

STATEMENT OF PASSING OVER INFORMATION

This information has been supplied by the vendor or the vendor's agents. Accordingly, Ownly (REAA 2008) and Sold On Kapiti Limited is merely passing over the information as supplied to us by the vendor or the vendor's agents.

We cannot guarantee its accuracy and reliability as we have not checked, audited, or reviewed the information and all the intending purchasers are advised to conduct their own due diligence investigation into the same.

To the maximum extent permitted by law Ownly (REAA 2008) and Sold On Kapiti Limited does not accept any responsibility to any person for the accuracy of the information herein.



SOLD ON KĀPITI
REAL ESTATE

CODE COMPLIANCE CERTIFICATE

Section 95 Building Act 2004 [Form 7 – Building (forms) Regulations 2004]



Consent No(s): 190555, 190555A, 190555B

The Building			
Street address of building:	8 Hughes Street, Waikanae	Building name:	N/A
Current, Lawfully established, use:	Detached Dwelling	Location of building within site/block number:	Central on the site with driveway from Hughes St
		Intended life of the building if 50 years or less:	-
Level/unit number:	N/A	Year first constructed:	1965
Legal description of land where building is located:	LOT 2 DP 23534		
The Owner			
Name of owner:	Doran Terry James & Lally Jacqueline Ann	Street address /registered office:	N/A
Contact person:	As above	Phone numbers:	
Mailing address:	346B Paremata Hayward Road RD 1 Porirua 5381	Landline:	-
		Mobile:	027 443 7605
		Daytime:	-
Email address:	terrydoran@outlook.co.nz	After hours:	-
Website:	-	Facsimile number:	-
First point of contact for communications with the Kapiti Coast District Council:			
As above			
Building Work			
Building Consent No(s): 190555, 190555A, 190555B		Issued by: Kapiti Coast District Council	

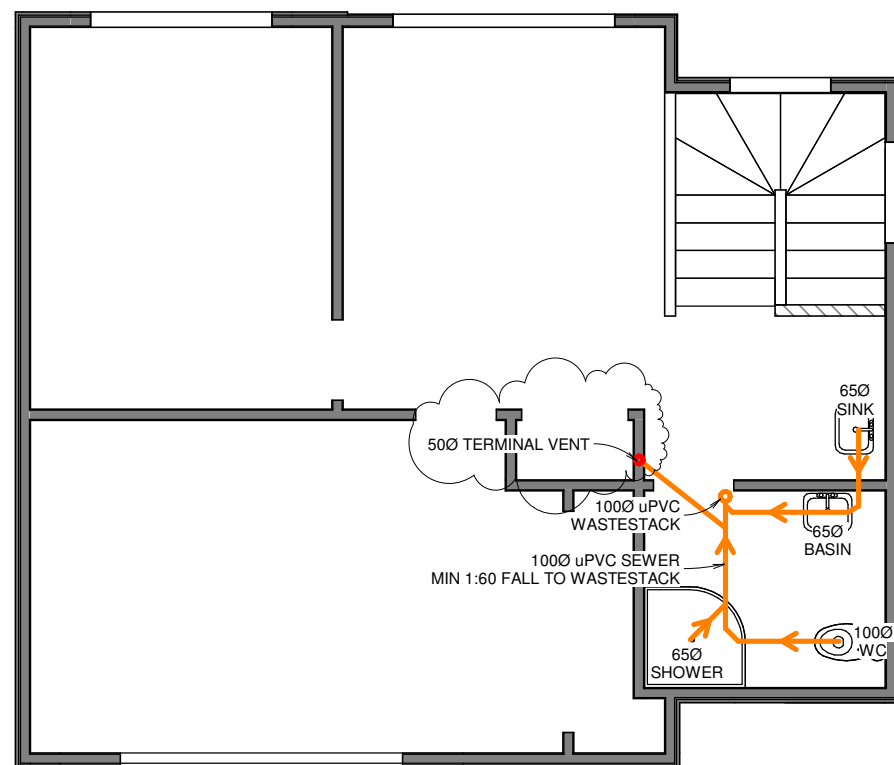
Code Compliance

The building consent authority named below is satisfied, on reasonable grounds, that:

(a) the building work complies with the building consent

Michelle Salmon –
Building Inspections Team Leader
On behalf of **Kapiti Coast District Council**

Date: 07 October 2021



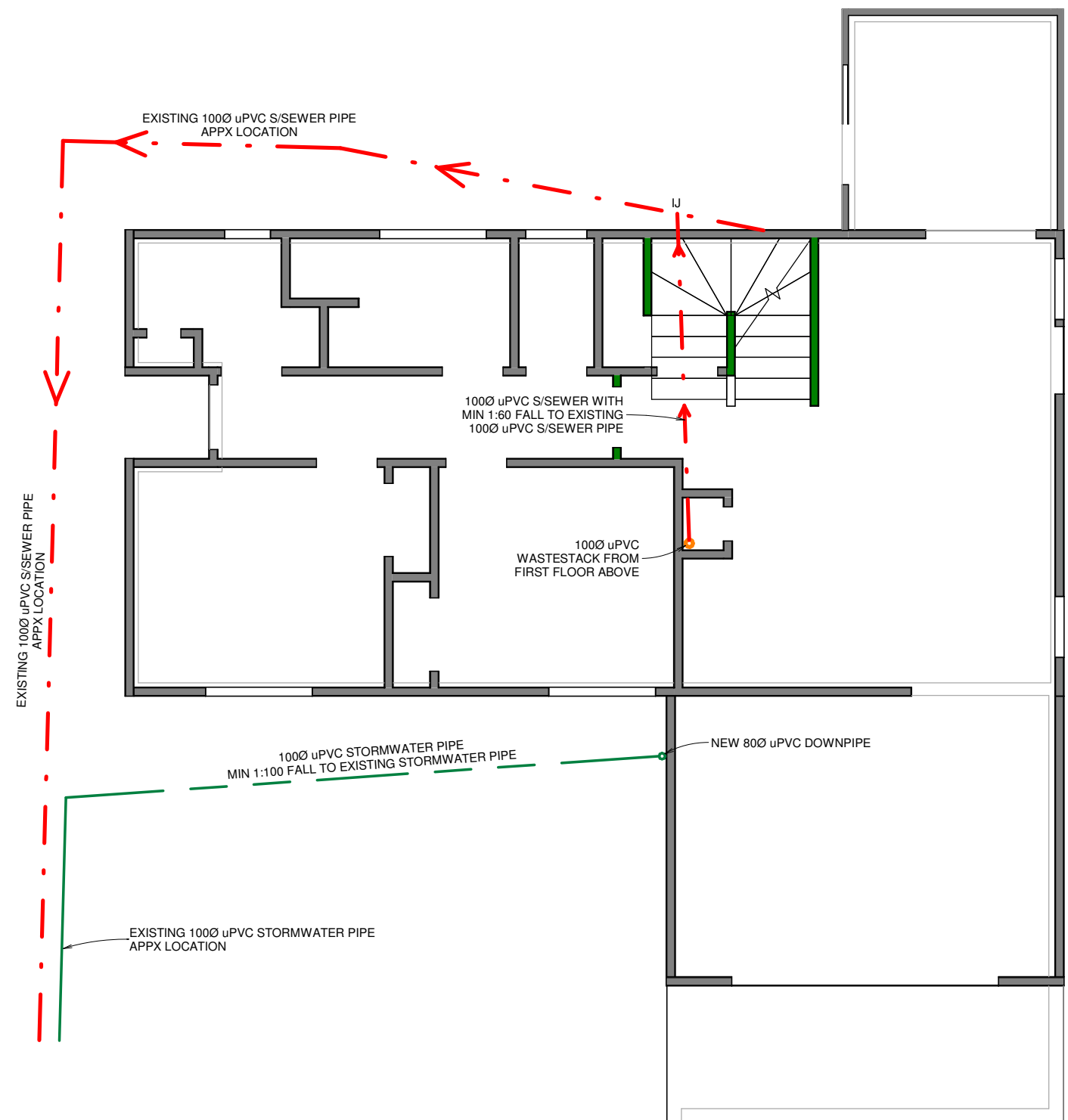
D1 First Floor Plumbing & Drainage Plan
1 : 75

PIPED SERVICES

- ALL PIPED SERVICES FROM THE BUILDING TO BE uPVC PIPES AS PER NZS1260
- S'WATER PIPE 100Ø
MINIMUM S'WATER PIPE FALL: 1:100
- S'SEWER PIPE 100Ø
MINIMUM S'SEWER PIPE FALL: 1:60
- 80Ø uPVC DOWN PIPES
- ALL PLUMBING TO BE INSTALLED AS PER NZS3500
- ALL TERMINAL VENTS TO BE 50mm uPVC UNLESS OTHERWISE STATED

UNDERGROUND SERVICES

REGISTERED PLUMBER TO CONFIRM LOCATION AND DEPTH OF DRAINS + ALL EXISTING UNDERGROUND STORMWATER AND SEWER SERVICES PRIOR TO COMMENCEMENT OF ANY WORK, TO ENSURE ADEQUATE FALLS CAN BE ACHIEVED.



D2 Ground Floor Plumbing & Drainage Plan
1 : 75

NOTE: ALL DIMENSIONS AND INFORMATION TO BE CONFIRMED ON SITE BY CONTRACTOR

Address: **8 Hughes St, Waikanae Beach**
Waikanae 5036

Drawing: **Plumbing & Drainage Plans**

Drawn Date:
11.07.2019

Drawn By:
B.Clegg

Checked By:
Topcat Design Ltd

Drawn Scale:
As indicated

Sheet No:
Revision:
RFI 1

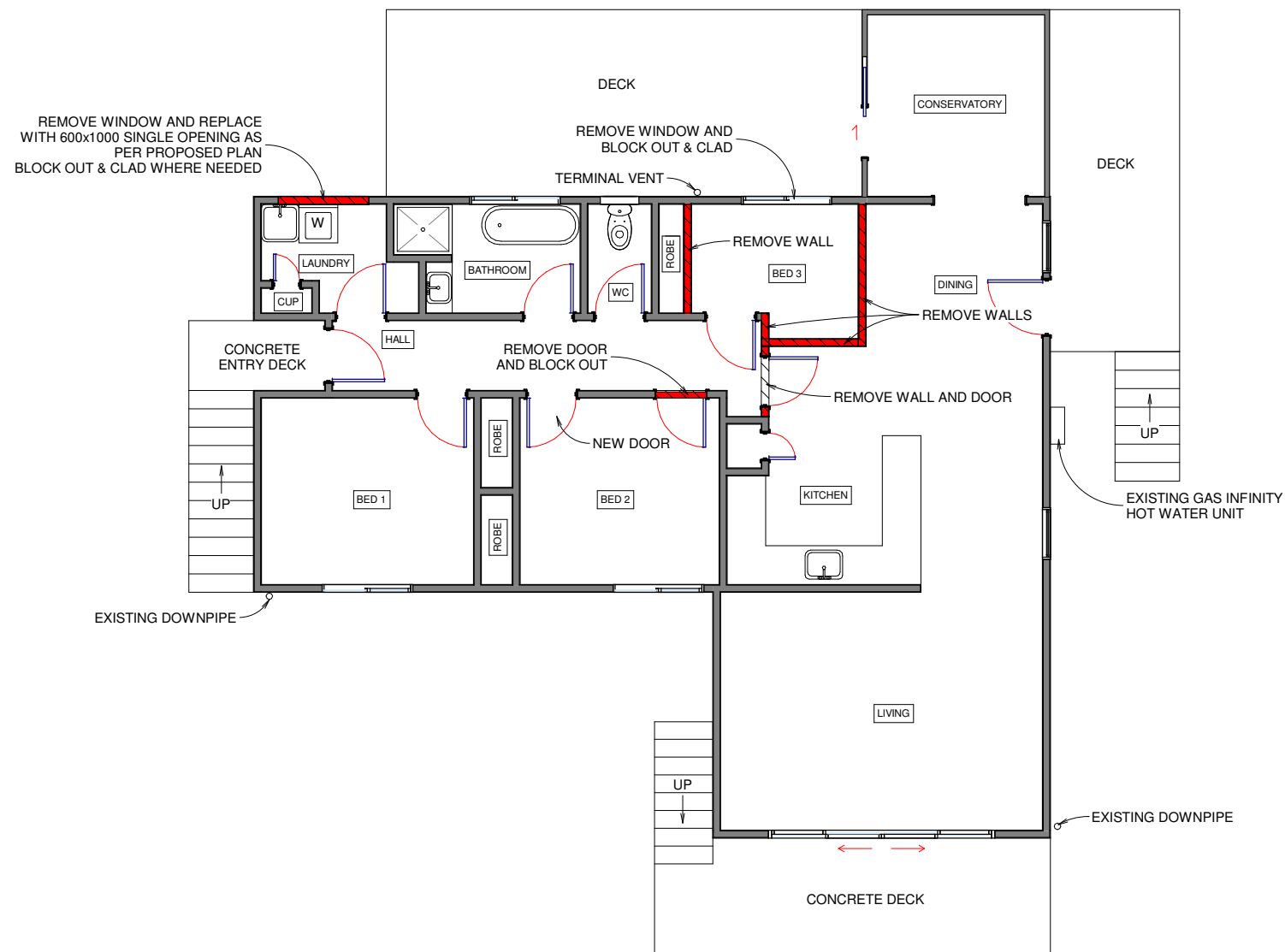
150

RFI Response Sheet – 12.08.2019

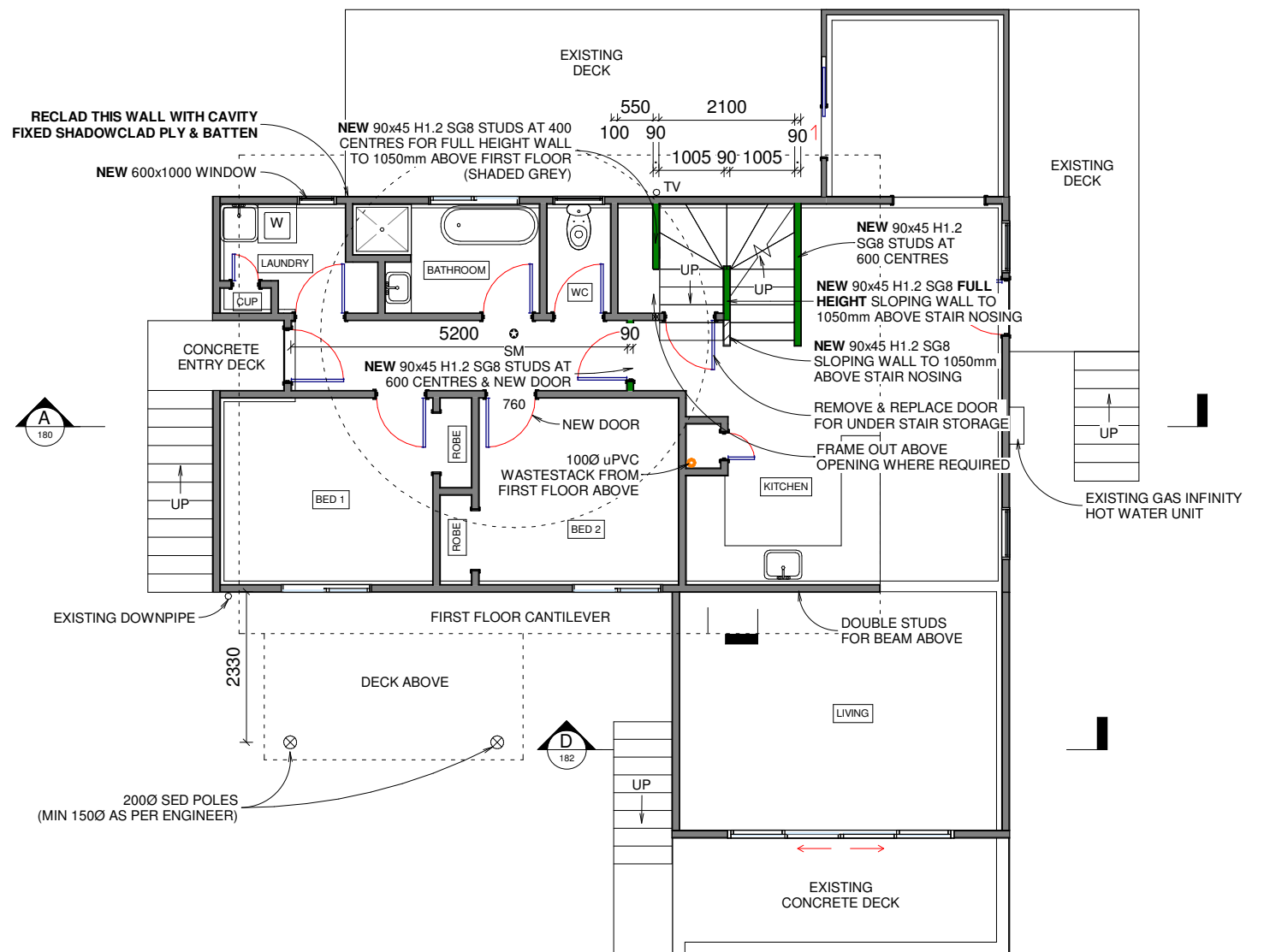
8 Hughes St, Waikanae

Building Consent: 190555

1. Provide the PS1 for the Juralco EDGE proprietary face fixed balustrade system.
Please see the attached PS1.
2. Indicate smoke detector to both levels.
Smoke detectors have been shown on the proposed first floor. Please see the attached updated sheet 110 with the smoke detector shown in the hallway on the proposed plan.
3. Brace unit B2 has the TV passing through the top plate – Revise or indicate a suitable method of strengthening at the penetration.
4. Please see the updated sheets with the new terminal vent location.
5. As the site is located 182m from breaking surf in a VH wind zone verification from the metal roof manufacturer is required confirming MAXX is appropriate (Refer to the note in italics in the “Environmental Categories.....” literature).
We are nearly double the distance away (182m) from the environment where Colorsteel MAXX is required (50m-100m). We cannot see a problem with using Colorsteel MAXX as this is the highest rated product for beach environment properties. The note in italics “this environment may be extended inland by prevailing winds and local conditions” can be deemed as being applicable due to the very high wind zone, however being nearly double the distance away, it would be impractical to have to gain verification from Colorsteel that this product is okay to be used.



1 Existing/Demolition Ground Floor Plan
1 : 100



CHECK THE GROUND FLOOR STUDS ARE AT 400CRS IF NOT CALL ENGINEER

2 Ground Floor Proposed Plan
1 : 100

NOTE: ALL DIMENSIONS AND INFORMATION TO BE CONFIRMED ON SITE BY CONTRACTOR

Address: 8 Hughes St, Waikanae Beach
Waikanae 5036

Drawing: Ground Floor Existing/Demolition & Proposed

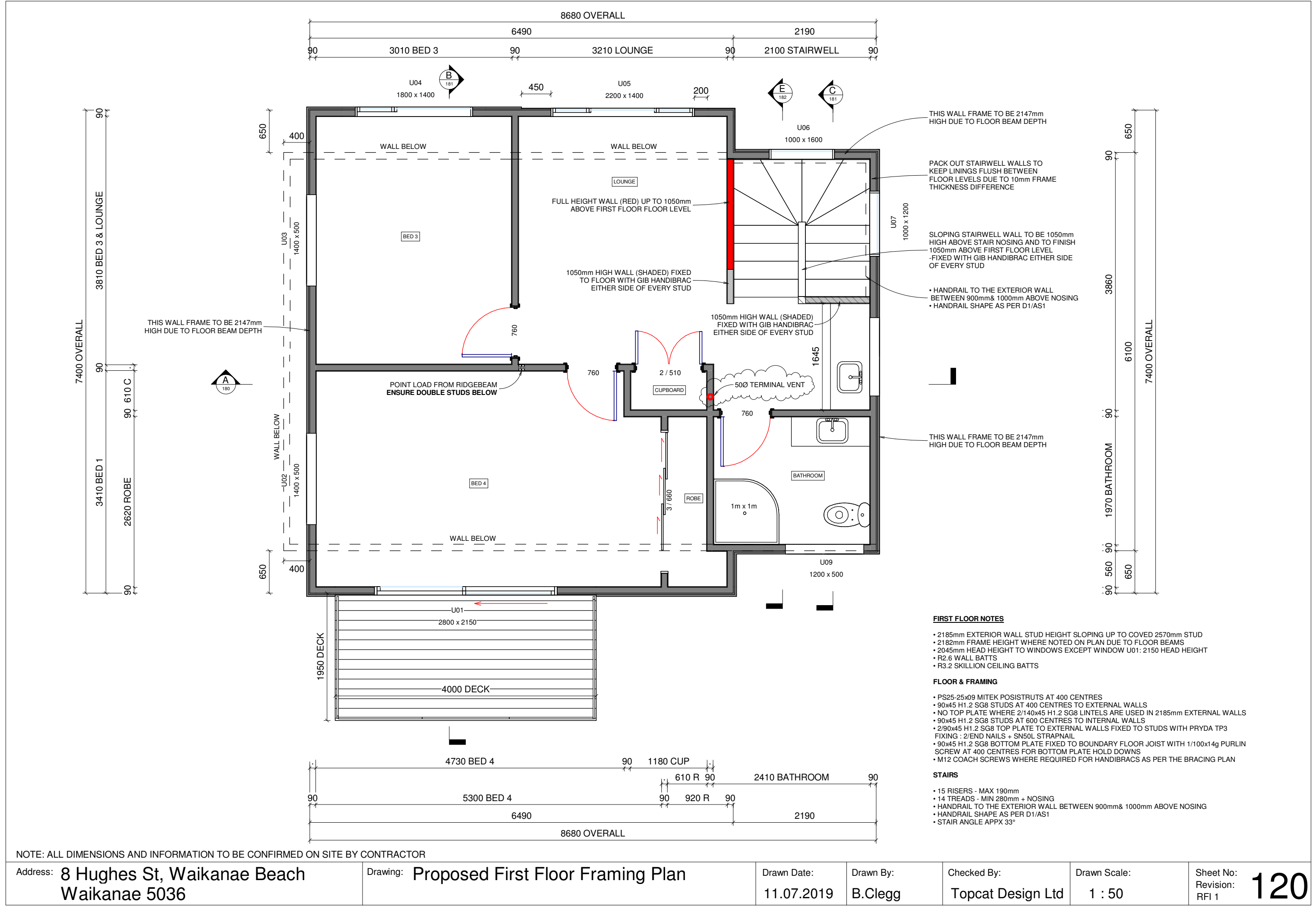
Drawn Date:
11.07.2019

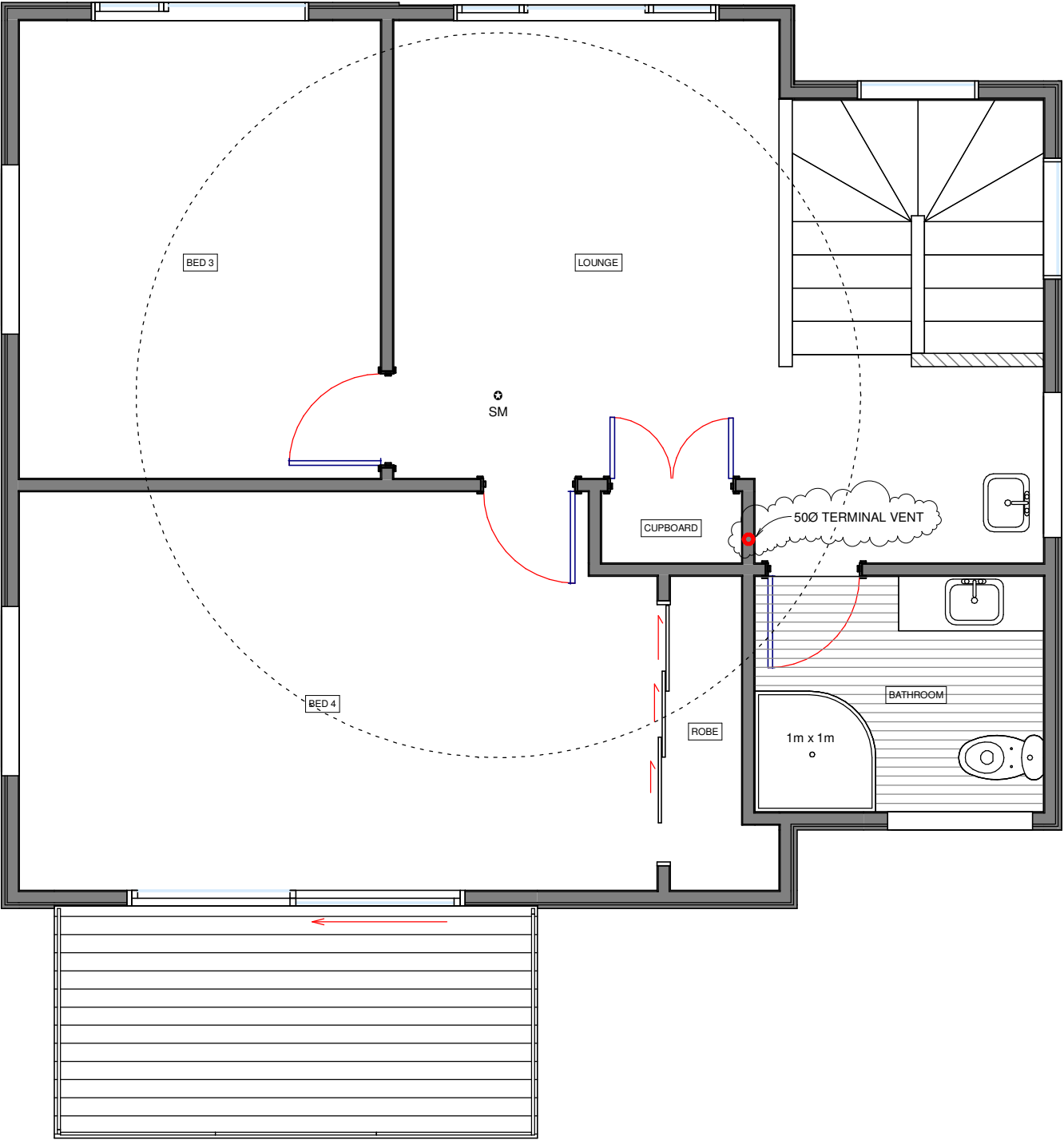
Drawn By:
B.Clegg

Checked By:
Topcat Design Ltd

Drawn Scale:
1 : 100

Sheet No:
Revision:
RFI 1
110





GENERAL NOTES:

- VERY WIND ZONE
- WINDOW HEAD HEIGHTS AS PER WINDOW SCHEDULE & SHEET 120
- THICK H3.1 TIMBER DOOR & WINDOW JAMBS WITH ARCHITRAVES

FLOOR & DECK:

- PS25-25x09 MITEK POSISTRUTS AT 400 CENTRES
- 17.5mm OR 21mm H3.1 PLYWOOD FLOORING
- NON-SLIP VINYL FLOORING AS PER D1/AS1 TO BATHROOM
- STANDARD H3.1 TIMBER 30mm NON SLIP GRIP TREAD DECKING TO DECK

LININGS & CLADDINGS

INTERIOR LINING

- 10mm GIB BOARD TO INTERNAL WALLS (10mm AQUALINE TO WET AREAS)
- 13mm GIB BOARD TO CEILINGS (10mm AQUALINE TO WET AREAS)

CLADDING

- WATERGATE PLUS BUILDING PAPER INSTALLED TO MANUFACTURERS SPEC'S
- 20mm DRAINED CAVITY WITH H3.1 TIMBER CAVITY BATTENS

• SHADOWCLAD PLY & BATTEN OVER 20mm DRAINED CAVITY WITH BOXED CORNERS INSTALLED AS PER DETAILS PROVIDED

• **ALL CUT EDGES OF SHADOWCLAD PLY MUST BE COATED WITH A BRUSH ON TIMBER PRESERVATIVE**

• **HOLDFAST® METALEX® CLEAR IS RECOMMENDED**

SHADOWCLAD PAINTED WITH 3 COAT PAINT FINISH:

- 1 COAT OF RESENE WOOD PRIMER
- 2 COATS OF RESENE SONYX

OR

IF SHADOWCLAD IS TO BE STAINED USE RESENE WOODMANS WOOD OIL STAIN AS PER SPECS

- BGC NULINE PLUS - 175mm PROFILE (HORIZONTAL)
- 3 COAT PAINT FINISH
- EG: RESENE CONCRETE PRIMER UNDERCOAT + 2 COATS OF RESENE SONYX

INSULATION

- R2.6 INSULATION TO EXTERNAL WALLS
- R3.2 SKILLION & STANDARD CEILING INSULATION INCLUDING THE NEW TRUSS ROOF OVER THE EXISTING GROUND FLOOR KITCHEN AND LIVING

WET AREAS:

- GIB AQUALINE INSTALLED AS PER MAN. SPEC'S WITH 3 COAT PAINT FINISH
 - EG: 1 COAT RESENE SURESEAL & 2 COATS OF RESENE SPACECOTE
- KITCHEN & BATHROOM
- 1m x 1m ACRYLIC SHOWER UNIT
- SAFETY GLASS TO SHOWER DOOR & RETURN WALLS AS PER NZS:4223
- SHOWER GLASS & SURROUND TO BE MIN 1800mm ABOVE SHOWER BASE AND NO LESS THAN 300mm ABOVE SHOWER ROSE
- SEAL ALL FIXTURES TO IMPERVIOUS LININGS WITH FLEXIBLE COLOUR MATCHED SEALANT AS PER E3/AS1 DETAILS

RECOMMENDED ENERGY SAVING NOTES:

- INSTALL MASTER SWITCH TO LIVING AREAS TO CONTROL POWER TO ALL NON-ESSENTIAL APPLIANCES (EXCLUDING FRIDGE ETC)
- INSTALL ENERGY EFFICIENT LED BULBS TO ALL LIGHT FITTINGS

LEGEND

 SM

= PHOTOELECTRIC SMOKE DETECTOR (1 OF)

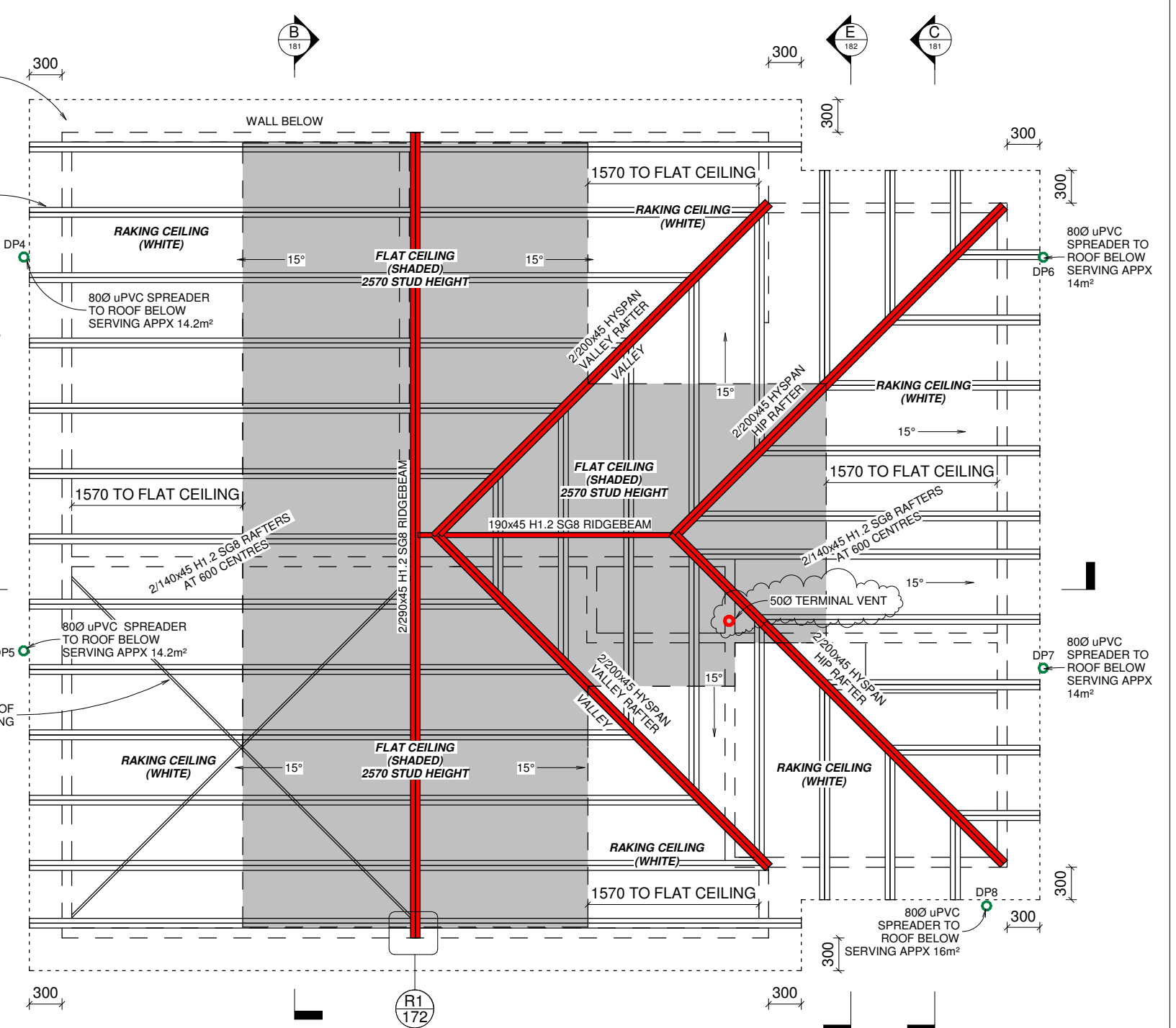


= VINYL FLOORING



= CARPET

NOTE: ALL DIMENSIONS AND INFORMATION TO BE CONFIRMED ON SITE BY CONTRACTOR



01 First Floor Proposed Roof Plan
1 : 50

ROOF GENERAL NOTES - VERY HIGH WIND

- 0.4g CORRUGATED COLORSTEEL: MAX ROOFING
- ROOFING FIXED TO C2 PATTERN: "HIT 1 MISS 1, HIT 1 MISS 2..."
- THERMAKRAFT 215 ROOFING PAPER OVER 50mm GALVANISED NETTING
- 70x45 H1.2 SGB PURLINS AT MAX 800 CENTRES ON THEIR FLAT FIXED TO RAFTERS WITH 1/100x14g PURLIN SCREW
- 13mm STANDARD GIB BOARD TO CEILINGS (10mm AQUALINE TO BATHROOMS) INSTALLED AS PER MAN. SPEC'S
- R3.2 STANDARD & SKILLION CEILING BATTS
- 80Ø UPVC SPREADERS TO TAKE MAX 25m² OF WATER TO LOWER ROOF

ROOF STRUCTURE FIXINGS

- **RAFTER FIXING TO RIDGEBEAM:** PRYDA MULTIGRIP EACH SIDE OF RAFTER & 25mm x 1mm STRAP TO RAFTER TO RAFTER OVER RIDGE
- **RAFTER TO TOP PLATE:** FIXING TYPE E - 2/ 90 x 3.15 SKEW NAILS & 2 x WIRE DOGS
- **RIDGEBEAM TO RIDGEBEAM:** 190x45 H1.2 SG8 RIDGEBEAM HUNG OFF 2/290x45
- H1.2 SG8 RIDGEBEAM WITH PRYDA MULTIGRIP EITHER SIDE

STRUCTURE NOTES

- STRUCTURE NOTES**
- 2/140x45 H1.2 SG8 RAFTERS AT 600 CENTRES
 - 90x45 H1.2 SG8 CEILING JOISTS AT 600 CENTRES WITH 2570 STUD HEIGHT AS SHOWN IN SHADED REGION ON PLAN
 - 2/290x45 H1.2 SG8 RIDGEBEAM AS NOTED ON PLAN & AS PER DESIGNIT CALCS
 - 190x45 H1.2 SG8 RIDGEBEAM AS NOTED ON PLAN & AS PER DESIGNIT CALCS
 - 2/200x45 HYPSPAN VALLEY & HIP RAFTERS AS NOTED ON PLAN & AS PER DESIGNIT CALCS

Address: 8 Hughes St, Waikanae Beach
Waikanae 5036

Drawn Date:	11.07.2019
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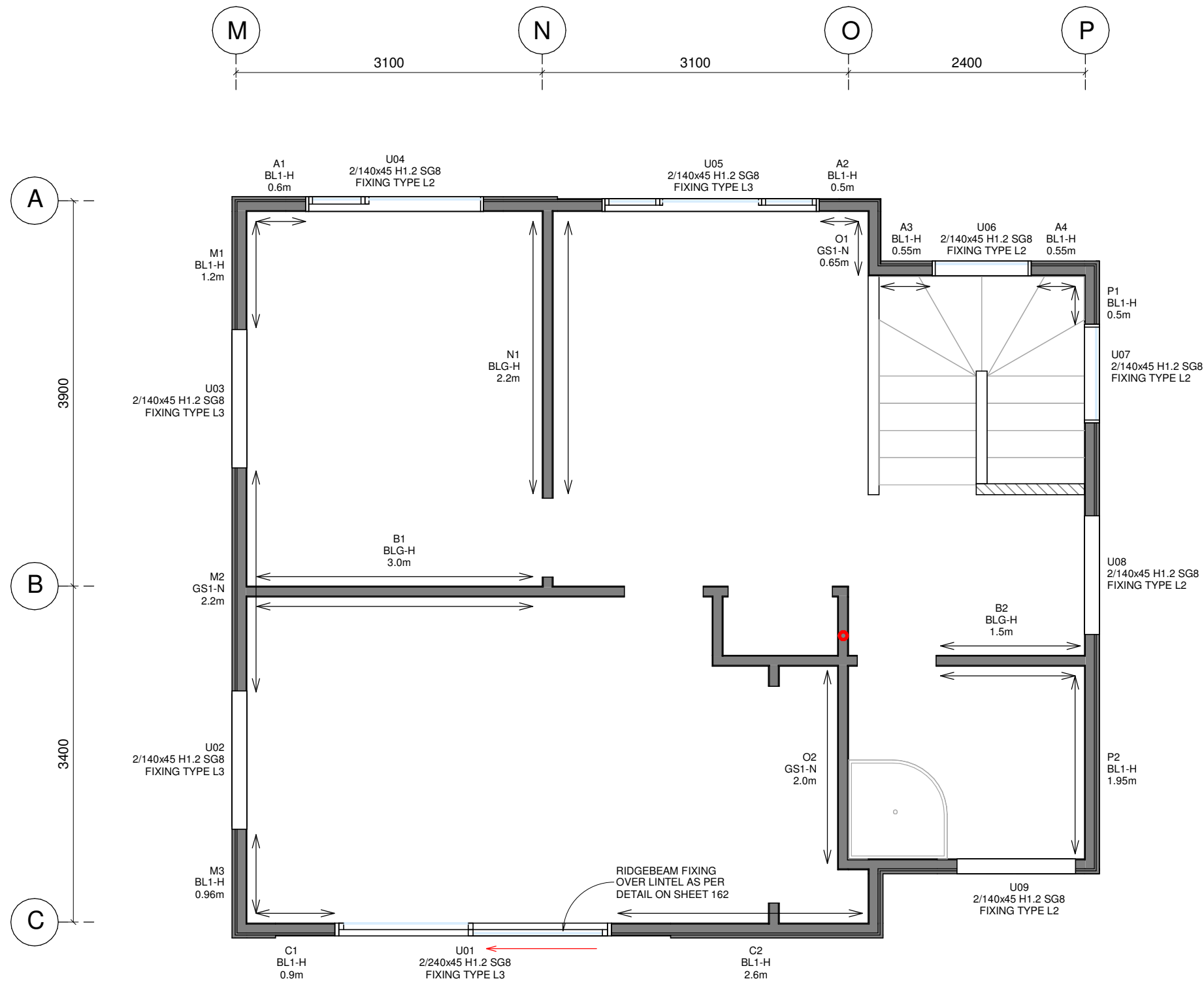
Drawn By:
B.Clegg

Checked By:
Topcat Design Ltd

Drawn Scale:
As indicated

Sheet No:
Revision:
BFL 1

160



BRACING LINING

- ALL BRACING PROVIDED BY GIB PLASTERBOARD & DESIGNED IN ACCORDANCE WITH "GIB EZYBRACE SYSTEMS - AUGUST 2016"

FIXING

- FIX EACH END OF BRACING ELEMENTS REQUIRING HOLD DOWNS WITH HANDIBRAC KITS AS REQUIRED
- FIX BRACING PLASTERBOARD USING FASTENERS & FASTENING PATTERNS AS PER MAN. SPEC'S

NOTE: ALL DIMENSIONS AND INFORMATION TO BE CONFIRMED ON SITE BY CONTRACTOR

Address: 8 Hughes St, Waikanae Beach Waikanae 5036	Drawing: First Floor Bracing & Lintel Plan	Drawn Date: 11.07.2019	Drawn By: B.Clegg	Checked By: Topcat Design Ltd	Drawn Scale: 1 : 50	Sheet No: Revision: RFI 1
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NAME: Ben Clegg

ADDRESS: 10 Malcolm Gillies Grove

DATE: 12/08/19 CONSENT AUTHORITY: Kapiti Coast District Council



THIS PS1 DOES NOT CONSTITUTE A SITE SPECIFIC REVIEW BY NANCEKIVELL CAIRN (2017) LTD AND IS ONLY APPLICABLE FOR STANDARD FIXINGS AND DESIGN PARAMETERS AS DETAILED IN THE RELEVANT MANUAL



New Zealand
Institute of Architects
Incorporated



Building Code Clause(s) **B1, F2, F4**

PRODUCER STATEMENT – PS1 – DESIGN

(Guidance on use of Producer Statements (formerly page 2) is available at www.engineeringnz.org)

ISSUED BY: **Nancekivell Cairn (2017) Ltd**
(Design Firm)
TO: **Juralco Aluminium Building Products Ltd**
(Owner/Developer)
TO BE SUPPLIED TO: **All Building Consent Authorities within New Zealand**
(Building Consent Authority)
IN RESPECT OF: **Juralco Edge Balustrade System**
(Description of Building Work)
AT: **Any location within New Zealand within the limits of this document**
(Address)

Town/City: (Address) **LOT DP SO**

We have been engaged by the owner/developer referred to above to provide:

Structural engineering review of testing and design of aluminium framed balustrades as specified in Juralco Edge Balustrade System Manual. Excludes design of all substructure beyond the immediate fixings, which must be designed by others to resist the appropriate actions and meet the appropriate safety from falling & pool fence setout requirements.

(Extent of Engagement)

services in respect of the requirements of Clause(s) **B1, F2, F4** of the Building Code for:

☐ All or ☒ Part only (as specified in the attachment to this statement), of the proposed building work.

The design carried out by us has been prepared in accordance with:

☐ Compliance Documents issued by the Ministry of Business, Innovation & Employment or
(verification method/acceptable solution)

☒ Alternative solution as per the attached schedule **AS/NZS1170, NZS3603, AS/NZS1664, NZS2208, NZS4223.3:2016**

The proposed building work covered by this producer statement is described on the drawings titled:

Juralco Edge Balustrade System Manual and numbered **Issue 11/18**
together with the specification, and other documents set out in the schedule attached to this statement.

On behalf of the Design Firm, and subject to:

- (i) Site verification of the following design assumptions **Structure beyond immediate fixings of posts to be designed by others**
(ii) All proprietary products meeting their performance specification requirements;

I believe on reasonable grounds that a) the building, if constructed in accordance with the drawings, specifications, and other documents provided or listed in the attached schedule, will comply with the relevant provisions of the Building Code and that b), the persons who have undertaken the design have the necessary competency to do so. I also recommend the following level of construction monitoring/observation:

☐ CM1 ☐ CM2 ☐ CM3 ☐ CM4 ☐ CM5 (Engineering Categories) or ☒ as per agreement with owner/developer (Architectural)

I, **Jade Vaotogo** am: ☒ CPEng **1006448** # ☐ Reg Arch #
(Name of Design Professional)

I am a member of: ☒ Engineering New Zealand ☐ NZIA and hold the following qualifications: **BE (Civil)**

The Design Firm issuing this statement holds a current policy of Professional Indemnity Insurance no less than \$200,000*.

The Design Firm is a member of ACENZ: ☒

SIGNED BY: **Jade Vaotogo** (Signature)
(Name of Design Professional)

ON BEHALF OF **Nancekivell Cairn (2017) Ltd** Date **22/11/2018**
(Design Firm)

Note: This statement shall only be relied upon by the Building Consent Authority named above. Liability under this statement accrues to the Design Firm only. The total maximum amount of damages payable arising from this statement and all other statements provided to the Building Consent Authority in relation to this building work, whether in contract, tort or otherwise (including negligence), is limited to the sum of \$200,000*.

This form is to accompany **Form 2 of the Building (Forms) Regulations 2004** for the application of a Building Consent.
THIS FORM AND ITS CONDITIONS ARE COPYRIGHT TO ACENZ, ENGINEERING NEW ZEALAND AND NZIA

NANCEKIVELL CAIRN (2017) LIMITED

Civil & Structural Engineers

34A Constellation Drive
Rosedale, Auckland 0632
PO Box 35 377
Browns Bay, Auckland 0753

Telephone
Facsimile
Email
Website

(09) 479 7028
(09) 479 7062
engineer@ncl.co.nz
www.ncl.co.nz

Our Ref: 99344

Thursday, November 22, 2018

Dear Sir/Madam,

RE: B2 COMPLIANCE - JURALCO EDGE BALUSTRADE SYSTEM

You have requested a Producer Statement for Design-PS1 for Clause B2 of the Building Code – Structural Durability.

We are not able to provide this because there is no effective verification method for B2 contained within the Building Code.

As these balustrade systems can be installed in a variety of settings, including internal and exposed environments, it is not deemed practical to specify durability requirements for the sub structure.

Timber treatments, mild steel corrosion protection coatings, concrete and masonry covers are therefore up to the building designer to specify in accordance with the relevant recognised standards.

However we can confirm that for the structure elements shown in our documentation:

Connections

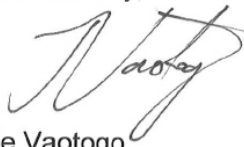
Stainless steel fixings have been specified throughout in accordance with NZ Building Code B2/AS1 acceptable solution NZS3604.

Aluminium

Aluminium has been provided in accordance with NZS1664, and all aluminium components are powder coated in house by Juralco. We note that this is on a time to first maintenance basis.

We trust this provides the information that you are seeking.

Yours faithfully,



Jade Vaotogo

Job: 94552

Client: Crighton ITM Greytown
Phone:Site: Hudophol
8 Hughes Street
Waikanae BeachDescription:
Building Consent No.:
MiTek 20/20 Engineering 4.7.346.0

MiTek New Zealand Limited

Phone:

Printed: 08:24:57 12 Mar 2021

MANUFACTURER STATEMENT

This statement is issued by **Pre-Nail Systems LTD** to the client listed above, and may be used by the Building Consent Authority to assist in determining compliance with the New Zealand Building Code.

The MiTek® trusses for the job reference **94552** have been fabricated in accordance with the MiTek 20/20® truss design, truss layout and shop drawing output and the specifications for timber defined therein, and are covered by the Producer Statement issued by MiTek New Zealand Limited and the MiTek Fabricator Design Statement.

Summary of fabricated MiTek® trusses in accordance with MiTek 20/20® output

These MiTek® trusses must be erected in accordance with the Truss Layout. Proper erection bracing must be installed to hold the trusses true and plumb and in a safe condition until permanent bracing is fixed. All permanent bracing and fixing must be installed before any loads are applied.

Job Details

Importance Level : 2

Design Working Life : 50 years

Roof

Material: Galv Iron 0.55mm
Dead Load: 0.220 kPa
Restraints: 900 mm centres
Live Load: Q_{ur} = 0.250 kPa
Q_c = 1.100 kN

Ceiling

Material: Standard Plaster Board 13mm
Dead Load: 0.210 kPa
Restraints: 600 mm centres
Live Load: Q_c = 1.400 kN

Wind

Area: Very High (50.0 m/s)
Pressure Coeff: C_{pe} = varies; C_{pi} = -0.30, 0.20

MiTek® Truss List

Legend: * = detail only, ? = input only, Txx = failed design, Ø = non certified, Unmarked trusses = designed successfully, LB = lateral bracing required
GB = gable brace required, CF = Chemical Free Treatment

Roof Truss

Treatment: Top Chords - H1.2 Bottom Chords - H1.2 Webs - H1.2

Truss	Qty	Span (mm)	Pitch (deg)	Spacing (mm)	Truss	Qty	Span (mm)	Pitch (deg)	Spacing (mm)	Truss	Qty	Span (mm)	Pitch (deg)	Spacing (mm)
ET01	1	5180	15.000	900	*R04	1	2242	15.000	600	*R15A	1	1808	15.000	600
*FR1	2	2890	15.000	900	*R04A	1	2241	15.000	600	*R16	1	2108	15.000	600
*FR2	4	3545	15.000	600	*R05	1	1642	15.000	600	*R16A	1	2108	15.000	600
*HB01	1	5603	10.728	900	*R05A	1	1641	15.000	600	*R17	1	2108	15.000	600
HR1	1	4704	10.728	900	*R06	1	1042	15.000	600	*R17A	1	2108	15.000	600
HR2	1	4659	10.729	900	*R06A	1	1041	15.000	600	*R18	1	1794	15.000	600
HR3	1	4661	10.729	900	*R07	1	442	15.000	600	*R18A	1	1795	15.000	600
HR4	1	4706	10.729	900	*R07A	1	441	15.000	600	*R19	1	1194	15.000	600
J01	1	3662	15.000	900	*R08	1	576	15.000	600	*R19A	1	1195	15.000	600
J01A	1	3662	15.000	900	*R08A	1	577	14.999	600	*R20	1	594	15.000	600
J02	1	2762	15.000	900	*R09	1	1176	15.000	600	*R20A	1	595	15.000	600
J03	1	1862	15.000	900	*R09A	1	1177	15.000	600	*R21	1	613	15.000	900
J03A	1	1862	15.000	900	*R10	1	1776	15.000	600	*R21A	1	613	15.000	900
J04	1	2762	15.000	900	*R10A	1	1777	15.000	600	*R22	1	1275	15.000	900
J05	1	2762	15.000	900	*R11	1	2376	15.000	600	RB1	1D	7400	0.000	900
J06	3	3662	15.000	900	*R11A	1	2377	15.000	600	RB2	1	2460	0.000	900
*OR1	12	2955	0.000	600	*R12	1	2976	15.000	600	T01	4	5180	15.000	900
*OR2	28	633	0.000	600	*R12A	1	2977	15.000	600	VR1	1	4749	10.729	900
R01	12	3500	15.000	600	*R13	1	608	14.999	600	VR2	1	4704	10.728	900
*R02	1	3442	15.000	600	*R13A	1	608	14.999	600	VR3	1	4706	10.729	900
*R02A	1	3409	15.000	600	*R14	1	1208	15.000	600	VR4	1	4751	10.729	900
*R03	1	2842	15.000	600	*R14A	1	1208	15.000	600					
*R03A	1	2841	15.000	600	*R15	1	1808	15.000	600					

Roof Truss quantity : 125

Total quantity : 125

The MiTek® trusses are fabricated under the supervision of:

Signed:

Date:

12/3/2021

Name of Supervisor:

On behalf of : Pre-Nail Systems LTD



Job: 94552_P
Description:
Building Consent No.:
MiTek 20/20 Engineering 4.7.346.0

Client: Crighton ITM Greytown
Phone:

Site: Hudophol
8 Hughes Street
Waikanae Beach

Phone:

MiTek New Zealand Limited

Printed: 08:24:41 12 Mar 2021

MANUFACTURER STATEMENT

This statement is issued by **Pre-Nail Systems LTD** to the client listed above, and may be used by the Building Consent Authority to assist in determining compliance with the New Zealand Building Code.

The MiTek® trusses for the job reference **94552_P** have been fabricated in accordance with the MiTek 20/20® truss design, truss layout and shop drawing output and the specifications for timber defined therein, and are covered by the Producer Statement issued by MiTek New Zealand Limited and the MiTek Fabricator Design Statement.

Summary of fabricated MiTek® trusses in accordance with MiTek 20/20® output

These MiTek® trusses must be erected in accordance with the Truss Layout. Proper erection bracing must be installed to hold the trusses true and plumb and in a safe condition until permanent bracing is fixed. All permanent bracing and fixing must be installed before any loads are applied.

Job Details		Importance Level :	2	Design Working Life :	50 years
Roof		Ceiling		Wind	
Material:	Galv Iron 0.55mm	Material:	Standard Plaster Board 13mm	Area:	Very High (50.0 m/s)
Dead Load:	0.220 kPa	Dead Load:	0.210 kPa	Pressure Coeff:	Cpe = varies; Cpi = -0.30, 0.20
Restraints:	900 mm centres	Restraints:	600 mm centres		
Live Load:	Q _{ur} = 0.250 kPa Q _c = 1.100 kN	Live Load:	Q _c = 1.400 kN		
Floor Truss		Ceiling		Occupancy Live Load	
Timber Group:	PNS MSG H1.2	Material:	Standard Plaster Board 13mm	Distributed:	Q _{uf} = 1.500 kPa
Floor		Dead Load:	0.210 kPa	Concentrated:	Q _{cf} = 1.800 kN
Material:	20mm Particle Board	Restraints:	600 mm centres		
Dead Load:	0.200 kPa				
Restraints:	Continuous				

MiTek® Truss List

Legend: * = detail only, ? = input only, Txx = failed design, Ø = non certified, Unmarked trusses = designed successfully, LB = lateral bracing required
GB = gable brace required, CF = Chemical Free Treatment

Roof Truss

Treatment: Top Chords - H1.2 Bottom Chords - H1.2 Webs - H1.2

Truss	Qty	Span (mm)	Pitch (deg)	Spacing (mm)
*BJ1	2	6490	0.000	400
*BJ2	1D	727	0.000	400
*RB1	1	2100	0.000	400
*SB1	1	6665	0.000	400
*SB2	1	2100	0.000	400

Roof Truss quantity : 6

Floor Truss

Treatment: Top Chords - H1.2 Bottom Chords - H1.2 Webs - H1.2

Floor	Qty	Span (mm)	Depth (mm)	Spacing (mm)
PS01	7	7310	248	400
PS02	8	7310	248	400
PS03	1	3693	248	400
PS04	5	3710	248	400
PS05	2	7310	248	400

Floor Truss quantity : 23

Total quantity : 29

The MiTek® trusses are fabricated under the supervision of:

Signed:

Date:

Name of Supervisor:

On behalf of : Pre-Nail Systems LTD











Building Consent Addendum to 190555

Application	Building Consent No. 190555
Tom Clegg	
10 Malcolm Gillies Grove	
Totara Park	
Upper Hutt 5018	

Project	
Description:	Dwellings - Alterations & additions Being Stage 1 of an intended 1 Stages New second storey addition including new bathroom, lounge & 2 bedrooms plus new deck off bedroom 4
Intended Life:	Indefinite, but not less than 50 years
Intended Use:	Residential Dwelling
Estimated Value:	\$160,000
Location:	8 Hughes Street, Waikanae
Legal Description:	LOT 2 DP 23534
Valuation No:	1491028000

Designer: Tom Clegg 10 Malcolm Gillies Grv, Totara Park, UpH : 027 441 8374

Specific requirements

1. Names and registration numbers of the plumber and drainlayer are required before work commences.
2. A certifying plumber/drainlayer is to complete the attached producer statement forms and return to Council. Also provide a neat 'as built' drainage plan showing sewer, stormwater and water.

Tom Clegg
10 Malcolm Gillies Grove
Totara Park
Upper Hutt 5018

Dear Building Consent Amendment Applicant / Building Owner

Approval of Building Consent Amendment: 190555A

Location: 8 Hughes Street, Waikanae
Legal Description: LOT 2 DP 23534
Description: Moving first floor 400mm to increase the ground floor dining area to line up with existing ground floor southeast

I am pleased to inform you that the above building consent amendment application has been granted. The building consent amendment documents have been issued and are enclosed and the work to which the amendment relates may now commence. Under section 49 of the Building Act 2004, Council is satisfied that the provisions of the building code will be met if the proposed building work is completed in accordance with those plans and specifications.

This amendment does not affect any duty or responsibility under any other Act or permit any breach of any other Act and does not give or imply any rights to transgress beyond your legal boundaries. Any work that is required beyond your legal boundaries can only be undertaken with the permission of the affected owner/s.

Before starting any work please read ALL the building consent amendment documents carefully and in full so that you, as the owner, understand the conditions under which the amendment has been issued. If you have any questions regarding your building consent or your responsibilities, please contact Kapiti Coast District Council on 04 296 4700 or toll free on 0800 486 486.

Signature

Position

On behalf of: KAPITI COAST DISTRICT COUNCIL

Date: 29 October 2019

Ben Clegg
10 Malcolm Gillies Grove
Totara Park
Upper Hutt 5018

Dear Building Consent Amendment Applicant / Building Owner

Approval of Building Consent Amendment: 190555B

Location: 8 Hughes Street, Waikanae

Legal Description: LOT 2 DP 23534

Description: Changing to the first floor deck balustrade. The balustrade was originally glass but has now been changed to timber.

I am pleased to inform you that the above building consent amendment application has been granted. The building consent amendment documents have been issued and are enclosed and the work to which the amendment relates may now commence. Under section 49 of the Building Act 2004, Council is satisfied that the provisions of the building code will be met if the proposed building work is completed in accordance with those plans and specifications.

This amendment does not affect any duty or responsibility under any other Act or permit any breach of any other Act and does not give or imply any rights to transgress beyond your legal boundaries. Any work that is required beyond your legal boundaries can only be undertaken with the permission of the affected owner/s.

Before starting any work please read ALL the building consent amendment documents carefully and in full so that you, as the owner, understand the conditions under which the amendment has been issued.

If you have any questions regarding your building consent or your responsibilities, please contact Kapiti Coast District Council on 04 296 4700 or toll free on 0800 486 486.

Signature

Position

On behalf of: KAPITI COAST DISTRICT COUNCIL

Date: January 00

BC AMENDMENT OFFICE RECORD



Building Consent Amendment No.	190555B
Description of amended work	Changing to the first floor deck balustrade. The balustrade was originally glass but has now been changed to timber.
Location (Site Address)	8 Hughes Street, Waikanae
Building Project	

Dialogue Record

Record all telephone discussions in relation to the application.

Note: all written records including emails are to be directly saved to the building consent folder in ED

Date / time	State content of discussion!!!	Initials

Notes; Addenda conditions, amendment to compliance schedule etc.

Tom Clegg
10 Malcolm Gillies Grove
Totara Park
Upper Hutt 5018

22 August 2019

Dear Building Consent Applicant / Building Owner

Approval of Building Consent – Detached Residential / Outbuilding: 190555

Location: 8 Hughes Street, Waikanae
Legal Description: LOT 2 DP 23534
Description: New second storey addition including new bathroom, lounge & 2 bedrooms plus new deck off bedroom 4

I am pleased to inform you that the above building consent application has been approved. The building consent documents have been issued and are enclosed.

The building consent attached to this letter is consent under the Building Act 2004 to undertake building work in accordance with the plans and specifications that accompanied your application. Under section 49 of that Act, Council is satisfied that the provisions of the building code would be met if the proposed building work were completed in accordance with those plans and specifications. This consent does not affect any duty or responsibility under any other Act or permit any breach of any other Act.

This building consent does not give or imply any rights to transgress beyond your legal boundaries. Any work that is required beyond your legal boundaries can only be undertaken with the permission of the affected owner/s.

Before starting any work please read ALL the building consent documents carefully and in full so that you, as the owner, understand the conditions under which the consent has been issued.

Please note that this building consent includes restricted building work, the details of this are included in this letter.

Owner responsibilities

The owner is responsible for ensuring:

- building work starts within 12 months of the approval of the building consent and that work progresses at a reasonable pace.
- written notice of every licensed building practitioner undertaking restricted building work is provided to Council before that work commences, and any changes are advised in writing

- the approved building consent documents are kept on site during construction and available for the District inspector at inspections
- all required inspections are completed and that a Code Compliance Certificate is obtained once the work has been completed. The list of supporting documentation required before issue of the Code Compliance Certificate and information on filling out the application form for code compliance certificate is attached. Failure to obtain a final inspection and a code compliance certificate may affect your insurance cover and could affect future re-sale of your property.
- a Corridor Access Request is made and a Works Access permit is obtained before undertaking work in the legal road/road reserve, including installing a vehicle access crossing from the public road into your property. The process to be followed and the forms can be found on the Council website under Council Services/Roads or Council Services/Frequently asked questions/Access & Transport.
- before any excavations are undertaken a "Before U Dig" inquiry is made to check for locations of any underground services.
- no work with noisy equipment is to be carried out before 7.30 a.m. or after 6 p.m. Monday to Saturday. During the week there may be workers on site from 6.30 a.m. quietly preparing for work. Work with noisy equipment is not permitted on Sundays and public holidays.
- all loose materials that are capable of being carried by the wind are either secured or removed from the site. All activities must be carried out in a manner that keeps to a minimum the dust nuisance to adjacent properties.
- no damage occurs to public property, for example footpaths, water meters or retaining structures. Should damage occur you will be required to pay for any repairs.
- obtaining an amendment to the building consent for any changes to the approved building consent, prior to that work being undertaken.
- meeting the requirements of any easements, consent notices, covenants, and like listings registered on the title.
- the development contributions invoiced, if any, must be paid before a code compliance certificate can be issued.
- all maintenance recommended by the manufacturers is carried out at the required intervals.

General requirements

Note: Your attention is drawn to the notes contained in the 'Addendum to the Consent' and guidance documents referred to.

The following information is relevant to this building consent:

1. The Building Inspector is to be given 24 hours' notice before carrying out the inspections on the attached list. To arrange for inspections by the District Inspector, please contact the building inspectorate on 04 296 4700 between the hours of 8.00am and 4.30pm.

2. Refer to the list of inspections required. Under section 90 of the Building Act 2004 agents authorised by the Council (acting as a Building Consent Authority) are entitled, at all times during normal working hours or while building work is being done, to inspect—
 - a. land on which building work is being or is proposed to be carried out; and
 - b. building work that has been or is being carried out on or off that building site; and
 - c. any building.
3. You are responsible for the safety of visitors to the work site including those undertaking building inspections. You must provide safe access to parts of the construction necessary for inspection. Ladder access must be securely founded and tied. Scaffold access and roof edge protection is generally required.
4. If required inspections, including those by designers of specifically designed elements, are not undertaken you may experience difficulty in obtaining a Code Compliance Certificate for the project. We suggest that at the time of the first inspection you discuss the inspection requirements with the inspecting officer.
5. This building consent will lapse and be of no effect if the building work concerned has not been commenced within 12 calendar months after the date of issue, or within such further period as the territorial authority allows.
6. The contractor is to leave the site clear of all demolition materials and in a tidy state.
7. Easements, consent notices, covenants, and like listings registered on the title are the responsibility of the applicant.
8. Note and comply with endorsements on approved plans.

Restricted Building Work

The following building work associated with this building consent is restricted building work [Section 7 and 402(1)(n) of the Building Act 2004 and Building (Definition of Restricted Building Work) Order 2011]:

Description of restricted building work including design work that is restricted building work
Primary structure
Foundations and subfloor framing
Walls
Roof
Columns and beams
Bracing
Other
External moisture management systems
Damp proofing
Roof cladding or roof cladding system
Ventilation system (for example subfloor or cavity)
Wall cladding or wall cladding system
Waterproofing
Other

Please note that the design work and restricted building work must be supervised or carried out by a licensed building practitioner who is licensed to carry out or supervise that kind of building work.

You or your agent will need to provide their details to the Council in writing prior to commencement of the building work. If after the restricted building work commences the named licensed building practitioner(s) ceases to be engaged to carry out or supervise the restricted building work under the building consent, this must also be advised in writing as must also the details of any other licensed building practitioner(s) subsequently engaged to carry out or supervise the restricted building work (Section 87 of the Building Act 2004). A form "Advice of licensed building practitioner(s)" is enclosed for you to use to advise the Council of licensed building practitioner details.

Please also note that it is an offence to engage another person to carry out or supervise restricted building work who is not a licensed building practitioner (Section 86 of the Building Act 2004).

Other reference material

- Guide for completing an application for code compliance,
<http://www.kapiticoast.govt.nz/globalassets/regulatory/building/form-278a-guide-for-ccc-application.pdf>
- A guide to the inspection process
http://www.kapiticoast.govt.nz/globalassets/regulatory/building/form_559_a_guide_to_the_inspection_process.pdf

If you have any questions regarding your building consent or your responsibilities, please contact Kapiti Coast District Council on 04 296 4700 or toll free on 0800 486 486.

Building Consent

[Form 5, Building (Forms) Regulations 2004]

190555

Section 51, Building Act 2004

The building

Street address of building: 8 Hughes Street, Waikanae
Legal description of land where building is located: LOT 2 DP 23534
Valuation number: 1491028000
Building name: Existing Dwelling
Location of building within site/ block number: Central on the site with driveway from Hughes St
Level/unit number:

The owner

Name of owner: Terry Doran
Contact person: As above
Mailing address: 8 Hughes Street, Waikanae Beach, Waikanae 5036
Street address/registered office: N/A
Phone numbers:
Landline: - *Mobile:* 027 443 7605
After hours: - *Fax number:* -
Email address: terrydoran@outlook.co.nz
Website: -

First point of contact for communications with the council/building consent authority:

Full Name: Tom Clegg

Mailing Address: 10 Malcolm Gillies Grove, Totara Park, Upper Hutt 5018

Phones: 027 441 8374

Email: tom@topcatdesign.co.nz

Building work

The following building work is authorised by this building consent:

New second storey addition including new bathroom, lounge & 2 bedrooms plus new deck off bedroom 4

Residential Dwelling

This building consent is issued under section 51 of the Building Act 2004. This building consent does not relieve the owner of the building (or proposed building) of any duty or responsibility under any other Act relating to or affecting the building (or proposed building). This building consent also does not permit the construction, alteration, demolition, or removal of the building (or proposed building) if that construction, alteration, demolition, or removal would be in breach of any other Act.

Conditions of building consent

This building consent is subject to the following conditions:

1. There are no conditions.

Compliance schedule

A compliance schedule is not required for the building.

Attachments

Copies of the following documents are attached to this building consent:

- List of required inspections and supporting documentation required
- Building Consent Addendum
- Plans and specifications
- Advice of licensed building practitioners

Note: The cover letter and all attachments to this building consent should be read fully to ensure you understand all conditions of this consent.

Signature

Position

On behalf of: KAPITI COAST DISTRICT COUNCIL

Date: 13/08/19

Relevant Information

Issued in accordance with Building Consent No. 190555

1. Development contributions must be paid within 10 days of the date of invoice.
2. Both hot and cold water pipes are to be tested to 1500kPa pressure.
3. Any external cladding system must be completed before a pre-lining inspection for the affected wall can take place.
4. The owner/builder is responsible for clearly defining the site boundary lines and pegs. This may require a survey. NOTE: established fences are not necessarily on the boundary.
5. Plan notes take precedence over general specifications.

8 August 2019

Tom Clegg
10 Malcolm Gillies Grove
Totara Park
Upper Hutt 5018

Dear Building Consent Applicant/Building Owner

Request for Further Information – Building Consent: 190555

Site Address: 8 Hughes Street, Waikanae
Legal Description: LOT 2 DP 23534
Project Description: New second storey addition including new bathroom, lounge & 2 bedrooms plus new deck off bedroom 4

Following checking of your Building Consent it is apparent that further information is required.

Information needed:

BUILDING

1. Provide the PS1 for the Juralco EDGE proprietary face fixed balustrade system.
2. Indicate the smoke detectors to both levels
3. Brace unit B2 has the TV passing through the top plate - revise or indicate a suitable method of strengthening at the penetration.
4. As the site is located 182m from breaking surf in a VH wind zone verification from the metal roof manufacturer is required confirming MAXX is appropriate (Refer to the note in italics in the "Environmental Categories....." literature).

We have suspended your application pending receipt of the above information. Please send it to us by 22 August 2019. We are unable to issue your Building Consent until these matters are resolved.

Information can be posted, emailed to Building.Approvals@kapiticoast.govt.nz or dropped in at one of Council's service centres.

If you need more time, have any questions or you would like to discuss this matter, please contact me on (04) 296 4700 or john.peterson@kapiticoast.govt.nz referencing Building Consent No 190555.

Yours sincerely

John Peterson
Building Officer

cc Building Owner

GoGet Inspection Audit Report

Consent No: **190555**
Applicant: **Tom Clegg**
Site Address: **8 Hughes Street, Waikanae**
Work Type: **New second storey addition including new bathroom, lounge & 2 bedrooms plus new deck off bedroom 4**

Inspection Type: **Drainage**
Inspection Outcome: **Pass**
Inspected By: **Anthony Wilson**
Inspection Date: **11 March 2021 3:01 p.m.**
Duration: **0 minutes**

Inspection Element	Status
General	Pass
No new drainage, connections to existing above ground	
Pipe diameter	N/A
Bedding material	N/A
Gully trap	N/A
Connections/angles	N/A
Branch length	N/A
Direction/fall	N/A
Holding water	N/A
Terminal vent	N/A
Registration number	N/A
Stormwater sumps	N/A
Agent/owner written approval	N/A
non compliance discussed onsite	N/A
Next Inspection required	N/A
Other	Pass
All connections above ground under sub floor.	

Documentation

Electrical safety certificate - Electrician	Received
Gas safety certificate	Received
Drainage (Form 127) for private sewer installation	Clear
Construction review PS4 statement for structural engineering	Required
Roof product manufacturers warranty	Received
Window manufacturers producer statement	Required

Building Practitioners

Carpentry 1	Received
Foundations 1	Received
Roofing 1	Received
Gasfitter	Received
Electrician	Received

GoGet Inspection Audit Report

Consent No: **190555**
 Applicant: **Tom Clegg**
 Site Address: **8 Hughes Street, Waikanae**
 Work Type: **New second storey addition including new bathroom, lounge & 2 bedrooms plus new deck off bedroom 4**

Inspection Type: **Final Inspection**
 Inspection Outcome: **Fail**
 Inspected By: **Anthony Wilson**
 Inspection Date: **11 March 2021 3:16 p.m.**
 Duration: **75 minutes**

Inspection Element	Status
Exterior	Fail
All previous inspections/notes passed	Pass
All passed items on this inspection have been assessed against the consented documentation	
Drawings	Pass
Additional information/plan	N/A
Sub-floor ventilation	N/A
Roof fixings	Pass
As required	
Spouting and down-pipes	Pass
Connected and spreaders to lower roof area	
Deck structure	Fail
Deck balustrade is not as per consent.	
Flashings - roof	Pass
Installed and fixed as required	
Penetrations - flashings	N/A
Barriers	Fail
1m high balustrade on deck changed from consent for glass balustrade to timber construction which requires an amendment.	
Typically a certificate of acceptance would be required for work already carried out, however as the deck structure is easily visible an amendment can be applied for to reflect the timber construction.	
Gully dishes	Pass
Existing	
Stormwater and site drainage	Pass
Connected to existing	
Handrails	N/A
Wastes to gully	Pass
Fixings - durability	Pass
Stainless steel exposed fixings	
Steps/stairs	N/A
Terminal vents/AAVs	Pass
Cladding painted/sealed	Pass
Finished as required	
Flashings - windows/doors	Pass
Cladding ground clearance	Pass
non compliance discussed onsite	N/A
Final check complete	Fail
Other	N/A

Interior	Fail
All previous inspections/notes passed	Pass
Drawings	Pass
Additional information/plan	N/A
Service areas-floors/walls	Pass
Completed with impervious surfaces.	
Stair design	Pass
As per plan	
Handrails	Pass
Continuous handrail 900mm high from pitch line	
Balustrades	N/A
Lightings	Pass
Electrical cert supplied	
Laundering	N/A
Cooking facilities	Fail
Hobs installed upstairs are not part of the consent.	
This will require a review by KCDC planning and an amendment because it is now classed as a second kitchen.	
Smoke detectors	Pass
Both floors by bedrooms	
Food storage/preparation	N/A
Ventilation	Pass
Insulation and clearance	N/A
HWC flues	N/A
HWC restraint	N/A
Tempering valve	N/A
Glazing - human impact	Pass
Hot water temp	N/A
Solid fuel heater	N/A
Water supply tank	N/A
Trap seals and AAVS	Pass
Cistern flushing	Pass
WC pan connection	Pass
Septic tank	N/A
Window labels	Pass
non compliance discussed onsite	N/A
Final check complete	Pass
All aspects relating to this inspection have been assessed and checked against the consented documentation and deemed to comply.	
Other	N/A
Intertenancy/commercial	N/A
Other	N/A

Documentation

Electrical safety certificate - Electrician	Received
Gas safety certificate	Received
Drainage (Form 127) for private sewer installation	Clear
Construction review PS4 statement for structural engineering	Required
Roof product manufacturers warranty	Received
Window manufacturers producer statement	Required

Building Practitioners

Carpentry 1

Received

Foundations 1

Received

Roofing 1

Received

Gasfitter

Received

Electrician

Received

SITE NOTICE

Consent No: **190555**
Applicant: **Terry Doran**
Site Address: **8 Hughes Street, Waikanae**
Work Type: **New second storey addition including new bathroom, lounge & 2 bedrooms plus new deck off bedroom 4**
Building Category: **R3**

Inspection Type: **Subfloor**
Inspection Outcome: **Pass**
Inspected By: **Anthony Wilson**
Inspection Date: **11 March 2021**

Passed Items

General	Under floor piles, bearers and deck framing
Pile/bearer/joist fixings	12kn stainless steel connections
Joists	Deck joists 190 x 45
	Pozi struts in upstairs floor inspected at pre line.
	Existing floor joists at ground level to new bearer
Beams/bearers	2x 290mm rebated in to both sides of deck posts as per design
LBP number	114282
Other	Bracing as per set out.
	All aspects relating to this inspection have been assessed and checked against the consented documentation and deemed to comply.

Inspection Type: **Drainage**
Inspection Outcome: **Pass**
Inspected By: **Anthony Wilson**
Inspection Date: **11 March 2021**

Passed Items

General	No new drainage, connections to existing above ground
Other	All connections above ground under sub floor.

Inspection Type: **Preline Building**
Inspection Outcome: **Pass**
Inspected By: **Anthony Wilson**
Inspection Date: **11 March 2021**

Passed Items

General	
Bottom plate fixings	BL brace moved to other side of wall
Other	All aspects relating to this inspection have been

assessed and checked against the consented documentation and deemed to comply.

Inspection Type: **Final Inspection**
Inspection Outcome: **Fail**
Inspected By: **Anthony Wilson**
Inspection Date: **11 March 2021**

Failed Items

Exterior

Deck structure
Barriers

Deck balustrade is not as per consent.
1m high balustrade on deck changed from consent for glass balustrade to timber construction which requires an amendment.
Typically a certificate of acceptance would be required for work already carried out, however as the deck structure is easily visible an amendment can be applied for to reflect the timber construction.

Final check complete

Interior

Cooking facilities

Hobs installed upstairs are not part of the consent. This will require a review by KCDC planning and an amendment because it is now classed as a second kitchen.

Passed Items

Exterior

All previous inspections/notes passed

All passed items on this inspection have been assessed against the consented documentation

Drawings
Roof fixings
Spouting and down-pipes
Flashings - roof
Gully dishes
Stormwater and site drainage
Wastes to gully
Fixings - durability
Terminal vents/AAVs
Cladding painted/sealed
Flashings - windows/doors
Cladding ground clearance

As required
Connected and spreaders to lower roof area
Installed and fixed as required
Existing
Connected to existing

Stainless steel exposed fixings

Finished as required

Interior

All previous inspections/notes passed
Drawings
Service areas-floors/walls
Stair design
Handrails
Lightings
Smoke detectors
Ventilation
Glazing - human impact
Trap seals and AAVS

Completed with impervious surfaces.
As per plan
Continuous handrail 900mm high from pitch line
Electrical cert supplied
Both floors by bedrooms

Cistern flushing
WC pan connection
Window labels
Final check complete

All aspects relating to this inspection have been assessed and checked against the consented documentation and deemed to comply.

Documentation**Status**

Electrical safety certificate - Electrician	Received
Gas safety certificate	Received
Roof product manufacturers warranty	Received
Application for CCC	Required
As-built drainage plan	Required
Drainage (Form 126) for stormwater & private Sewer installation	Required
Plumbing (Form 125) for pressure test and installation piped services	Required
Construction review PS4 statement for structural engineering	Required
Timber framing and truss certification	Required
Record of Work	Required
Window manufacturers producer statement	Required

Building Practitioners**Status**

Designer 2	Accepted
Designer 1	Accepted
Carpentry 1	Received
Foundations 1	Received
Roofing 1	Received
Gasfitter	Received
Electrician	Received
Plumber	Required
Drainlayer	Required

STATEMENT PIPED SERVICES AND PLUMBING STACKS



Construction Review

Send or deliver this form to: Kapiti Coast District Council,
175 Rimu Road, Paraparaumu 5032
Private Bag 60601, Paraparaumu 5254
For enquiries, phone 04 296 4700 (Toll Free: 0800 486 486)

TO BE COMPLETED BY THE INSTALLER

Issued by: Patrick Kyne

Registration number: 23724

In respect of Piped Services installed in accordance with G12/AS1 as shown on the approved plans or as per the attached amended plan and Sanitary Plumbing Stacks installed in accordance with G13/AS1 or AS/NZS 3500.2.2

Installed at: 8 Hughes Street, Waikanae Beach

Building Consent No: 190555

As a certified plumber, currently holding an annual practicing license, certify that I, or personnel under my control, have carried out the installation of the above system and I believe on reasonable grounds that the installation complies with the New Zealand Building Code. Both hot and cold systems have been pressure tested for a period of 15 minutes at a pressure of 1500 kPa.

Name: Patrick Kyne

Signature: PKyne

Address:

Date: 15/03/2021

Phone:

Fax:

Mobile: 0277321921

Email: info@expertplumbing.co.nz

Kāpiti Coast District Council Office Use Only

Statement author authenticated and current registration verified. Verification and Registration checked through public register on www.pgdb.co.nz.

Date:

Name:

Signature:

Marie Hewlett

From: Terry Doran <terrydoran@outlook.co.nz>
Sent: Wednesday, March 17, 2021 9:15 AM
To: Mailbox - Building Approvals
Cc: Anthony Wilson
Subject: BC190555 - 8 Hughes street Kapiti Coast Council (Final sign off)
Attachments: Form 125 8 Hughes St.pdf

Follow Up Flag: Follow up
Flag Status: Flagged

Attached is form 125 for BC190555.

There was no change to the existing drainage and this is shown on the plumbing and drainage plan on record sheet 150. The inspection undertake by the council was viewed and signed off as part of the pre-line process.

Regards,
Terry

GoGet Inspection Audit Report

Consent No: **190555**

Applicant: **Tom Clegg**

Site Address: **8 Hughes Street, Waikanae**

Work Type: **New second storey addition including new bathroom, lounge & 2 bedrooms plus new deck off bedroom 4**

Inspection Type: **Piles**

Inspection Outcome: **Fail**

Inspected By: **Gareth McCullagh**

Inspection Date: **23 October 2019 1:10 p.m.**

Duration: **30 minutes**

Inspection Element	Status
General	Fail
Inspection for post holes under house	
Pile size	Pass
6 pile holes in place as per drawings using 125 square posts	
Pile layout	Pass
Special piles	N/A
Timber treatment	Pass
H5	
Hole depth	Pass
500 by 500mm	
Other	Fail
Engineer by H .Adam consultants ltd to provide site notes and ps4	
LBP number	Pass
114282	
Site Inspection	N/A

SITE NOTICE

Consent No: **190555**
Applicant: **Terry Doran**
Site Address: **8 Hughes Street, Waikanae**
Work Type: **New second storey addition including new bathroom, lounge & 2 bedrooms plus new deck off bedroom 4**
Building Category: **R3**

Inspection Type: **Piles**
Inspection Outcome: **Fail**
Inspected By: **Gareth McCullagh**
Inspection Date: **23 October 2019**

Failed Items

General
Other

Inspection for post holes under house
Engineer by H .Adam consultants ltd to provide site notes and ps4

Passed Items

General

Pile size

Inspection for post holes under house
6 pile holes in place as per drawings using 125 square posts

Pile layout

Timber treatment

Hole depth

LBP number

H5
500 by 500mm
114282

GoGet Inspection Audit Report

Consent No: **190555**

Applicant: **Tom Clegg**

Site Address: **8 Hughes Street, Waikanae**

Work Type: **New second storey addition including new bathroom, lounge & 2 bedrooms plus new deck off bedroom 4**

Inspection Type: **Piles**

Inspection Outcome: **Pass**

Inspected By: **Alan Tinney**

Inspection Date: **20 February 2020 2:40 p.m.**

Duration: **15 minutes**

Inspection Element	Status
General	Pass
Inspection for post holes under house	
Pile size 200	Pass
Pile layout	Pass
Special piles	Pass
Timber treatment H5	Pass
Hole depth 1200	Pass
Other	Pass
LBP number	Pass



Taken at 2:40 PM on Thursday 20/02/2020



Taken at 2:40 PM on Thursday 20/02/2020

GoGet Inspection Audit Report

Consent No: **190555**
Applicant: **Tom Clegg**
Site Address: **8 Hughes Street, Waikanae**
Work Type: **New second storey addition including new bathroom, lounge & 2 bedrooms plus new deck off bedroom 4**

Inspection Type: **Postline / Wet area Pre Application**

Inspection Outcome: **Fail**

Inspected By: **Alan Tinney**

Inspection Date: **20 February 2020 2:37 p.m.**

Duration: **15 minutes**

Inspection Element	Status
General	Fail
Sighted previous inspection notes	Pass
Top floor	
Conforms with approved drawings	Pass
Confirm additional information/amended plan	Fail
Sheet bracing	Pass
Sheet fixings	Pass
Fire/acoustic separation	N/A
Other	N/A
Wet area substrate system	N/A
LBP number	N/A

GoGet Inspection Audit Report

Consent No: **190555**

Applicant: **Tom Clegg**

Site Address: **8 Hughes Street, Waikanae**

Work Type: **New second storey addition including new bathroom, lounge & 2 bedrooms plus new deck off bedroom 4**

Inspection Type: **Postline / Wet area Pre Application**

Inspection Outcome: **Pass**

Inspected By: **Alan Tinney**

Inspection Date: **2 March 2020 10:52 a.m.**

Duration: **30 minutes**

Inspection Element	Status
General	Pass
Sighted previous inspection notes	Pass
Conforms with approved drawings	Pass
Confirm additional information/amended plan	Pass
Sheet bracing	Pass
As per plans	
Sheet fixings	Pass
As required	
Fire/acoustic separation	N/A
Other	N/A
Wet area substrate system	N/A
LBP number	N/A

SITE NOTICE

Consent No: **190555**
Applicant: **Terry Doran**
Site Address: **8 Hughes Street, Waikanae**
Work Type: **New second storey addition including new bathroom, lounge & 2 bedrooms plus new deck off bedroom 4**
Building Category: **R3**

Inspection Type: **Postline / Wet area Pre Application**
Inspection Outcome: **Pass**
Inspected By: **Alan Tinney**
Inspection Date: **2 March 2020**

Passed Items

General

Sighted previous inspection notes	
Conforms with approved drawings	
Confirm additional information/amended plan	
Sheet bracing	As per plans
Sheet fixings	As required

GoGet Inspection Audit Report

Consent No: **190555**
Applicant: **Tom Clegg**
Site Address: **8 Hughes Street, Waikanae**
Work Type: **New second storey addition including new bathroom, lounge & 2 bedrooms plus new deck off bedroom 4**

Inspection Type: **Pre Clad**
Inspection Outcome: **Fail**
Inspected By: **Alan Tinney**
Inspection Date: **25 November 2019 2:32 p.m.**
Duration: **30 minutes**

Inspection Element	Status
General	Fail
Inspection notes	Pass
Drawings	Pass
Additional information/plan	Pass
Fire Separations	N/A
Building wrap type Tekton	Pass
Flexible seling tape Superstick	Pass
Deck membrane fixed in accordance with specification	N/A
Head flashings Head flashing's not yet installed. Reinspection required	Fail
Sill flashings	N/A
Back flashings	N/A
Saddle flashings	N/A
Internal/external corner flashings Pvc	Pass
Jamb flashings	N/A
Capillary clearances	Pass
Flashing penetrations	Pass
Ground/Deck Cladding Clearance	Pass
Additional strapping to wrap	N/A
Batten timber treatment H3	Pass
Cavity closers	Pass
Battens in place	Pass
Battens structural fixing	N/A
Cavity spacers	Pass
Cavity spacers size and slope	Pass
LBP number	N/A
Other	N/A



Taken at 2:29 PM on Monday 25/11/2019



Taken at 2:29 PM on Monday 25/11/2019

GoGet Inspection Audit Report

Consent No: **190555**

Applicant: **Tom Clegg**

Site Address: **8 Hughes Street, Waikanae**

Work Type: **New second storey addition including new bathroom, lounge & 2 bedrooms plus new deck off bedroom 4**

Inspection Type: **Pre Clad**

Inspection Outcome: **Fail**

Inspected By: **Jeremy Lincoln**

Inspection Date: **2 December 2019 2:10 p.m.**

Duration: **45 minutes**

Inspection Element	Status
General	Fail
Head flashings	Pass
Head flashing's not yet installed. Reinspection required	
80% of head flashings now in place.	
Other	Fail
some int/ext & junction flashings yet to be fitted, provide photos to next inspector	



Taken at 1:56 PM on Monday 2/12/2019



Taken at 2:04 PM on Monday 2/12/2019



Taken at 2:07 PM on Monday 2/12/2019

SITE NOTICE

Consent No: **190555**
Applicant: **Terry Doran**
Site Address: **8 Hughes Street, Waikanae**
Work Type: **New second storey addition including new bathroom, lounge & 2 bedrooms plus new deck off bedroom 4**
Building Category: **R3**

Inspection Type: **Pre Clad**
Inspection Outcome: **Fail**
Inspected By: **Alan Tinney**
Inspection Date: **25 November 2019**

Failed Items

General

Head flashings	Head flashing's not yet installed. Reinspection required
----------------	---

Passed Items

General

Inspection notes	
Drawings	
Additional information/plan	
Building wrap type	Tekton
Flexible seling tape	Superstick
Internal/external corner flashings	Pvc
Capillary clearances	
Flashing penetrations	
Ground/Deck Cladding Clearance	
Batten timber treatment	H3
Cavity closers	
Battens in place	
Cavity spacers	
Cavity spacers size and slope	

SITE NOTICE

Consent No: **190555**
Applicant: **Terry Doran**
Site Address: **8 Hughes Street, Waikanae**
Work Type: **New second storey addition including new bathroom, lounge & 2 bedrooms plus new deck off bedroom 4**
Building Category: **R3**

Inspection Type: **Pre Clad**
Inspection Outcome: **Fail**
Inspected By: **Jeremy Lincoln**
Inspection Date: **2 December 2019**

Failed Items

General

Other

**some int/ext & junction flashings yet to be fitted,
provide photos to next inspector**

Passed Items

General

Head flashings

**Head flashing's not yet installed. Reinspection
required**

80% of head flashings now in place.

GoGet Inspection Audit Report

Consent No: **190555**

Applicant: **Tom Clegg**

Site Address: **8 Hughes Street, Waikanae**

Work Type: **New second storey addition including new bathroom, lounge & 2 bedrooms plus new deck off bedroom 4**

Inspection Type: **Pre Clad**

Inspection Outcome: **Pass**

Inspected By: **Gareth McCullagh**

Inspection Date: **4 February 2020 11:10 a.m.**

Duration: **30 minutes**

Inspection Element	Status
General	Pass
Other	Pass
Photos on builders phone showing pvc flashings one metal	
All aspects relating to this inspection have been assessed and checked against the consented documentation and deemed to comply.	

GoGet Inspection Audit Report

Consent No: **190555**
Applicant: **Tom Clegg**
Site Address: **8 Hughes Street, Waikanae**
Work Type: **New second storey addition including new bathroom, lounge & 2 bedrooms plus new deck off bedroom 4**

Inspection Type: **Pre Wrap**
Inspection Outcome: **Pass**
Inspected By: **Gareth McCullagh**
Inspection Date: **20 November 2019 11:07 a.m.**
Duration: **30 minutes**

Inspection Element	Status
General	Pass
Inspection notes	Pass
Still need engineer report	
Drawings	Pass
On site note changed to mitek fixings and manufactures plan on site	
Additional information/plan	N/A
Fire Separations	N/A
Cladding type identified	Pass
Framing moisture meets cladding requirements	Pass
Stud spacing appropriate for cladding	Pass
400mm centres	
Exterior sheet bracing and angle brace fixing	N/A
Not part of this consent	
Bottom plate connections	Pass
All externals connected handi bracks for bracing	
All bottom plate connections fixed in compliance with the building consent documentation	
Building wrap type	Pass
Roof Cross Bracing	Pass
In place	
Purlin fixing	Pass
Double nailed and 14 gauge screw	
Purlins fixed and screw in accordance with the building consent documentation	
Decking substrate	N/A
Top Plate Connection	Pass
Strapped as required	
Lintel Connections	Pass
Strapped as required	
Truss connections	Pass
As per manufactures plans	
Column posts	N/A
LBP number	Pass
114282	
Other	Pass
All aspects relating to this inspection have been assessed and checked against the consented documentation and deemed to comply.	

SITE NOTICE

Consent No: **190555**
Applicant: **Terry Doran**
Site Address: **8 Hughes Street, Waikanae**
Work Type: **New second storey addition including new bathroom, lounge & 2 bedrooms plus new deck off bedroom 4**
Building Category: **R3**

Inspection Type: **Pre Wrap**
Inspection Outcome: **Pass**
Inspected By: **Gareth McCullagh**
Inspection Date: **20 November 2019**

Passed Items

General

Inspection notes
Drawings

Still need engineer report
On site note changed to mitek fixings and manufactures plan on site

Cladding type identified
Framing moisture meets cladding requirements
Stud spacing appropriate for cladding
Bottom plate connections

400mm centres
All externals connected handi bracks for bracing
All bottom plate connections fixed in compliance with the building consent documentation

Building wrap type
Roof Cross Bracing
Purlin fixing

In place
Double nailed and 14 gauge screw
Purlins fixed and screw in accordance with the building consent documentation

Top Plate Connection
Lintel Connections
Truss connections
LBP number
Other

Strapped as required
Strapped as required
As per manufactures plans
114282
All aspects relating to this inspection have been assessed and checked against the consented documentation and deemed to comply.

GoGet Inspection Audit Report

Consent No: **190555**
Applicant: **Tom Clegg**
Site Address: **8 Hughes Street, Waikanae**
Work Type: **New second storey addition including new bathroom, lounge & 2 bedrooms plus new deck off bedroom 4**

Inspection Type: **Preline Building**
Inspection Outcome: **Fail**
Inspected By: **Gareth McCullagh**
Inspection Date: **4 February 2020 11:42 a.m.**
Duration: **30 minutes**

Inspection Element	Status
General	Fail
Sighted previous inspection notes	Pass
Conforms with approved drawings	Pass
Confirm additional information/amended plan Not part of this consent	N/A
Fire Separations Not part of this consent	N/A
Max moisture content 17-18%	Pass
Ventilation to rooms Window sizes and openings as per consented documentation	Pass
Timber treatment H1.2	Pass
Lintel/beam size and fixing	Pass
Insulation Pink batts walls 2.6 ceilings 3.2 note still need to insect upper level insulation	Fail
Top plate connection	Pass
Ceiling batten spacing 400mm centres rondo and clipped	Pass
Stud spacing	Pass
Bracing connections All in place as per plan	Pass
Air seals Rod and foamed	Pass
Bottom plate fixings All handi bracks although B3 blg can't be achieved due to power ok to supply revised drawing fir bracing change	Fail
Is the building weathertight	Pass
Grade of timber framing Sg8	Pass
Framing cut outs	Pass
wet area substrate Not part of this consent	N/A
insert or inbuilt fireplace Not part of this consent	N/A
LBP number 114282	Pass
Other Recheck above items	Fail

Other

N/A

GoGet Inspection Audit Report

Consent No: **190555**

Applicant: **Tom Clegg**

Site Address: **8 Hughes Street, Waikanae**

Work Type: **New second storey addition including new bathroom, lounge & 2 bedrooms plus new deck off bedroom 4**

Inspection Type: **Preline Building**

Inspection Outcome: **Fail**

Inspected By: **Alan Tinney**

Inspection Date: **20 February 2020 2:34 p.m.**

Duration: **15 minutes**

Inspection Element	Status
General	Fail
Insulation	Pass
Pink batts walls 2.6 ceilings 3.2 note still need to insect upper level insulation/now installed	

GoGet Inspection Audit Report

Consent No: **190555**

Applicant: **Tom Clegg**

Site Address: **8 Hughes Street, Waikanae**

Work Type: **New second storey addition including new bathroom, lounge & 2 bedrooms plus new deck off bedroom 4**

Inspection Type: **Preline Building**

Inspection Outcome: **Pass**

Inspected By: **Anthony Wilson**

Inspection Date: **11 March 2021 2:59 p.m.**

Duration: **0 minutes**

Inspection Element	Status
General	Pass
Bottom plate fixings	Pass
BL brace moved to other side of wall	
Agent/owner written approval	N/A
Other	N/A
non compliance discussed onsite	N/A
Next Inspection required	N/A
Other	Pass
All aspects relating to this inspection have been assessed and checked against the consented documentation and deemed to comply.	

Documentation

Electrical safety certificate - Electrician	Received
Gas safety certificate	Received
Drainage (Form 127) for private sewer installation	Clear
Construction review PS4 statement for structural engineering	Required
Roof product manufacturers warranty	Received
Window manufacturers producer statement	Required

Building Practitioners

Carpentry 1	Received
Foundations 1	Received
Roofing 1	Received
Gasfitter	Received
Electrician	Received

SITE NOTICE

Consent No: **190555**
Applicant: **Terry Doran**
Site Address: **8 Hughes Street, Waikanae**
Work Type: **New second storey addition including new bathroom, lounge & 2 bedrooms plus new deck off bedroom 4**
Building Category: **R3**

Inspection Type: **Piles**
Inspection Outcome: **Pass**
Inspected By: **Alan Tinney**
Inspection Date: **20 February 2020**

Passed Items

General	Inspection for post holes under house
Pile size	200
Pile layout	
Special piles	
Timber treatment	H5
Hole depth	1200
Other	
LBP number	

Inspection Type: **Preline Building**
Inspection Outcome: **Fail**
Inspected By: **Alan Tinney**
Inspection Date: **20 February 2020**

Failed Items

General	
Bottom plate fixings	All handi bracks although B3 blg can't be achieved due to power ok to supply revised drawing fir bracing change
Other	Recheck above items

Passed Items

General	
Insulation	Pink batts walls 2.6 ceilings 3.2 note still need to insect upper level insulation/now installed

Inspection Type: **Postline / Wet area Pre Application**
Inspection Outcome: **Fail**
Inspected By: **Alan Tinney**
Inspection Date: **20 February 2020**

Failed Items

General

Confirm additional information/amended plan

Passed Items

General

Sighted previous inspection notes

Conforms with approved drawings

Sheet bracing

Sheet fixings

Top floor

SITE NOTICE

Consent No: **190555**
Applicant: **Terry Doran**
Site Address: **8 Hughes Street, Waikanae**
Work Type: **New second storey addition including new bathroom, lounge & 2 bedrooms plus new deck off bedroom 4**
Building Category: **R3**

Inspection Type: **Preline Building**
Inspection Outcome: **Fail**
Inspected By: **Gareth McCullagh**
Inspection Date: **4 February 2020**

Failed Items

General

Insulation	Pink batts walls 2.6 ceilings 3.2 note still need to insect upper level insulation
Bottom plate fixings	All handi bracks although B3 blg can't be achieved due to power ok to supply revised drawing fir bracing change
Other	Recheck above items

Passed Items

General

Sighted previous inspection notes	
Conforms with approved drawings	
Max moisture content	17-18%
Ventilation to rooms	Window sizes and openings as per consented documentation
Timber treatment	H1.2
Lintel/beam size and fixing	
Top plate connection	
Ceiling batten spacing	400mm centres rondo and clipped
Stud spacing	
Bracing connections	All in place as per plan
Air seals	Rod and foamed
Is the building weathertight	
Grade of timber framing	Sg8
Framing cut outs	
LBP number	114282

Inspection Type: **Pre Clad**
Inspection Outcome: **Pass**
Inspected By: **Gareth McCullagh**

Inspection Date: **4 February 2020**

Passed Items

General

Other

Photos on builders phone showing pvc flashings one metal

All aspects relating to this inspection have been assessed and checked against the consented documentation and deemed to comply.

GoGet Inspection Audit Report

Consent No: **190555**
Applicant: **Tom Clegg**
Site Address: **8 Hughes Street, Waikanae**
Work Type: **New second storey addition including new bathroom, lounge & 2 bedrooms plus new deck off bedroom 4**

Inspection Type: **Preline Plumbing**
Inspection Outcome: **Pass**
Inspected By: **Gareth McCullagh**
Inspection Date: **22 January 2020 12:59 p.m.**
Duration: **30 minutes**

Inspection Element	Status
General	Pass
Sighted previous inspection notes	Pass
Conforms with approved drawings	Pass
Confirm additional information/amended plan	Pass
Plumber 23724	Pass
Soil pipe size and test 100mm pvc in and tested	Pass
Pipes fixed/supported Clipped and secured	Pass
System used AS3500	Pass
TPR line	N/A
Inbuilt S/W pipes tested	N/A
Vents terminated Off stack 50mm completed	Pass
Pressure test New pipe work in and tested polybutlene	Pass
Waste pipe size and test	Pass
Floor wastes	N/A
Shut off valves Existing	Pass
Fire wraps and collars	N/A
LBP number	N/A
Other	Pass
All aspects relating to this inspection have been assessed and checked against the consented documentation and deemed to comply.	

SITE NOTICE

Consent No: **190555**
Applicant: **Terry Doran**
Site Address: **8 Hughes Street, Waikanae**
Work Type: **New second storey addition including new bathroom, lounge & 2 bedrooms plus new deck off bedroom 4**
Building Category: **R3**

Inspection Type: **Preline Plumbing**
Inspection Outcome: **Pass**
Inspected By: **Gareth McCullagh**
Inspection Date: **22 January 2020**

Passed Items

General

Sighted previous inspection notes
Conforms with approved drawings
Confirm additional information/amended plan

Plumber	23724
Soil pipe size and test	100mm pvc in and tested
Pipes fixed/supported	Clipped and secured
System used	AS3500
Vents terminated	Off stack 50mm completed
Pressure test	New pipe work in and tested polybutlene

Waste pipe size and test
Shut off valves
Other

Existing

All aspects relating to this inspection have been assessed and checked against the consented documentation and deemed to comply.

Consent No: 190555

Building Category: R3

Site Address: 8 Hughes Street, Waikanae

Owner/Agent: Tom Clegg

Inspections

The following inspections are required:

- 1 Piles
- 1 Subfloor
- 1 Drainage
- 1 Preline Building
- 1 Postline / Wet area Pre Application
- 1 Pre Wrap
- 1 Pre Clad
- 1 Preline Plumbing
- 1 Final Inspection
- 9 Total Inspections

Documentation

The following documentation is required:

- Application for CCC
- Electrical safety certificate
- As-built drainage plan
- Drainage (Form 126) for stormwater installation
- Drainage (Form 127) for private sewer installation
- Plumbing (Form 125) for pressure test and installation piped services
- Timber framing and truss certification
- Roof product manufacturers warranty
- Record of Work

Building Practitioners

- Designer 1
- Designer 2
- Carpentry 1
- Foundations 1
- Roofing 1
- Plumber
- Drainlayer
- Electrician

GoGet Processing Summary Report

Consent No: 190555

Site Address: 8 Hughes Street, Waikanae

Description: New second storey addition including new bathroom, lounge & 2 bedrooms plus new deck off bedroom 4

Checklist/Elements	Status	Notes	Processed By
<u>Pre-Application Record</u>	N/A		Simon Copp
<u>Vetting</u>			Joy Ma, Leanna Hutchinson
Application documentation	Pass		JMA
Application type	Pass	The application is for a building consent.	JMA
Application form signed	Pass	The owners match those listed on the CT. The application form is signed by the owner or by an agent nominated by the owner.	JMA
Proof of ownership	Pass	A certificate of title dated within the last three months.	JMA
Drawings and plans	Pass	Detailed plans are provided that clearly show existing building and the proposed modification or new build.	JMA
Site specific specifications	Pass	Specifications provided that are relevant to the proposed works. Specifications do not contradict the plans. Specifications clearly identify chosen products, and do not show a range of possible options.	JMA
Compliance documentation	Pass	Relevant documentation is shown for: - B1: the truss manufacturer, including a PS1; - B1: bracing calculations; - E2: risk matrix; - H1: energy efficiency compliance report or calculation;	JMA
Specific engineered design	Pass	The design involves specific engineering design and: - a PS1 has been provided. - the designer is a CPEng 21650	JMA
Building act	Pass		JMA
S71 Natural Hazard	Pass	The site is subject to the following hazard(s): Inundation.	JMA
S71-72 assessment	Pass	S71-74 do not apply because the work is not a new building or major alteration (as per KCDC guidance). Footprint increase is only for the upper floor. No s73 certificate is required.	JMA
S71-72 Recommendation	Pass	The building consent can be granted without a s73 certificate	JMA
S 84 - Restricted building work	Pass	A certificate of design work has been provided by each of the designers contributing to the restricted building work.	JMA
S 112 or 133AT - Alterations to existing buildings	N/A		JMA
S 115 - Change of use	N/A		JMA
S 118 - Access and facilities for persons with disabilities	N/A		JMA
S 363 - Public use prior to issuing CCC	N/A		JMA
Any outstanding CCC's	Pass	18/01/11 BUILDING CONSENT 100952 : New Internal Alterations (new kitchen & bathroom layout) : CCC Refused : 2/11/15	JMA
Waivers and Modifications	N/A		JMA
Multi Use	N/A		JMA
Payment	Pass		JMA, LHU
Payment requested	Pass		JMA

Checklist/Elements	Status	Notes	Processed By
Payment received	Pass		JMA,LHU
<u>Specified Systems Compliance</u>	N/A		Simon Copp
<u>Environmental Health</u>	N/A		Simon Copp
<u>Quick Consent</u>	N/A		Simon Copp
<u>B1 - Structure</u>	Pass		John Peterson
Verification method	Pass		JOH
Structural review	N/A		JOH
Structural risk assessment	Pass	The building work contains SED. The engineering has been assessed against structural policy, and given the scope of the engineering and the evidence provided, the risk is not considered to be high enough to require structural review.	JOH
Engineer	Pass	The engineer is working within their scope. The PS1 identifies the engineer, their CPEng number is: 21650	JOH
Scope	Pass	The scope of the engineering is: Deck bearer, deck poles and sub-floor bracing	JOH
Monitoring requirements	N/A		JOH
Structural proprietary systems	Pass	The building work contains SED. The following elements are proprietary systems, and compliance with B1 requirements has been ascertained by manufacturer's tables / producer statements. Trusses - correct parameters have been used for the design, and a PS1 has been provided. Fixings are correctly specified. To VH Balustrades - the balustrade is being used within its scope, and the correct details and fixings have been used for junctions to supporting structure. Juralco Joists / Beams / Lintels - proprietary joists, beams, and/or lintels are specified. They have been correctly sized against manufacturer's tables, or a PS1 has been provided for the design. Correct fixings and supports are shown on the plans. Posi-STRUT tables, DsignIT for HySpan and SG8 beams and lintel taking girder truss load	JOH
NZS 3604	Pass		JOH
Scope	Pass	The building is within the scope and limitation of NZS 3604.	JOH
Good ground	Pass	The building site is assumed to meet the requirements for foundations, and good ground has been determined with regards to the PIM .	JOH
Site requirements	Pass	The requirements for site have been considered, including provisions for: bearing capacity; site preparation; water in sub-floor spaces;	JOH
Deck structure	Pass		JOH
Deck piles	Pass	SED	JOH
Deck bearers	Pass	SED	JOH
Deck stringers	Pass	Stringers supporting deck structure are sized appropriately given the span of the joists they are supporting and the spacing of their fixings.	JOH
Deck bracing	Pass	SED	JOH
Deck joists	Pass	Deck joists are adequately sized given their spans and spacing. Cantilevered joists are appropriate for the loads supported, and are sized adequately given their span and spacing.	JOH

Checklist/Elements	Status	Notes	Processed By
Decking	Pass	Decking has adequate strength given the deck joist spacing.	JOH
Balustrade support	Pass	Provide the PS1 for the Juralco EDGE proprietary face fixed balustrade system. --- Response - JOH 13 Aug 2019 2:58pm --- PS1 now provided	JOH
<u>Request for Further Information:</u>			
Request:		Provide the PS1 for the Juralco EDGE proprietary face fixed balustrade system.	JOH
Response:		PS1 now provided	JOH
Foundations and sub-floor framing	N/A		JOH
Floors	Pass		JOH
Suspended timber floors (ground)	N/A		JOH
Suspended timber floors (first floor and above)	Pass	PoziStruts used with tables provided	JOH
Flooring	Pass	Flooring meets the requirements in regards to materials, thickness, and layout.	JOH
Concrete slab	N/A		JOH
Walls	Pass		JOH
Studs	Pass	Studs in load and non-load bearing walls framing are sized appropriately given the wind zone, their loaded dimension, height and spacing. Where load paths from beams, lintels, and building elements above pass through the wall framing trimming studs are built up to sufficiently be able to take the additional load.	JOH
Lintels	Pass	Lintels over openings in wall framing have been sized appropriately given the building elements they support, their loaded dimension, and their span. Fixings are detailed to prevent uplift.	JOH
Plates	Pass	Top and bottom plates are sized appropriately, and have adequate strengthening where required.	JOH
Bracing	Pass	Brace unit B2 has the TV passing through the top plate - revise or indicate a suitable method of strengthening at the penetration. --- Response - JOH 13 Aug 2019 2:57pm --- TV moved to non-braced wall	JOH
<u>Request for Further Information:</u>			
Request:		Brace unit B2 has the TV passing through the top plate - revise or indicate a suitable method of strengthening at the penetration.	JOH
Response:		TV moved to non-braced wall	JOH
Posts	N/A		JOH
Roof structure	Pass		JOH
Framed roof	Pass	DesignIT software has been used to confirm the following aspects: Rafters, including valley and hip rafters, are adequately sized with appropriate fixings given the wind zone, their span, and spacing. Ridge beams are adequately sized with appropriate fixings given the type of the roof, their loaded dimension, span, and spacing.	JOH
Truss roof	Pass	The roof truss has been specifically designed according to B1/VM1. Refer to the Verification Method checklist item. Documentation of the trusses meets the requirements of 10.2.2.3. To VH	JOH
Eaves and gable verges	N/A		JOH
Purlins / tile battens	Pass	The purlins or tile battens are adequately sized given the wind zone, their span and spacing.	JOH

Checklist/Elements	Status	Notes	Processed By
		Correct fixings are specified given the uplift loads expected.	
Bracing	Pass	Adequate bracing is provided for the roof given the roof pitch and area. Bracing is provided by: bracing straps.	JOH
Ceilings	Pass	Ceilings are supported by allowed members, with ceiling battens sized appropriately given their span and spacing.	JOH
Verandah beams	N/A		JOH
Snow loading	N/A		JOH
External stairs	N/A		JOH
3kPa floor loads	N/A		JOH
Other compliance paths	N/A		JOH
Alternative solution	N/A		JOH
<u>B2 - Durability</u>	Pass		John Peterson, Simon Copp
B2 prompts	Pass		JOH, SC
Material compatibility	Pass	As the site is located 182m from breaking surf in a VH wind zone verification from the metal roof manufacturer is required confirming MAXX is appropriate (Refer to the note in italics in the "Environmental Categories....." literature).	JOH
		The designer has chosen to go solely on Environmental Categories literature, the metal roof warranty will be needed as part of the doc's required for CCC	
<u>Request for Further Information:</u>			
Request:		As the site is located 182m from breaking surf in a VH wind zone verification from the metal roof manufacturer is required confirming MAXX is appropriate (Refer to the note in italics in the "Environmental Categories....." literature).	JOH
Response:		<i>The designer has chosen to go solely on Environmental Categories literature, the metal roof warranty will be needed as part of the doc's required for CCC</i>	JOH
Concrete and concrete masonry	N/A		JOH
Timber treatment	Pass	The wood-based building components required to achieve 50 year durability comply with table 1 NZS 3602 as modified by B2/AS1. The wood-based building components required to achieve 15 year durability comply with table 2 NZS 3602 as modified by B2/AS1.	JOH
Steel fixings and fastenings	Pass	Steel fixings are specified where required to meet durability requirements.	JOH
Engineered elements	Pass	The durability aspects of all of the elements designed by the client's structural engineer have been satisfactorily checked for compliance to B2 in respect to B1 structure.	JOH
Plumbing materials	Pass	Given the water supply and drainage principles used in the plumbing design appropriate materials are used for water supply and drainage pipes. Drainage running underneath the building will continue to meet the durability requirements once building work is complete.	SC
Limited life consent	N/A		JOH
Other compliance paths	N/A		JOH
Alternative solution	N/A		JOH
<u>C1-6 - Protection From Fire</u>	Pass		John Peterson
C/AS1 - Residential and outbuildings	Pass		JOH

Checklist/Elements	Status	Notes	Processed By
Fire cells, systems, and resistance ratings	Pass	Type 1 smoke alarms are shown on the plans in accordance with the requirements of F7/AS1.	JOH
Means of escape	N/A		JOH
Control of internal fire and smoke spread	N/A		JOH
Control of external fire spread	Pass	Adequate fire rated separations are provided where the building, or building elements such as eaves, are at risk of fire spread over the relevant boundary.	JOH
Firefighting	N/A		JOH
Prevention of fire occurring	N/A		JOH
C/AS* - Large multi-residential, commercial, and vehicle storage	N/A		JOH
Other compliance paths	N/A		JOH
Alternative solution	N/A		JOH
<u>D1 - Access Routes</u>	Pass		John Peterson
Access routes	N/A		JOH
Ramps	N/A		JOH
Stairs	Pass		JOH
Isolated steps	N/A		JOH
Space dimensions	Pass	The stairs are wide enough to allow adequate activity space.	JOH
Riser and tread	Pass	Access routes including stairways have stair treads that provide adequate footing, can be easily seen, and prevent children becoming trapped. They have uniform rise and tread as required for a common, main private stairway.	JOH
Visibility	N/A		JOH
Landings	Pass	There are landings as required at the beginning and ending of the stairway, and as needed during the rise of the stairway.	JOH
Handrails	Pass		JOH
Location	Pass	Handrails, and where required, safety rails, are provided to assist movement on ramps and stairways that are of adequate height and graspable.	JOH
Projections	N/A		JOH
Accessible car parks	N/A		JOH
Accessible building entries	N/A		JOH
Accessible places of assembly	N/A		JOH
Accessible accommodation units	N/A		JOH
Other compliance paths	N/A		JOH
Alternative solution	N/A		JOH
<u>D2 - Mechanical Installations For Access</u>	N/A	no lift shown	Simon Copp
<u>E1 - Surface Water</u>	Pass		Simon Copp
Drainage design	Pass		SC
Connections	Pass	Existing drainage plans have been checked to ensure the feasibility of the connections proposed.	SC
Verification method	N/A		SC
Soak pits	N/A	existing soak pit on site as there is no kerb outlet on google maps	SC
Acceptable solution	Pass		SC
Scope	Pass	The site is within the area, location, and site history requirements of E1/AS1. soakpit would be shown outside of the ponding area	SC
Floor level	Pass		SC

Checklist/Elements	Status	Notes	Processed By
Minimum finished floor level	Pass	The slab and/or suspended timber floor is: at least 150mm above surrounding ground, and; 150mm above the crown of the road. 150mm above the lowest point of the site boundary.	SC
Stormwater drainage	Pass		SC
Size and gradient	Pass	The stormwater drains are adequately sized given their gradient and catchment area. The gradient meets or exceeds the minimum requirements. 1000 uPVC STORMWATER PIPE MIN 1:100 FALL TO EXISTING STORMWATER PIPE	SC
Sumps	N/A	none shown or required	SC
Roof catchment	Pass		SC
Downpipes	Pass	The downpipe size is adequate given the roof pitch and plan area of the roof catchment area. ROOF CATCHMENT CALCULATIONS GROUND FLOOR ROOF AREA OVER ENTRY = APPX 5m2 GROUND FLOOR ROOF AREA = APPX 47m2 UPPER/FIRST FLOOR ROOF AREA = APPX 72.4m2 UPPER/FIRST FLOOR ROOF AREA CALCS: . DP4 & DP5 TO BE SERVING TOTAL OF APPX 28.4m2 = APPX 14.2m2 EACH . DP6, DP7 & DP8 TO BE SERVING TOTAL OF APPX 44m2 . DPe = APPX 14m2 . DP7 = APPX 14m2 . DP8 = APPX 16m2 GROUND FLOOR ROOF AREA OVER ENTRY CALCS: .DP1 . SERVES APPX 5m2 (TOTAL ROOF AREA OVER ENTRY 5m2) . ALSO SERVES DP4 (APPX 14.2m2) & DP5 (APPX 14.2m2) DP1 SERVES TOTAL OF APPX 33m2 GROUND FLOOR ROOF AREA CALCS .DP2 . SERVES APPX 12m2 OF ROOF . ALSO SERVES DP8 (APPX 16m2) DP2 SERVES TOTAL OF APPX 28m2 .DP3 . SERVES APPX 36.3m2 OF ROOF . ALSO SERVES DP6 (APPX 14m2) & DP7 (APPX 14m2) DP3 SERVES TOTAL OF APPX 64.3m2	SC
Gutters	Pass	Gutters have an adequate cross sectional area given the rainfall intensity, plan area of the roof catchment area, and the pitch of the roof.	SC
Other compliance paths	N/A		SC
Alternative solution	N/A		SC
<u>E2 - External moisture</u>	Pass		John Peterson
Acceptable solution	Pass		JOH
Scope	Pass	The building work is within the scope of E2/AS1.	JOH
Risk matrix	Pass		JOH
Score	Pass	A risk matrix score of 13 has been calculated for the worst case elevation.	JOH
Wall cladding	Pass	Given the risk matrix score it is appropriate to use: PROPOSED CAVITY FIXED BGC NULINE PLUS & SHADOW CLAD PLY & BATTEN COMPLY AS PER E2IAS1 TABLE 3	JOH
Roof cladding	Pass		JOH
General	Pass	An appropriate roofing underlay is used given the	JOH

Checklist/Elements	Status	Notes	Processed By
		type roofing. Gutters and downpipes are adequately sized, and where necessary, to calculations as laid out in E1/AS1. The maintenance requirements of the cladding to meet the durability requirements of B2 have been considered for the specific details, constraints, and construction of this building work. Construction moisture will be able to be adequately dissipated without damaging building elements. This will include inspections testing moisture content levels to ensure they do not exceed allowable levels.	
Cladding junctions	Pass	Roof to wall junctions show adequately sized flashings, with appropriate clearances between the wall and roof cladding.	JOH
Masonry tiles	N/A		JOH
Pressed metal tiles	N/A		JOH
Profiled metal	Pass	MAXX The pitch of the profiled metal roof is appropriate given the type of the metal profile. Details, including flashing sizes and material compatibility are appropriate for the ridge, barge, eave, apron, and roof/wall junctions given the type of the metal profile. Valley, parallel, and hidden internal gutters have an adequate width and show appropriate clearances and cover. Penetrations through the profiled metal roof are adequately detailed given the size of the penetration, with appropriate soaker flashings having appropriate cover around the penetration.	JOH
Membrane roofs	N/A		JOH
Wall cladding	Pass		JOH
General	Pass	An appropriate wall underlay is shown. The maintenance requirements of the cladding to meet the durability requirements of B2 have been considered for the specific details, constraints, and construction of this building work. Construction moisture will be able to be adequately dissipated without damaging building elements. This will include inspections testing moisture content levels to ensure they do not exceed allowable levels.	JOH
Threshold junctions	Pass	The junction for the attached deck shows adequate separation between the deck structure and the cladding to allow for drainage and appropriate saddle flashings for the cantilevered joists.	JOH
Cladding junctions	Pass	Where different claddings abut, adequate details are shown of the junction, with necessary building elements shown as required by the relevant technical information.	JOH
Masonry veneer	N/A		JOH
Stucco	N/A		JOH
Timber weatherboards	N/A		JOH
Fibre cement weatherboards	Pass	The bottom of the fibre cement weatherboard cladding has adequate clearance to paved and unpaved surfaces. Pipe penetrations through the fibre cement weatherboard cladding show adequate flashing tape and/or a flange plate. Window head, jamb, and sill details are shown, with	JOH

Checklist/Elements	Status	Notes	Processed By
		adequate consideration of the relevant building elements, including requirements for dimensioning, clearance, flashing, and raking windows where relevant. Doorsill details are shown, with adequate consideration of the relevant building elements, including requirements for dimensioning, clearance, flashing, and junctions to the floor / deck structure. External and internal corners are detailed, with the correct flashings shown given the junction type and wind zone. Soffit junctions are shown, with the correct flashing where the soffit is exposed.	
Profile metal wall cladding	N/A		JOH
Fibre cement sheet	N/A		JOH
Plywood sheet	Pass	The bottom of the plywood sheet cladding has adequate clearance to paved and unpaved surfaces. Pipe penetrations through the plywood sheet cladding show adequate flashing tape and/or a flange plate. Horizontal and vertical joints are detailed with appropriate flashings, battens and/or clearances shown. Window head, jamb, and sill details are shown, with adequate consideration of the relevant building elements, including requirements for dimensioning, clearance, flashing, and raking windows where relevant. Doorsill details are shown, with adequate consideration of the relevant building elements, including requirements for dimensioning, clearance, flashing, and junctions to the floor / deck structure. External and internal corners are detailed, with the correct flashings shown given the junction type and wind zone. External and internal corners are detailed, with the correct flashings shown given the junction type and wind zone. Soffit junctions are shown, with the correct flashing where the soffit is exposed.	JOH
EIFS	N/A		JOH
Wall tanking	N/A		JOH
Parapets	N/A		JOH
Decks	Pass		JOH
Threshold levels	Pass	The threshold for the deck has an adequate level separation for an attached slatted deck.	JOH
Membrane decks	N/A		JOH
Balustrades	N/A		JOH
Manufacturer's details	Pass		JOH
Roof claddings	Pass	The manufactured cladding proposed has been sighted against a BRANZ appraisal or similar. It is used within the scope outlined, and details shown on the consent drawings match those provided by the manufacturer and covered by the appraisal. The pitch of the roof cladding is appropriate. Details, including flashing sizes and material compatibility are appropriate for the ridge, barge, eave, apron, and roof/wall junctions of the roof cladding. Penetrations through the roof cladding are adequately detailed given the size of the penetration, with appropriate soaker flashings having	JOH

Checklist/Elements	Status	Notes	Processed By
Wall claddings	Pass	appropriate cover around the penetration. The manufactured cladding proposed has been sighted against a BRANZ appraisal or similar. It is used within the scope outlined, and details shown on the consent drawings match those provided by the manufacturer and covered by the appraisal. The bottom of the cladding has adequate clearance to paved and unpaved surfaces. Pipe penetrations through the cladding show adequate flashing tape and/or a flange plate. Window head, jamb, and sill details are shown, with adequate consideration of the relevant building elements, including requirements for dimensioning, clearance, flashing, and raking windows where relevant. Doorsill details are shown, with adequate consideration of the relevant building elements, including requirements for dimensioning, clearance, flashing, and junctions to the floor / deck structure. External and internal corners are detailed, with the correct flashings shown given the junction type and wind zone. Soffit junctions are shown, with the correct flashing where the soffit is exposed.	JOH
Re-cladding	N/A		JOH
Timber joinery	N/A		JOH
Skylights	N/A		JOH
Other compliance paths	N/A		JOH
Alternative solution	N/A		JOH
<u>E3 - Internal Moisture</u>	Pass		Simon Copp
E3 prompts	Pass		SC
Moisture control	Pass	There is an adequate combination of thermal resistance, ventilation, and space temperature control.	SC
Overflow	N/A		SC
Impervious surfaces	Pass	Details have been provided for surfaces to be impervious, easily cleaned, and for the prevention of water penetration into concealed spaces where the surface is adjacent to sanitary fixtures and appliances or likely to be splashed. WET AREAS: . GIB AQUALINE INSTALLED AS PER MAN. SPEC'S WITH 3 COAT PAINT FINISH . EG: 1 COAT RESENE SURESEAL & 2 COATS OF RESENE SPACECOTE KITCHEN & BATHROOM .1m x 1m ACRYLIC SHOWER UNIT . SAFETY GLASS TO SHOWER DOOR & RETURN WALLS AS PER NZS:4223 . SHOWER GLASS & SURROUND TO BE MIN 1800mm ABOVE SHOWER BASE AND NO LESS THAN 300mm ABOVE SHOWER ROSE . SEAL ALL FIXTURES TO IMPERVIOUS LININGS WITH FLEXIBLE COLOUR MATCHED SEALANT AS PER E3/AS1 DETAILS	SC
Proprietary shower tray/walls	Pass	A proprietary shower tray and/or walls is proposed with sufficient details to show impervious and easily cleaned surfaces. WET AREAS:	SC

Checklist/Elements	Status	Notes	Processed By
		. GIB AQUALINE INSTALLED AS PER MAN. SPEC'S WITH 3 COAT PAINT FINISH . EG: 1 COAT RESENE SURESEAL & 2 COATS OF RESENE SPACECOTE KITCHEN & BATHROOM .1m x 1m ACRYLIC SHOWER UNIT . SAFETY GLASS TO SHOWER DOOR & RETURN WALLS AS PER NZS:4223 . SHOWER GLASS & SURROUND TO BE MIN 1800mm ABOVE SHOWER BASE AND NO LESS THAN 300mm ABOVE SHOWER ROSE . SEAL ALL FIXTURES TO IMPERVIOUS LININGS WITH FLEXIBLE COLOUR MATCHED SEALANT AS PER E3/AS1 DETAILS	
Tiled shower	N/A		SC
Level access shower	N/A		SC
Wet area membrane	N/A		SC
Other compliance paths	N/A		SC
Alternative solution	N/A		SC
<u>F1 - Hazardous Agents On Site</u>	N/A		John Peterson
<u>F2 - Hazardous Building Materials</u>	Pass		John Peterson
Asbestos	N/A		JOH
Glazing	Pass		JOH
Manifestation	N/A		JOH
Glazing requirements	Pass	Correct types and thicknesses of glazing are specified to show compliance with the provisions of NZS 4223.3 based on the area of the glazing, its height, and width.	JOH
Bathrooms	Pass	Glazing in bathrooms, including glazing in the shower enclosure, is specified to be compliant with NZS 4223.3.	JOH
Balustrades	Pass	Glass balustrades have glazing specified that is compliant with the provisions of NZS 4223.3 and F4.3.4(c) and (d). PS1 provided for proprietary system	JOH
Other compliance paths	N/A		JOH
Alternative solution	N/A		JOH
<u>F3 - Hazardous Substances And Processes</u>	N/A		John Peterson
<u>F4 - Safety From Falling</u>	Pass		John Peterson
F4 prompts	Pass		JOH
Barrier design	Pass	A barrier has been provided meeting the requirements of F4.3.4 where people could fall more than 1 meter or more from a floor of a building, from an opening in the external envelope, or from a sudden change of level within or associated with a building, including roofs and permanent access. PS1 provided for the Juralco EDGE proprietary face fixed balustrade system.	JOH
Window openings	Pass	Stays and barriers are provided for windows where section 2 of F4/AS1 is applicable.	JOH
Swimming pools / spas	N/A		JOH
Other compliance paths	N/A		JOH
Alternative solution	N/A		JOH
<u>F5 - Construction and Demolition Hazards</u>	Pass		John Peterson
F5 prompts	Pass		JOH

Checklist/Elements	Status	Notes	Processed By
Consent addendum	Pass		JOH
Other compliance paths	N/A		JOH
Alternative solution	N/A		JOH
<u>F6 - Visibility In Escape Routes</u>	N/A		John Peterson
<u>F7 - Warning Systems</u>	Pass		John Peterson
F7 prompts	Pass		JOH
System type (excluding simple residential situations)	Pass	Indicate the smoke detectors to both levels --- Response - JOH 13 Aug 2019 2:54pm --- Now shown	JOH
<u>Request for Further Information:</u>			
Request: Indicate the smoke detectors to both levels			JOH
Response: Now shown			JOH
Domestic alarms	Pass	Domestic alarms are proposed, and are able to be tested and have a hush facility. Alarms are located: on each level of the household unit; within 3.0m of each sleeping space; and are audible to sleeping occupants.	JOH
Other compliance paths	N/A		JOH
Alternative solution	N/A		JOH
<u>F8 - Signs</u>	N/A		John Peterson
<u>F9 Means of Restricting Access to Residential Pools</u>	N/A	GIS checked no pool shown or indicated No swimming pool or spa pool proposed at this time Nothing shown or indicated on the plans or application	Simon Copp
<u>G1 - Personal hygiene</u>	Pass		Simon Copp
Provision of sanitary fixtures	Pass		SC
General sanitary fixture requirements	Pass	An adequate number of sanitary fixtures with appropriate space dimensions have been provided given the building use, user group, occupancy, and type of fixtures provided.	SC
Privacy	Pass		SC
Location	Pass	As sanitary fixtures in a household unit, there is at least one door provided between the toilets and the food preparation / storage areas.	SC
Line of sight	Pass	There is no direct line of sight between an access route and a WC, urinal , bath, shower, or bidet. This is achieved by: visual separation of a single fixture with a door.	SC
Lobbies	N/A	Not required for a single residence	SC
Accessible toilets	N/A	Not required for a single residence	SC
Accessible showers	N/A	Not required for a single residence	SC
Other compliance paths	N/A		SC
Alternative solution	N/A		SC
<u>G2 - Laundering</u>	N/A	No change shown or indicated. on the plans or specifications	Simon Copp
<u>G3 - Food Preparation And Prevention Of Contamination</u>	N/A	No change shown or indicated. on the plans or specifications	Simon Copp
<u>G4 - Ventilation</u>	Pass		Simon Copp
G4 prompts	Pass		SC
Natural ventilation	Pass	Sufficient natural ventilation is provided to occupied spaces by openable windows and/or doors of an adequate area.	SC

Checklist/Elements	Status	Notes	Processed By
Mechanical ventilation	N/A	nothing shown	SC
Gas fuelled appliances	N/A	no gas	SC
Other compliance paths	N/A		SC
Alternative solution	N/A		SC
<u>G5 - Interior Environment</u>	N/A		Simon Copp
<u>G6 - Airborne And Impact Sound</u>	N/A		Simon Copp
<u>G7 - Natural Light</u>	Pass		Simon Copp
G7 prompts	Pass		SC
Means of providing natural light	Pass	There are windows to habitable spaces that have an area no less than 10% of the floor area.	SC
Visual awareness	Pass	At least 50% of the glazed area providing natural light is clear glazing falling within the visual awareness zone.	SC
Other compliance paths	N/A		SC
Alternative solution	N/A		SC
<u>G8 - Artificial Light</u>	N/A		Simon Copp
<u>G9 - Electricity</u>	Pass		Simon Copp
G9 prompts	Pass		SC
Energy works certificate	Pass	An energy works certificate will be required upon completion.	SC
Electrical switches and outlets	N/A	Not applicable to single household units	SC
Other compliance paths	N/A		SC
Alternative solution	N/A		SC
<u>G10 - Piped Services</u>	N/A	No gas fittings shown or indicated on the application.	Simon Copp
<u>G11 - Gas As An Energy Source</u>	N/A	No gas fittings shown or indicated on the application.	Simon Copp
<u>G12 - Water Supplies</u>	Pass	No gas fittings shown or indicated on the application.	Simon Copp
Water supply	Pass		SC
Potable water	Pass	The water supply is from a potable source. Pipe materials used for the water supply system will not contaminate the potable water supply. connecting to the existing house water supply	SC
Backflow prevention	Pass	air gap separation	SC
Non-potable supply	N/A	none shown	SC
Freezing zones	Pass	a note on the specification	SC
Water tanks	N/A	no tank shown	SC
Hot water	Pass		SC
Water heater type	N/A	existing hot water service in place	SC
Installation	N/A	existing hot water service in place	SC
Structural support	N/A	existing hot water service in place	SC
Water temperature	Pass	The hot water temperature supplied at the sanitary fixtures meets required levels given the classified use of the building. a note attached to the plans and specification	SC
Solar hot water	N/A	no solar shown	SC
Wetback hot water	N/A	no wetback shown	SC
Accessible water supply	N/A	Not applicable to single household units	SC
Other compliance paths	N/A		SC
Alternative solution	N/A		SC

Checklist/Elements	Status	Notes	Processed By
<u>G13 - Foul Water</u>	Pass		Simon Copp
Drainage design	Pass		SC
Compliance path	Pass	A means of compliance has been clearly stated in the consent documents.	SC
Connections	Pass	Existing drainage plans have been checked to ensure the feasibility of the connections proposed. The drain from the stack will connect back into the existing house drain.	SC
Acceptable solution	N/A		SC
AS/NZS 3500.2	Pass		SC
Drainage principles	N/A		SC
Elevated drainage principles	Pass	Elevated drainage principles are used for no more than the first four floors. No graded discharge pipes or groups connect into vertical sections. Elevated drainage principles are used, connecting into the discharge stack at the top floor only. The discharge pipe and stack layout, sizes, and falls are appropriate given types of sanitary fixtures, the fixture loading, and the developed lengths of pipe runs. Fixture and branch vent pipes are shown where required to ensure the functionality of water traps and the drainage system.	SC
Single stack	N/A		SC
Single stack variations	N/A		SC
Fully vented	N/A		SC
Fully vented modified	N/A		SC
Pumping systems	N/A		SC
AS/NZS 3500.5	Pass		SC
Residential	Pass	Refer to 3500.2 compliance assessment.	SC
Hydraulic design	Pass		SC
Scope	Pass	The scope of the hydraulic design is for the sewer and storm water drainage drawn by the drafts person.	SC
Engineer	N/A		SC
Other compliance paths	N/A		SC
Alternative solution	N/A		SC
<u>G14 - Industrial Liquid Waste</u>	N/A		Simon Copp
<u>G15 - Solid Waste</u>	N/A		Simon Copp
<u>H1 - Energy Efficiency</u>	Pass		John Peterson, Simon Copp
H1 prompts	Pass		JOH, SC
Small building envelope thermal performance	Pass	The building has been assessed as compliant with H1 using the: schedule method, as modified by H1/AS1.	JOH
Large building envelope performance	N/A		JOH
Hot water system efficiency	N/A	NO CHANGE TO HWC OR SINK	SC
Artificial lighting	N/A		JOH
Other compliance paths	N/A		JOH
Alternative solution	N/A		JOH
<u>S67 - Waivers And Modifications</u>	N/A		John Peterson
<u>S75 - Build over 2 allotments</u>	N/A		John Peterson
<u>S112 and S133 AT - Alterations To Existing Buildings</u>	N/A		John Peterson
<u>S115 and S133 AN- Change Of Use</u>	N/A		John Peterson

Checklist/Elements	Status	Notes	Processed By
<u>S116A - Subdivision Code Compliance Requirements</u>	N/A		John Peterson
<u>S363 - Certificate For Public Use</u>	N/A		John Peterson
<u>Restricted Building Work</u>	Pass		John Peterson
Primary structure	Pass		JOH
Foundations and sub-floor framing	Pass	Harry Adam CPEng 21650	JOH
		Tom Clegg BP 115256	
Walls	Pass	Tom Clegg BP 115256	JOH
Roof	Pass	Tom Clegg BP 115256	JOH
Columns and beams	Pass	Tom Clegg BP 115256	JOH
Bracing	Pass	Tom Clegg BP 115256	JOH
Other	N/A		JOH
External moisture	Pass		JOH
Damp proofing	N/A		JOH
Roof cladding	Pass	Tom Clegg BP 115256	JOH
Ventilation system	Pass	Tom Clegg BP 115256	JOH
Wall cladding	Pass	Tom Clegg BP 115256	JOH
Waterproofing	N/A		JOH
Other	N/A		JOH
Fire safety	N/A		JOH
<u>Reviews</u>	N/A		John Peterson

I am satisfied on reasonable grounds that the provisions of the Building Code will be met if the building work in relation to the attached application is properly completed in accordance with the attached plans and specifications.

Signed: _____ Date: 13 August 2019 4:17 pm
John Peterson

GoGet Processing Summary Report

Consent No: 190555A

Site Address: 8 Hughes Street, Waikanae

Description: Moving first floor 400mm to increase the ground floor dining area to line up with existing ground floor southeast external walls

Checklist/Elements	Status	Notes	Processed By
<u>Pre-Application Record</u>	N/A		John Peterson
<u>Vetting</u>	Pass		Joy Ma, Leanna Hutchinson
Application documentation	Pass		JMA
Application type	Pass	The application is for an amended plan. Copies of the original plans outlining proposed amendments are provided alongside new plans and specifications.	JMA
Application form signed	Pass	The application form is signed by the owner or by an agent nominated by the owner.	JMA
Proof of ownership	N/A	Same as parent BC	JMA
Drawings and plans	Pass	Detailed plans are provided that clearly show existing building and the proposed modification or new build.	JMA
Site specific specifications	Pass	Specifications provided that are relevant to the proposed works. Specifications do not contradict the plans. Specifications clearly identify chosen products, and do not show a range of possible options.	JMA
Compliance documentation	Pass	Relevant documentation is shown for: - B1: bracing calculations;	JMA
Specific engineered design	N/A		JMA
Building act	Pass		JMA
S71 Natural Hazard	N/A		JMA
S71-72 assessment	N/A		JMA
S71-72 Recommendation	N/A		JMA
S 84 - Restricted building work	Pass	A certificate of design work has been provided by each of the designers contributing to the restricted building work.	JMA
S 112 or 133AT - Alterations to existing buildings	N/A		JMA
S 115 - Change of use	N/A		JMA
S 118 - Access and facilities for persons with disabilities	N/A		JMA
S 363 - Public use prior to issuing CCC	N/A		JMA
Any outstanding CCC's	N/A		JMA
Decision- s71-74	N/A		JMA
Waivers and Modifications	N/A		JMA
Multi Use	N/A		JMA
Payment	Pass		JMA, LHU
Payment requested	Pass		JMA
Payment received	Pass		JMA, LHU
<u>Specified Systems Compliance</u>	N/A		John Peterson
<u>Environmental Health</u>	N/A		John Peterson
<u>Quick Consent</u>	Pass		John Peterson
Consent type	Pass		JOH
Minor works	N/A		JOH
Simple building work	N/A		JOH
Amendment-Durability modification	N/A		JOH

Checklist/Elements	Status	Notes	Processed By
Amendment	Pass		JOH
Exemption	N/A		JOH
Certificate for public use	N/A		JOH
Other	N/A		JOH
Checklist	Pass		JOH
B1 - B2: Stability	Pass	The repositioning of the wall has changed 1 brace units length, totals required are still over. Rafters are sized accordingly and as per the Mitek tables provided	JOH
C1 - C6: Protection from fire	N/A		JOH
D1 -D2: Access	N/A		JOH
E1 - E3: Moisture	Pass	E2 - an E2/AS1 mid-floor junction detail has been provided - Cavity base at horizontal junction with the existing lower level direct cladding.	JOH
F1 - F8: Safety of users	N/A		JOH
G1 - G15: Services and facilities	N/A		JOH
H1: Energy efficiency	N/A		JOH
<u>B1 - Structure</u>	N/A		John Peterson
<u>B2 - Durability</u>	N/A		John Peterson
<u>C1-6 - Protection From Fire</u>	N/A		John Peterson
<u>D1 - Access Routes</u>	N/A		John Peterson
<u>D2 - Mechanical Installations For Access</u>	N/A		John Peterson
<u>E1 - Surface Water</u>	N/A		John Peterson
<u>E2 - External moisture</u>	N/A		John Peterson
<u>E3 - Internal Moisture</u>	N/A		John Peterson
<u>F1 - Hazardous Agents On Site</u>	N/A		John Peterson
<u>F2 - Hazardous Building Materials</u>	N/A		John Peterson
<u>F3 - Hazardous Substances And Processes</u>	N/A		John Peterson
<u>F4 - Safety From Falling</u>	N/A		John Peterson
<u>F5 - Construction and Demolition Hazards</u>	N/A		John Peterson
<u>F6 - Visibility In Escape Routes</u>	N/A		John Peterson
<u>F7 - Warning Systems</u>	N/A		John Peterson
<u>F8 - Signs</u>	N/A		John Peterson
<u>F9 Means of Restricting Access to Residential Pools</u>	N/A		John Peterson
<u>G1 - Personal hygiene</u>	N/A		John Peterson
<u>G2 - Laundering</u>	N/A		John Peterson
<u>G3 - Food Preparation And Prevention Of Contamination</u>	N/A		John Peterson
<u>G4 - Ventilation</u>	N/A		John Peterson
<u>G5 - Interior Environment</u>	N/A		John Peterson
<u>G6 - Airborne And Impact Sound</u>	N/A		John Peterson
<u>G7 - Natural Light</u>	N/A		John Peterson
<u>G8 - Artificial Light</u>	N/A		John Peterson
<u>G9 - Electricity</u>	N/A		John Peterson
<u>G10 - Piped Services</u>	N/A		John Peterson
<u>G11 - Gas As An Energy Source</u>	N/A		John Peterson
<u>G12 - Water Supplies</u>	N/A		John Peterson
<u>G13 - Foul Water</u>	N/A		John Peterson

Checklist/Elements	Status	Notes	Processed By
<u>G14 - Industrial Liquid Waste</u>	N/A		John Peterson
<u>G15 - Solid Waste</u>	N/A		John Peterson
<u>H1 - Energy Efficiency</u>	N/A		John Peterson
<u>S67 - Waivers And Modifications</u>	N/A		John Peterson
<u>S75 - Build over 2 allotments</u>	N/A		John Peterson
<u>S112 and S133 AT - Alterations To Existing Buildings</u>	N/A		John Peterson
<u>S115 and S133 AN- Change Of Use</u>	N/A		John Peterson
<u>S116A - Subdivision Code Compliance Requirements</u>	N/A		John Peterson
<u>S363 - Certificate For Public Use</u>	N/A		John Peterson
<u>Restricted Building Work</u>	Pass		John Peterson
Primary structure	Pass		JOH
Foundations and sub-floor framing	N/A		JOH
Walls	Pass	Thomas Clegg - Licensed Building Practitioner Building practitioner numberBP115256	JOH
Roof	N/A		JOH
Columns and beams	N/A		JOH
Bracing	N/A		JOH
Other	N/A		JOH
External moisture	N/A		JOH
Fire safety	N/A		JOH

I am satisfied on reasonable grounds that the provisions of the Building Code will be met if the building work in relation to the attached application is properly completed in accordance with the attached plans and specifications.

Signed: _____ Date: 29 October 2019 4:49 pm
John Peterson



WINDOWS, DOORS
AND CONSERVATORIES

Date: 12th March 2021

Wairarapa Windows 2008 Ltd.
153 Ngaumutawa Road
PO Box 2103
Kuripuni 5842
Masterion

Phone: 06 378 2990
Fax: 06 378 2950
Email: fisher@wairarapawindows.nz

Attention:

Terry Doran
8 Hughes Street
WAIKANAE BEACH

PRODUCER STATEMENT

Project Name: Terry Doran

Project Address: 8 Hughes Street WAIKANAE BEACH

We certify that the products supplied by our company for this project, meet or exceed the requirements of the New Zealand Building Code, NZS 4211:2008 Performance of Windows and NZS 4223 Glazing in Buildings.

More specifically, we have manufactured the aluminium windows and doors for this project in accordance with the design and manufacturing specifications provided by Altus NZ Ltd and those required by NZS 4223.

Window and door units manufactured to these specifications have been tested to, and comply with, the wind pressure rating, deflection, weather performance and glazing requirements of the above New Zealand Standards. The application of Pascal rating stickers on the window and door units is further confirmation that the window and door units have been manufactured to the prescribed specifications and comply with NZS 4211.

The products supplied by our company for this project, can be expected to have a serviceable life of not less than 15 years in accordance with section B2 of the New Zealand Building Code. This relates specifically to the structural elements of the windows and doors.

Over time, even with regular maintenance, decorative elements and non-structural fittings such as handles, fasteners, door rollers, mohairs and other similar components may require replacement as they wear out. This process does not contravene the Durability Requirements of section B2 of the New Zealand Building Code or this Producer Statement.

Yours sincerely

David Nathan
Wairarapa Windows 2008 Limited
T/A Fisher Windows



8 August 2019

Tom Clegg
10 Malcolm Gillies Grove
Totara Park
Upper Hutt 5018

Dear Building Consent Applicant/Building Owner

Request for Further Information – Building Consent: 190555

Site Address: 8 Hughes Street, Waikanae
Legal Description: LOT 2 DP 23534
Project Description: New second storey addition including new bathroom, lounge & 2 bedrooms plus new deck off bedroom 4

Following checking of your Building Consent it is apparent that further information is required.

Information needed:

BUILDING

1. Provide the PS1 for the Juralco EDGE proprietary face fixed balustrade system.
2. Indicate the smoke detectors to both levels
3. Brace unit B2 has the TV passing through the top plate - revise or indicate a suitable method of strengthening at the penetration.
4. As the site is located 182m from breaking surf in a VH wind zone verification from the metal roof manufacturer is required confirming MAXX is appropriate (Refer to the note in italics in the "Environmental Categories....." literature).

We have suspended your application pending receipt of the above information. Please send it to us by 22 August 2019. We are unable to issue your Building Consent until these matters are resolved.

Information can be posted, emailed to Building.Approvals@kapiticoast.govt.nz or dropped in at one of Council's service centres.

If you need more time, have any questions or you would like to discuss this matter, please contact me on (04) 296 4700 or john.peterson@kapiticoast.govt.nz referencing Building Consent No 190555.

Yours sincerely

A handwritten signature in black ink, appearing to be 'JP', written over a light blue horizontal line.

John Peterson
Building Officer

cc Building Owner

Consent No: 190555

Building Category: R3

Site Address: 8 Hughes Street, Waikanae

Owner/Agent: Tom Clegg

Inspections

The following inspections are required:

- 1 Piles
- 1 Subfloor
- 1 Drainage
- 1 Preline Building
- 1 Postline / Wet area Pre Application
- 1 Pre Wrap
- 1 Pre Clad
- 1 Preline Plumbing
- 1 Final Inspection
- 9 Total Inspections

Documentation

The following documentation is required:

- Application for CCC
- Electrical safety certificate
- As-built drainage plan
- Drainage (Form 126) for stormwater installation
- Drainage (Form 127) for private sewer installation
- Plumbing (Form 125) for pressure test and installation piped services
- Timber framing and truss certification
- Roof product manufacturers warranty
- Record of Work

Building Practitioners

- Designer 1
- Designer 2
- Carpentry 1
- Foundations 1
- Roofing 1
- Plumber
- Drainlayer
- Electrician

GoGet Inspection Audit Report

Consent No: **190555**
Applicant: **Tom Clegg**
Site Address: **8 Hughes Street, Waikanae**
Work Type: **New second storey addition including new bathroom, lounge & 2 bedrooms plus new deck off bedroom 4**

Inspection Type: **Subfloor**
Inspection Outcome: **Pass**
Inspected By: **Anthony Wilson**
Inspection Date: **11 March 2021 2:56 p.m.**
Duration: **0 minutes**

Inspection Element	Status
General	Pass
Under floor piles, bearers and deck framing	
Pile/bearer/joist fixings	Pass
12kn stainless steel connections	
Notching/holes	N/A
Solid blocking	N/A
Joists	Pass
Deck joists 190 x 45	
Pozi struts in upstairs floor inspected at pre line.	
Existing floor joists at ground level to new bearer	
Beams/bearers	Pass
2x 290mm rebated in to both sides of deck posts as per design	
LBP number	Pass
114282	
Agent/owner written approval	N/A
non compliance discussed onsite	N/A
Next Inspection required	N/A
Other	Pass
Bracing as per set out.	
All aspects relating to this inspection have been assessed and checked against the consented documentation and deemed to comply.	

Documentation

Electrical safety certificate - Electrician	Received
Gas safety certificate	Received
Drainage (Form 127) for private sewer installation	Clear
Construction review PS4 statement for structural engineering	Required
Roof product manufacturers warranty	Received
Window manufacturers producer statement	Required

Building Practitioners

Carpentry 1	Received
Foundations 1	Received
Roofing 1	Received
Gasfitter	Received
Electrician	Received



Taken at 2:13 PM on Thursday 11/03/2021



Taken at 2:14 PM on Thursday 11/03/2021



Taken at 2:14 PM on Thursday 11/03/2021



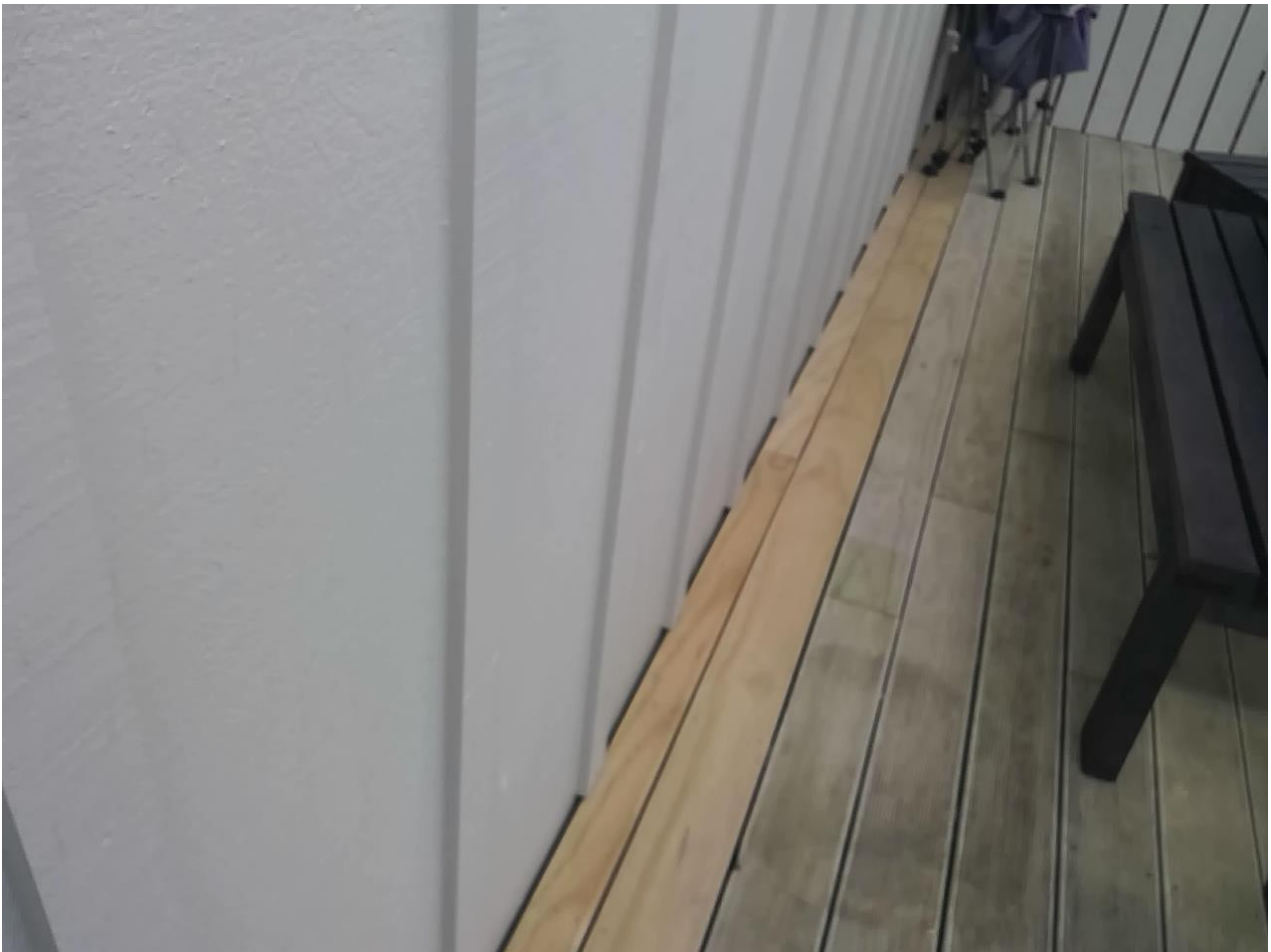
Taken at 2:15 PM on Thursday 11/03/2021



Taken at 2:15 PM on Thursday 11/03/2021



Taken at 2:36 PM on Thursday 11/03/2021



Taken at 2:36 PM on Thursday 11/03/2021



Taken at 2:37 PM on Thursday 11/03/2021



Taken at 2:37 PM on Thursday 11/03/2021



Taken at 2:37 PM on Thursday 11/03/2021



Taken at 2:38 PM on Thursday 11/03/2021



Taken at 2:38 PM on Thursday 11/03/2021



Taken at 2:39 PM on Thursday 11/03/2021



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Taken at 2:39 PM on Thursday 11/03/2021



Taken at 2:40 PM on Thursday 11/03/2021



Taken at 2:40 PM on Thursday 11/03/2021



Taken at 2:41 PM on Thursday 11/03/2021



Kitchenette

Taken at 2:41 PM on Thursday 11/03/2021



Upstairs bathroom

Taken at 2:42 PM on Thursday 11/03/2021

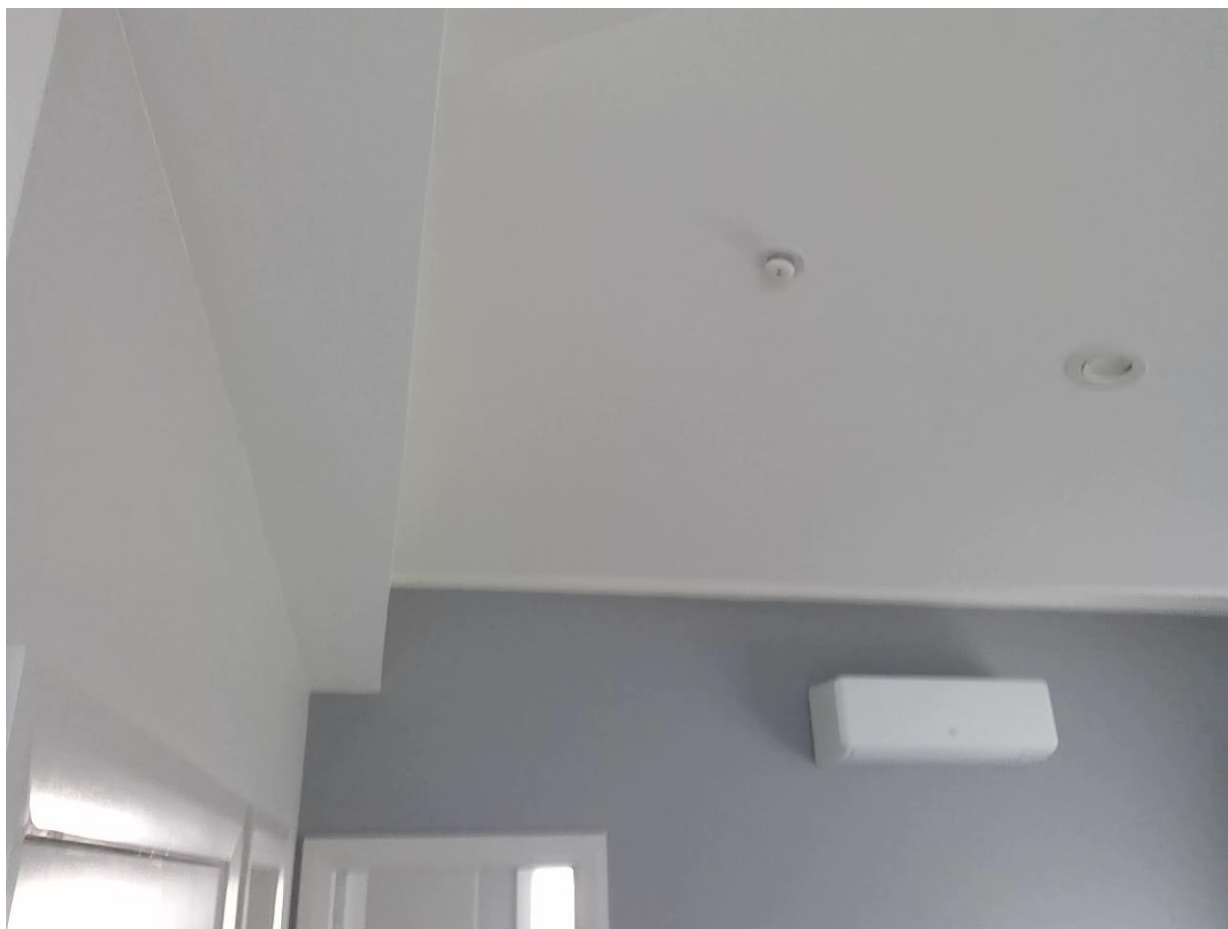


Upstairs bathroom

Taken at 2:42 PM on Thursday 11/03/2021



Upstairs bathroom
Taken at 2:42 PM on Thursday 11/03/2021



Smoke alarm upstairs
Taken at 2:43 PM on Thursday 11/03/2021



Taken at 2:47 PM on Thursday 11/03/2021



Balustrade

Taken at 2:47 PM on Thursday 11/03/2021