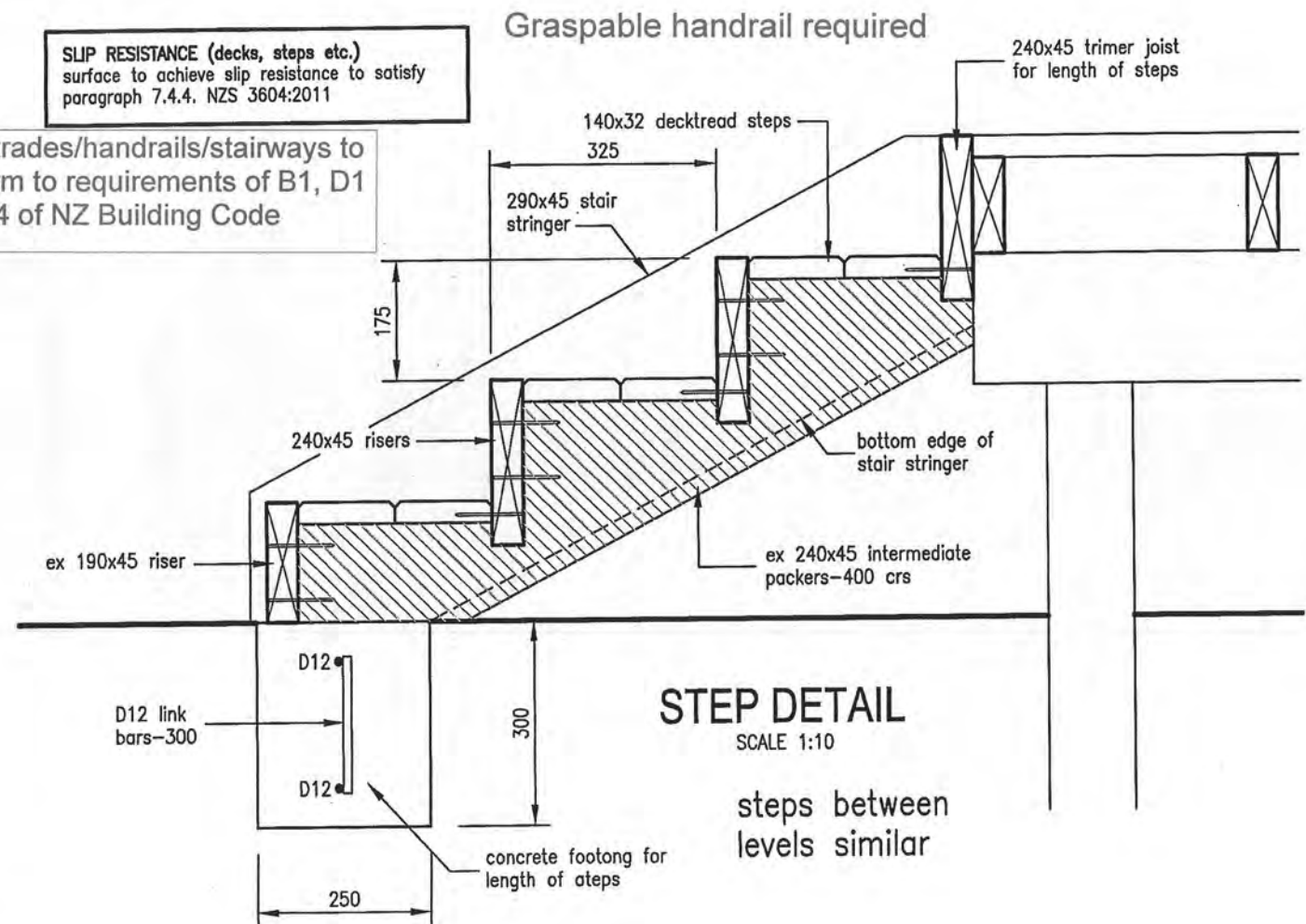
NOTE - (1) Both piles are braced piles. (2) CGL = Cleared ground level. (3) See section 4 for durability requirements

the contractor shall check and verify dimensions before construction

Bluegum Design

Stuart Jackson Phone 04-905-0550
39 Bluegum Road Cell 021-153-5889
Paraparaumu Email bluegum_design@clear.net.nz

DORAN HOUSE
8 HUGHES ST - WAIKANA
PROPOSED DECK



STEP DETAIL
SCALE 1:10

steps between
levels similar



scale n.t.s.
date april 2013
drawn Stuart Jackson
designed Stuart Jackson

plan number
3006-01
Sheet 06 of 6



Base Consulting Engineers Limited

- ☐ Structural Design
- ☐ Foundation Design
- ☐ Geotechnical Investigations
- ☐ Contract Administration

279 Oxford Street
P.O. Box 434
Levin

Telephone Levin 06 367 0088
Paraparaumu 04 297 0088
Fax 06 367 0058
Mobile 027 44 44 080

Mr. T. Doran
8 Hughes Street
WAIKANAE 5036

19 April 2013

13043

Dear Mr. Doran

Re: Proposed Deck
8 Hughes Street, Waikanae

Following the engagement of our services, a foundation investigation was undertaken on 11 April 2013 with the following results.

DESCRIPTION:

The site contains an existing dwelling with a deck attached to the South of the dwelling. It is proposed to extend the deck as shown on the drawings provided by Bluegum Design 3006-01.

The existing dwelling and deck are located on a dune ridge which bisects the property, with the ground falling to both the front and rear boundaries.

The investigation involved 2 Scala Penetrometer probes at the locations shown on the attached plan. The extent of the proposed deck was identified by painted marks on the ground.

CRITERIA:

This investigation has been commissioned to determine if ground conditions meet the minimum requirements or if a Specific Foundation Design is required.

The minimum requirements are set out in NZS3604:2011 "Code of Practice for Light Timber Frame Buildings not Requiring Specific Design," as follows:

3.1.2:

(a) The foundations for the building are supported on good ground with an ultimate bearing capacity of 300kPa.

and

3.3.7.1:

The soil below the underside of the foundations shall be assumed to have an ultimate bearing capacity of not less than 300kPa when:

(a) None of the following is encountered below the depth of the footing at any test site:

- i) Organic topsoil*
- ii) Soft or very soft peat*
- iii) Soft or very soft clay*
- iv) Fill material, except where a certificate of suitability has been issued in terms of NZS 4431:*

(b) Scale Penetrometer tests conducted in accordance with 3.3.2(a), where the number of blows per 100mm in depth of penetration below the underside of the proposed footing at each test site exceeds:

- i) Five down to a depth equal to twice the width of the widest footing below the underside of the proposed footing;*
- ii) Three at greater depths; and*
- iii) Providing the set blow is relatively uniform, the number of blows per 100mm may be obtained by averaging the number of blows for depths not exceeding 300mm; and*

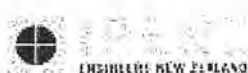
(c) Comparison of the results at all test sites show that soil conditions are closely similar at each test site.

BC 130 232



BC130232





Building Code Clause(s)

PRODUCER STATEMENT – PS1 – DESIGN*(Guidance notes on the use of this form are printed on the reverse side*)*ISSUED BY: BASE CONSULTING ENGINEERS LTD.
(Design Firm)TO: MR. T. DORAN
(Owner/Developer)TO BE SUPPLIED TO: KAPITI COAST DISTRICT COUNCIL
(Building Consent Authority)IN RESPECT OF: DORAN DECK
(Description of Building Work)AT: 8 HUGHES STREET, WAIKANA
(Address)

..... LOT DP SO

We have been engaged by the owner/developer referred to above to provide THE STRUCTURAL DESIGN FOR:
DECK BEARERS, BALUSTRADE, POSTS & FOUNDATIONS services in respect of the requirements of
(Extent of Engagement)
Clause(s) B1.VM1 of the Building Code for
☐ All or ☒ Part only (as specified in the attachment to this statement), of the proposed building work.

The design carried out by us has been prepared in accordance with:

☒ Compliance Documents issued by Department of Building & Housing B1.VM1: AS/NZS: 1170
(verification method / acceptable solution)
NZS: 3603 or

☐ Alternative solution as per the attached schedule

The proposed building work covered by this producer statement is described on the drawings titled DORAN
DWELLING and numbered 13043
together with the specification, and other documents set out in the schedule attached to this statement.

On behalf of the Design Firm, and subject to:

- (i) Site verification of the following design assumptions AS PER BCE REPORT: 13043
- (ii) All proprietary products meeting their performance specification requirements;

I believe on reasonable grounds the building, if constructed in accordance with the drawings, specifications, and other documents provided or listed in the attached schedule, will comply with the relevant provisions of the Building Code.

I, PETER BOLTON am: ☒ CP Eng 56179 #
(Name of Design Professional)

☐ Reg Arch #

I am a Member of: ☒ IPENZ ☐ NZIA and hold the following qualifications: BE CIVIL

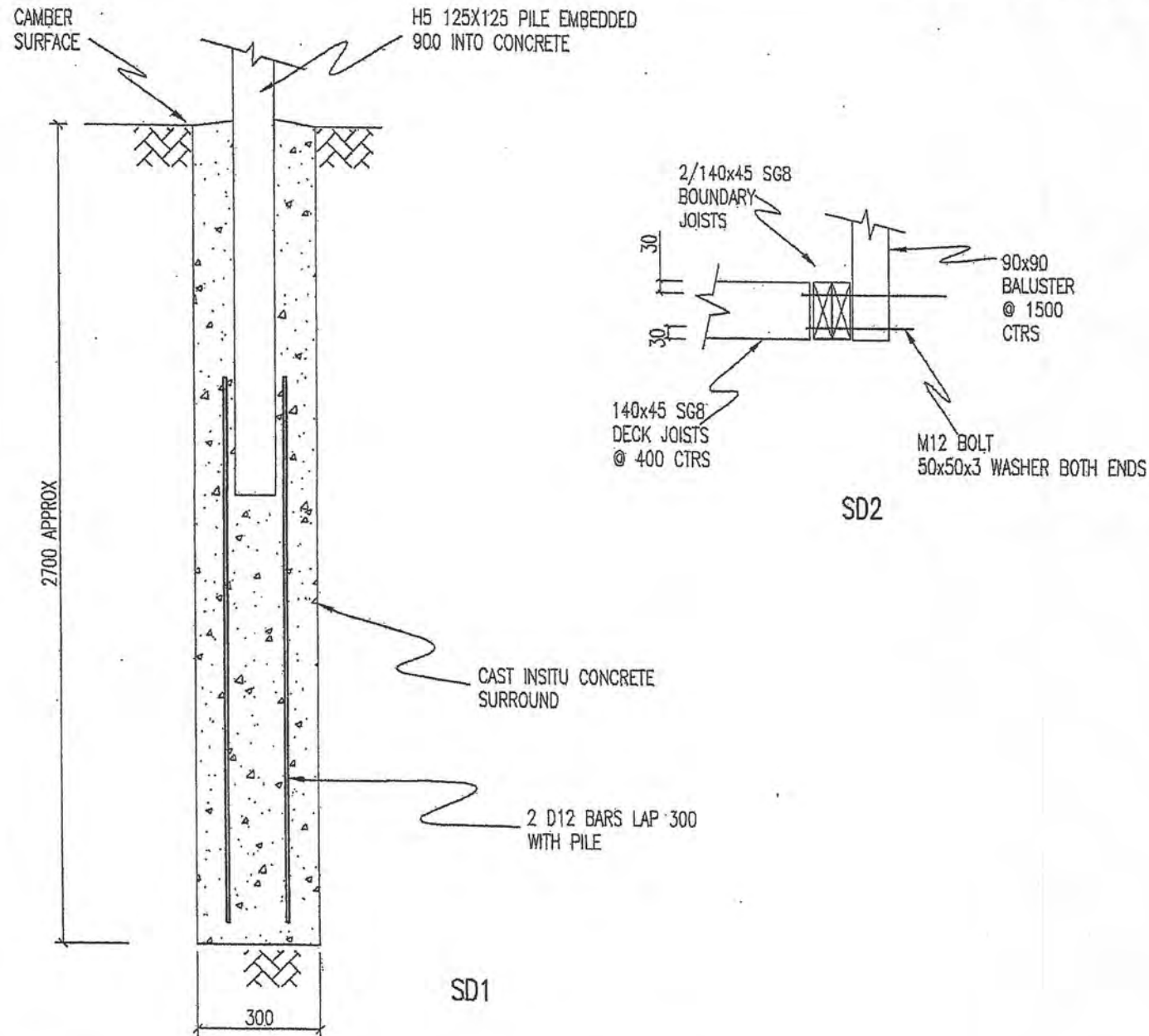
The Design Firm issuing this statement holds a current policy of Professional Indemnity Insurance no less than \$200,000*.
The Design Firm is a member of ACENZ ☐ YES ☒ NO

SIGNED BY PETER BOLTON ON BEHALF OF BASE CONSULTING ENGINEERS LTD.
(Design Firm)

Date: 19/04/13 (signature)

Note: This statement shall only be relied upon by the Building Consent Authority named above. Liability under this statement accrues to the Design Firm only. The total maximum amount of damages payable arising from this statement and all other statements provided to the Building Consent Authority in relation to this building work, whether in contract, tort or otherwise (including negligence), is limited to the sum of \$200,000.*

This form is to accompany Form 2 of the Building (Forms) Regulations 2004 for the application of a Building Consent.



No.	AMENDMENT	NAME	DATE

NOTES:

REFER TO BLUEGUM DESIGN DRAWINGS FOR DIMENSIONS AND DETAILS

BASE OF PILE HOLES TO BE CONFIRMED AS 300 KPA ULTIMATE BEARING CAPACITY AT TIME OF CONSTRUCTION

SUBFLOOR BRACING TO DECK TO BE IN ACCORDANCE WITH NZS3604

PROVIDE MINIMUM 24 HOURS NOTICE FOR INSPECTIONS BY ENGINEER

IT IS THE CLIENTS RESPONSIBILITY TO DETERMINE WHAT INSPECTIONS ARE REQUIRED BY THE ENGINEER AND TO FORWARD THE PS4 TO THE TERRITORIAL AUTHORITY ON COMPLETION

A PS4 PRODUCER STATEMENT CAN ONLY BE ISSUED IF INSPECTIONS ARE CARRIED OUT BY BASE CONSULTING ENGINEERS LTD

Base Consulting Engineers Limited



278 Oxford Street
P.O. Box 434
Levin 6540

Telephone Levin 05-357 0068
Pumpkinburn 04-297 0068
Mobile 027 44 44 090

Copyright of this drawing is vested in Base Consulting Engineers Limited

STRUCTURAL DETAILS

DORAN DECK
8 HUGHES STREET
WAIKANA E

SCALE

AS SHOWN

	NAME	DATE	DRAWING NUMBER
FIELDWORK	PB	11/04/13	13043 SS1
DESIGNED	PB	10/11	
DRAWN	PB	10/11	
CHECKED	PB	10/11	
			SHEET 1 OF 1 SHEETS



NEW ZEALAND INSTITUTE OF
ARCHITECTS
INCORPORATED



Building Code Clause(s) Name

PRODUCER STATEMENT – PS4 – CONSTRUCTION REVIEW

(Guidance notes on the use of this form are printed on the reverse side)

ISSUED BY: BASE CONSULTING ENGINEERS LTD

(Construction Review Firm)

TO: MR. T. DORAN

(Owner/Developer)

TO BE SUPPLIED TO: KAPITI COAST DISTRICT COUNCIL

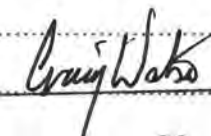
(Building Consent Authority)

IN RESPECT OF: DORAN DECK

(Description of Building Work)

AT: 8 HUGHES STREET, WAIKANA E

(Address)

Signature: 

BCE JOB NO: 13043

LOT:

DP:

SO:

BASE CONSULTING ENGINEERS LTD

(Construction Review Firm)

has been engaged by MR. T. DORAN

to provide ☐ CM1 ☒ CM2 ☐ CM3 ☐ CM4 ☐ CM5 *(Engineering Categories)* or ☐ OL1 ☐ OL2 ☐ OL3 ☐ OL4 *(Architectural Categories)*

observation ☐ or other ☐ services

(Extent of Engagement)

in respect of clause(s) B1 VM1 of the Building Code for the building work described in

documents relating to Building Consent No. and those relating to

Building Consent Amendment(s) Nos. issued during the

course of the works. We have sighted these Building Consents and the conditions of attached to them.

Authorised instructions / variation(s) No. SITE REPORT: BCE JOB NO: 13043 (copies attached)

or by the attached Schedule ☐ have been issued during the course of the works.

On the basis of ☒ this ☐ these review(s) and information supplied by the contractor during the course of the works, I

believe on reasonable grounds that ☐ All ☒ Part only of the building works have been completed in accordance with

the relevant requirements of the Building Consents and Building Consent Amendments identified above, with respect to

Clause(s) B1 of the Building Regulations.

I, PETER BOLTON

(Name of Construction Review Professional)

am: ☒ CPEng No. 56179



Reg Arch No.:

I am a Member of: ☒ IPENZ ☐ NZIA and hold the following qualifications: BE CIVIL

The Construction Review Firm issuing this statement holds a current policy of Professional Indemnity Insurance no less than \$200,000*.

The Construction Review Firm is a member of ACENZ: ☐ YES ☒ NO

SIGNED BY: PETER BOLTON ON BEHALF OF: BASE CONSULTING ENGINEERS LTD

Date: 27/06/13

Signature: 

Note: This statement shall only be relied upon by the Building Consent Authority named above. Liability under this statement accrues to the Construction Review Firm only. The total maximum amount of damages payable arising from this statement and all other statements provided to the Building Consent Authority in relation to this building work, whether in contract, tort or otherwise (including negligence), is limited to the sum of \$200,000.*

This form to accompany Forms 6 or 8 of the Building (Form) Regulations 2004 for the issue of a Code Compliance Certificate.

PRODUCER STATEMENT – PS4 – CONSTRUCTION REVIEW

(Guidance notes on the use of this form are printed on the reverse side)

ISSUED BY: BASE CONSULTING ENGINEERS LTD

(Construction Review Firm)

 Validity authenticated in
 accordance with KCDC Policy 002

TO: MR. T. DORAN

(Owner/Developer)

TO BE SUPPLIED TO: KAPITI COAST DISTRICT COUNCIL

(Building Consent Authority)

01 AUG 2013

IN RESPECT OF: DORAN DECK

(Description of Building Work)

AT: 8 HUGHES STREET, WAIKANA E

(Address)

Signature:

BCE JOB NO: 13043

LOT:

DP:

SO:

BASE CONSULTING ENGINEERS LTD

(Construction Review Firm)

has been engaged by MR. T. DORAN

 to provide ☐ CM1 ☒ CM2 ☐ CM3 ☐ CM4 ☐ CM5 (Engineering Categories) or ☐ OL1 ☐ OL2 ☐ OL3 ☐ OL4 (Architectural Categories)

 observation ☐ or other ☐ services

(Extent of Engagement)

in respect of clause(s) B1 VM1 of the Building Code for the building work described in

documents relating to Building Consent No. and those relating to

Building Consent Amendment(s) Nos. issued during the

course of the works. We have sighted these Building Consents and the conditions of attached to them.

Authorised instructions / variation(s) No. SITE REPORT: BCE JOB NO: 13043 (copies attached)

 or by the attached Schedule ☐ have been issued during the course of the works.

 On the basis of ☒ this ☐ these review(s) and information supplied by the contractor during the course of the works, I

 believe on reasonable grounds that ☐ All ☒ Part only of the building works have been completed in accordance with

the relevant requirements of the Building Consents and Building Consent Amendments identified above, with respect to

Clause(s) B1 of the Building Regulations.

I, PETER BOLTON

(Name of Construction Review Professional)

 am: ☒ CPEng No. 56179

☐

Reg Arch No.

 I am a Member of: ☒ IPENZ ☐ NZIA and hold the following qualifications: BE CIVIL

The Construction Review Firm issuing this statement holds a current policy of Professional Indemnity Insurance no less than \$200,000*.

 The Construction Review Firm is a member of ACENZ: ☐ YES ☒ NO

SIGNED BY: PETER BOLTON ON BEHALF OF: BASE CONSULTING ENGINEERS LTD

Date: 27/06/13

Signature:

Note: This statement shall only be relied upon by the Building Consent Authority named above. Liability under this statement accrues to the Construction Review Firm only. The total maximum amount of damages payable arising from this statement and all other statements provided to the Building Consent Authority in relation to this building work, whether in contract, tort or otherwise (including negligence), is limited to the sum of \$200,000*.

This form to accompany Forms 6 or 8 of the Building (Form) Regulations 2004 for the issue of a Code Compliance Certificate.

GUIDANCE ON USE OF PRODUCER STATEMENTS

Producer statements were first introduced with the Building Act 1992. The producer statements were developed by a combined task committee consisting of members of the New Zealand Institute of Architects, Institution of Professional Engineers New Zealand, Association of Consulting Engineers New Zealand in consultation with the Building Officials Institute of New Zealand. The original suite of producer statements has been revised as at the date of this form as a result of enactment of the Building Act (2004) by these organisations to ensure standard use within the industry.

The producer statement system is intended to provide Building Consent Authorities (BCAs) with reasonable grounds for the issue of a Building Consent or a Code Compliance Certificate, without having to duplicate design or construction checking undertaken by others.

PS1 Design	Intended for the use by a suitably qualified independent design professional in circumstances where the BCA accepts a producer statement for establishing reasonable grounds to issue a Building Consent;
PS2 Design Review	Intended for use by a suitably qualified independent design professional where the BCA accepts an independent design professional's review as the basis for establishing reasonable grounds to issue a Building Consent;
PS3 Construction	Forms commonly used as a certificate of completion of building work are Schedule 6 of NZS 3910:2003 ¹ ; or Schedules E1/E2 of NZIA's SCC 2007 ²
PS 4 Construction Review	Intended for use by a suitably qualified independent design professional who undertakes construction monitoring of the building works where the BCA requests a producer statement prior to issuing a Code Compliance Certificate. This must be accompanied by a statement of completion of building work (Schedule 6).

The following guidelines are provided by ACENZ, IPENZ and NZIA to interpret the Producer Statement.

Competence of Design Professional

This statement is made by a Design Firm that has undertaken a contract of services for the services named, and is signed by a person authorised by that firm to verify the processes within the firm and competence of its designers.

A competent design professional will have a professional qualification and proven current competence through registration on a national competence-based register, either as a Chartered Professional Engineer (CPEng) or a Registered Architect.

Membership of a professional body, such as the Institution of Professional Engineers New Zealand (IPENZ) or the New Zealand Institute of Architects (NZIA) provides additional assurance of the designer's standing within the profession. If the design firm is a member of the Association of Consulting Engineers New Zealand (ACENZ), this provides additional assurance about the standing of the firm.

Persons or firms meeting these criteria satisfy the term "suitably qualified independent design professional".

* Professional Indemnity Insurance

As part of membership requirements, ACENZ requires all member firms to hold Professional Indemnity Insurance to a minimum level.

The PI insurance minimum stated on the front of this form reflects standard, small projects. If the parties deem this inappropriate for large projects the minimum may be up to \$500,000.

Professional Services during Construction Phase

There are several levels of service which a Design Firm may provide during the construction phase of a project (CM1-5)³ (OL1-OL4)². The Building Consent Authority is encouraged to require that the service to be provided by the Design Firm is appropriate for the project concerned.

Requirement to provide Producer Statement PS4

Building Consent Authorities should ensure that the applicant is aware of any requirement for producer statements for the construction phase of building work at the time the building consent is issued as no design professional should be expected to provide a producer statement unless such a requirement forms part of the Design Firm's engagement.

Attached Particulars

Attached particulars referred to in this producer statement refer to supplementary information appended to the producer statement.

Refer Also:

- 1 *Conditions of Contract for Building & Civil Engineering Construction NZS 3910: 2003*
- 2 *NZIA Standard Conditions of Contract SCC 2007 (1st edition)*
- 3 *Guideline on the Briefing & Engagement for Consulting Engineering Services (ACENZ/IPENZ 2004)*

www.acenz.org.nz
www.ipenz.org.nz
www.nzia.co.nz



SITE VISIT RECORD # 1

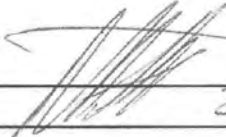
Sheet No. 1 of 1

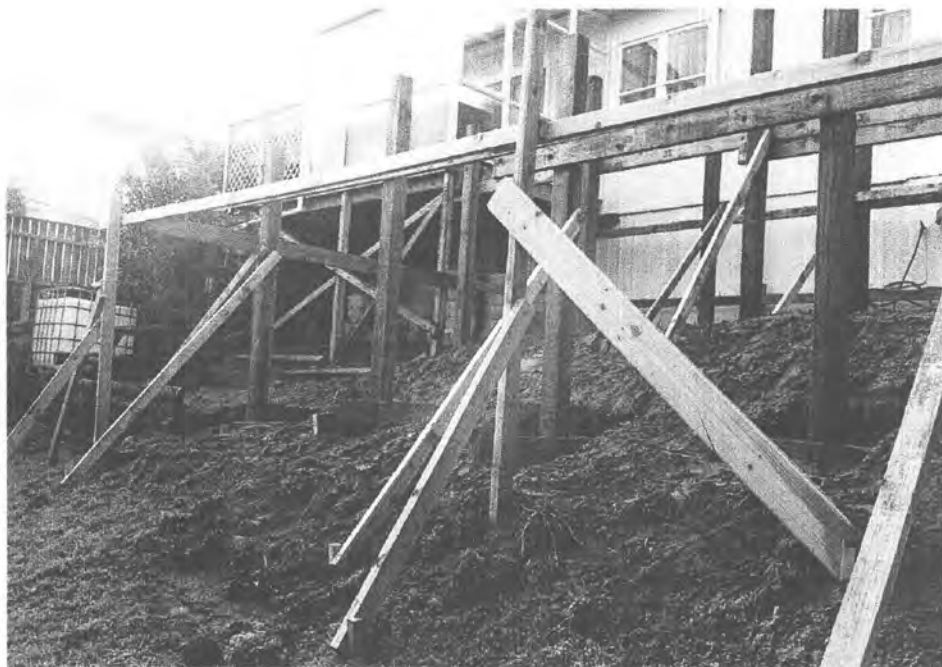
Site: 8 Hughes Street, Waikanae Beach
Builder: Unknown

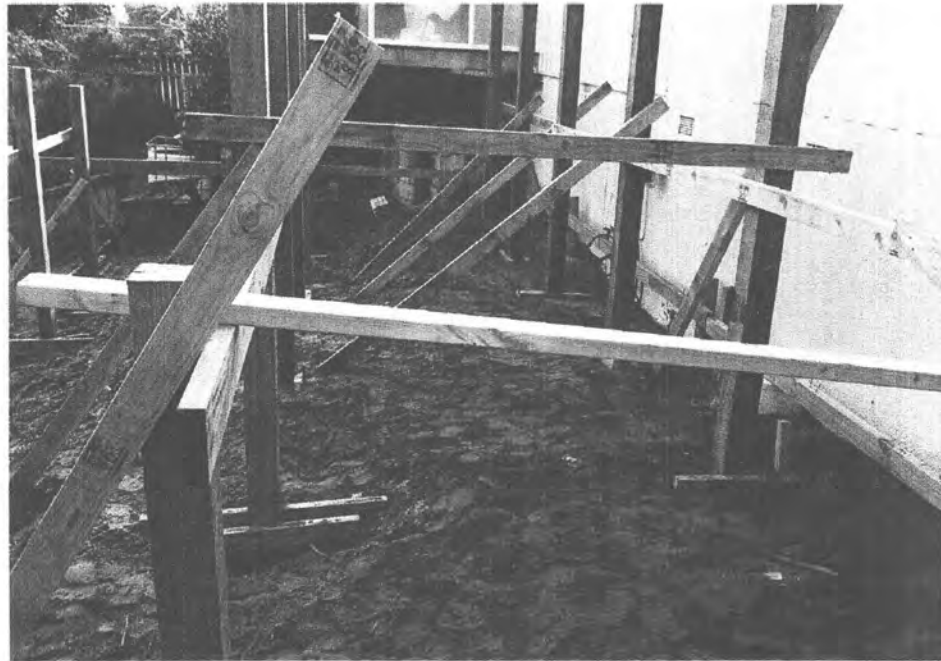
Day & Date of Visit: Monday 24 June 2013	Arrival Time: 13:45	Departure Time: 14:10
Weather and Site Conditions: Fine sunny conditions		
Builder on Site: Yes	No. People On Site: 2	

Builders Activities & Plant On Site (Employees, Subcontractors, idle and working plant etc)
Various builders equipment

Site Records/Observations

- Photos taken: 130624-01 130624-04 130624-02 130624-05 130624-03 130624-06 - Inspection and measurement carried out of all 18 augered holes (depths augered shown on attached plan) - Probe carried out on the bottom of 8 of the augered hole with penetrometer. Bottom 100mm – 200mm of augered hole (typical of augered holes in sand). 125 x 125 posts were in place – no steel has been placed (steel witnessed on site) – builder advises he has spoken with Peter about this – to be placed after concrete is poured
Signature:  24/06/13





Bluegum

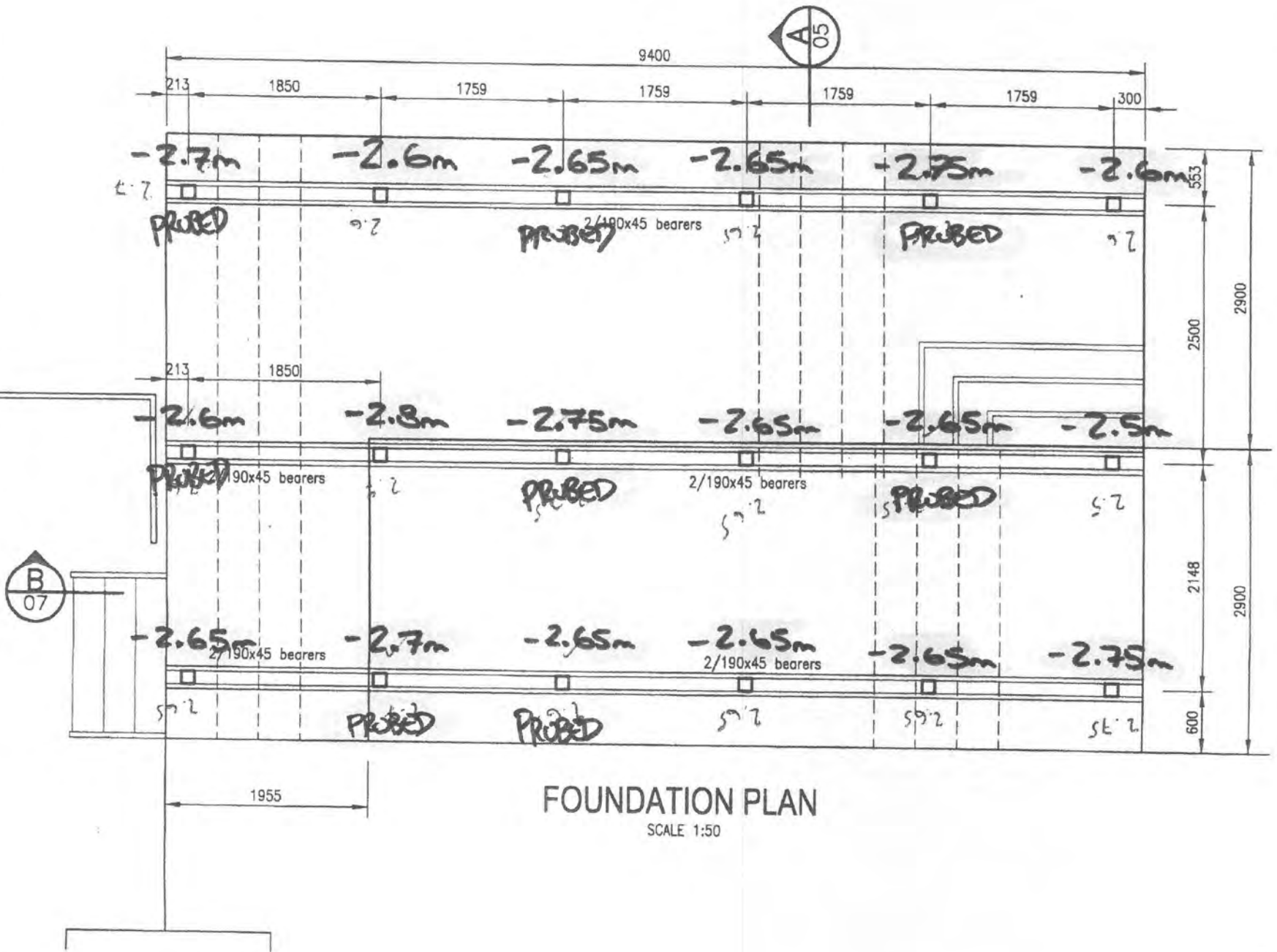
Stuart Jackson
39 Bluegum Road
Paraparaumu Email: bluegum_design@clear.net.nz
Phone: 04-905-0550
Cell: 021-153-5889

DORAN HOUSE
8 HUGHES ST - WAIKANAE

scale 1:50
date April 2013
drawn Stuart Jackson
designed Stuart Jackson

plan number 3006-01
Sht 06 of 7

the contractor shall check and verify dimensions before construction





THE BUILDING		
Street address: <u>8 Hughes Street</u>		
Suburb: <u>Waikanae</u>		
Town/City: <u>Kapiti Coast</u>		Postcode: <u>5036</u>
THE PROJECT		
Building consent number: <u>130232</u>		
THE OWNER(S)		
Name(s): <u>Terry James Doran, Jacqui Lally</u>		
Mailing address: <u>P.O. Box 16</u>		
Suburb:		PO Box/Private Bag: <u>30318</u>
Town/City:		Postcode:
Phone number: <u>04 5865150</u>		Email address: <u>firestonehv@ihug.co.nz</u>
RECORD OF WORK THAT IS RESTRICTED BUILDING WORK		
PRIMARY STRUCTURE		
Work that is restricted building work Tick	Description of restricted building work If necessary, describe the restricted building work	Carried out or supervised Tick ☒ whether you carried out the RBW or supervised someone else.
Foundations and subfloor framing	☒ Built to Engineers Plans Put steel in holes after holes were poured consulted engineer on this it was fine. All fixing were stain less steel.	☒ Carried out ☐ Supervised
Walls	☐	☐ Carried out ☐ Supervised
Validity authenticated in accordance with KCDC Policy 002 01 AUG 2013 Signature: <u>Pragha</u>		
Roof	☐	☐ Carried out ☐ Supervised
Columns and beams	☐	☐ Carried out ☐ Supervised
Bracing	☒ Used 100 x 100 H4 Pine	☒ Carried out ☐ Supervised
Other	☒ Balustrad built at 1m off decking, Pailings no more than 90mm gaps.	☒ Carried out ☐ Supervised

RECORD OF WORK THAT IS RESTRICTED BUILDING WORK

EXTERNAL MOISTURE MANAGEMENT SYSTEMS

Damp proofing ☐		☐ Carried out ☐ Supervised
Roof cladding or roof cladding system ☐		☐ Carried out ☐ Supervised
Ventilation system (for example, subfloor or cavity) ☐		☐ Carried out ☐ Supervised
Wall cladding or wall cladding system ☐		☐ Carried out ☐ Supervised
Waterproofing ☐		☐ Carried out ☐ Supervised
Other ☐		☐ Carried out ☐ Supervised

ISSUED BY

Name and contact details of the licensed building practitioner who is licensed to carry out or supervise restricted building work.

Name: <u>Javed Harris</u>	LBP number: <u>BP121911</u>
Class(es) licensed in: <u>Carpentry</u>	
Plumbers, Gasfitters and Drainlayers registration number (if applicable):	
Mailing address (if different from below):	
Street address/Registered office: <u>31 Frimley tce</u>	
Suburb: <u>Waikanae</u>	Town/City: <u>Kapiti Coast</u>
PO Box/Private Bag:	Postcode: <u>5036</u>
Phone number: <u>04 9050573</u>	Mobile: <u>021 599626</u>
After hours: <u>021 599626</u>	Fax: <u>-</u>
Email address: <u>4promaintenance@gmail.com</u>	Website: <u>-</u>

DECLARATION

I Javed Harris carried out or supervised the restricted building work recorded on this form.

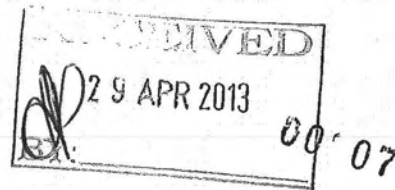
Signature: [Signature] Date: 29/7/2013

BC 130232

Bluegum Design

39 bluegum Road, Paraparaumu
Phone 04-905-0550
Cell 021-153-5889
email bluegum_design@clear.net.nz

SPECIFICATION



**DORAN HOUSE
8 HUGHES STEET
WAIKANAE**

1.1 PRELIMINARIES

The contract shall be a lump sum contract and the following documents shall form this contract.

- a) This specification
- b) Plans 01, to 06
- c) Engineering calculations

1.2 EXTENT OF WORK

The contract is to construct a split level deck system at the rear of the dwelling with access from the exterior path on the east side of the dwelling. The deck is not connected to the dwelling but adjust to and inline with an existing deck which has a conservatory built over a section of this deck. Works include all sub-trades involved.

1.3 BUILDING CONSENT AND FEES

The plans and specifications shall be submitted to the local authority, the owner shall uplift the Building Consent and pay the fees demanded. All work shall be carried out to the contract plans and documents, and any amendments required by the local authority. The Local Body Inspectors shall be notified when inspections are required. NOTE THAT THE OWNER WILL SUBMIT AND PICK UP CONSENT.

1.4 DAMAGE AND REINSTATEMENT

Any damage to grounds, paths, streets, buildings, etc., affected by the contractor or subcontractors operations shall be made good at the contractors expense.

1.5 MAINTENANCE PERIOD

The maintenance period shall be 3 months from completion of all works.

1.6 INSURANCE

The contractor shall take out insurance policies for Public Liability of \$1,000,000 for any one claim, and All risks insurance for \$100,000 and fire insurance for the total value of the dwelling including alterations and GST. Insurance shall be in joint names of Contractor, and Principal. The principal shall have current householders insurance.

1.7 SECURITY

The premises shall be kept secure at all times, and measures shall be taken each night to prevent entry by unauthorised persons. These measures shall be approved by the Supervisor.

1.8 DIMENSIONS

The contractor shall be responsible for verification of all dimensions before any construction, or ordering of materials or services. Any serious deviations shall be brought to the notice of the Designer.

3.0 CARPENTER

3.1 GENERAL

The works shall be constructed in accordance with NZS 3604:2011, the Building Code and the Engineers design. The contractor shall supply and keep a copy of NZS 3604:2011 on site at all times, for the reference of the contractor and supervisor. All materials and workmanship shall be to best trade practice.

3.2 TIMBER

All timber shall be graded in accordance with NZS 3631:1988, and be of the best of the several grades. Treatment of timber shall be as required by NZS 3604:2011. Exterior timber shall be clear grade Pinus Radiata SG8 treated to H3.2. with piles being H5 treated. All structural timber to have MAG grading as shown on the plans.

3.3 BRACING

The deck structure shall be braced using timber bracing as described on the plans. Fix as shown on the plans

3.4 FLOORING/DECKING

Decking to be 140x32 SG8 H3.2 treated with antislip grooves upper most and close laid



Base Consulting Engineers Limited

- ☐ Structural Design
- ☐ Foundation Design
- ☐ Geotechnical Investigations
- ☐ Contract Administration

279 Oxford Street
P.O. Box 434
Levin

Telephone Levin 06 367 0088
Paraparaumu 04 297 0088
Fax 06 367 0058
Mobile 027 44 44 080

Mr. T. Doran
8 Hughes Street
WAIKANAE 5036

19 April 2013

13043

Dear Mr. Doran

Re: Proposed Deck 8 Hughes Street, Waikanae

Following the engagement of our services, a foundation investigation was undertaken on 11 April 2013 with the following results.

DESCRIPTION:

The site contains an existing dwelling with a deck attached to the South of the dwelling. It is proposed to extend the deck as shown on the drawings provided by Bluegum Design 3006-01.

The existing dwelling and deck are located on a dune ridge which bisects the property, with the ground falling to both the front and rear boundaries.

The investigation involved 2 Scala Penetrometer probes at the locations shown on the attached plan. The extent of the proposed deck was identified by painted marks on the ground.

CRITERIA:

This investigation has been commissioned to determine if ground conditions meet the minimum requirements or if a Specific Foundation Design is required.

The minimum requirements are set out in NZS3604:2011 "Code of Practice for Light Timber Frame Buildings not Requiring Specific Design," as follows:

3.1.2:

(a) *The foundations for the building are supported on good ground with an ultimate bearing capacity of 300kPa,*

and

3.3.7.1:

The soil below the underside of the foundations shall be assumed to have an ultimate bearing capacity of not less than 300kPa when:

(a) *None of the following is encountered below the depth of the footing at any test site:*

i) *Organic topsoil*

ii) *Soft or very soft peat*

iii) *Soft or very soft clay*

iv) *Fill material, except where a certificate of suitability has been issued in terms of NZS 4431;*

(b) *Scale Penetrometer tests conducted in accordance with 3.3.2(a), where the number of blows per 100mm in depth of penetration below the underside of the proposed footing at each test site exceeds:*

i) *Five down to a depth equal to twice the width of the widest footing below the underside of the proposed footing;*

ii) *Three at greater depths; and*

iii) *Providing the set blow is relatively uniform, the number of blows per 100mm may be obtained by averaging the number of blows for depths not exceeding 300mm; and*

(c) *Comparison of the results at all test sites show that soil conditions are closely similar at each test site.*

RESULTS:

We infer from the results of the fieldwork that the building site comprises dune sand to the full depth of the investigation, which is loose at the surface but which becomes more dense with depth.

From our test results an Acceptable Bearing Capacity as required above, was obtained at approximately 2.8 metres below existing ground level.

RECOMMENDATION:

Based on the results of our investigation we are of the opinion that the ground conditions do not meet the requirements of NZS 3604:2011 etc, and as such will require a specific foundation design.

Given the restricted access to the site, we recommend that for the ground conditions described above the structure be founded on cast insitu concrete piles as per the design enclosed.

LIMITATIONS

This report has been prepared for the Kapiti Coast District Council and our client. Ground conditions may vary between the locations tested. This report should not be relied upon by any third party without the approval of the authors.

This report summarizes the results of the fieldwork undertaken, and does not address the issues of flood zones or seismic zones as may be identified on the Kapiti Coast District Council's District Plan. If applicable, these will be noted in the PIM Information provided by the Kapiti Coast District Council.

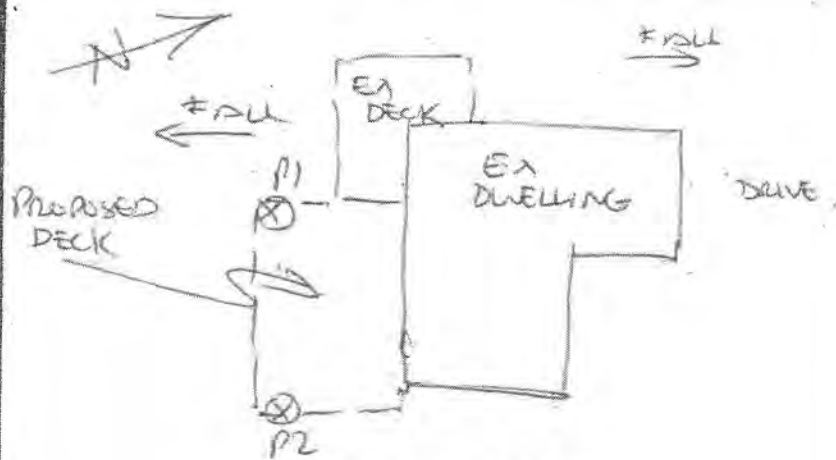
We trust this meets with your requirements.

Yours faithfully

Base Consulting Engineers Ltd


Peter Bolton CPEng MIPENZ IntPE(NZ)
Director

JOB 13043 CLIENT DOANE 2 LOCATION 8 HUGHES ST WALKWAY BY R BOWEN CHECKED DATE 11/04/13



SITE PLAN

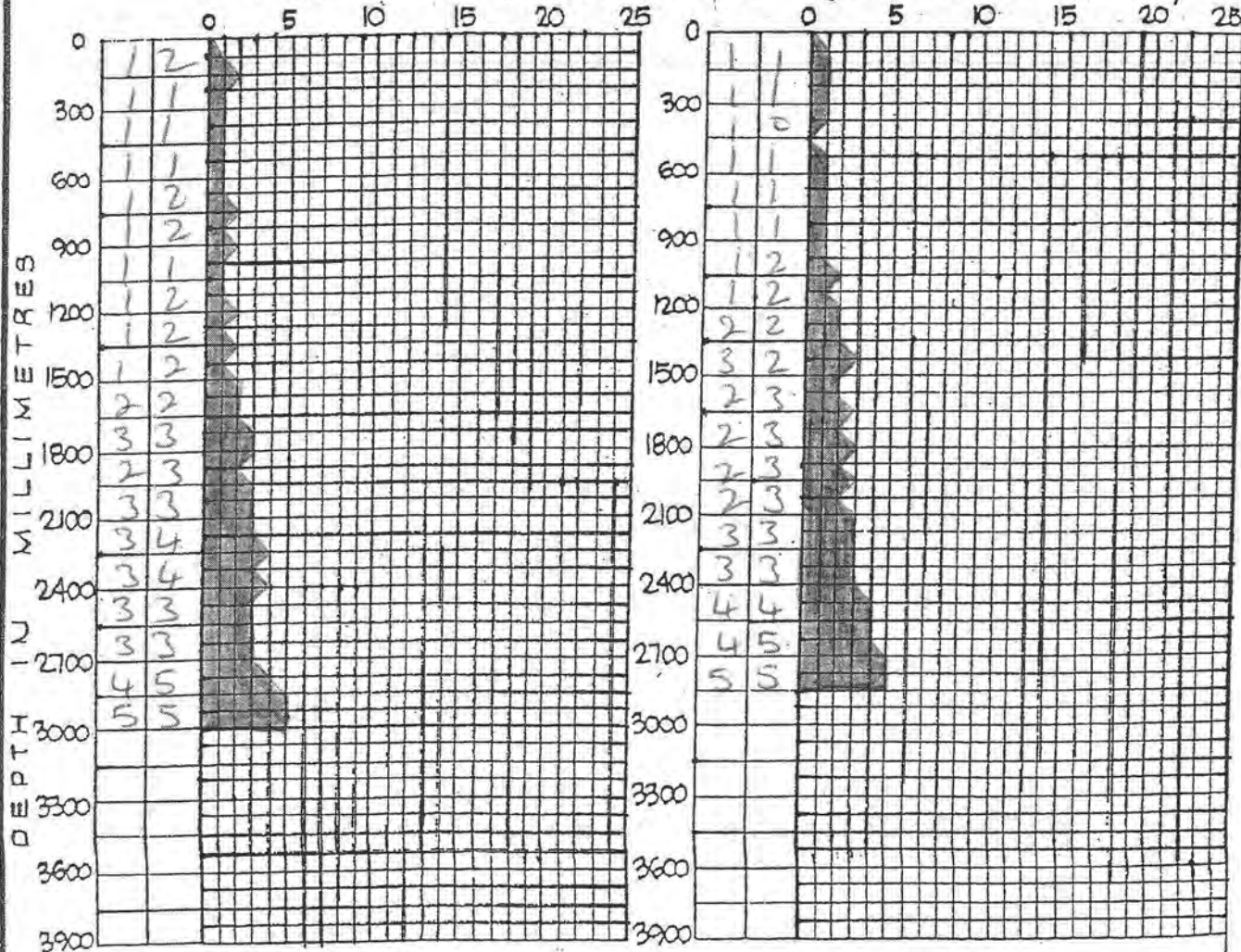
HUGHES ST

Scale 1: _____

PROBING NO P1

PROBING NO P2

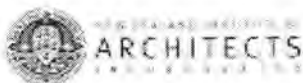
PENETRATION RESISTANCE (BLOWS PER 75 mm)



SCALA PENETRATION TESTS

9 kg hammer falling 1/2 a metre to a steel anvil, driving a 16 mm diameter rod fitted with a 20 mm diameter cone
BASE

CONSULTING ENGINEERS LTD.
BOX 434 LEVIN



Building Code Clause(s)

PRODUCER STATEMENT – PS1 – DESIGN*(Guidance notes on the use of this form are printed on the reverse side*)*ISSUED BY: BASE CONSULTING ENGINEERS LTD.
(Design Firm)TO: MR. T. DORAN
(Owner/Developer)TO BE SUPPLIED TO: KAPITI COAST DISTRICT COUNCIL
(Building Consent Authority)IN RESPECT OF: DORAN DECK
(Description of Building Work)AT: 8 HUGHES STREET, WAIKANAE
(Address)

..... LOT DP SO

We have been engaged by the owner/developer referred to above to provide THE STRUCTURAL DESIGN FOR:
DECK BEARERS, BALUSTRADE POSTS & FOUNDATIONS services in respect of the requirements of
(Extent of Engagement)Clause(s) B1 VM1 of the Building Code for
☐ All or ☒ Part only (as specified in the attachment to this statement), of the proposed building work.

The design carried out by us has been prepared in accordance with:

☒ Compliance Documents issued by Department of Building & Housing B1 VM1: AS/NZS: 1170
(verification method / acceptable solution)
NZS: 3603 or☐ Alternative solution as per the attached scheduleThe proposed building work covered by this producer statement is described on the drawings titled DORAN
DWELLING and numbered 13043

together with the specification, and other documents set out in the schedule attached to this statement.

On behalf of the Design Firm, and subject to:

- (i) Site verification of the following design assumptions AS PER BCE REPORT: 13043
- (ii) All proprietary products meeting their performance specification requirements;

I believe on reasonable grounds the building, if constructed in accordance with the drawings, specifications, and other documents provided or listed in the attached schedule, will comply with the relevant provisions of the Building Code.

I, PETER BOLTON am: ☒ CPEng 56179 #
(Name of Design Professional)☐ Reg Arch #I am a Member of: ☒ IPENZ ☐ NZIA and hold the following qualifications: BE CIVILThe Design Firm issuing this statement holds a current policy of Professional Indemnity Insurance no less than \$200,000*.
The Design Firm is a member of ACENZ ☐ YES ☒ NOSIGNED BY PETER BOLTON ON BEHALF OF BASE CONSULTING ENGINEERS LTD.
(Design Firm)

Date 19/04/13 (signature)

Note: This statement shall only be relied upon by the Building Consent Authority named above. Liability under this statement accrues to the Design Firm only. The total maximum amount of damages payable arising from this statement and all other statements provided to the Building Consent Authority in relation to this building work, whether in contract, tort or otherwise (including negligence), is limited to the sum of \$200,000*.

This form is to accompany Form 2 of the Building (Forms) Regulations 2004 for the application of a Building Consent.

GUIDANCE ON USE OF PRODUCER STATEMENTS

Producer statements were first introduced with the Building Act 1992. The producer statements were developed by a combined task committee consisting of members of the New Zealand Institute of Architects, Institution of Professional Engineers New Zealand, Association of Consulting Engineers New Zealand in consultation with the Building Officials Institute of New Zealand. The original suite of producer statements has been revised at the date of this form as a result of enactment of the Building Act (2004) by these organisations to ensure standard use within the industry.

The producer statement system is intended to provide Building Consent Authorities (BCAs) with reasonable grounds for the issue of a Building Consent or a Code Compliance Certificate, without having to duplicate design or construction checking undertaken by others.

PS1 Design	Intended for use by a suitably qualified independent design professional in circumstances where the BCA accepts a producer statement for establishing reasonable grounds to issue a Building Consent;
PS2 Design Review	Intended for use by a suitably qualified independent design professional where the BCA accepts an independent design professional's review as the basis for establishing reasonable grounds to issue a Building Consent;
PS3 Construction	Forms commonly used as a certificate of completion of building work are Schedule 6 of NZS 3910:2003 ¹ or Schedules E1/E2 of NZIA's SCC 2007 ²
PS4 Construction Review	Intended for use by a suitably qualified independent design professional who undertakes construction monitoring of the building works where the BCA requests a producer statement prior to issuing a Code Compliance Certificate.

This must be accompanied by a statement of completion of building work (Schedule 6).

The following guidelines are provided by ACENZ, IPENZ and NZIA to interpret the Producer Statement.

Competence of Design Professional

This statement is made by a Design Firm that has undertaken a contract of services for the services named, and is signed by a person authorised by that firm to verify the processes within the firm and competence of its designers.

A competent design professional will have a professional qualification and proven current competence through registration on a national competence-based register, either as a Chartered Professional Engineer (CPEng) or a Registered Architect.

Membership of a professional body, such as the Institution of Professional Engineers New Zealand (IPENZ) or the New Zealand Institute of Architects (NZIA), provides additional assurance of the designer's standing within the profession. If the design firm is a member of the Association of Consulting Engineers New Zealand (ACENZ), this provides additional assurance about the standing of the firm.

Persons or firms meeting these criteria satisfy the term "suitably qualified independent design professional".

* Professional Indemnity Insurance

As part of membership requirements, ACENZ requires all member firms to hold Professional Indemnity Insurance to a minimum level.

The PI insurance minimum stated on the front of this form reflects standard, small projects. If the parties deem this inappropriate for large projects the minimum may be up to \$500,000.

Professional Services during Construction Phase

There are several levels of service which a Design Firm may provide during the construction phase of a project (CM1-CM5)³ (OL1-OL4)². The Building Consent Authority is encouraged to require that the service to be provided by the Design Firm is appropriate for the project concerned.

Requirement to provide Producer Statement PS4

Building Consent Authorities should ensure that the applicant is aware of any requirement for producer statements for the construction phase of building work at the time the building consent is issued as no design professional should be expected to provide a producer statement unless such a requirement forms part of the Design Firm's engagement.

Attached Particulars

Attached particulars referred to in this producer statement refer to supplementary information appended to the producer statement.

Refer Also:

- ¹ *Conditions of Contract for Building & Civil Engineering Construction NZS 3910: 2003*
- ² *NZIA Standard Conditions of Contract SCC 2007 (1st edition)*
- ³ *Guideline on the Briefing & Engagement for Consulting Engineering Services (ACENZ/IPENZ 2004)*

www.acenz.org.nz
www.ipenz.org.nz
www.nzia.co.nz



Memorandum from licensed building practitioner: Certificate of design work
Section 45 and Section 30C, Building Act 2004

Please fill in the form as fully and correctly as possible.

If there is insufficient room on the form for requested details, please continue on another sheet and attach the additional sheet(s) to this form:

THE BUILDING

Street address: 8 HUGHES STREET

Suburb

Town/City: WAIKANA E

Postcode:

THE OWNER

Name: MR. T. DORAN

Mailing address:

Suburb:

PO Box/Private Bag:

Town/City:

Postcode:

Phone number:

Email address:

BASIS FOR PROVIDING THIS MEMORANDUM

I am providing this memorandum in my role as the: Please tick the option that applies (✓)	
☐	sole designer of all of the RBW design outlined in this memorandum – I carried out all of the RBW design myself – no other person will be providing any additional memoranda for the project
☐	lead designer who carried out some of the RBW design myself but also supervised other designers – this memorandum covers their RBW design work as well as mine, and no other person will be providing any additional memoranda for the project
☐	lead designer for all but specific elements of RBW – this memorandum only covers the RBW design work that I carried out or supervised and the other designers will provide their own memoranda relating to their specific RBW design
☒	specialist designer who carried out specific elements of RBW design work as outlined in this memorandum – other designers will be providing a memorandum covering the remaining RBW design work

IDENTIFICATION OF DESIGN WORK THAT IS RESTRICTED BUILDING WORK (RBW)

I, Peter Bolton, carried out the following design work that is restricted building work

PRIMARY STRUCTURE: B1

Design work that is restricted building work	Description	Carried out/ supervised	Reference to plans and specifications
Tick (✓) if included Cross (X) if excluded	[If appropriate, provide details of the restricted building work]	[Specify whether you carried out this design work or supervised someone else carrying out this design work]	[If appropriate, specify references]

Primary structure			
All RBW Design work relating to B1	()	() Carried out () Supervised	
Foundations and subfloor framing	()	() Carried out () Supervised	
Walls	()	() Carried out () Supervised	
Roof	()	() Carried out () Supervised	
Columns and beams	()	() Carried out () Supervised	
Bracing	()	() Carried out () Supervised	
Other	(√)	Deck Bearers Balustrade Foundations (√) Carried out () Supervised	13043

EXTERNAL MOISTURE MANAGEMENT SYSTEMS: E2

All RBW design work relating to E2	()	() Carried out () Supervised	
Damp proofing	()	() Carried out () Supervised	
Roof cladding or roof cladding system	()	() Carried out () Supervised	
Ventilation system (for example, subfloor or cavity)	()	() Carried out () Supervised	
Wall cladding or wall cladding system	()	() Carried out () Supervised	
Waterproofing	()	() Carried out () Supervised	
Other	()	() Carried out () Supervised	

FIRE SAFETY SYSTEMS: C1 – C6

Emergency warning systems, evacuation and fire service operation systems, suppression or control systems, or	()	() Carried out () Supervised	
--	-----	-----------------------------------	--

Note: The design of fire safety systems is only restricted building work when it involves small-to-medium apartment buildings as defined by the Building (Definition of Restricted Building Work) Order 2011.

Note: continue on another page if necessary.

WAIVERS AND MODIFICATIONS

Waivers or modifications of the building code are required ☐ Yes ☒ No

If Yes, provide details of the waivers or modifications below:

Clause	Waiver/modification required
<i>[List relevant clause numbers of building code]</i>	<i>[Specify nature of waiver or modification of building code]</i>

Note: continue on another page if necessary.

ISSUED BY

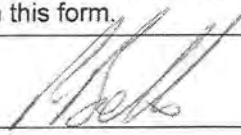
Name: Peter Bolton	LBP or Registration number: 56179
The practitioner is a: ☐ Design LBP ☐ Registered architect ☒ Chartered Professional Engineer	
Design Entity or Company (optional): Base Consulting Engineers Ltd	
Mailing address (if different from below):	
Street address / Registered office: 279 Oxford Street	
Suburb:	Town/City: Levin
PO Box/Private Bag:	Postcode:
Phone number:	Mobile: 0274 444 080
After Hours:	Fax:
Email address: peter@basecon.co.nz	Website:

DECLARATION

I Peter Bolton *[name of practitioner]*, CPEng,

state that I have applied the skill and care reasonably required of a competent design professional in carrying out or supervising the Restricted Building Work (RBW) described in this form, and that based on this, I also state that the RBW:

- Complies with the building code; or
- Complies with the building code subject to any waiver or modification of the building code recorded on this form.

Signature: 

Date: 19 April 2013



Job DORAN DWELLING

By P Bolton

8 HUGHES ST WAIKANA

Date 11/04/13

PREMISE

To provide the structural design for deck as per the drawings provided Bluegun Design 3006

A limited Foundation Investigation reveals loose sand to 3000 mm depth

Restricted access suggest augered piles

Design to be in accordance with

AS/NZS 1170 Structural Design Actions
NZS 3603 Timber Code

Loadings

Deck

dead
live

0.30 kPa
2.00 kPa

Seismic

$$V = C_d W_t$$

$$C_d = \frac{C(T_1) S_p}{R}$$

$$= \frac{0.944 \times 0.7}{1.57}$$

$$= 0.42$$

$$W_t = G + \psi Q_u$$

$$\psi = 0.3$$

$$W_t = 0.3 + 2(0.3) = 0.9 \text{ kPa}$$

$$C(T_1) = C_h(T) \cdot R \cdot T_1$$

$$= 2.36 \times 0.4$$

$$= 0.944$$

$$V = 0.42 \times 0.9 \times 56.4$$

$$= 2.1 \text{ kN} \rightarrow$$

$$R = \frac{(\mu - 1) T_1}{0.7} + 1$$

$$= 1.57$$

$$\mu = 2.0 \text{ ductile}$$

$$\text{Area} = 6 \times 9.4 = 56.4 \text{ m}^2$$



Job

By

Date

Consider Beams

$$w^* = [1.2(0.3) + 1.5(2.0)] \times 2.9 + 1.2(0.3) \quad \begin{matrix} - \text{spc} = 1.76 - 0.1 \\ \leq 1.66 \end{matrix} \quad 1.8$$

$$\leq 8.8 \text{ kN/m}$$

Moment Capacity ϕM_b

$$\phi M_b \leq w L^2 / 8$$

$$\leq 8.8 \times 1.8^2 / 8$$

$$\leq 3.6 \text{ kNm}$$

For 2 / 190x45 S68

Moment Capacity ϕM_b

$$\phi M_b = k_1 k_2 F_b Z$$

$$\leq 0.6 \times 0.8 \times 14.0 \times 0.54$$

$$\leq 3.4 \text{ kNm} \quad \text{OK}$$

$$Z = b d^2 / 6$$

$$\leq 9.0 \times 19^2 / 6$$

$$\leq 542 \text{ cm}^3$$

Deflection

$$\delta = \frac{5 w L^4}{384 E I}$$

$$\leq \frac{5 \times 5.8 \times 1.8^4}{384 \times 8.5 \times 51.4}$$

$$\leq 3 \text{ mm} \quad \text{OK}$$

$$w = 2.0 \times 2.9$$

$$\leq 5.8 \text{ kN/m}$$

$$I = b d^3 / 12$$

$$\leq 9.0 \times 19^3 / 12$$

$$\leq 5144 \text{ cm}^4$$

BEAMS
2 / 190x45
S68
spc 1850

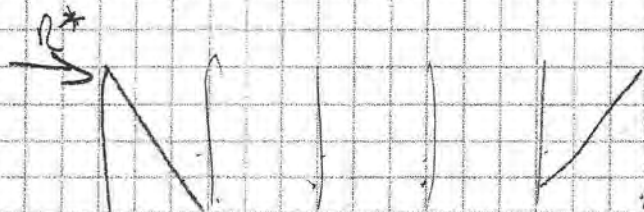
CONSIDER BRACING

$$V = 21 \text{ kN}$$

For 5 braced

$$R = \frac{V}{5}$$

$$\leq 4.2 \text{ kN}$$





Job _____

By _____

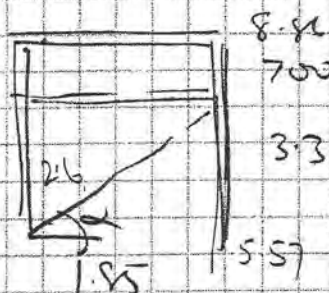
Date _____

$$\alpha = \tan^{-1} \frac{2.6}{1.95}$$

$$= 55^\circ$$

$$T = \frac{R}{\cos \alpha}$$

$$= 7.3 \text{ kN}$$



For 140x90 brace - MIL 50H.

$$\Phi N_c = \phi_t A_k k_y$$

$$= 0.7 \times 6.45 \times 60 \times \frac{126000}{1000}$$

$$= 45 \text{ kN. ok}$$

$$\phi_t = 0.7$$

$$A_k = 140 \times 90$$

$$= 126000$$

MIL
N/A

Check Embedment

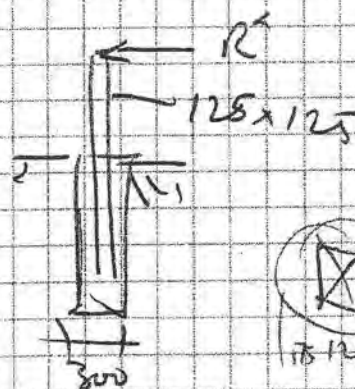
$$R^* = 21/8, 1.2 \text{ kN}$$

Design Moment M^*

$$M^* = R^* L$$

$$= 1.2 \times 2.6$$

$$= 3.0 \text{ kNm}$$



Moment Capacity ϕM_b

$$\Phi M_b = k_y k_z \phi_z$$

$$= 0.8 \times 0.85 \times 1.0 \times 14.0 \times 0.326 \times 10^3$$

$$= 3.1 \text{ kNm. ok}$$

$$H_z = 1.0$$

$$H = A \left(1 + \sqrt{1 + 2.18 \frac{L}{A}} \right)$$

$$= 0.07 \left(1 + \left(1 + 2.18 \times \frac{2.6}{0.07} \right)^{1/2} \right)$$

$$= 0.7 \sim \phi 3.0 \text{ ok}$$

$$A = 1.17 \frac{P}{S_B}$$

$$= 1.17 \times 1.2$$

$$= 0.3 \times 63$$

$$= 0.07$$

125x125 HS
POSTS
EMBED
2500 MIN
300 ϕ



Job _____

By _____

Date _____

Consider BRUSHING

Leading from Guidance on Barrier Design 2012

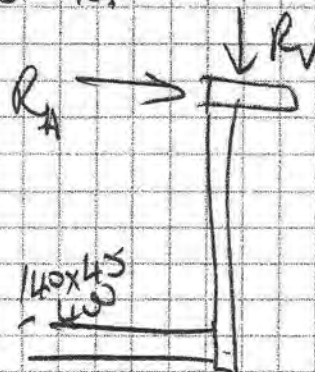
Try 90x90 posts @ 1500 c/c

$$R_H = 0.6 \text{ kN @ post}$$

$$= 0.35 \text{ kN/m}$$

$$= 0.35 \times 1.5$$

upline



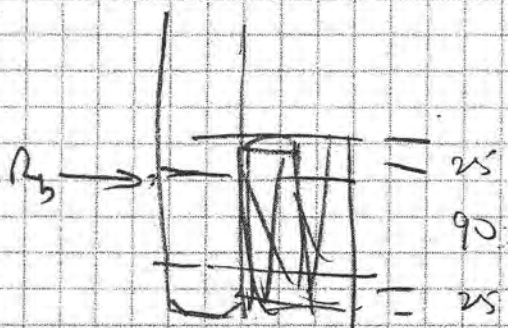
For 2/140x45 joists

Design Moment M^*

$$M^* = R_H L$$

$$= 0.6 \times 1.0$$

$$= 0.6 \text{ kNm}$$



$$R_D = \frac{M^*}{d}$$

$$= \frac{0.6}{0.09}$$

$$= 7.0 \text{ kN}$$

For M12 bolt. OK

Check bearing on timber

Bearing Strength ϕN_b

$$\phi N_b = k_1 k_2 \phi F_{t,k} d_p$$

$$= 0.8 \times 0.8 \times 1.0 \times 8.9 \times \frac{2500}{1000}$$

$$= 14.2 \text{ kN OK}$$

$$A_b = 50 \times 50$$

$$= 2500 \text{ mm}^2$$

2/140x45
868

OK

2-M12
50x50
both ends

CAMBER
SURFACE

H5 125X125 PILE EMBEDDED
900 INTO CONCRETE

2700 APPROX

2/140x45 SG8
BOUNDARY
JOISTS

30

30

90x90
BALUSTER
@ 1500
CTRS

140x45 SG8
DECK JOISTS
@ 400 CTRS

M12 BOLT
50x50x3 WASHER BOTH ENDS

SD2

CAST INSITU CONCRETE
SURROUND

2 D12 BARS LAP 300
WITH PILE

SD1

300

No.	AMENDMENT	NAME	DATE

NOTES:

REFER TO BLUEGUM DESIGN DRAWINGS FOR
DIMENSIONS AND DETAILS

BASE OF PILE HOLES TO BE CONFIRMED AS
300 KPA ULTIMATE BEARING CAPACITY AT TIME
OF CONSTRUCTION

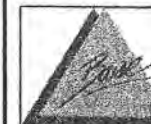
SUBFLOOR BRACING TO DECK TO BE IN
ACCORDANCE WITH NZS3604

PROVIDE MINIMUM 24 HOURS NOTICE FOR
INSPECTIONS BY ENGINEER

IT IS THE CLIENTS RESPONSIBILITY TO
DETERMINE WHAT INSPECTIONS ARE REQUIRED
BY THE ENGINEER AND TO FORWARD THE PS4
TO THE TERRITORIAL AUTHORITY ON COMPLETION

A PS4 PRODUCER STATEMENT CAN ONLY BE
ISSUED IF INSPECTIONS ARE CARRIED OUT BY
BASE CONSULTING ENGINEERS LTD

Base Consulting Engineers Limited



278 Oxford Street
P O Box 434
Levin 5540

Telephone Levin 06-367 0098
Paraparaumu 04-297 0088
Mobile 027 44 44 080

Copyright of this drawing is vested in Base Consulting Engineers Limited

STRUCTURAL DETAILS

DORAN DECK
8 HUGHES STREET
WAIKANA E

SCALE
AS SHOWN

	NAME	DATE	DRAWING NUMBER
FIELDWORK	PB	11/04/13	13043 SS1
DESIGNED	PB	10/11	
DRAWN	PB	10/11	
CHECKED	PB	10/11	
SHEET 1 OF 1 SHEETS			

GIB EzyBrace® 2011 Software



Demand Calculation Sheet

single storey

V06/11

Job Details

Name Doran
Street and Number 8 Hughes St
Lot and DP Number Lot 2, DP 23534
City/Town/District Waikanae
Designer S. Jackson
Company Name bluegum design
Date 23/04/2013



Select Lining Option

10 or 13 mm GIB® Plasterboard

Building Specification

Number of storeys single
Floor Loading 2kPa
Foundation Type subfloor
Cladding Weight (subfloor) light

Single Floor

Cladding Weight light
Roof Weight light
Room in Roof Space no
Roof Pitch (degrees)
Roof height above eaves (m)
Building height to apex (m) 2.7
Ground to lower floor level (m) 2.7

Complete Single Floor Column only

25
1.0

check heights, storey less than 2 m

Stud Height (m) 2.6
Building Length (m) 9.4
Building Width (m) 5.8
Building Plan Area (m2) 55

3.0
2.4
20.0
10.0
200

Building Location

Wind Zone

Very High

Select by Building Consent Authority Map or Preference Very High
Wind Region Preference selected
Lee Zone Preference selected
Ground Roughness Preference selected
Site Exposure Preference selected
Topographic Class Preference selected

Earthquake Zone

3

Soil Type

D&E (deep to very soft)

Annual exceedance probability

1/500 (NZS3604:2011 default)

Bracing Units required for Wind

Demand W (BU)

subfloor Walls single
along 218
across 353

Bracing Units required for Earthquake

Demand along / across E (BU)

Walls
subfloor single
702 288

Doran

S. Jackson

GIB EzyBrace® 2011 Software

Subfloor Bracing Calculation Sheet					Subfloor Along			V06/11
Along								
Bracing Line		Bracing Elements provided				Wind	Earthq.	
1	2	3	4	5	6	8W	9EQ	
Line Label	Minimum BUs Req/Ach	Bracing Element No.	Supplier	Bracing Type	Number or Length L (m)	BUs Achieved	BUs Achieved	
a	<i>line totals</i>	1	NZS3604	braced piles	2	320	240	
<i>W</i>	320							
<i>EQ</i>	240							
b	<i>line totals</i>	1	NZS3604	braced piles	2	320	240	
<i>W</i>	320							
<i>EQ</i>	240							
c	<i>line totals</i>	1	NZS3604	braced piles	2	320	240	
<i>W</i>	320							
<i>EQ</i>	240							
d	<i>line totals</i>							
<i>W</i>								
<i>EQ</i>								
e	<i>line totals</i>							
<i>W</i>								
<i>EQ</i>								
f	<i>line totals</i>							
<i>W</i>								
<i>EQ</i>								
g	<i>line totals</i>							
<i>W</i>								
<i>EQ</i>								
h	<i>line totals</i>							
<i>W</i>								
<i>EQ</i>								
i	<i>line totals</i>							
<i>W</i>								
<i>EQ</i>								
j	<i>line totals</i>							
<i>W</i>								
<i>EQ</i>								
						Wind	Earthq.	
Totals Achieved						960	720	
						<i>OK</i>	<i>OK</i>	
Totals Required (from Sheet A)						218	702	

GIB EzyBrace® 2011 Software

Subfloor Bracing Calculation Sheet					Subfloor Across		V06/11
Along							
Bracing Line	Bracing Elements provided				Wind	Earthq.	
1	2	3	4	5	6	8W	9EQ
Line Label	Minimum BUs Req/Ach	Bracing Element No.	Supplier	Bracing Type	Number or Length L (m)	BUs Achieved	BUs Achieved
m	<i>line totals</i>	1	NZS3604	braced piles	1	160	120
W	160						
EQ	120						
n	<i>line totals</i>	1	NZS3604	braced piles	1	160	120
W	160						
EQ	120						
o	<i>line totals</i>	1	NZS3604	braced piles	1	160	120
W	160						
EQ	120						
p	<i>line totals</i>	1	NZS3604	braced piles	1	160	120
W	160						
EQ	120						
q	<i>line totals</i>						
W							
EQ							
r	<i>line totals</i>						
W							
EQ							
s	<i>line totals</i>						
W							
EQ							
t	<i>line totals</i>						
W							
EQ							
u	<i>line totals</i>						
W							
EQ							
v	<i>line totals</i>						
W							
EQ							
					Wind	Earthq.	
Totals Achieved					640	480	
					OK	not enough	
Totals Required (from Sheet A)					353	702	

Memorandum from licensed building practitioner:

Certificate of Design Work

Section 30C or Section 45, Building Act 2004



Please fill in the form as fully and correctly as possible.

If there is insufficient room on the form for requested details, please continue on another sheet and attach the additional sheet(s) to this form.

THE BUILDING
8 Hughes Street Waikanae

THE OWNER(S)
Mr and Mrs Doran
8 Hughes Street Waikanae
Telephone number: 027-443-7605
Email address: firestonehv@ihug.co.nz

IDENTIFICATION OF DESIGN WORK THAT IS RESTRICTED BUILDING WORK

I Stuart Jackson carried out / supervised the following design work that is restricted building work:

PRIMARY STRUCTURE

Design work that is restricted building work	Description of restricted building work	Carried out or supervised	Reference to plans and specifications
Tick ☒	<i>If appropriate, provide details of the restricted building work</i>	<i>Specify whether you carried out this design work or supervised someone else carrying out this design work</i>	<i>If appropriate, specify references</i>
Foundations and subfloor framing ☒		☐ Carried out ☒ Supervised	See engineers calc's
Walls ☐		☐ Carried out ☐ Supervised	
Roof ☐		☐ Carried out ☐ Supervised	
Columns and beams ☐		☒ Carried out ☐ Supervised	
Bracing ☒		☒ Carried out ☐ Supervised	
Other ☐		☐ Carried out ☐ Supervised	

EXTERNAL MOISTURE MANAGEMENT SYSTEMS

Design work that is restricted building work	Description of restricted building work	Carried out or supervised	Reference to plans and specifications
Tick ☒	<i>If appropriate, provide details of the restricted building work</i>	Tick ☒ whether you carried out this design work or supervised someone else carrying out this design work	<i>If appropriate, specify references</i>
Damp proofing ☐		☐ Carried out ☐ Supervised	
Roof cladding or roof cladding system ☐		☐ Carried out ☐ Supervised	
Ventilation system (for example, subfloor or cavity) ☐		☐ Carried out ☐ Supervised	
Wall cladding or wall cladding system ☐		☐ Carried out ☐ Supervised	
Waterproofing ☐		☐ Carried out ☐ Supervised	
Other ☐		☐ Carried out ☐ Supervised	

FIRE SAFETY SYSTEMS

Design work that is restricted building work	Description of restricted building work	Carried out or supervised	Reference to plans and specifications
Tick ☒	<i>If appropriate, provide details of the restricted building work</i>	Tick ☒ whether you carried out this design work or supervised someone else carrying out this design work	<i>If appropriate, specify references</i>
Emergency warning systems ☒		☒ Carried out ☐ Supervised	
Evacuation and fire-service operation systems ☐		☐ Carried out ☐ Supervised	
Suppression or control systems ☐		☐ Carried out ☐ Supervised	
Other ☐		☐ Carried out ☐ Supervised	

Note: The design of fire safety systems is only restricted building work when it involves small-to-medium apartment buildings as defined by the Building (Definition of Restricted Building Work) Order 2011

Note: continue on another page if necessary.

WAIVERS AND MODIFICATIONS

Are waivers or modifications of the building code required? ☐ Yes ☒ No

If Yes, provide details of the waivers or modifications below:

Clause	Waiver / Modification required
List relevant numbers of building code	Specify nature of waiver or modification of building code

Note: continue on another page if necessary.

ISSUED BY

Name and contact details of the licensed building practitioner who is licensed to carry out or supervise design work that is restricted building work

Name: **Stuart Jackson**

LBP or Registration number: **BP120943**

The practitioner is: ☒ Design LBP ☐ Registered architect ☐ Chartered professional engineer

Mailing address (if different from below):

Street address / Registered office: **39 Bluegum Road**

Suburb: **Paraparaumu Beach**

Town/City: **Paraparaumu**

PO Box/Private Bag:

Postcode: **5032**

Phone number: Landline: **04-905-0550**

Mobile: **021 153 5889**

Daytime: **04-905-0550**

After hours: **04-905-0550**

Fax number:

Email address: **bluegum_design@clear.net.nz**

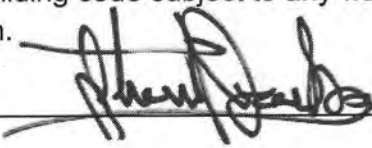
Website:

DECLARATION

I, **Stuart Jackson**, [name of practitioner]

certify that the design work that is restricted building work recorded on this form:

- a) Complies with the building code; or
- b) Complies with the building code subject to any waiver or modification of the building code recorded on this form.

Signature 

Date: 24/04/13

00' 14

KCDC Building Consent Authority
Building Consent Documentation Filed

BC No.	BC130232
Street Address.	8 Hughes St Waikanae

Tick indicates document(s) included in this Building Consent

Building Consent Application,	✓
Application checksheet,	✓
Costing schedule,	✓
Plans and specifications,	✓
Invoice and receipt,	✓
Processing records/checksheets,	✓
Inspection page printouts	✓
1-10, 12, 21	
Building consent and memorandum,	✓
Inspection reports,	✓
Application for CCC,	✓
Code of Compliance Certificate.	✓
Producer statements and supporting documentation,	✓
Peer review documents,	N/A
Fire design documents,	
Requests for further information and other correspondence,	
Amendments,	
Supplementary information,	
Energy work certificates,	
Notices to Fix.	✓

This form comprises part of the Building Consent documentation and indicates the contents of the Building Consent File. Refer KCDC Policy 029.

KCDC CODE COMPLIANCE REVIEW CHECK SHEET

Criteria: All building work except for minor works or major projects. Refer BI-WI-024

Address: 8 Hughes St Waikanae	Date: 31/7/13
	BC No: 130232

application for code compliance certificate (Form 278) completed	☒ Y	☐ N
--	------------------------------------	-------------------------

Confirm all required inspections have been completed and passed:	Answer: ☒ Yes or No
--	--

If inspections have been missed, what supporting info and method of verification has been provided to compensate for missed inspection. (Describe):

Work in accordance with approved consent and approved amendments	☒ Yes	☐ No
If no, has NTF been issued:	N/A	☐ Yes ☐ No
Have items of non compliance been resolved and NTF uplifted.	N/A	☐ Yes ☐ No

Note: If work is not in accordance with consent, (and approved amendments) or NTF matters have not been resolved, suspend application for Code Compliance Certificate

Supporting documentation required in building consent addenda (Accept in accordance with KCDC Policy 002) Form completed during BC Approval process

Tick (✓) indicates yes, N/A indicates considered - but not applicable	Req'd	Supplied	Accept
copy of electrical certificate	NA		
copy of gas certificate	NA		
an "as-built" drainage plan	NA		
plumbing (Form 125) for pressure test and installation piped services	NA		
drainage (Form 126) for stormwater installation	NA		
drainage (Form 127) for private sewer installation	NA		
✓ a Construction Review (PS4) statement for Structural engineering	✓	✓	✓
a Construction Review (PS4) statement for Fire engineering	NA		
a Construction Review (PS4) statement for Geo-technical engineering	NA		
Roof cladding warranty	NA		
Solar water heating technical specifications	NA		
wall cladding/texture coating installation applicator warranty	NA		
a copy of the lift certificate	NA		
a certificate from the fire alarm installer	NA		
a certificate from the sprinkler installer	NA		
a copy of wet-area membrane installers warranty	NA		
A copy of deck membrane manufacturer's installers warranty/guarantee	NA		
FPIS (verifier) Fire Systems Certification	NA		
✓ Builders LBP checked - OK.	✓	✓	✓

KCDC CODE COMPLIANCE REVIEW CHECK SHEET

If specified supporting documentation has not been provided, what alternative information or verification method has been provided to compensate. (describe):

Compliance Schedule

Is a new or amended compliance schedule required?

Y

☒ N

If "Y" Has it been issued? (Refer note below)

Y

☐ N

If the new/ revised compliance schedule has not been issued, what action has been taken to ensure it will be issued? Outline:

Note: If the draft/ revised compliance schedule has not been issued, the Code Compliance Certificate cannot be issued. Suspend issuing CCC until this matter is addressed.

Building consent requirements.

Are there any item specified in the building consent or PIM that have not been completed.

Outline: _____

Are there any development impact fees to be paid outstanding? Yes / ☒ No (if yes, CCC cannot be issued)

Approve to issue Code Compliance Certificate if all other outstanding fees are paid. ☒ YES / NO

Building officer:

Signature: Craig Watson

Date: 31/7/13

Name: CRAIG WATSON

Co-reviewer:

Signature: Michelle Schwan

Date: 1/8/13

Name: Michelle Schwan

00 12

BC

VEHICLE CROSSING
INSPECTION FORM

Date:

To:

Building Inspectors

Owner:

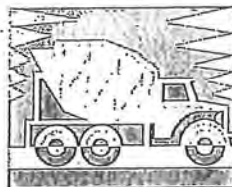
Address:

Can you please inspect the above Vehicle Crossing, footpath and
berm and return the completed form to me signed.

Thank you

Inspected by:		
Date Inspected:		
Approved:	YES	NO

Comments:



Form 436

BC.....

PROCESSING CHECKLIST

No = Plans, specifications & documentation not complying with the Building Code &/or Bld. Act (The reason specified alongside each prompt)

Yes = Plans, specifications & documentation complying with the Building Code &/or Bld. Act (The reason specified alongside each prompt)

N/A = Not Applicable to this application. (The deletion of whole sections as N/A is permitted)
For alternatives comment below each section.

Note – The further information requests are identified by hand written numbers and corresponding on FIR letters / e-mails sent

Category.....

Site Plan (NZS 3604 Sec 3.4, 4.5 Code clB1, B2, E1, E2 F1 & F2 Sect. 72, 75 BA04)

N/A NO YES

Comments

- ☐ ☐ ☒ Wind zone High W/ High Specific..... GIS.....
- ☐ ☐ ☐ Flooding / ponding hazards GIS
- ☐ ☐ ☐ Slippage/ fault line hazards GIS
- ☐ ☐ ☐ Erosion, river & coastal hazards GIS
- ☐ ☐ ☒ Subsidence/ soft soil hazards Site inspection notes
- ☐ ☐ ☒ Corrosion zone Sea spray or Zone 1 GIS
- ☐ ☐ ☐ Soil contamination GIS
- ☐ ☐ ☒ Distances to boundaries / siting..... District plan.....
- ☐ ☐ ☒ Floor levels/ contours..... E2/AS1 & NZS 3604 E1.....
- ☐ ☐ ☐ Two or More Allotments..... Sec 75 – 83 Bld Act.....
- ☐ ☐ ☐ Noise / sound insulation (airport & highway).....

Specific Design (Verified Online PS2 B1 B2 VM1)

Comments

- ☐ ☐ ☒ PS1 Design Certificate B1 B2 VM1.....
- ☐ ☐ ☐ PS2 Peer Review..... B1 B2 VM1.....
- ☐ ☐ ☒ Calculations VM1.....
- ☐ ☐ ☒ CPeng Verified Online

Deck Beavers Balustrade posts & Handrails

Concrete / Foundation Plan (NZS 3604 NZS 4210 & 4229 E2/AS1)

Comments

Layout

- ☐ ☐ ☐ Layout dimensions..... NZS 3604.....
- ☐ ☐ ☐ Control joints..... NZS 3604
- ☐ ☐ ☐ Slab thickening..... NZS 3604, cl 7.5.....
- ☐ ☐ ☐ Alternative.....specify reason

Section

- ☐ ☐ ☐ Depth & width..... NZS 3604.....
- ☐ ☐ ☐ Reinforcement..... NZS 3604;B2.....
- ☐ ☐ ☐ Plate fixings..... NZS 3604;B2 cl 7.5.....
- ☐ ☐ ☐ DPM NZS 3604;B2.....
- ☐ ☐ ☐ Engineer design and Calcs..... B1;B2.....
- ☐ ☐ ☐ Concrete strength..... B1;B2 cl 4.8.2.....
- ☐ ☐ ☐ Alternative.....specify reason

Timber / Subfloor Plan (NZS3604 NZS 3602 & 3640, B1,B2)

Comments

Layout

N/A NO YES

- ☐ ☐ ☒ Layout dimensions.....
- ☐ ☐ ☒ Bearers details.....B1; B2.....
- ☐ ☐ ☒ Joist details.....B1:B2.....
- ☒ ☐ ☐ Alternative.....specify reason.....

Section

- ☐ ☐ ☒ Foundation type/size..... NZS 3604;B2.....
- ☐ ☐ ☒ Piles post sizes & treatment NZS 3604;3602;3640;B2.....
- ☐ ☐ ☒ Pile c/c..... NZS 3604.....
- ☐ ☐ ☒ Fixing..... NZS 3604;B2.....
- ☐ ☐ ☒ Coatings(durability)..... NZS3604;B2.....
- ☐ ☐ ☐ Ventilation & Access to sub floor spaces NZS 3604.....
- ☒ ☐ ☐ Alternative.....specify reason

*
If the addition is an upper storey show details on upgrading existing foundations, joints, piles, etc (may require Engineer design)

Floor plans / layout (B1, B2, C1-4, D1, E3, F7, G1, G2, G12 G3, G9, G11, G13)

Comments

General

N/A NO YES

- ☐ ☐ ☒ Room dimensions.....
- ☐ ☐ ☒ Sectional lines.....
- ☐ ☐ ☒ Location of partitions.....
- ☐ ☐ ☒ All designated spaces.....
- ☒ ☐ ☐ Lintels..... NZS 3604;B2.....
- ☐ ☐ ☐ Beams..... NZS 3604, B2 by engineer.....
- ☐ ☐ ☐ Point loads by engineer or pre-nailer....B1 B2.....
- ☐ ☐ ☒ Smoke detectors.....F7
- ☐ ☐ ☐ Wet areas / WCs D1, Table 2; B2.....
- ☐ ☐ ☐ Kitchen.....G3, G9,G11.
- ☐ ☐ ☐ Alternative.....specify reason

Changes to existing work requires both an existing floor plan & a proposed floor plans
Facility provided for washing utensils / food G3, Section 1.1 & Figure 1:
Preparation Area and Access to Facility Paragraphs 1.1.2 and 1.5

Wall / Framing B1, B2, E3

Comment

General

- ☐ ☐ ☐ Identify engineering / Structural items/ portals.B1 B2.....
- ☐ ☐ ☐ By pre-nailer or to NZS 3604.....B1 B2.....
- ☐ ☐ ☐ Fixing types NZS 3604.....B1 B2.....
- ☐ ☐ ☐ Stud c/c as per wind zone.... NZS 3604.....B1 B2.....
- ☐ ☐ ☐ Building wrap..... NZS 3604
- ☐ ☐ ☐ Stud heights of rooms..... NZS 3604.....B1 B2.....
- ☐ ☐ ☐ Alternative.....specify reason

Roof.....NZS 3604,3602 &3640 B1B2E2 E2/AS1

Comments

Trussed / by prenailler or Framed roof NZS 3604

N/A NO YES

- | | | | |
|-------------------------------------|--------------------------|--------------------------|--|
| ☒ | ☐ | ☐ | Fixing layout & details.....B1 B2..... |
| ☒ | ☐ | ☐ | Correct layout.....B1..... |
| ☒ | ☐ | ☐ | Max span (12m or Engineer).....B1..... |
| ☒ | ☐ | ☐ | Purlin or batten c/c.....B1 B2..... |
| ☒ | ☐ | ☐ | Rafters / Beams.....B1 B2..... |
| ☒ | ☐ | ☐ | Alternative.....specify reason..... |

Roof cladding - Metal ; Profiled Metal; Masonry, Membranes Code E2, E2/AS1 B2

- | | | | |
|-------------------------------------|--------------------------|--------------------------|---|
| ☒ | ☐ | ☐ | Pitch / profile.....E2..... |
| ☒ | ☐ | ☐ | Underlay.....E2..... |
| ☒ | ☐ | ☐ | Flashings.....E3;E2.....B1 B2..... |
| ☒ | ☐ | ☐ | Parapets.....B1 E2 B2..... |
| ☒ | ☐ | ☐ | Membrane Roofs and substrate Code E2/AS1 B2..... |
| ☒ | ☐ | ☐ | Gutters, Barges & Fascias detail Refer E2, section 8.3, cl 8.3.9..... |
| ☒ | ☐ | ☐ | Alternative.....specify reason..... |

Installation of profiled metal roof cladding shall be by trained installers, approved by the tile manufacturer or NZ agent. In some cases experienced builders undertake installation, refer E2, section 8.4, cl 8.4.2 'General'.

Claddings CodeB1 & B2 E2/AS1, Branz good practice Guides & Weather tightness Vol 12&3

Comments

- | | | | |
|-------------------------------------|--------------------------|--------------------------|--|
| ☒ | ☐ | ☐ | Risk matrix Cavity or direct.....E2..... |
| ☒ | ☐ | ☐ | Brick Veneer.....E2 "The brick book" Branz Masonry Guide ; B2..... |
| ☒ | ☐ | ☐ | Timber WeatherboardE2 Branz Timber Guide Vol 1&2; B2..... |
| ☒ | ☐ | ☐ | StuccoB1 NZS 3604 Branz good practice guide; B2..... |
| ☒ | ☐ | ☐ | Profiled Metal.....E2 Metal Roofing Practice; B2..... |
| ☒ | ☐ | ☐ | PlywoodE2 ; B2..... |
| ☒ | ☐ | ☐ | Fiber Cement W/b.....E2; B2..... |
| ☒ | ☐ | ☐ | Board & Batten..... Branz good practice guide; B2..... |
| ☒ | ☐ | ☐ | Fiber Cement Sheet.....E2; B2..... |
| ☒ | ☐ | ☐ | Weathertightness details.....E2' ; B2..... |
| ☒ | ☐ | ☐ | Alternative.....specify reason..... |

Bracing NZS 3604 B1, B2, E3

Comments

N/A NO YES

- | | | | |
|-------------------------------------|--------------------------|-------------------------------------|--|
| ☒ | ☐ | ☒ | Subfloor bracing.....B1& NZS 3604..... |
| ☒ | ☐ | ☒ | Wall bracing..... B1 & NZS 3604..... |
| ☒ | ☐ | ☒ | Roof bracing..... B1& NZS 3604..... |
| ☒ | ☐ | ☒ | Bracing calculations..... B1 & NZS 3604..... |
| ☒ | ☐ | ☒ | Provide bracing plan layout..... B1 & NZS 3604..... |
| ☒ | ☐ | ☒ | Double top plate (if > 5m)..... B1 & NZS 3604..... |
| ☒ | ☐ | ☒ | Indicate dragon tie (if > 6m)..... B1 & NZS 3604..... |
| ☒ | ☐ | ☒ | Diaphragm ceilings (if > 7.5m)..... B1 & NZS 3604..... |
| ☒ | ☐ | ☒ | Check for distribution B1 & NZS 3604..... |
| ☒ | ☐ | ☐ | Alternative.....specify reason..... |

Light & Ventilation *B1 G4, Clause 1.2; G4, clause 1.3 G7, G9 F2*

General

Comments

N/A NO YES

- ☒ ☐ ☐ Vent 5%.....G4
- ☒ ☐ ☐ Light 10%.....G7
- ☒ ☐ ☐ Electrical.....G9
- ☒ ☐ ☐ Mechanical ventilation.....G4
- ☒ ☐ ☐ Exterior space for awareness.....G7

Glazing

- ☒ ☐ ☐ Safety glass.....F2
- ☒ ☐ ☐ Wind zone..... B1. NZS 3604
- ☒ ☐ ☐ Alternative.....specify reason

Insulation *BRANZ Home Insulation Guide, NZS 4218, AS/NZS 2918*

Comments

- ☒ ☐ ☐ FloorH1
- ☒ ☐ ☐ Wall..... H1
- ☒ ☐ ☐ Roof..... H1
- ☒ ☐ ☐ Windows / glazing..... H1
- ☒ ☐ ☐ Alternative.....specify reason

Stairs / Landings / Handrails *D1, sec 4*

Comments

- ☒ ☐ ☒ Stair tread & risers.....D1 *exterior main Private.*
- ☒ ☐ ☒ Landing size.....D1 *Shop*
- ☒ ☐ ☒ Handrail.....D1
- ☒ ☐ ☐ Riser opening (min) where children.....D1
- ☒ ☐ ☐ Residential Accessibility.....D1
- ☒ ☐ ☐ Alternative.....specify reason

Stair type

Minor Private: Max rise 220mm/Min tread 220mm,

Secondary Private: Max rise 200mm/Min tread 250mm,

Main Private: Max rise 190mm/Min tread 280mm. (Main private includes exterior stairs)

Decks / Balconies / Barriers *D1, F4 & NZS 3604, Section 6 & 7,*

Comments

- ☐ ☐ ☒ Barrier & deck fixing durability.....D1 B1 B2
- ☐ ☐ ☒ Top rails, balusters, bottom rails, palings.....D1 B1 *Eng*
- ☐ ☐ ☒ If Engineer then calculations required.....B1 B2
- ☐ ☐ ☒ Max 3m height or Engineer.....B1 B2
- ☐ ☐ ☒ Deck joist sizes, grade, treatment, span & spacing.....D1 B1 B2
- ☐ ☐ ☒ Piles & bearers the correct grade, treatment, size, spacing & span.....D1 B1 B2
- ☒ ☐ ☐ Slip resistanceD1
- ☒ ☐ ☐ Appropriate waterproofing membrane..... B1 B2
- ☒ ☐ ☐ Stringer size & connectionsD1 B1 B2
- ☐ ☐ ☒ Thresholds.....D1 E2
- ☒ ☐ ☐ Alternative.....specify reason

Fire (Residential) NZBC F7;Cdoc

Comments

N/A NO YES

- | | | | | |
|--------------------------|--------------------------|-------------------------------------|--------------------------------|-----------------------|
| ☐ | ☐ | ☒ | Travel distances max 24m..... | C3.15..... |
| ☐ | ☐ | ☒ | Smoke detectors..... | F7..... |
| ☐ | ☐ | ☒ | Wood burners | F7..... |
| ☐ | ☐ | ☐ | Garage fire wall details | C7 (C7.10 C7.8) |
| ☐ | ☐ | ☐ | Alternative..... | specify reason |

Swimming Pool & Fencing *Fencing of Swimming Pools Act 1987'*

Comments

- | | | | |
|--------------------------|--------------------------|--------------------------|--|
| ☐ | ☐ | ☐ | Refer to Compliance for sign off..... |
| ☐ | ☐ | ☐ | Specific Engineering Design |
| ☐ | ☐ | ☐ | Proprietary system/design..... |
| ☐ | ☐ | ☐ | Section/construction |
| ☐ | ☐ | ☐ | Pool backwash discharging the sewer..... |
| ☐ | ☐ | ☐ | Fence height |
| ☐ | ☐ | ☐ | Gate(s) / door(s) open outward..... |

Ambiguity / Contradictions

Comments

- | | | | |
|--------------------------|--------------------------|--------------------------|---|
| ☐ | ☐ | ☐ | Manufacturers Specs |
| ☐ | ☐ | ☐ | Engineer compared with Designer/Architect |
| ☐ | ☐ | ☐ | Any Other contradictions |

Alternative Solutions

Record assessment, decision and reasons for decisions below. Has the designer substantiated why they believe the proposal complies with the building code? Is there a determination on a similar proposal? Has corroborative evidence been provided (peer review, appraisal or determination)? Include reference to comparison with acceptable solutions, other documents / standards / best practice guides / publications, expert opinion, determinations, in-service history, product certification, professional judgment, building code objectives. Refer BRANZ Bulletin # 456 (Dec 2004). List any conditions / communications / actions:

This sheet relevant to plumbing & drainage only

General

Comments

N/A NO YES

- ☒ ☐ ☐ Kitchen area.....G3/AS1
- ☒ ☐ ☐ Laundry.....
- ☒ ☐ ☐ Bathrooms.....
- ☒ ☐ ☐ Location of sanitary fixtures.....
- ☒ ☐ ☐ Plumbing layout.....

Plumber's Reg no.....

Drainlayers Reg no.....

Effluent Disposal Systems

Comments

- ☒ ☐ ☐ Engineering Site Investigation
- ☒ ☐ ☐ Design Specification & Producer Statement

(The design criteria should include; Capacity based on bedroom numbers, Loading calculation, site evaluation, soil profile, site characteristics.)

Water Supplies

Comments

- ☒ ☐ ☐ G 12
- ☒ ☐ ☐ Town supply.....
- ☒ ☐ ☐ Private scheme.....
- ☒ ☐ ☐ Type & location.....
- ☒ ☐ ☐ Alternative.....specify reason.....

no change

Sanitary Drainage

Comments

- ☒ ☐ ☐ G13.....
- ☒ ☐ ☐ Layout
- ☒ ☐ ☐ Council availability or
- ☒ ☐ ☐ Septic tank design & calcs.....
- ☒ ☐ ☐ Alternative.....specify reason

no change

Stormwater Drainage

Comments

- ☒ ☐ ☐ E1
- ☒ ☐ ☐ Layout
- ☒ ☐ ☐ Council availability
- ☒ ☐ ☐ Alternative.....specify reason

no change

Sanitary Plumbing

Comments

- ☒ ☐ ☐ G13
- ☒ ☐ ☐ Layout
- ☒ ☐ ☐ Alternative.....specify reason

no change

Dp checked ✓

Accessibility D1 ; NZS 4121

Comments

N/A NO YES

- ☐ ☐ ☐ Car parks
- ☐ ☐ ☐ Projections
- ☐ ☐ ☐ Kerb Ramps
- ☐ ☐ ☐ Footpaths/Ramps / Landings
- ☐ ☐ ☐ Entrances
- ☐ ☐ ☐ Public Facilities
- ☐ ☐ ☐ Lifts
- ☐ ☐ ☐ Stairs
- ☐ ☐ ☐ Stair / handrails
- ☐ ☐ ☐ Doorways/Doors/Corridors/ Lobbies
- ☐ ☐ ☐ Controls
- ☐ ☐ ☐ Places of assembly/entertainment/Recreation
- ☐ ☐ ☐ Warning Systems
- ☐ ☐ ☐ Toilet Facilities / Laundering
- ☐ ☐ ☐ Food preparation / accommodation
- ☐ ☐ ☐ Signs

Fire report C1,C2, C3, C4

Comments

- ☐ ☐ ☐ Purpose group FHC
- ☐ ☐ ☐ Fire cell separation /use of building
- ☐ ☐ ☐ f- rating
- ☐ ☐ ☐ s- rating
- ☐ ☐ ☐ Occupancy numbers
- ☐ ☐ ☐ Means of escape
- ☐ ☐ ☐ Travel distances
- ☐ ☐ ☐ External walls/unprotected areas
- ☐ ☐ ☐ Fire resistance to supporting elements/floors/ walls
- ☐ ☐ ☐ Risks to/below escape routes
- ☐ ☐ ☐ Fire safety precautions
- ☐ ☐ ☐ SFI's / SDI's
- ☐ ☐ ☐ Alternatives
- ☐ ☐ ☐ Referral to DRU
- ☐ ☐ ☐ Alternative.....specify reason

Solid waste G15

Comments

- ☐ ☐ ☐ Waste bin area
- ☐ ☐ ☐ Environmental health referral
- ☐ ☐ ☐ Alternative.....specify reason

Hazardous Agents, Materials & substances F1 - F3

Comments

- ☐ ☐ ☐ Waste bin
- ☐ ☐ ☐ Environmental health referral

Work Sheet

General stamp prompts

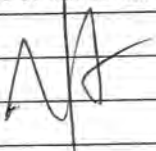
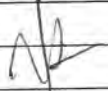
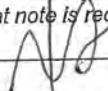
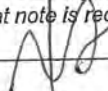
Wind Zone
Corrosion
Cladding
Electrical
Bracing Highlighted
Boundary setting out
Engineers design

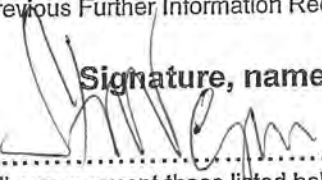
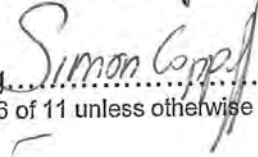
Set Status
Complete checklist
Addenda
Section 72 / ponding
Set inspections

Dialogue Record List further information requested , info received , records / reference of communication etc. via Phone / Email / letter / counter / fax	

Dialogue Record List further information requested , info received , records / reference of communication etc. via Phone / Email / letter / counter / fax	

[illegible]

Change Of Use – Sec 114: (record decisions and basis for decisions – confirm whether sec 115 applies)		
Date		
Alteration to Existing Building – Sec 112: (record decisions and basis for decisions – confirm whether sec 118 applies and if so, has it been complied with?). List conditions / communications / actions:		
Date		
Hazards – Sec 71-74 : (record decisions and basis for decisions – see under "site plan above already done")		
Date:		
Compliance Schedule – Sec 100 - 107: (record if new / amended compliance schedule required, and attach copy of replica compliance schedule. Ensure that note is recorded on building consent that new / amended compliance schedule will be issued).		
Date		

<i>Note :- Refer to the associate code clause along side each prompt above for compliance or reason of decision</i> Plan checked yet Unsatisfactory (request for further information- see attached copy) Signature, name & date Bldg..... Plumbing..... Fire.....	I am satisfied on reasonable grounds that the provisions of the Building Code are met and the Building consent may be granted (refer Bld Act Sec 49(1)) All previous Further Information Requests now satisfactory. Signature, name & date Bldg.....  30-05-13 (for all pages except those listed below) Plumbing.....  2/5/2013 (For pages 6 of 11 unless otherwise listed) Fire..... (As listed on page 7 of 11)
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Addenda to Form 436

Allocation of work to approvals officer outside current competency

Building Category	Circle appropriate category	0	1	2	3

1) Authorized by Team leader or delegate	Level of supervision reqd	Reason for decision
Name, Signature & date	Coaching Mentoring Peer review on completion	In training Vetting one level above competency Other
2) Approval Officer undertaking training	Record of Learning	Decision
Name, Signature & date		I am satisfied on reasonable grounds that the provisions of the Building Code are met and the building consent may be granted (refer Bld Act 49(1))
Current competency level Category 0,1 or 2		
3) Coach/Mentor/Peer reviewer	Training needs identified	Comments
Name, Signature & date		I am satisfied on reasonable grounds that the provisions of the Building Code are met and the building consent may be granted (refer Bld Act 49(1))
Current competency level Category 1,2 or 3		

Allocation notes

- Categories of building are determined on receipt of application
- All applications are re assessed for the category and allocated to each appropriate Officer at the earliest opportunity and then placed in processing shelves accordingly
- Approvals staff are aware of their own competency level and check the allocation of work.
- Approvals staff may select, for training purpose, a consent 1 (one) category higher than their current competency for the purpose of increasing their skill level provided they gain approval from the Team Leader Building Consent Approvals. Once approval is given the Team Leader Building Consent Approvals will arrange for the appropriate supervision and final peer review.

Building Consent Application — use this Checksheet for:
Single Residential Dwelling and Accessory Buildings

— including single stand-alone dwellings, dwelling additions and/or alterations, re-piling, garages, decks, gazebos, sheds, retaining walls etc.

— **An Application Form is attached to this checksheet —**

(Please include this checksheet with your application)

Address of project: 8 Hughes Street - Waikanae

This checksheet shows you the information that has to be supplied with your building consent application. Please attach **2 copies** of the following information (unless otherwise specified) with your completed Building Consent Application form.

Please tick relevant box in the Customer Use column as you attach the information. If the box is not relevant to your application, write NA across the box. Please check each section carefully and complete those sections that are relevant to your project.

Once you have attached all the required information, please check for completeness as an incomplete application or lack of any supporting information will mean that your application cannot be accepted for processing.

CUSTOMER USE



1. GENERAL

Complete this section for all applications

RECEIVED

29 APR 2013

00-10

COUNCIL USE



a. Building Consent Application Form (1 copy)

Completed and signed by the owner or by an agent on behalf of the owner.



b. Proof of ownership (1 copy)

One recent copy of current certificates/s of title (i.e. not older than 3 months) or where applicable one copy of purchase agreement (if recently purchased) or one copy of relevant portions of current lease



c. Locality Plan (1:500) showing:

Physical location of the subject building in relation to streets or landmarks, north point, name of building and lot and DP number.



d. Site Plan (1:100) showing:

Dimensions of all boundaries, north point, finished floor levels, ground contours (extended to boundaries) and/or levels, site area, street name and number, lot and DP number, outline of building, distance to boundaries and the position of swimming or spa pools. Include on the site plan the designated wind zone of the site (e.g. specific design, very high, high, medium or low).



e. Application Fee

Applications will not be accepted without payment of the appropriate fees. Fees payable are set out in the published fee schedule of the council that has jurisdiction over the project site.



For office use only Receiving Officer:

Michelle Salmon

CUSTOMER USE



COUNCIL USE



2. CHANGE OF USE

Complete for all existing buildings where the proposal involves forming a household unit where one did not exist before

Example: the conversion of a garage or shed into a residential unit

☐

a. Assessment of the building for compliance with the building code

Section 115(a) of the Building Act 2004 requires that the building, in its new use, complies fully with all clauses of the building code.

☐☐

b. Reasonably practicable

The above assessment must relate to all building code clauses. If the proposal is for the project to meet anything less than full compliance with any clauses, your application must clearly state your reasoning, with supporting documentation, and show how you will meet the highest level of compliance that can be considered reasonably practicable.

☐

3. FOUNDATIONS / FLOOR

Complete for all new buildings, for existing buildings where the footprint of the building will change or where an additional storey is being added.

☒

a. Foundation Plan (1:100 / 1:50) showing:

- Dimensions of all new foundations
- Sub-floor, including bracing
- Footing details
- If a concrete slab, show basic details including reinforcing and contractions joints
- Piles and footing
- If the addition is an upper storey show details on upgrading existing foundations, joints, piles etc
- Indicate ventilation to sub floor spaces

☐☒

b. Subfloor bracing

Provide subfloor bracing plan and calculations for all piled structures. Where the structure is specifically engineered, this should be included with the structural calculations.

Subfloor bracing plan and calculations are required where an additional storey is to be added.

☐

4. CONSTRUCTION

Complete for all new structures or alterations to existing structures.

☒

a. Existing floor plan (1:100 / 1:50) showing:

(For additions and alterations only)

- All levels
- All designated spaces
- All removals
- Sanitary fixtures
- Smoke detectors

☐

CUSTOMER USE



COUNCIL USE



b. Proposed floor plans (1:100 / 1:50) showing:



- Room dimensions
- Location of partitions
- All designated spaces
- All floors (new or altered)
- Location of sanitary fixtures
- Stairs, barriers, handrails, floor joists and beams
- Floor joist layout for each level with timber floors
- Smoke detectors
- Note where wall will form part of the swimming pool fence



c. Pre-nail Truss and Frames:



- Specific design wall framing requires clarification
- Truss layout must be supported by design certification and design of fixing details, including consideration of load paths to ground
- Lintels carrying point loads, such as from girder trusses, require specific engineering design



d. Wall bracing plan (1:100 / 1:50) showing:



- Bracing details and calculations for wall bracing (also required for existing lower storeys where an additional storey is being added)
- Sub-floor bracing for decks projecting more than 2m from the house
- Location, type and number of bracing elements to indicate compliance with NZS 3604:1999 (include calculations)
- If the bracing was specifically designed by a structural engineer, provide calculations (required for specific design wind zones and lateral distribution of upper floor loads where lower storey bracing is provided in walls beyond the upper storey footprint)



e. Sections and details (1:50 / 1:20 / 1:10) showing:



- Foundation details involving reinforcing and connections
- Stairs, handrails, decks and decking
- Insulation systems and materials to floors, walls and roof
- Barriers providing safety from falling. Specific engineering design required where detail does not comply with NZBC B1/AS2
- Framing sizes, beams, lintels
- Roof cladding, eaves, fascias, gutters
- Flashings to openings
- Fire rated systems on all walls – closer than 1 metre to boundary
- Stud heights of rooms and total height from lowest ground floor level to top of ridge
- Window and door installation details
- Retaining wall details e.g. type, height of retained ground, relationship to boundary, waterproof membrane and proposed drainage



f. Fire Report:



For domestic dwellings of 4 storeys or more, or buildings providing more than one household unit

CUSTOMER USE



COUNCIL USE



5. EXTERNAL

Complete for new buildings or existing buildings with alternations to the external shell

☒

a. Elevations (1:100 / 1:50) showing:

☐

Accurate lines form boundary to boundary on each elevation, relevant District Plan daylight control lines, the maximum height on each elevation, location of door and window openings, fixed and opening sashes, sill heights, floor levels in relation to ground levels, exterior cladding nominated to all elevations, down pipes and spouting, ventilators to sub-floor area (suspended floors only)

☐

b. Risk assessment

☐

(Risk matrix in E2/AS1 may be used for buildings within scope)

Consider exposure, design and detailing to support appropriate selection of cladding

☐

c. Cladding details (1:50 / 1:20 / 1:10)

☐

Provide details around all penetrations, joinery and other junctions at a level appropriate to the level of risk e.g. roof/wall, balcony/wall, junction of different types of cladding, back flashing details for cavity systems

☐

d. Production certification

☐

Supply copies of product certificates relied on as compliance documents

☐

e. Alternative solutions

☐

If the proposal uses products or systems that are not covered in the Acceptable Solutions of clause E2 of the building code provide supporting current information including test results (fully signed reports), case studies, expert opinion (including evidence of experience/qualification, basis for forming opinion and statement of independence) etc to demonstrate compliance.

6. SERVICES

Complete for all projects with new installations or alteration of plumbing or drainage services

☐

a. Plumbing and Drainage plan 1:100 / 1:50) showing:

☐

Note: if you have supplied drainage details for surface water disposal on the site plan, no drainage plan is required.

- Sizes of pipe work and drains
- Fixtures and fittings, hot water system(s)
- If the building is more than one storey with sanitary fittings on upper floors, provide an isometric layout showing wastes, pipes and falls
- Drainage layout with inspection bends and junctions indicated for both sewer and storm water
- Any other drainage on site including council mains and retaining wall field drains
- Ventilation of sanitary rooms
- Calculations for sizing of down pipes
- Gully traps including overflow relief gullies

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7. STRUCTURAL

Complete for all projects incorporating specific structural design



a. Structural calculations

If any design work required the services of a structural engineer, attach 2 copies of the calculations with this. The calculations must be prefaced with information explaining the design philosophy and justification of assumptions and methodologies used in analysis



b. Expert Opinion (Producer Statements):

If this application for consent relies on any expert opinion including producer statements certifying compliance with the New Zealand Building Code, a copy must be attached with this application. (Note all structural producer statements are required to have accompanying calculations)



8. SPECIFICATIONS

Complete for all applications

Note: the specification must be specific to the project and cover all aspects of the proposed work.



a. Specification: General

- Elements of structure (size, spacing, timber treatment)
- Finish or fixings to meet durability requirements
- Plumbing and drainage materials and design that installation is to comply with
- Wet area surfaces
- Ventilation systems
- Flooring slip resistance for access routes
- Glazing
- Type of smoke detectors (including existing smoke detectors where they will remain)



b. External claddings

For each of the following claddings provide details of the product name, manufacturer, maintenance requirements and warranties offered

- Building wraps
- Wall claddings
- Roof claddings
- Membranes (roof and decks)
- Tanking
- Joinery



9. DEMOLITION / REMOVAL

Complete for all projects involving demolition of significant parts of buildings or the demolition or removal of whole buildings.



a. Means of barricading the site

Provide details of temporary barriers, gates which swing inwards or other means of restricting public access to the area



CUSTOMER USE



COUNCIL USE



- | | | |
|--------------------------|--|--------------------------|
| ☐ | b. <u>Proposed tipping location for demolition materials (address/landfill)</u> | ☐ |
| ☐ | c. <u>Hazardous building material</u>
Provide safety plan detailing the safe handling and disposal of hazardous materials | ☐ |
| ☐ | d. <u>Site management plan covering</u>
Management to control silt runoff, noise and dust | ☐ |
| ☐ | e. <u>Proposed destination for relocate building</u> | ☐ |
| ☐ | f. <u>Access to and from the site including (use of kerb crossings)</u> | ☐ |
| ☐ | g. <u>Specify termination of existing services</u> <ul style="list-style-type: none">• Water• Sewer• Storm water | ☐ |
| ☐ | h. <u>Details about the building such as:</u>
Number of storeys, type of materials the building is constructed (Photographs of the building would be useful) | ☐ |

Note

You will need to contact the relevant service authorities specified below to advise them of the extent of your work:

Electricity, gas, drainage, water, transport, telecommunications, cable television or any other services that may be affected.

Transportation of relocated building

You will be required to contact and provide details to Councils Transportation and Traffic Department.

10. OTHER APPROVALS

Please check territorial authority regarding the requirement for other approvals required and fees payable. These may include:

- Consents under the Resource Management Act
- Approvals under bylaws including earthworks, vehicle crossings, road openings and water connections.

Show the location of swimming or spa pools on the property and describe how compliance with the fencing of Swimming Pools Act will be achieved.

The issuing of a building consent does not relieve the owner of any duty or responsibility under any other act.

The following Councils developed this checksheet in partnership: Kāpiti Coast District, Porirua City, Wellington City, Hutt City, and Upper Hutt City.

Planning Processing Check Sheet

Building Consent Number : BC 130232

Property Information				
Property Address	8 Hughes St, Waikanae			
Legal Description	Lot 2 DP 23534			
Planning Zone	Residential			
Building Project	Construct deck.			
	Yes	No	Action reqd	Action
Certificate of Title	✓		WNA2/941	
Easements		✓	Refer to CA attached.	
Section 221		✓	Include copy	
District Plan Items to Check				
	Yes	No	Action Reqd	Actioned
Designations	✓		(Airport Ops Area) Conical Surface 1:20	
Heritage Register		✓		
Flood Hazards	✓			
Min Floor Level	✓		4.0 AMSL (Wellington Datum 1953)	
Coastal Hazards		✓		
Other Hazards		✓		
EQ Faults		✓		
Eco-site/Native Veg		✓		
	Complies?		Action Reqd	Actioned
Yards (+water bodies)	✓		Neighbours Approval??	
HIRB	✓			
Max Height	✓			
Site Coverage	✓			
Permeable Surface	✓			
Earthworks	✓			
Water Tank / Siting	✓			
Parking	✓			

Building Consent Number: BC 130232

Fences/Retaining Wall				
Airport Noise 45dbI				
Other Provisions				
	Yes	No	Action reqd	Actioned
Does the building straddle Title/crosslease boundary		✓		
Existing Resource Consent?		✓		
Resource Consent Required?		✓	Apply Section 37 and advise Plan Vetting Team.	
Section 72 or 77 Required?		✓	Advise Plan Vetting Team and send letters out.	\$124.00
Section 221 Consent Notice		✓	Advise Plan Vetting Team	
DIF Required?		✓	Advise Plan Vetting Team and send letter out.	
Calculate DIF Fees				Amount
			2 nd Comm / Ind Floor area X \$12.65	
			Non-residential 0.002 X area	
Invoice codes	RM		Water Supply	
	RM		Sewage	
	RM	79	Community Facilities	
	RM		Roads	
	RM		Flood Mitigation	
	RM		Reserves	
Send DIF letter out		✓	TOTAL	

Additional Comments

Decision: (delete item that does not apply)

- Application complies with District Plan requirements
- ~~Application does not comply with District Plan – BG to be issued subject to s37.~~

Officer's Name & Signature: X Lee

Date: 23.5.2013



COMPUTER FREEHOLD REGISTER UNDER LAND TRANSFER ACT 1952



Search Copy


R. W. Muir
Registrar-General
of Land

Identifier **WNA2/941**
Land Registration District **Wellington**
Date Issued 20 June 1962

Prior References
WNA1/1404

Estate	Fee Simple
Area	818 square metres more or less
Legal Description	Lot 2 Deposited Plan 23534

Proprietors
Terry James Doran and Jacqueline Ann Lally

Interests

Deposited this 30 day
of April 1960
District Land Registrar

Plan 23534
Trestwell
19-10-0
14-10-1961

NGARARA WEST A BLOCK

36

23534

Lot 1	<u>52</u>	<u>525</u>
2	<u>43</u>	<u>341</u>
3	<u>61</u>	<u>478</u>
4	<u>43</u>	<u>1781</u>
5	<u>43</u>	<u>1172</u>
6	<u>42</u>	<u>454</u>
7	<u>42</u>	<u>1037</u>
8	<u>42</u>	<u>578</u>
9	<u>43</u>	<u>1108</u>
10	<u>42</u>	<u>461</u>
11	<u>42</u>	<u>484</u>
12	<u>42</u>	<u>866</u>
13	<u>44</u>	<u>787</u>
14	<u>41</u>	<u>1475</u>
15	<u>44</u>	<u>1052</u>
16	<u>42</u>	<u>787</u>
17	<u>43</u>	<u>1204</u>

2
3
270
4
5
6
7
8
9
0
1
2
3
4

Approved under Land Subdivision
in Counties Act, 1946
See Scheme plan D. 2861

Approved as to Survey.

Deputy Chief Surveyor
20/1/61

Received _____
 Reference plants D.2.5.61
 D.P. 2018/2252/ _____
 Field book 182 96-98
 Traveller book 208 197-201
 Examined by A. Jones 13/6/66
 Recorded Kuchter 1/6
 Correct John Jones 20/6/66
 L. T. Sullyear

SUBD^N OF PART LOT 1 D.P. 20118 BEING PART 36
NGARARA WEST A BLOCK

Comprised in... G.T. 795/3.8. Pt. 1.

Survey Block & District V Kaitawa Local Body Horowhenua County
Land District Wellington Date September, 1961
Scale 1 Chain to an Inch Surveyed by Martin E. Dyett
I, the undersigned, Surveyor and holder of the several preceding certificates, do solemnly and sincerely declare that this

Scale 1 Chain to an Inch Surveyed by W. Walling Tappan of Walling Tappan Registered Surveyor and Auditor of his annual practicing certificate, he solemnly and sincerely declares that this plan has been made from surveys executed by him; that both plan and survey are correct, and have been made in accordance with the respective laws of the State of New York, the Surveyors Act, 1830, and I make this solemn declaration, conscientiously believing the same to be true and by virtue of the oath of Oaths and Subornation Act 1927.

Declared at Walling Tappan on the 23rd day of October 1961 *ad. v. r.*
Before me: Henry S. Scares Registered Surveyor

Notary Public for the State of New York

100 120 140 160 180 200 220 240 260 280 300 320 340 360 380 400 420 440 460 480 500

Total Area
A. R. P.
4 - 2 - 13.41

Lyska H. D. Paragym

Applicant or Registered Owner:

23534