

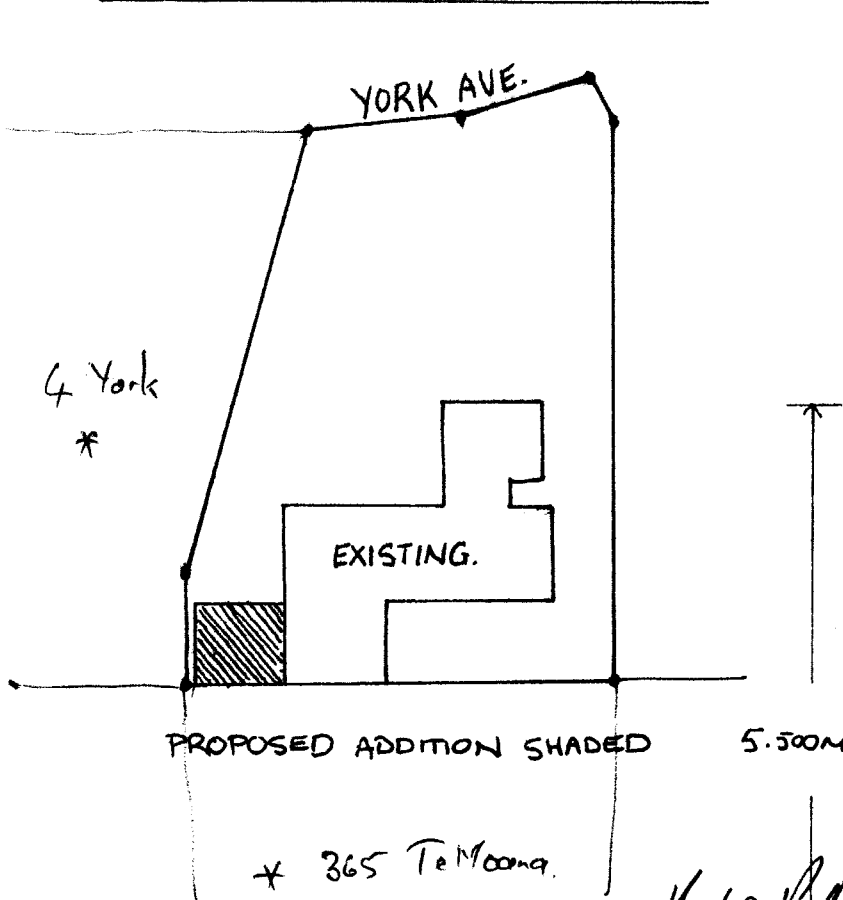
Sharalyn Fraser *Agency*

Statement of passing over information – This information has been supplied by the Vendor or the vendor's agents. Accordingly, Sharalyn Fraser Agency (Ownly Limited licensed (REA 2008) is merely passing over the information as supplied to us by the vendor or vendors agents.

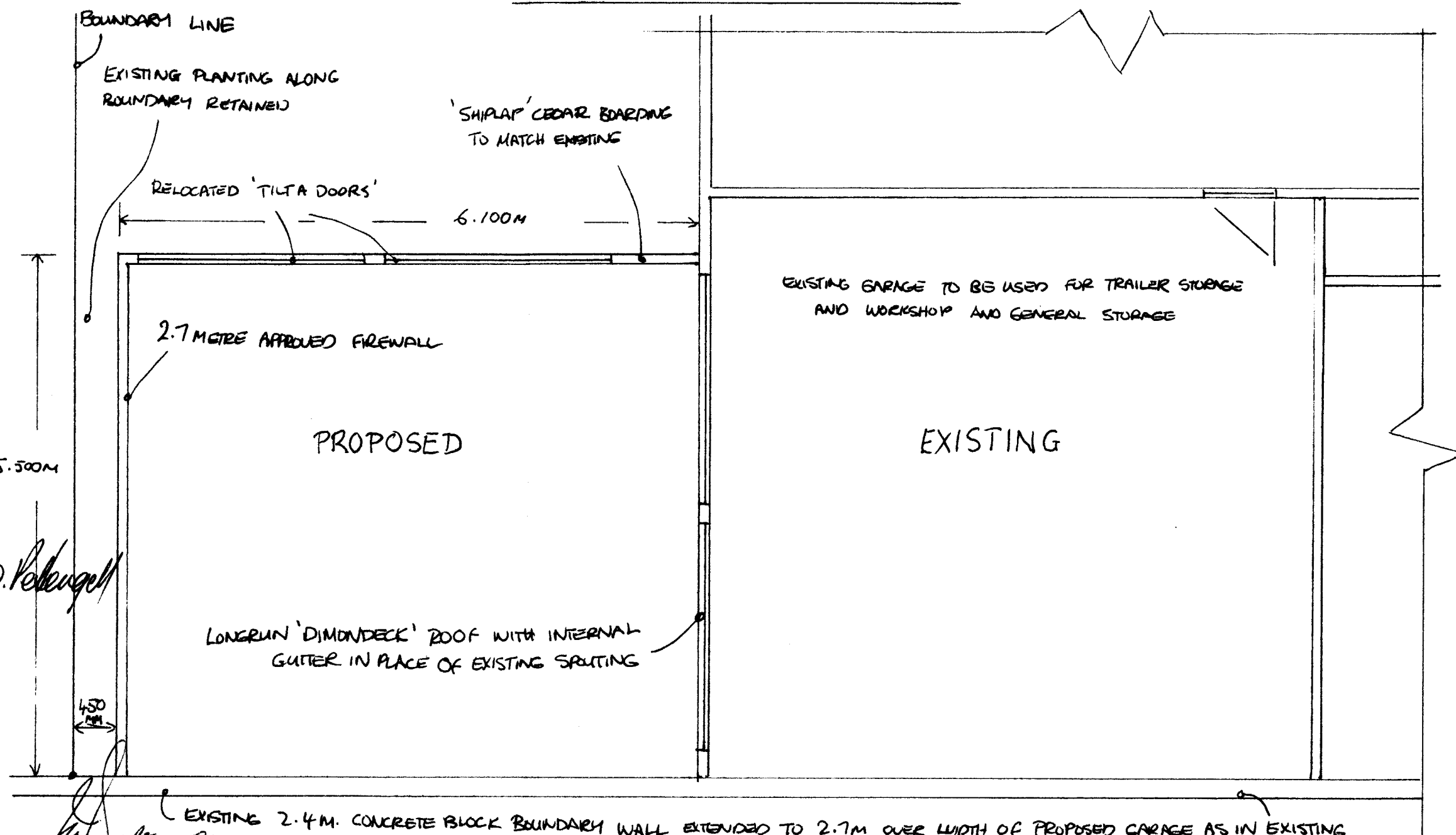
We cannot guarantee its accuracy and reliability as we have not checked, audited, or reviewed the information and all intended purchasers are advised to conduct their own due diligence investigation into the same. To the maximum extent permitted by law Sharalyn Fraser Agency (Ownly Limited licensed (REA 2008) does not accept any responsibility to any person for the accuracy of the information herein

PROPOSED NEW GARAGE ADDITION TO 6 YORK AVE FOR MR. L.P. ORDISH

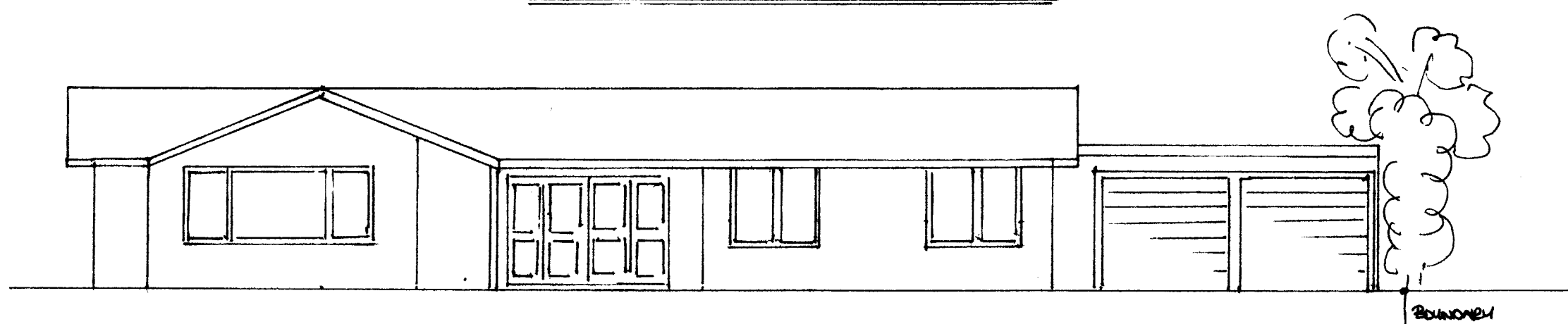
SITE PLAN. SCALE 1:500



FLOOR PLAN SCALE 1:50



FRONT ELEVATION SCALE 1:100



NO 113

Wentworth County Council No. 15100

Inspector: M. _____

File No. _____

Receipt No. 1540Date Permit Issued 3/1/84

OWNER	
Name	<u>L.P. Ordish</u>
Mailing Address	<u>6 York Avenue</u> <u>Wentworth</u>

BUILDER	
Name	<u>Self</u>
Mailing Address	_____

PROPERTY ON WHICH BUILDING IS TO BE ERECTED/DEMOLISHED

SITE	
Street No.	<u>6</u>
Street Name	<u>York Avenue</u>
Town/District	<u>Wentworth</u>
Riding	<u>Wentworth DC</u>

LEGAL DESCRIPTION	
Valuation Roll No.	<u>14-14/011</u>
Lot	<u>5</u>
D.P.	<u>49021</u>
Section	_____
Block	_____
Survey District	_____

DESCRIPTION OF PROPOSED WORK AND MAIN PURPOSE OF USE

<u>Addition to dwelling</u>

FLOOR AREA		DWELLING UNITS	
Whole Sq. Metres	<u>24</u>	Number Erected	_____

ESTIMATED VALUES \$	ESTIMATED VALUES	
	Building	<u>15000</u>
	Plumbing	<u>5000</u>
	Drainage	_____
TOTAL	<u>100000</u>	

NATURE OF PERMIT (TICK BOX)	
☐	NEW BUILDING - include dwelling added, exclude domestic garages
☐	FOUNDATIONS ONLY
☒	ALTERED, REPAIRED, EXTENDED - include conversions and revised buildings
☐	NEW CONSTRUCTION OTHER THAN BUILDINGS - include demolitions
☐	DOMESTIC GARAGES AND DOMESTIC OUTBUILDINGS

FEES APPLICABLE

Building Permit	\$ <u>60.00</u>	Water Connection	\$ _____	Receipt No.	<u>1540</u>
Street Damage Deposit	\$ _____	Vehicle Crossing Levy	\$ _____	Date of Payment	<u>3/1/84</u>
Building Research Levy	\$ _____	M.S. Plumbing	\$ _____	Authorised Officer	<u>J. H. H.</u>
Plumbing	\$ <u>18.00</u>				
Drainage	\$ _____				
Sewer Connection	\$ _____				
TOTAL:		\$ <u>78.00</u>			

Special Conditions: _____

Date Inspected

REMARKS (e.g. stage reached with work)

3/4/84 Plumb & lining insp. (H. H. H.)

8/11/84 Foundation inspection OK. Adv. owner to excavate an extra 200mm to solid.

(CONTINUED OVER)

Date inspected

23/6/86

General inspection - and one home work proceeding
slowly. Partly lined

16-2-88

Complete

COMPLETED (Signature) _____

Date

1 / 1

NEIL A CLIMO

BE (Hons) ME

Registered Engineer

11 David Street
Waikanae
Telephone (0583) 4649

17th June 1988.

The Building Inspector,
Horowhenua County Council,
Aputa Place,
Waikanae.

Dear Sir,

ROOF BEAMS ORDISH ADDITION 6 YORK AVE WAIKANA

I confirm that I have designed the above beams as shown on my attached calculations and sketches.

I recommend 300x100 No1 grade pinus radiata or douglas fir fixed as shown in my sketches.

Yours faithfully,



N.A.Climo.

Registered Engineer
11 David Street
Waikanae
Telephone (0583) 4649

Ordish House Garage Beams

Date: June 88By: Neil Climo

Span = 5.4m. pick up 2.65m roof.

DL

iron = .05
Purlins = .025
rafters = .063
beams = .075 t.p.a.
= .213 kpa.

uplift (wind) $q = 5 \text{ kpa}$ $C_{pi} = +.8$ $C_{pe} = -.9$

uplift = $1.7 \times 5 \times .7 \times .213 = .701 \text{ kpa}$

DL+LL

= $.213 + .25 = .463 \text{ kpa}$

uplift

$w = 2.65 \times .701 = 1.86 \text{ kN/m}$

Try 300x100

$I = \frac{95 \times 295^3}{12} = 203 \times 10^6$

$Z = \frac{95 \times 295^2}{6} = 1.38 \times 10^6 \text{ mm}^3$

$m = \frac{wL^2}{8} = \frac{1.86 \times 5.4^2}{8} = 6.78 \text{ kN.m}$

$r = 49 \text{ mm}$

$S = 3 \times \frac{300}{100} = 9$

$\sigma = 0.1$

$\Delta = \frac{5}{384} \times \frac{1.86 \times 5.4^4}{8 \times 203} = 12.6 \text{ mm} \quad (10023 \text{ l})$

$\Delta_{oh} = \frac{.213}{.701} \times 12.6 = 3.83 \text{ mm}$

$\Delta_{longterm} = 8 - 12 \text{ mm}$

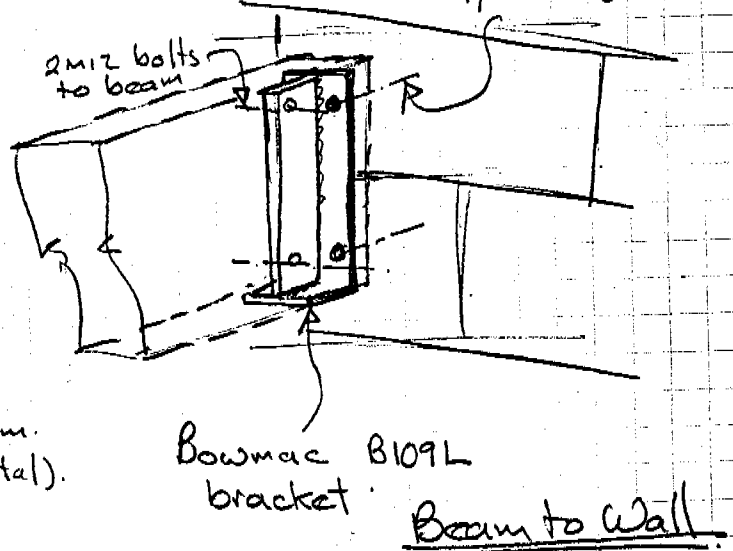
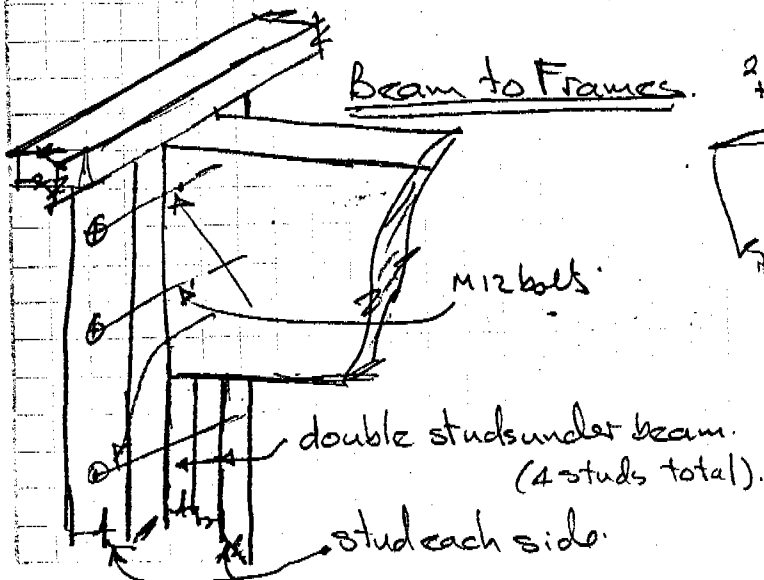
250x100

$I = \frac{95 \times 245^3}{12} = 116 \times 10^6$

$14 - 21 \text{ mm}$

USE 300x100

4/12mm dynabolts



ALL COMMUNICATIONS TO BE ADDRESSED TO
"THE CHIEF EXECUTIVE OFFICER"

TELEPHONE (069) 87-189



Reference No.

P.O. Box 542,
LEVIN, N.Z.

HOROWHENUA COUNTY COUNCIL

JR:ELW

14 June

COPY

~~Mr L.P. Ordish,
6 York Avenue,
WAIKANAЕ~~

Dear Sir,

RE: DISPENSATION APPLICATION : GARAGE ADDITION ON REAR BOUNDARY

I advise that your proposal is approved subject to the issue of a building permit. Please contact the Waikanae Office.

Yours faithfully,

J. Rogerson,
COUNTY PLANNER

c.c. Barry Todd

up
L.P. Ordish,
6 York Avenue,
WAIKANA

J. Planner
RECEIVED

8 APR 1987

HOROWHENUA COUNTY COUNCIL
WAIKANA

The Town Planner,
HCC,
Private Bag,
LEVIN

APPLICATION FOR DISPENSATION.

Dear Sir,

I hereby apply for dispensation to construct the double garage as per enclosed sketch plans, at 6 York Avenue Waikanae. My reasons for wanting the extra space are as follows:

1. Due to the close proximity of the side boundry, the exisiting garage is very difficult to get anything but a small car in and out of and therefore is not very pratical for everyday use.
2. I now require storage for two daily used vehicles, and one infrequently used vintage vehicle.
3. The remaining floor space in the exisiting garage is needed for general storage of trailer, bicycles etc and as workshop space.
4. I dont wish to have vehicles parked in view of the street and unhoused for asthetic reasons and also, with the increase in theft in our area, for security reasons.

In consideration of the proposal:

1. Both adjoining neighbours have signed a letter of no objection. (see enclosed)
2. The addition would improve the appearence of the property by putting vehicles etc out of sight.
3. Every effort will be made to create a look of unity with the existing dwelling.

Please give this case your due consideration and I look forward to your decision in the near future.

yours faithfully,

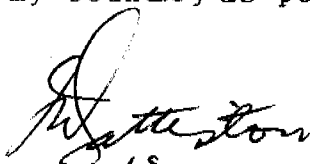
L. P. Ordish
L.P.ORDISH.

Mr L Ordish,
6 York Avenue
WAIKANAĒ.

Town Planner,
Horowhenua County Council,
Private Bag,
LEVIN.

Dear Sir,

I have no objection to Mr Ordish's proposals to construct a double garage on my boundary as per enclosed plan.



Signed: J Batt¹³erson
365 Te moana rd
WAIKANAĒ.

Signed: B Pettengell
4 York Avenue
WAIKANAĒ.



Horowhenua County Council No. 18875

Inspector: M

File No.

Receipt No. 1137

Date Permit Issued 13/7/88

OWNER

Name Lordish

Mailing Address 6 York Ave
Haikanae

BUILDER

Name AS owner

Mailing Address

PROPERTY ON WHICH BUILDING IS TO BE ERECTED/DEMOLISHED

SITE

Street No. 6

Street Name York Ave

Town/District Haikanae

Riding Haikanae

LEGAL DESCRIPTION

Valuation Roll No. 14940-017

Lot 5 D.P. 49027

Section Block

Survey District

DESCRIPTION OF PROPOSED WORK AND MAIN PURPOSE OF USE

Garage Addition

FLOOR AREA

DWELLING UNITS

Whole
Sq. Metres

35

Number
ErectedESTIMATED
VALUES
\$Building
Plumbing
Drainage
G.S.T.
TOTAL

4000

4000

NATURE OF PERMIT (TICK BOX)

- ☐ NEW BUILDING
- exclude domestic garages and domestic outbuildings
- ☐ FOUNDATIONS ONLY
- ☒ ALTERED, REPAIRED, EXTENDED, CONVERTED, RESITED
- include installation of heating appliances
- ☐ NEW CONSTRUCTION
OTHER THAN BUILDINGS - include demolitions
- ☐ DOMESTIC GARAGES
AND DOMESTIC OUTBUILDINGS

FEES APPLICABLE

Building Permit	\$ 78.00	Water Connection	\$
Street Damage Deposit	\$		\$
Building Research Levy	\$		\$
Plumbing	\$		\$
Drainage	\$		\$
Sewer Connection	\$		\$
Vehicle Crossing Levy	\$		\$
M.S. Plumbing	\$		\$
		G.S.T.	\$
		TOTAL:	\$ 78.00

Receipt No. 1137

Date of Payment 13/7/88

Authorised Officer

Special Conditions:

Date Inspected

REMARKS (e.g. stage reached with work)

26/8/88	Footings. - Soft ground pile holes to solid bearing under load bearing wall areas.
22/5/89	Complete

(CONTINUED OVER)

[illegible]

COMPLETED (Signature) _____ Date / /

BUILDING PERMIT

Local Authority: Honouliuli County Council Date: 19/6/68 No. A065614
 Number on Valuation Roll: 1493/544 Receipt No. 11033
 Lot: 3 D.P. 26956 Section: 1 Block: Te Kaituma 4804
 Site of Building: S.D. Te Moana Road Street
Waikanae County Town Township Riding.

Received from Kryt Building Co. the sum of \$ 5.00
 in payment of building fee, etc. B. Tucker Authorised Officer. 19/6/68

Owner Name: R.T. Ordish
 Address: Te Moana Rd. Waikanae
 Builder Name: Kryt Building Co.
 Address: 20. Jeka Rd. Raumati Beach.

(Tick box)

Nature of Permit: ☒ 1. New Building ☐ 2. Alterations and/or Additions ☒ 3. Conversions ☐ 4. Demolitions ☐

Type of building: Bedroom & carport Total floor area: 441 sq. ft.

Purpose for which building will be used:

Estimated value of proposed building work \$ 850.00

Estimated value of plumbing and drainage, if not included in permit \$

If work valued at \$20,000 or more, state: Estimated date of commencement—Month: Year:
 Estimated date of completion—Month: Year:

Special Conditions:

This permit is approved subject to
amendments as noted upon the plans.

Permission is hereby granted you to carry out the works as proposed in accordance with the drawings and other documents submitted; such work to be subject at any time during progress to inspection, and to be carried out in strict conformity with the requirements of the Council bylaws, and subject to the builder taking full responsibility for any damage done to any works such as telephone cables, power cables, water mains, sewers, pipes, footpaths, roads, or other services.

HOROWHENUA COUNTY COUNCIL

WAIKANA E WATER SUPPLY

Application for Permit for Water Supply Work

TO: The County Engineer,
Horowhenua County Council,
P.O. Box 17,
LEVIN.

I, DOROTHY ANNIE LAVINIA ORDISH (Full name)
of 6 YORK AVE WAIKANA E (Postal address)

do hereby apply for permission to have the following plumbing work carried out in accordance with the undermentioned particulars and the plan attached hereto—

Description of Work: CONNECT A TO TOWN SUPPLY WATER
Two dwellings

Allotment: Lot 3 D.P. 26956 Section _____ Area _____
Block WEST A78 1X S.D. KAITAWA
Street YORK AVE House No. 6 373
TE MOANA

The licensed plumber who will carry out the said work is

DESMOND SMITH (Full name)
of ITI GROVE WAIKANA E (Address)

Estimated value of plumbing work \$ 100.00

Present source of supply (e.g., bore, roof tanks, private supply): BORE (PRIVATE)

Signature of Applicant DOROTHY ANNIE ORDISH
(Owner or Lessee)

FOR OFFICE USE

Connection Fee \$ _____

Permit Fee \$ 1 - .00

TOTAL \$ 1 - .00

Application No.: 853

Date: 22-9-71

Valuation Roll No.: 1694/617

Permit No.: 11531

Date: 22-9-71

Work Completed: _____

Plan Noted: _____

Date: _____

Receipt No.: 593

Date Paid: 22/9/71

SCALE OF PERMIT FEES

Estimated Value of Work:										Fee Payable:	
										\$	c.
Not exceeding \$10	.....	.....	.....	.....	.....	.....	.....	.....	.....		10
Exceeding \$10 but not exceeding \$20	.....	.....	.....	.....	.....	.....	.....	.....	.....		25
" \$20	"	"	"	"	\$50	.....	.....	.....	.....		50
" \$50	"	"	"	"	\$100	.....	.....	.....	.....		1.00
" \$100	"	"	"	"	\$200	.....	.....	.....	.....		2.00
" \$200	"	"	"	"	\$300	.....	.....	.....	.....		3.00
" \$300	"	"	"	"	\$400	.....	.....	.....	.....		4.00
" \$400	.....	.....	.....	.....	.....	\$4.00, plus \$1.00 for every					
										\$200 or part thereof in excess	
										of \$400.	

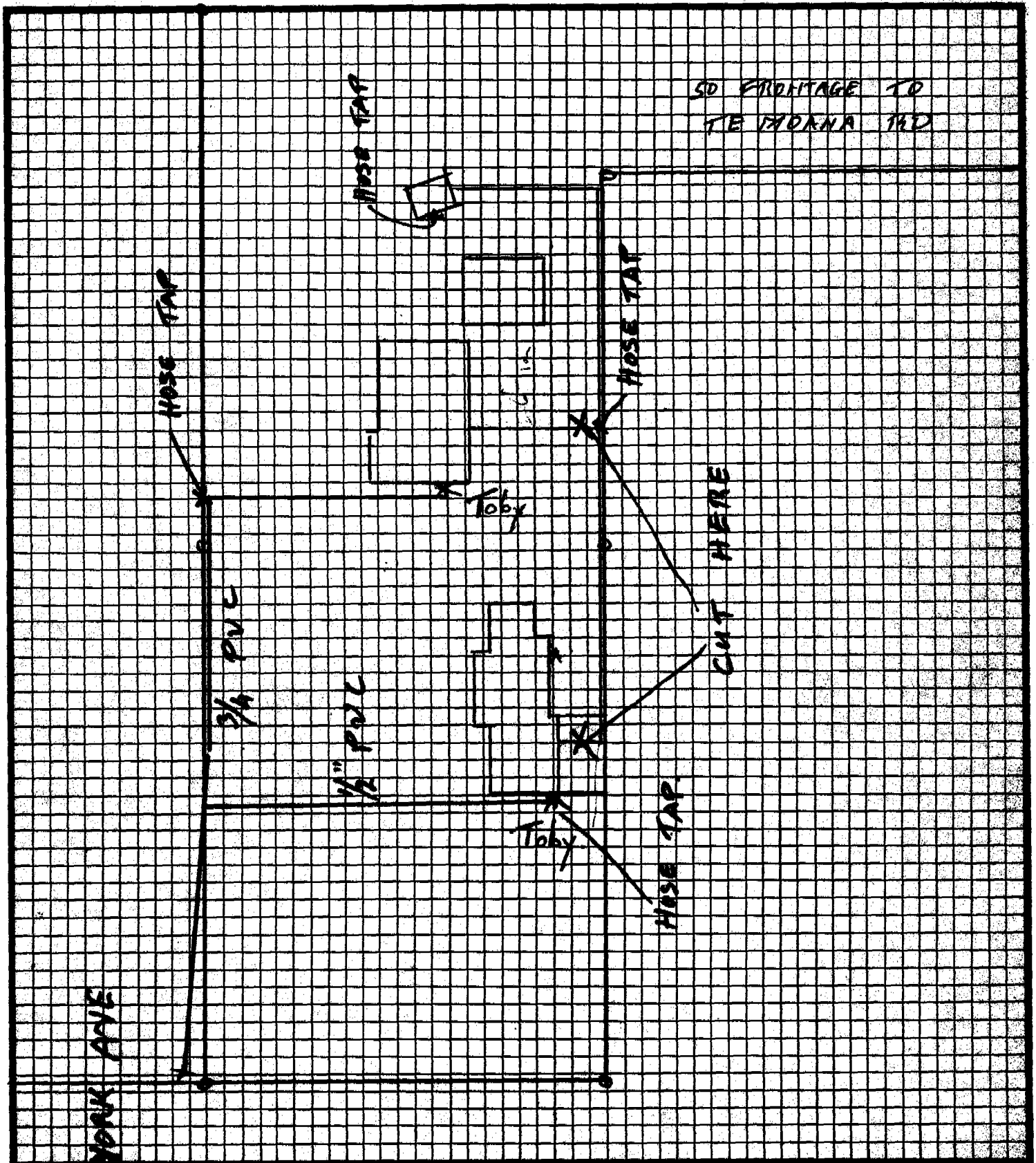
Waikanae County Town Water Supply

PLAN OF ALLOTMENT

Showing position of buildings and existing water supply and pipes)
(Particular care to be taken to show location and distribution pipes from bores)

Boundary Lines to be shown thus: - - - - -

Frontage to YORK AVE Road



PERMIT

W

No

4612

HOROWHENUA COUNTY COUNCIL

WAIKANA E DISTRICT COMMUNITY

PERMIT FOR A PLUMBER OR DRAINLAYER TO CARRY OUT PLUMBING OR DRAINAGE WORK

Mr P.A. McCann,Robert,Manukau

(a licensed plumber or drainlayer), is hereby authorised to carry out the work described herein, and as set forth in the plan deposited with me, on the premises owned (or occupied) by

Mr R. Ordish

and situated in

6 York Avenue

Street (or

Road), Waikanae

being described as

Lot 5 DP 49027.Description of work: Connect to sewer.

Estimated Value of work excluding materials:

Estimated Cost \$ 200-00Permit Fee \$ 18-00Receipt No. pl 353-2Connection Fee \$ TOTAL \$ 18-00

Such work is to be carried out in strict accordance with the Plumbing and Drainage Regulations 1978 and Horowhenua County Council By-Law No. 9, and shall be completed on or before the

day of 19 Date 20-11-81

County Engineer

This permit is issued subject to:

HOROWHENUA COUNTY COUNCIL

WAIKANA E DISTRICT COMMUNITY

Notice of Completion of Work and Request for Inspection

To: The Health Inspector,
Horowhenua County Council
LEVIN.

I HEREBY GIVE NOTICE that I have completed at premises situated at

Street/Road, owned by Mr

the plumbing/drainage

works specified in Permit No. , issued on 19 , and I do hereby request that such works should be inspected.Dated this day of 19

Plumber/Drainlayer

Address of Plumber:

FOR OFFICE USE ONLY

The works above referred to in Permit No.

I HEREBY CERTIFY that the work has been examined and found satisfactory.

Date: 19

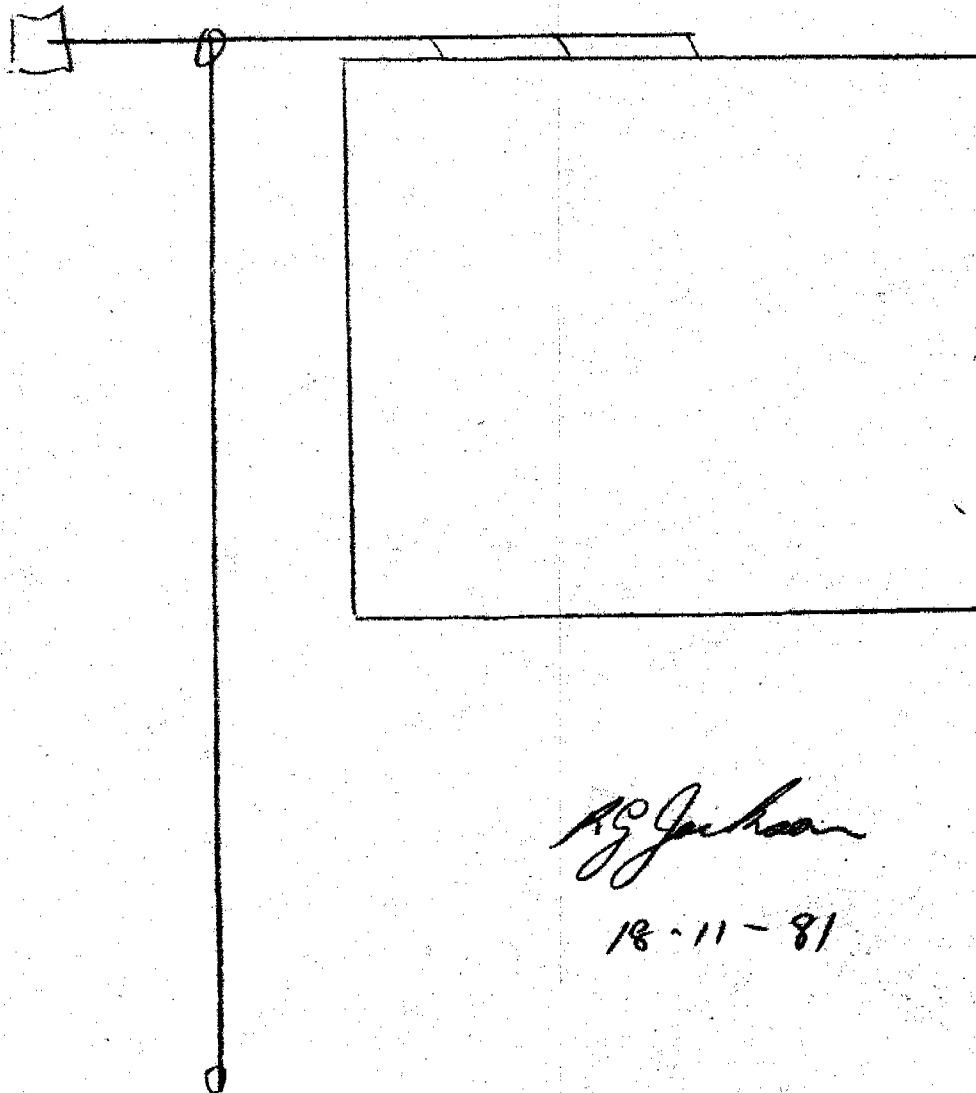
Inspector

WAIKANAE DISTRICT COMMUNITY PLAN OF ALLOTMENT - PROPOSED DRAINAGE LAYOUT

Showing existing buildings and drainage layout and proposed drainage layout to the sewer
scale 1-100.

Boundary Lines to be shown thus: - - - - -

Frontage to York Ave Road



AG Jackson

18-11-81

PERMIT

W

Nº

5987

HOROWHENUA COUNTY COUNCIL

WAIKANAE DISTRICT COMMUNITY

PERMIT FOR A PLUMBER OR DRAINLAYER TO CARRY OUT PLUMBING OR DRAINAGE WORK

Mr D. Stapleton24 Jane GrovePaparangi, Hgtn 4

(a licensed plumber or drainlayer), is hereby authorised to carry out the work described herein, and as set forth in the plan deposited with me, on the premises owned (or occupied) by

Mr C. P. Ordish and situated in 6 York Avenue Street (orRoad), Waikanae being described as Lot 1 DP 49027.Description of work: Plumbing & drainage associated with additions to dwelling

Estimated Value of work excluding materials:

Estimated Cost \$ 150-00Receipt No. 1540

Permit Fee \$

18-00

Connection Fee \$

TOTAL \$

18-00

Such work is to be carried out in strict accordance with the Plumbing and Drainage Regulations 1978 and Horowhenua County Council By-Law No. 9, and shall be completed on or before the

day of _____ 19____

Date 30-3-84

County Engineer

This permit is issued subject to:

You are requested to produce details of your registration before proceeding with this work

HOROWHENUA COUNTY COUNCIL

WAIKANAE DISTRICT COMMUNITY

Notice of Completion of Work and Request for Inspection

To: The Health Inspector,
Horowhenua County Council
LEVIN.

I HEREBY GIVE NOTICE that I have completed at premises situated at _____

_____ Street/Road, owned by Mr _____ the plumbing/drainage

works specified in Permit No. _____, issued on _____ 19____, and I do hereby request that such works should be inspected.

Dated this _____ day of _____ 19____

Plumber/Drainlayer

Address of Plumber: _____

FOR OFFICE USE ONLY

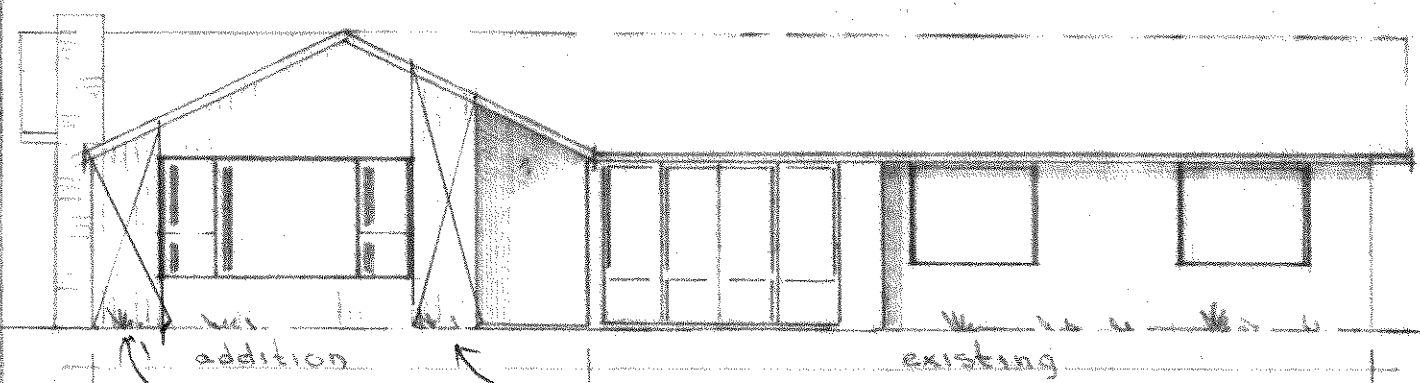
The works above referred to in Permit No. _____

I HEREBY CERTIFY that the work has been examined and found satisfactory.

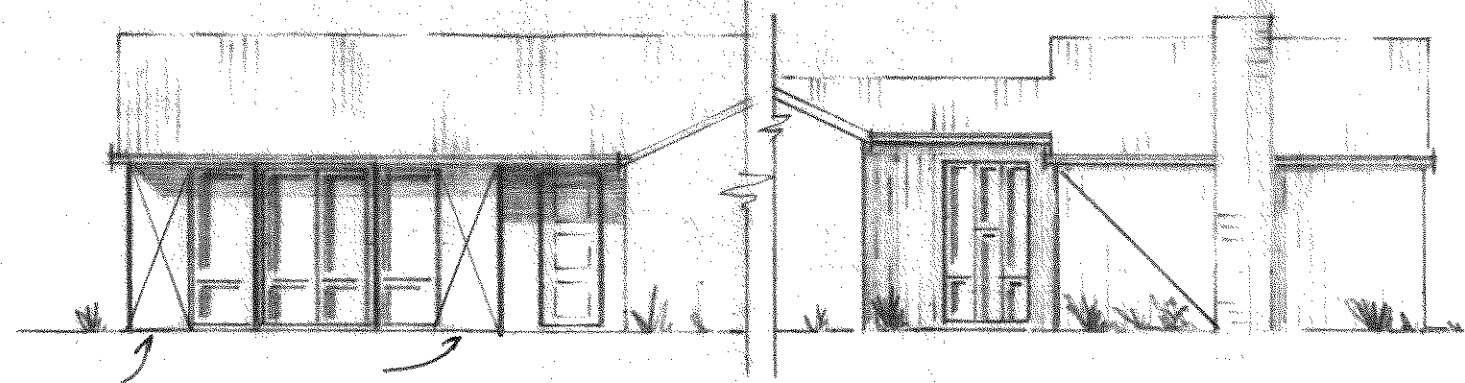
Date: _____ 19____

Inspector

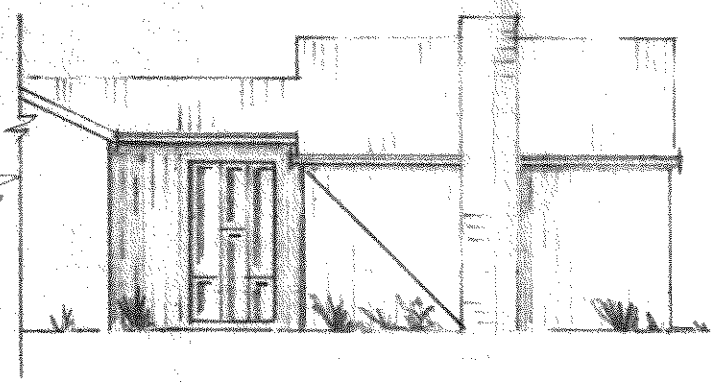
T & L Levin



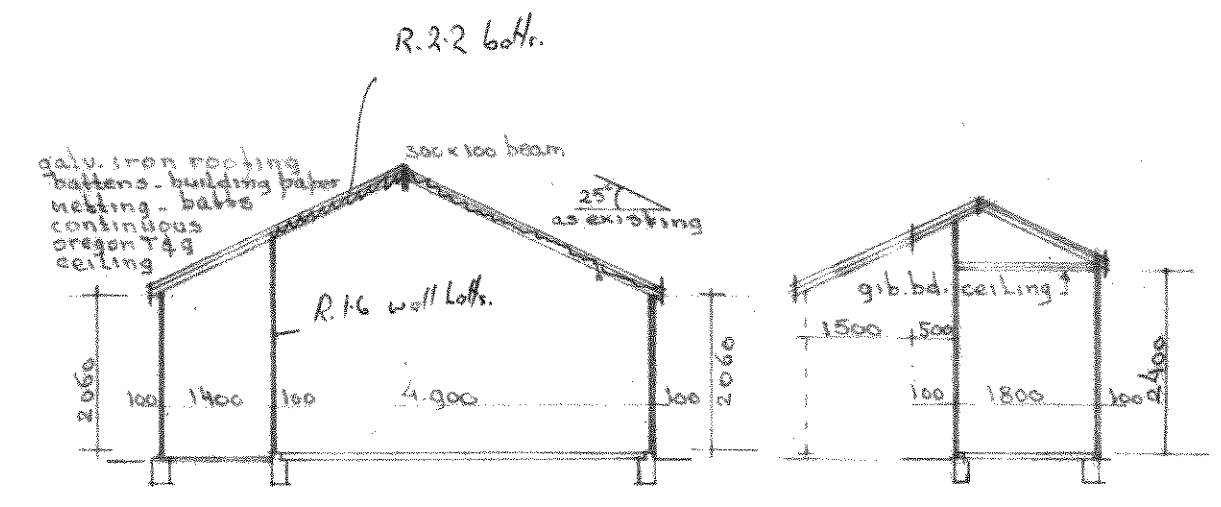
North



West



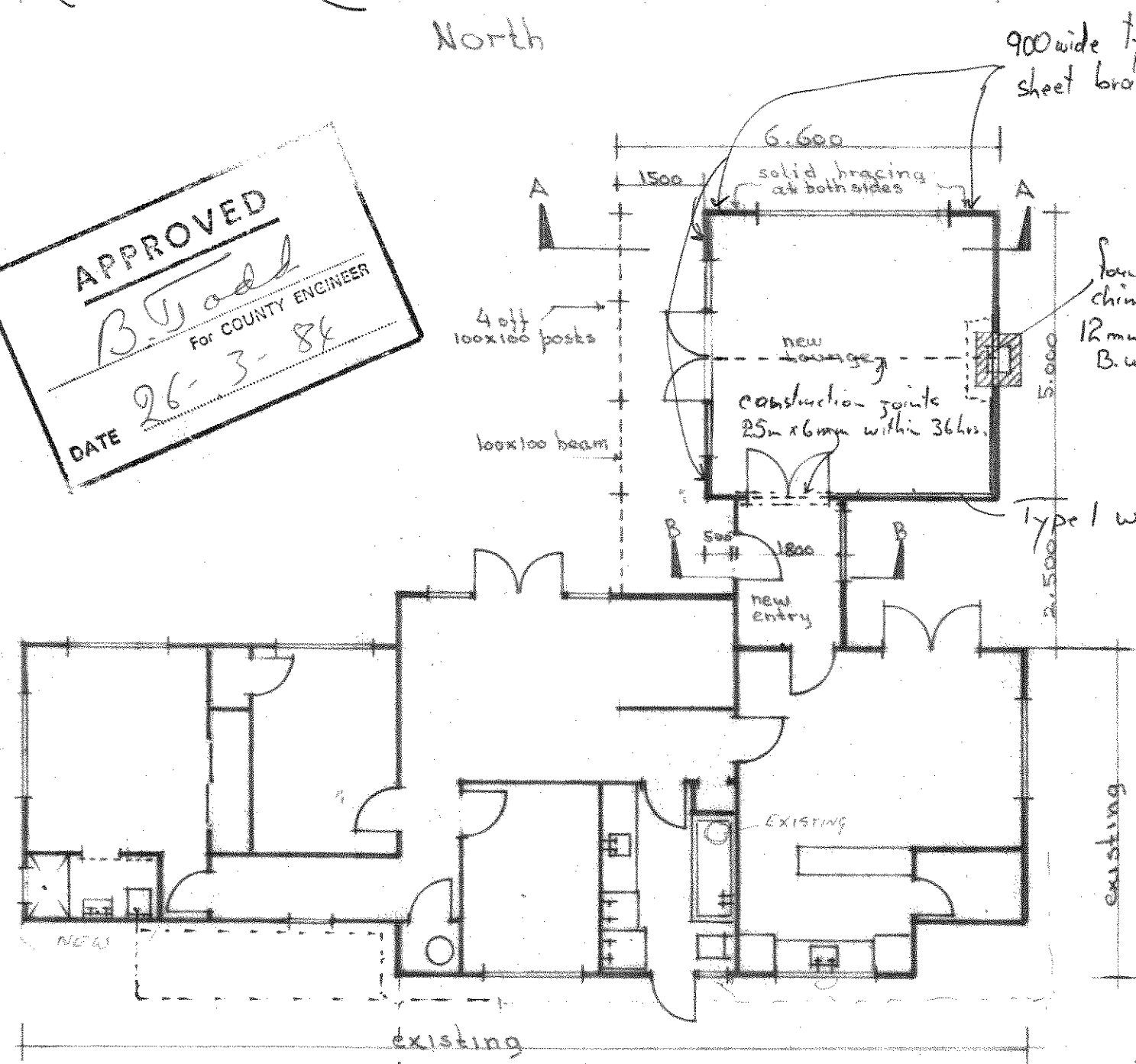
East



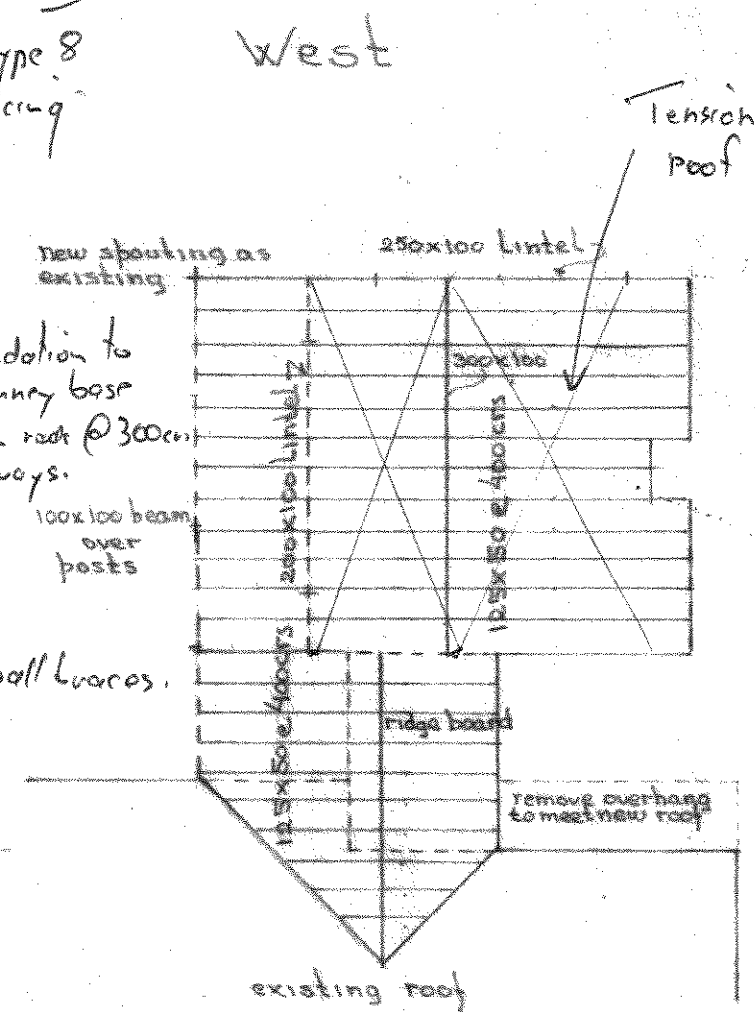
section AA

section BB

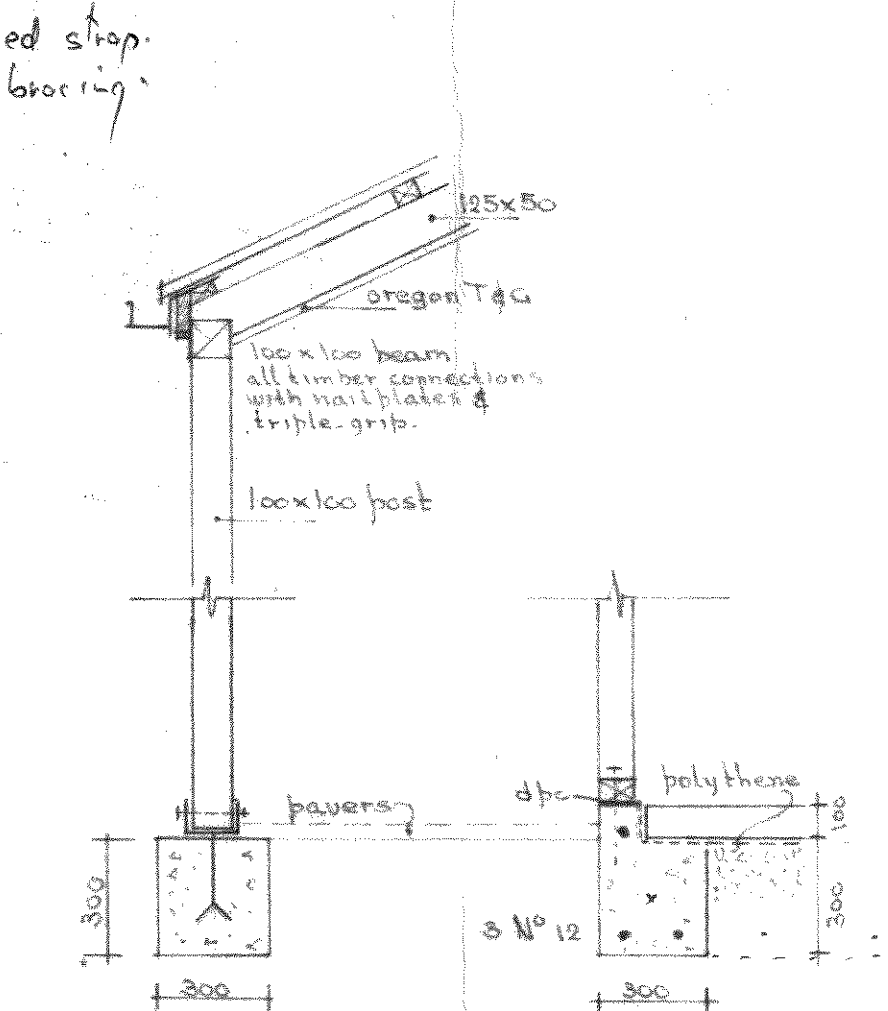
APPROVED
B. V. add
 For COUNTY ENGINEER
 DATE 26-3-84



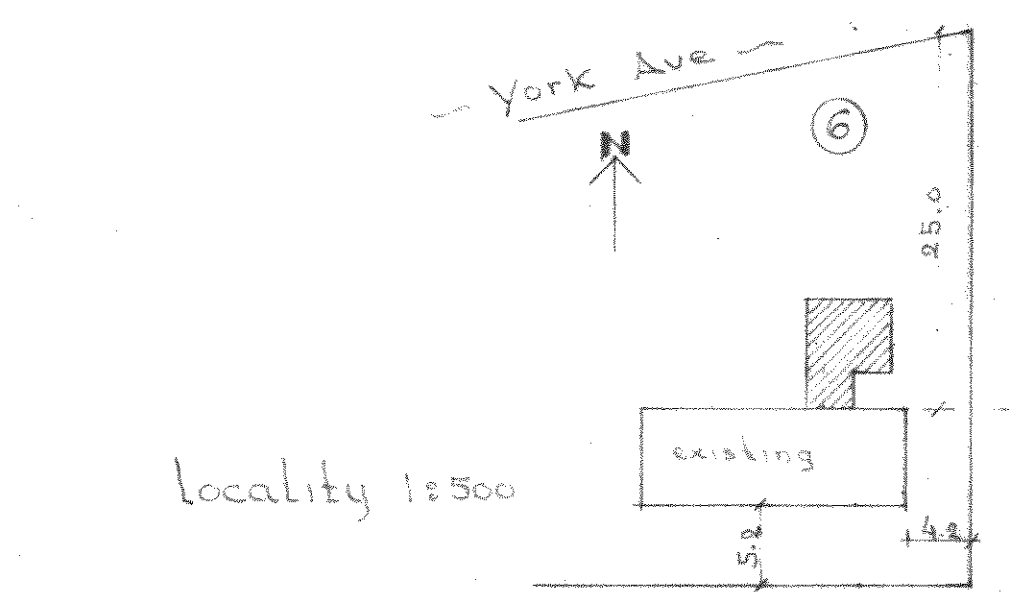
plan 1:100



roof plan 1:100



detail post & exterior walls 1:20



locality 1:500

- Materials & foundation & floor walls roof insulation batts exterior lining interior lining windows & doors.
- concrete
 boron treated timber framing
 galv. corr. iron long-run
 all ext. walls & ceilings
 NZ Redwood shiplap
 gib. board & Oregon T&G
 timber framed

All work done strictly in accordance with NZS3604

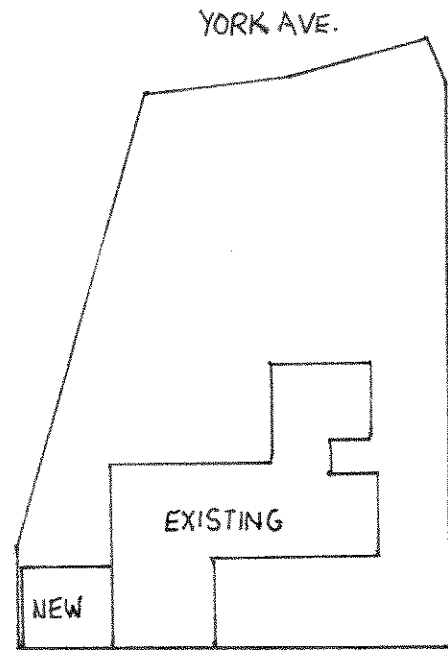
PROPOSED ADDITION TO N°6 YORK AVE. WAIKANAЕ

FOR M. L. ORDISH

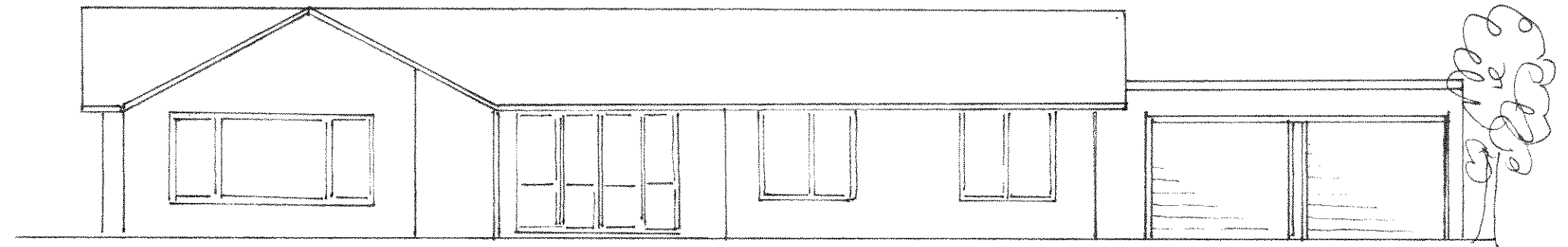
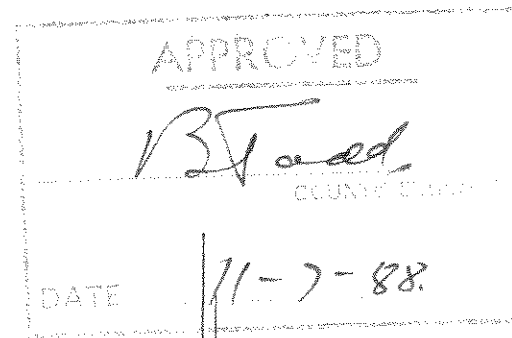
scale as shown
 date Feb. 84

P. C. ROBBERS regd. Archt.
 ANZIA-AIAA. Pram. 84575

PROPOSED ADDITION TO NO 6 YORK AVE WAIKANAE
FOR MR & MRS L.P. ORDISH JUNE 1988

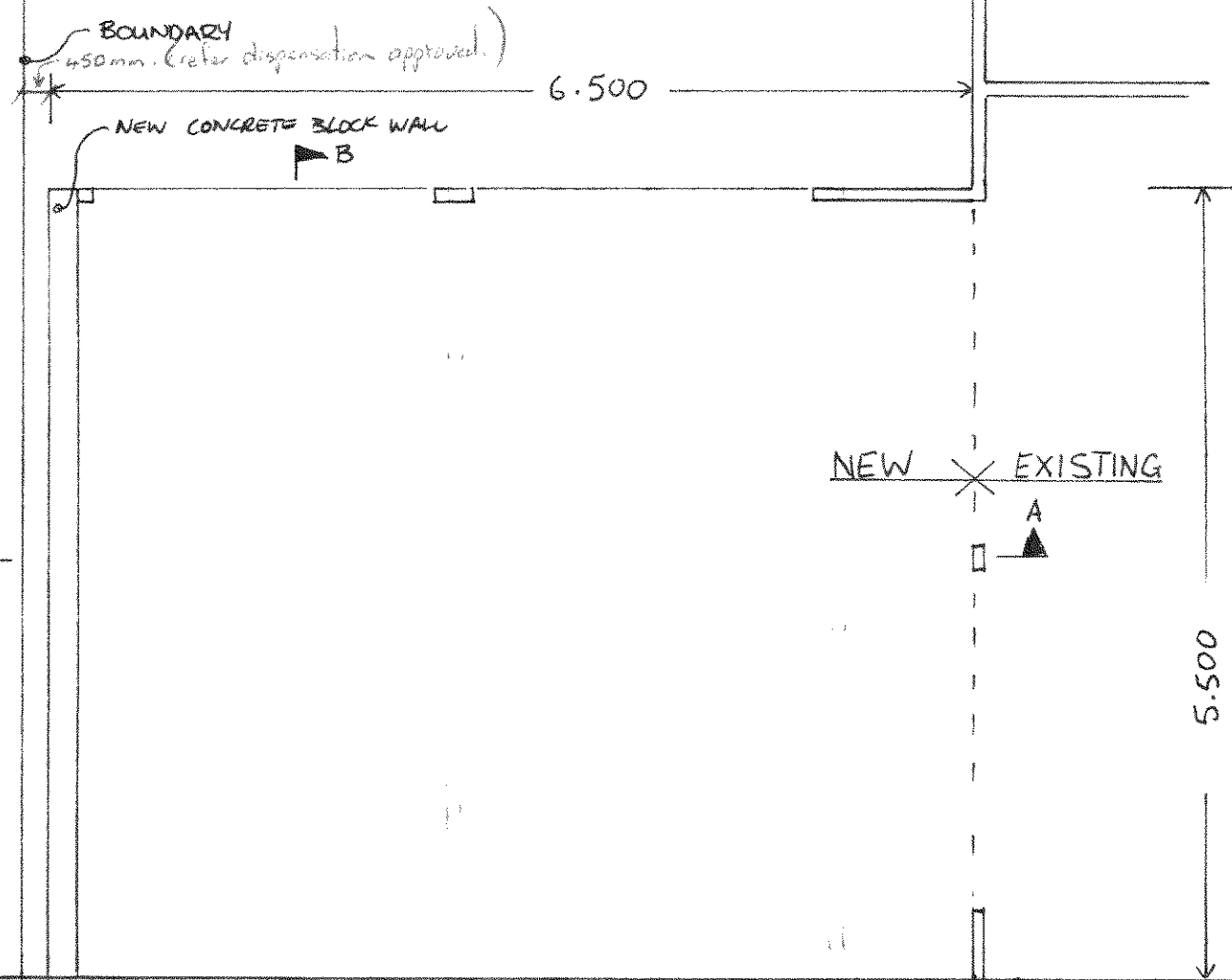


SITE PLAN 1:500

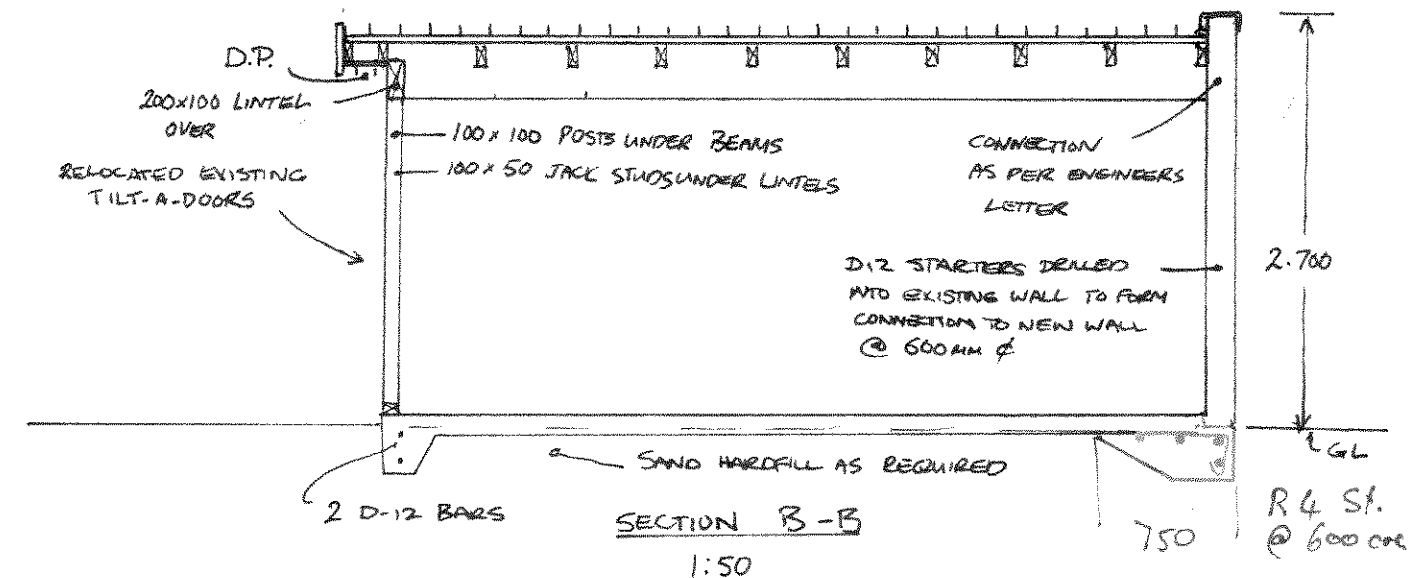


NORTH ELEVATION 1:100

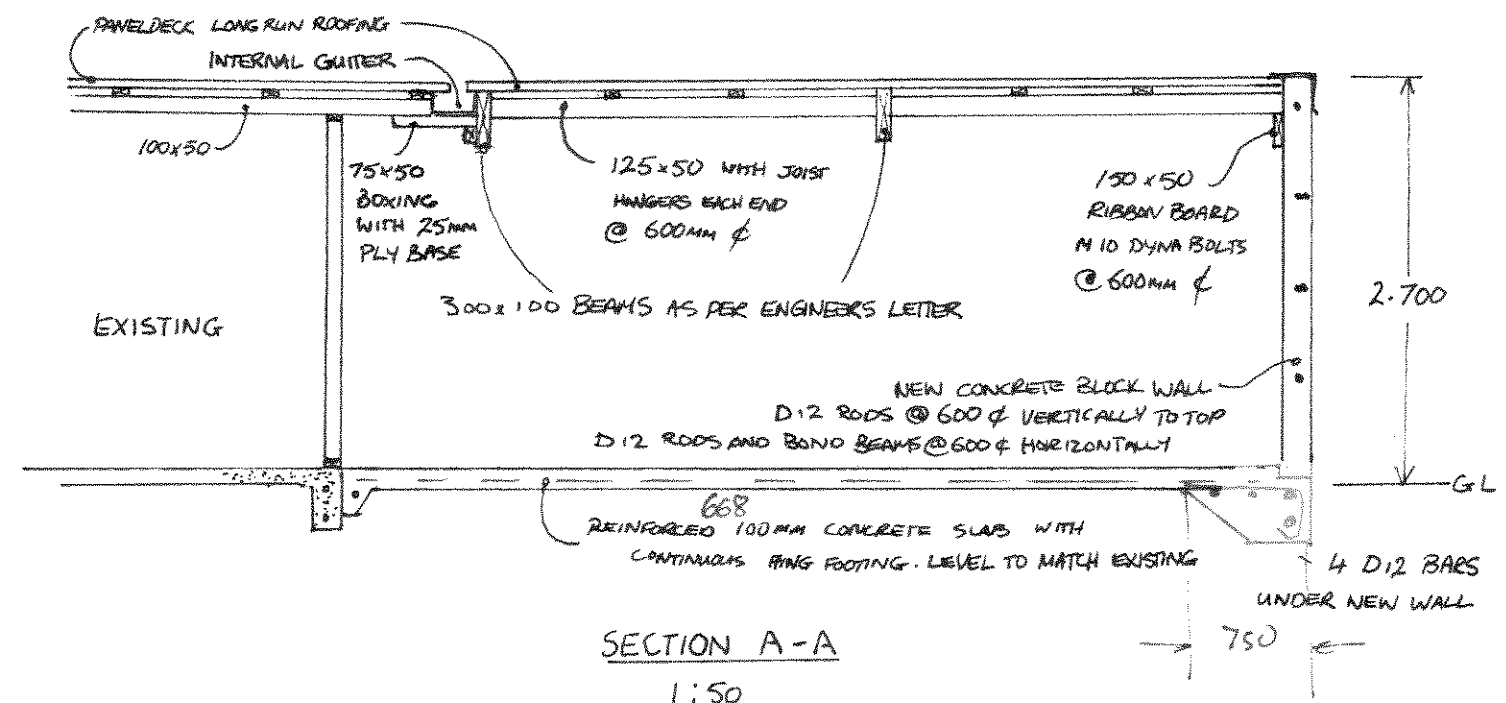
EXISTING * NEW



FLOOR PLAN 1:50



SECTION B-B 1:50



SECTION A-A 1:50

Valuation Book No. _____ Date _____, 19 _____

Application For Plumbing and Drainage Permit

TO THE COUNTY HEALTH INSPECTOR,
Horowhenua County Council,
Bath Street,
Levin.

Postal Address:
Horowhenua County Council,
P.O. Box 258,
Levin.

I, the undersigned, do hereby apply for a permit to carry out DRAINAGE and PLUMBING work in accordance with the undermentioned particulars.

Description of Drainage and Plumbing Work EXTENSION OF EXISTING SEWER TO
SERVE NEW TOILET AREA (TOILET SHOWER & BASIN)
REPOSITIONING OF H/W CHIMNEY & ASSOCIATED PLUMBING.

Allotment. Lot: 5 D.P.: 49027 Section: _____ Area: 938 M²

Block: 1 X S.D. KATANA Locality: WAIKANA

Previous Owner ☐ If Section has been recently transferred

Frontage (Length) 18.5 M (Name of Street or Road) YORK AVE

Water Supply (Description) MAINS

Est. Material Value of Plumbing Work \$350.00 Est. Labour Value of Plumbing Work \$150.

Est. Material Value of Drainage Work \$ _____ Est. Labour Value of Drainage Work \$ _____

Total Value \$500.00

All work will be carried out in accordance with Horowhenua County Council's By-laws and the Drainage and Plumbing Regulations 1978 and Amendments.

Permit Fee Based on Labour Value \$ 18.00 Receipt No.: 1540

Water Connection Fee \$ _____ Receipt No.: _____

Full Name and Address of Owner: Y LAWRENCE PHILLIP ORDISH
6 YORK AVE WAIKANA

NOTE.—The following MUST accompany this Application:—

(a) Ground Plan of Building showing all drains, vents, sumps, septic tanks and sanitary fittings to be plotted on opposite page. For a sewer connection, complete enclosed carbonised form.

(b) Specifications of work materials to be used.

Plan showing drain should be drawn to scale of 1:100.

Stormwater drains should be shown (if any) in dotted lines.

Signature of Applicant: Y L. Ordish

Address 6 YORK AVE WAIKANA

Craftsman
Plumber's Signature, Address, and Registered No. REG. NO. 10103.
24 JANE GROVE, PAPARANGI, WGTN N.

Registered Drainlayer's
Signature, Address, and Registered No. 11
STAPLETON.

PLAN OF ALLOTMENT

Showing position of proposed buildings, Sanitary fittings, Drains, Gully traps, Inspection pipes and Ventilators, Septic tanks, Sumps, Irrigation trenches, Sewers and Stormwater drains, if any.

No Septic Tank or Effluent Drainage System may be installed within 3.3 metres of a dwelling or 1.5 metres of any boundary.

Boundary Lines to be shown thus: — — — — —

Frontage to _____ Road

1084

H.C.C./D.1

Horowhenua County Council

PERMIT No. W4612

LOCALITY Waiharau Sewer

DATE RECEIVED

DATE ISSUED 20 : 11 : 81

FEES NOT TO BE PAID UNTIL REQUESTED BY OFFICE

**APPLICATION
FOR PLUMBING AND DRAINAGE PERMIT**

OWNER'S NAME R. T. Ordish

FOR OFFICE USE ONLY

REMARKS:

SCALE OF PERMIT FEES

Estimated Labour Value of Work:		Fee Payable:
	Not exceeding \$50	\$6
In excess of \$50 but not exceeding \$75		\$9
In excess of \$75 but not exceeding \$100		\$12
In excess of \$100 but not exceeding \$200		\$18
In excess of \$200 but not exceeding \$300		\$24
In excess of \$300 but not exceeding \$400		\$30

Plus \$6 for every \$100 or part thereof in excess of \$400.

APPROVED
R. S. Jackson
COUNTY ENGINEER.
DATE 18-11-81

NOTE.—In all cases where septic tanks are installed the site and position must be first approved by the County Health Inspector.

Valuation Book No. _____ Date _____, 19____

Application For Plumbing and Drainage Permit

TO THE COUNTY HEALTH INSPECTOR,
Horowhenua County Council,
Bath Street,
Levin.

Postal Address:
Horowhenua County Council,
P.O. Box 258,
Levin.

I, the undersigned, do hereby apply for a permit to carry out DRAINAGE and PLUMBING work in accordance with the undermentioned particulars.

Description of Drainage and Plumbing Work connecting to sewer

Allotment. Lot: 5 D.P.: 49027 Section: _____ Area: _____

Block: _____ S.D.: _____ Locality: _____

Previous Owner { If Section has been recently transferred }

Frontage (Length) _____ (Name of Street or Road) 6 York Ave.

Water Supply (Description) _____

Estimated Material Value of Plumbing Work _____ \$

Estimated Labour Value of Plumbing Work _____ \$

Estimated Material Value of Drainage Work _____ \$ 370.-

Estimated Labour Value of Drainage Work _____ \$ 200.- Total \$ 570

All work will be carried out in accordance with Horowhenua County Council's By-laws and the Drainage and Plumbing Regulations 1978 and Amendments.

Permit Fee Based on Labour Value \$ 18.00 Receipt No.: 35332 pt.

Water Connection Fee \$ _____ Receipt No.: _____

Full Name and Address of Owner: R. Ordish, York Ave.

NOTE.—The following MUST accompany this Application:—

(a) Ground Plan of Building showing all drains, vents, sumps, septic tanks and sanitary fittings to be plotted on opposite page. For a sewer connection, complete enclosed carbonised form.

(b) Specifications of work materials to be used.

Plan showing drain should be drawn to scale of 1-100.

Stormwater drains should be shown (if any) in dotted lines.

Signature of Applicant: P. A. McLean

Address Box 1 Manukau

Craftsman
Plumber's Signature,
Address, and
Registered No.

Registered Drainlayer's
Signature, Address, and
Registered No. 43416

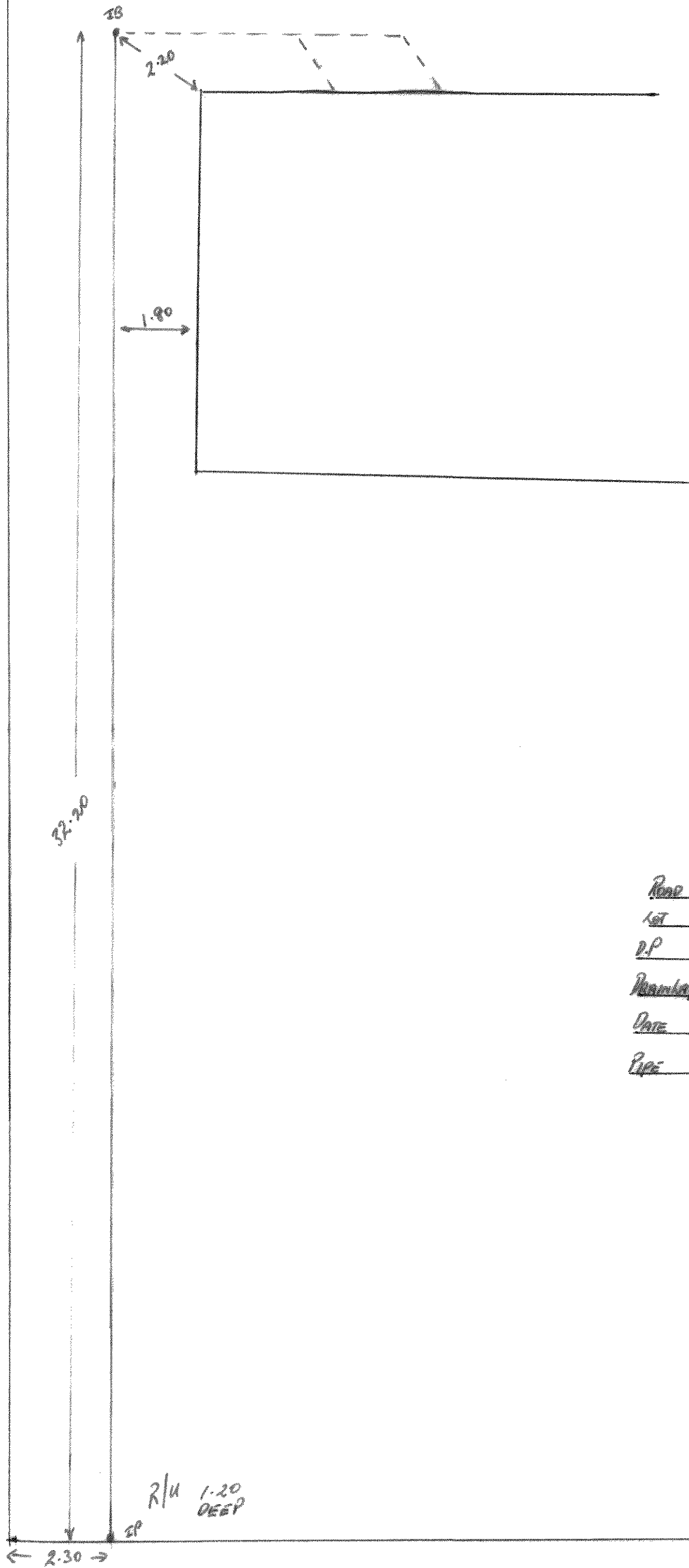
PLAN OF ALLOTMENT

Showing position of proposed buildings, Sanitary fittings, Drains, Gully traps, Inspection pipes and Ventilators, Septic tanks, Sumps, Irrigation trenches, Sewers and Stormwater drains, if any.

No Septic Tank or Effluent Drainage System may be installed within 3.3 metres of a dwelling or 1.5 metres of any boundary.

Boundary Lines to be shown thus: — — — — —

Frontage to _____ Road



4901

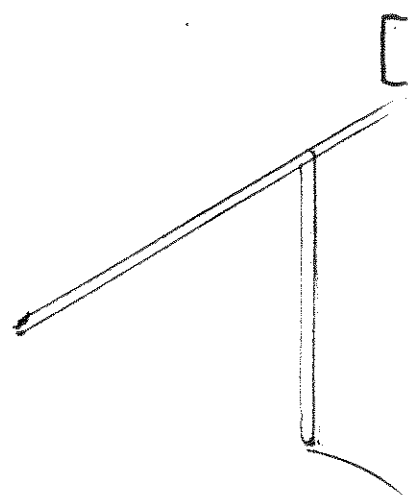
Road - 6 YORK AVE
 Lot - 5
 DP - 49027
 Planner - P. McEOWN
 Date - 18-11-81
 Pipe - TERRAIN P.V.C

SUG. POOL AREA

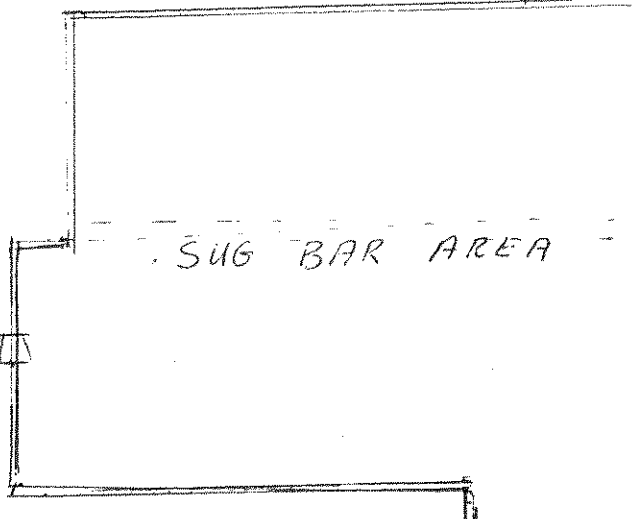
SUGGESTED DART AREA

POOL TABLE

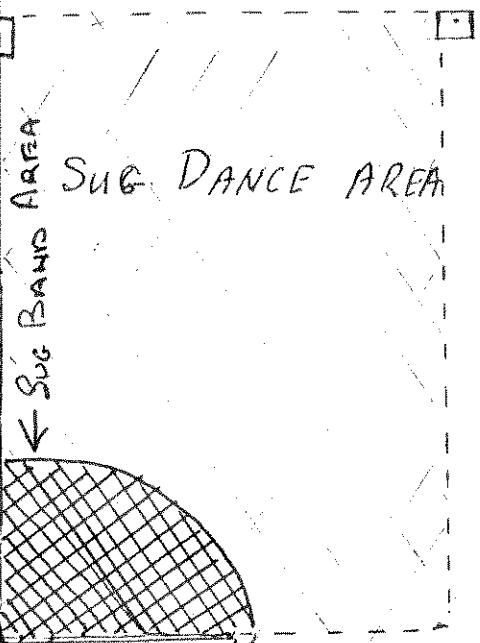
POOL TABLE



MEN



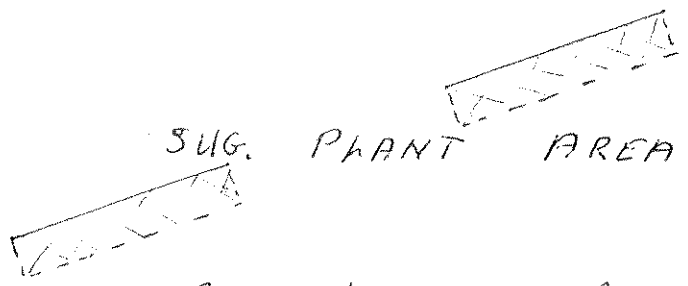
SUG BAR AREA



SUG. DANCE AREA

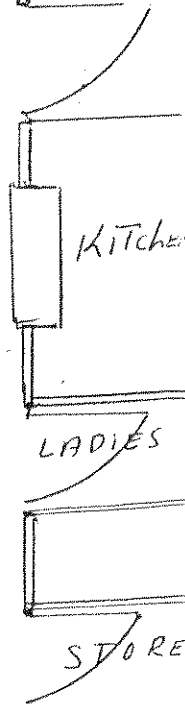
SUG. BAND AREA

ENT.



SUG. PLANT AREA

SUG. LOUNGE AREA



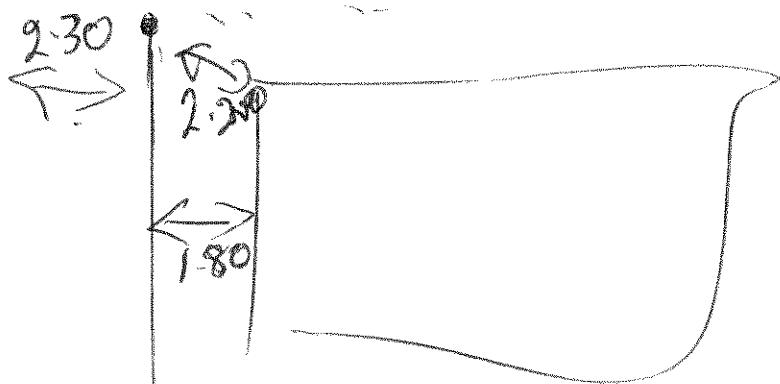
KITCHEN

LADIES

STORE

SUGGESTIONS FROM SOCIAL COMMITTEE.

1976



32.20

2.3

R/U

or fish

18/11-81

McCown

Fees not to be paid until requested by Office.

SCALE OF FEES

For the examination of plans and specifications of any building and for the inspection of such building the following fees shall be payable according to the estimated value of the work.

In any dispute as to value, the County Engineer shall have the absolute determination of the value of the proposed work or building.

ESTIMATED VALUE OF WORK			FEES		
Not exceeding \$20 (£10)			50c. (5 0)		
Over \$20 (£10) and not exceeding \$200 (£100)			\$1.00 (10 0)		
" \$200 (£100) " " " \$400 (£200)			\$2.00 (20 0)		
" \$400 (£200) " " " \$600 (£300)			\$3.00 (30 0)		
" \$600 (£300) " " " \$800 (£400)			\$4.00 (40 0)		
" \$800 (£400) " " " \$1,000 (£500)			\$5.00 (50 0)		
" \$1,000 (£500) " " " \$1,200 (£600)			\$6.00 (60 0)		
" \$1,200 (£600) " " " \$1,400 (£700)			\$7.00 (70 0)		
" \$1,400 (£700) " " " \$1,600 (£800)			\$8.00 (80 0)		
" \$1,600 (£800) " " " \$1,800 (£900)			\$9.00 (90 0)		
" \$1,800 (£900) " " " \$2,000 (£1,000)			\$10.00 (10 0)		
" \$2,000 (£1,000) " " " \$2,500 (£1,250)			\$12.00 (12 0)		
" \$2,500 (£1,250) " " " \$3,000 (£1,500)			\$14.00 (14 0)		
" \$3,000 (£1,500) " " " \$3,500 (£1,750)			\$16.00 (16 0)		
" \$3,500 (£1,750) " " " \$4,000 (£2,000)			\$18.00 (18 0)		
" \$4,000 (£2,000) " " " \$5,000 (£2,500)			\$21.00 (21 0)		
" \$5,000 (£2,500) " " " \$6,000 (£3,000)			\$24.00 (24 0)		
" \$6,000 (£3,000) " " " \$7,000 (£3,500)			\$27.00 (27 0)		
" \$7,000 (£3,500) " " " \$8,000 (£4,000)			\$30.00 (30 0)		
" \$8,000 (£4,000) " " " \$9,000 (£4,500)			\$33.00 (33 0)		
" \$9,000 (£4,500) " " " \$10,000 (£5,000)			\$36.00 (36 0)		
" \$10,000 (£5,000) " " " \$12,000 (£6,000)			\$40.00 (40 0)		
" \$12,000 (£6,000) " " " \$14,000 (£7,000)			\$44.00 (44 0)		
" \$14,000 (£7,000) " " " \$16,000 (£8,000)			\$48.00 (48 0)		
" \$16,000 (£8,000) " " " \$18,000 (£9,000)			\$52.00 (52 0)		
" \$18,000 (£9,000) " " " \$20,000 (£10,000)			\$56.00 (56 0)		
" \$20,000 (£10,000) " " " \$25,000 (£12,500)			\$64.00 (64 0)		
" \$25,000 (£12,500) " " " \$30,000 (£15,000)			\$72.00 (72 0)		
" \$30,000 (£15,000) " " " \$35,000 (£17,500)			\$80.00 (80 0)		
" \$35,000 (£17,500) " " " \$40,000 (£20,000)			\$88.00 (88 0)		
" \$40,000 (£20,000) " " " \$50,000 (£25,000)			\$98.00 (98 0)		
" \$50,000 (£25,000) " " " \$60,000 (£30,000)			\$108.00 (108 0)		
" \$60,000 (£30,000) " " " \$70,000 (£35,000)			\$118.00 (118 0)		
" \$70,000 (£35,000) " " " \$80,000 (£40,000)			\$128.00 (128 0)		
" \$80,000 (£40,000) " " " \$90,000 (£45,000)			\$138.00 (138 0)		
" \$90,000 (£45,000) " " " \$100,000 (£50,000)			\$148.00 (148 0)		
" \$100,000 (£50,000) " " " \$120,000 (£60,000)			\$158.00 (158 0)		
" \$120,000 (£60,000) " " " \$140,000 (£70,000)			\$168.00 (168 0)		
" \$140,000 (£70,000) " " " \$160,000 (£80,000)			\$178.00 (178 0)		
" \$160,000 (£80,000) " " " \$180,000 (£90,000)			\$188.00 (188 0)		
" \$180,000 (£90,000) " " " \$200,000 (£100,000)			\$198.00 (198 0)		
" \$200,000 (£100,000) " " " \$240,000 (£120,000)			\$210.00 (210 0)		
" \$240,000 (£120,000) " " " \$280,000 (£140,000)			\$220.00 (220 0)		

For every \$40,000 (£20,000) or part thereof in excess of \$280,000 (£140,000) add additional fee of \$10.00 (£5).

FEES PAYABLE FOR SPECIAL DUTIES

For inspection required in the case of proposed structural alterations before plans for approval \$1.00 (10/0)

For inspecting every detached stove, furnace, oven, close fire or forge erected subsequently to the building 50c. (5/0)

For inspecting old timber before reusing the same in a new building \$1.50 (15/0)

For any inspection that may be deemed necessary in connection with any building or work in respect of which no fee has otherwise been paid 25c. (2/6)

H.C.C./B.1.

Horowhenua County Council

PERMIT No. 4804

A065614

LOCALITY Warhamae.

DATE RECEIVED 17 : 6 : 68 . DATE ISSUED 19 : 6 : 68 .

APPLICATION FOR BUILDING PERMIT

OWNER'S NAME

R. J. Ordish.

FOR OFFICE USE ONLY.

REMARKS:

APPROVED
<i>J. M. Brown</i>
COUNTY ENGINEER.
DATE 17/6/68

This permit is approved subject to amendments as noted upon the plans.

NOTE—

1 All Plans and Specifications must be in ink.

87

Valuation Book No. 1493/544 Date 17 June, 19 68.

Application for Building Permit

TO THE BUILDING INSPECTOR,
Horowhenua County Council,
Bath Street,
Levin.

Postal Address: Horowhenua County Council,
P.O. Box 17,
Levin.

I, the undersigned, do hereby apply for PERMISSION to erect BUILDINGS in accordance with the undermentioned particulars in Wairarapa County Town RIDING.

1. Type of Building: garage to dwelling
Dwellings, etc.; additions or alterations.

Particulars of Building: Foundations: Concrete Walls: Timber Roof: iron
Total floor area: 441 sq. ft.

2. Purpose for which every part of Building is to be used or occupied (Describing separately each part intended for use or occupation for a separate purpose) Bedroom and carport.

3. Allotment: Lot: 3 DP: 26956 Section: _____
Area: _____ Block: IX Kaitiaki S.D. Locality: _____

4. Owner's Full Name P. T. Mairi
Address Le Moana Road Wairarapa

5. Previous Owner { If Section has been recently transferred } _____

6. Frontage (Length) _____ Name of Street or Road Le Moana Rd.

7. Estimated Value of Building, \$ 850. :
Plumbing and Drainage : : Total \$850.00.

8. Fees \$5.00 : : No. of Receipt 11033
See Scales of Fees on Back Page.

All work will be carried out in accordance with Horowhenua County Council's By-laws.

NOTE:—The following MUST accompany this Application:—

Plans and Specifications in Duplicate, including—

- Ground Plans of Proposed Work showing position of all sanitary fittings and names of various rooms.
- Where the building is on a sloping site the correct height of foundations must be shown.
- Front, Rear and Side Elevations.
- Cross section showing framing with bracing.
- Where a building requires Plumbing and Drainage Work, a Separate Application Form must be filled in and Permit obtained before commencing any such work.

Signature of Applicant Ship as BUILDER or OWNER.

Address D. Hyslop Building Co Ltd

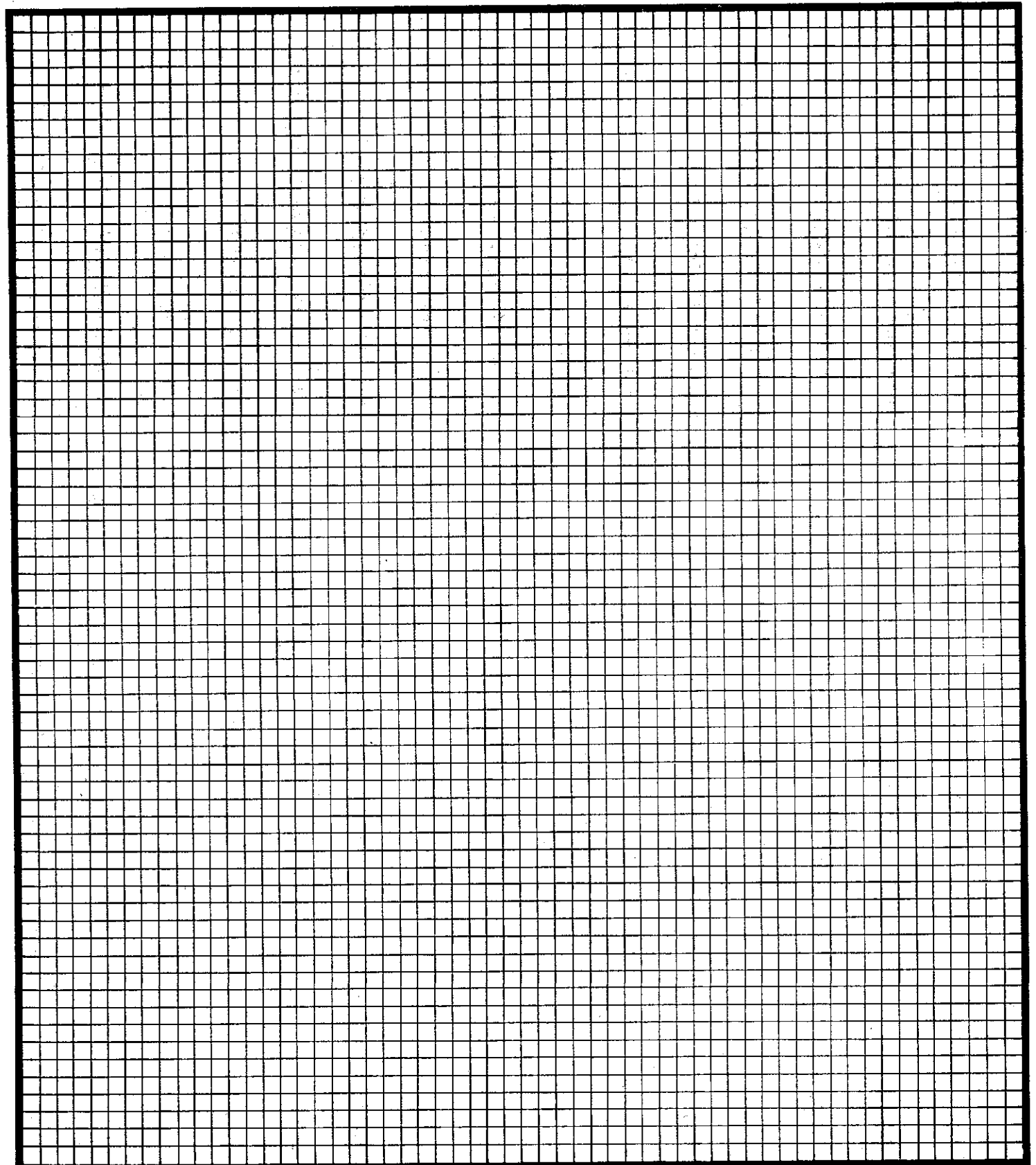
Builder's Name { If not the applicant } Le Moana Road
and Address Arumahi Beach.

PLAN OF ALLOTMENT

Showing position of proposed building on such allotment.
NOTE—Distances of each building from boundary lines must be clearly indicated.
(Scale: Two feet to a square.)

Boundary Lines to be shown thus: _____
Generally DWELLINGS must NOT be ERECTED within FIVE FEET of ADJOINING properties.

Frontage to _____ Road



ALL EXISTING BUILDINGS TO BE SHOWN IN RED ON THIS PLAN

Fees not to be paid until requested by Office.

SCALE OF FEES

For the examination of plans and specifications of any building and for the inspection of such building the following fees shall be payable according to the estimated value of the work.

In any dispute as to value, the County Engineer shall have the absolute determination of the value of the proposed work or building.

ESTIMATED VALUE OF WORK		FEES	
		£	d.
Not exceeding £10		5	0
Over £10 and not exceeding £100		10	0
" £100	" £200	1	0
" £200	" £300	1	10
" £300	" £400	2	0
" £400	" £500	2	10
" £500	" £600	3	0
" £600	" £700	3	10
" £700	" £800	4	0
" £800	" £900	4	10
" £900	" £1000	5	0
" £1000	" £1250	6	0
" £1250	" £1500	7	0
" £1500	" £1750	8	0
" £1750	" £2000	9	0
" £2000	" £2500	10	10
" £2500	" £3000	12	0
" £3000	" £3500	13	10
" £3500	" £4000	15	0
" £4000	" £4500	16	10
" £4500	" £5000	18	0
" £5000	" £6000	20	0
" £6000	" £7000	22	0
" £7000	" £8000	24	0
" £8000	" £9000	26	0
" £9000	" £10000	28	0
" £10000	" £12500	32	0
" £12500	" £15000	36	0
" £15000	" £17500	40	0
" £17500	" £20000	44	0
" £20000	" £25000	49	0
" £25000	" £30000	54	0
" £30000	" £35000	59	0
" £35000	" £40000	64	0
" £40000	" £45000	69	0
" £45000	" £50000	74	0
" £50000	" £60000	79	0
" £60000	" £70000	84	0
" £70000	" £80000	89	0
" £80000	" £90000	94	0
" £90000	" £100000	99	0
Exceeding £100,000		100	0

FEES PAYABLE FOR SPECIAL DUTIES

For inspection required in the case of proposed structural alterations before plans are submitted for approval..... 0 10 0

For inspecting every detached stove, furnace, oven, close fire or forge erected subsequently to the building..... 0 5 0

For inspecting old timber before reusing the same in a new building..... 0 15 0

For any inspection that may be deemed necessary in connection with any building or work in respect of which no fee has otherwise been paid..... 0 2 6

H.C.C./B.I.

Horowhenua County Council

PERMIT No. 2706
4718

LOCALITY Waikanae

DATE RECEIVED 16 : 10 : 62. DATE ISSUED 16 : 1 : 63.

APPLICATION FOR BUILDING PERMIT

OWNER'S NAME

J. J. Rawleigh

FOR OFFICE USE ONLY.

REMARKS:

APPROVED
<i>J. J. Rawleigh</i>
COUNTY ENGINEER.
DATE 17/10/62

2nd 4/1 5/12

NOTE.—

1. Buildings must NOT be erected within FIVE feet of adjoining properties.
2. All Plans and Specifications must be in ink.

Valuation Book No.

1493/544

Date

19

Application for Building PermitTO THE BUILDING INSPECTOR,
Horowhenua County Council,
Bath Street,
Levin.Postal Address: Horowhenua County Council,
P.O. Box 17,
Levin.I, the undersigned, do hereby apply for a PERMIT to erect BUILDINGS in accordance
with the undermentioned particulars in Waikare RIDING.**1. Type of Building:**

Dwellings, etc.; additions or alterations.

Particulars of Building: Foundations: a floor concrete Walls: concrete Roof: metalTotal floor area: 360 sq. ft.**2. Allotment:**

Lot:

D.P.:

Section:

Ngururu West A 78.

Area:

Block: IV Kaitake S.D.

Locality:

3. Owner's Full Name

Address

77 Pauling
Te Maara Rd Waikare**4. Previous Owner**If Section
has been
recently
transferred**5. Frontage (Length)**

Name of Street or Road

6. Estimated Value of Building,£ 2700Plumbing and Drainage £ 300Total £ 3000**7. Fees £** 12 : 0 : 0No. of Receipt 358

All work will be carried out in accordance with Horowhenua County Council's By-laws.

NOTE:—The following MUST accompany this Application:—

Plans and Specifications in Duplicate, including—

- Ground Plans of Proposed Work showing position of all sanitary fittings and names of various rooms.
- Where the building is on a sloping site the correct height of foundations must be shown.
- Front, Rear and Side Elevations.
- Cross section showing framing with bracing.
- Where a building requires Plumbing and Drainage Work, a Separate Application Form must be filled in and Permit obtained before commencing any such work.

Signature of Applicant

W. T. Paulingas BUILDER or
~~OWNER.~~

Address

Kaka St. WaikareBuilder's Name
and AddressIf not
the
applicantW. T. Pauling Construction Co. Ltd
Kaka St. Waikare**PLAN OF ALLOTMENT**Showing position of proposed building on such allotment.
NOTE—Distances of each building from boundary lines must be clearly indicated.
(Scale: Two feet to a square.)

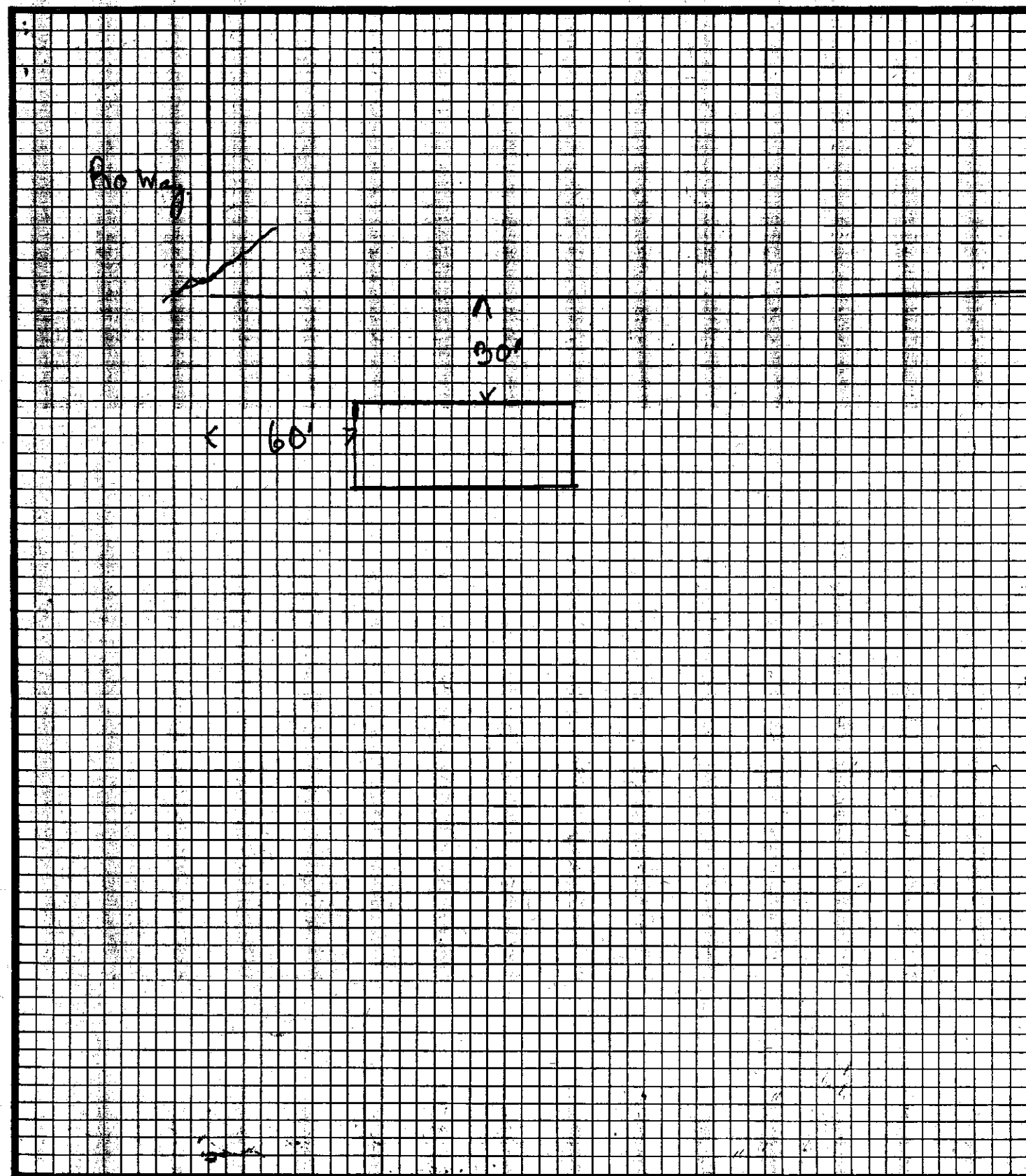
Boundary Lines to be shown thus: — — — — —

BUILDINGS must NOT be ERECTED within FIVE FEET of ADJOINING properties.

Frontage to

Te Maara Rd Waikare

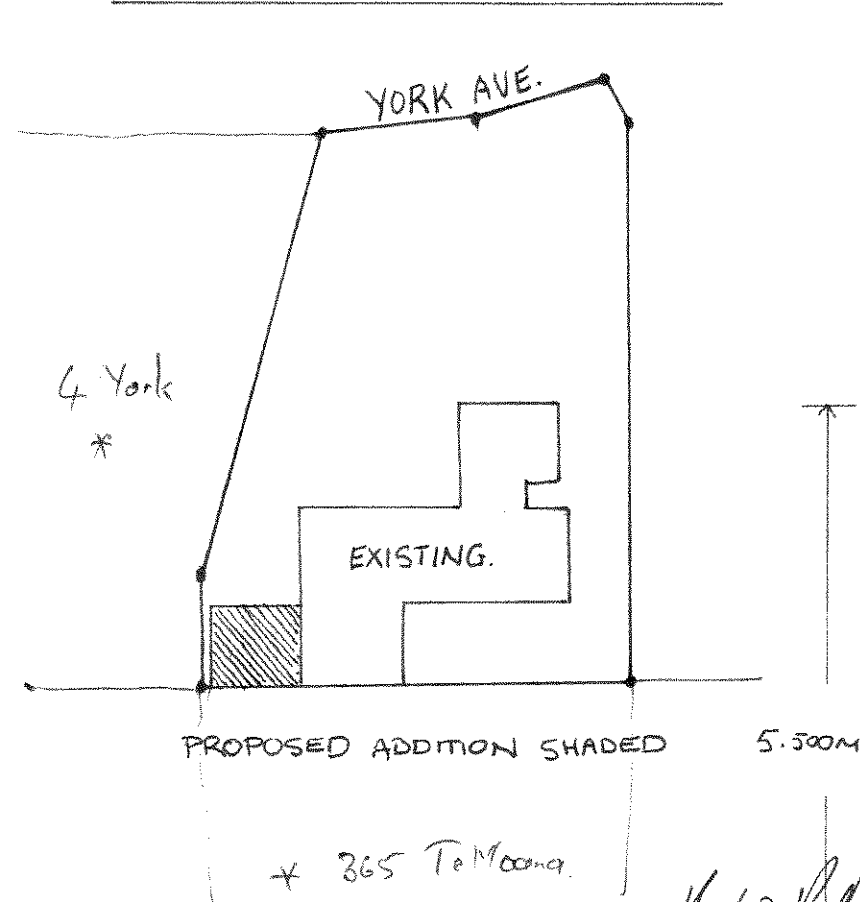
Road



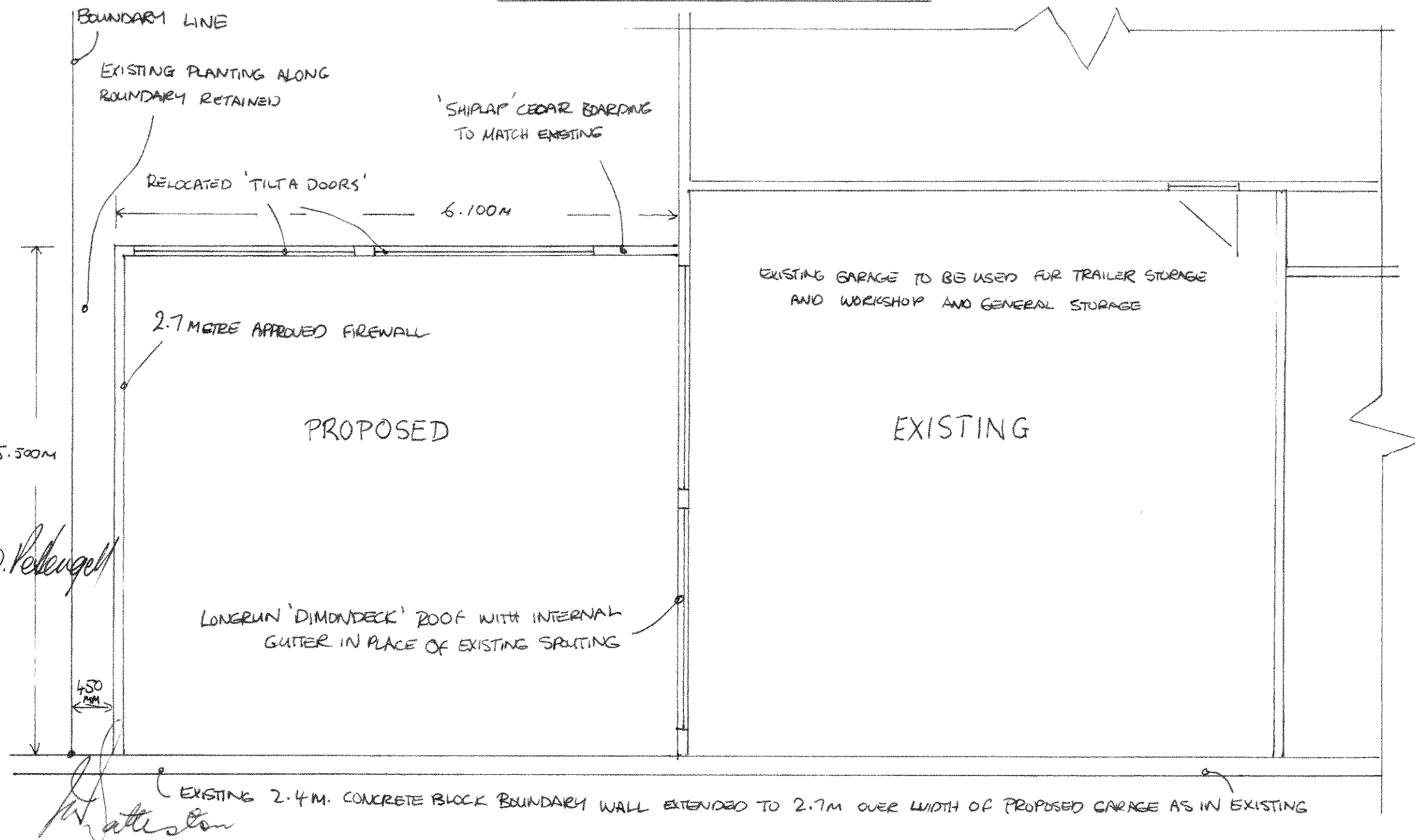
ALL EXISTING BUILDINGS TO BE SHOWN IN RED ON THIS PLAN

PROPOSED NEW GARAGE ADDITION TO 6 YORK AVE FOR MR. L.P. ORDISH

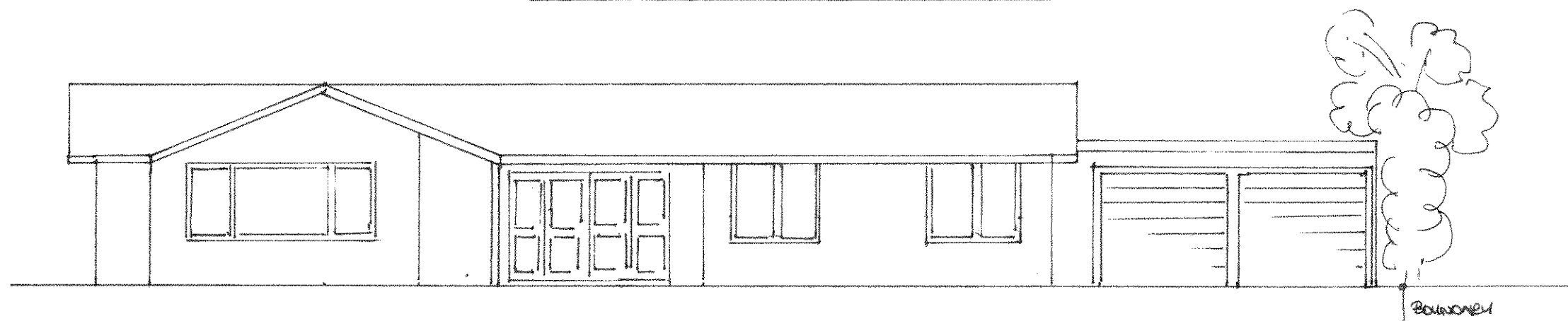
SITE PLAN. SCALE 1:500



FLOOR PLAN SCALE 1:50



FRONT ELEVATION SCALE 1:100



NO 113

Fees not to be paid until requested by Office

SCALE OF FEES

For the examination of plans and specifications of any building and for the inspection of such building the following fees shall be payable according to the estimated value of the work.

In any dispute as to value, the County Engineer shall have the absolute determination of the value of the proposed work or building.

ESTIMATED VALUE OF WORK:

ESTIMATED VALUE OF WORK:	FEES
Not exceeding \$ 3,000	\$ 59.00
Over \$ 3,000 and not exceeding \$ 7,000	\$ 71.00
Over \$ 7,000 and not exceeding \$ 10,000	\$107.00
Over \$ 10,000 and not exceeding \$ 15,000	\$131.00
Over \$ 15,000 and not exceeding \$ 20,000	\$178.00
Over \$ 20,000 and not exceeding \$ 25,000	\$226.00
Over \$ 25,000 and not exceeding \$ 30,000	\$273.00
Over \$ 30,000 and not exceeding \$ 40,000	\$309.00
Over \$ 40,000 and not exceeding \$ 50,000	\$356.00
Over \$ 50,000 and not exceeding \$ 60,000	\$404.00
Over \$ 60,000 and not exceeding \$ 70,000	\$451.00
Over \$ 70,000 and not exceeding \$ 80,000	\$499.00
Over \$ 80,000 and not exceeding \$ 90,000	\$511.00
Over \$ 90,000 and not exceeding \$100,000	\$535.00
Over \$100,000 and not exceeding \$150,000	\$582.00
Over \$150,000 and not exceeding \$200,000	\$630.00
For every \$50,000 extra add	\$ 95.00

FEES PAYABLE FOR SPECIAL DUTIES

For inspection required in the case of proposed structural alterations before plans for approval	\$ 36.00
For inspecting every detached stove, furnace, oven, close fire or forge erected subsequently to the building	\$ 59.00
For inspecting old timber before re-using the same in a new building	\$ 36.00
For any inspection that may be deemed necessary for connection with any building or work in respect of which no fee has otherwise been paid	\$ 36.00
For inspecting any timber or building outside the County prior to re-using or resiting within the County — actual expenses incurred	
For structurally checking plans and specifications by Council's Engineers, an increase of 25% of the building permit fee based upon the total value of the work will be charged	

Horowhenua County Council

PERMIT No. 18

LOCALITY Waikanae

DATE RECEIVED: 9 : 6 : 88 DATE ISSUED: 13 : 7 : 88

APPLICATION FOR BUILDING PERMIT

OWNER'S NAME L. P. ORDISH

FOR OFFICE USE ONLY

REMARKS:

1. Details of concrete block wall ✓
2. Beam calculation ✓
3. Detail of extension to blockwall ✓
4. Beam connections to blockwall ✓
5. Method of supporting internal gutter ✓

16/6/88 Hold above info to come

L. Ordish notified

17/6/88 Beam calc's & beam connection received
Plans returned to L. Ordish

NOTE —

1. All Plans and Specifications must be in ink.

APPROVED

B. J. Good
COUNTY ENGINEER

DATE 11-7-88

Valuation Book No. 14940 017 Date 9 JUNE 1988

APPLICATION FOR BUILDING PERMIT

TO THE CHIEF HEALTH & BUILDING INSPECTOR,
Horowhenua County Council,
Bath Street,
Levin.

Postal Address: Horowhenua County Council,
P.O. Box 542,
Levin.

or
Aputa Place,
Waikanae.

I, the undersigned, do hereby apply for PERMISSION to erect BUILDINGS in accordance with the under-mentioned particulars in WAIKANA RIDING

1. Type of Building: GARAGE ADDITION
Dwellings, etc.; additions or alterations.

Particulars of Building: Foundations: CONCRETE Walls: TIMBER + CONC BLOCK Roof: FLAT (PANEL DECK)
Total floor area: 35.75 sq. metres.

2. Purpose for which every part of Building is to be used or occupied. (Describing separately each part intended for use of occupation for a separate purpose) HOUSE MOTOR VEHICLES (TWO)

3. Allotment: Lot: 5 D.P.: 49027 Section: _____
Area: _____ Block: 1X WAIKANA S.D. _____ Locality: WAIKANA

4. Owner's Full Name: LAWRENCE PHILLIP ORDISH
Address: 6 YORK AVE WAIKANA Phone No. HOME: 35664
BUS: _____

5. Previous Owner { If Section has been recently transferred } _____

6. Frontage (Length): 18.5 METRES Site Address 6 YORK AVE

7. Estimated Value of Building only \$ 4,000 : 00
Plumbing and Drainage — \$: Total Estimated Value \$ 4,000 : 00

8. Fees \$ 78 : 00 No. of Receipt 1137
See Scales of Fees on Back Page.
Building Research Levy \$: Footpath Damage Deposit \$:
All work will be carried out in accordance with Horowhenua County Council's By-laws.

NOTE:— The following MUST accompany this Application:—

Plans and Specifications in Duplicate to be provided.

Together with every application there shall be submitted to the Engineer, in duplicate, detailed plans, elevations, cross sections, and specifications, which shall together furnish complete details of design and qualities and descriptions of all materials of construction and workmanship, and which shall be of sufficient clarity to show to the satisfaction of the Engineer the exact nature and character of the proposed undertaking and the provision made for full compliance with the requirements of the By-laws including:

- A Floor plan of each floor level;
- An elevation of each external wall;
- The type and location of each foundation element (for example; reinforced masonry foundation wall. Anchor pile, cantilevered pile, etc.);
- Adequate information on all subfloor, floor, wall and roof framing, including the type and location of each subfloor brace, diagonal brace, and wall bracing element and the number of bracing units assigned to each wall bracing element;
- The type and location of cladding, sheathing and lining.
- Where a building requires Plumbing and Drainage Work, a separate form must be filled in and Permit obtained before commencing any such work.

Name (in Block Letters) LAWRENCE PHILLIP ORDISH

Signature of Applicant L. Ordish as BUILDER or OWNER.

Address: 6 YORK AVE WAIKANA Phone No. HOME: 35664
BUS: _____

Builder's Name and Address { if not the applicant } Phone No. HOME: _____
BUS: _____

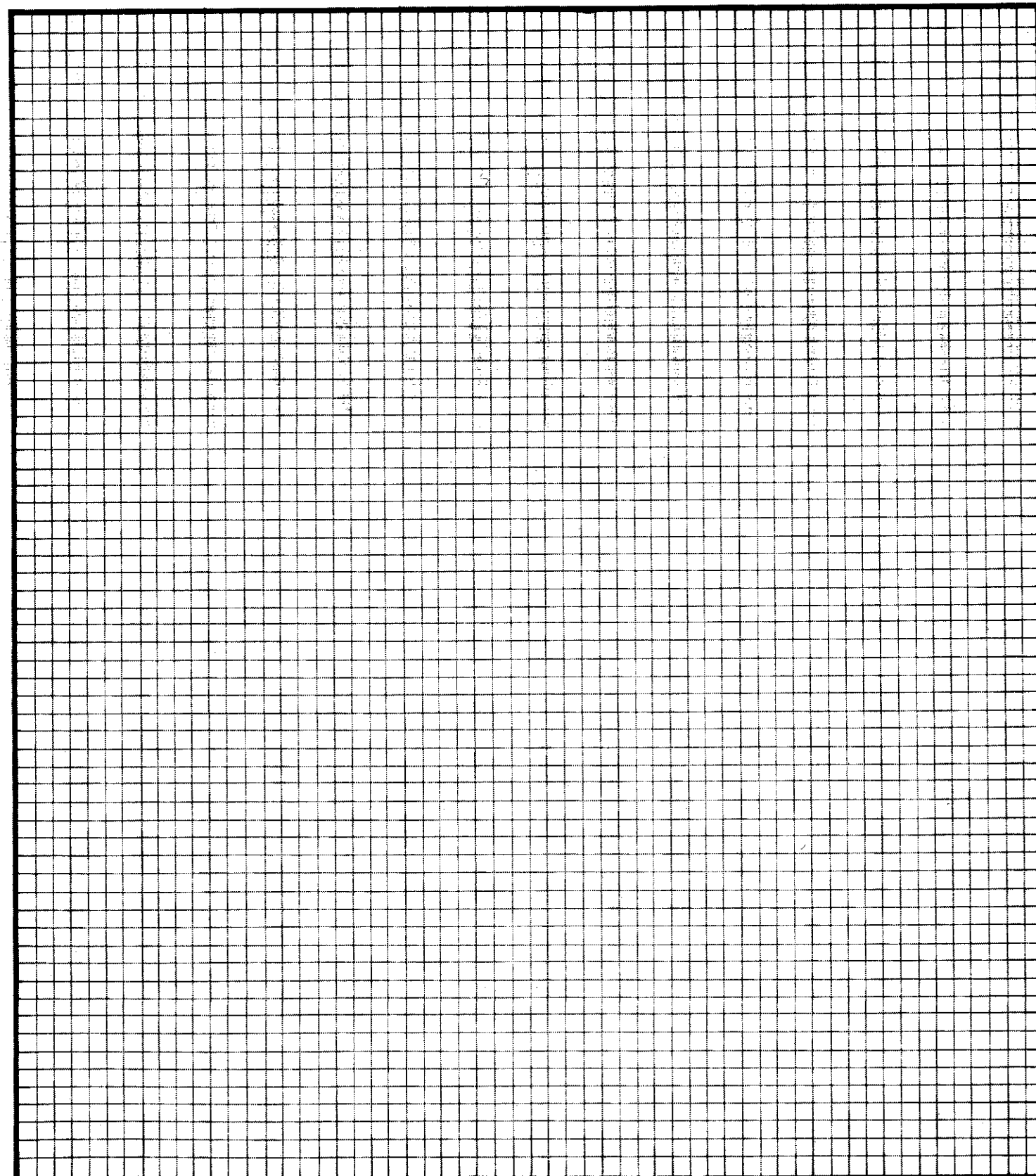
PLAN OF ALLOTMENT

(Not required if appearing on other documents.)

Showing position of proposed building on such allotment.
NOTE — Distances of each building from boundary lines must be clearly indicated.
(Scale: Two squares to one metre.)

Boundary Lines to be shown thus: _____
Generally DWELLINGS must NOT be ERECTED within 1.5 METRES of ADJOINING properties.

Frontage to _____ Road



ALL EXISTING BUILDING TO BE SHOWN IN RED ON THIS PLAN

Invoice No.

7.09.

Horowhenua County Council

Fees not to be paid until requested by Office

SCALE OF FEES

For the examination of plans and specifications of any building and for the inspection of such building the following fees shall be payable according to the estimated value of the work.

In any dispute as to value, the County Engineer shall have the absolute determination of the value of the proposed work or building.

ESTIMATED VALUE OF WORK		FEES	
	Not exceeding	\$1,000	\$12.00
Over	\$1,000 and not exceeding	\$3,000	\$18.00
"	\$3,000 " " "	\$7,000	\$40.00
"	\$7,000 " " "	\$10,000	\$60.00
"	\$10,000 " " "	\$15,000	\$75.00
"	\$15,000 " " "	\$20,000	\$100.00
"	\$20,000 " " "	\$25,000	\$125.00
"	\$25,000 " " "	\$30,000	\$150.00
"	\$30,000 " " "	\$40,000	\$175.00
"	\$40,000 " " "	\$50,000	\$200.00
"	\$50,000 " " "	\$60,000	\$225.00
"	\$60,000 " " "	\$70,000	\$250.00
"	\$70,000 " " "	\$80,000	\$275.00
"	\$80,000 " " "	\$90,000	\$285.00
"	\$90,000 " " "	\$100,000	\$295.00
"	\$100,000 " " "	\$150,000	\$325.00
"	\$150,000 " " "	\$200,000	\$350.00

For every \$50,000 extra add \$50.00.

FEES PAYABLE FOR SPECIAL DUTIES

For inspection required in the case of proposed structural alterations before plans for approval \$10.00

For inspecting every detached stove, furnace, oven, close fire or forge erected subsequently to the building \$20.00

For inspecting old timber before re-using the same in a new building \$10.00

For any inspection that may be deemed necessary in connection with any building or work in respect of which no fee has otherwise been paid \$10.00

For inspecting any timber or building outside the County prior to re-using or resiting within the County — actual expenses incurred.

For structurally checking plans and specifications by Council's Engineers, an increase of 25% of the building permit fee based upon the total value of the work will be charged.

PERMIT No. 15108
B068403

LOCALITY Waikanae

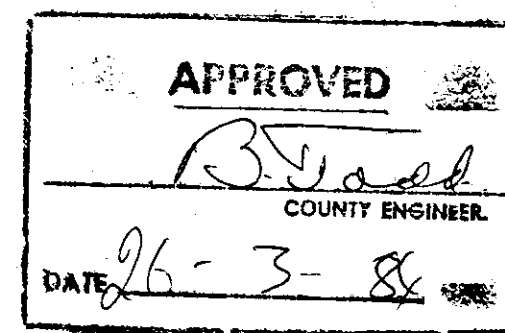
DATE RECEIVED 29 : 2 : 84 . DATE ISSUED 30 : 3 : 84 .

APPLICATION FOR BUILDING PERMIT

OWNER'S NAME Ordish

FOR OFFICE USE ONLY

REMARKS:



NOTE.—

1 All Plans and Specifications must be in ink.

Valuation Book No. 14940/61700 Date 19

APPLICATION FOR BUILDING PERMIT

TO THE BUILDING INSPECTOR,
Horowhenua County Council,
Bath Street,
Levin.

Postal Address: Horowhenua County Council,
P.O. Box 258,
Levin.

I, the undersigned, do hereby apply for PERMISSION to erect BUILDINGS in accordance with the under-mentioned particulars in WAIKANA RIDING.

1. Type of Building: ADDITION TO EXISTING DWELLING
Dwellings, etc.; additions or alterations.
Particulars of Building: Foundations: CONCRETE Walls: TIMBER Roof: SALV. IRON
Total floor area: 29 sq. metres.
2. Purpose for which every part of Building is to be used or occupied. (Describing separately each part intended for use or occupation for a separate purpose) Lounge
3. Allotment: Lot: 5 D.P.: 49027 Section:
Area: 938 m² Block: IX KAITAWA S.D. Locality: WAIKANA
4. Owner's Full Name: LAWRENCE PHILIP ORDISH
Address: 6 YORK AVE WAIKANA
5. Previous Owner ☐ If Section has been recently transferred
6. Frontage (Length): 18.50 M Name of Street or Road: YORK AVE
7. Estimated Value of Building— \$ 9500 :
Plumbing and Drainage— \$ 500 : 00 Total \$ 10,000 : 00
8. Fees \$ 60 : 00 :
See Scales of Fees on Back Page.
Building Research Levy \$: Footpath Damage Deposit \$:
All work will be carried out in accordance with Horowhenua County Council's By-laws.

NOTE:—The following MUST accompany this Application:—

Plans and Specifications in Duplicate to be provided.

Together with every application there shall be submitted to the Engineer, in duplicate, detailed plans, elevations, cross sections, and specifications, which shall together furnish complete details of design and qualities and descriptions of all materials of construction and workmanship, and which shall be of sufficient clarity to show to the satisfaction of the Engineer the exact nature and character of the proposed undertaking and the provision made for full compliance with the requirements of the By-laws including:

- (a) A Floor plan of each floor level;
- (b) An elevation of each external wall;
- (c) The type and location of each foundation element (for example; reinforced masonry foundation wall. Anchor pile, cantilevered pile, etc.);
- (d) Adequate information on all subfloor, floor, wall and roof framing, including the type and location of each subfloor brace, diagonal brace, and wall bracing element and the number of bracing units assigned to each wall bracing element;
- (e) The type and location of cladding, sheathing and lining.
- (f) Where a building requires Plumbing and Drainage Work, a separate application form must be filled in and Permit obtained before commencing any such work.

Signature of Applicant L. Ordish as BUILDER or OWNER.

Address 6 YORK AVE WAIKANA

Builder's Name and Address ☐ If not the applicant

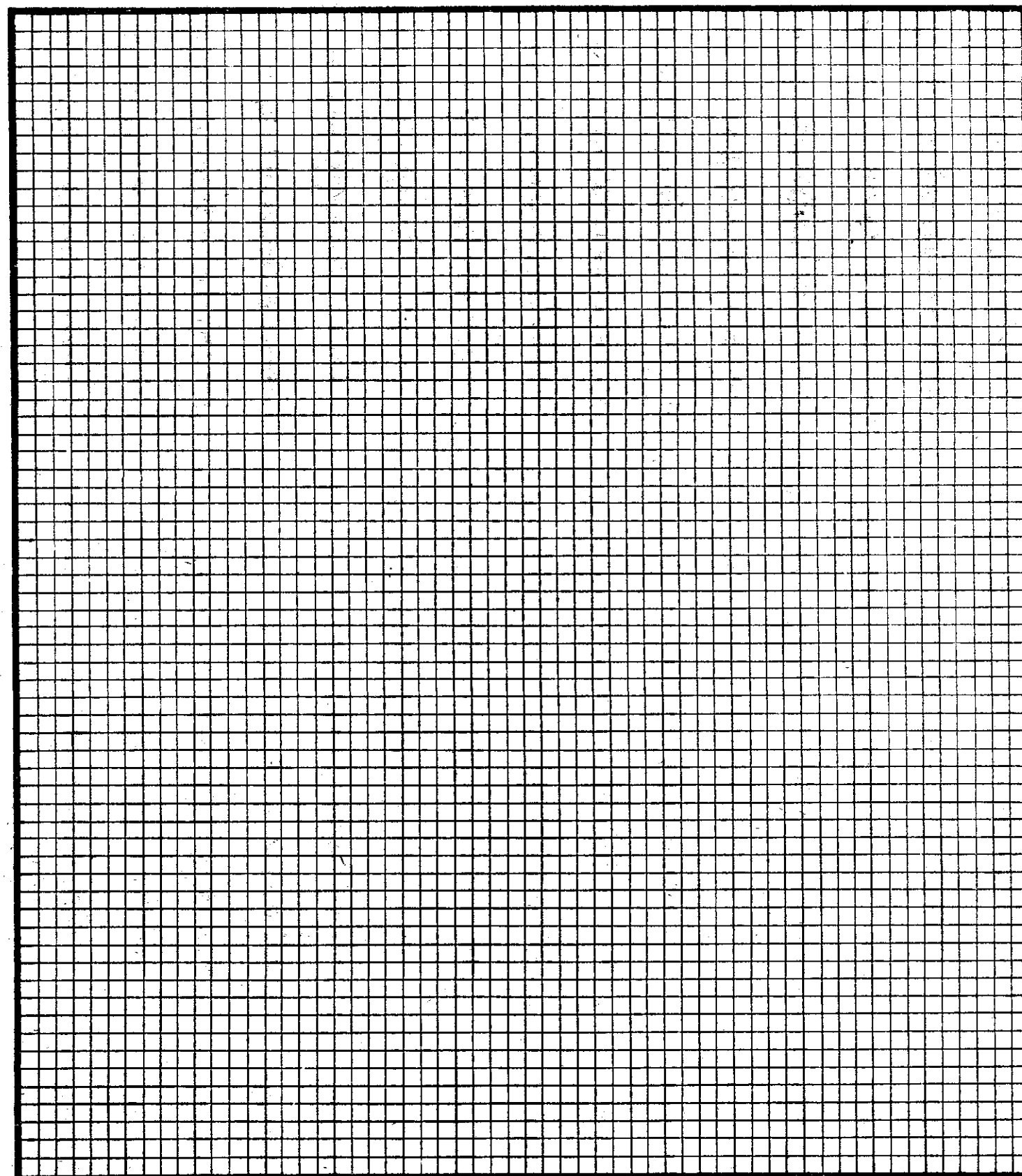
PLAN OF ALLOTMENT

Showing position of proposed building on such allotment.
NOTE.—Distances of each building from boundary lines must be clearly indicated.
(Scale: Two squares to one metre.)

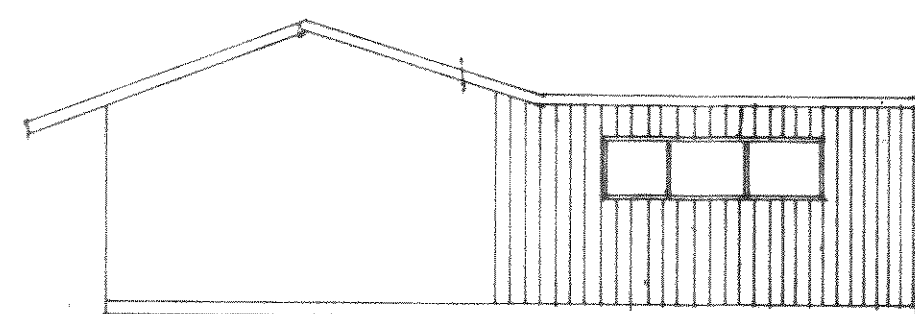
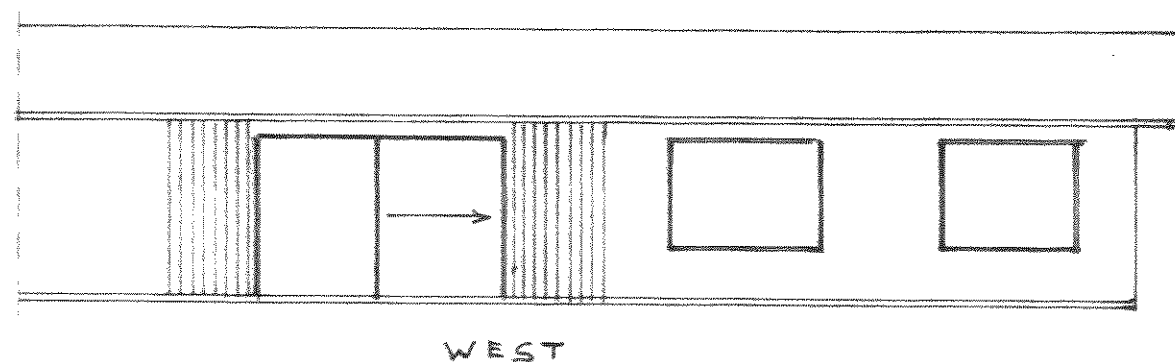
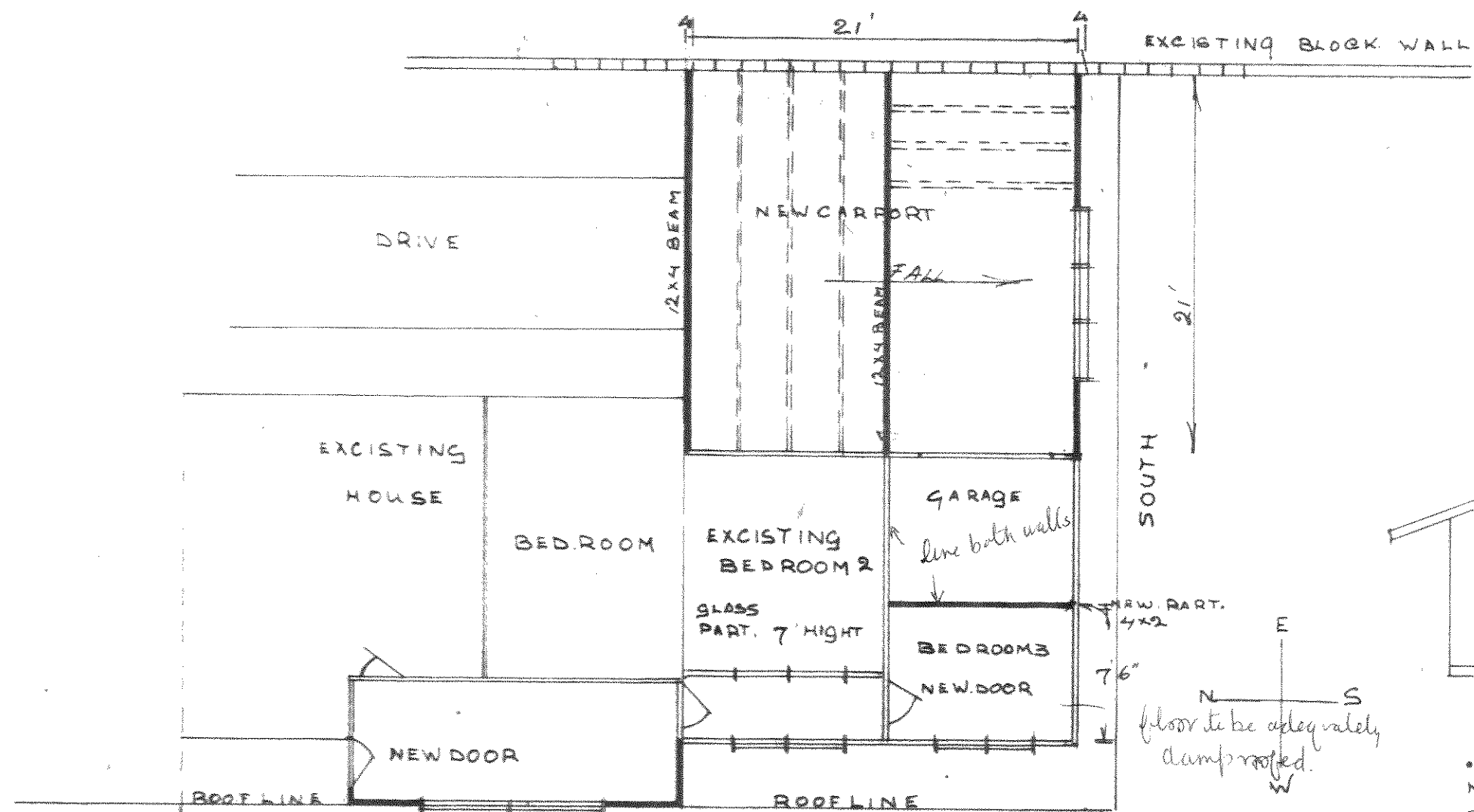
Boundary Lines to be shown thus: — — — — —

Generally DWELLINGS must NOT be ERECTED within 1.5 METRES of ADJOINING properties.

Frontage to Road



ALL EXISTING BUILDINGS TO BE SHOWN IN RED ON THIS PLAN



SOUTH

EXC WALL
8' BLOCK

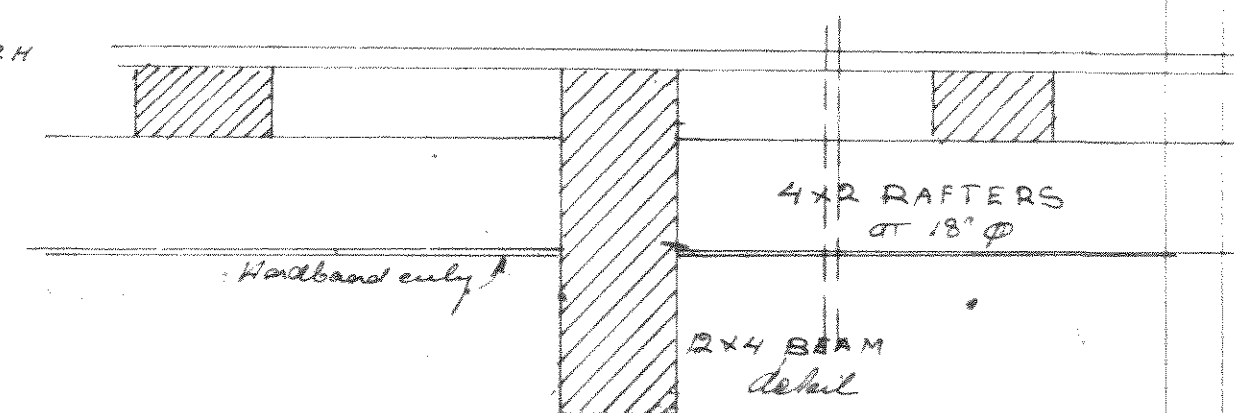
Existing block wall
adjacent to boundary
is not to be extended
any higher than existing upon
17/6/68.

NEW CARPORT
CONCRETE FLOOR
4x2 FRAME WB TO MATCH
12x4 BEAMS
4x2 RAFTERS
BRONWBILT ROOF OR SIMILAR

PUT UP PARTITION IN EXISTING
GARAGE AND MAKE INTO BEDROOM
WALL LINING GIB BOARD
CEILING PINIX TILES
BEDROOM 2 NEW GLASS PARTITION 7' IN HEIGHT

PUT UP FRAME ON WEST ELEVATION UNDER
EXISTING ROOF LINE AND MAKE IN TO SUN PORCH
4x2 FRAME
4 LOCK DOOR
ONE ONLY FLUSH DOOR
RED WOOD WB TO MATCH

3x2 PURLINS
AT 2'6" ϕ



NOT TO SCALE

CARPORT

FOR

MRS AND MR R.T. ORDISH

LOT NO

DDNO

TE MOANA ROAD

WAIKANEA

14 June 1968

APPROVED
JMK
COUNTY ENGINEER.
DATE 12/6/68.

APPROVED

Shannon

COUNTY ENGINEER.

DATE 17/10/12

W
H.C.C./D.1

Horowhenua County Council

PERMIT No. 1258

LOCALITY Waikanae ST.

DATE RECEIVED 5:5:70.

DATE ISSUED 12:6:70.

FEEs NOT TO BE PAID UNTIL REQUESTED BY OFFICE

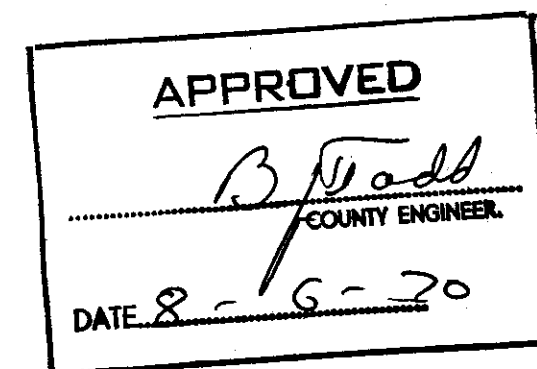
APPLICATION FOR PLUMBING AND DRAINAGE PERMIT

OWNER'S NAME

D. A. L. Ordish

FOR OFFICE USE ONLY

REMARKS:



SCALE OF PERMIT FEES

Estimated Value of Work:

Not exceeding \$100
Exceeding \$100 but not exceeding \$200
Exceeding \$200 but not exceeding \$300
Exceeding \$300 but not exceeding \$400
Exceeding \$400

Fee Payable:

..... \$1
..... \$2
..... \$3
..... \$4
\$4, plus \$1 for every
\$200 or part thereof
in excess of \$400.

NOTE.—In all cases where septic tanks are installed the site and position must be first approved by the County Health Inspector.

Valuation Book No. 1493/544

Date _____, 19__

Application For Plumbing and Drainage Permit

TO THE COUNTY HEALTH INSPECTOR,
Horowhenua County Council,
Bath Street,
Levin.

Postal Address:
Horowhenua County Council,
P.O. Box 17,
Levin.

I, the undersigned, do hereby apply for a permit to carry out DRAINAGE and PLUMBING work in accordance with the undermentioned particulars.

Description of Drainage and Plumbing Work Complete Plumbing & Drainage
Installations to new dwelling including septic tank and
connection to Waikanae Water Supply.

Allotment. Lot: 3 D.P.: 26956 Section: _____ Area: 2A 2R 34P

Block: 1-X S.D.: Waikanae Locality: Waikanae

Previous Owner { If Section has been recently transferred } ☒

Frontage (Length) _____ (Name of Street or Road) Te Moana Rd

Water Supply (Description) Town Supply

Estimated Value of Plumbing Work \$ 2466.90

Estimated Value of Septic Tank \$ 64.00

Estimated Value of Drainage Work \$ 435.00 Total \$ 2965.90

All work will be carried out in accordance with Horowhenua County Council's By-laws and the Drainage and Plumbing Regulations 1959 and Amendments.

Permit Fees \$ 17.00.

Receipt No.: 33502

(For Scale of Fees see Back Page.) **WATER CONNECTION FEE**

Full Name and Address of Owner: Dorothy Annie Lavinia Ordish
Te Moana Road Waikanae

NOTE.—The following MUST accompany this Application:—

- Ground Plan of Building showing all drains, vents, sumps, septic tanks and sanitary fittings to be plotted on opposite page.
- Detailed drawings of septic tank — $\frac{1}{4}$ in to one foot.
- Specifications of work and materials to be used.

Plan showing drains should be drawn to scale of $\frac{1}{4}$ in to foot for large premises — in DUPLICATE

Stormwater drains should be shown (if any) in dotted lines.

Signature of Applicant: W. Stratmae

Address: 20 Donova Rd Paparua Bel

Plumber's Name,
Address, and
Registered No.

{ If not the applicant. }

B. B. H. Grath & Co Ltd.

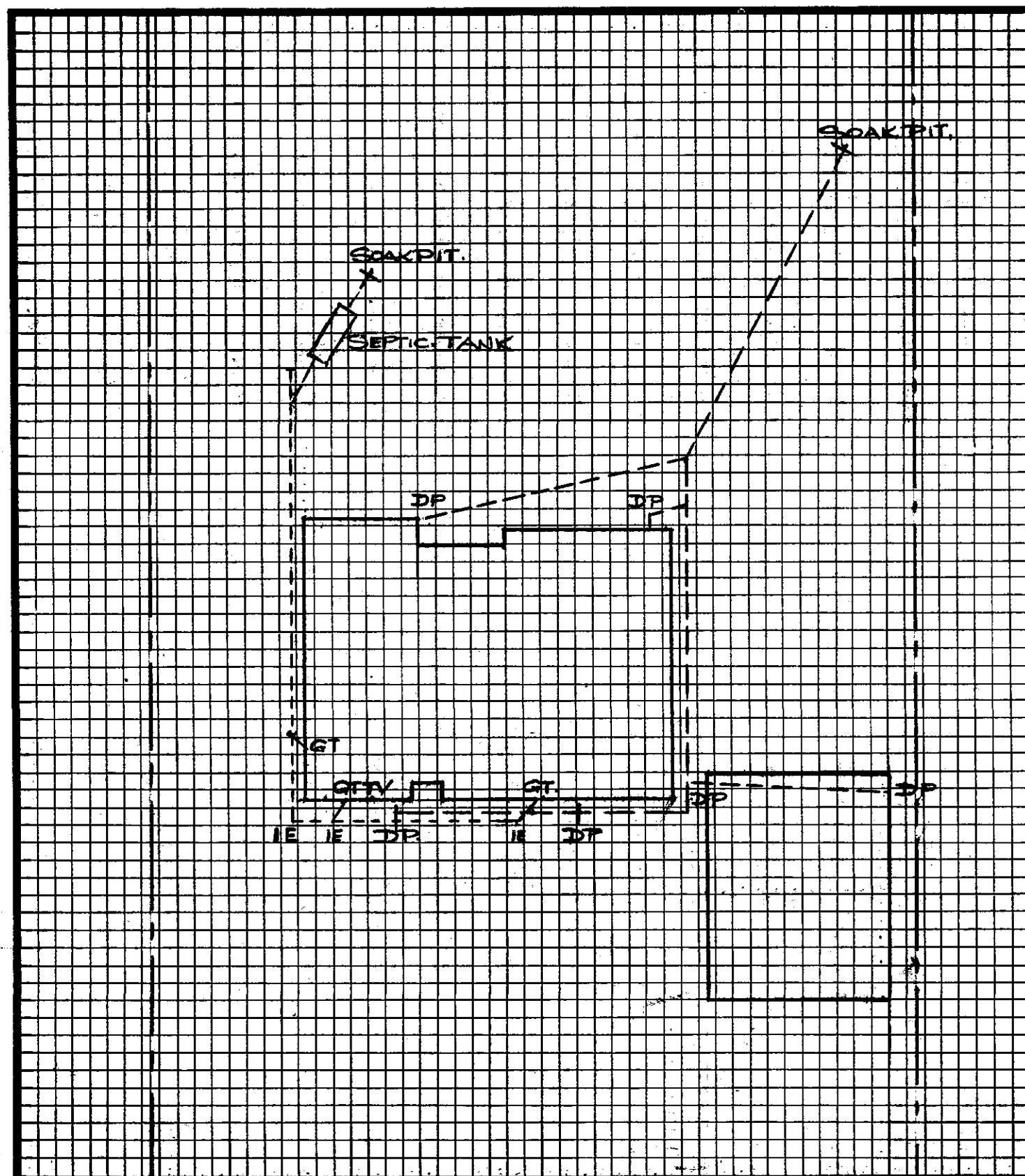
PLAN OF ALLOTMENT

Showing position of proposed buildings, Sanitary fittings, Drains, Gully traps, Inspection pipes and Ventilators, Septic tanks, Sumps, Irrigation trenches, Sewers and Stormwater drains, if any.

Boundary Lines to be shown thus: _____

WATER SUPPLY: Position to be shown of Well or Bore if within 100 feet.

Frontage to _____ Road



Horowhenua County Council

PERMIT No. W5984

LOCALITY WAIKANA

DATE RECEIVED 26 : 3 : 84

DATE ISSUED 30 : 3 : 84

FEES NOT TO BE PAID UNTIL REQUESTED BY OFFICE

APPLICATION FOR PLUMBING AND DRAINAGE PERMIT

OWNER'S NAME ORDISH

FOR OFFICE USE ONLY

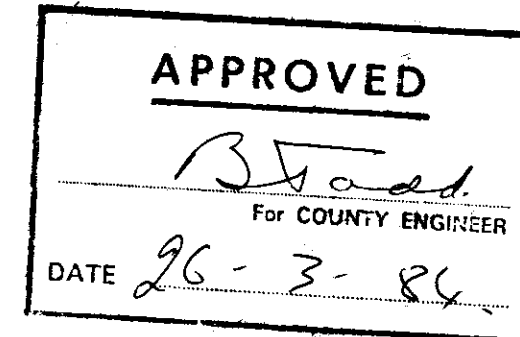
REMARKS:

You are requested to produce your details of your registration before proceeding with this work

SCALE OF PERMIT FEES

Estimated Labour Value of Work:	Fee Payable:
Not exceeding \$100	\$12
In excess of \$100 but not exceeding \$200	\$18
In excess of \$200 but not exceeding \$300	\$24
In excess of \$300 but not exceeding \$400	\$30

Plus \$6 for every \$100 or part thereof in excess of \$400.



NOTE.—In all cases where septic tanks are installed the site and position must be first approved by the County Health Inspector.

SPECIFICATIONS

INTRIPPLICATE.....

FOR MR. & MRS. FLOYD. F. RAVLEIGH'S SUMMER COTTAGE.

AT.....TE. MOANA. ROAD. &.....WAIKAWAE.....

1. EXTENT OF WORK TO BE DONE: Contractor shall supply all materials, labour, cartage, plant fittings, tools, etc., necessary to carry out the erection of the structure depicted on the Documents of Contract in accordance with all relevant laws, national and local, and to the complete satisfaction of the supervisor.
2. MATERIALS AND WORKMANSHIP: Materials shall be the best of their respective kinds and grades as specified. All work shall be carried out thoroughly in a workmanlike manner and in accordance with best trade practice. All trades shall cut away for, attend upon and make good after other trades required.
3. PERMITS: Contractor shall obtain all permits and pay all fees in compliance with the Local Authority Bylaws and shall arrange and pay for inspections and testing.
4. INSURANCE: Contractor shall take out insurance for Worker's Compensation and Builder's Fire Risk with recognised Companies approved by the Supervisor.
5. VARIATIONS: No variations shall be made without written approval of the Supervisor and a cost adjustment agreed upon at the time.
6. PROTECTION OF THE WORK: Loss through accident, theft or damage, shall be the responsibility of Contractor. He shall be expected to take the necessary steps to safeguard his interest. Shelters shall be provided for materials and workmen.
7. SETTING OUT: The structure shall be accurately set out, truly square; measurements are to rough stud faces. All measurements for joinery to be taken on the site.
8. CLEANING UP: Upon completion remove all builders' rubbish, clean windows both inside and outside and leave whole of works weatherproof, broom clean and ready for occupation.
9. POSITION OF FITTINGS: Before fixing, Owner's direction shall be sought regarding the exact heights and/or placing of all sanitary fittings, joiner's hardware and electrical outlets.
10. MATERIALS: Portland Cement to conform with N.Z.S.S. No. 45. Aggregation to be approved builder's mix. Boxing to be clean, close fitting and adequately braced.
11. MIXTURE: Make concrete of 1 part of cement to 6 parts of aggregate thoroughly machine mixed with least amount of water consistent with workability.
12. REINFORCEMENT: Steel to conform with N.Z.S.S. No. 197, free from loose rust and other deleterious coatings. Bend, hook and place as detailed, tie with black iron wire and lap forty diameters.

CONCRETE FLOOR: BUILD 4" concrete floor reinforced H. R. C. mesh, footings 6" x 12" extending not less than 12" below ground reinforced with 2 - $\frac{3}{8}$ " x $\frac{1}{2}$ " Reds.

HARDWARE: Contractor shall supply all nails, clips, bolts, staples and all other sundry ironmongery for the construction of the work.

JOINER'S HARDWARE: All visible sashes, door and cupboard furniture is to be the best of its kind and with owner's approval. It must be neatly fitted and left in sound working order. All full-sized doors shall have three 6" butt hinges. Fanlights and sashes shall have two each, also cupboard doors. All interior hinges shall be antique brass and/or chromium, as determined on job, and screws for same shall be of similar material. All exterior hinges and screws shall be galvanised and of appropriate size where sizes have not been indicated. All hinges are loose pinned hinges, especially for Fanlights, Sashes and all full-sized doors.

WORKMANSHIP: Construct timber framing in a sound tradesmanlike manner. Nails shall enter the second timber not less than half the nail length. Punch on painted or finishing work. Bore holes for bolts not more than 1/16th inch larger than the bolt diameter, and provide with square washers and nuts. Hand sand all interior exposed work, inside of cupboards, etc.

PRIMING: Prime with one good coat of Red Lead before fixing all butts, scarfs, mitres and all other joints in exposed exterior woodwork.

DAMP COURSE: Between all timbers in contact with concrete or masonry, lay a course of 3-ply bitumen fabric.

TIMBER SCHEDULE: All framing timber shall be No. 1 grade Pinus Radiata Boron treated and dressed four sides. Centre beam (ridge) shall be A-1 Grade Oregon or Redwood, dressed and sanded all four sides. Exterior finishing timber shall be clean best quality Cedar (applies particularly to weather boards). All exterior finishing timber for painting shall be clean heart Rimu.

WALL FRAMING: Space 4" x 2" studs at 18" centres. Dovetail partition plates and halve into outer plates. Check studs 3" for trimmers. Double studs for openings over 486 inches wide. Support lintels on inner studs. Fit solid angles for linings. Provide three studs to external angles. Cut in full width x 2" ~~BRACE PARTITIONS~~ at not more than 2'3" centres. Brace partitions with full width x 2" dwangs. Fix one diagonal brace (6" x 1") to every 150 square feet of 10' wall framing. Fix additional bracing where and if it appears advisable. Where shown, frame non-bearing partitions of 4" x 2" studs, plates and dwangs on flat, constructed as other walls.

ROOF AND CEILING FRAMING: Center Beam 12" x 3" Oregon over full length of building. Fix 4" x 2" rafters at 18" centres. Solid dwang and prepare as required and as laid down by the suppliers and layers of the Dacromastic tiles with which the roof is to be sheathed, and as also required for the fixing of first-class fibrous plaster ceilings.

SOLID BACKING: Fix the solid wood backing necessary for the installation of all fittings and fixtures.

EXTERIOR FINISH: Cover the whole of the exterior framing with heavy duty building paper laid horizontally with not less than 2" laps and securely clouted to frame. Fix Cedar Shiplap weatherboards vertically as shown. Double nail to studs and bore for end nails. Fix in full lengths and tightly butt over copper weater stripping at doors and window frames. Tightly butt all joints, stagger butts and finish corners neatly and in the best approved manner of the trade.

EAVES & SOFFITS: EAVES and Soffits to project as shown on drawings.

EAVES AND SUFEITS (CONT'D. FROM PAGE .2.): Line with matching timber to weatherboards. Should the linings be altered to 3/16ths. tempered hardboard cover joints with $\frac{3}{8}$ " half round. Finish at walls with $1\frac{1}{2}$ " oblong quadrant, and fit into rebate at fascia. Line gable sufeits as for eaves. Fascia boards to be 6" x 1" D. A. H. Totara.

INTERIOR LININGS: All rooms unless otherwise specified shall be lined vertically with fully dressed and sanded Pirus R/adiata and/or selected Tawa ~~MATEK~~ shiplap, fully nailed and punched on all finishing surfaces, all nails holes to be smoothly puttied. Bath room to be lined with 3/16" tempered, glazed hardboard and fixed in strict accordance with manufacturers' recommendations.

CEILINGS: Unless otherwise specified ceilings throughout shall be finished with $\frac{5}{8}$ " Fibrous Plaster. Sheets shall be nailed at 5" centres on edges and 18" centres at intermediate points with large headed galvanised nails. When all heavy hammering and nailing is complete, all nails and joints to be stopped with pure plaster of paris pressed and trowelled to an even surface, then covered with a plain lining paper, butted in the best approved manner.

ROOF: Roof is to be covered with Dacromastic Tiles and to be fixed by the suppliers in accordance with manufacturers specifications. All flashings to be 24 gauge copper with roof to be sound and water tight on completion and carrying the full written guarantee of the supplier and fixers of the Dacromastic tiles. Cutter to be standard square copper with stop ends and *outlets* on brackets spaced at 3' centres. Downpipes to be standard size square copper with all necessary elbows, bends shoes, etc. *All necessary ridge and verge pieces to be provided.*

VENT PIPE: Vent pipe to be 4" Copper carried up to correct height and fitted with cage.

PLUMBING: The plumber shall provide all materials, plant and labour necessary for the proper completion of the plumbing work in conformity with the local By-laws and according to the intent of the Specification, including such items not specifically mentioned herein but which are necessary for a thoroughly workmanlike job. Upon completion, the whole of the work shall be left watertight and to the entire satisfaction of the Authorities and Employer. Give all notices to, and arrange for inspection by Local Authorities.

MATERIALS: All materials shall be the best of their respective kinds, N. Z. made where practicable, and to the satisfaction of the Employer. Timber used for the plates (bottom particularly) and for supporting pipes must be heart or fully tatalised (not Boric).

WORKMANSHIP: All workmanship must be in accordance with best trade practice, joints shall be of recognised best method and pipe lines shall be neatly laid out in straight lines with even gradients. Pipe sizes apply to internal diameter. All pipes shall be concealed and supported as necessary to prevent displacement. Piping outside the building shall be not less than 15" below ground level.

FLASHINGS: Roof finishings shall be of 4-lbs. lead where necessary and where normally used in high-class work, soldered where necessary and left absolutely weatherproof. All other roof flashings shall be 24 gauge copper, silflossed at all joints. Flash around windows and doors with 24 gauge copper and provide 9" trays to windows turned up 1" at end of sills, prime before fixing.

WASTES: Fix lead traps and screwed bronze ^{OR COPPER} wastes to fittings of size as required by By-laws, complete with cleaning eyes.

SOIL PIPE: Soil Pipe shall be carried up in 4" cast iron surmounted by 24 gauge copper, all properly jointed, forming a vent finished with a wire cowl.

VENTS: Pack vents fittings as required by law.

WATER PIPES: Cold hot water pipes shall be 19 gauge drawn copper with "Silfos" braised joints, solid brass tap sockets, all hot pipes adequately lagged with cowhair felt securely wired on. Copper-chromed flanges shall be fitted around all pipes at points where pipes are passing through walls.

COLD WATER SUPPLY: All piping shall be first grade solid drawn 19 gauge copper and all joints "Silfos" braised. Supply shall be $\frac{1}{2}$ " copper service pipe (1 inch) from pump main to fittings and $\frac{1}{2}$ " branches to taps.

Cold water supply to shower mixing valve or thermostatic valve or mixing faucet shall be taken from 160 pressure (low) supply to electric cylinder, if applicable.

SUPPLY CYLINDER AND HOT WATER SUPPLY SHALL BE ONE UNIT.

COLD WATER BRANCHES: From 1" main service pipe take $\frac{1}{2}$ " $\frac{3}{4}$ " line to following:- W. C. Cistern, Wash basin, Shower Unit, Hot Water Cylinder, Sink, Tub and Bendix Washing Machine.

HOT WATER SUPPLY: Where shown, install 30 Gal. "Stanley" (Narrow Type) lagged hot water cylinder with 1250 watt element with thermostatic control and arrange for electrician to connect same to supply. From top of cylinder take $\frac{3}{4}$ " lagged expansion pipe through roof, and from bottom of cylinder take $\frac{1}{2}$ " stop-cocked sludge pipe to nearest gully trap. Lead $\frac{3}{4}$ " pipe to shower unit and Bendix washing machine. Take lead to kitchen sink.

NOTE:- WHERE EXPANSION PIPE PASSES THROUGH ROOF, FLASH WITH 4-lbs. lead as briefly referred to in paragraph headed "Flashings".

TAPS: All interior taps shall be chromium plated and labelled "hot" and "Cold". Shower taps for shower, Laundry tub and Bendix, all others to be as selected by owner.

DOWNPIPES: Along eave fascia on strong brackets falling to downpipes, fix square-type standard size 24 gauge copper spouting with outlets of appropriate size to tie-up to standard type square copper downpipes.

- FITTINGS:
- (a) one A-1 quality glazed, white, twyford, earthenware W. C. Pan.
 - (b) one selected seat and lid (Plastic).
 - (c) one glazed cistern (matching above pan)
 - (d) one "Mercer Maid" stainless steel Laundry tub complete with enamelled steel cabinet - Retail Price £30/7/6.
 - (e) one stainless steel "Mercer Maid" Shower Tray
Size:- 3' square x 6" high.
Retail Price £24/7/6.
 - (f) one selected Vanity Basin Unit sheathed in Formica, made by "Harvey" and supplied by Smith & Smith (Wgton).
Approx. Size:- 3' 11 $\frac{1}{2}$ " Long x 1' 8 $\frac{1}{2}$ " wide x 30 $\frac{1}{2}$ " high.
Approx. Retail Price complete with vitreous enamel vanity bowl but not including faucets - £36/-/-.
 - (g) one set chromium faucets for above to be selected.
 - (h) one stainless steel "Rickstan" 6 Ft. sink top (seamless).
 - (i) one set selected taps for above.

DRAINLAYER

GENERAL: All drainage shall be carried out by Licensed Drainlayers strictly in accordance with Public Health Requirements, Local Body By-laws and to the complete satisfaction of the owner. All pipes and fittings shall comply with N.Z.S.S. No. 365.

TRENCHES: Dig true to line and grade to uniform width at bottom three times the diameter of the pipe with regular gradients. Cut bottoms of trenches for collars. Where trenches are cut in filled ground, consolidate trenches before laying. Backfill and consolidate trenches at completion.

LAYING: Lay drains as drawn and/or as shown by builder unless otherwise informed by owner. Provide all fittings and connections to completely finish the drainage system, such as inspection pipes, cleaning eyes, etc. Minimum surface cover shall be 1'0", minimum falls as follows:-

<u>Drain</u>	<u>Diameter</u>	<u>Fall</u>
Other than stormwater	4"	1 Ft. in 40 Ft.
Stormwater	4"	1 Ft. in 60 Ft.

COVER AND INSPECTION: Should cover be less than 1" the pipes shall be cased in 2" concrete. Pipes shall be layed on barrels. On completion and before the trenches are backfilled the drains shall be tested at the Contractors' expense to the complete satisfaction of the owner.

JOINTS: Make with one part gauged cement and two parts sand and clean out pipes as work proceeds.

SOIL DRAINS: Use first quality glazed earthenware pipes layed and jointed as described in all respects with all necessary fittings.

GULLY TRAPS: Shall be approved pattern 6" diameter glazed earthenware with 4" traps and shall be supplied with galvanised cast iron gratings. Set trap in concrete having raised coping plastered smooth.

Electrician

GENERAL: The installation shall be made in a sound and workmanlike manner using T.R.S. in conformity with the wiring regulations. All wiring shall be concealed. Use fittings of N. Z. manufacture where possible, unless directed otherwise. Allow 2'6" excess length to all mains coiled behind switchboard. Notify Authorities for inspections.

SWITCHBOARD: Mount meter in a convenient position to be readable from outside as directed by owner. Supply and clearly label all switches, meters and fuses required. Leave space for 10 and 15 amp. additions and lighting circuit addition. Arrange to connect to street mains and take lead/s from point of entry to switchboard.

CONNECTIONS: Take power to:
Stove, hot water cylinder and Bendix Washing Machine, and permanently all but the washing machine so that fittings may be moved to enable cleaning around them.

Lighting Points: Exact positions to be confirmed by Owner on job. Number of fittings and points to be decided by Owner as job proceeds.

Power Points: Fix three-pin socked outlets with switches where shown or where otherwise directed by the Owner.

SWITCHES: Switches and plug sockets shall be "Mittie" or equal, silet flysg. type with white flush finger plated.

TELEPHONE: Provide draw wires for telephone where directed by Owner.

PAINTER? PAPERHANGER

MATERIALS: N. Z. Factory prepared products to be used. All finishing coats to be approved shades and brands of paint to be used must first have owner's approval. Thinners must be very sparingly used and then only permissible under closest supervision of owner or some nominated authority. Paint to be brought on to the site unopened and in original containers. Number of coats as specified by the manufacturer. Best prepared putty to be used.

WORKMANSHIP: Work must be carried out by skilled tradesmen in accordance with best trade practices. Adequate precautions must be taken to protect the work during and after completion.

PUTTYING: Whole of the surfaces, both inside and out, excluding floors, shall be thoroughly puttied as necessary to give a smooth and even surface for finishing after the priming coat is dry for the work to be painted and/or after the sealer is dry for the work to be varnished.

EXTERIOR FINISH:

All exterior metalwork and also all the woodwork to be painted shall be fully primed before fixing. After puttying all such metalwork and woodwork all shall be given not less than two good coats of white lead and linseed oil paints, or as many thereafter as may be required to obtain a fully covered and first-class finished paint job.

INTERIOR PAINTING: Do no painting in cupboards. Paint all fibrous plaster and/or Pinex ceilings with one coat of sealer and two coats of oil paint finishing flat unless otherwise directed. Sealer to be used for plaster work is Dusseal.

PAPERING: All fibrous plaster ceilings to be covered with lining paper neatly butted. Only walls of main bedroom to be papered in a selected wallpaper of owner's choice, average P. C. per roll, truly hung with matched patterns neatly butted and neatly fitted up to trim. The paste for all the papering (ceilings and walls) must be approved before using. NO PATCHING ACCEPTABLE.

HOROWHENUA COUNTY COUNCIL

BUILDING APPLICATIONS

HCC/B9

99 Rawleigh

- Te Moana Rd.

Duelling

State of Progress	Date	Initials	Remarks
Building Application Received	<i>16/10/62</i>		
Drainage Application Received.	<i>"</i>	<i>JMB</i>	
Site inspected & approved	<i>5/10/62</i>		
Building Application under action.			
Drainage Application under action.			
Miscellaneous			
HCC/B8 (fees) Posted.	<i>17/10/62</i>		
Building Permit authorised.	<i>"</i>	<i>JMB</i>	
Drainage Permit authorised.	<i>"</i>		

SCALE OF FEES

For the examination of plans and specifications of any building and for the inspection of such building the following fees shall be payable according to the estimated value of the work.

In any dispute as to value, the County Engineer shall have the absolute determination of the value of the proposed work or building.

<u>ESTIMATED VALUE OF WORK</u>		<u>FEES</u>		
		£	s.	d.
Not exceeding £10	.....		5	0
Over £10 and not exceeding £100	.....		10	0
" £100	" £200	1	0	0
" £200	" £300	1	10	0
" £300	" £400	2	0	0
" £400	" £500	2	10	0
" £500	" £600	3	0	0
" £600	" £700	3	10	0
" £700	" £800	4	0	0
" £800	" £900	4	10	0
" £900	" £1000	5	0	0
" £1000	" £1250	6	0	0
" £1250	" £1500	7	0	0
" £1500	" £1750	8	0	0
" £1750	" £2000	9	0	0
" £2000	" £2500	10	10	0
" £2500	" £3000	12	0	0
" £3000	" £3500	13	10	0
" £3500	" £4000	15	0	0
" £4000	" £4500	16	10	0
" £4500	" £5000	18	0	0
" £5000	" £6000	20	0	0
" £6000	" £7000	22	0	0
" £7000	" £8000	24	0	0
" £8000	" £9000	26	0	0
" £9000	" £10000	28	0	0
" £10000	" £12500	32	0	0
" £12500	" £15000	36	0	0
" £15000	" £17500	40	0	0
" £17500	" £20000	44	0	0
" £20000	" £25000	49	0	0
" £25000	" £30000	54	0	0
" £30000	" £35000	59	0	0
" £35000	" £40000	64	0	0
" £40000	" £45000	69	0	0
" £45000	" £50000	74	0	0
" £50000	" £60000	79	0	0
" £60000	" £70000	84	0	0
" £70000	" £80000	89	0	0
" £80000	" £90000	94	0	0
" £90000	" £100000	99	0	0
Exceeding £100,000	.....	100	0	0

FEES PAYABLE FOR SPECIAL DUTIES

For inspection required in the case of proposed structural alterations before plans are submitted for approval..... 0 10 0

For inspecting every detached stove, furnace, oven, close fire or forge erected subsequently to the building..... 0 5 0

For inspecting old timber before reusing the same in a new building..... 0 15 0

For any inspection that may be deemed necessary in connection with any building or work in respect of which no fee has otherwise been paid..... 0 2 6

Horowhenua County Council

PERMIT No. 2706
47/8

LOCALITY Waihanue

DATE RECEIVED 16 : 10 : 62. DATE ISSUED 16 : 1 : 63.

**APPLICATION
FOR BUILDING PERMIT**

OWNER'S NAME

J. J. Rawleigh

FOR OFFICE USE ONLY.

REMARKS:

APPROVED	
<u>J. J. Rawleigh</u>	
COUNTY ENGINEER.	
DATE	<u>17/10/62</u>

2nd 11/10/62

NOTE.—

1. Buildings must NOT be erected within FIVE feet of adjoining properties.
2. All Plans and Specifications must be in ink.

Valuation Book No. 1493/544 Date _____, 19__

Application for Building Permit

TO THE BUILDING INSPECTOR,
Horowhenua County Council,
Bath Street,
Levin.

Postal Address: Horowhenua County Council,
P.O. Box 17,
Levin.

I, the undersigned, do hereby apply for a PERMIT to erect BUILDINGS in accordance with the undermentioned particulars in Waihau RIDING.

1. Type of Building: Dwelling
Dwellings, etc.; additions or alterations.

Particulars of Building: Foundations: 2 floor concrete Walls: concrete Roof: metal

Total floor area: 960 sq. ft.

2. Allotment: Lot: _____ D.P.: _____ Section: Ngaurua West A78

Area: _____ Block: ix Kaitara S.D. _____ Locality: _____

3. Owner's Full Name W. T. Rauling

Address 72 Moana Rd Waihau

4. Previous Owner ☐ If Section has been recently transferred

5. Frontage (Length) _____ Name of Street or Road _____

6. Estimated Value of Building, £ 2700

Plumbing and Drainage £ 300 Total £ 3000

7. Fees £ 12 : 0 : 0 No. of Receipt 358

See Scales of Fees on Back Page.

All work will be carried out in accordance with Horowhenua County Council's By-laws.

NOTE:—The following MUST accompany this Application:—

Plans and Specifications in Duplicate, including—

- Ground Plans of Proposed Work showing position of all sanitary fittings and names of various rooms.
- Where the building is on a sloping site the correct height of foundations must be shown.
- Front, Rear and Side Elevations.
- Cross section showing framing with bracing.
- Where a building requires Plumbing and Drainage Work, a Separate Application Form must be filled in and Permit obtained before commencing any such work.

Signature of Applicant W. T. Rauling as BUILDER or ~~OWNER~~

Address Wahu St. Waihau

Builder's Name and Address ☐ If not the applicant W. T. Rauling Construction Co Ltd
Wahu St. Waihau

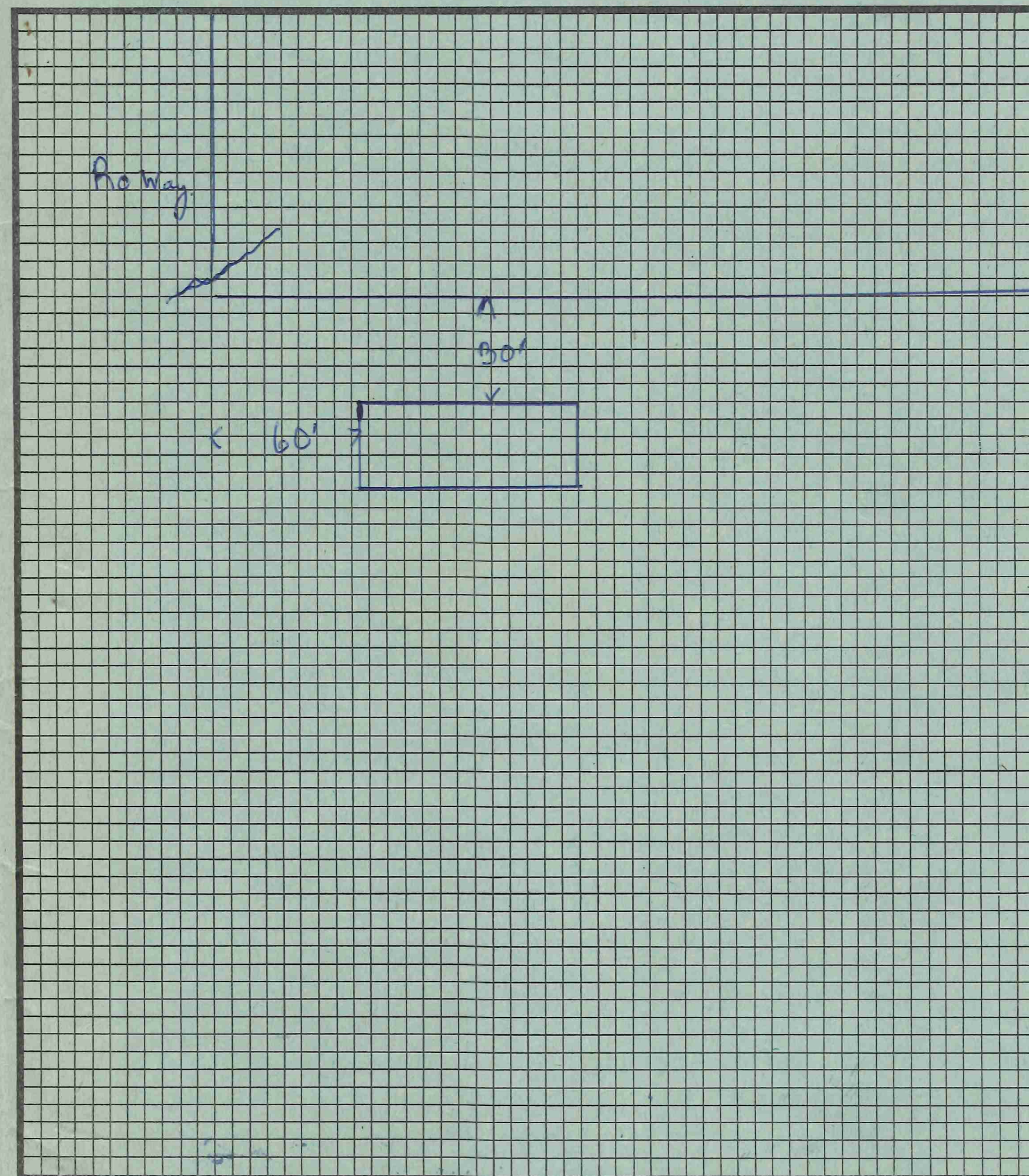
PLAN OF ALLOTMENT

Showing position of proposed building on such allotment.
NOTE—Distances of each building from boundary lines must be clearly indicated.
(Scale: Two feet to a square.)

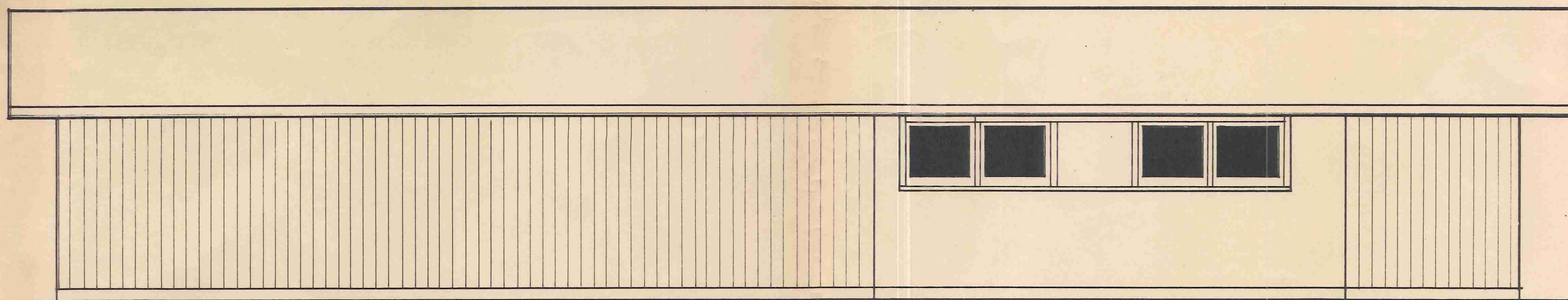
Boundary Lines to be shown thus: — — — — —

BUILDINGS must NOT be ERECTED within FIVE FEET of ADJOINING properties.

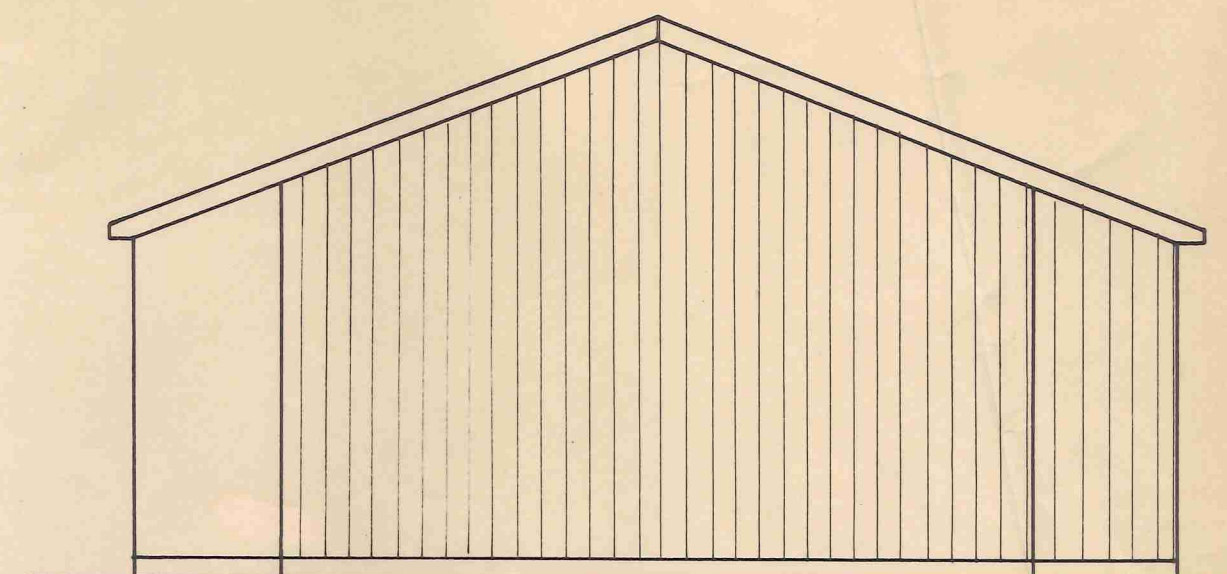
Frontage to 72 Moana Rd Waihau Road



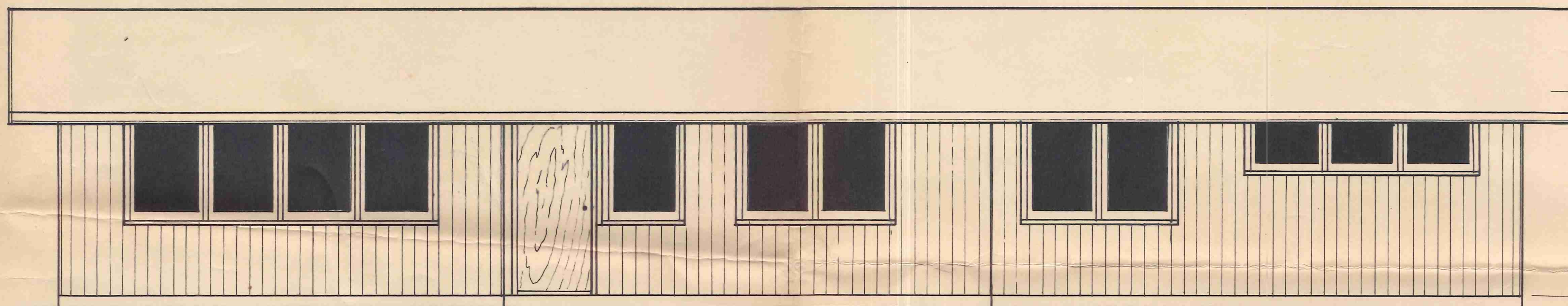
ALL EXISTING BUILDINGS TO BE SHOWN IN RED ON THIS PLAN



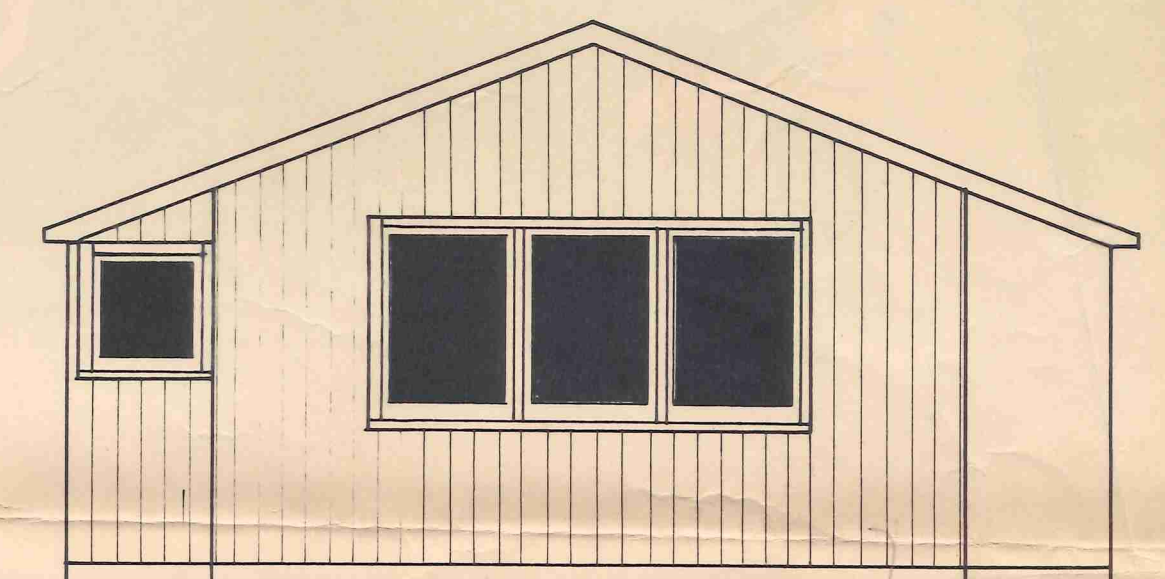
SOUTH ELEVATION



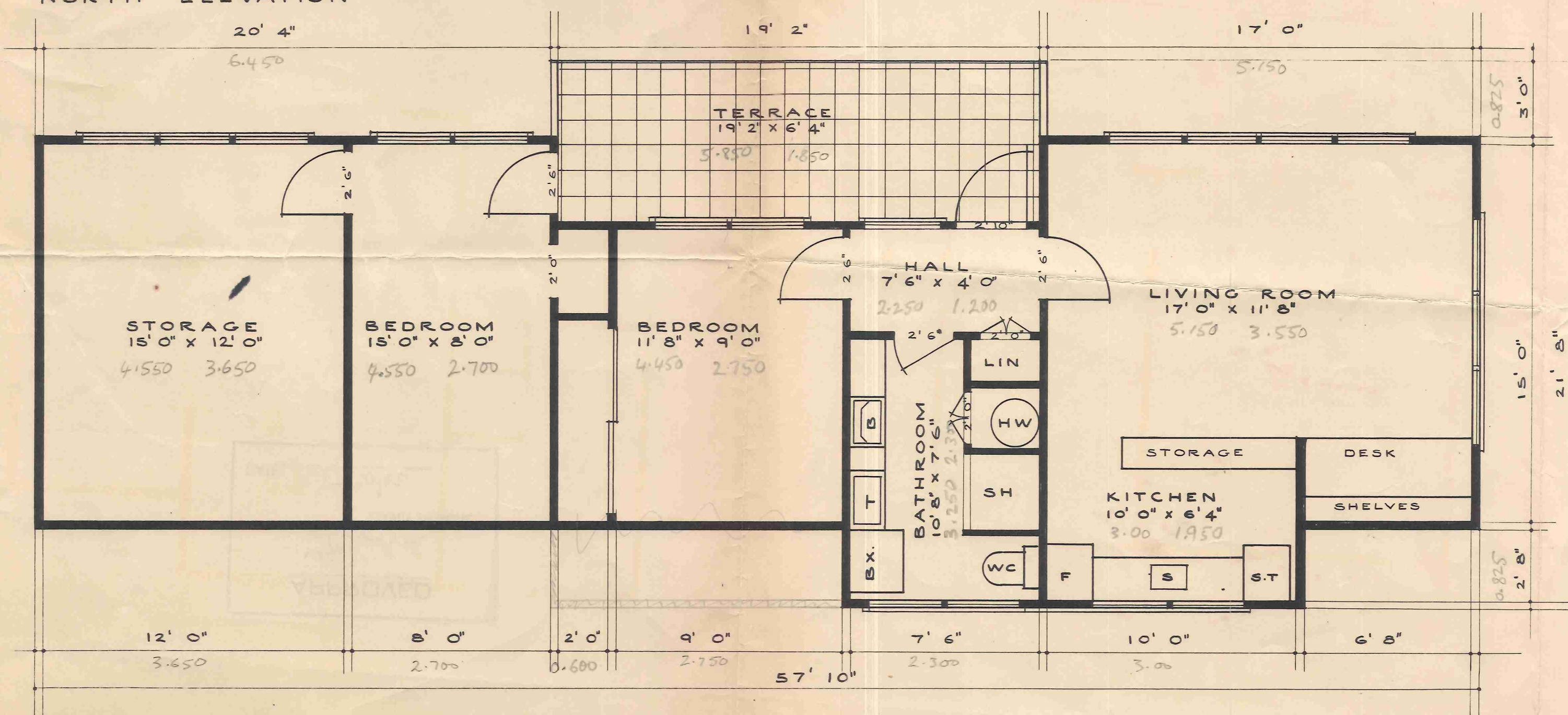
WEST ELEVATION



NORTH ELEVATION



EAST ELEVATION



FLOOR PLAN

PROPOSED COTTAGE
FOR
MR. F. F. RAWLEIGH
TE MOANA RD.
WAIKANAЕ.

*H2. redwood
finish.
metal
coloured
concrete
floor.
lumber
framing.*

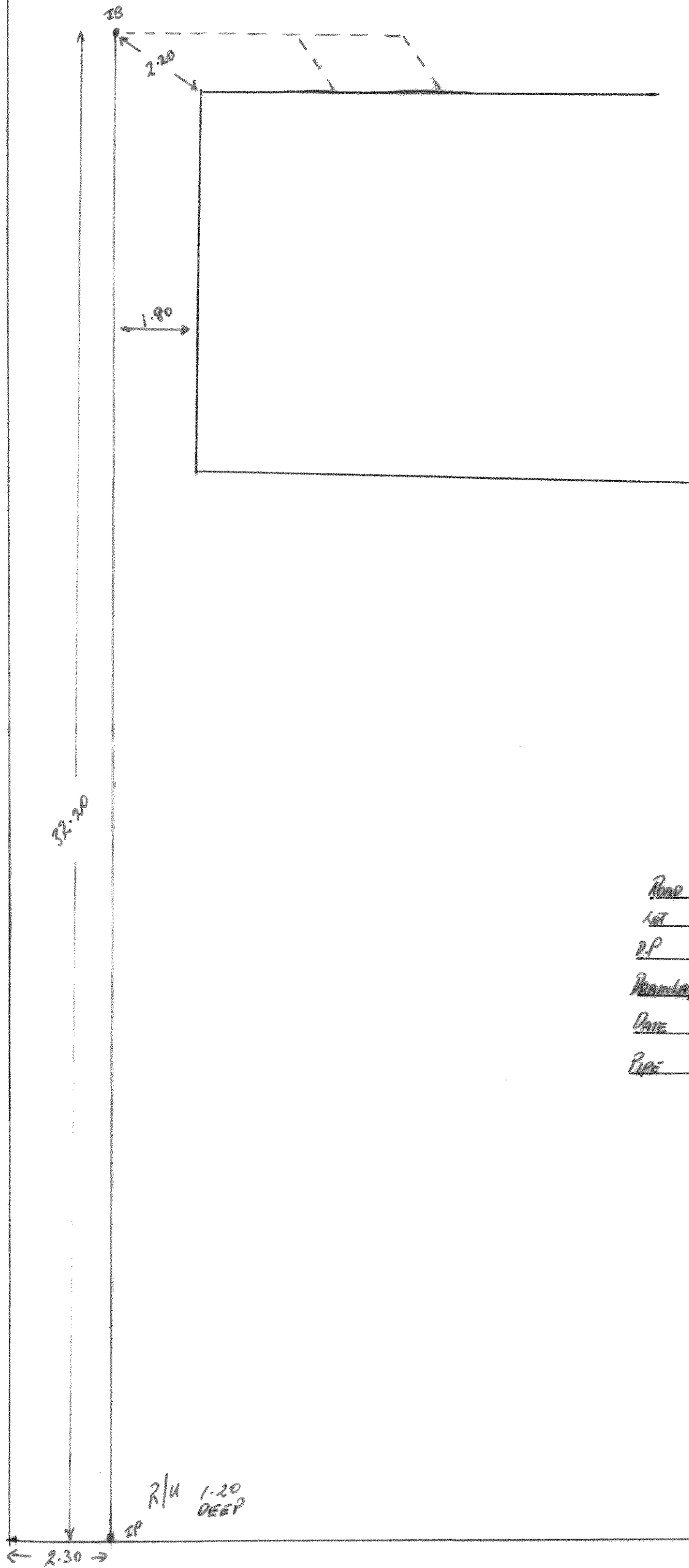
DR. NO	SC. 1/4" = 1' 0"
PLAN AND ELEVATIONS	
DATE 20/9/62.	DRAWN BY <i>[Signature]</i>
APPROVED.	

APPROVED

Y. M. Brown
COUNTY ENGINEER.

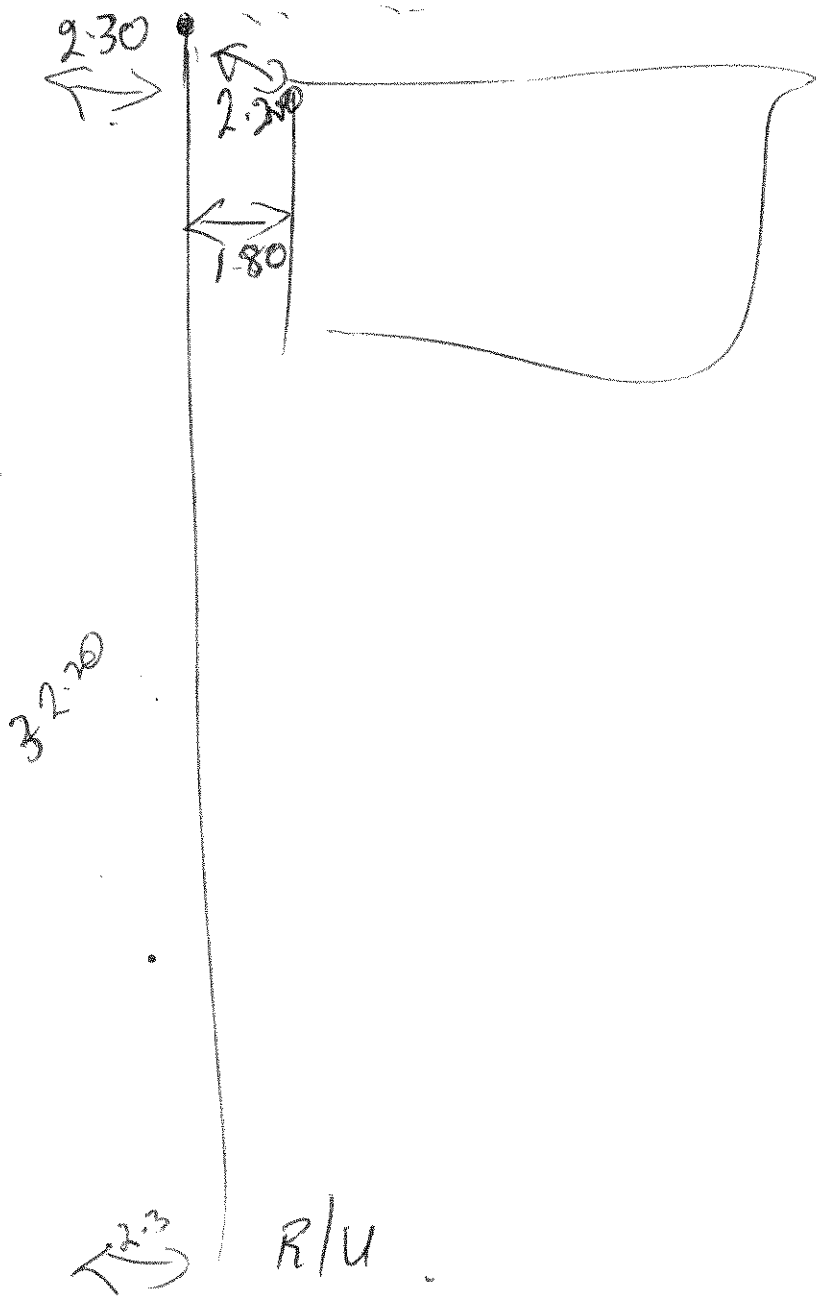
DATE *17/10/62*

L. O'RDISH.



4901

Road - 6 YORK AVE
 Lot - 5
 D.P. - 49027
 Planner - P. McEOWN
 Date - 18-11-81
 Pipe - TERRAIN P.V.C



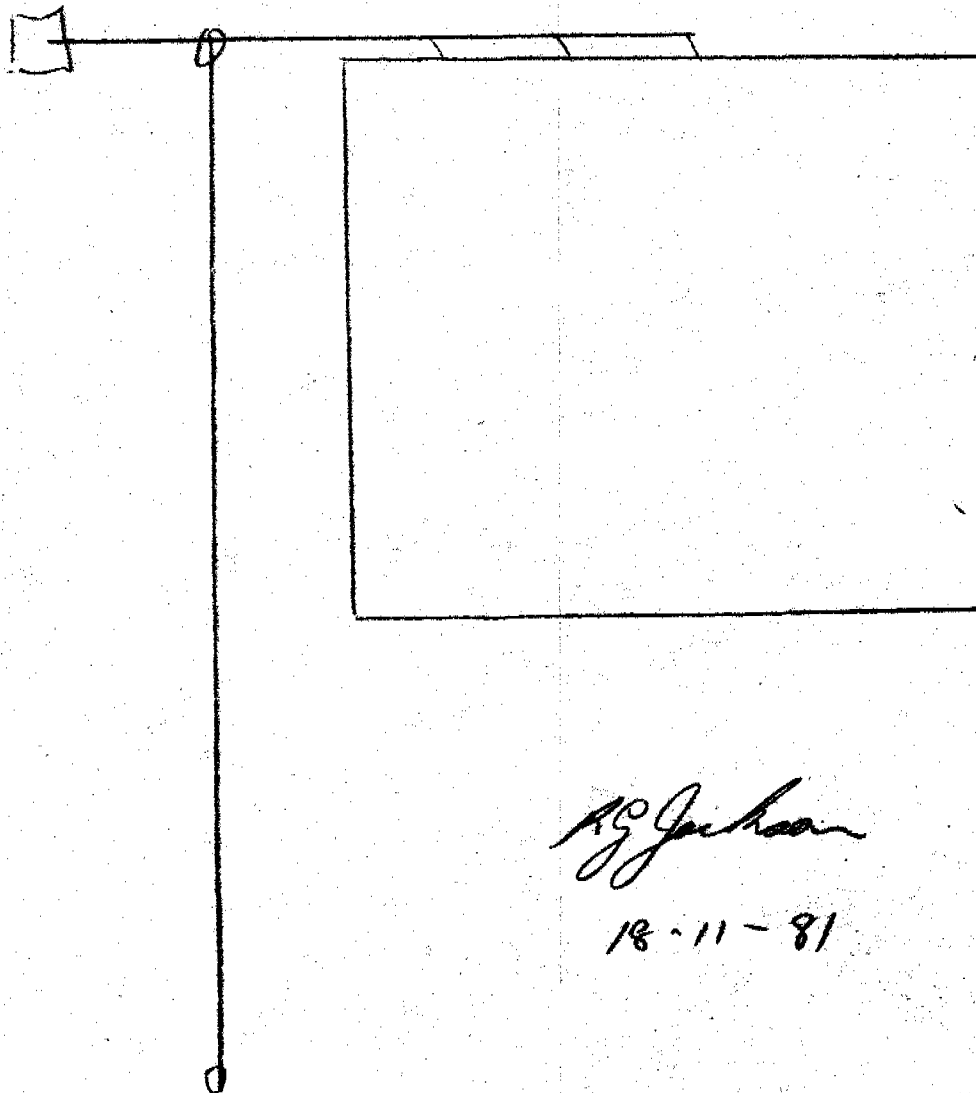
or fish.
18/11-81
m^ccowm

WAIKANAE DISTRICT COMMUNITY PLAN OF ALLOTMENT - PROPOSED DRAINAGE LAYOUT

Showing existing buildings and drainage layout and proposed drainage layout to the sewer
scale 1-100.

Boundary Lines to be shown thus: - - - - -

Frontage to York Ave Road



AG Jackson

18-11-81

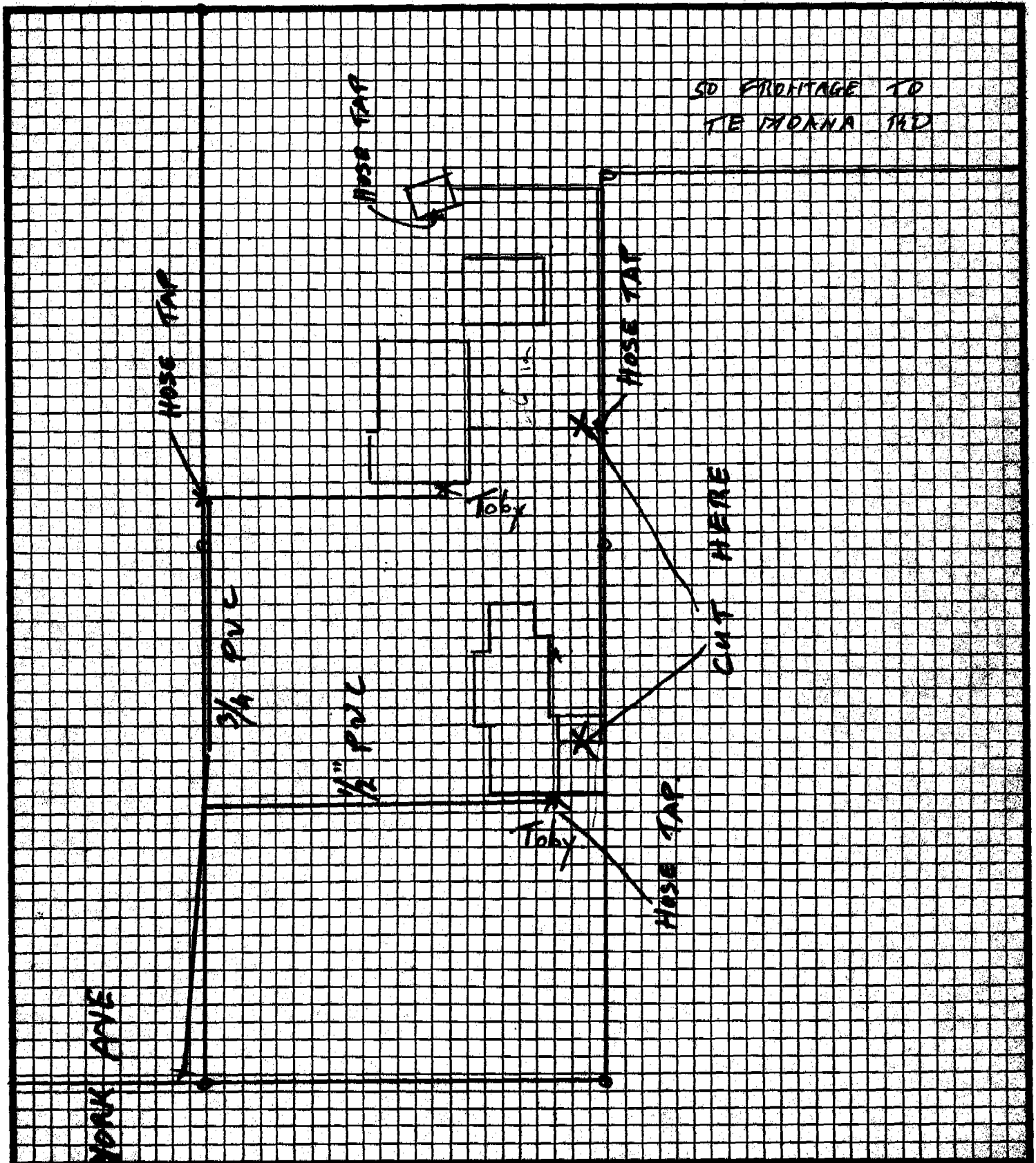
Waikanae County Town Water Supply

PLAN OF ALLOTMENT

Showing position of buildings and existing water supply and pipes)
(Particular care to be taken to show location and distribution pipes from bores)

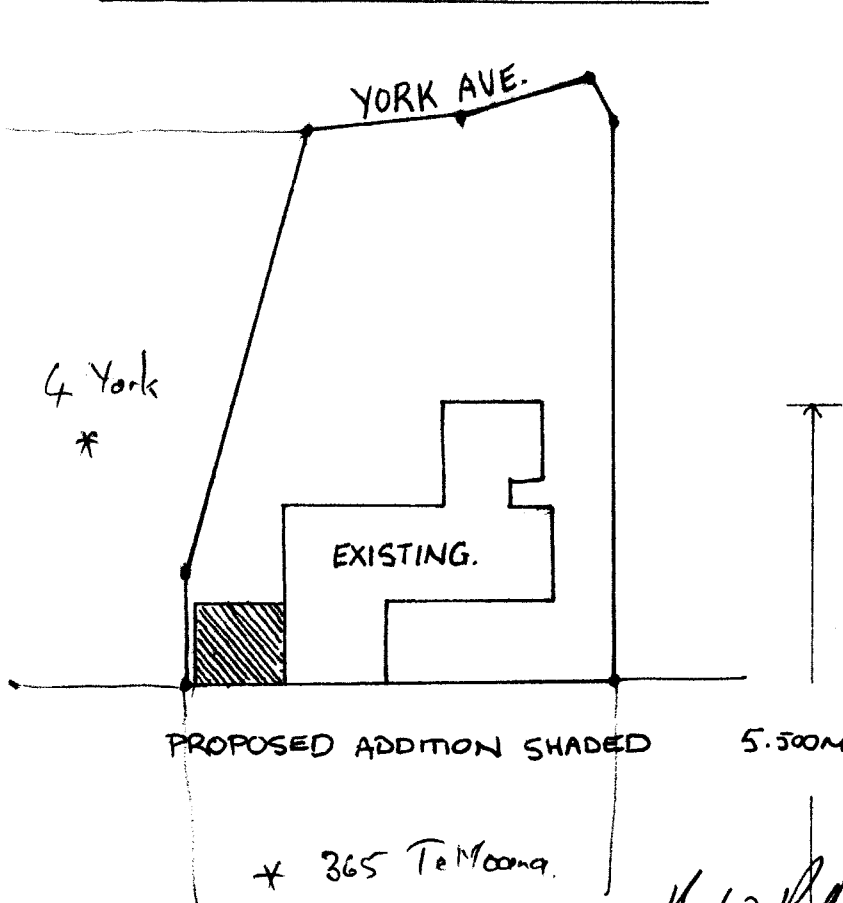
Boundary Lines to be shown thus: - - - - -

Frontage to YORK AVE Road

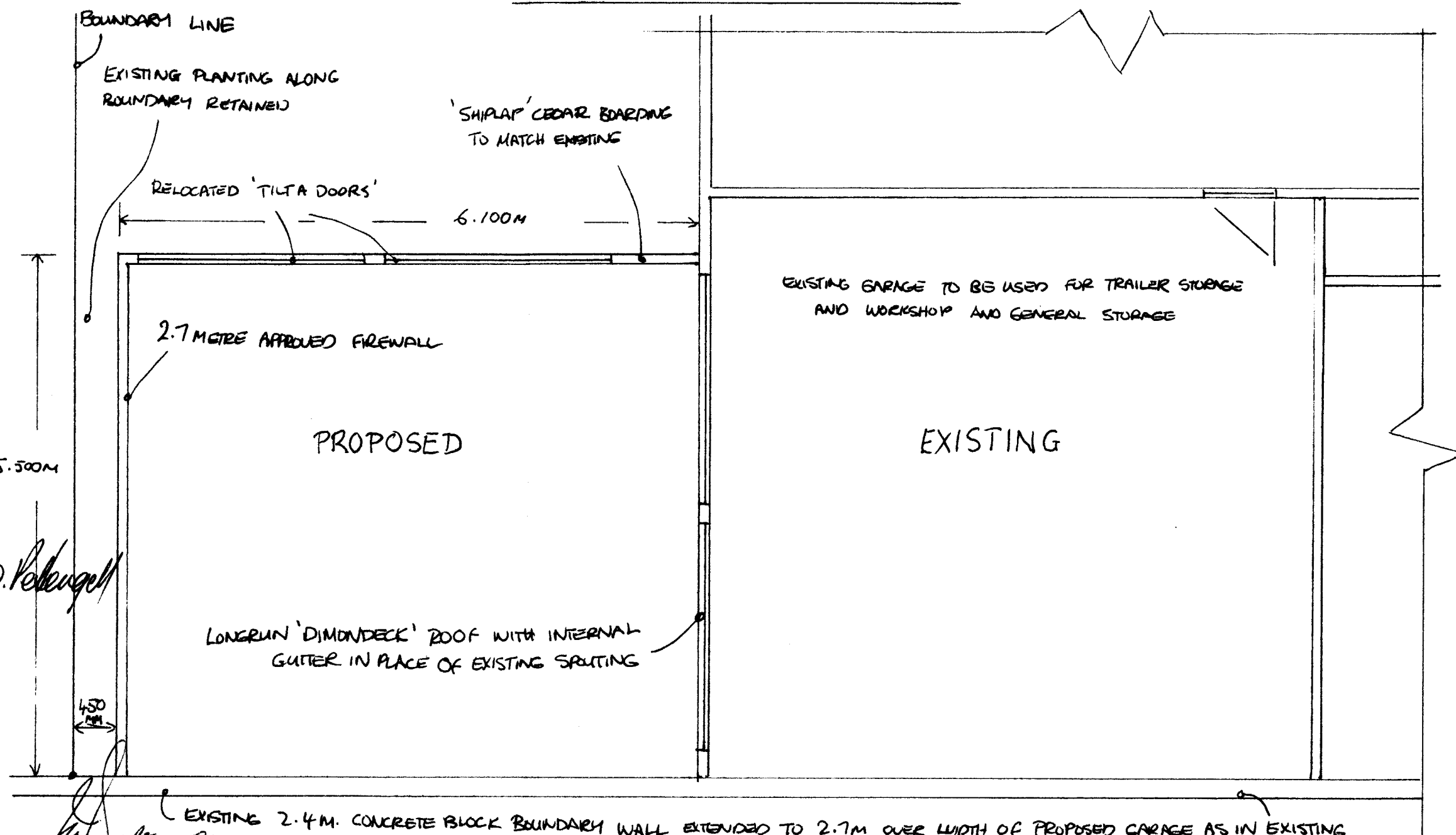


PROPOSED NEW GARAGE ADDITION TO 6 YORK AVE FOR MR. L.P. ORDISH

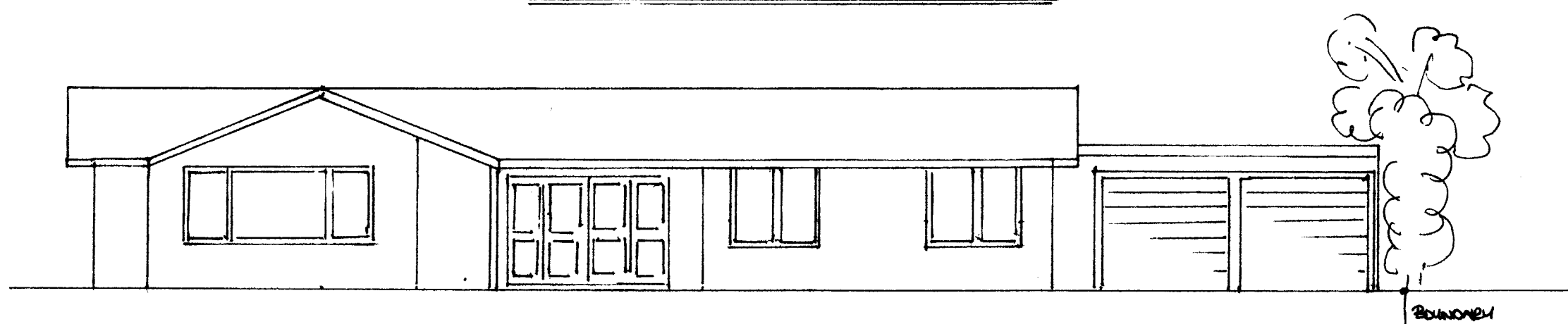
SITE PLAN. SCALE 1:500



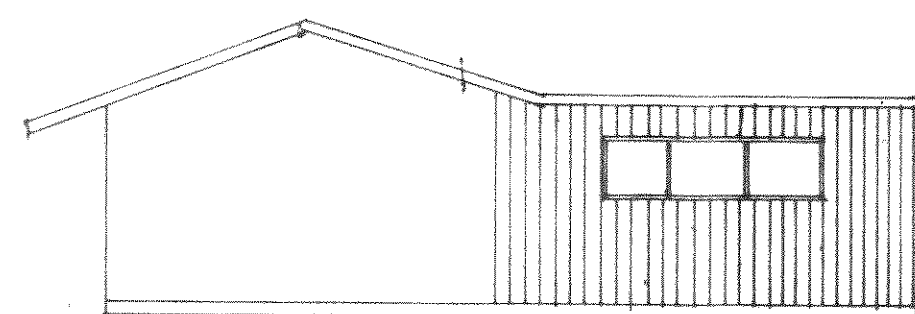
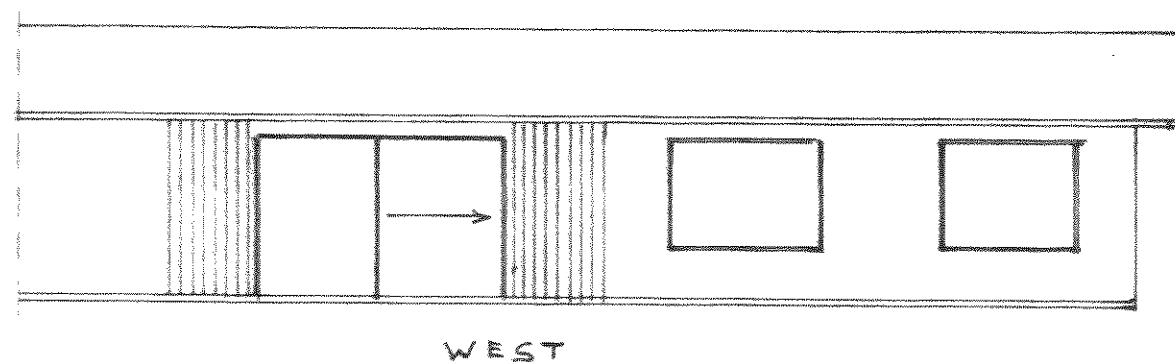
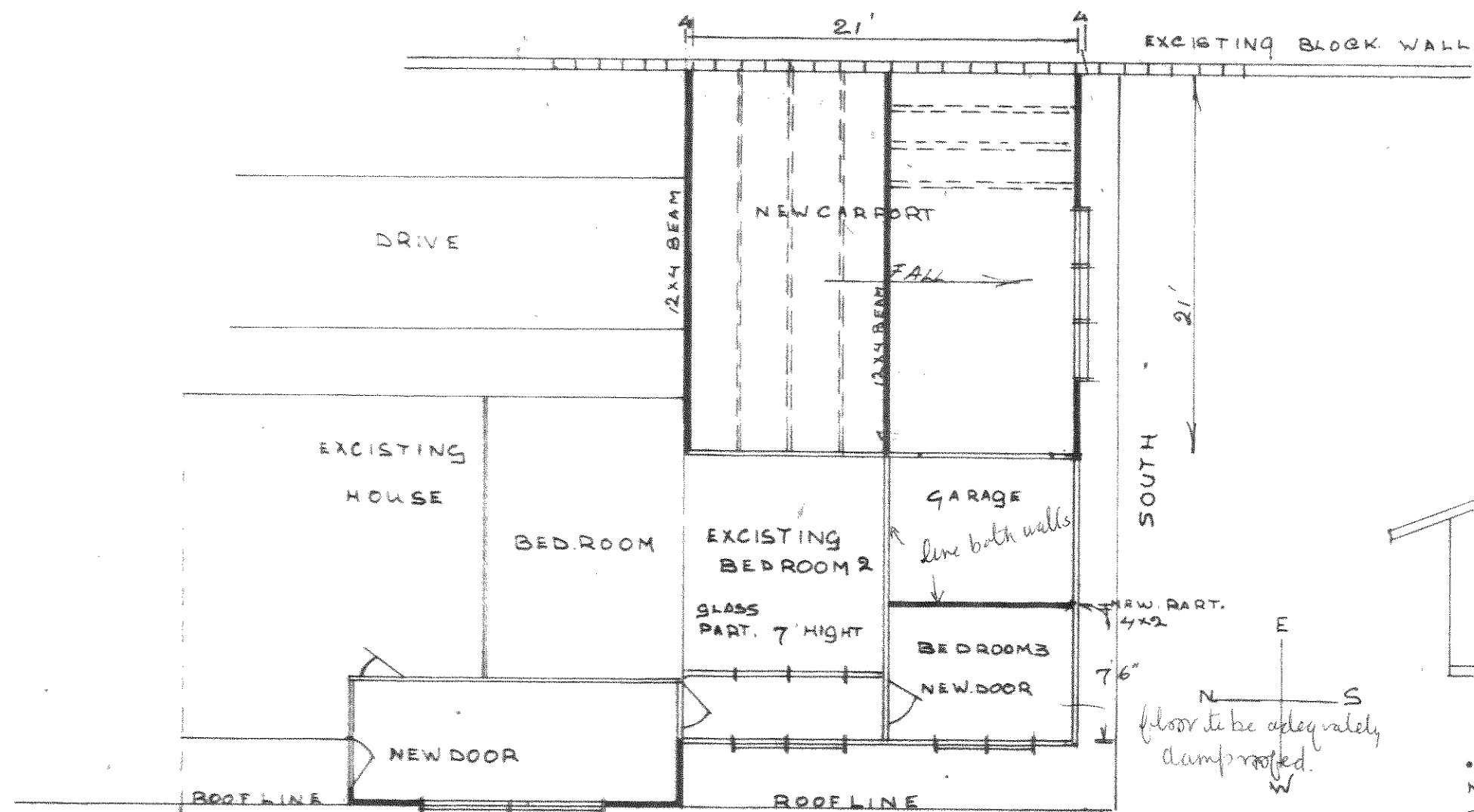
FLOOR PLAN SCALE 1:50



FRONT ELEVATION SCALE 1:100



NO 113



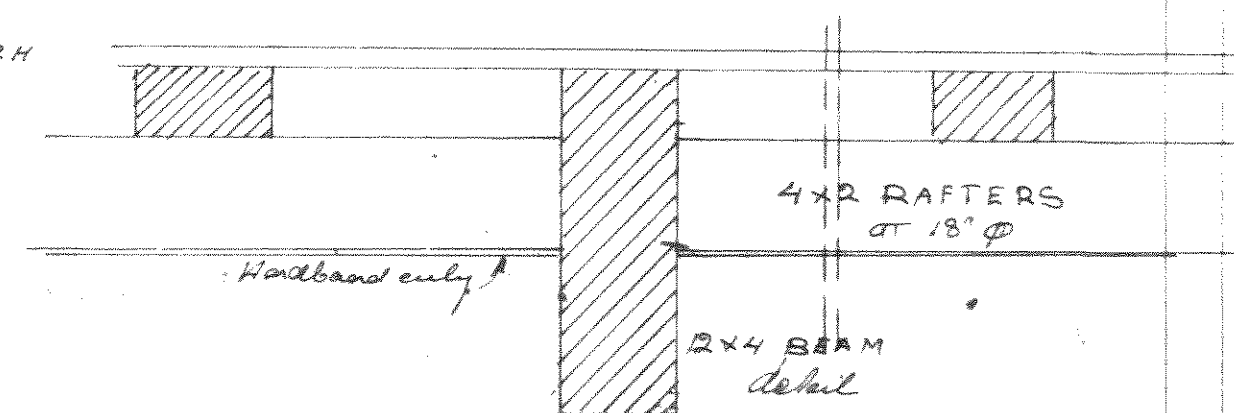
SOUTH

EXC WALL
8' BLOCK

Existing block wall
adjacent to boundary
is not to be extended
any higher than existing upon
17/6/68.

- NEW CARPORT
- CONCRETE FLOOR
- 4x2 FRAME WB TO MATCH
- 12x4 BEAMS
- 4x2 RAFTERS
- BROWN BILT ROOF OR SIMILAR
- PUT UP PARTITION IN EXISTING GARAGE AND MAKE INTO BEDROOM
- WALL LINING GIB BOARD
- CIELING PINIX TILES
- BEDROOM 2 NEW GLASS PARTITION 7' IN HEIGHT
- PUT UP FRAME ON WEST ELEVATION UNDER EXISTING ROOF LINE AND MAKE IN TO SUN PORCH
- 4x2 FRAME
- 4 LOCK DOOR
- ONE ONLY FLUSH DOOR
- RED WOOD WB TO MATCH

3x2 PURLINS
AT 2'6" ϕ



NOT TO SCALE

CARPORT

FOR

MRS AND MR R.T. ORDISH

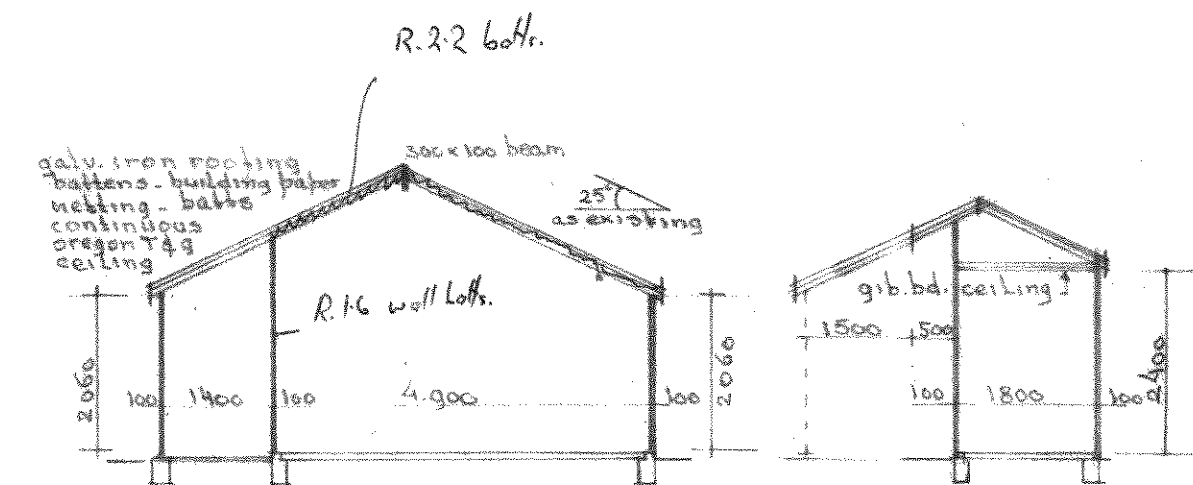
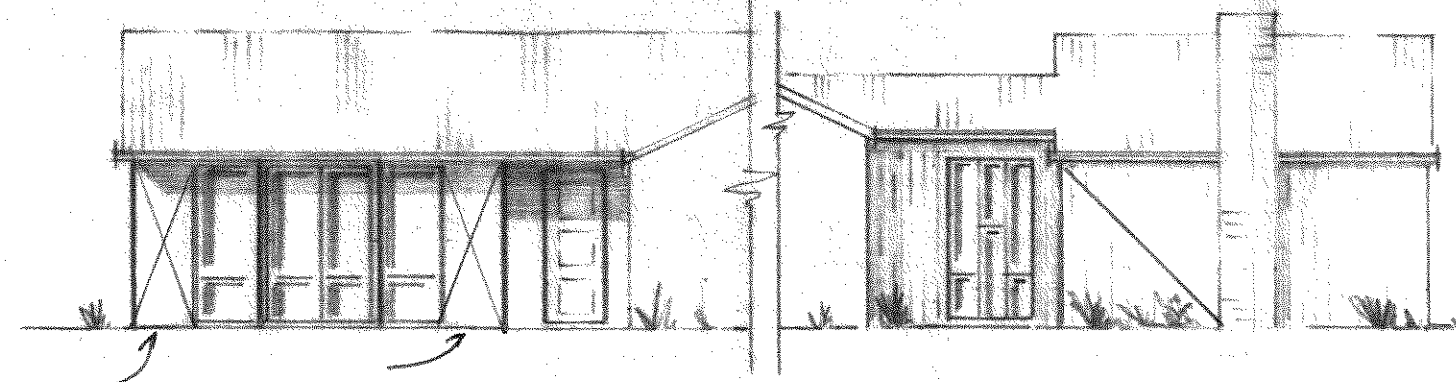
LOT NO

DDNO

TE MOANA ROAD

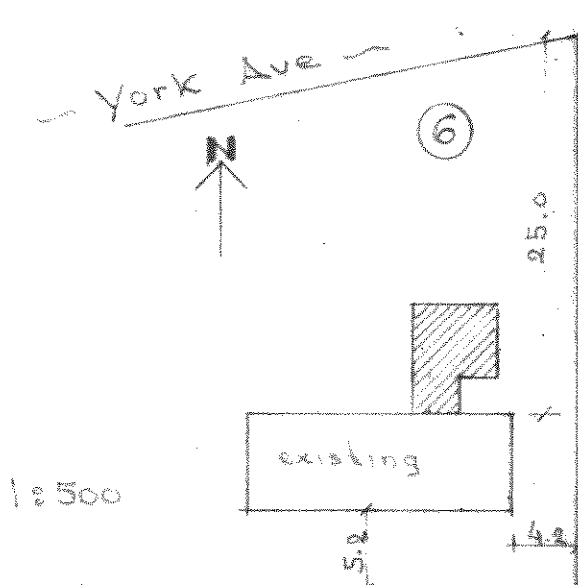
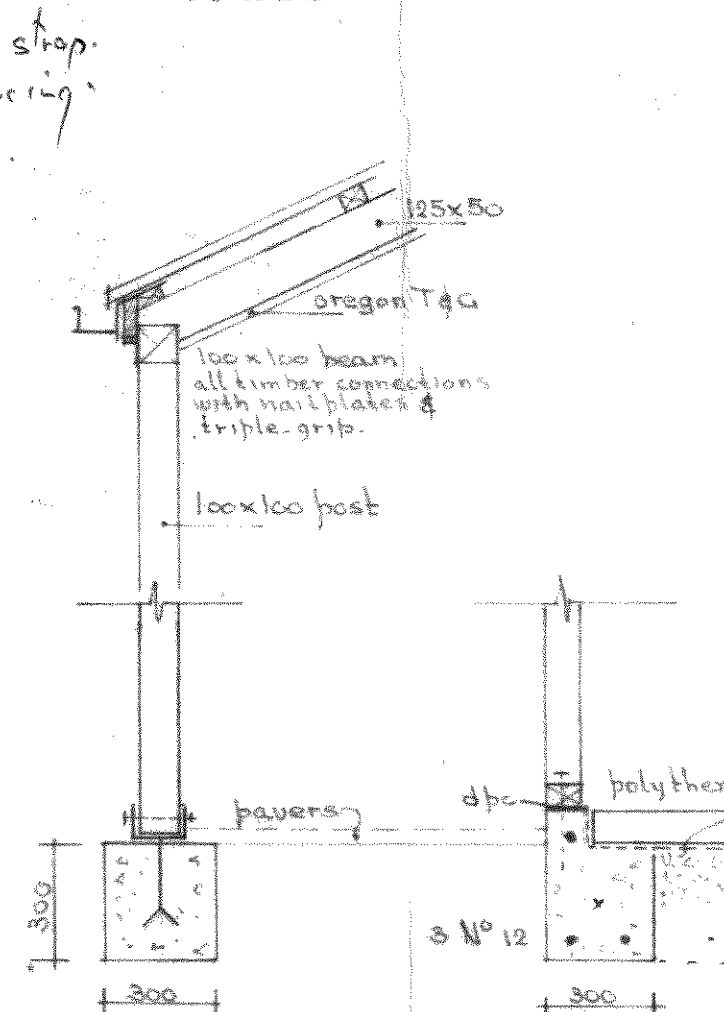
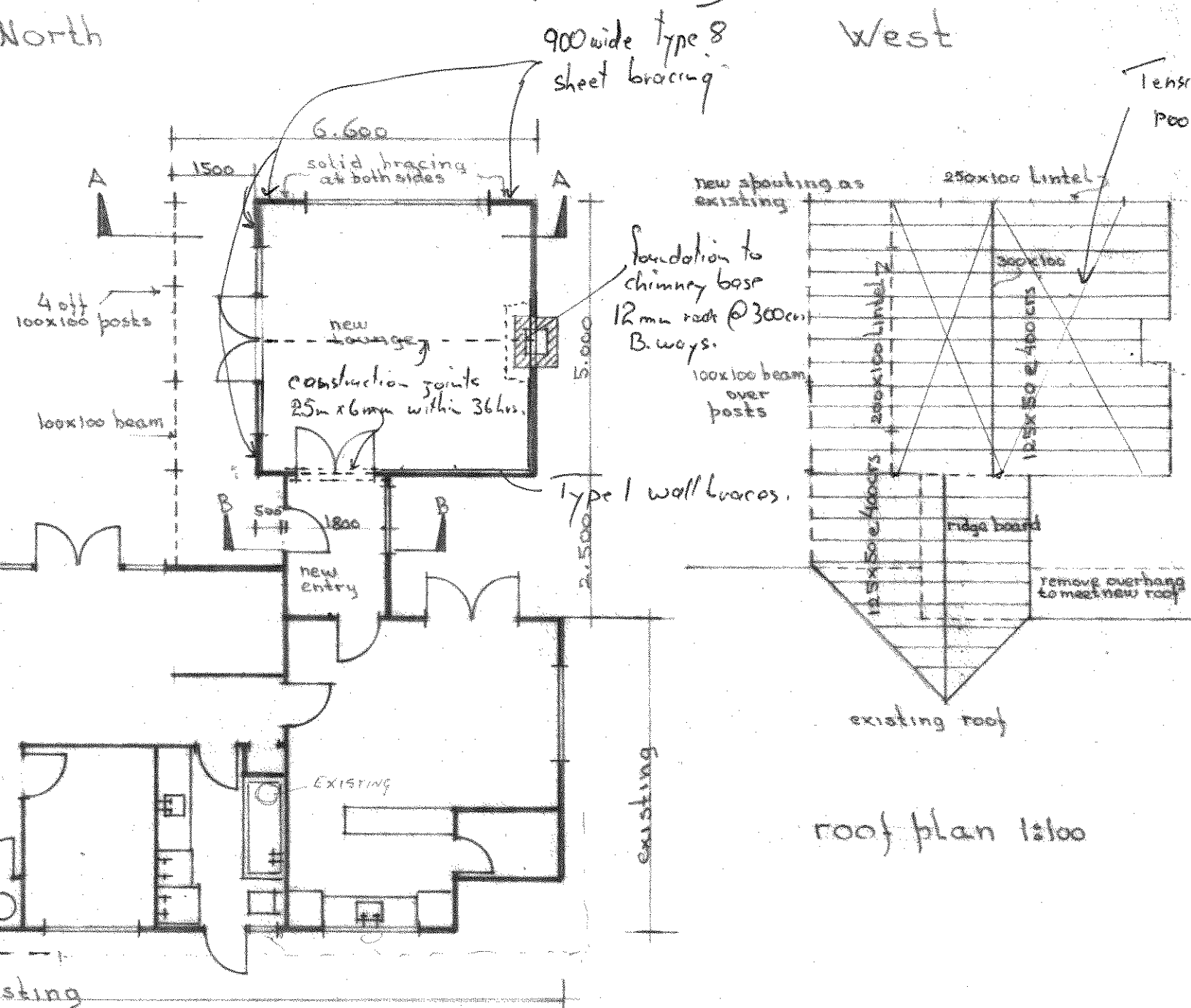
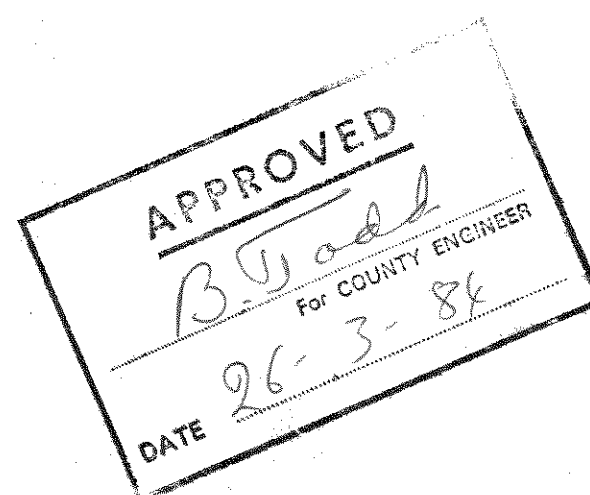
WAIKANEA

14 June 1968



East

section BB



Locality 1: 500

- Materials & foundation & floor walls
- roof
- insulation batts
- exterior lining
- interior lining
- windows & doors.

concrete
boric treated timber framing
galv. corr. iron long-run
all ext. walls & ceilings
NZ Redwood shiplap
gib board & Oregon T&G
timber framed

All work done strictly in accordance with NZS3604

roof plan 1:100

detail post & exterior walls 1:20

PROPOSED ADDITION TO N°6 YORK AVE. WAIKANA

FOR M. L. ORDISH

scale as shown
date Feb. 84

T.C. ROBBERS reg^d. Archt.
ANZIA-AIAA. P'ram. 84575