

Building inspection report here

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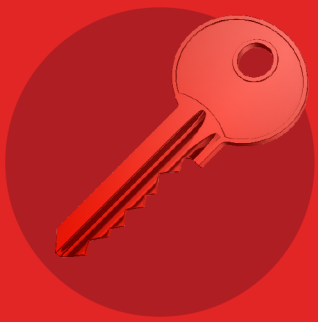
Prospective purchasers are advised to seek their own independent advice as to the condition of the property either prior to, or as a condition of, purchasing the property.

To the maximum extent permitted by law we do not accept any responsibility to any party for the accuracy or use of the information herein.

Please note:

Following inspection by a builder and tiler, the shower leaks (noted on page 28) were found to be caused by deteriorated grout and silicone. This has since been redone in full — see attached invoice on the following page.

As per defects noted in the Roof System section of this report, the owners are happy to replace the roof.



RED LBP PRE-PURCHASE REPORT

- ✓ Completed by a trade professional
- ✓ Complies with NZS 4306:2005 Residential Property Inspection
- ✓ Full comprehensive written report
- ✓ Non-invasive moisture testing
- ✓ Floor level spot checked
- ✓ Summary identifying any significant faults or defects



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PRE-PURCHASE



YOUR INSPECTOR



Jamie Chapman

Red LBP Inspector for Christchurch North

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- ✔ **Licensed Building Practitioner (LBP)**
- ✔ **12 years experience working in the building industry**
- ✔ **2 years of international building experience in Brisbane**
- ✔ **Built spec homes while working as a foreman**
- ✔ **Known for punctuality and maintaining a strong reputation for quality work**

Hi, I'm Jamie, franchise owner and inspector for Red LBP Christchurch North.

I am a Licensed Building Practitioner and qualified builder with over 12 years of experience in the industry. Born and raised in Christchurch, I expanded my expertise in Brisbane, gaining two years of international building experience before returning home in 2017. I have built several spec homes in Christchurch while also working as a foreman, further refining my skills in construction management.

Recognising the need for a career shift that would allow me to stay within the industry I'm passionate about, I took the opportunity to invest in a Red LBP franchise. This role enables me to apply my extensive building knowledge to help clients make informed property decisions.

When I'm not conducting inspections, you'll find me out on my mountain bike or spending time with my wife and our two dogs. I take great pride in my professionalism, punctuality, and the reputation I've built within the industry.

ABOUT RED LBP

Red LBP is New Zealand's trusted network of experienced, Licensed Building Practitioners. We provide thorough, independent property inspections, ensuring buyers and homeowners have the knowledge they need to make informed decisions. With a commitment to quality, compliance, and customer confidence, Red LBP inspectors uphold the highest standards in the industry.

For more information, visit redlbp.co.nz.

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PRE-PURCHASE BUILDING REPORT

Property Address	69 Marshland Road, Shirley, Christchurch 8061
Client	Ana Paula da Silva & Luis Fernando da Silva
Date of Inspection	25th May 2026
Time	8:00 am
Inspector	Jamie Chapman National Certificate in Carpentry
LBP Number	BP137228
People Present	Inspector
House Occupied	No



CERTIFICATE OF INSPECTION IN ACCORDANCE WITH NZS 4306:2005

Company: JBC Builders Limited Ltd trading as RedLBP Christchurch North
Client: Ana Paula da Silva & Luis Fernando da Silva
Date of Inspection: 25th May 2026
Site Address: 69 Marshland Road, Shirley, Christchurch 8061
Inspector: Jamie Chapman
Qualifications: National Certificate in Carpentry

The following areas of the property have been inspected:	Yes	No	Limited	N/A
Site	☒	☐	☐	☐
Subfloor	☐	☐	☒	☐
Exterior	☒	☐	☐	☐
Roof Exterior	☐	☐	☒	☐
Roof Space	☐	☐	☒	☐
Interior	☒	☐	☐	☐
Services	☐	☐	☒	☐
Accessory Units, Ancillary Spaces and Buildings	☐	☐	☐	☒

Any limitations to the coverage of the inspection are detailed in the written report.

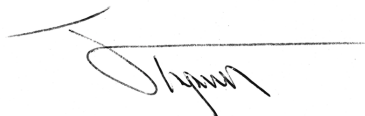
Certification:

I hereby certify that I have carried out the inspection of the property site at the above address in accordance with NZS 4306:2005 Residential property inspections - and I am competent to undertake this inspection.

Name: Jamie Chapman

Date: 25th May 2026

Signature:



(for and on behalf of RED LBP)

An inspection that is carried out in accordance with NZS 4306:2005 is not a statement that a property complies with the requirement of any Act, regulation or bylaw, nor is the report a warranty against any problems developing after the date of the property report. Refer to NZS 4306:2005 for full details.

Note * please refer to TERMS of ENGAGEMENT

SCOPE OF REPORT, LIMITATIONS & CONDITIONS

PRE-PURCHASE BUILDING REPORT

The report should be seen as a reasonable attempt to identify any Significant Fault or Defect visible at the time of the visual Inspection rather than an all-encompassing report dealing with the home from every aspect. The reporting of any Significant Fault or Defect is on an exceptional basis, rather than reporting on items, which are in acceptable condition for their age.

"Significant Fault or Defect" is defined in the Standards as – "A matter which requires substantial repairs or urgent attention and rectification."

A Significant Fault or Defect will be addressed in the Executive Summary section of the report as maintenance or remedial work.

This report type is to identify the structural aspects of the dwelling, and report on the type, location, and defects/damages of each aspect. It is not designed to replace the input from an engineer, however, will highlight any items that require further investigation from other professionals.

This report is designed to satisfy the requirements of lenders and homeowners that the property will fulfil the requirements of the Standards.

This report is not a defects list and should not be construed as such. The property report does not contain any assessment in relation to any item which is subject to a special purpose report (items will be mentioned as they are part of the property).

1) The scope of the report will be limited to:

- a. Significant defects
- b. Particular attributes
- c. Gradual deterioration; and
- d. Significant maintenance required

2) It will exclude:

- a. Legal title
- b. Building warrant of fitness and services prescribed on a compliance schedule
- c. Planning, resource consent issues
- d. Building consent issues
- e. Long term maintenance planning
- f. Rental property tenancy inspections
- g. Heritage obligations
- h. Compliance the Body Corporate rules, the terms of memorandum of cross lease or a company title occupation agreement.
- i. LIM – Land Information Memorandum

GENERAL

The Report is to be used by the Client only as guidance for evaluation of the condition of the premises and is not intended as an all-encompassing Report dealing with the Premises from every aspect. This report should be seen as a general guide from a trade professional providing a snapshot of the property and its elements. It is not designed to advise a potential buyer on the advisability of purchase, rather to provide enough information to satisfy the client and the lender on the elements of the property from a general perspective.

The inspection should not be misused as a form of compliance inspection as per the local authorities, nor should it be used as any guarantee or warranty of the present or future adequacy or integrity of any of the systems reported on in the property.

Weathertightness – This will be considered regardless of age, however it will not be measured against appendix A of the Standards or to E2/AS1 of the Building Code, Matrix and Evaluation, as this would be subject to a specialist report.

Please note that although moisture readings will be taken and will be reported on if they are deemed to be outside of a general tolerance, this does not replace the recommendations of a trade qualified weathertightness expert, and any readings taken are of a non-invasive type only. Any descriptions presented within this report, are based on trade knowledge and experience. These should be taken as general estimates only, based on the opinion of the (LBP) Licenced Building Practitioner completing the report and there may be cause for variation.

Should any disputes arise due to the content of this report, this will be actioned as per the terms and conditions accepted at the time of booking the inspection.

In all inspections, the inspector will not touch or move vendor's, tenant's or occupant's possessions or other items within the house and RedLBP inspectors will not be responsible for linings, flooring and other areas not able to be seen because of such possessions or items obscuring line of sight observations. This applies equally where carpeting, mats and so on might be obscuring/covering a view of any issues or defect in concrete or wooden flooring. The Inspector shall not disassemble equipment, or undertake any intrusive or destructive inspection, moving of furniture, appliances or stored items, or excavation.

The report is valid only for the day of the inspection, after which time the premises will require re-inspection to determine the currency of the report together with any changed circumstances which may affect the premises.

This report contains information obtained by inspection, sampling, testing or other means of investigation. Unless specifically stated otherwise in this report, RedLBP has relied on the accuracy, completeness, currency, and sufficiency of all information provided to it by, or on behalf of, the Client or any third party, and has not independently verified the information provided. RedLBP accepts no responsibility for errors or omissions in, or in the currency or sufficiency of, the information provided.

This report must be read in its entirety, it may not be reproduced in part by any individual.

Only the named owner of the report may use the information contained within the report.

The purchaser of this report has purchased the right to review the information contained within the report. All information remains the sole property of RedLBP Ltd.

This report has been produced as a result of a visual-only inspection of what was seen at the time and day of the inspection. The report is general in nature and is not intended as a substitute for professional advice. Nor does it purport to a survey plan of the site of the building. If further clarification is needed on any comments or any explanation at all, is required on any part of the report or photos then please contact the writer as soon as possible.

All reports are prepared and completed by an independent franchisee of RedLBP Limited. RedLBP Limited operates solely as the franchisor and is not responsible for the quality or accuracies of the output of its franchisees.

[RedLBP T&C's](#)

EXECUTIVE SUMMARY

The overall condition of the house is average. This is in the context of the average condition of similar buildings of approximately the same age, type of construction and material type.
(Stated in accordance with NZS 4306:2005, cl. 3.2.)

The profiled metal roof system has had some repairs done with tape installed over some corrugated sheet join laps and screw fixings installed in a few locations. The tape repairs are more of a temporary fix and not a long-term solution. It is recommended to have a licensed roofer advise further on this roof system. Detailed further in the roof system section of this report.

Signs of stucco plaster crack repair work were noticed and common around the dwelling. However, areas of re-cracking were noted. It is recommended to have an exterior plastering specialist advise further. Detailed further in the exterior plastering section of this report.

Water ponding on top of the ground moisture barrier in the subfloor, and timber staining were noticed approximately below the bathroom area. The heat pump overflow pipe also discharges around this area. It is recommended that a suitably qualified professional investigate and provide further advice. Detailed further in the foundation section of this report.

Certain areas of the property were not fully inspected due to access limitations at the time of the inspection. These included:

Roof space - Was only viewed from the access point.

Subfloor - Was only viewed from the access point.

Roof system - Was only viewed from the ladder.

These limitations may restrict the ability to identify concealed defects. Refer to the relevant sections of this report for further detail.

The dwelling was originally built in the 1940s with a renovation including but not limited to, the bathroom and they're now being a tiled shower.

We recommend checking the records of the Building Consent Authority (BCA) to ensure that all necessary permits, consents, and Code Compliance Certificates are obtained and that the materials and finishes match the approved plans. It is also important to confirm that the floor layout matches the plans.

This Executive Summary identifies only significant defects and significant deferred maintenance. All other findings are recorded in their respective sections of the report.

PROPERTY IDENTIFIERS

Address	69 Marshland Road, Shirley, Christchurch 8061
Legal Description	FLAT 1 DP 65300 ON LOT 15 DP 14027 HAVING SHARE IN 801 M2
Certificate of Title	CB38A/1300
Land classification	Wind Zone - Low (BRANZ - GIS). High density residential zone Land Technical Category Three TC3
Weather	Fine
Soil	Dry
Site Exposure	Sheltered

BUILDING DESCRIPTION

The dwelling was originally built in the 1940s and is located in Shirley. It is a cross-lease title situated on a corner section that is flat.

The dwelling is single-storey with three bedrooms, and one bathroom. Internally, the property has heating that is provided by a wall mounted heat pump and solid fuel burner which are located in the main living area and hallway. The water system is heated by an externally mounted gas califont. The internal linings are plasterboard and lathe and plaster which are decorated with paint. The floors are T&G timber with floor coverings being tile, carpet and timber overlay.

The foundation system is a perimeter concrete ring with piles, with the dwelling being of timber-framed construction. The exterior joinery is aluminium and is single-glazed. The property is clad with a block veneer with a stucco plaster and paint finish. The roof is profiled metal.

There is no garage. The driveway is concrete. Generally, the property has a living aspect of east and includes hard landscaping that consists of concrete paths. Soft landscaping of lawn and gardens.

BUILDING ELEMENTS

Type	Inspected
Roof system	
Profiled metal	Limited access
Flashings & penetrations	Limited access
Guttering, downpipes, fascia & soffits	Limited access
Exterior cladding	
Block veneer with stucco plaster and paint finish	Viewed
Exterior joinery	
Single-glazed aluminium joinery with timber reveals.	Viewed
Foundation	
Site-specific design for the era of construction	Limited access
Roof space	
Timber-framed - roof	Limited access
Wall framing & non-invasive moisture testing	
Timber-framed - wall	Considered
Interior linings	
Plasterboard and fibrous plaster ceiling and wall linings, timber trims and doors.	
Entrance, Hallway	Viewed
Bedroom 1	Viewed
Living room	Viewed
Dining room	Viewed
Kitchen	Viewed
Back entrance, Laundry	Viewed
Toilet	Viewed
Bathroom	Viewed
Bedroom 2	Viewed
Bedroom 3	Viewed

ROOF SYSTEM

Roofing material - Profiled metal - Corrugated- Short run.

Coating - Painted.

Condition of roofing material coating - In a condition expected for age.

Fixings - Mixture of screw and nail.

Laps - Areas requiring maintenance, Refer to the photos below.

Corrosion or damage to the roofing material - None visible at the time of the inspection.

Parapets - No obvious issues observed from the ladder.

Moss, mould or lichen - None visible at the time of the inspection.

Roof-to-wall junctions - No visible issues at the time of the inspection.

Defects - Refer to the photos below.

Type of roof construction - Mono-pitch.

Deflections of roof planes - No visible deflections in the roof lines at the time of the inspection.

Every effort will be made to safely conduct a thorough inspection, however, if certain areas are inaccessible, they will be observed from the best available vantage point within the inspector's line of sight. Photographs will be taken to document all visible areas for reference.

Recommendations:

As viewed in the photos below, signs of tape repairs and silicone over some nail fixing holes were noticed around the roof system, as well as lifting lap joins. The tape repairs are more of a short-term, temporary fix, not a long-term solution. It is recommended to have a licensed roofer advise further on the roof system.



Photo 3

A profiled metal roof with nail and screw fixings is located over the dwelling.



Photo 4

Lifting at the corrugated metal lap joints were noticed in a few locations on the roof system.



Photo 5

A couple penetrations filled with silicone were noted over the roof system. Some areas had visible holes.



Photo 6

Signs of tape repairs were visible on the roof system mainly on the south side.



Photo 7

A few areas of dented corrugated metal sheeting were noted around the roof system. This is commonly caused by people walking on the roof.

Flashings as per their design are never completely visible, the inspector will view all areas accessible safely from a 3.6-metre ladder or safe vantage point.

Parapets - Visible areas only.

Material type - Metal.

Finish - Painted.

Condition - In a condition expected for age.

Laps - No visible issues at the time of the inspection.

Apron - Visible areas only.

Material type - Metal.

Finish - Painted.

Condition - In a condition expected for age.

Laps - No visible issues at the time of the inspection.

Penetrations

Type - Pipes.

Flashing material - EPDM boot.

Condition - Areas requiring maintenance.

Flashings - Not fully visible at the time of the inspection.

Sealants - Signs of ageing.

Signs of leaking - None visible during the inspection.

Recommendations:

As previously detailed, it is recommended to have a licensed roofer to advise further on this roof system.



Photo 8
Metal flashings installed over the
parapet walls.



Photo 9
Apron flashings located at the roof to
wall junctions.



Photo 10
Vent penetration with boot flashing.
Note, the water ponding behind the
roof penetration. Installing a watershed
back flashing is recommended.



Photo 11

East side flue and overflow penetrations with visible repairs noted around the overflow penetration.

Guttering

Type - External.

Material - uPVC.

Falls - Functional.

Fixings/brackets - Functional.

Obstructions - Leaf and debris require clearing.

Damage/Corrosion/Leaks - None visible at the time of the inspection.

Adequate outlets - Yes.

Droppers - No visible issues at the time of the inspection.

Moss and/or lichen visible on or in the guttering system - None visible at the time of the inspection.

Downpipes

Material - Profiled metal.

Fixings - No visible issues at the time of the inspection.

Brackets - No visible issues at the time of the inspection.

Damage - No visible issues at the time of the inspection.

Leakage, blockages - No visible issues at the time of the inspection.

Discharge - Risers.

Fascia & bargeboards

Material - Timber.

Finish - Paint.

Damage - No visible issues at the time of the inspection.

Maintenance recommendations:

At the time of the inspection, the gutters were found to be clear. To maintain proper drainage, it is crucial to ensure gutters remain free of debris. Blocked gutters can result in water overflowing and accumulating on the roof or other parts of the building, potentially causing water damage, leaks, and structural issues. Regular maintenance, such as removing leaves, twigs, and other debris, prevents blockages and ensures efficient water flow away from the roof, protecting the building's integrity.



Photo 12
uPVC gutters and timber fascia boards
are located on the dwelling.



Photo 13
The gutter system was clear of debris
during the inspection.



Photo 14
PVC downpipe located on the south
west corner of the dwelling.

EXTERIOR CLADDING

Masonry block.

Finish - Plastered with a paint finish.

Erosion or spalling - None visible.

Mortar erosion/issues - None visible.

Cracking - Refer to the photos below.

Loose blocks - None visible.

Block to foundation alignment - No visible issues at the time of the inspection.

Vent holes - Areas covered by vegetation or foliage.

Movement or cracking - Areas as shown in photos below.

Penetrations - Seal and maintain any penetrations as required.

Dampness or moisture damage - None visible at the time of inspection.

Lime leaching - None visible at the time of the inspection.

Efflorescence - None visible at the time of the inspection.

Ground clearances - Bottom of masonry veneer cladding to paving - 50 mm. Bottom of masonry veneer cladding to unpaved ground - 100 mm. No visible issues at the time of the inspection.

The exterior cladding was only viewed from any visible ground-level location or from any deck or balcony on the outside of the dwelling.

Recommendations:

As viewed in the photos below, stucco plaster repairs were noted around the dwelling; however, areas of re-cracking were noticed as well. It is recommended to have an exterior plastering specialist advise further on repairing the cracked stucco plaster.



Photo 15

Stucco plaster over masonry blocks is located around the dwelling.



Photo 16

Stucco plaster repairs and re-cracking were noticed around the dwelling. Photo of the south facing elevation.



Photo 17

Example of a stucco plaster crack noticed around the dwelling.



Photo 18

It is unknown why these brackets have been installed on the south facing elevation.



Photo 19
West facing stucco plaster crack.

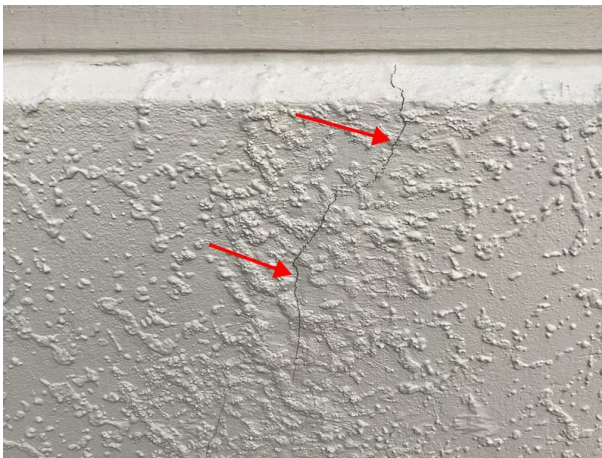


Photo 20
Stucco plaster repairs and re-cracking were also noticed on the north and east side.



Photo 21
Metal brackets were also visible on the inside of the parapet wall. Indicating repairs.

EXTERIOR JOINERY

Single-glazed aluminium joinery.

Coating - Anodised.

Joinery rubbers - Shrinking or pulling away from corners.

Aluminium - No visible issues at the time of the inspection.

Hardware - Repairs or maintenance required (refer to the photos below).

Tracks, drainage channels & weep-holes - No visible issues at the time of the inspection.

Reveals - Timber.

Finish - Painted. Requires maintenance.

Damage - None visible at the time of the inspection.

Scribers and/or seals - Visible gaps.

Entrance doors - Timber door and frame.

Defects - Refer to the photos below.

Recommendations:

To prevent water and draughts from entering, it is recommended to replace or properly re-seat the rubber seals on the exterior of the joinery. By doing so, you can ensure a tight seal that effectively safeguards against water and draught ingress.

Keep up regular maintenance and ensure the weep holes and tracks are kept clean and clear.



Photo 22

Single glazed aluminium windows are located around the dwelling.



Photo 23

The window rubbers were noticed to be shrinking or pulling away from the corners.



Photo 24

Example of a window rubber pulling away from the corners.



Photo 25

Cracking at the aluminium to plaster junctions were noticed in a couple locations. It is recommended to keep these junctions well sealed and maintained.



Photo 26

Aluminium windows viewed from inside the dwelling.



Photo 27

A couple of the window hardware latches were slightly loose. Recommend tightening.



Photo 28

A couple areas of timber revealed defects noted. Keep up regular maintenance.

FOUNDATION

The subfloor space was accessed via the floor hatch located in the hallway cupboard with approximately 50% visibility inside the subfloor.

Please note this is a restricted access area for inspection due to current NZ legislation (Health & Safety at Work Act 2015). Every effort will be made to safely conduct a thorough inspection; however, if certain areas are inaccessible, they will be observed from the best available vantage point within the inspector's line of sight. Photographs will be taken to document all visible areas for reference.

Foundation type - Site-specific design for the era of construction.

Foundation wall - Perimeter concrete beam.

Subfloor ventilation - Vents.

Piles - Precast concrete.

Subfloor timbers, type and condition - Suspended timber floor. Signs of moisture.

Flooring - type and condition - Timber flooring

Insulation - Polyester.

R value of insulation - R1.4.

Coverage - Full coverage where visible.

Ground cover - Polythene - Tidy where visible.

Ground condition - Not visible below the dwelling due to the presence of the moisture barrier.

Underfloor Space - Tidy.

Electrical - Modern TPS (Tough Plastic Sheath) wiring visible

Non-Electrical wiring - Aerial/Data - Visible.

Plumbing - Waste and water pipes visible

Plumbing type - Galvanised, polybutylene - Grey and uPVC.

Structural alterations - Yes.

Sub-floor Clearance - Where visible - 450 mm below the bearer.

Defects - Refer to the photos below.

Floor levels were spot-checked for indicative purposes only using a self-levelling laser. The measurements taken indicate an overall level difference of approximately 35mm in the areas assessed, with an area in the living room falling outside of the commonly reference guidance range for general residential floor performance. Some floor level deviations are to be expected in a dwelling of this age.

This assessment is not a floor level survey or a compliance check and is limited to a non-invasive spot-check of selected areas only. Further investigation by an appropriately qualified professional may be warranted to determine the cause and extent of the variation, if required.

Recommendations:

Water ponding on top of the ground moisture barrier was noticed below the bathroom area and below the heat pump overflow pipe. With timber staining visible as well as indications of elevated moisture readings detected inside the bathroom on the timber door, which is detailed further in the bathroom section of this report. It is recommended to have a suitably qualified and licensed professional to investigate and advise further in this area. It is also recommended to ensure the heat pump overflow pipe discharges to the exterior of the dwelling.



Photo 29

Concrete ring foundation repairs noticed on the south side.



Photo 30

It is recommended to keep a clear gap between the vegetation and concrete ring foundation vent to help with airflow through the subfloor.



Photo 31

East side concrete ring foundation repairs with hairline re-cracking visible.



Photo 32

The floor levels were spot checked around the dwelling using a self levelling laser.



Photo 33

A 35 mm deviation was noticed in the living room over an approximate 3 m distance.

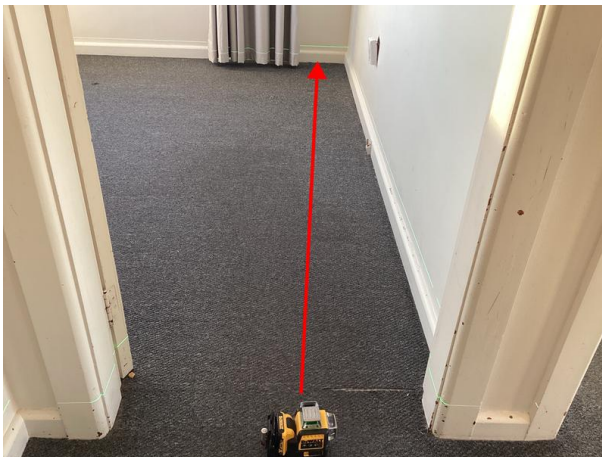


Photo 34

A 15 mm high point over a 3 m distance was noted in bedroom three.



Photo 35
View of inside the subfloor.



Photo 36
Tie wire connections were visible between the concrete piles and timber bearers.



Photo 37
A couple areas of floor relieving pile/packing were visible.



Photo 38
Polyester insulation located in the subfloor.

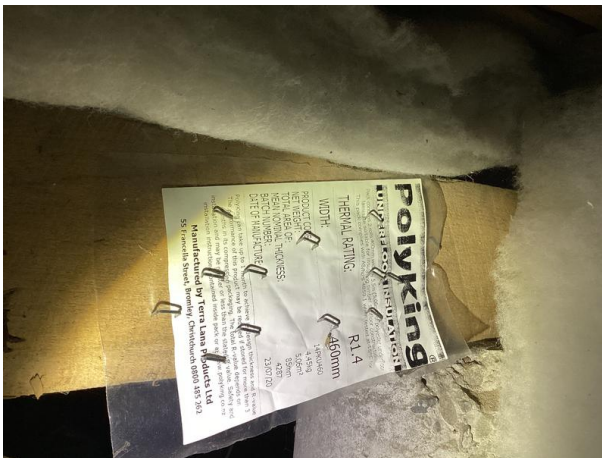




Photo 41

Water ponding on top of the ground moisture barrier was noticed approximately below the shower.



Photo 42

Timber staining was noted around this area.



Photo 43

The heat pump overflow pipe also discharges into the subfloor around this area.



Photo 44

Example of the timber staining visible around the bathroom and heat pump overflow pipe.

ROOF SPACE

The ceiling space was viewed from the top of a ladder via a manhole located in the bedroom.

Every effort will be made to safely access and inspect the roof space, however, if certain areas are inaccessible, they will be assessed from the best available vantage point within the inspector's line of sight. Photographs will be taken to document visible areas for reference. It is important to note that not all parts of the roof structure may be visible during the inspection. The primary objective is to identify any significant defects observable through a visual assessment of accessible areas.

Roof frame construction and connections - Pitched timber framing. Connections were not all visible.

Condition - No issues visible.

Roofing underlay - Timber sarking.

Structural alterations - No.

Ceiling construction - Not visible.

Vermin and insects - No visible signs during the inspection.

Electrical - Modern TPS (Tough Plastic Sheath) wiring visible

Non-Electrical wiring - Aerial/Data - Visible.

Plumbing - None visible.

Insulation - Glass wool.

Thickness of insulation visible - 125 mm.

Coverage - Blanket - Fitted between or over joists - Full coverage where visible.

Discharges into the roof space - None.

Stored items - No.

Recommendations:

Due to the limited access and visibility in this roof space, under some areas of tape repairs and lifting lap joints were not able to be viewed from inside the roof space that were noted on the roof system.

Maintenance recommendations:

Regular maintenance of the property should include periodic visual inspections of the roof space through the manhole. These checks are essential to identify potential issues such as water leaks, signs of pest infestation, or other structural concerns. Conducting these inspections can help detect problems early, allowing for timely repairs and preventing more significant damage or costly remedial work in the future.



Photo 45

View of inside the roof space. Note, the limited access and visibility.



Photo 46
Masonry blocks located around the perimeter of the dwelling.



Photo 47
Glass wool insulation located in the roof space.



Photo 48
Insulation label.

WALL FRAMING & NON-INVASIVE MOISTURE TESTING

Trotec T660 Moisture Metre is used for the testing of moisture levels in the dwelling.

Device is held up against the wall, timber or concrete and the unit scans up to 40 mm from the surface. Where moisture is located, the readings from the metre will increase significantly. (Note: Metal also increases the readings of capacitance metres)

Measurement Method: Capacitance - Di-electric

Measurement Range: 0-200 digits

The measurement is effected according to the dielectric measuring principle.

* The measurement results are only to be used as reference for a rough orientation.

* An important variable influencing the measured value is the bulk density of the element to be measured. The higher the bulk density, the higher the measured value.

* If the material to be measured contains metals (e.g nails, screws, lines, pipes, foil backed plasterboard, fixings etc.) and is situated within the sensor's measuring field, the measured value increases significantly. In that event the measurement is not conclusive.

* With material thicknesses of less than 20 mm there is a danger of humidity values adjacent material layers affecting the measured value.

MEASURED VALUE ASSESSMENT FOR WOOD

0 to 50 = Dry

Higher than 80 = Limit to the saturated range

Since the measurement value displays of the dielectric measurement method - depending on marginal conditions - are subject to great fluctuations, a resistance measurement is always preferable, in particular for the determination of wood moisture.

MEASURED VALUE ASSESSMENT FOR BUILDING MATERIAL

For building materials the measurement results of the dielectric measuring method can only be used as reference for a rough orientation. Conclusions with respect to absolute humidity in mass % (M%) can only be drawn for measurements, performed with the exact same marginal conditions and compositions of the building materials as indicated for the test set-up in the chart below.

Values are indicative only (dry, damp, wet).

0 to 50 = Dry

50 to 80 = Damp

Higher than 80 = Wet

'Supplementary' moisture testing photos are a representative sample of the comprehensive testing conducted.



Photo 49

Example of a base reading that was taken on an internal wall. This was the average moisture reading for this dwelling during the inspection.



Photo 50

Moisture testing was done around the external walls of the dwelling.



Photo 51

Moisture testing was done around the external window joinery.



Photo 52

Moisture testing was done around plumbing and wet areas.

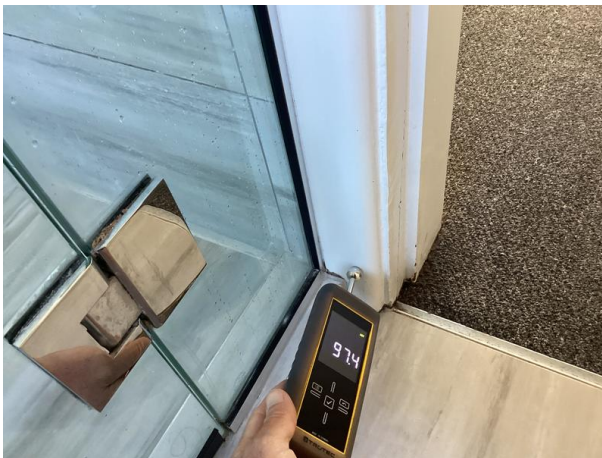


Photo 53

With indications of elevated moisture readings detected beside the tiled shower. Detailed further within this report.

INTERIOR LININGS

Plasterboard and fibrous plaster ceiling and wall linings with a paint finish, timber trims and doors with a paint finish, carpet, vinyl and tile floor coverings.

The inspection and resulting report are not intended to comprehensively identify or describe minor faults or minor defects. A minor fault or minor defect is a matter which, in view of the age, type or condition of the residential building, does not require substantial repairs or urgent attention and rectification and which could be attended to during normal maintenance. Minor faults and defects are common to most properties and may include minor blemishes, corrosion, cracking, weathering, general deterioration, unevenness, and physical damage to materials and finishes.

Due to the finishes and cosmetic renovations undertaken to the property, it is not possible to identify ceiling and wall linings definitively, they may be plasterboard, fibrous plaster and/or lath & plaster.



Photo 54

Wall lining cracking was noted around the dwelling. This is not fully commented on within this report.



Photo 55

Example of the cracking noted on the wall linings.



Photo 56

Ceiling defects are also noticed around the dwelling.

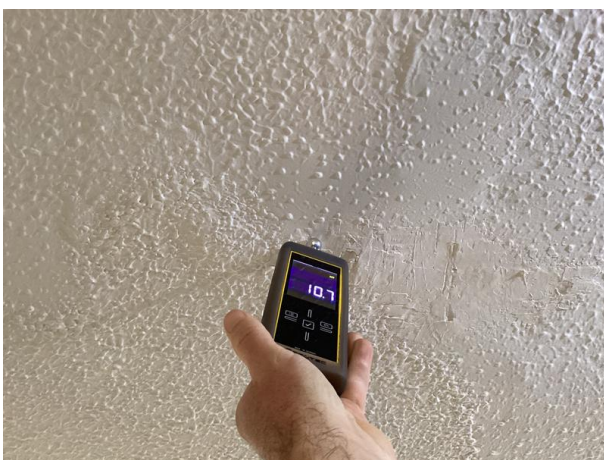


Photo 57

The defects noted on the ceilings returned dry/normal moisture readings during the inspection.

Entrance and Hallway

Ceiling linings - lath & plaster - Paint finished.

Ceiling defects - Cosmetic issues.

Ceiling-wall junction - Square stopped.

Wall linings - lath & plaster - Paint finished.

Wall defects - Cosmetic issues.

Exterior joinery - Timber - Single-glazed - Standard glass - Painted timber reveals.

Internal doors - Hollow core.

Floor coverings - Carpet.

Cupboards - Quad - Doors - Hollow core.



Photo 58
Entrance.



Photo 59
Hallway.

Bedroom 1

Ceiling linings - lath & plaster - Textured finish.

Ceiling defects - Damaged.

Ceiling-wall junction - Square stopped.

Wall linings - lath & plaster - Paint finished.

Wall defects - Cracking.

Exterior joinery - Aluminium - Single-glazed - Standard glass - Painted timber reveals.

Internal doors - Hollow core.

Floor coverings - Carpet.

Wardrobe - Double - Doors - Hollow core.

Defects - Ceiling defects and wall lining cracking was noted in bedroom one.



Photo 60
Bedroom 1.

Living room

Ceiling linings - lath & plaster - Paint finished.

Ceiling defects - Cosmetic issues.

Ceiling-wall junction - Square stopped.

Wall linings - lath & plaster - Paint finished.

Wall defects - Cracking.

Exterior joinery - Aluminium - Single-glazed - Standard glass - Painted timber reveals.

Floor coverings - Carpet.

Defects - Ceiling defects and wall lining cracking was noted in the living room.



Photo 61
Living room.

Dining room

Ceiling linings - lath & plaster - Textured finish.

Ceiling defects - Cosmetic issues.

Ceiling-wall junction - Square stopped.

Wall linings - lath & plaster - Paint finished.

Wall defects - Cracking.

Exterior joinery - Aluminium - Single-glazed - Standard glass - Painted timber reveals.

Internal doors - Hollow core.

Floor coverings - Carpet.

Cupboards - Double - Doors - Panel.



Photo 62
Dining room.

Kitchen

Ceiling linings - Plasterboard - Paint finished.

Ceiling-wall junction - Square stopped.

Wall linings - Plasterboard - Paint finished.

Wall defects - Cosmetic issues.

Exterior joinery - Aluminium - Single-glazed - Standard glass - Painted timber reveals.

Benchtop - Sealed to cabinet/wall junction - Upstand.

Benchtop material - Solid surface.

Benchtops level - Yes.

Damage - None visible at the time of the inspection.

Splashback - Upstand.

Cabinetry - Functional - Yes. Material type - Timber

Cabinetry requires maintenance - Yes.

Water hammer - No noise or vibration noted.

Sink - Leaks or visible issues - No.

Faucet functional - Yes.

Type of plumbing - uPVC waste

Heat shield - Oven upstand.

Cooktop - Electric - Checked. Functional - Yes.

Oven - Powered on only - Functioning - Yes.

Mechanical ventilation - Functional - Yes.

Floor coverings - Timber overlay.

It is outside the scope of this report to check the operation and performance of the appliances, these are checked only for power connection. It is recommended that appliances are serviced regularly to ensure proper safe operation.



Photo 63
Kitchen.



Photo 64
General wear and tear noted on the kitchen cabinetry.

Back entrance and Laundry

Ceiling linings - Plasterboard - Paint finished.
Ceiling-wall junction - Square stopped.
Wall linings - Plasterboard - Paint finished.
Exterior joinery - Aluminium - Single-glazed - Standard glass - Painted timber reveals.
Floor coverings - Timber overlay.
Laundry tub/sink - Built in timber with stainless steel tub. No visible issues.
Taps & waste - Functional - Yes.
Leaks - None visible at the time of the inspection.
Type of plumbing - uPVC waste
Washing machine discharge - Pipe on the side of the laundry tub.
Water hammer - No noise or vibration noted.
Ventilation - Opening window. Mechanical extraction not installed.



Photo 65
Back entrance.



Photo 66
Laundry.

Toilet

Ceiling linings - Plasterboard - Paint finished.

Ceiling-wall junction - Square stopped.

Wall linings - Plasterboard - Paint finished.

Exterior joinery - Timber - Single-glazed - Standard glass - Painted timber reveals.

Internal doors - Hollow core.

Floor coverings - Timber overlay.

Condition of floor coverings - No visible issues.

Cistern & pan - Floor mounted. Tested - Functional - Yes. Toilet seat loose.

Single or dual flush - Dual.

Ventilation - Opening window sash.



Photo 67
Toilet.



Photo 68
Unpainted internal toilet door.
Recommend painting.

Bathroom

Ceiling linings - Plasterboard - Paint finished.
Ceiling-wall junction - Square stopped.
Wall linings - Tiles - Factory finished.
Exterior joinery - Aluminium - Single-glazed - Safety glass - Painted timber reveals.
Internal doors - Hollow core.
Floor covering - Tiles.
Vanity - Wall-mounted.
Taps and waste - Functional - Yes.
Leakage - None visible at the time of the inspection.
Type of plumbing - uPVC waste
Splashback - Mirror.
Shower - Tiled with glass surround.
Glass type - Safety.
Shower pressure - Adequate.
Water hammer - No noise or vibration noted.
Leaks from shower fittings - No.
Mechanical ventilation - Functional - Yes.
Heating - Yes.
Heated towel rail - Yes.
Defects - Refer to the photos below.

Waterproof membrane - The condition of the waterproof membrane to the shower and floor is not visible, and its condition cannot be determined.

All wet areas, due to their exposure to water, carry a risk of water damage to surrounding elements that cannot be seen.

The inspection of showers is limited to testing only using the provided shower rose or handheld rose from outside the shower enclosure, this limits the ability to find leaks.

The statement regarding the shower pressure (adequate or inadequate) reflects the inspector's opinion based on the pressure observed during the inspection and is subjective to the inspector's judgement.

Recommendations:

As viewed in the photos below, indications of elevated moisture readings were detected on the internal door reveal and architrave that is located directly next to the tile shower. Moisture readings were then done on the opposite side of the shower in the hallway and bedroom with no elevated moisture readings detected during the inspection. And as detailed in the foundation section of this report moisture staining was noted below the bathroom area in the subfloor. It is recommended to have a suitably qualified and licensed professional to advise further on this tile shower.



Photo 69
Bathroom.



Photo 70
Areas of missing silicone were noted in the tiled shower. Recommend keeping up regular maintenance of the silicone and grout.



Photo 71
Indications of elevated moisture readings were detected on the internal door reveals and architraves beside the shower.



Photo 72

Example of the elevated moisture readings detected on the internal door reveal.

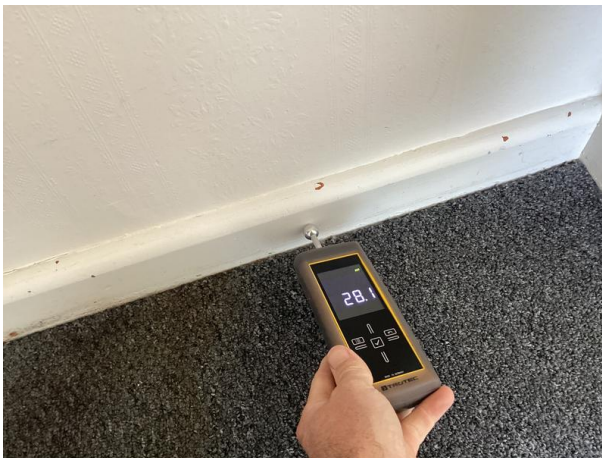


Photo 73

Moisture readings were then done on the opposite side of the shower in the hallway and bedroom with no elevated moisture readings detected during the inspection.

Bedroom 2

Ceiling linings - lath & plaster - Textured finish.

Ceiling defects - Cracking.

Ceiling-wall junction - Square stopped.

Wall linings - lath & plaster - Paint finished.

Wall defects - Cosmetic issues.

Exterior joinery - Aluminium - Single-glazed - Standard glass - Painted timber reveals.

Internal doors - Hollow core.

Floor coverings - Carpet.

Wardrobe - Double - Doors - Hollow core.

Defects - Wall and ceiling defects were noted in bedroom two.



Photo 74
Bedroom 2.

Bedroom 3

Ceiling linings - lath & plaster - Textured finish.

Ceiling defects - Cracking.

Ceiling-wall junction - Square stopped.

Wall linings - lath & plaster - Paint finished.

Wall defects - Cosmetic issues.

Exterior joinery - Aluminium - Single-glazed - Standard glass - Painted timber reveals.

Internal doors - Hollow core.

Floor coverings - Carpet.

Wardrobe - Double - Doors - Hollow core.

Defects - Wall and ceiling defects were noticed in bedroom three.



Photo 75
Bedroom 3.

NON-STRUCTURAL SYSTEMS

The following is a summary of the non-structural systems in the dwelling:

Driveway	Concrete
Boundary Fences	Timber
Paths	Concrete
Electrical	Electrical system
Plumbing, Drainage & Sewerage	water supply, gully-traps and stormwater risers
Heating	Heat pump
Services	Services

DRIVEWAY

Plain concrete.
Saw cuts or construction joints - Yes.
Cracking - None visible.



Photo 76
Concrete driveway, no significant issues.

BOUNDARY FENCES

Painted timber palings fixed to timber rails with timber posts.
Condition of cladding - In a condition expected for age.
Alignment - No visible issues.
Post and rail condition - No visible issues.
Average height - 1.8 metres.



Photo 77
Boundary fences, in a condition expected for age.

PATHS

Plain concrete paths and patio.



Photo 78
Concrete paths with cracking noticed.

ELECTRICAL

Electrical

Electrical sockets - All accessible sockets and light switches throughout the house were tested at the time of the inspection - Tested as operational.

Distribution board location - Entrance. Suspected asbestos-containing material.

Earth stake - Location - Not located.

Meter box - Location - The power metre is located on the distribution board.

Electrical connection - Overhead supply.

Recommendations:

This type of distribution board is of an age where, if upgrades are required to the electrical system, replacement of the board may also be required.

It is recommended to have a registered electrician advise on the electrical system.



Photo 79
Over head power supply.



Photo 80
Meter box and switchboard located in the entrance.

PLUMBING, DRAINAGE & SEWERAGE

Gully traps and stormwater risers.

Water source - Town supply.

The general adequacy of site drainage is not included in the report. Comments on surface water drainage are limited as where there has been either little or no rainfall for a period of time, surface water drainage may appear to be adequate but then during periods of heavy rain, may be found to be inadequate. Any comments made in this section are relevant only in light of the conditions present at the time of the inspection.

Water heating

External gas califont

Location - South side.

Condition - No observable issues.



Photo 81
Kitchen gully trap.



Photo 82
The stormwater riser was not fully visible due to the shed timber flooring.

HEATING

Heat pump - Power connected at the time of the inspection, full operation not tested.

Manufacturer - Fujitsu.

Location - Hallway.

Solid fuel burner.

Location - Living area.

Recommendations:

Follow the manufacturer's recommended servicing schedule to ensure the equipment operates efficiently and maintains optimal performance. Adhering to these guidelines helps identify and address potential issues early, reducing the risk of costly repairs and ensuring compliance with warranty requirements.

Check with territorial authority for solid fuel burners compliance.



Photo 83

External Fujitsu heat pump system.



Photo 84

Fujitsu heat pump located in the hallway.



Photo 85
Fireplace located in the living area.

SERVICES

Services/systems tested.

Fire warning & control systems - Not functionally tested.

Heating systems - Powered on only.

Central vacuum systems - Not applicable.

Ventilation systems - Tested - No.

Heat transfer system - Not applicable.

Security systems - Not applicable.

Security cameras - Not applicable.

Electricity services - Tested - Yes.

Gas services - Tested - Yes.

Gas bottle storage - Tested - No.

Water services - Tested - Yes.

Hot water services - Tested - Yes.

Foul water services - Tested - Yes.

Grey water recycling system - Not applicable.

Rainwater recycling system - Not applicable.

Solar heating - Not applicable.

Solar power/panels/inverter - Not applicable.

Aerials & antennae - Tested - No.

Shading systems - Not applicable.

Data/telecommunications - Tested - No.

Lifts - Disabled access - Not applicable.

Water pump - Not applicable.

Water filters - Not applicable.

Stormwater soak pits - Not applicable.

Distribution board - Tested - No.

Header tank - Not applicable.

Communications hub - Tested - No.

Automatic garage door opener - Not applicable.

Ceiling fan - Not applicable.

Recommendations:

To ensure that your alarm system is functioning optimally, it is recommended to follow the manufacturer's maintenance advice. Additionally, on a monthly basis, you should check the alarm still works by pressing the test facility located on the outside of the device. Replace dead batteries immediately and gently vacuum the dust that gathers on the device. Do not take the alarm apart or off its mount to do this.



Photo 86
South side gas bottle station and hot water Califont.



Photo 87
Satellite aerial located on the roof system.



Photo 88
Smoke alarm located in the hallway.

CONCLUSION

The data and statistical information presented in this report were gathered from reliable, commonly utilised industry sources for survey purposes. While we have made every effort to ensure the accuracy of the information, in many cases, we cannot directly verify the information at its source and therefore cannot guarantee its accuracy.

It is important to carry out regular maintenance on a dwelling to identify and rectify minor problems before they become major, and to maintain weathertightness.

Failure to undertake the recommended remedial and maintenance works outlined in this report may lead to ongoing deterioration of building elements. If left unresolved, this could increase the risk of water ingress, potentially causing damage to internal timber framing, linings, and associated interior finishes.

It is important when carrying out maintenance or renovations to use licensed practitioners, where required. Hiring licensed builders, electricians, plumbers, gasfitters and drainlayers helps make sure the work is done correctly, adheres to safety standards, and meets legal requirements. The use of unlicensed tradespersons may impact your insurance coverage and could ultimately result in higher costs if the work requires rectification later.

Note: Due to current NZ legislation (Health & Safety at Work Act 2015)

We will only provide a very limited visual inspection of the subfloor area that can be seen from the manhole location (within a 2m radius).

If you have any concerns about the condition of the subfloor we recommend engaging a qualified contractor to provide you with a specialist subfloor inspection report.

Floor levels are spot checked using a self-levelling laser. This is not a comprehensive floor level survey and is not designed to replace an engineer's assessment. These measurements are indicative readings only. Floors are spot checked at different areas of the house. If a more in depth level survey is required, a floor level survey should be commissioned.

It would be advisable to have a drainage inspection completed due to the age of the property.

It would be advisable to obtain a copy of the EQ repair works sign off documentation for future reference.

The property is in a condition that would be expected for the age and location with areas of maintenance and repairs recommended throughout this report.

ASBESTOS IDENTIFICATION

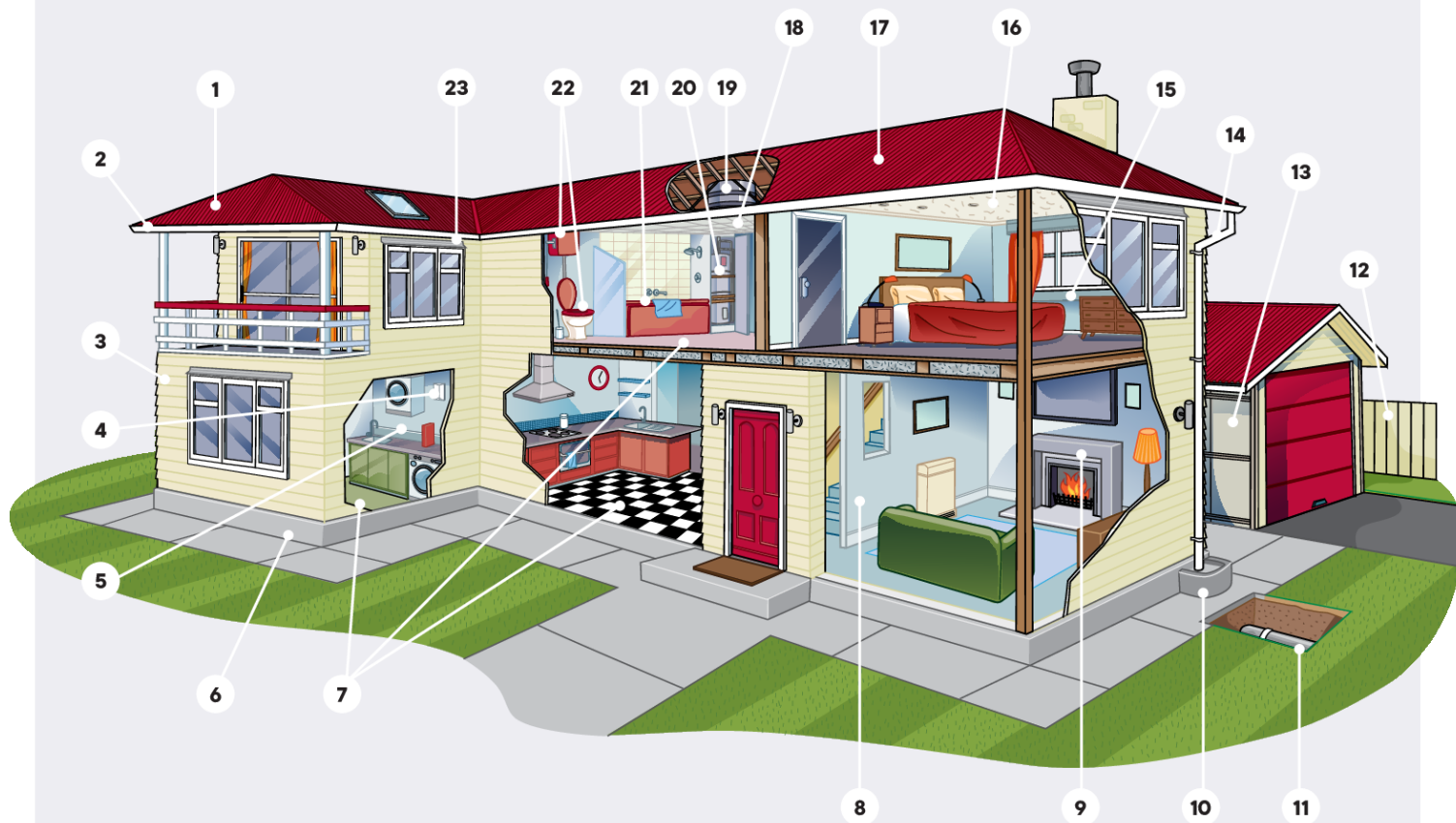
The following is a summary of possible building materials that may contain asbestos:

Asbestos is a naturally occurring mineral that can be fluffed into a woolly consistency and mixed into building materials such as cement. Adding asbestos makes cement more durable, weatherproof and heat resistant, and because asbestos cement sheets are fireproof, builders initially considered them a much safer material than wood. Unfortunately, it is now well known that when asbestos particles are air borne it becomes toxic to inhale. Left undisturbed, these materials pose a negligible risk as long as they are in good condition and it is recommended that the asbestos-containing materials in good condition be left alone.

Stippled/textured ceiling finish.

Distribution/Electrical fuse board.

POTENTIAL ASBESTOS LOCATIONS IN A PRE-2000 HOUSE



- | | |
|--|---------------------------------|
| 1 ACM roofing panels, eg Super Six | 13 ACM clad garage |
| 2 Soffits | 14 Gutters and downpipes |
| 3 Compressed sheeting (asbestos containing material) | 15 ACM interior window panel |
| 4 Electrical meter board | 16 Textured ceiling |
| 5 Wet area lining substrate | 17 Loose fill insulation |
| 6 Cladding, including baseboards | 18 ACM ceiling tiles |
| 7 Vinyl flooring | 19 ACM water tank |
| 8 ACM partition wall | 20 ACM hotwater cupboard lining |
| 9 ACM surrounding fireplace | 21 ACM bath panel |
| 10 ACM stormwater trap | 22 ACM toilet seat and cistern |
| 11 ACM stormwater and sewage piping | 23 Exterior window flashing |
| 12 ACM fence panels | |