

PAPARUA COUNTY COUNCIL

Application No. 2798

Permit No. 1848

Receipt No. 3078

DRAINAGE OR PLUMBING APPLICATION FORMS

I hereby apply for a permit to carry out the following work as per plan attached hereto.

TYPE OF WORK Alterations to existing Sanitary Plumbing & Drainage

SITUATION OF WORK 12 Stewart Rd. Templeron.

OWNER Mrs H. Kissel.

ADDRESS 12 Stewart Rd. Templeron.

BUILDER Mrs. J. Mc Carthy.

ADDRESS Larcombs Rd. Weedons PHONE —

DRAINLAYER S. Litt.

ADDRESS 8 Pilewin Cres PHONE 31-617

PLUMBER as Drainlayer

ADDRESS — PHONE 31-617

VALUE OF WORK £100 FEES PAYABLE £1-0-0

SIGNATURE OF APPLICANT S. Litt.

DATE OF APPLICATION 7th Nov. 63

SCHEDULE OF FEES

ESTIMATED VALUE OF WORK

FEES

Not exceeding £25	5. 0.
Over 25 and not exceeding £50	10. 0.
" 50 " " " £100	1. 0. 0.
" 100 " " " £150	1.10. 0.
" 150 " " " £200	2. 0. 0.
" 200 £2 plus 10/- for every £100 or part thereof in excess of £200.	

NOTE:

The Receipt for fees is NOT THE PERMIT.
It is an offence to commence
sanitary plumbing or drainage
until you have obtained a permit.

FOR OFFICE USE ONLY

Approved Gwyl Fairhall
County Health Inspector

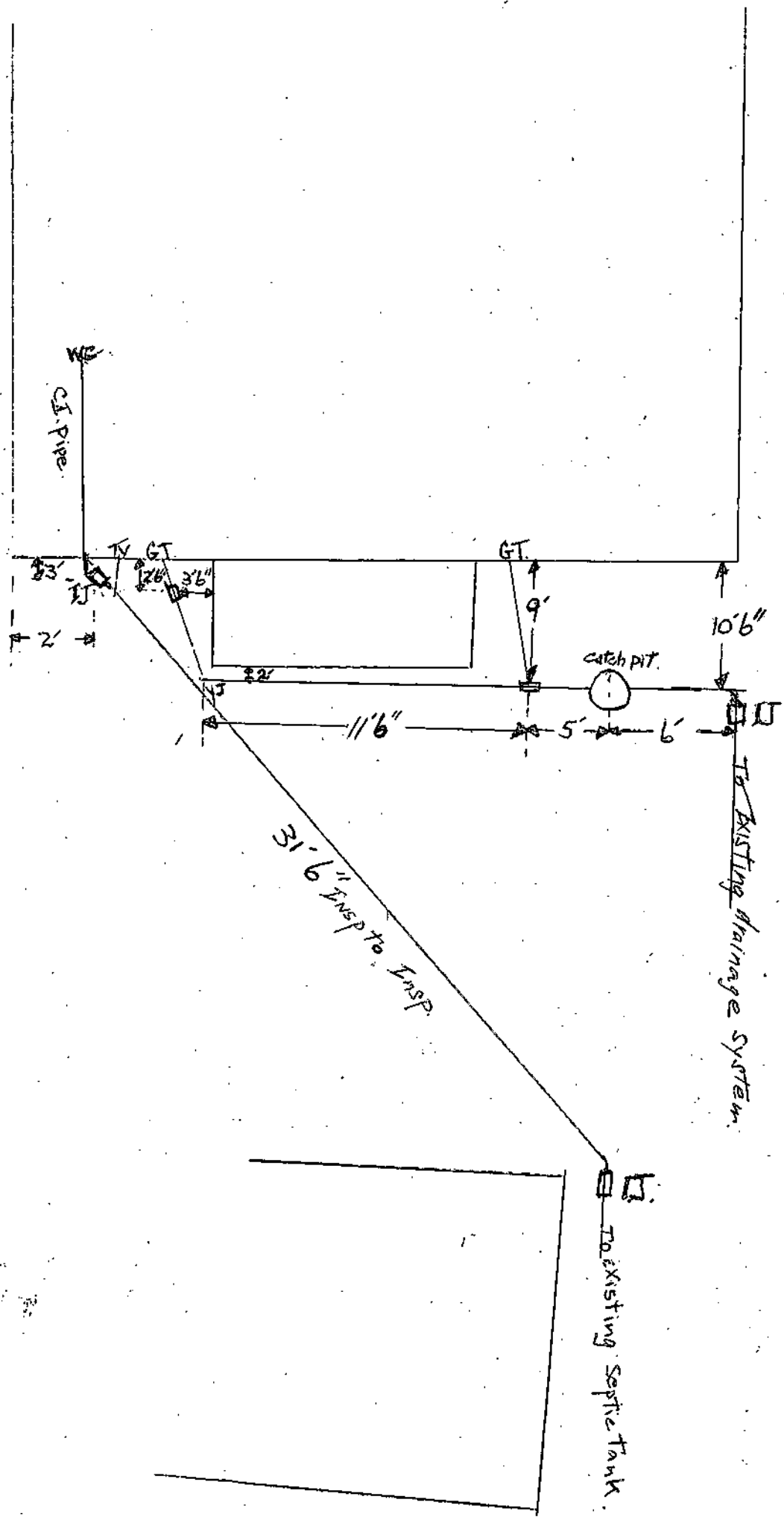
Date 7-11-63

Conditions —

Drain tested 21/11/63 J.

Plumbing passed Gwyl

DRAINAGE PLAN



CHRISTCHURCH CITY COUNCIL

MEMORANDUM

(A C Iversen)
Ref: SOC/90/146

SOCKBURN SERVICE CENTRE

- 6 JUL 1993

FILE COPY

29 June 1993

From: SENIOR PLANNER - SUBDIVISIONS

To: PLANNING ENGINEER
MR BOB WATTS
DRAINAGE AND WASTE MANAGEMENT UNIT

REQUIREMENT TO FILL LAND ON SOC/90/146 12 KIRK ROAD, ALFIELD AND MCKINLEY

I have had a formal request to further consider the requirement to fill land on a subdivision at 12 Kirk Road in Templeton.

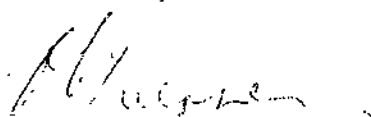
The application plan shows that the land falls in a general south-easterly direction and that part of the property is about 100mm lower than the kerb in the frontage road.

Permission has been obtained to drain roof stormwater into the ground, and the access will not direct any stormwater to the frontage. The filling requirement is not being imposed because of any threat of inundation, and it is therefore questionable whether such fill makes any difference to stormwater drainage.

As I understand the situation, the disposal of stormwater from the Kirk Road side channel is already causing problems and we do not want private sections trying to use this as their outfall.

Current advice is based on the policy that applies in the former Drainage Board District, but I beg to suggest the Templeton area is quite different and needs new techniques that do not collect stormwater, which then causes disposal problems.

I ask that you reconsider the filling requirement.



A C Iversen
SENIOR PLANNER - SUBDIVISIONS

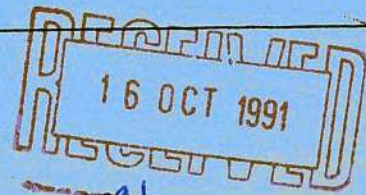
ACI:JCP

REQUEST FOR AFFIXING OF COUNCIL SEAL

To: ADMINISTRATION MANAGER from SOCKBURN SERVICE CENTRE

I certify that the documents listed below are in proper order for the Council Seal to be affixed.

1. Type of Document Discharge of Statutory Land Charge
Address : 12 Kirk Road, Templeton
2. Names of other parties: I.H. & M.E. McKinley
3. Number of copies to be sealed: One
4. Date of Council/Committee* Resolution N/A
5. If no Council/Committee Resolution, reason for urgent sealing: N/A



Dated this 10 day of October 1991

Name V. Vahmuri Designation Area Planner

* Delete not appropriate

*Document sent to Spiller Rutledge
At Mr Costello
30/10/91*

Paul Rutledge LL.B. (Hons), Patrick Costelloe LL.B., William Harbison LL.B., Gregory Trainor LL.B.

William Herbison L.L.B. Gregory Trainor L.L.B.

9109548

MR. ~~RDP~~

VABULIS

REPLY TO FOLLOW

RECEIVED

SOCKBURN
SC

17 SEP 1991

We advise we are the Solicitors acting for the abovenamed.

We enclose a copy of Certificate of Title 34B/434 being the Title to our clients' property at the above address. The Title shows firstly a Statutory Land Charge No. 339579/1 under the Local Government Act. Our client instructs that this was registered when the sewage scheme was installed in the Templeton area to secure the costs due to be paid by our client to the Council. We understand that the moneys owing in relation to this have been paid in full some time ago. Please arrange for a release of the Statutory Land Charge to be sent to us urgently.

Our client has just given a mortgage to the Bank of New Zealand which we wish to register against the Title. You will note your Caveat would prevent registration. So that we may register the BNZ Mortgage we enclose a Caveators consent for execution by the Council. We also enclose our trust cheque in your favour in the sum of \$55.00 in payment of your consent fee.

We would be grateful if you could return the consent at the earliest opportunity as we are unable to register the mortgage without the consent. Should you have any requirements regarding this matter, please do not hesitate to contact the writer.

Per: 

PGC : bmr

References

Prior C/T 394/247

Transfer No.

N/C. Order No. 930692/6



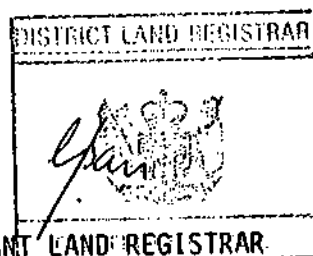
REGISTER

CERTIFICATE OF TITLE UNDER LAND TRANSFER ACT

This Certificate dated the 22nd day of April one thousand nine hundred and ninety-one under the seal of the District Land Registrar of the Land Registration District of CANTERBURY

WITNESSETH that IAN HUGH McKINLAY of Christchurch, Electrician and MARILYN EVA McKINLAY his wife as joint tenants under the Joint Family Homes Act 1964 are ---

seised of an estate in fee-simple (subject to such reservations, restrictions, encumbrances, liens, and interests as are notified by memorial underwritten or endorsed hereon) in the land hereinafter described, delineated with bold black lines on the plan hereon, be the several admeasurements a little more or less, that is to say: All that parcel of land containing 1016 square metres or thereabouts being Lot 5 Deposited Plan 57615 ---



ASSISTANT LAND REGISTRAR

Interests at date of issue:

Settled under the Joint Family Homes Act 1964 on 4.8.1976 at 12.09pm see Application 92087/1

Subject to:

No. 339579/1 Statutory Land Charge pursuant to Section 465 Local Government Act 1974 - 12.8.1981 at 11.09am

CAVEAT 939172/1 BY CHRISTCHURCH CITY COUNCIL - 13.6.1991 at 9.40am

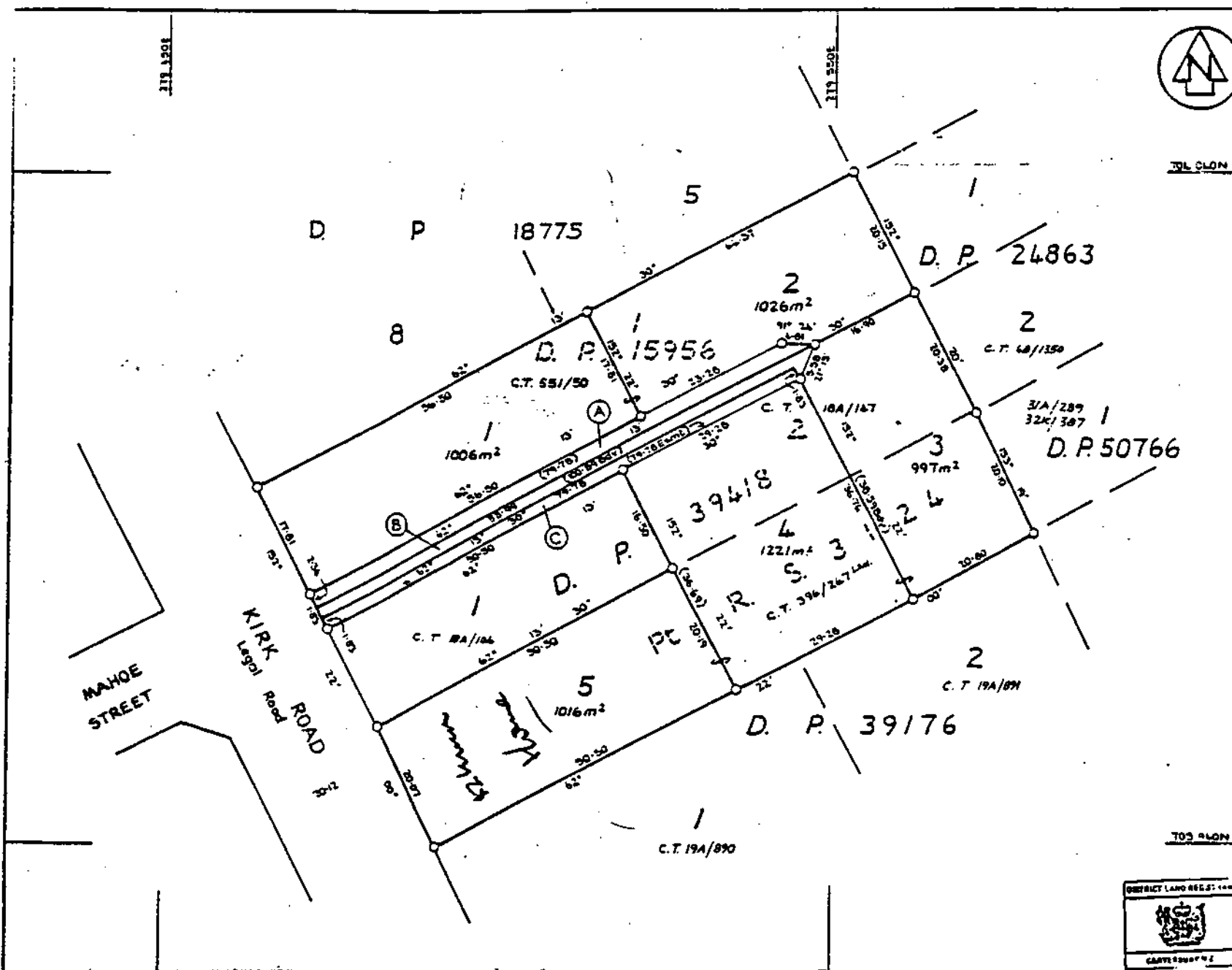
A.L.R.

for A.L.R.



Measurements are Metric

No. 34B/434



Registered Owner

Permitted to a permanent guest before his Local Government
 Jan 1964 dated _____ day of _____
 (10) The Chairman City Council has approved one
 year of temporary residency over the granting or renewing
 of the common law in the metropolitan authority before
SUBJECT to the opening certificate as set out in Council's
 C-170718 drawn in the office of the Queen Land Registrar
 at Christchurch.

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and evening class. For job 4 is associated with the
business and commerce of the Chinese. Chinese believe

THE COMMON SEAL of the
CHICAGO-MAHON CITY COUNCIL
was affixed here
to the original.

Memorandum of Understanding

Nature	Service Tenement		Dominant Tenement
	Lot No.	Shown	
R.O.W. Right to cross	2	A	1, 3, 4
water & sewage to	3	B	1, 2, 4
convey water, electric	6	C	1, 2, 3
power & telephone			
communications			

Total Area.....5266m²

Comprised in C.A.T. 294/243 Lda, 551/50,
18A/147

1. Cofco Export Hazard

Responsible Supervisor and holder of an actual governing certificate for who stay out to a registered territory pursuant to section 33 of the Survey Act 1988 hereby certify that this copy has been taken from surveys conducted by me or under my direction, and both seen and survey are correct and have been made in compliance with the Survey Act 1988 and all regulations made in connection therewith.

Sent to Orin via ... 18.00
 at Orin ... 8.00

Field Book 2075 2-30 Survey Book 2
Reference Plane D 61 15725, 11-08, 10-04, 30-04
19-26, 39-08, 50-14, 10775 D 6 2 26-08
Elevation 6200 Contour 1000

Approved as to Survey

5.13.91 Deputy Chief Surveyor

Decomited this 72nd day of April 1991

~~Asst. District Land Registrar~~

LAND DISTRICT Canterbury

Lots 1-5 being Subdivision of

TERRITORIAL AUTHORITY Christchurch City.....

Presented to C. E. Hoyle

APPLICATION FOR PERMIT FOR
SANITARY PLUMBING OR
DRAINAGE WORK

Application No. 6248
Permit No. 0216
Receipt No. 23541
Assessment No. 35.20/19.3

The Engineer,
Paparu County Council.

I, the undersigned (name in full) IAN HUCK MCKINLAY of
12 KIRK RD TEMPLETON hereby apply for permission for the work described

herein, and set out in the plans attached hereto, to be carried out in the premises
situated at 12 KIRK RD TEMPLETON being Lot 5 D.P. 2643 RPT 3124

Name and address of person for whom work is to be carried out: (i.e. owner or builder)
TO BE NOMINATED

Name and address of Craftsman, Plumber or other person entitled to do the work:
TO BE NOMINATED

Name and address of Registered Drainlayer:
TO BE NOMINATED GE. Orpwood 201a Linwood Ave 2/19/80

Value of proposed work, including materials:
Estimated value of:

Plumbing	\$200	Fee	\$5-00
Drainage	\$500	Fee	\$8-00
		Total	\$13-00

Signature I.H. McKinlay
Date 30-10-80

SCHEDULE OF FEES

ESTIMATED VALUE OF WORK

Not exceeding \$200 - \$5.00
Over \$200 - \$5.00 plus
\$1.00 for every additional
\$100 or part thereof

NOTE

The Receipt for fees is

NOT THE PERMIT

It is an offence to commence
sanitary plumbing or drainage
until you have obtained a
permit.

FOR OFFICE USE ONLY:

APPROVED [Signature] DATE 4/10/80
County Health Inspector

CONDITIONS

4230
1520
4240
160.
10150

3550
4250
4260
1200.
13260
10150.

663000
1326000
1326000
134589000
28000



149 Main South Road
P.O. Box 11011
Sockburn
Christchurch 4
Telephone 45-119

B. L. MOOAR
County Clerk

J. D. ANNAN
County Engineer

RECEIPT NO. 235.42

PAPARUA COUNTY COUNCIL

APPLICATION FOR CONNECTION TO SEWER

TEMPLETON

The Engineer,
Paparu County Council.

I, the undersigned (name in full) IAN HUGH MCKINLAY
of 12 KIRK RO. hereby apply for
permission to connect my premises situated at 12 KIRK RO.
being Lot ET 394/247 D.P. 62 2737 to the
Templeton sewerage scheme.

Ian McKinlay
Signature

- NOTE:
- (1) The connection fee is \$25.00
 - (2) The Drainage permit may be issued subject to conditions.
 - (3) An inspection of the property will be carried out to determine the extent of drainage or plumbing work to be carried out, and the drainage and plumbing permits may then be taken out by the appropriate tradesman appointed by the owner.
- (See Explanatory Note Overleaf)

For Office Use Only

Approved
Conditions

[Signature] Date 30/10/80

PAPARUA COUNTY COUNCIL

TEMPLETON SEWERAGE SCHEME

EXPLANATORY NOTE

1. Application to be made for connection to sewer, and an application fee of \$25 paid to cover the connection to the sewer.
2. An inspection of the property by the County Health Inspector will be carried out to determine the scope of drainage work required (and possibly plumbing work or diversion of stormwater from sewer).
3. It is recommended that quotes to carry out work (from Registered Drainlayers) be obtained to determine the cost of work and an overall quotation provided to the owner.
4. The tradesman chosen by the owner to carry out the work should obtain a Plumbing and Drainage permit from the Council for the work proposed.
5. Existing septic tank soak pits will be considered for use in stormwater disposal provided the existing septic tank is by-passed. Each case will be considered on merit.
6. Any new stormwater soak pits are to be constructed according to the attached instructions.
7. Any existing drains which are to be considered for retention must have been laid in accordance with the Drainage and Plumbing Regulations 1959 and be capable of undergoing a satisfactory water test. (This would mean digging up existing inspection points and having your drainlayer carry out a satisfactory water test under the supervision of the County Health Inspector).
8. Should any further information be required, please enquire from Mr. Minnery, County Health Inspector at the Council Office, Sockburn.



149 Main South Road
P.O. Box 11011
Sockburn
Christchurch 4
Telephone 45-119

B. L. MOOAR
County Clerk
J. D. ANNAN
County Engineer

RECEIPT NO. 23542

PAPARUA COUNTY COUNCIL
APPLICATION FOR CONNECTION TO SEWER
TEMPLETON

The Engineer,
Paparu County Council.

I, the undersigned (name in full) IAN HUGH MCKINLAY
of 12 KIRK RD TEMPLETON hereby apply for
permission to connect my premises situated at 12 KIRK RD
being Lot 5 D.P. 2648 Pts 3124 to the
Templeton sewerage scheme.

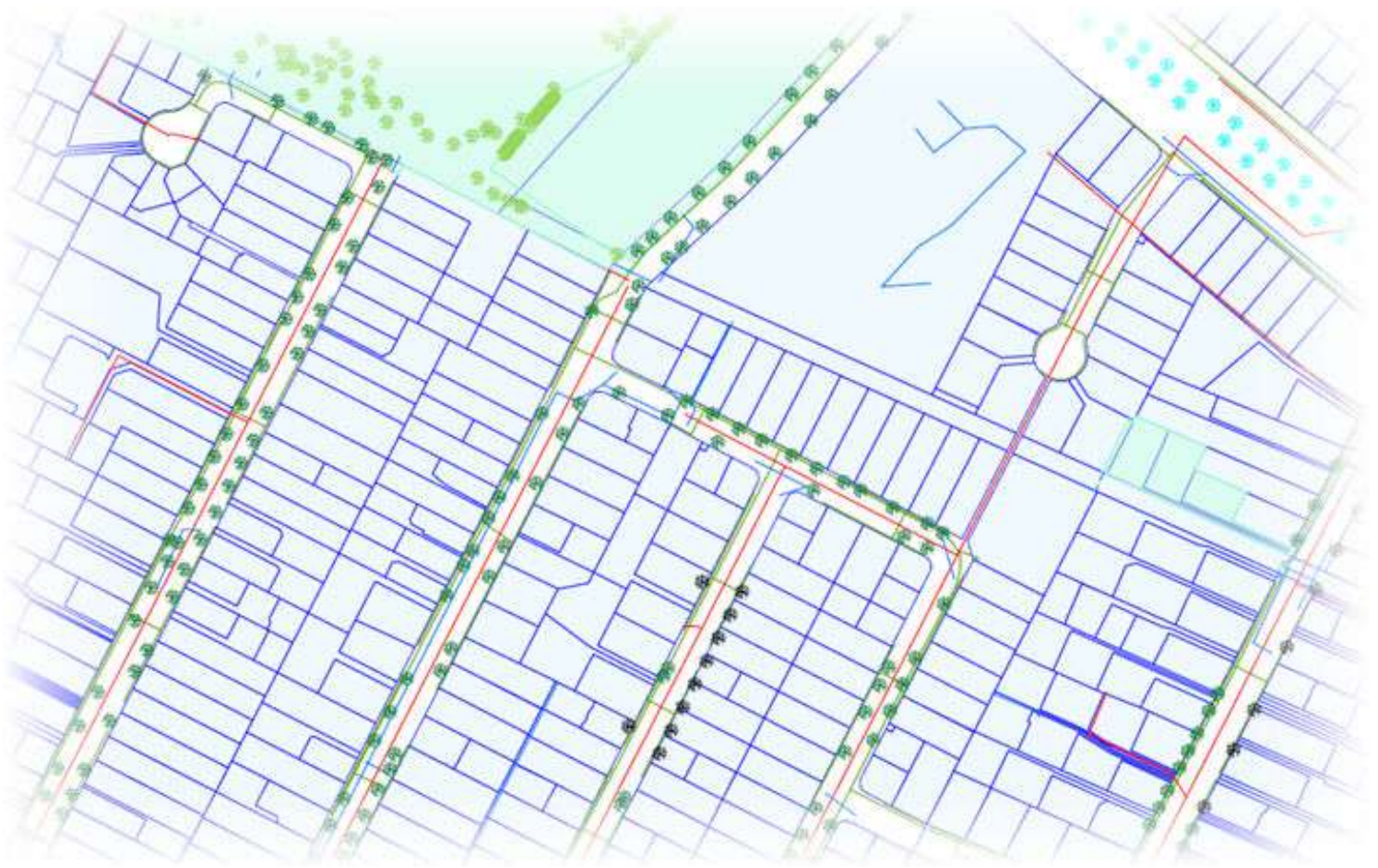
Ian H. McKinlay
Signature

- NOTE:
- (1) The connection fee is \$25.00
 - (2) The Drainage permit may be issued subject to conditions.
 - (3) An inspection of the property will be carried out to determine the extent of drainage or plumbing work to be carried out, and the drainage and plumbing permits may then be taken out by the appropriate tradesman appointed by the owner.
- (See Explanatory Note Overleaf)

For Office Use Only

Approved Date
Conditions

Land Information Memorandum



Property address:
12 Kirk Road

LIM number: 70159282
Page 1

Christchurch City Council
53 Hereford Street, PO Box 73015
Christchurch 8154, New Zealand
Tel 64 3 941 8999
Fax 64 3 941 8984
www.ccc.govt.nz

Application details

Please supply to WILLIAMS & CO
PO BOX 4599
CHRISTCHURCH 8140

Client reference 13235/4

Phone number 3417669

Fax number (03) 366 0562

Date issued 17 July 2014

Date received 9 July 2014

Property details

Property address 12 Kirk Road

Valuation roll number 23521 53900

Valuation information Capital Value: \$350000
Land Value: \$185000
Improvements Value: \$165000
Please note: these values are intended for Rating purposes

Legal description Lot 5 DP 57615

Existing owner

Council references

Debtor number 3168437

Rate account ID 73051099

LIM number 70159282

Property ID 1021495

Document information

This Land Information Memorandum (LIM) has been prepared for the purpose of section 44A of the Local Government Official Information and Meetings Act 1987 (LGOIMA). It is a summary of the information that we hold on the property. Each heading or "clause" in this LIM corresponds to a part of section 44A.

Sections 1 to 11 contain all of the information known to the Christchurch City Council that must be included under section 44A(2) LGOIMA. Any other information concerning the land as the Council considers, at its discretion, to be relevant is included at section 11 of this LIM (section 44A(3) LGOIMA).

The information included in this LIM is based on a search of Council records only and there may be other information relating to the land which is unknown to the Council. Council records may not show illegal or unauthorised building or works on the property. The applicant is solely responsible for ensuring that the land is suitable for a particular purpose.

If there are any blank pages in this LIM this means that the Council does not hold information on the property that corresponds to a part of section 44A.

A LIM is only valid at the date of issue as information is based only upon information the Council held at the time of that LIM request being made.

Property file service

This Land Information Memorandum does not contain all information held on a property file. Customers may request property files by phoning the Council's Customer Call Centre on (03) 941 8999, or visiting any of the Council Service Centres. For further information please visit www.ccc.govt.nz.

To enable the Council to measure the accuracy of this LIM document based on our current records, we would appreciate your response should you find any information contained therein which may be considered to be incorrect or omitted. Please telephone the Customer Call Centre on (03) 941 8999.

A search of records held by the Council has revealed the following information:

1. Special features and characteristics of the land

Section 44A(2)(a) LGOIMA. This is information known to the Council but not apparent from the district scheme under the Town and Country Planning Act 1977 or a district plan under the Resource Management Act 1991. It identifies each (if any) special feature or characteristic of the land concerned, including but not limited to potential erosion, avulsion, falling debris, subsidence, slippage, alluvion, or inundation, or likely presence of hazardous contaminants.

☎ For enquiries, please phone (03) 941 8999 or visit www.ccc.govt.nz.

- **ECan Liquefaction Assessment**

ECan holds indicative information on liquefaction hazard in the Christchurch area. Information on liquefaction can be found on the ECan website at www.ecan.govt.nz/liq or by calling ECan customer services on Ph 03 353 9007. The Christchurch City Council may require site-specific investigations before granting future subdivision or building consent for the property, depending on the liquefaction potential of the area that the property is in.

- **Consultant Report Available**

Provisional findings from a Land Information New Zealand (LINZ) study Darfield (Canterbury) Earthquake Provisional Coordinate Change Vectors 201010508 - Christchurch v1.1 dated 16 November 2010 indicate that some degree of earthquake induced subsidence has occurred across vast areas of Christchurch. This property is located in such an area. The actual extent of subsidence for each property is unknown but is in the order of millimetres or centimetres and will vary for each property.

Related information

- The records held by this Unit do not show any history of flooding or drainage problems on the property.

2. Private and public stormwater and sewerage drains

Section 44A(2)(b) LGOIMA. This is information about private and public stormwater and sewerage drains as shown in the Council's records.

 For stormwater and sewerage enquiries, please phone (03) 941 8999 or visit www.ccc.govt.nz.

Related information

- The property is shown to be served by a sewer drain.
- No details of the private stormwater system serving this property are shown on the plan.

3. Drinking Water Supply

Section 44A(2)(ba) and (bb) LGOIMA. This is information notified to the Council about whether the land is supplied with drinking water, whether the supplier is the owner of the land or a networked supplier, any conditions that are applicable, and any information the Council has about the supply.

☎ For water supply queries, please phone (03) 941 8999 or visit www.ccc.govt.nz.

Water Supply

Water Supply

Christchurch City Council is the networked supplier of water to this property. This property is connected to the Christchurch City Council Water Supply. The conditions of supply are set out in the Christchurch City Council Water related Services Bylaw (2008), refer to www.ccc.govt.nz.

4. Rates

Section 44A(2)(c) LGOIMA. This is information on any rates owing in relation to the land.

☎ For rates enquiries, please phone (03) 941 8999 or visit www.ccc.govt.nz.

(a) Annual rates

Annual rates to 30/06/2015: \$ 1,923.79

	Instalment Amount	Date Due
Instalment 1	\$ 480.90	31/08/2014
Instalment 2	\$ 480.90	30/11/2014
Instalment 3	\$ 480.90	28/02/2015
Instalment 4	\$ 481.09	31/05/2015

Rates owing as at 17/07/2014: \$ 480.90

(b) Excess water charges

\$ 0.00

☎ For water charge enquiries, please phone (03) 941 8999 or visit www.ccc.govt.nz.

(c) Final water meter reading required?

No Reading Required

☎ To arrange a final water meter reading, please phone (03) 941 8999 or visit www.ccc.govt.nz.

Property address:
12 Kirk Road

LIM number: 70159282
Page 7

Christchurch City Council
53 Hereford Street, PO Box 73015
Christchurch 8154, New Zealand
Tel 64 3 941 8999
Fax 64 3 941 8984
www.ccc.govt.nz

5. Consents, certificates, notices, orders, or requisitions affecting the land and buildings

Section 44A(2)(d) LGOIMA. This is information concerning any consent, certificate, notice, order, or requisition, affecting the land or any building on the land, previously issued by the Council.

☎ For building enquiries, please phone (03) 941 8999 or visit www.ccc.govt.nz.

(a) Consents

- BCN/1976/5879 Status: Completed Applied: 29/10/1976
Permit granted 02/11/1976
Permit issued 02/11/1976
GARAGE- Historical Reference PER76021205
- BCN/1980/5989 Status: Completed Applied: 30/10/1980
Permit granted 04/11/1980
Permit issued 04/11/1980
ALTER DWELLING- Historical Reference PER80025469

(b) Certificates

Note: Code Compliance Certificates were only issued by the Christchurch City Council since January 1993.

(c) Notices

• Canterbury Earthquake Recovery Authority Land Zone

CERA has classified land in Christchurch into various zones following geotechnical investigations/assessments. The zonings reflect new scientific and geotechnical information and knowledge about the impact of earthquakes and the effects of liquefaction on buildings. Full details of the land classification affecting this property may be found at www.cera.govt.nz

• The Department of Building and Housing Foundation Design

Some properties have experienced land damage and considerable settlement during the sequence of Canterbury earthquakes. While land in the green zone is still generally considered suitable for residential construction, houses in some areas will need more robust foundations or site foundation design where foundation repairs or rebuilding are required. Most properties have been assigned a technical category. Details of the DBH guidance can be found at www.dbh.govt.nz and details of the technical category that applies to this property may be found at www.cera.govt.nz

(d) Orders

(e) Requisitions

Related information

- Council holds no record of building permit/consent for dwelling at this address.
No information is held by Council relating to the age, materials or construction of dwelling - no further information available.

Property address:
12 Kirk Road

LIM number: 70159282
Page 8

Christchurch City Council
53 Hereford Street, PO Box 73015
Christchurch 8154, New Zealand
Tel 64 3 941 8999
Fax 64 3 941 8984
www.ccc.govt.nz

6. Certificates issued by a building certifier

Section 44A(2)(e) LGOIMA. This is information notified to the Council concerning any certificate issued by a building certifier pursuant to the Building Act 1991 or the Building Act 2004.

☎ For building enquiries, please phone (03) 941 8999 or visit www.ccc.govt.nz.

7. Weathertightness

Section 44A(2)(ea) LGOIMA. This is information notified to the Council under section 124 of the Weathertight Homes Resolution Services Act 2006.

☎ For weathertight homes enquiries, please phone (03) 941 8999 or visit www.ccc.govt.nz.

8. Land use and conditions

Section 44A(2)(f) LGOIMA. This is information relating to the use to which the land may be put and conditions attached to that use.

The planning information provided is not exhaustive and reference to the District Plan(s) is recommended.

☎ For planning queries, please phone (03) 941 8999 or visit www.ccc.govt.nz.

- **ECan Natural Resources Regional Plan**

There may be policies or rules within Environment Canterbury's Natural Resources Regional Plan that regulate land use on this site. Queries regarding the impact of the Natural Resources Regional Plan on the property should be made to Ecan customer services on Ph 03 353 9007.

- **Property or part of property within urban area**

(a) District plan

Zoning

Living 1 (Outer Suburban)

1. Special Amenity Area	No
2. Community Footprint	No
3. Opposite Important Open Space	No
4. Designations on Site	No
5. Road Widening Designations	No
6. Historic or Protection Building	No
7. Other Heritage Protection Items	No
8. Protected Trees	
Heritage/Notable Tree	No
Other; eg Category A, B, C Street Plantings; Subdivision trees	No
9. Noise Control	No
10. Coastal Protection	No
11. Landscape Protection	No

(b) Land use resource consents

Property address:
12 Kirk Road

9. Other land and building classifications

Section 44A(2)(g) LGOIMA. This is information notified to the Council by any statutory organisation having the power to classify land or buildings for any purpose.

☎ For land and building enquiries, please phone (03) 941 8999 or visit www.ccc.govt.nz.

Please refer to Section 1 for details

10. Network utility information

Section 44A(2)(h) LGOIMA. This is information notified to the Council by any network utility operator pursuant to the Building Act 1991 or the Building Act 2004.

☎ For network enquiries, please phone (03) 941 8999 or visit www.ccc.govt.nz.

- **None recorded for this property**

11. Other information

Section 44A(3) LGOIMA. This is information concerning the land that the Council has the discretion to include if it considers it to be relevant.

☎ For any enquiries, please phone (03) 941 8999 or visit www.ccc.govt.nz.

(a) Kerbside waste collection

- Your recycling is collected Fortnightly on the Week 2 collection cycle on a Thursday. Please leave your recycling at the Kerbside by 6:00 a.m. Your nearest recycling depot is the Parkhouse Road Refuse Station.
- Your refuse is collected Fortnightly on the Week 2 collection cycle on a Thursday. Please leave your rubbish at the Kerbside by 6:00 a.m. Your nearest rubbish depot is the Parkhouse Road Refuse Station.
- Your organics are collected Weekly on Thursday . Please leave your organics at the Kerbside by 6:00 a.m.

(b) Other

- **Property located in Riccarton-Wigram Community Board area**
- **Property located within Airport noise contour**

This property is situated (either partially or completely) within the: 50 dBA Air Noise boundary for aircraft noise.

- **Property located in Riccarton-Wigram Ward**
- **Listed Land Use Register**

Hazardous activities and industries involve the use, storage or disposal of hazardous substances. These substances can sometimes contaminate the soil. Environment Canterbury identifies land that is used or has been used for hazardous activities and industries. This information is held on a publically available database called the Listed Land Use Register (LLUR). The Christchurch City Council may not hold information that is held on the LLUR Therefore, it is recommended that you check Environment Canterbury's online database at www.llur.ecan.govt.nz

Infrastructure

Standard Infrastructure

Bio Gas

- Bio Gas End Cap
- Bio Gas Valve
- Bio Gas Outlet
- Bio Gas Inlet
- Bio Gas Main
- Abandoned In Service
- Out of Service
- Proposed Cable
- Abandoned In Service
- Out of Service
- Proposed

Wastewater Infrastructure

- Waste Water End Cap
- Waste Water Valve
- Waste Water Air Gap Separator
- Waste Water Vent
- Waste Water Eye
- Eye (Vertical)
- Waste Water Outfall
- Waste Water Pump
- Waste Water Junction
- Waste Water Access
- Flush Manhole
- Inspection Point
- Standard Manhole
- Trap
- Vented Manhole
- Waste Water Flush Tank
- Waste Water Structure
- Waste Water Main
- Main - Abandoned
- Main - In Service
- Main - Out of Service
- Main - Proposed
- Pressure Main - Abandoned
- Pressure Main - In Service
- Pressure Main - Out of Service
- Pressure Main - Proposed
- Waste Water Lateral
- Abandoned In Service



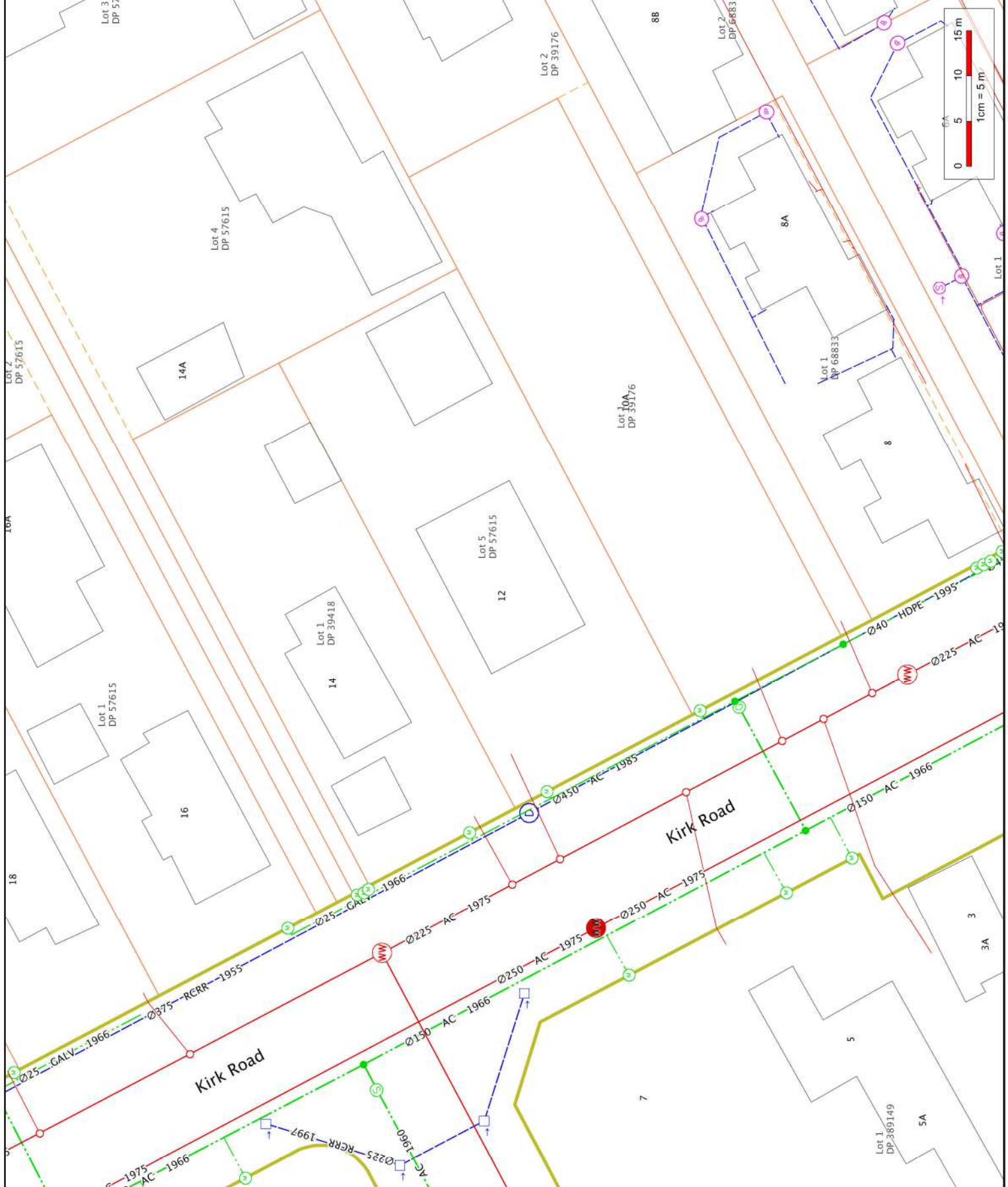
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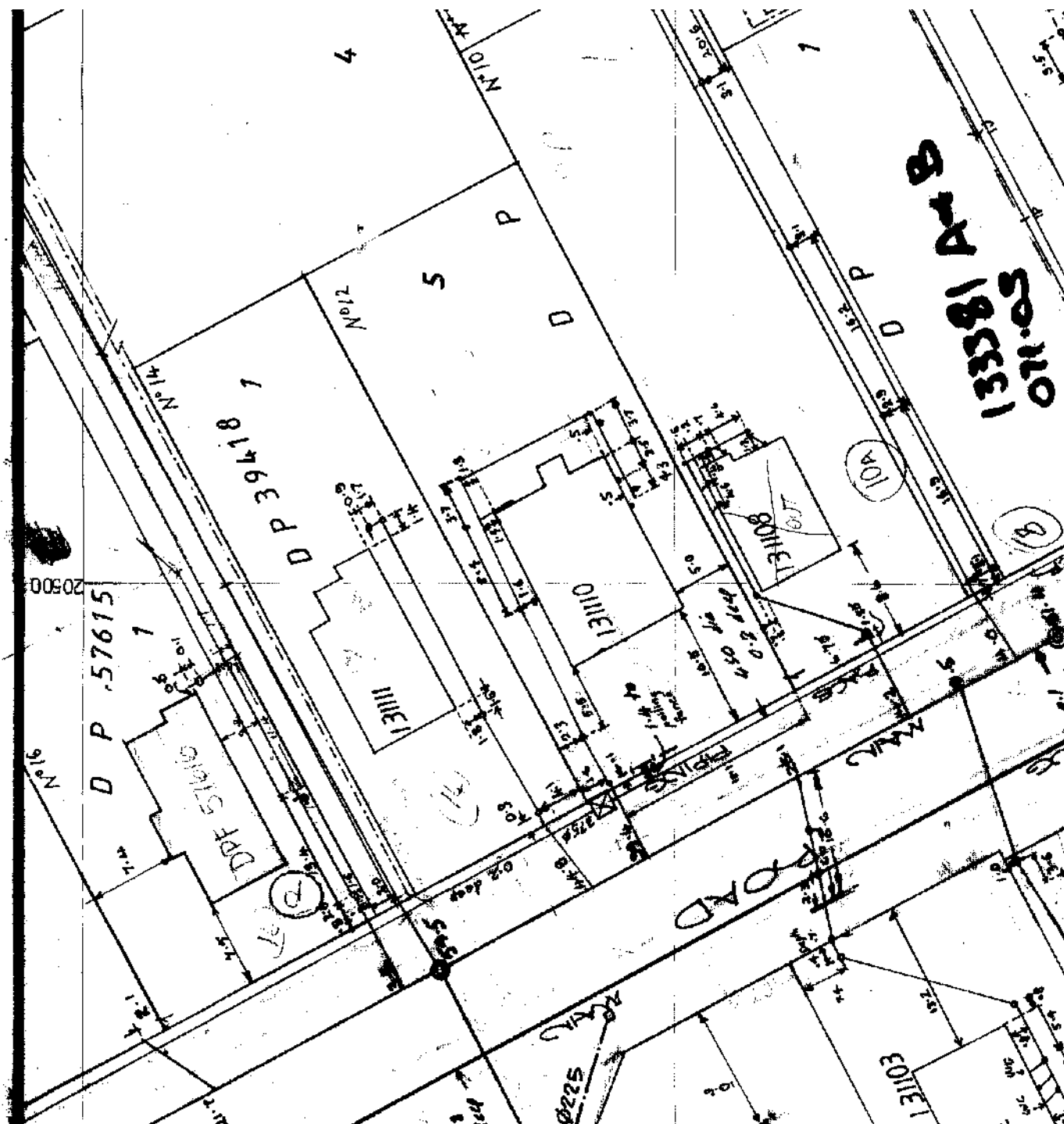
Jul 17, 2014 2:47:33 PM



ph: 941-8300 fax: 941-8385

Accuracy not guaranteed. Onsite verification required. Display of data scale dependent, full detail available at 1:500.
Copyright © 2013. Reproduction prohibited





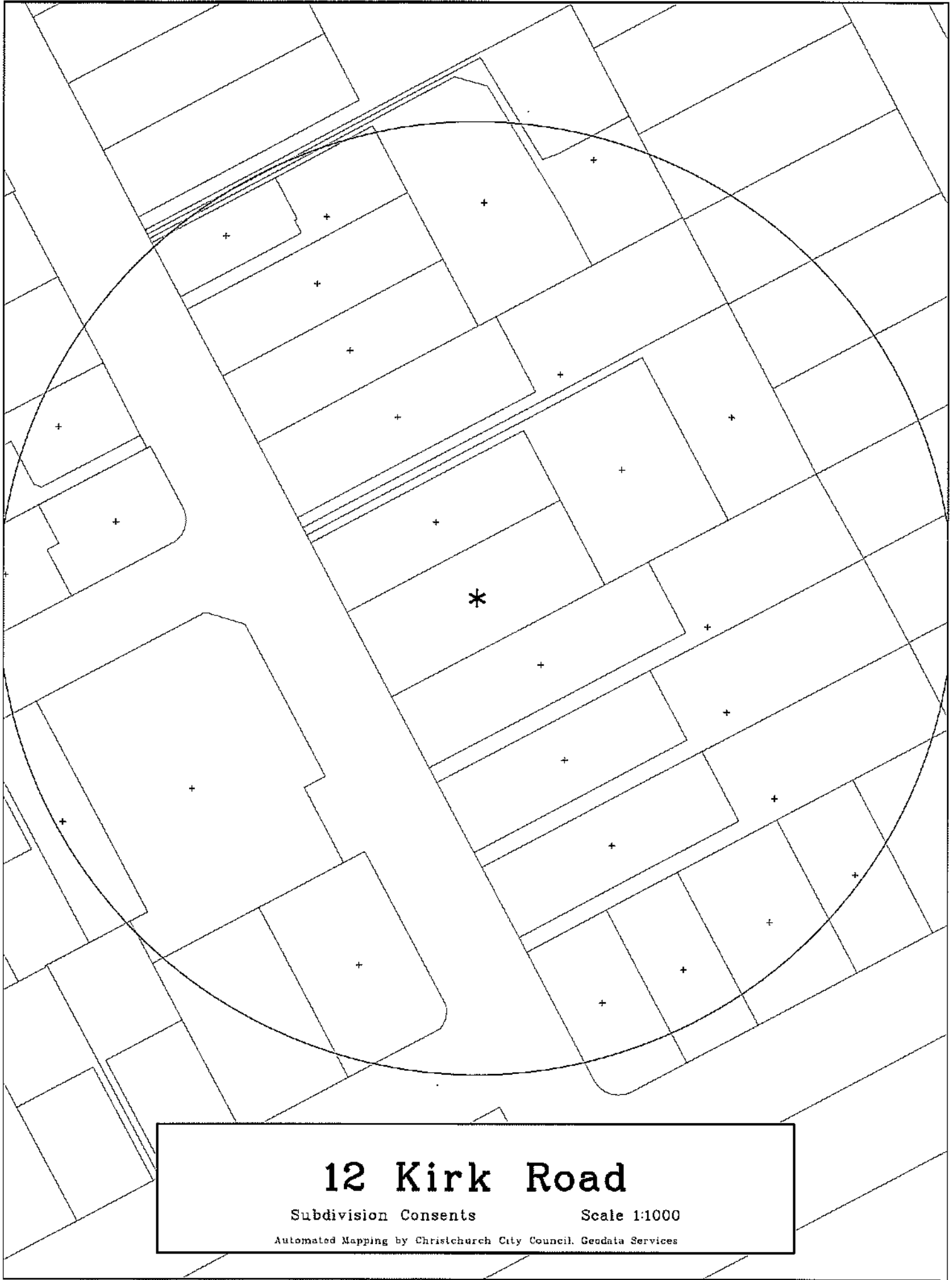


12 Kirk Road

Land Use Consents

Scale 1:1000

Automated Mapping by Christchurch City Council, Geodata Services



12 Kirk Road

Subdivision Consents

Scale 1:1000

Automated Mapping by Christchurch City Council. Geodata Services

Spatial Query Report



Land Use Resource Consents within 100 metres of 12 Kirk Road

Note, This map does not include Subdivision Consents and Certificate of Compliance issued under the Resource Management Act.

Address: 1/1 KIRK ROAD

Consent Type:

Activity:

Reference: 9208690

Status: Completed

Decision: Granted

Date Received: 24 May 1977

Date of Decision: 2 August 1977

Description:

Application for consent to permit the establishment of a veterinary clinic.

Consent Type:

Activity:

Reference: 9208689

Status: Completed

Decision: Granted

Date Received: 2 May 1990

Date of Decision: 11 May 1990

Description:

Consent to establish a real estate agency in an existing building sited within 1m of the front boundary.

Consent Type:

Activity: Discretionary Activity

Reference: 960854

Status: Completed

Decision: Withdrawn

Date Received: 4 April 1996

Date of Decision:

Description:

Application to relocate a dwelling.

Consent Type:

Activity: Discretionary Activity

Reference: 961793

Status: Completed

Decision: Granted

Date Received: 25 May 1996

Date of Decision: 15 July 1996

Description:

Street scene - Minimum building set-back from Road. Railway Terrace boundary. has no set-back, Kirk road boundary has 1.4m set-back.

Consent Type:

Activity:

Reference: 972083

Status: Completed

Decision: Withdrawn

Date Received: 4 August 1997

Date of Decision:

Description:

Application for a fish and chip take-away shop.

Consent Type:**Activity:****Reference:** 9208688**Status:** Completed**Decision:** Granted**Date Received:** 2 August 1977**Date of Decision:** 2 August 1977**Description:**

Consent to establish a veterinary clinic (refer to 316/77/ SD).

Address: 1/16B KIRK ROAD**Consent Type:****Activity:** Discretionary Activity**Reference:** 971692**Status:** Completed**Decision:** Granted**Date Received:** 26 June 1997**Date of Decision:** 4 July 1997**Description:**

A second Stage crosslease which does not comply with the Proposed City Plan.

Address: 1/634 WATERLOO ROAD**Consent Type:****Activity:****Reference:** 9216497**Status:** Completed**Decision:** Granted**Date Received:** 28 January 1986**Date of Decision:****Description:**

Consent to erect 2 separate units on a site without garages but providing a double garage slab for future garage decision recommended only.

Address: 11 KIRK ROAD**Consent Type:** Non-Notified Application**Activity:** Non-Complying Activity**Reference:** 20002460**Status:** Completed**Decision:** Granted**Date Received:** 11 July 2000**Date of Decision:** 14 August 2000**Description:**2 LOT FEE-SIMPLE APP 223 REQUESTED 21/08/2000 Certified 22/8/00 224
REQUESTED 14/11/2000 Issued 20/11/00 DP 83431.**Address: 14A KIRK ROAD****Consent Type:** Non-Notified Application**Activity:** Limited Discretionary**Reference:** 20013987**Status:** Completed**Decision:** Granted**Date Received:** 2 July 2003**Date of Decision:** 18 July 2003**Description:**

Application to erect a dwelling with an attached garage.

Address: 2 MAHOE STREET

Consent Type: Non-Notified Application **Activity:** Limited Discretionary
Reference: 92016907 **Status:** Completed **Decision:** Granted
Date Received: 1 September 2010 **Date of Decision:** 3 November 2010
Description:

Construction of a dwelling with an attached garage.

Consent Type: Non-Notified Application **Activity:** Discretionary Activity
Reference: 92015700 **Status:** Completed **Decision:** Granted
Date Received: 19 February 2010 **Date of Decision:** 17 March 2010
Description:

Removal of tree by consent notice 8078188.3.

Address: 2/1 KIRK ROAD

Consent Type: Non-Notified Application **Activity:** Controlled Activity
Reference: 92011274 **Status:** Completed **Decision:** Granted
Date Received: 7 March 2008 **Date of Decision:** 17 March 2008
Description:

Flat Plan Update 223 issued 20/03/08 DP 403080 224 issued 20/03/08.

Address: 22 KIRK ROAD

Consent Type: **Activity:** Non-Complying Activity
Reference: 992194 **Status:** Completed **Decision:** Granted
Date Received: 23 July 1999 **Date of Decision:** 30 July 1999
Description:

A two Lot subdivision which does not comply with Lot size, Lot width or access width under the Transitional Paparua Plan or with Lot size under the Proposed District Plan.

Consent Type: Non-Notified Application **Activity:** Non-Complying Activity
Reference: 11357 **Status:** Completed **Decision:** Granted
Date Received: 23 July 1999 **Date of Decision:** 5 August 1999
Description:

Fee Simple SUBDIVISION 223 recieved 13/12/99 Certified 17/12/99 224 requested 10/3/00 Issued 20/3/00 DP 82344.

Address: 22A KIRK ROAD

Consent Type: **Activity:** Discretionary Activity
Reference: 982173 **Status:** Completed **Decision:** Granted
Date Received: 10 August 1998 **Date of Decision:** 30 September 1998
Description:

Application to erect a second unit and a garage in the front yard with reduced setback of existing kitchen window; reduced site area for existing.

Address: 24A KIRK ROAD

Consent Type:		Activity: Discretionary Activity	
Reference: 990563	Status: Completed	Decision: Granted	
Date Received: 2 March 1999	Date of Decision: 23 March 1999		
Description:			

A three Lot subdivision which does not meet right of way requirements under the Proposed District Plan.

Address: 3 KIRK ROAD

Consent Type:	Non-Notified Application	Activity:	Controlled Activity
Reference:	92008252	Status:	Completed
Decision:	Granted		
Date Received:	27 August 2007	Date of Decision:	14 September 2007
Description:			

Boundary Adjustment 223 iss 15/08/07 DP389149 224 Issued 18/10/07.

Consent Type:		Activity: Conditional Use	
Reference: 9208700	Status: Completed	Decision: Granted	
Date Received: 26 June 1978	Date of Decision: 5 September 1978		
Description:			

Consent to operate a shop.

Address: 3 MAHOE STREET

Consent Type: Non-Notified Application **Activity:** Controlled Activity
Reference: 92009098 **Status:** Withdrawn **Decision:** Granted
Date Received: 29 June 2007 **Date of Decision:** 8 August 2007
Description:

Unit Title - 3 Units - cancelled see 92009674.

Consent Type: Non-Notified Application **Activity:** Controlled Activity
Reference: 92009674 **Status:** Completed **Decision:** Granted
Date Received: 24 August 2007 **Date of Decision:** 4 October 2007
Description:

UNIT TITLE SUBDIVISION 223 issued 4/04/08 DP399230 224 requested 8/04/08 Issued 10/04/08.

Address: 3A MAHOE STREET

Consent Type:	Non-Notified Application	Activity:	Limited Discretionary
Reference:	92007681	Status:	Completed
Decision:	Granted		
Date Received:	28 February 2007	Date of Decision:	30 March 2007
Description:			

Application to erect three single storey Elderly Persons Housing Units with attached garages.

Address: 5 KIRK ROAD

Consent Type: Activity: Conditional Use
Reference: 9208698 **Status:** Completed **Decision:** Granted
Date Received: 26 June 1978 **Date of Decision:** 5 September 1978
Description:
Consent to operate a medical centre.

Consent Type: Activity:
Reference: 9208693 **Status:** Completed **Decision:** Granted
Date Received: 13 March 1989 **Date of Decision:** 20 June 1989
Description:
Consent to extend pharmacy to 7.2m from road boundary and 3.6m from side boundary.

Consent Type: Non-Notified Application **Activity:** Discretionary Activity
Reference: 92006952 **Status:** Completed **Decision:** Granted
Date Received: 29 November 2006 **Date of Decision:** 8 February 2007
Description:
Applicatin for the construction of a medical centre and retail buildings with office space at first floor level.

Consent Type: Other **Activity:** Change Condition
Reference: 92009795 **Status:** Completed **Decision:** Granted
Date Received: 7 September 2007 **Date of Decision:** 1 October 2007
Description:
S.127 application to change conditions of previous consent (RMA 92006952). Changes to carpark layout and landscaping.

Address: 6 KIRK ROAD

Consent Type: Activity: Discretionary Activity
Reference: 961775 **Status:** Completed **Decision:** Granted
Date Received: 12 July 1996 **Date of Decision:** 3 December 1996
Description:
Application for a two unit development which has less than 450m2 per unit(1-412m2, 2-430m2) exceeds 35% site coverage(1-39.8%,2-38%) reduced 3m setback.

Address: 6B KIRK ROAD

Consent Type: **Activity:** Discretionary Activity

Reference: 960891 **Status:** Completed **Decision:** Granted

Date Received: 16 April 1996 **Date of Decision:** 7 May 1996

Description:

Application for a living window to intrude the 3m setback by 2m under the Proposed District Plan.

Consent Type: Non-Notified Application **Activity:** Limited Discretionary

Reference: 20007716 **Status:** Completed **Decision:** Granted

Date Received: 31 July 2001 **Date of Decision:** 8 August 2001

Description:

Application for a conservatory addition which intrudes the outdoor living space.

Address: 8 KIRK ROAD

Consent Type: **Activity:** Certificate of Compliance

Reference: 952161 **Status:** Completed **Decision:** Granted

Date Received: 23 June 1995 **Date of Decision:** 23 June 1995

Description:

Erection of two dwellings.

Address: 9 KIRK ROAD

Consent Type: Non-Notified Application **Activity:** Controlled Activity

Reference: 92012095 **Status:** Completed **Decision:** Granted

Date Received: 17 June 2008 **Date of Decision:** 25 July 2008

Description:

Fee Simple Subdivision 223 Certified 18/08/08 DP 410138 224 Issued 8/12/08.

Data Quality Statement

Land Use Consents

All resource consents* are shown for sites that have been labeled with an address. For sites that have been labelled with a cross (+) no resource consents have been found. Sites that have no label have not been checked for resource consents. This will be particularly noticeable on the margins of the search area radius. If there are such sites and you would like them to be included in the check, please ask for the LIM spatial query to be rerun accordingly. This will be done free of charge although there may be a short delay. Resource consents which are on land occupied by roads, railways or rivers are not, and currently cannot be, displayed, either on the map or in the list. Resource consents that relate to land that has since been subdivided, will be shown in the list, but not on the map. They will be under the address of the land as it was at the time the resource consent was applied for. Resource consents that are listed as Non-notified and have a status of current, may in fact be notified resource consents that have not yet been through the notification process. If in doubt, please phone (03)9418657.

* The term "resource consents" in this context means land use consents. Subdivision consents and certificates of compliance are excluded.

Subdivision Consents

All subdivision consents* are shown for sites that have been labelled with an address and consent details. For sites that have been labelled with a cross (+) no records have been found. Sites that have no label have not been checked for subdivision consents. This will be particularly noticeable on the margins of the search area radius. If there are such sites and you would like them to be included in the check, please ask for the LIM spatial query to be rerun accordingly. This will be done free of charge although there may be a short delay.

* The term "subdivision consents" in this context means a resource consent application to subdivide land. Non subdivision land use resource consents and certificates of compliance are excluded.

This report will only record those subdivision applications which have not been completed and new properties have not been created in the council's property database; i.e. once a subdivision has been given effect to and the new lots/properties have been established the application which created those lots will not be shown.

All Subdivision Consent information is contained on the map and no separate list is supplied.

PAPARUA COUNTY COUNCIL

Permit No. 5044375Application No. 25469

(FOR OFFICE USE ONLY)

Riding TempletonAssessment No. 3520/193

(Val. Roll No.)

APPLICATION FOR A BUILDING PERMIT

TO THE COUNTY ENGINEER,

Date 30-10 1980

Sir,

I hereby apply for permission to ~~erect/alter/install a~~DWELLING

(Dwelling, Garage, Shed, etc.)

at No. 12 KIRK RD Street, in accordance with the SITE PLANS and detailed PLANS, ELEVATIONS AND SPECIFICATIONS submitted herewith in duplicate. (see over)

PARTICULARS OF LAND

Lot No. 5D.P. 2643 Pts 3124Area 80 PERCHES

PARTICULARS OF BUILDING

Foundations CONCRETE Walls TIMBER Roof IRON Floor WOODDistance from Nearest Building: On Site 9m On Adjoining Site 6.5m

MAIN BUILDINGS — AREAS (see over)

Ground Floor 11 m² First Floor m² Over Foundations m²
(or Basement)OUTBUILDINGS AREA — Proposed m² Existing 83 m²TOTAL AREA OF ALL BUILDINGS (Existing and Proposed) 228 m²

ESTIMATED VALUE OF PROPOSED WORK

Main Buildings \$ Outbuildings \$ 2300TOTAL \$ Estimated Completion Date Owner I.H. McKINLAYAddress 12 KIRK RD TEMPLETONBuilder OWNERAddress

Proposed purpose for which every part of the building is to be used or occupied (see over)

BedroomTelephone No. 496 951

Yours faithfully,

Owner/Builder I.H. McKinlay

FEES PAYABLE

(FOR OFFICE USE ONLY)

REMARKS

Building Permit	\$	<u>28-00</u>	R. 23540
Building Research Levy	\$		
Inspection Fees	\$	<u>13-00</u>	R. 23541
E/P Opening/Crossing Permit	\$	<u>25-00</u>	R. 23542
Vehicular Entrance	\$		
Water Connection	\$		
TOTAL FEES PAYABLE	\$	<u>66-00</u>	

APPROVED [Signature] (County Engineer)4-11-1980

APPLYING FOR A BUILDING PERMIT

COMPLETION OF THIS FORM

All details on the form must be completed, in cases where the answer is nil enter 'nil'.

FLOOR AREAS

The area of each floor in buildings of more than single storey must be entered. For site coverage only the area of the ground floor is computed. In accessory buildings the floor area are for computing permissible floor area.

PROPOSED USE

The proposed use of every building or part of a building must be clearly indicated, e.g. private car garage, private storage shed, ownership flats, leasehold shops etc.

STORMWATER DISPOSAL

An approved method of stormwater disposal must be provided to all buildings and must be fixed before occupation of the building.

NOTE: All stormwater must go to side channel except where otherwise specifically approved.

DETAILS TO BE SUBMITTED WITH EVERY APPLICATION

The following extract from the Building By-Laws sets out briefly the details required with every application. Full details can be gained in N.Z.S. 1900, Chapter 2, Clauses 2.4 and 2.5.

2.5 PLANS AND SPECIFICATIONS

- 2.5.1. Together with every application there shall be submitted to the Engineer, in duplicate, detailed plans, elevations, cross sections, and specifications, which shall together furnish complete details of design and qualities and descriptions of all materials of construction and workmanship, and which shall be of sufficient clarity to show to the satisfaction of the Engineer the exact nature and character of the proposed undertaking and the provision made for full compliance with the requirements of this by-law and any other relevant by-law for the time being in force:—
 - (v) Detailed drawings shall be in such form and on such scale as the Engineer may consider necessary to ensure certainty of interpretation.
 - (vi) All drawings other than detailed drawings shall be accurately, clearly, and indelibly executed to scale, and shall be drawn in ink upon drawing paper or tracing cloth or printed upon cloth or approved paper. Except in the case of detailed drawings all drawings shall be to a scale of 1—50 or 1—100 to the foot.
- 2.5.2. The drawings shall be accompanied by a locality plan. This locality plan shall be drawn to scale and shall show the site of the building, together with the land, streets, private streets, public places, private ways, public reserves, and buildings immediately surrounding the site and shall be sufficient to enable the Engineer to locate the precise situation of the site not only relative to the boundaries of its own land, but also relative to any buildings erected upon immediately adjoining lands.
- 2.5.3. On all drawings deposited under this chapter of this by-law the following methods shall be used to assist in making clear the various parts of the work:—
 - (i) The site of the proposed building shall be coloured or edged red.
 - (ii) Existing buildings immediately adjoining shall be coloured grey.
 - (iii) Sewers and sewer connections shall be shown by red lines.
 - (iv) Stormwater drains and drain connections shall be shown by green or black lines.
 - (v) The construction drawings shall be so prepared as to distinguish the various materials employed in the construction of the building, also existing work from new work.
- 2.5.5. In addition to the structured details etc., required, the plans and sections shall show as regards every floor of the proposed building the dimensions of the rooms the situation of the flues, fireplaces, stoves and chimneys and the position of all the several parts of the building, and every water closet, fuel store, washhouse, and all other appurtenances. The plan and section shall further show the proposed means of water supply and the level of the lowest floor of the intended building and of the yard and ground belonging thereto, and also the means whereby it is proposed to deal with all stormwater and drainage.
- 2.5.6. When lodged, the application and drawings and other documents accompanying the application shall become the absolute property of the Council.

Mr Bridges

9th November, 1982

Mr I.M. McKinlay,
12 Kirk Road,
TEMPLETON

Dear Sir,

Thank you for your letter of the 9th November 1982.

I am pleased to advise that an extension until 20th May 1983 is granted. However, should you not be able to complete the building by the specified time, it will be necessary for you to re-apply.

Yours faithfully,

A handwritten signature in blue ink, appearing to read 'J. Bridges', is written over the typed name.

Chief Building Inspector

30/5/83
Ltr 9/11/82

Mr Bridges
9/11/82

12 Kirk Rd.

Templeton.

9th Nov. 1982.



Mr. Bridges,

Dear Sir,

With reference your letter dated 27th Oct.
Re. Building Permit No. JO 46375.

We applied for a building permit because we needed another bedroom. To enable us to do this without spoiling the character of the house we had to relocate the toilet, bathroom, and laundry. At this time we were required to be connected to the new sewer scheme. To avoid extra expense the sewer was sited to the new plan. To date we have built a major internal partition & completed the new toilet which is now connected to the sewer. Extensive interior work has been carried out. i.e. Gibbing & stripping to replace parking & xrim etc. In 2 existing bedrooms & Hallways & toilet. We are in the process of relocating the bathroom.

Finance is our major problem!! Also time to complete the work because of family & business commitments.

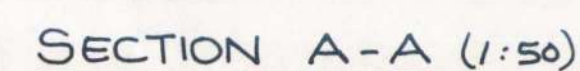
At this stage we intend to employ a Contractor to build the extension as per the building permit & hope this will be completed by

MID 1983.

Yours faithfully
J. H. C. [Signature]



(NEW WALLS SHOWN SHADED)



APPROVED subject to con-
ditions set out on permit No.
per PAPARUA COUNTY COUNCIL
J. D. ANNAN
Engineer

The builder shall be responsible for the cost of any damage to fortifications and vehicle entrance during construction.

ALL CONCRETE USED IS REQUIRED
TO GIVE MIN. TEST OF 1800 LBS. ☐"
AT 28 DAYS.

NOTE
COUNCIL MUST BE GIVEN 24 HOURS
NOTICE PRIOR TO POURING
FOUNDATIONS



PROPOSED EXTENSION
TO HOUSE FOR
M^R. & M^{RS}. I. McKINLAY
AT 12 KIRK ROAD
TEMPLETON

SCALE As Shown		DRAWN BY <i>DRS</i>	
DATE 20 OCT. 1980		CHECKED BY	
SHEET NO 1	OF 1	TRACED	

27th October, 1982

Mr I. M. McKinlay,
128 Kirk Road,
CHRISTCHURCH, N.Z.

J046375

• alteration of a dwelling.

5th November 1980

Kipira

3520/193/

PAPARUA COUNTY COUNCIL

Permit No. H 35799Application No. 21205

(FOR OFFICE USE ONLY)

Riding TEMPLETONAssessment No. 2352/193

(Val. Roll No.)

APPLICATION FOR A BUILDING PERMIT

TO THE COUNTY ENGINEER,

Date 29-10 1976

Sir,

I hereby apply for permission to erect/alter/install a

CARAGE

(Dwelling, Garage, Shed, etc.)

at No. 12 KIRK RD TEMPLETON Street, in accordance with the SITE PLANS and detailed PLANS, ELEVATIONS AND SPECIFICATIONS submitted herewith in duplicate. (see over)

PARTICULARS OF LAND

Lot No. 5D.P. DR 2643 Area 80 PERCHES

PARTICULARS OF BUILDING

Foundations CONCRETE Walls 8" BLOCK Roof IRON Floor CONCRETEDistance from Nearest Building: On Site 11.5 MET On Adjoining Site

MAIN BUILDINGS — AREAS (see over)

Ground Floor 139 m² First Floor (or Basement) m² Over Foundations m²OUTBUILDINGS AREA — Proposed 83 m² Existing m²TOTAL AREA OF ALL BUILDINGS (Existing and Proposed) 222 m²

ESTIMATED VALUE OF PROPOSED WORK

Main Buildings \$

Outbuildings \$ 4000

TOTAL

\$ 4000

Estimated Completion Date

Owner I. H. MCKINLAYAddress 12 KIRK RD TEMPLETONBuilder I. H. MCKINLAYAddress AS ABOVE

Proposed purpose for which every part of the building is to be used or occupied (see over)

PRIVATE CAR CARAGE & WORKSHOPTelephone No. 496-951

Yours faithfully,

Owner/Builder

I. H. McKinlay

FEES PAYABLE

(FOR OFFICE USE ONLY)

REMARKS

Building Permit \$ 20-0019506Building Research Levy \$ 2-0019507

Inspection Fees \$

F/P Opening/Crossing Permit \$

Vehicular Entrance \$

Water Connection \$

TOTAL FEES PAYABLE \$ 22-00Bond Receipt No 19770

APPROVED

L. Frenchfor

(County Engineer)

2-11-76

APPLYING FOR A BUILDING PERMIT

COMPLETION OF THIS FORM

All details on the form must be completed, in cases where the answer is nil enter 'nil'.

FLOOR AREAS

The area of each floor in buildings of more than single storey must be entered. For site coverage only the area of the ground floor is computed. In accessory buildings the floor area are for computing permissible floor area.

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An approved method of stormwater disposal must be provided to all buildings and must be fixed before occupation of the building.

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2.5.1. Together with every application there shall be submitted to the Engineer, in duplicate, detailed plans, elevations, cross sections, and specifications, which shall together furnish complete details of design and qualities and descriptions of all materials of construction and workmanship, and which shall be of sufficient clarity to show to the satisfaction of the Engineer the exact nature and character of the proposed undertaking and the provision made for full compliance with the requirements of this by-law and any other relevant by-law for the time being in force:—

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- (vi) All drawings other than detailed drawings shall be accurately, clearly, and indelibly executed to scale, and shall be drawn in ink upon drawing paper or tracing cloth or printed upon cloth or approved paper. Except in the case of detailed drawings all drawings shall be to a scale of 1—50 or 1—100 to the foot.

2.5.2. The drawings shall be accompanied by a locality plan. This locality plan shall be drawn to scale and shall show the site of the building, together with the land, streets, private streets, public places, private ways, public reserves, and buildings immediately surrounding the site and shall be sufficient to enable the Engineer to locate the precise situation of the site not only relative to the boundaries of its own land, but also relative to any buildings erected upon immediately adjoining lands.

2.5.3. On all drawings deposited under this chapter of this by-law the following methods shall be used to assist in making clear the various parts of the work:—

- (i) The site of the proposed building shall be coloured or edged red.
- (ii) Existing buildings immediately adjoining shall be coloured grey.
- (iii) Sewers and sewer connections shall be shown by red lines.
- (iv) Stormwater drains and drain connections shall be shown by green or black lines.
- (v) The construction drawings shall be so prepared as to distinguish the various materials employed in the construction of the building, also existing work from new work.

2.5.5. In addition to the structured details etc., required, the plans and sections shall show as regards every floor of the proposed building the dimensions of the rooms the situation of the flues, fireplaces, stoves and chimneys and the position of all the several parts of the building, and every water closet, fuel store, washhouse, and all other appurtenances. The plan and section shall further show the proposed means of water supply and the level of the lowest floor of the intended building and of the yard and ground belonging thereto, and also the means whereby it is proposed to deal with all stormwater and drainage.

2.5.6. When lodged, the application and drawings and other documents accompanying the application shall become the absolute property of the Council.

B1/11

Mr Bridges

12th April, 1978

Mr I.H. McKinlay,
12 Kirk Road,
Templeton,
CHRISTCHURCH 4.

Dear Sir,

Re: Building Permit No. H35799

Further to your recent letter, consideration has again been given to the delay in completing your garage and I am pleased to advise that an extension of three months has been granted to enable you to complete the building.

Yours faithfully,

County Engineer

To: Refund of Building Bond.

0.00 T

50.00 +

50.00 T

50.00 GT

Bd

—

220 Bridge
20/6/78

12 KIRK RD.
TEMPLETON,
CH. CH-4

Dear Sir,
With reference
to Building Permit
No. H. 35799. This
Building is now complete
and the old building
has been removed.
Would you please forward
my \$50.00 bond
to the above address.

Encl.

Thanking You
Yours Sincerely
J. H. McRae

21.6.78

OK
22/6/78

\$50
19 JUN 1978
696
20/6/78

Bulkhouse Perm. No H35799

an Bridges
4/4/78

12 Kirk Rd.
Templeton

2 - 4. 78.

County Engineers

Papua County Council.

Dear Sir,

With reference to your letter dated 22nd March we building permit for a garage. All that has to be done to complete this building is the windows and two small exterior doors and the reason for this hold up has been lack of finance but it is hoped to have this done before winter. Demolition of the existing building has been commenced.

Yours sincerely
J. H. McKinlay

RECEIVED

- 4 APR 1978

Mr. French

22nd March, 1978

Mr. I.H. McKinlay,
12 Kirk Road,
TEMPLETON.

2nd November, 1976
Garage.

H35799

IAN NUGH MCKINLAY
We MARIYAN EVA MCKINLAY
I. H. & M. E. MCKINLAY

KNOW ALL MEN BY THESE PRESENTS that I of 12 Kirk Rd. TEMPLETON. am held and firmly bound unto the Chairman, Councillors and Inhabitants of the County of Paparua to comply with the clauses and conditions of the following agreement which agreement to be well and truly complied with I do hereby bind myself, my executors and administrators firmly by these presents

Dated this 2nd. day of November 1976

WHEREAS I have applied to the said Chairman, Councillors and Inhabitants of the County of Paparua for a building permit (Application No. 21205) for permission to erect a garage/workshop on the land described as Lot 5 D.P. 2643

AND WHEREAS there are existing accessory buildings on the said land

AND WHEREAS the operative district scheme of the said County of Paparua permits a limited area of accessory buildings only

AND WHEREAS in the case of the above described land the allowable area of accessory buildings will be exceeded by the erection of the proposed garage/workshop

IAN NUGH MCKINLAY MARIYAN EVA MCKINLAY

NOW THE CONDITIONS of the above written bond is such that if the said I. H. & M. E. MCKINLAY. or his/her executor or administrators do demolish all the said existing accessory buildings on or before the issuing of a building permit by the said Chairman, Councillors and Inhabitants of the County of Paparua as applied for in Application No. 21205 then the above written bond shall be void and of no effect but otherwise shall be and remain in full force and virtue

AND IN CONSIDERATION of the premises of the said Chairman, Councillors and Inhabitants of the County of Paparua not requiring me the said I. H. & M. E. MCKINLAY. to demolish immediately all the said existing accessory buildings

IAN NUGH MCKINLAY MARIYAN EVA MCKINLAY

I DO HEREBY AGREE with the said Chairman, Councillors and Inhabitants of the County of Paparua that

1. I will demolish all the existing accessory buildings on the above described land within a period of one calender month of the date from which the new garage/workshop is completed.
2. I will serve written notice on you of the date of completion of the new garage/workshop.
3. I will deposit with you the amount of \$50.00. such amount to be refunded in full upon compliance with clause 1 above or alternatively to be used as set out in clauses 4 and 5 below.
4. Should I fail to demolish all the existing accessory buildings within the time agreed in clause 1, I give you, your officers and/or authorised agents full rights of entry and exit onto the property with such vehicles and machinery as you consider necessary, at any time of the day or night for the purpose of demolishing all the existing (old) accessory buildings and removing the rubble from the land.
5. I authorise you to use the monies deposited with you to cover the payment of such work and further agreement to pay any additional amount should the cost of such work be in excess of that deposited with you.

Cont'd.....

6. I hereby charge the said land with the payment of \$1,000 and I authorise you to lodge and maintain a caveat against the title to the said land for the protection of this agreement.
7. I will at any time before the payment of the said sum forthwith upon demand give and execute in favour of you a good and registerable memorandum of mortgage of the said land described above to secure payment of the said sum.
8. I will pay any legal and incidental fees resulting from this agreement.

SIGNED BY the abovenamed

M. E. McKinlay, J.H. McKelvey
in the presence of: _____ Witness M. A. I.
Occupation: PRISON OFFICER Address 10 KIRK RD
TEMPLETON

KNOW ALL MEN BY THESE PRESENTS that I ^{IAN HUGH MCKINLAY} ~~MARYN EVA MCKINLAY~~ I.H. & M.E. MCKINLAY of 12 KIRK RD. TEMPLETON. am held and firmly bound unto the Chairman, Councillors and Inhabitants of the County of Paparua to comply with the clauses and conditions of the following agreement which agreement to be well and truly complied with I do hereby bind myself, my executors and administrators firmly by these presents

Dated this 2nd day of November 1976

WHEREAS ^{we} I have applied to the said Chairman, Councillors and Inhabitants of the County of Paparua for a building permit (Application No. 21205) for permission to erect a garage/workshop on the land described as Lot 5 D.P. 2643

AND WHEREAS there are existing accessory buildings on the said land

AND WHEREAS the operative district scheme of the said County of Paparua permits a limited area of accessory buildings only

AND WHEREAS in the case of the above described land the allowable area of accessory buildings will be exceeded by the erection of the proposed garage/workshop

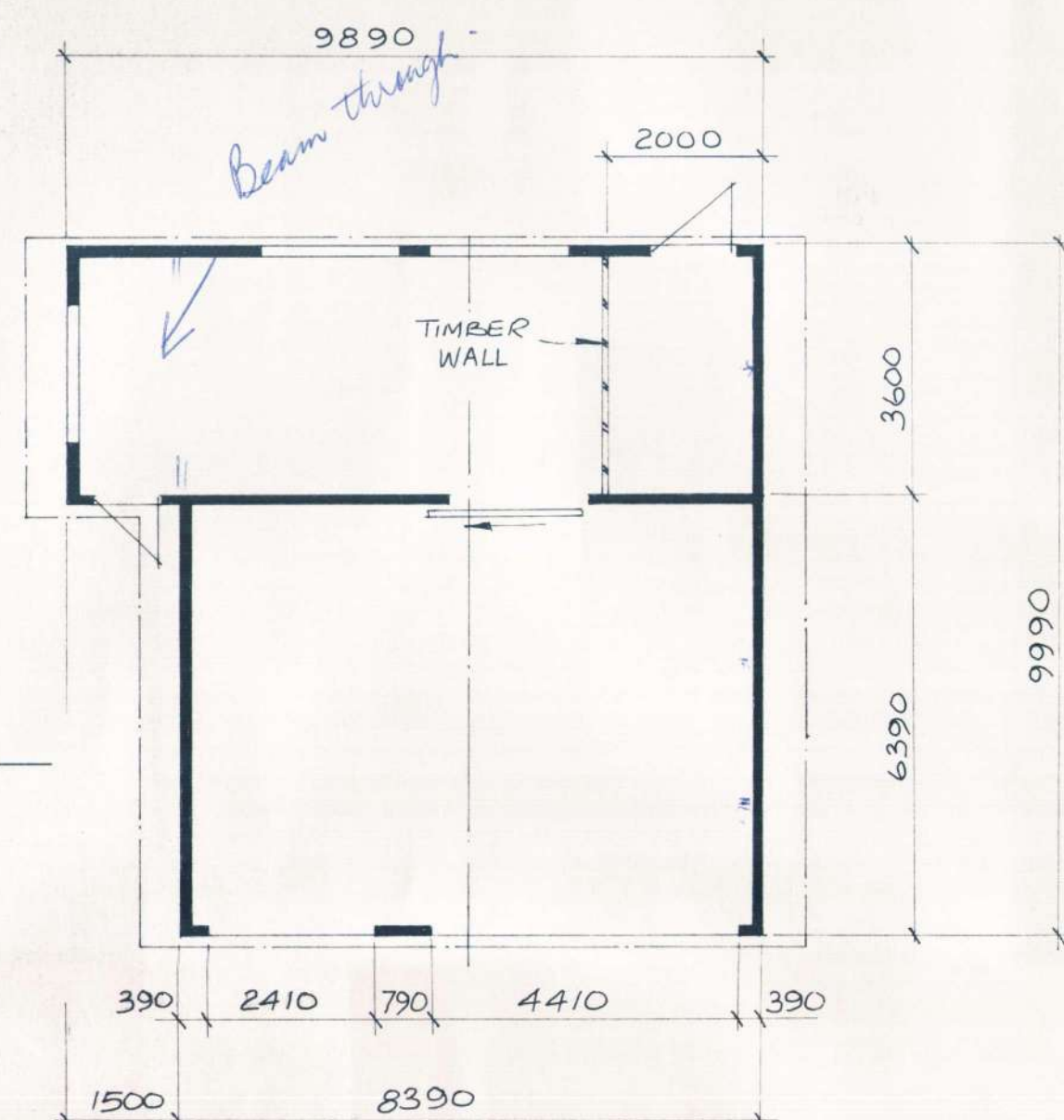
NOW THE CONDITIONS of the above written bond is such that if the said ^{IAN HUGH MCKINLAY MARYN EVA MCKINLAY} I.H. & M.E. MCKINLAY or his/her executor or administrators do demolish all the said existing accessory buildings on or before the issuing of a building permit by the said Chairman, Councillors and Inhabitants of the County of Paparua as applied for in Application No. 21205 then the above written bond shall be void and of no effect but otherwise shall be and remain in full force and virtue

AND IN CONSIDERATION of the premises of the said Chairman, Councillors and Inhabitants of the County of Paparua not requiring me the said I.H. & M.E. MCKINLAY to demolish immediately all the said existing accessory buildings

I DO HEREBY AGREE with the said Chairman, Councillors and Inhabitants of the County of Paparua that

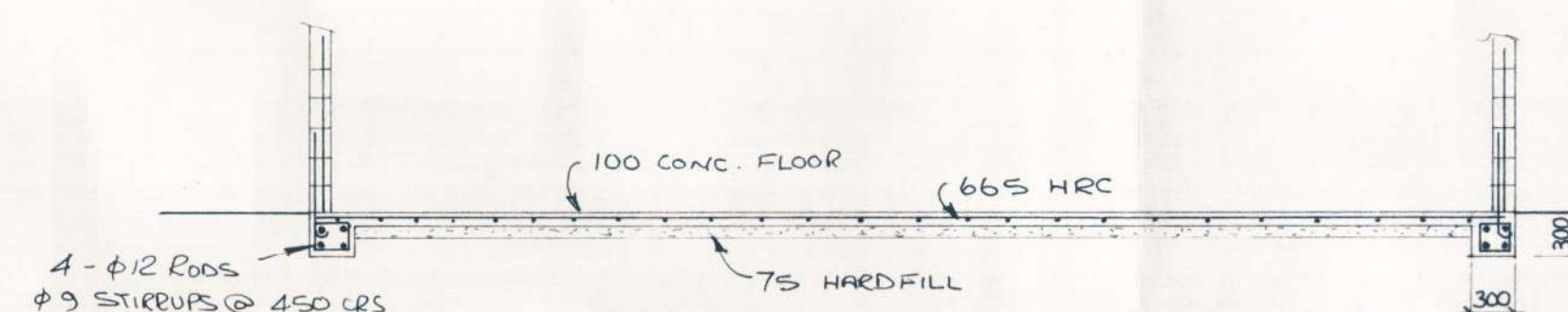
1. I will demolish all the existing accessory buildings on the above described land within a period of one calendar month of the date from which the new garage/workshop is completed.
2. I will serve written notice on you of the date of completion of the new garage/workshop.
3. I will deposit with you the amount of \$50.00 such amount to be refunded in full upon compliance with clause 1 above or alternatively to be used as set out in clauses 4 and 5 below.
4. Should I fail to demolish all the existing accessory buildings within the time agreed in clause 1, I give you, your officers and/or authorised agents full rights of entry and exit onto the property with such vehicles and machinery as you consider necessary, at any time of the day or night for the purpose of demolishing all the existing (old) accessory buildings and removing the rubble from the land.
5. I authorise you to use the monies deposited with you to cover the payment of such work and further agreement to pay any additional amount should the cost of such work be in excess of that deposited with you.

Cont'd.....



FLOOR PLAN 1:100
floor space: 83 m²

Blockwork to be 200 mm



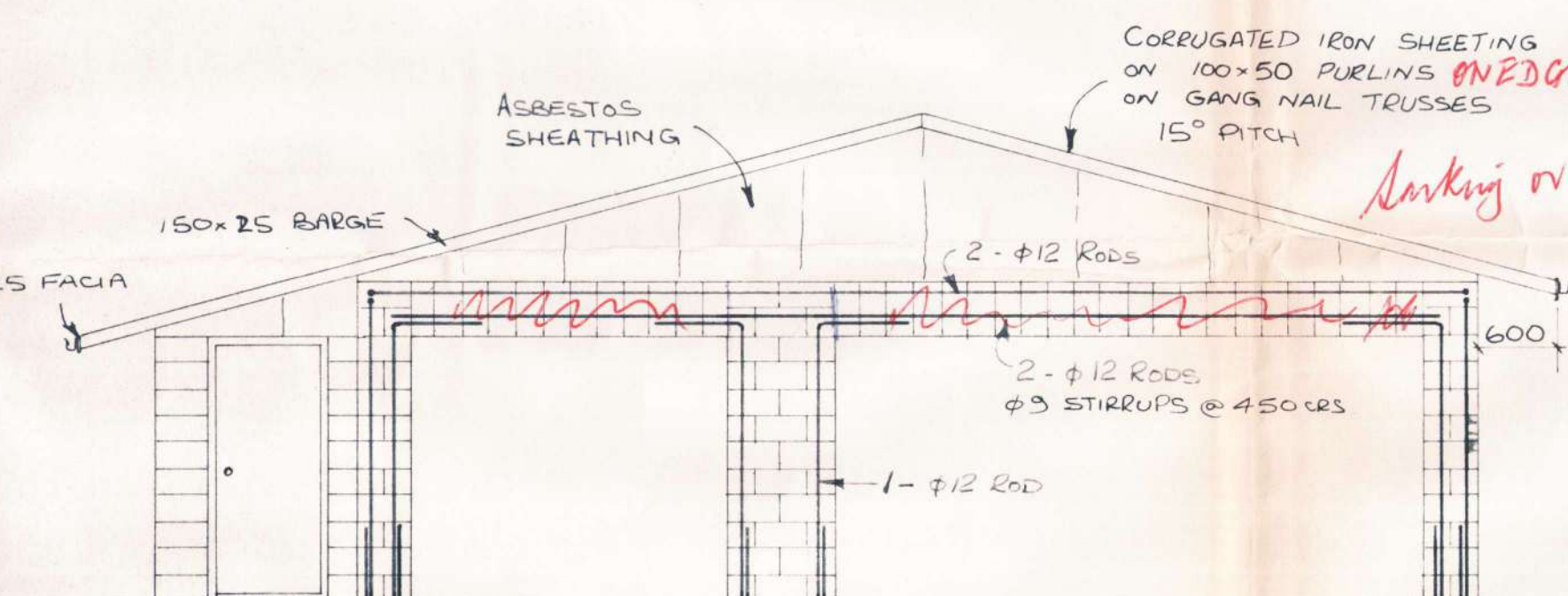
SECTION THRO' FLOOR 1:50

NORTH

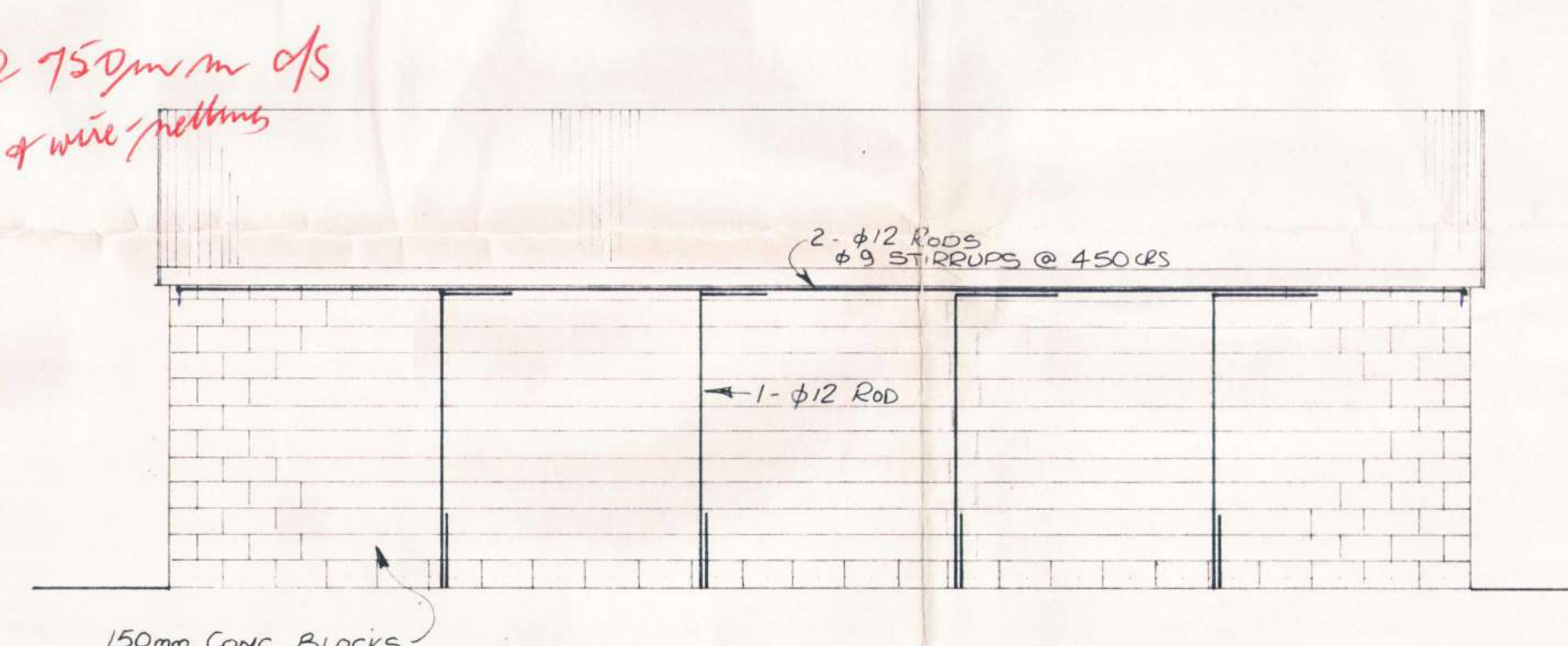
LOT 5
DP. DR 2643 PTRS 3/24

AREA 80 PERCHES

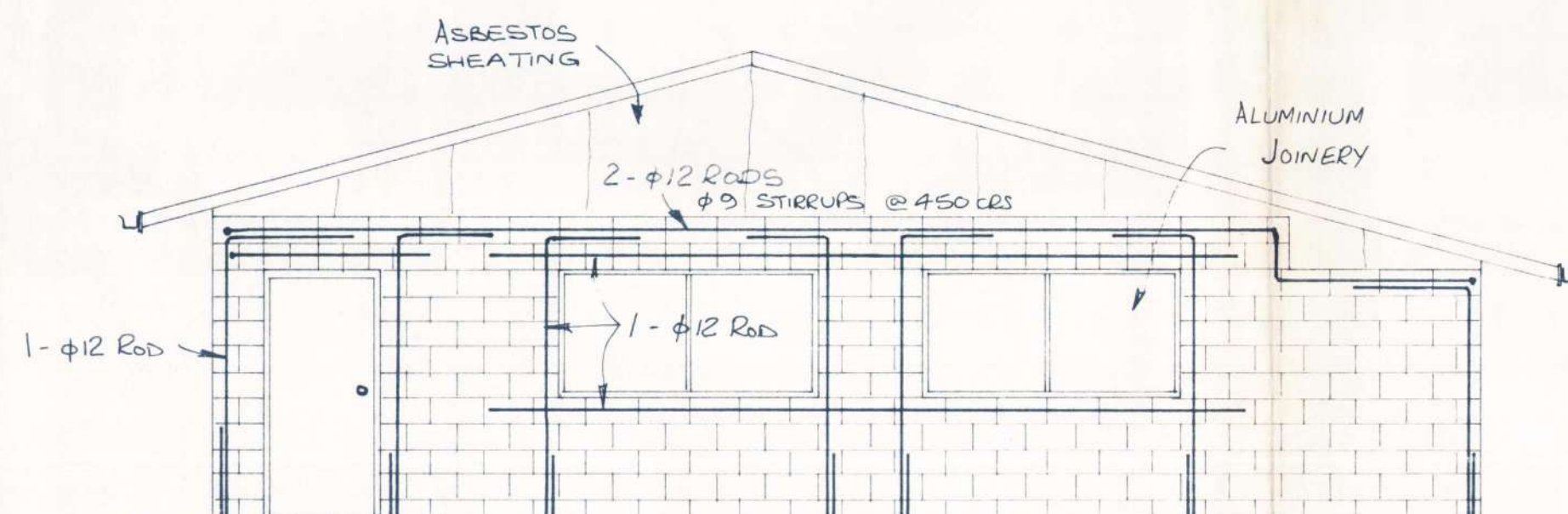
102 m



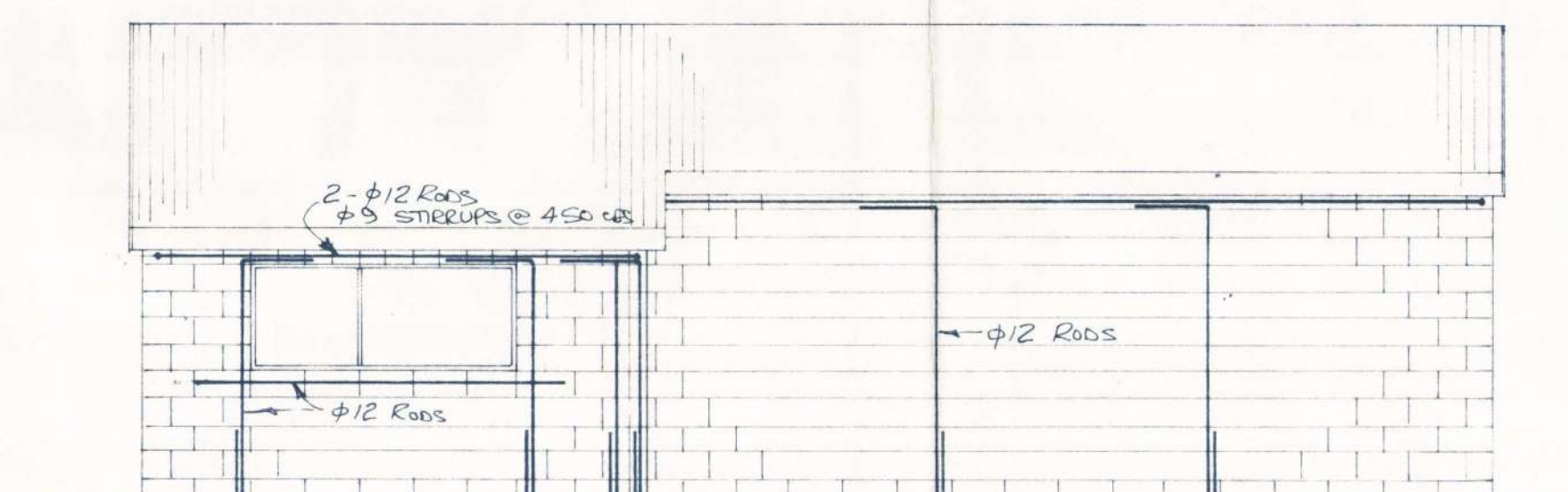
WEST ELEVATION 1:50



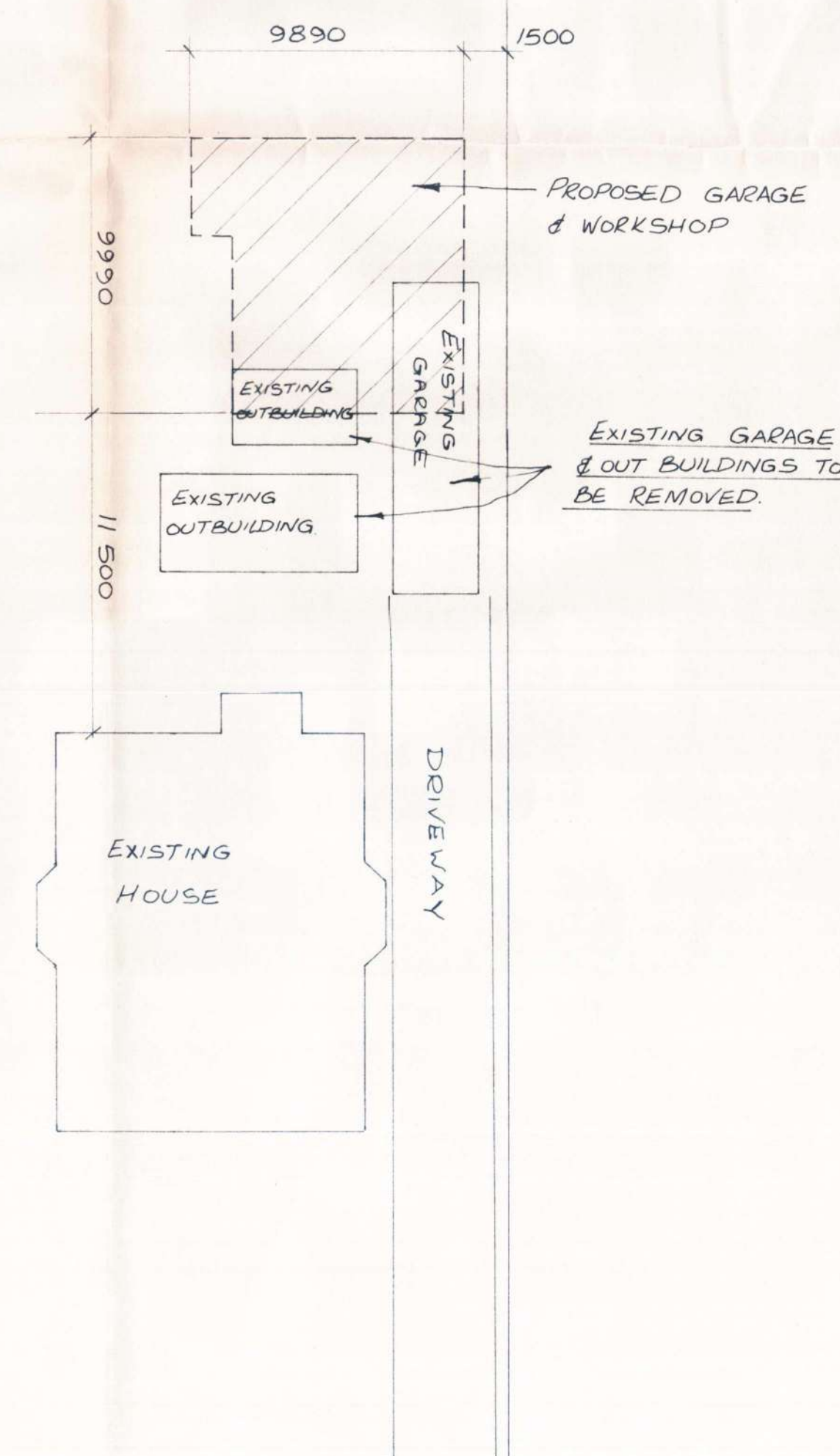
SOUTH ELEVATION 1:50



EAST ELEVATION 1:50



NORTH ELEVATION 1:50



20 m
KIRK ROAD

SITE PLAN 1:200

PROPOSED NEW GARAGE FOR MR. & MRS. I. MCKINLEY
AT 12 KIRK ROAD TEMPLETON

6. I hereby charge the said land with the payment of \$1,000 and I authorise you to lodge and maintain a caveat against the title to the said land for the protection of this agreement.
7. I will at any time before the payment of the said sum forthwith upon demand give and execute in favour of you a good and registerable memorandum of mortgage of the said land described above to secure payment of the said sum.
8. I will pay any legal and incidental fees resulting from this agreement.

SIGNED BY the abovenamed

M.E. McKinley J.H. McKinlay

in the presence of:

Witness

M.P.O.

Occupation:

PRISON OFFICER

Address

10 KIRK Rd
TEMPLETON

M. Shinky

GANG-NAIL

GROUP LTD

98003848

PRODUCER STATEMENT - DESIGN
GANG-NAIL GROUP LIMITED

CH3900
GANG-NAIL DESIGN

The building design CH3900 sheets 101, 102, 103, 104b, 105, 106a & 107 have been compiled using sound and widely accepted engineering principles and in accordance with NZS4203:1992 and NZS3603:1993 as verification methods and acceptable solutions of the approved documents issued by the Building Industry Authority to satisfy the requirements of Clause B1:Structure of the Building Regulations 1992.

As independent design professionals covered by a current policy of Professional Indemnity Insurance to a minimum value of \$200,000 I BELIEVE ON REASONABLE GROUNDS that subject to:

1. The verification of all design assumptions detailed in the drawings and
2. All proprietary products meeting the performance specification requirements,

the drawings, specifications and other documents according to which the building is proposed to be constructed, comply with the relevant provisions of the Building Code.

M NILSSON
Consent Officer

Stephen COLL

Stephen Anthony COLL

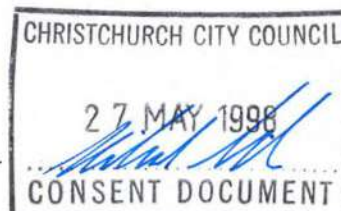
T.M. IPENZ, MNZIOB

All building work shall comply with the New Zealand Building Code notwithstanding any inconsistencies which may occur in the drawings and specifications.

for GANG-NAIL GROUP LIMITED
20 KOTZIKAS PLACE
CHRISTCHURCH
NEW ZEALAND

Date: 4 August, 1997

FILE COPY



Correspondence from Christchurch Office

Auckland Office: 5 Zalanian Drive, East Tamaki, P.O. Box 58-014
Greenmount, New Zealand. Phone 0-9-274 7109, Fax 0-9-274 7100

Christchurch Office: 20 Kotzikas Place, Sockburn, P.O. Box 8387
Riccarton, New Zealand. Phone 0-3-348 8691, Fax 0-3-348 0314



32702



CHRISTCHURCH CITY COUNCIL

SITE INSPECTION REPORT

PROJECT NO.

Site Address: R Hill RoadDescription of Consent: Gravestone

97003848

COMMENTS:

Provision to Whistman Design

Delete that which is not applicable.

INSTRUCTION TO OWNER/OWNERS AGENT:	Inspection Type
All work inspected is in accordance with the Building Consent.	M5
Some work is not satisfactory as detailed above and rectification is required.	
A formal notice to rectify will be issued.	
SIGNED: <u>[Signature]</u>	DATE: <u>30.6.98</u>

THIS IS NOT A COMPLIANCE CERTIFICATE

 CHRISTCHURCH THE GARDEN CITY <i>The city that shines</i>	CHRISTCHURCH CITY COUNCIL BUILDING CONTROL INSPECTION SERVICES		PROJECT NO:
	Site Address: _____ Description of Consent: _____		

Prepour Foundation	M1	Preline Plumbing	M4B	Final	M8	Rec
Siting/Levels		Pipe Type/Sizing		BA9 Received		
Foundation Depth, Width		Water Isolation Valve		Wall Cladding		
Reinforcing/Slab Ties		Lagging		Downpipes/Flashings		
Bearing		Roof, Tank Restraint		Roof Tank/HWC Restraint		
Eng Verification		Anti Scald Fitted		Anti Scald Protection		
Prepour Slab	M2	Soil Pipes/Vents		Gully Dish (Heights)		
Tailings		Fire Resistant Lining	M5	Waste Pipes Sealed		
DPM		Penetrations		Backflow Prevention		
Mesh		Plate/Connections		Main Vent/AAV		
Wastes		Blockwork Construction	S2	Surface Water Sumps		
Sub Floor	M3	Reinforcing		Submersed Outlets		
Pile Footings		Solid Plaster System	S5	HWC/Valves		
Bearers		Substrate OK		Barriers		
Joists		Control Joints		Handrails-height-gripable		
Sub Ventilation		Brick Veneer/Shelf Angle	S7	Stairs/Treads/Risers		
Sub Insulation		Connections		Ventilation of Spaces		
Preline Building	M4A	Drainage	M6	Ceiling Insulation		
Moisture Content Walls		Bedding Under Pipes		Fire Resistant Rating		
Moisture Content Ceilings		Inspection Points		Glazing		
Plate/Truss Fixings		F/W to Approved Outfall		Access Routes		
Framing/Ceiling Battens		S/W to Approved Outfall		Non Slip Areas		
Bracing/Roof and Walls		Main Vent Position		Retaining Walls/Drainage		
Floor Joist Layout		Adequate Cover		Swimming Pool/Fence		
Garage Lintels etc		Grade		Solid Fuel Heater		
Insulation Walls		Water Test		Producer Statements		
Insulation Ceilings		Pick-up Completed		Structural		
Roof Cladding		Pre Stopping	M7	Fire Safety Systems		
Eng Verification		Brace Element Nailing		Wall Cladding Certificate		
Inspection Comments		Fire Lining Nailing		Consultants Drainage Plan		

Please notify office when storm water system is completed

Instruction to Owner/Owners Agent All work inspected is in accordance with the Building Consent. Some work is not satisfactory as detailed above and rectification is required. A formal notice to rectify will be issued.		Inspection Type 1018	Rectification time frame as agreed / /
Signed: _____ Date: 15/10/98			Sig: _____ Time on Site
SITE INSPECTION REPORT This is not a Code Compliance Certificate			

O'Loughlin Taylor Spence Ltd
CONSULTING ENGINEERS

St Elmo Courts
47 Hereford Street
Christchurch 1
P.O. Box 2372
Telephone 373-2734
Fax 373-1542

J.S. O'Loughlin BSc EE (Hons) MIPENZ
J.S. Spence BE (Hons) MIPENZ

PRODUCER STATEMENT

for

WALL FRAMING

for

VERSATILE STANDARD GARAGES

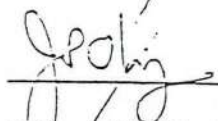
Issued by O'Loughlin Taylor Spence Ltd in respect of the wall framing as described on Standard Versatile Garages drawings File CH3900 Sheet 107 dated 25th June 1996.

We certify that the design has been carried out in accordance with the standards listed in Section B1/VM1 of the approved documents issued by the Building Industry Authority.

We believe as an independent professional design practice, covered by a current policy of Professional Indemnity insurance to a value of \$200,000, that subject to the exclusions noted below, the buildings as proposed to be constructed, comply with the relevant provisions of the building code.

1. This consulting practice has not been engaged to determine the foundations conditions which are excluded from this certification.
2. This consulting practice has not been engaged ~~for~~ for engineering inspection procedures during construction.

Signed:



O'Loughlin Taylor Spence Ltd
J S O'Loughlin Director

Registered Engineer
Registration No. 5032

Dated 4 July 1996

GANG-NAIL

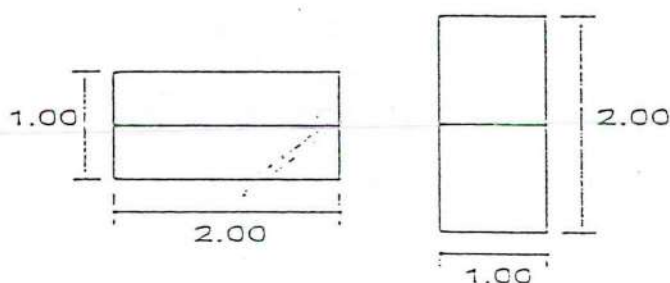
GROUP LTD

10 June 1997

CLARIFICATION OF BUILDING SIZE RATIOS FOR CH3900 SHEET 104B

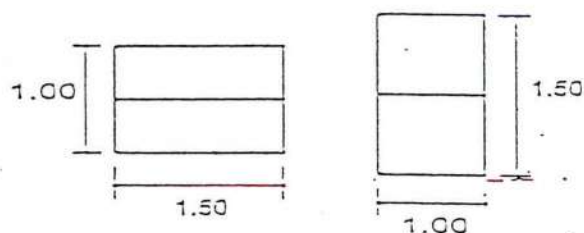
1. The designs as shown on Sheet 104-B cannot have the building ratios of side wall to end wall of more than 1 to 2. In other words any one of these walls cannot be more than twice the length of the adjacent wall.

e.g.



2. In the case of Very High wind load this ratio cannot exceed 1 to 1.5.

e.g.



and the bracing as shown applies.

cont...

Correspondence from Christchurch Office

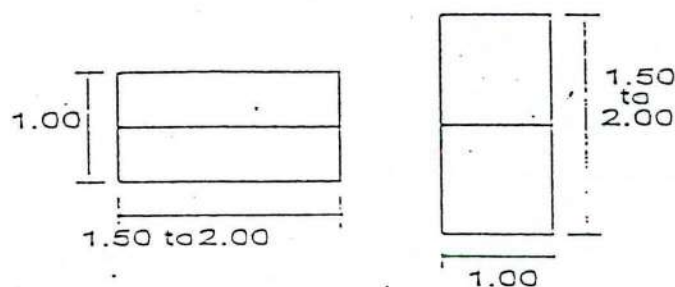
Auckland Office: 5 Zelanian Drive, East Tamaki, P.O. Box 53-014
Greenmount, New Zealand. Phone 0-9-274 7109, Fax 0-9-274 7100

Christchurch Office: 20 Katzikas Place, Sockburn, P.O. Box 8387
Riccarton, New Zealand. Phone 0-3-348 8691, Fax 0-3-348 0314



3. In the case of the High, Medium and Low wind loads there is an additional bracing requirement as noted (ie double rows as shown) where this ratio is between the 1 to 1.5 and 1 to 2.

e.g.

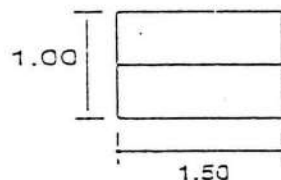


4. Where a building dimension is exactly on the 1 to 2 or 1 to 1.5 ratio the lesser bracing ratio can apply.

e.g.

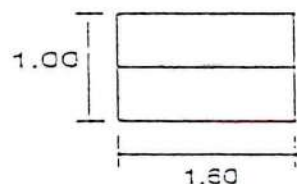
High Wind

The requirement for a double of is unnecessary



High Wind

Double row is required as shown.



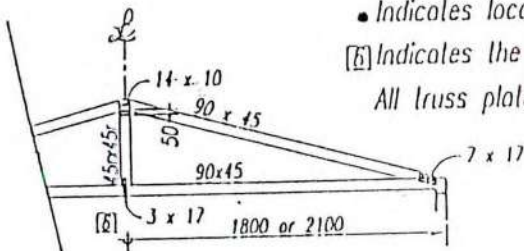
NOTE:

All trusses 15° pitch

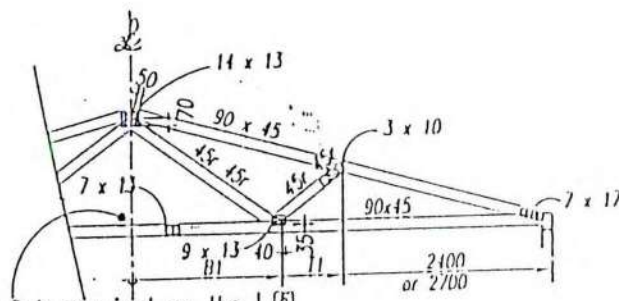
• Indicates location of Bottom Chord Brace

[6] Indicates the Truss Camber (typical)

All truss plates are Gang Nail GN10 type



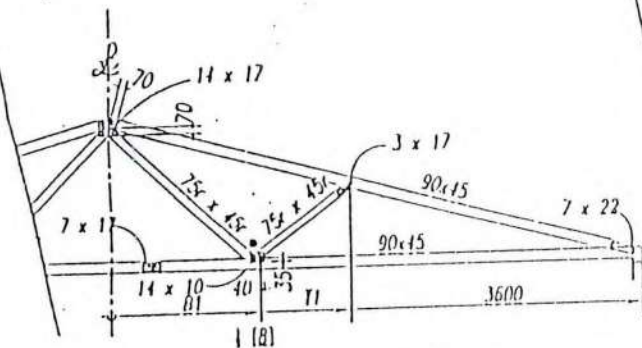
2400 to 4200 SPAN INCLUSIVE



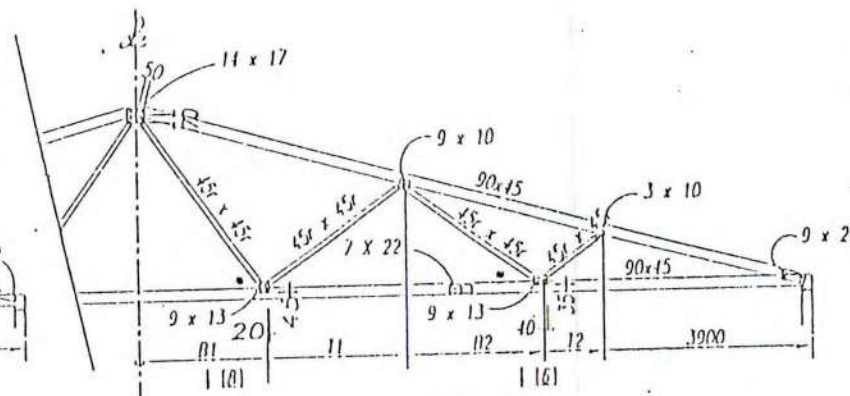
Only required on the [6]

5400 span

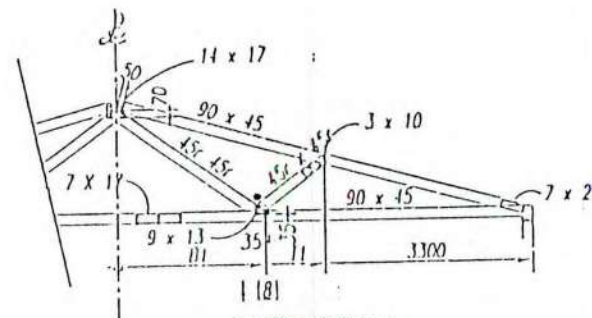
4800 & 5400 SPAN



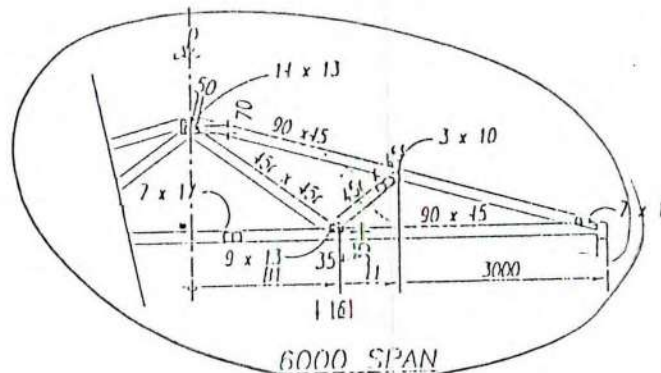
7200 SPAN



7800 SPAN



6600 SPAN



6000 SPAN

SPAN AND LOAD CHART

Live Load = 0.25kPa (top chord)

Dead Load = 0.20 kPa (top chord)

(Iron Roof, no ceiling)

Wind Load Cpi = 0.50 max

Cpe = 0.80 max

Purlin Spacing = 1100 max

SNOW

LOAD (Kpa)

WIND

LOAD

TRUSS

CENTRES

NIL	Low	2400
0.30	Low	2400
0.40	Low	2400
0.50	High	2100
0.60	Very High	1800
0.70	Very High	1600
0.80	Very High	1450
0.90	Very High	1300
1.00	Very High	1200

TIMBER:

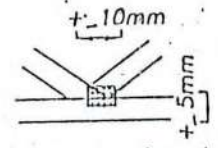
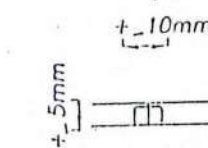
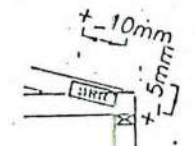
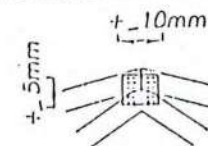
The specification of timber shall be as follows:

Grading: MSG Radiata Pine Min. F5 or No1

Framing Grade 90x35 or 90x45 Kiln Dried.

Treatment: T.P.A. Specification H1/Chem Free
Kiln Dried Radiata pine.

Moisture Content: Dry



Typical positioning tolerances for plates

MANUFACTURING TOLERANCES.

NOTE:

1. Poles are to be fully pressed home on both sides of joints.

The plate axis must be located in the specified or indicated direction.

2. Joints are to be lightly bulled along one edge. The maximum gap between surfaces must not exceed 3mm at time of fabrication.

DRAWING

TRUSS DETAILS

DESIGN & DRAWING
S.A. COLL & D.O'Connor
DATE: 1 August 1997

DRAWING NO
CH3900
SHEET NO
101

GANG-NAIL - LUMBERLOK

designed by

TIMBER ENGINEERING CONSULTANTS

Auckland Office

Christchurch Office

3-5 Inverdon Drive East Tamaki, Auckland

P.O. Box 34014, East Tamaki

Phone: 3747100, Auckland

P.O. Box 2117, Christchurch

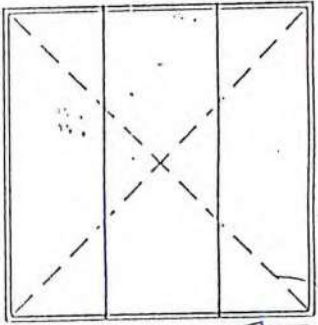
Phone: 318-8881 Fax: 318-0314

VERSATILE GARAGE DRAWINGS

BRACING NOTES

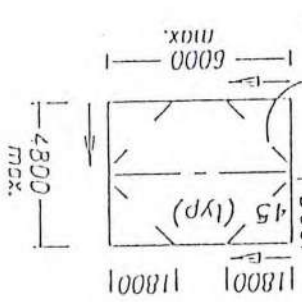
1. The bracing effect of a single angle brace can be substituted by a 240mm panel of weatherboard as detailed on Sheet No 105

2. Indicates a single row of Lumberlok Strip Brace tensioned up and laid over the top of purlins. Fix each end with 3 x 75 x 3.15 nails. (typical)
Indicates a single length of Angle Brace in wall set at approx 45°. Fix each end with 3 x 60 x 3.15 nails and at each stud crossing with 2 x 60 x 3.15 nails (typical)

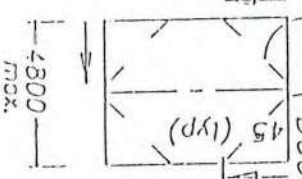


3. Building dimension ratios of Side Wall to End Wall must not exceed 1 to 2 (horizontal) for low, medium and high wind zones. Where the end wall to side wall ratio is between 1 to 1.5 and 1 to 2, a double row of strip brace is required or triple row in the case of 12m x 12m for high wind.

Fix to top plate with 4 x 90 nails
Door 45 (typ)
1800 1800
max. 6000
bottom chord of truss
90 x 45 Dragon Ties at 45 in plane of bottom chord of truss

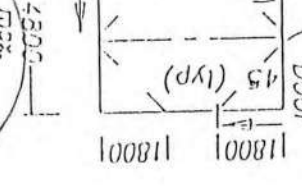


Fix to top plate with 4 x 90 nails
Door 45 (typ)
1800 1800
max. 6000
bottom chord of truss
Effective truss centres 90 x 45 Dragon Ties at 45 in plane of = 4200 - 2 ie 2100



4. Maximum Stud height of Building is 2.450m. Refer slt 106A for 2.7m & 3.0m slud heights. requires single rows only. The ratio of 1 to 1.5 and below on the corner to corner lines. (shown thus: — — — — —)

Fix to top plate with 4 x 90 nails
Door 45 (typ)
1800 1800
max. 6000
bottom chord of truss



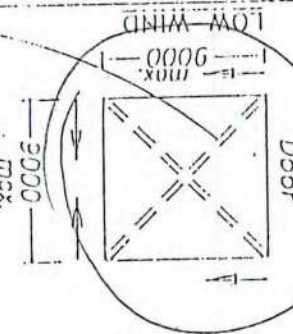
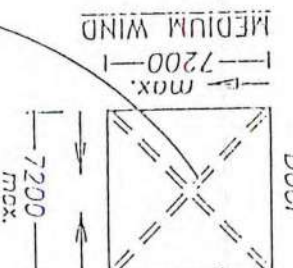
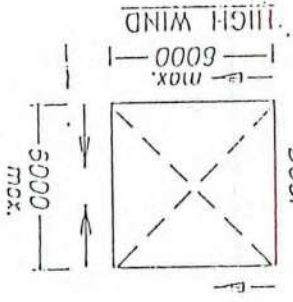
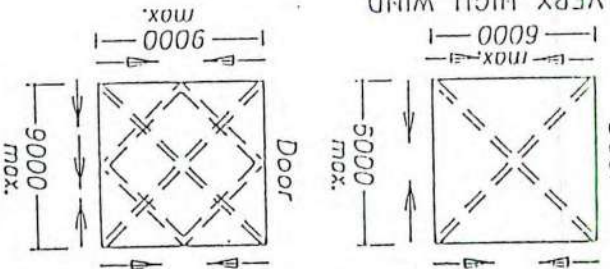
VERSATILE GARAGE DRAWINGS

GANG-NAIL - LUMBERLOK
designed by
TIMBER ENGINEERING CONSULTANTS
Engineering Office
10-11 Station Street, East Melbourne, Vic 3002, Australia
Phone 03 9247 1111 Fax 03 9247 1111

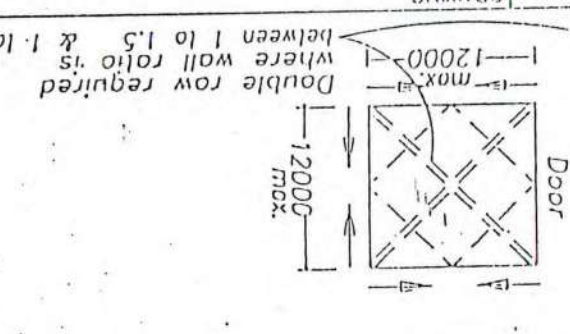
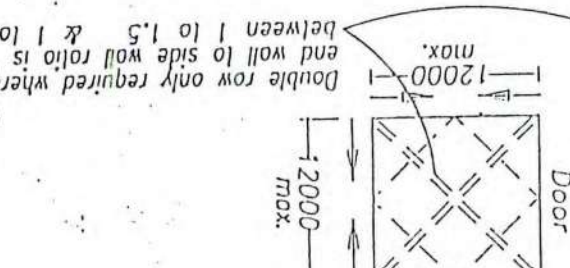
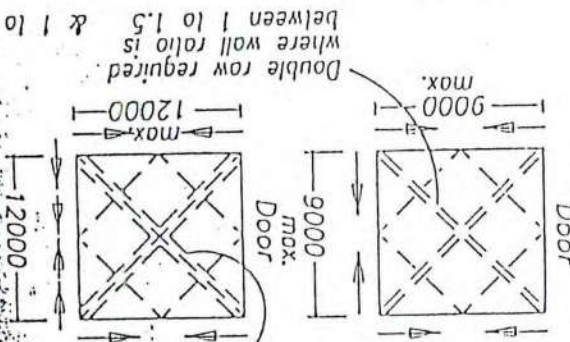


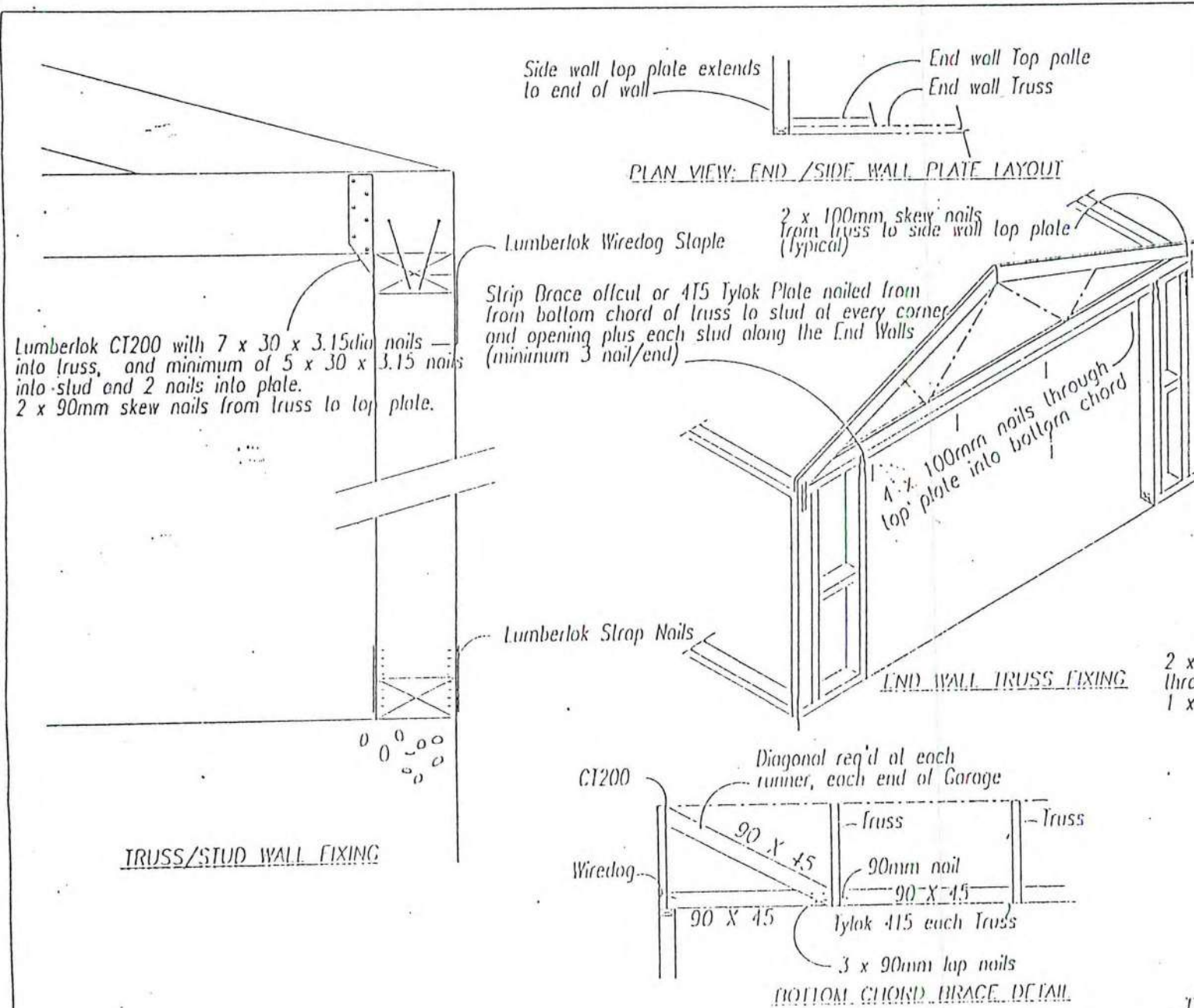
DRAWING
WINDLOAD BRACING REQUIREMENTS
DESIGN & DRAWN BY
S.A. COLL & D.O. CONNOR
DATE
1 August 1997
SHEET NO
104-B

VERY HIGH WIND



DOUBLE ROW REQUIRED WHERE WALL RATIO IS BETWEEN 1 TO 1.5 & 1 TO 2





LOAD DETAILS

Live Load = 0.25Kpa (top chord)
 Dead Load = 0.20 Kpa (top chord)
 Wind Load Cpi = 0.50 max
 Cpe = 0.80 max
 Purlin Spacing = 1100 max

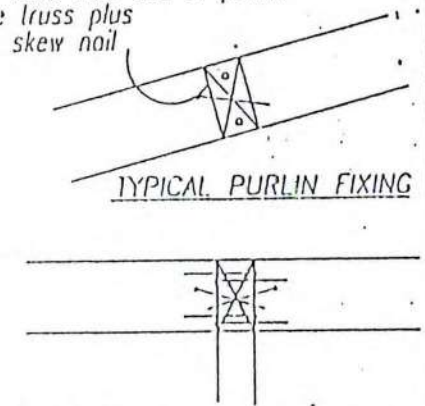
SNOW LOAD(Kpa)	WIND LOAD	TRUSS CENTRES
Nil	Low	2400
0.30	Low	2400
0.40	Low	2400
0.50	High	2100
0.60	Very High	1800
0.70	Very High	1600
0.80	Very High	1450
0.90	Very High	1300
1.00	Very High	1200

NOTE:

Stud fixings in these two cases require the addition of two x Wire Dog Staples per connection.

WIND LOAD	TRUSS SPAN
High	12000
Very High	12000

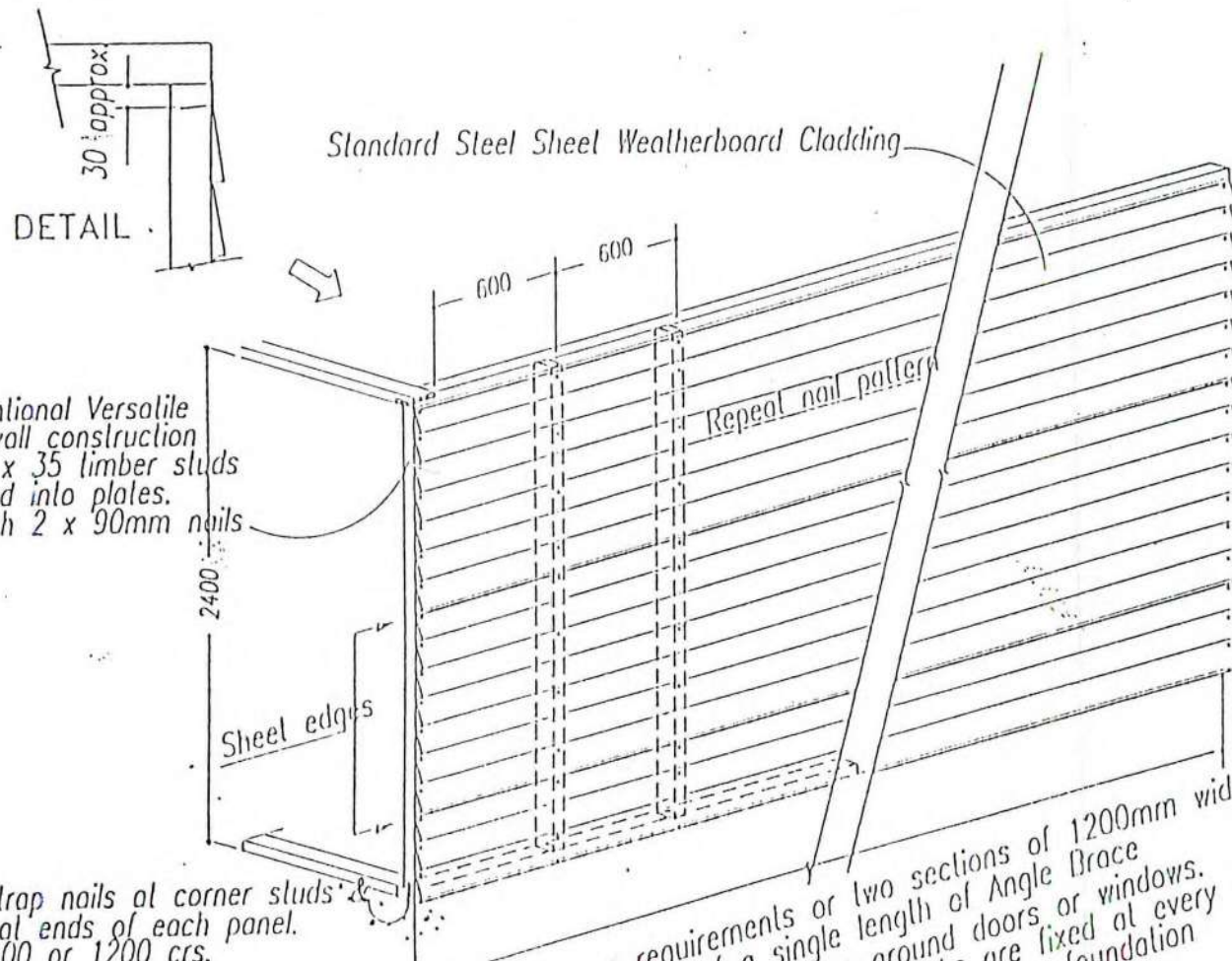
2 x 90mm nails into end of purlin through the truss plus 1 x 90mm skew nail



GANG-NAIL — LUMBERLOK
 designed by
TIMBER ENGINEERING CONSULTANTS
 Auckland Office
 2-3 Teahana Drive East Tamaki, Auckland 1014
 Phone 314 1100, Auckland
 Christchurch Office
 100, Box 4117, Christchurch
 Phone 314 8117 Fax 314 0314

VERSATILE GARAGE DRAWINGS

DRAWING TRUSS/STUD/PURLIN FIXING DETAILS	
DESIGN & DRAWN S.A. Coll & B.O'Connor	DRAWING No CH3900
DATE 1 August 1997	SHEET No 103



NOTE

1. Fix weather board with ϕ 2.8 x 35mm galvanised nails.
2. Locate nails as indicated on the drawing of a wall section.
All sheet edges to be fixed to studs at 600crs plus intermediate nailing between sheet edges at every alternate rib. Fixing along the vertical sheet edges to be at every rib.
3. "Bracing Ability"
Provided the weatherboard sheet iron (as shown across) is fixed in accordance with notes 1 & 2 and laid out as drawn, a 2400 mm section can replace the requirement of a single length of Angle Brace as specified on Sheet No 104.

Refer to :
"Load Rating of Versatile Timber Frame Garage Wall"
prepared by: J.A. Dean
Reg Structural Engineer,
University of Canterbury.
October 1989.

This report is available for inspection from:
Versatile Buildings Ltd,
Springs Road.
CHRISTCHURCH.

2400mm Minimum requirements or two sections of 1200mm wide panels provides bracing effect of a single length of Angle Brace ie. Allows for break in wall section around doors or windows. All vertical sheet edges around these breaks are fixed at every rib. 10mm bolt and washer through bottom plate to foundation to be located at the stud at the ends of each panel.

GANG-NAIL — LUMBERLOK
designed by
TIMBER ENGINEERING CONSULTANTS
Auckland Office: 1-2 Tindan Drive, East Tamaki, Auckland. Phone: 214-1041.
Christchurch Office: P.O. Box 2337, Christchurch. Phone: 214-8331. Fax: 214-8334.

VERSATILE GARAGE DRAWINGS

DRAWING WEATHERBOARD BRACING ELEMENT	
DESIGN & DRAWN SA COIL & R O'Connor	DRAWING No CH3900
DATE 1 August 1997	SHEET No 105

WALL FRAMING OPTIONS

OPTION 1 - VISUALLY GRADED DRY FRAME TIMBER

All combinations of loading conditions and geometric layouts will consist of 90 x 35 mm Number 1 Dry Frame.

OPTION 2 - MACHINE STRESS GRADED DRY FRAME TIMBER

(Stud Heights)

		2.1	2.4	2.7	3.0
Wall (90x35mm)	Low	F4	F4	F4	F5
	Medium	F4	F4	F5	F7
	High	F4	F7	F8	F11
	Very High	F5	F8	F11	F11 (90x45)

TOP PLATE ONLY

Truss Spacing

Height	1800	2400
2.1	F4	F4
2.4	F4	F5
2.7	F4	F5
3	F5	F5

OPTION 3 - VISUALLY GRADED WET FRAME TIMBER

All combinations of loading conditions and geometric layouts will consist of 94 x 47 mm Number 2 Wet Frame.

CANENAIL

GROUP LTD
designed by
TIMBER ENGINEERING CONSULTANTS
PO Box 1187, Rotorua
Central
Phone 06 348 8181
Fax 06 348 8114

Job Title

VERSATILE GARAGE DRAWINGS

Sheet Title

WALL DETAILS

Drawing Number

C143900

Date 28/6/96
Scale 1:100

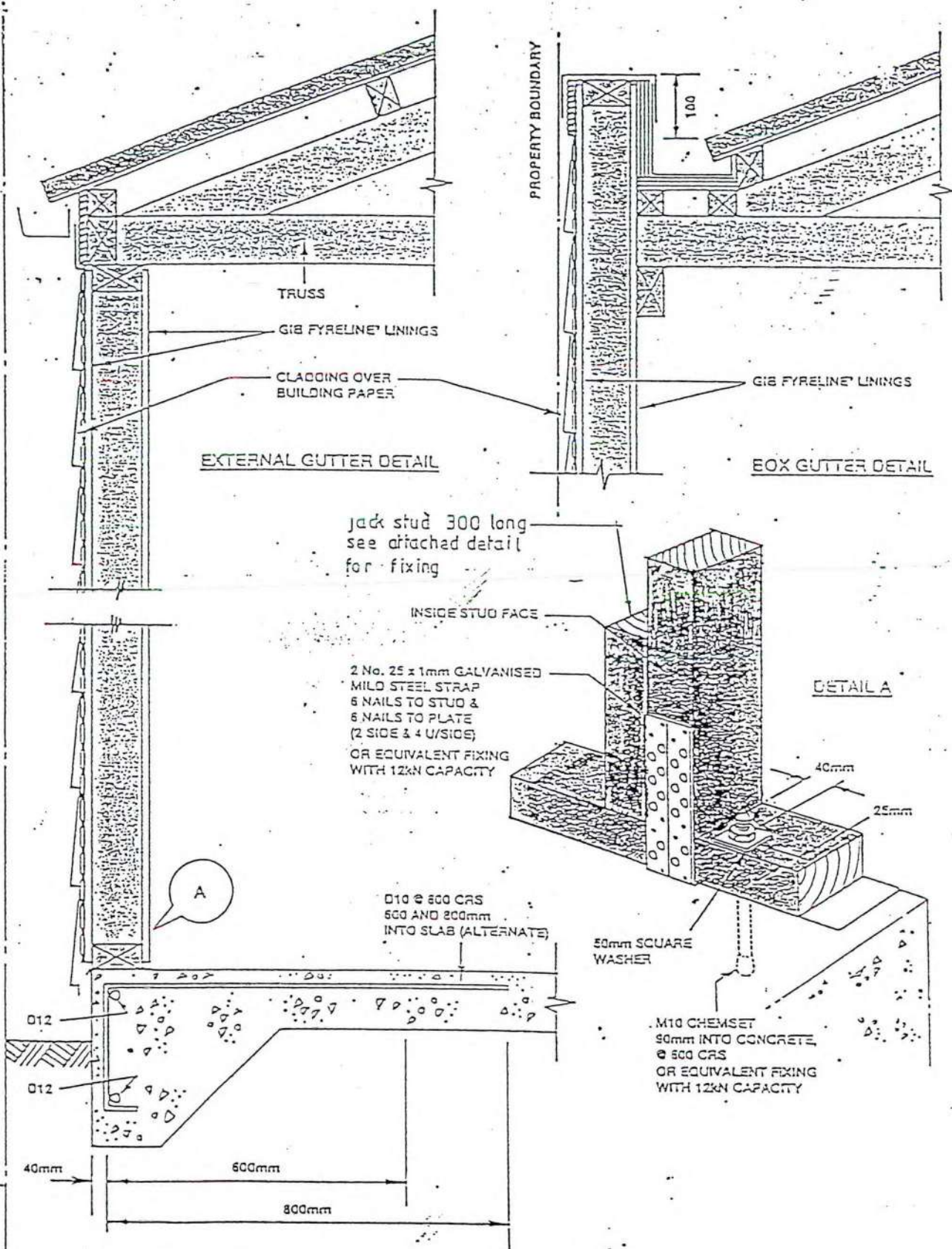
Prepared SAC
Drawn DLW

Checked SAC
Confirmed SAC

Sheet

107

Prime Cad



NOTE : fyreline sheets laid horizontally stagger joints



WINSTONE WALLBOARDS LTD

Auckland
Wellington
Christchurch

1-2184 Fax 0-9-534 3972
0293 Fax 0-4-553 7244
1159 Fax 0-3-337 1014



Auckland
Ph (09) 274-7109, Fax (09) 274-7100
Christchurch
Ph (03) 348-8691, Fax (03) 348-0314

Fire Wall Bracket
Name
RTS

Date

7/10/96

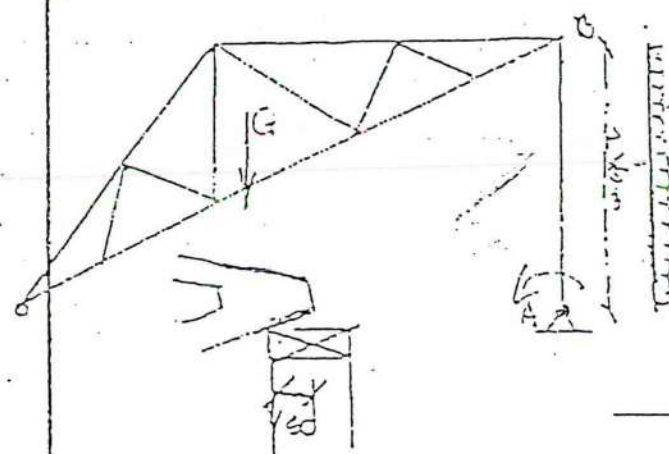
Page

1

Assumptions

- 1) Light Roof only, no ceiling
- 2) 2.45m high studs from 90x35mm Laser frame
- 3) Gauge width between 3 to 3.5m
- 4) (a) Average roof $\frac{0.2 \text{ kPa}}{\cos 70^\circ} = 0.21 \text{ kPa}$

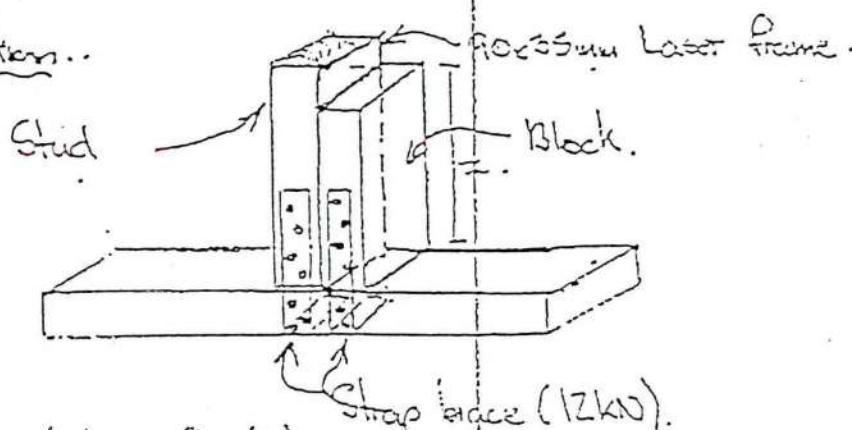
7.5m Span



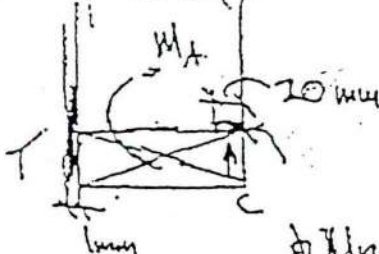
$$P_g = \frac{7.5}{2} \times 0.21 \times 0.646 = 0.615 \text{ kN/m}$$

$$M_A = 0.615 \times 0.05 \div 0.5 \times \frac{2.45 \times 2.45 \times 0.6}{2} = 0.092 \text{ kNm/stud}$$

Possible connections..



Check Strap brace ($\phi = 1$ for 12kN)



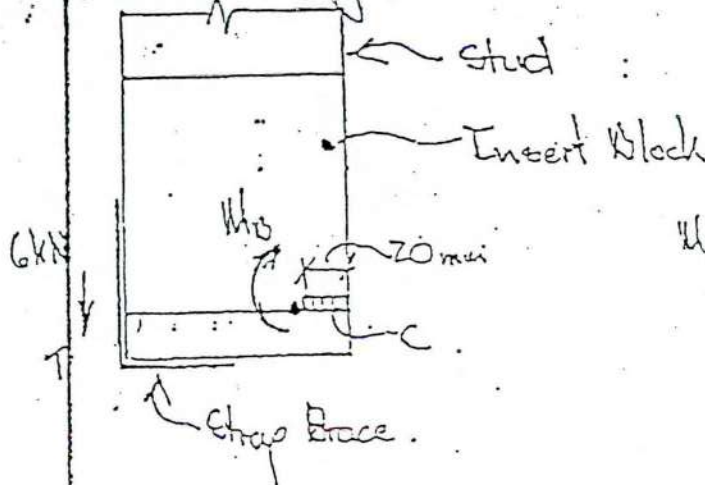
$$T = 12 \text{ kN}$$

$$M_n = 12 \times 0.0705 = 0.85 \text{ kNm}$$

$\phi M_n = 0.41$ within 5% of M_A okay



Insert Block Design



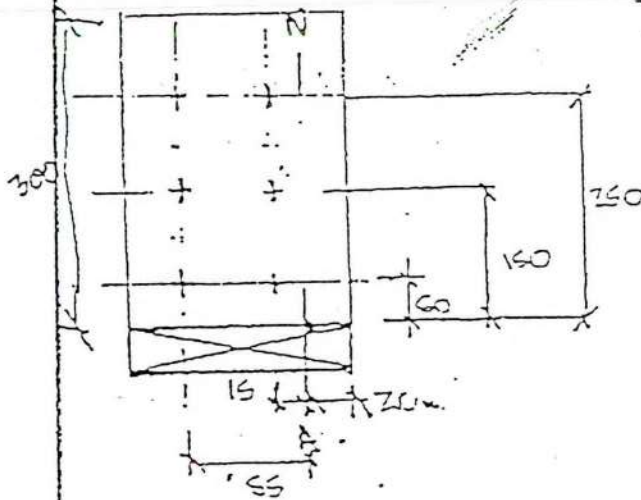
$$W_{10} = 0.0705 \times 6 = 0.43 \text{ kNm}$$

By 250x90x35 mm Block

$$\phi = 1$$

$$k = 0.67$$

with 3.75x60 mm Nails in the following pattern



$$Q_n = \frac{K}{\Gamma_{max}} Q_r \sum_{i=1}^n \Gamma_i^2$$

$$\Gamma^2 = (2 \times 0.015^2) + (3 \times 0.055^2) + (2 \times 0.05^2) + (2 \times 0.15^2) + (2 \times 0.25^2) = 0.185$$

$$Q_r = 868 \text{ N}$$

$$\Gamma_{max} = 1 \times 0.055^2 (1 \times 0.25^2)$$

$$\Gamma_{max} = 0.0055 = 0.256$$

$$\therefore Q_n = 0.43 \text{ kNm with 5% of } 0.43 \text{ kNm}$$

Okay

Summary Use:

2x Lumberlok Strap brace $\Rightarrow$ Characteristic load

1x Insert block 250x90x35 mm with 6x 3.75x60 mm wc

FLOOR PLAN 1:100 FLOOR AREA: 54 m

GENERAL

All work to comply with the New Zealand Building Code. This specification and drawings shall be read in conjunction with Gangnail Producer Statement for Design, dated 26 July, 1996.

FOUNDATIONS

Concrete floor shall be 17.5 MPA, 100mm thick. Footing as detailed.

WALL FRAMING

All timber shall be machine gauged and treated to T.P.A. specification H1 or Chemical Free Dry frame. Studs shall be 90x35 dry frame at 600 c/s and housed into plates with dwangs housed into studs. Lay two ply mathoid d.p.c. under all plates. Refer Gangnail Producer Statement CH3900/107 for timber grade options and specification.

ROOF FRAMING

Purlins shall be 90mm x 45mm on edge at 1100 max c/s fixed to Gangnail 15 degree trusses at centres shown below
Fix purlins and trusses as detailed in Gangnail Producer Statement for Design.

SIDE ENTRY OPENING LINTELS

Refer Soon Loo Consultants Ltd Producer Statement for Design, dated February 1997, for side entry limits table below relates to Low Wind, up to 0.3 Snow (Kpa), Refer Producer Statement for others.

Clear Span	Truss Span: 6000	Truss Span: 6600 & 7200	Truss Span: 7800-9000
Max. span 2.7	170 x 45 LVL Lintel	170 x 45 LVL Lintel	200 x 45 LVL Lintel
Max. span 3.0	240 x 45 LVL Lintel	240 x 45 LVL Lintel	240 x 45 LVL Lintel
Max. span 4.5	240 x 45 LVL Lintel	240 x 45 LVL Lintel	240 x 63 LVL Lintel
Max. span 4.8	240 x 45 LVL Lintel	240 x 63 LVL Lintel	300 x 45 LVL Lintel

Trusses butted to lintel with 90 x 45 lumberlock joist hanger

ROOFING

Shall be 0.44 B.M.T. steel longrun rib roofing, fixed with 65/75mm weatherseal spiral shank nails, over building paper on Ultra-Violet fast lashing.

WALL CLADDING

Shall be Super-chad.
Fix in accordance with Gangnail Producer Statement for Design

ROOF BRACING

Fix 90 x 45 dragon ties on flat to each corner of building up to 6.0m x 4.8m. For buildings over 6.0m x 4.8m fix Lumberlok roof plane strap bracing in accordance with Gangnail Producer Statement for Design.

WALL BRACING

For Superclad 300 horizontal weatherboard fix 22 x 22 x 1.2 metal angle bracing in accordance with NZS 3604. For steel sheet weatherboard cladding no metal angle bracing is required, refer Gannail producer statement.

VERSATILE

BUILDINGS

HEAD OFFICE:
112 WATERLOO ROAD

PH: (03) 348-8704
FAX: (03) 348-5099

PROJECT TITLE

Proposed Garage For

Mr and Mrs McKinley.
12 Kirk Rd

DRAWING TITLE

VERSATILE GARAGE

Note: Construction to comply with NZS 3604 (1990)
and the New Zealand Building Code 1992
REFER TO PRODUCER STATEMENT

SCALE: 1:100 DATE: Sep '97
DRAWN: FILE:
B.O'Connor VG-1301A

SHEET: -
OF: -

SIDE ELEVATIONS 1:100

longrun rib roofing
90x45 dry frame purlins
cut between trusses

90x45 dry frame
trusses at 2100mm
effective centres

90x35 dry frame studs at 600mm centres

All building work shall comply with the New Zealand Building Code notwithstanding any inconsistencies which may occur in the drawings and specifications.

M NILSSON
Consent Officer

CHRISTCHURCH CITY COUNCIL

27 MAY 1998

1-10 CONSENT DOCUMENT

TYPICAL SECTION

DETAILS

FILE COPY

Diagram illustrating the components and specifications of a garage roof truss system:

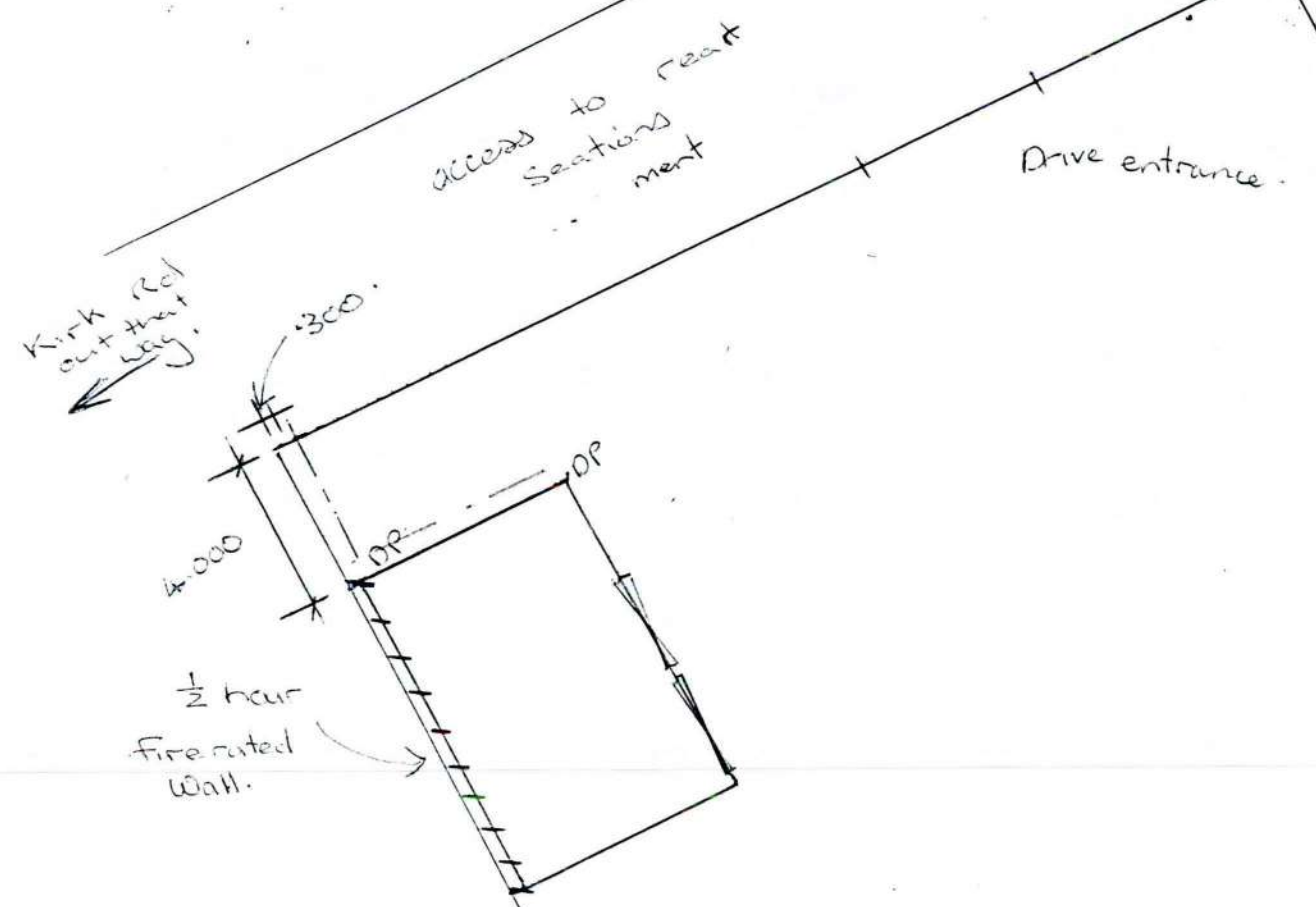
- End truss
- Diagonal required at each runner at each end of the garage
- Standard truss
- 90 mm nail
- Standard truss
- Wire cog
- 3x90 mm lap nails
- Front wall stud
- Bottom chord brace
- Tyvik 415 each truss

BOTTOM CHORD BRACE DETAIL
For all lengths apart from 6.0m garage
For all widths over 4.8m wide

Side view diagram of a 6.0m length garage structure. The diagram shows a horizontal beam with several vertical supports and bracing. Labels include: End truss, Standard truss, 90x45 ridge braces for the 6.0m length garage, Wire dog, Chord brace, End wall stud, Front wall stud, and Side view.

RIDGE BRACING FOR 6.0 M GARAGE

BOTTOM CHORD BRACE DETAIL



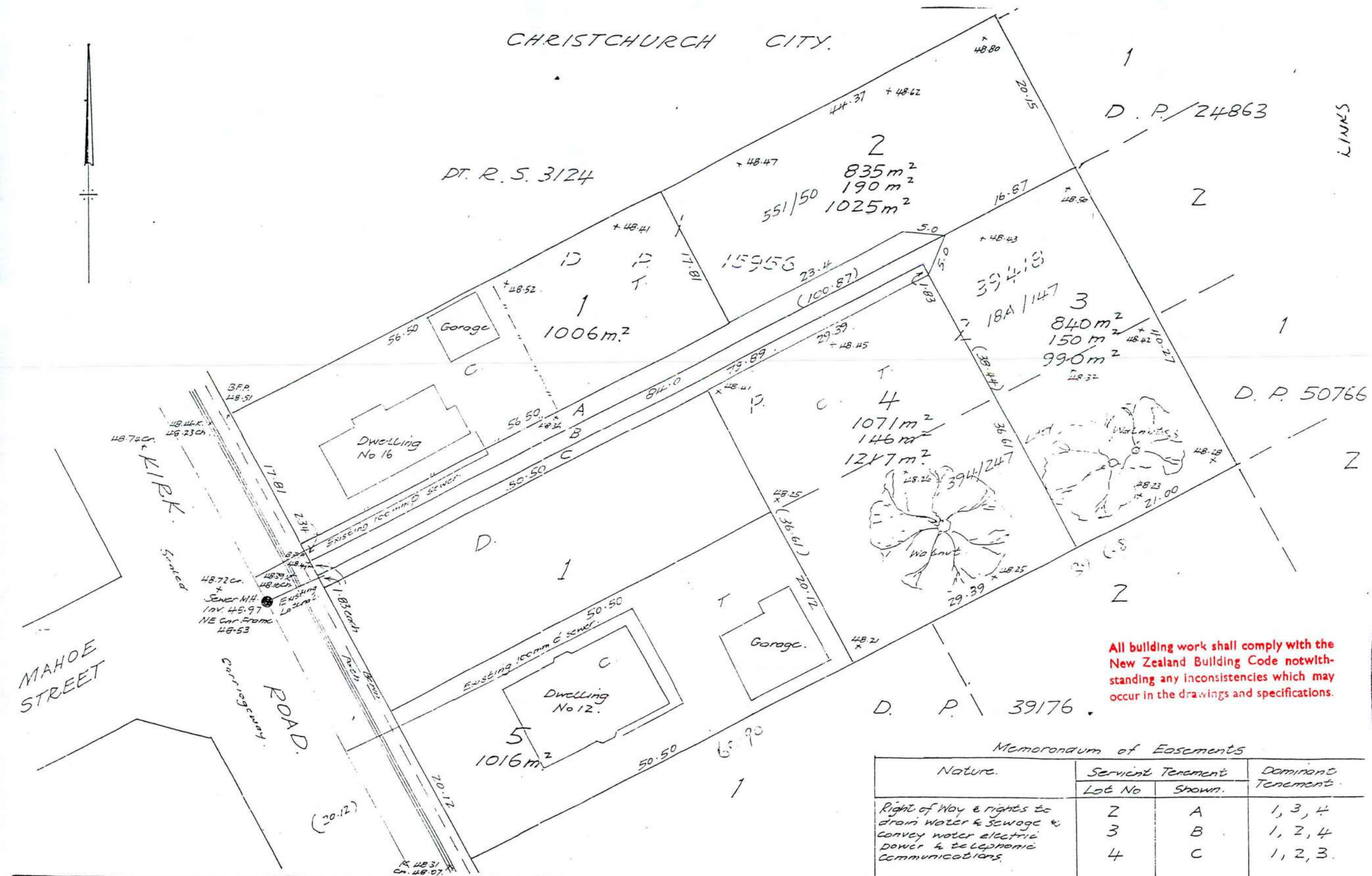
All building work shall comply with the New Zealand Building Code notwithstanding any inconsistencies which may occur in the drawings and specifications.

SITE AREA	-	1071	m ²
EXISTING	-	—	m ²
PROPOSED	-	54	m ²
TOTAL	-	54	m ²
COVERAGE	-	—	%

PROPOSED SITE PLAN FOR.
Mr Mrs McKinley
12 Kirk Rd



1/25 July



All building work shall comply with the New Zealand Building Code notwithstanding any inconsistencies which may occur in the drawings and specifications.

CHRISTCHURCH CITY COUNCIL
27 MAY 1998
CONSENT DOCUMENT

Memorandum of Easements

Nature.	Servient Tenement		Dominant Tenement
	Lot No	Shown.	
Right of Way & rights to drain water & sewage & convey water electric power & telephonic communications.	2	A	1, 3, 4
	3	B	1, 2, 4
	4	C	1, 2, 3.

C. E. Heald.
Registered Surveyor
8 Whitchurch Place
Christchurch 5

PROPOSED SUBDIVISION OF LOT 1 D.P. 15956, LOT 2 D.P. 39418
& DT R. S. 3124
Comprised in CST. 551/50 (P. Alfred) & 18A/147, 394/247 (I.H. & M.E. McKinlay)
BLOCK XIII CHRISTCHURCH S.D. CANTERBURY L.D.

Areas & dimensions subject to final survey.

DRAWN *CH* CHECKED SCALES
TRACED DATE *7 June 1998* 1:1100

SHEET
1
SERIES OF
REF

FINAL CODE COMPLIANCE CERTIFICATE

Issued by
BUILDING CONTROL INSPECTION SERVICES
CHRISTCHURCH CITY COUNCIL

5000013196391

BUILDING CONSENT No.
98003848

Project Location

Street Address: 12 KIRK ROAD, TEMPLETON, CHRISTCHURCH 8004
Legal description: LOTS 4-5 DP 57615

Project Particulars

THIS CERTIFICATION IS FOR :

New Construction

THE INTENDED USE(S) FOR THIS BUILDING WORK IS FOR:

Other Residential Outbuildings

PROPOSED WORK DETAILS:

GARAGE-WORKSHOP

OUTBUILDINGS - GARAGE-WORKSHOP

The intended life of this building work is indefinite but not less than 50 years.

COPY

This certificate is issued under Section 43 clause (3) of the Building Act 1991 and is a Final Code Compliance issued in respect of all work under the above Building Consent.

Signed for and on behalf of the Christchurch City Council:

Date of Issue: 12/09/2000

Name:

Position: Building Inspection Coordinator



CHRISTCHURCH CITY COUNCIL

BUILDING CONTROL INSPECTION SERVICES

PROJECT NO:

Site Address: 12 KirkDescription of Consent: garage98003848

Prepour Foundation	M1	Preline Plumbing	M4B	Final (Residential)	M8	Final (Comm/Ind)	M8
Siting/Levels/Bearing		Pipe Type/Sizing		BA9 Received		BA9 Received	
Ground Condition		Water Isolation Valve		Wall Cladding/Cert.		Car Parking Marked	
Reinforcing/Slab Ties		Lagging		Downpipes/Flashings		Downpipe/Rainhead	
Eng. Verification		Water Test		Roof Tank/HWC Restrnt		Gully Trap/T.Vent	
Sub-floor Drainage	M1A	Anti-scald, fitted		Anti Scald Protection		Trade Waste	
A.S.3500/Drainage		Soil Pipes/Vents		Gully Dish (Heights)		Glass/Safety/Visibility	
Prepour Slab	M2	Fire Resistant Lining	M5	Waste Pipes Sealed		Disabled Facilities	
Tailings		Penetration/Connection		Backflow Prevention		"	Thresholds
DPM		Blockwork Constr.	S2	Main Vent/AAV		"	Toilet
Mesh		Reinforcing		Surface Water Sumps		"	Accessway
Wastes		Solid Plaster System	S5	Submersed Outlets		"	Car Parking
Sub Floor	M3	Substrate OK		HWC/Valves		"	Signage
Pile Footings		Control Joints		Barriers/Stair/Rails		Barriers/Stair/Rails	
Bearers/Joists		Brick / Shelf Angle	S6	Stairs/Treads/Risers		Anti-scald, fitted	
Sub Ventilation		Connections		Ventilation of Spaces		Ventilation (HVAC)	
Sub Insulation		Drainage	M6	Ceiling Insulation		Fire Resistant Rating	
Preline Building	M4A	Bedding Under Pipes		Fire Resistant Rating		Fire Alarm Systems	
Moisture Walls	%	Inspection Points		Glazing/Safety		Egress/Signage	
" Ceilings	%	F/W→Approved Outfall		Access Routes		Surface Water Sumps	
Plate/Truss Fixings		S/W→Approved Outfall		Non Slip Areas		Producer Statements	
Framing/Ceiling		Main Vent Position		Retaining Wall/Drainage		Structural	
Bracing/Roof and Walls		Adequate Cover		Swimming Pool/Fence		As Built Drainage Plan	
Floor Joist Layout		Grade		Solid Fuel Heater		HVAC	
Garage Lintels etc		Water Test		Producer Statements		Fire Alarm Installer	
Insulation Walls		Pick-up Completed		Structural		FPIS	
Insulation Ceilings		Pre Stopping	M7	As Built Drainage Plan		Fire Engineer	
Roof Cladding		Brace Element Fixings		Drainlayer		Builder	
Eng. Verification		Fire Lining Fixings		Plumber		Gas Fitter	

Inspection Comments

5W

PROJECT COMPLETE
SIGNED AGRS
DATE 12/9/2000

Thank

Instruction to Owner/Owner's Agent	Inspection Type	Rectification time frame as agreed
All work inspected is in accordance with the Building Consent. ✓	<u>m6</u> <u>5</u>	/...../.....
Some work is not satisfactory as detailed above and rectification is required.		
A formal notice to rectify will be issued.		
Signed: <u>AGRS</u>	Date: <u>11/9/2000</u>	Sig:

SITE INSPECTION REPORT

Time on Site

This is not a Code Compliance Certificate

34380



CHRISTCHURCH CITY COUNCIL

SITE INSPECTION REPORT

PROJECT NO.

Site Address: 12 Kirk Rd.Description of Consent: garage

98/3848

COMMENTS:

Footings 150x150
Siting appears OK

Delete that which is not applicable.

INSTRUCTION TO OWNER/OWNERS AGENT:	Inspection Type
All work inspected is in accordance with the Building Consent. ✓	m1
Some work is not satisfactory as detailed above and rectification is required.	
A formal notice to rectify will be issued.	
SIGNED: <u>[Signature]</u>	DATE: <u>19.6.98</u>

THIS IS NOT A COMPLIANCE CERTIFICATE

TEP

 CHRISTCHURCH THE GARDEN CITY <i>The city that shines</i>	CHRISTCHURCH CITY COUNCIL BUILDING CONTROL INSPECTION SERVICES	PROJECT NO: 98003848
Site Address: 12 Kirk		
Description of Consent: garage		

Prepour Foundation	M1	Preline Plumbing	M4B	Final (Residential)	M8	Final (Comm/Ind)	M8
Siting/Levels/Bearing		Pipe Type/Sizing		BA9 Received		BA9 Received	
Ground Condition		Water Isolation Valve		Wall Cladding/Cert.		Car Parking Marked	
Reinforcing/Slab Ties		Lagging		Downpipes/Flashings		Downpipe/Rainhead	
Eng. Verification		Water Test		Roof Tank/HWC Restrnt		Gully Trap/T.Vent	
Sub-floor Drainage	M1A	Anti-scald, fitted		Anti Scald Protection		Trade Waste	
A.S.3500/Drainage		Soil Pipes/Vents		Gully Dish (Heights)		Glass/Safety/Visibility	
Prepour Slab	M2	Fire Resistant Lining	M5	Waste Pipes Sealed		Disabled Facilities	
Tailings		Penetration/Connection		Backflow Prevention		" Thresholds	
DPM		Blockwork Constr.	S2	Main Vent/AAV		" Toilet	
Mesh		Reinforcing		Surface Water Sumps		" Accessway	
Wastes		Solid Plaster System	S5	Submersed Outlets		" Car Parking	
Sub Floor	M3	Substrate OK		HWC/Valves		" Signage	
Pile Footings		Control Joints		Barriers/Stair/Rails		Barriers/Stair/Rails	
Bearers/Joists		Brick / Shelf Angle	S6	Stairs/Treads/Risers		Anti-scald, fitted	
Sub Ventilation		Connections		Ventilation of Spaces		Ventilation (HVAC)	
Sub Insulation		Drainage	M6	Ceiling Insulation		Fire Resistant Rating	
Preline Building	M4A	Bedding Under Pipes		Fire Resistant Rating		Fire Alarm Systems	
Moisture Walls	%	Inspection Points		Glazing/Safety		Egress/Signage	
" Ceilings	%	F/W→Approved Outfall		Access Routes		Surface Water Sumps	
Plate/Truss Fixings		S/W→Approved Outfall		Non Slip Areas		Producer Statements	
Framing/Ceiling		Main Vent Position		Retaining Wall/Drainage		Structural	
Bracing/Roof and Walls		Adequate Cover		Swimming Pool/Fence		As Built Drainage Plan	
Floor Joist Layout		Grade		Solid Fuel Heater		HVAC	
Garage Lintels etc		Water Test		Producer Statements		Fire Alarm Installer	
Insulation Walls		Pick-up Completed		Structural		FPIS	
Insulation Ceilings		Pre Stopping	M7	As Built Drainage Plan		Fire Engineer	
Roof Cladding		Brace Element Fixings		Drainlayer		Builder	
Eng. Verification		Fire Lining Fixings		Plumber		Gas Fitter	

Inspection Comments

S.W. drain will be completed in next 2 weeks owner advised

thanks

Instruction to Owner/Owner's Agent	Inspection Type	Rectification
All work inspected is in accordance with the Building Consent.	✓ Agreed	time frame
Some work is not satisfactory as detailed above and rectification is required.		as agreed
A formal notice to rectify will be issued.		/...../.....
Signed: Agreed	Date: 17.8.2000	Sig:

SITE INSPECTION REPORT

This is not a Code Compliance Certificate

Time on Site

ESTIMATE OF CONSTRUCTION INSPECTIONS : MINOR WORKS**DISTRICT: AR6****PROJECT NO. 98003848****DATE: 28 MAY 1998****DESCRIPTION OF CONSENT: GARAGE/WORKSHOP****SITE ADDRESS: 12 KIRK ROAD****OWNER'S NAME: MCKINLAY IAN HUGH****OWNER'S ADDRESS: 12 KIRK ROAD CHRISTCHURCH**

MANDATORY NOTICE INSPECTIONS	No.	Cost	Total
M1 Excavation/Foundation/Reinforcing	1	\$45.00	\$45.00
M4A Prelining Including Plumbing	1	\$45.00	\$45.00
M6 Drains	1	\$45.00	\$45.00
M8 Final Inspection	1	\$45.00	\$45.00
		Subtotal	<u>\$180.00</u>
THESE INSPECTIONS ARE TO BE PRE-PAID		TOTAL	<u>\$180.00</u>

Notes:

1. The above mandatory notice inspections will be carried out by the Council for which one day notice shall be given as required by Regulation 7(1)(b)(i-v).
2. The number of supplementary inspections is dependent on the nature of the building work and the manner of construction. The Council may require prior notification of work proceeding before covering up or closing in, subject to arrangement with the Building Inspector.
3. Inspections which are necessary due to non-complying or incomplete work or that arise as a result of a rectification notice are additional, and will be charged at the rate of \$60.00/hour and invoiced separately.

**For all inspection requests pertaining to this consent, please phone 3711904 or 3711922.
Inspections for the following day must be booked prior to 4 pm.**



CHRISTCHURCH CITY COUNCIL

28 May 1998

VERSATILE BUILDINGS
P.O BOX 11336
CHRISTCHURCH

Dear Sir/Madam

APPLICATION FOR BUILDING CONSENT
PROJECT NO. 98003848

Your application for a Building Consent for the proposed GARAGE/WORKSHOP at 12 KIRK ROAD WIGRAM refers.

Processing of this building consent application has been completed and the consent is now ready for issue. The fees associated with the consent are listed on the following page.

The Building Consent is to be uplifted from the SOCKBURN SERVICE CENTRE upon payment of these fees.

Note that the Building Consent is not valid until the fees have been paid and you are in possession of the consent document together with the Inspection Schedule and any Conditions of Consent. Therefore, do not commence building work on the basis of this letter as it serves only as notice that the building consent is available for issue.

Please ensure that you give the Council at least one full days notice prior to placing concrete or covering in any of the work requiring inspections as identified on the Inspection Schedule. Failure to do this may result in the issue of a "Notice to Rectify" by the Council and may also jeopardise the issue of the Code Compliance Certificate which you will require upon completion of the works.

.../2

CONTACT : AREA DEVELOPMENT OFFICER

SOCKBURN SERVICE CENTRE 149 MAIN SOUTH ROAD
P O BOX 11-011 CHRISTCHURCH TELEPHONE (03) 348-5119 FAX (03) 372-2539

2.

The outstanding fees associated with the Building Consent are:

To PIM:		
Process and Grant	\$	65.00
To Building Consent:		
Accept and Issue	\$	50.00
Process and Grant	\$	90.00
To Code Compliance Certificate:		
Inspections	\$	100.00
Grant and Issue	\$	30.00
TOTAL	\$	415.00

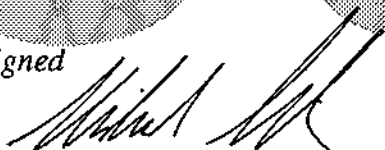
You are requested to uplift the consent and pay the fees set out above **within 30 days of the date of this letter**. Please use the attached Fee Summary as a means of identification.

If you do not wish to proceed with the building project, please contact the Service Centre as all fees associated with acceptance, processing and granting of the consent are still due to be paid.

Please note that your Building Consent will lapse if work has not commenced within six months of its date of issue or if reasonable progress has not been made within twelve months after work has commenced, unless an extension of time has been approved by the Council.

Please quote the above Project Number in all communication with the Council.

Signed



for

AREA DEVELOPMENT OFFICER SOCKBURN SERVICE CENTRE

CHRISTCHURCH CITY COUNCIL FEE SUMMARY

PIM/BUILDING CONSENT
PROJECT NO. 98003848
SITE ADDRESS 12 KIRK ROAD
OWNER/APPLICANT VERSATILE BUILDINGS
DATE GRANTED 28 May 1998

This document summarises the unpaid fees as identified on the attached letter. You are requested to pay these fees before the Consent can be uplifted. Please present this document for payment to the Cashier at the SOCKBURN SERVICE CENTRE.

RC023	\$90.00	Process/Grant Consent	05157/840
RC025	\$210.00	Code Compliance Certificate	93085/801
RC027	\$65.00	Process/Grant Pim	05147/831
RC035	\$50.00	Accept/Issue Pim/Consent	05136/831

Total

\$415.00 (Including GST)

COPY

	CHRISTCHURCH CITY COUNCIL BUILDING ACT 1991 BUILDING CONSENT	FORM: BA4
		PROJECT NO. 98003848

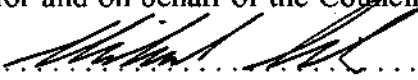
OWNER/APPLICANT Name: MCKINLAY IAN HUGH Mailing Address: 12 KIRK ROAD CHRISTCHURCH Contact: VERSATILE BUILDINGS P O BOX 11336 CHRISTCHURCH Application Received: 22 MAY 1998	PROJECT LOCATION Street address: 12 KIRK ROAD WIGRAM Legal Description: Valuation Roll: 2352153900 Dp No 57615 Lot No 5 PROJECT ☒ New or relocated building ☐ Alteration Intended use(s): OUTBUILDINGS - GARAGE/WORKSHOP Intended life: ☒ Indefinite but not less than 50 years ☐ Specified as years ☐ Demolition Being stage 1 of an intended 1 stages. Estimated value (inclusive of GST): \$8,700.00						
COUNCIL CHARGES The Council's total charges payable on the uplifting of this building consent, in accordance with the letter of advice dated 28 May 1998 are: <table> <tr> <td>Total</td> <td>\$415.00</td> </tr> <tr> <td>Building Research Levy:</td> <td>\$0.00</td> </tr> <tr> <td>Grand Total</td> <td>\$415.00</td> </tr> </table>	Total	\$415.00	Building Research Levy:	\$0.00	Grand Total	\$415.00	
Total	\$415.00						
Building Research Levy:	\$0.00						
Grand Total	\$415.00						

This Building Consent is a consent under the Building Act 1991 to undertake building work in accordance with the attached plans and specifications so as to comply with the provisions of the building code. It does not affect any duty (ie: this consent does not relieve the owner of his/her responsibilities under any other Act) or responsibility under any other Act nor permit any breach of any other Act.

Please note that your Building Consent will lapse if work has not commenced within six months of its date of issue or if reasonable progress has not been made within twelve months after work has commenced, unless an extension of time has been approved by the Council.

This Building Consent is issued subject to the conditions specified in the attached pages (if any) headed "Conditions of Project No.: 98003848"

Signed for and on behalf of the Council:

Name: 

Position: **M NILSSON**

Consent Officer Date: 28 May 1998

ESTIMATE OF CONSTRUCTION INSPECTIONS:

PROJECT NO. 98003848

DESCRIPTION OF CONSENT: New garage

SITE ADDRESS: 12 Kirk Rd.

3496951
025 330073
DATE: 27/5/98

MANDATORY NOTICE INSPECTIONS		No.	Cost	1	2	3	4	5	TOTAL
M1	Excavation/Foundation/Reinforcing	/							
M2	Slab on Grade/DPC								
M3	Frame Construction Sub Floor								
M4A	Pre-lining/Including Plumbing	/							
M4B	Plumbing								
M5	Fire Resistant Linings								
M6	Drains	/							
M7	Pre Stopping/Bracing Inspection	/							
M8	Final	/							
SUPPLEMENTARY INSPECTIONS									
S1	Concrete Construction								
S2	Blockwork Construction								
S3	Steel Construction								
S4	Timber Construction								
S5	Solid Plaster Inspection								
S6	Brick Shelf Angle Inspection								
S7	Fire Safety Systems Inspection								
AUDIT INSPECTIONS									
A1	Concrete Construction								
A2	Blockwork Construction								
A3	Steel Construction								
A4	Timber Construction								
A5									
A6									
A7									
SUB TOTALS		4	180						
RECTIFICATION INSPECTIONS									
R1									
R2									
R3									
R4									
COMPLETED BY SBI'S		TOTALS							

Special matters noted by Consent Team to assist Compliance Team -

INSPECTION COSTS:

- Mandatory Notice \$ _____
- Supplementary \$ _____
- Rectification Inspections \$ _____
- Total Cost of Inspections \$ _____
- Less Prepaid Inspections \$ _____
- Interim CCC \$ _____

AMOUNT OWING \$ _____

CONSENT PROCESSING CHECK SHEET FOR MINOR WORKS

DATE _____ PROJECT NUMBER _____ STAGE _____
 WORK _____ ADDRESS _____

CC	REF		OK	CC	REF		OK
		BA Sections 38 - 49	—			Fire Rated Walls: Plate fixing	✓
		Resource Consent	—			Stud width	✓
46		Intended Life < 50 years	—			Wall battens	✓
	109/110	PIM	—			Blocking to roof	✓
	111	Value	✓	151		Insulation: Floor / walls / ceiling	—
	112	C/Title	✓			Claddings	✓
	501	Producer Statements	✓	147		Trusses: Design / Layout / Fixing	✓
29	125/126	Siting / Boundaries / Levels	✓			Roof Framing	—
		Recession Planes	—	166		Access / Anti-Slip D1 T1A	—
		Length of Walls	—	168		Steps / Handrails D1 / Barriers F4	—
		Easements / Waterways	—	175		Ventilation G4	—
		Hill Sites / Retaining Walls	—	38		Safety Glass 4223	—
		Hazards	—	183		Plumbing: Wastes / Anti-Scald G12	—
	127	Flood Prone Site min level	—	190		Foul Drains	—
28	128	FFL - FGL 225 / 150 / 100	✓	191		Stormwater Drains / Outfalls	—
24/25	132	Foundation / Footing 3604 S4	—	193/194		Surface Water Disposal / Sumps	—
24		Post Foundations 3604 S7	—			Subsoil Drains / Sumps	—
24		Piles / Footings 125x125 / 140 diam	—	197		Common Drains	—
		Subfloor Framing / Treatment	—			Water Supply	—
		Subfloor Ventilation 3604 S4	—			Road opening	—
	138	Particle Board Clearance 550/DPM	—			Vehicle Crossing	—
		Slab DPC / Mesh	✓			BA3 Completed & Signed	✓
	136	Conc. Masonry 4229 / spec. design	—				
	142	Walls: Studs / Beams / Lintels	✓				
	150	Bracing 3604 / Layout / Calcs	✓				

COMMENTS:

.....

.....

.....

.....

RESIDENTIAL CONSTRUCTION RECORD

Project No: 98 | 3848

Site Address: _____

NUMBER OF UNITS					
M1	Excavations	✓			
	Siting and Levels	✓			
	Drains under building				
	Engineers Verification	✓			
	Vegetation cleared	✓			
	Tailings	✓			
	DPM				
	Shrinkage Control/Advised				
M2	Mesh				
	Waste Pipes - Fall etc				
	AS3500				
	Timber Grade				
	Bearer Fixings				
	Floor Insulation				
	Sub Floor Ventilation				
	Floor Joist Layout				
	Block Construction				
	Moisture - Wall				
	Moisture Ceiling				
	Bracing/Structure				
	Wall Insulation				
	Ceiling Insulation				
	Truss Design H L				
	Garage Lintel/Fixings				
	Producer Statement				
	Insulation of Pipes				
	Header Tank Restraint				
M4	Tank Overflow				
	Pressure Test				
	AAV Accessibility				
NZEC/AST or AS3500		FW	SW		
M6 & M7	Cut and Seal Disused				
	Approved Outfall				
	Pipe Size				
	Bedding				
	Gradients				
	Access Points				
	Drain Ventilation				
	Specialised Installations				
	Water Tests				
	Sumps/Silt Traps				
As-built Records					

Phone No

Main Contractor	
Plumber	
Drainlayer	

BAS RECEIVED					
M3	Roof Cladding				
	Wall Cladding				
	Downpipes - Flashings				
	Gulley Traps				
	Discharge Pipes				
	Surface Water K/C Sumps				
	Drain Vent				
	Ventilation				
	Glazing - Safety				
	Barriers				
	Handrails				
	Stairs				
	HWC (Restraint)				
	Ceiling Insulation				
	Fire Resistant Rating				
	Anti Scald Protection				
	Water Supply Isolation Valve				
	Non Slip Areas				
	Retaining Walls				
	Landscaping				
	Producer Statements				

OUTBUILDINGS		Reqt	Date
Reinforcing, siting, levels & bearing			
Vegetation cleared, tailings			
DPC - Mesh			
Blockfill - Solid or Partial/Reinforcing			
FRR - Cladding			
Drainage - F/W or S/W			
Insulation			
Moisture Framing		%	

SOLID FUEL APPLIANCE			
Type ...		Dry	Wet
Existing Wet Back		No	Yes
Anti Scald Protection			
Flue Height			
Clearances			
Seismic Restraint			
Producer Statement			

FENCING OF SWIMMING POOL		
Fence - Height, Gaps		
Boundary Fence		
Gates/Doors - Exemptions		
Backflow Prevention		

KEY		
Satisfactory	✓	✓
Rectification	R	
Not Applicable	-	-
Remedied	R	✓

THIS RECORD IS TO BE READ IN CONJUNCTION WITH THE PROJECT SITE REPORTS

COMMERCIAL & INDUSTRIAL CONSTRUCTION RECORD

Project No: _____

Site Address: _____

TYPE	Units/Stages				
M1	Siting, Levels				
	Bearing Type				
	Engineers Verification				
M2	Compaction Test				
	DPC/Reinforcing				
	Wastes/Drains underflr				
	Engineers Verification				
S1	Tilt Panel Construction				
	Blockwork Construction				
S2	Structural Steel				
	Suspended Cons/Flor				
	Engineers Verification				
M3	Moisture - Framing	%			
	Moisture Ceiling	%			
	Bracing/Structure				
	Wall Insulation				
	Ceiling Insulation				
	Header Tank Restraint				
	Tank Overflow				
	Soil Stack				
	Floor Wastes				
M4	AAV Accessibility				
	Fire Resistant Rating				
	Roof Cladding/Underlay				
	Pipe Insulation				
	Engineers Verification				
	NZEC/AST or AS3500	FW	SW		
	Cut and Seal Disused				
	Approved Outfall				
M6	Pipe Size				
	Bedding				
M7	Gradients				
	Access Points				
	Drain Ventilation				
	Specialised Installations				
	Water Tests				
	Sumps/Silt Traps				
	As-built Records				

KEY		
Satisfactory	✓	✓
Rectification	R	
Not Applicable	-	-
Remedied	R	✓

BA9 RECEIVED					
	Surface Water Control				
	Carparking Marked				
	Downpipes/Rainhead				
	Gully Traps/Drain Vent				
	Trade Waste Requirements				
	Glazing, Safety, Visibility				
	Disabled -Threshold				
	- Toilets				
	- Accessways				
	- Carparking				
	- Signage				
	Barriers				
	Stairs				
	Handrails				
	HWC Restraint				
	Anti Scald Protection				
	Ventilation				
M8	Fire Resistant Rating				
	Water Supply Isolation				
	Ceiling Insulation				
	LL Authorisation				
	EH Authorisation				
	DGI Authorisation				
	PS4 (Structural)				

BTG	NW	Schedule Details	Interim	Final
			PS	PS
A		Auto sprinkler		
B		Auto doors in fire wall		
C		Emergency warning		
D		Emergency lighting		
E		Escape route pressure		
F		Riser mains		
G		Backflow prevention		
H		Lift/Escac/Travelator		
I		Mechanical Vent/Air Con		
J		Other Mechan/Electr		
K		Building Maintenance Ut		
L		Signs		
M		Means of escape		
N		Safety barriers		
O		Access & fac disabled		
P		Hose reels		
Q		Disabled persons signage		
		FPIS		

See BA21 form for Compliance Schedule

		Phone No
Main Contractor		
Plumber		
Drainlayer		

THIS RECORD IS TO BE READ IN CONJUNCTION WITH THE PROJECT SITE REPORTS



CHRISTCHURCH CITY COUNCIL

APPLICATION FOR BUILDING CONSENT

FORM: BA3

PROJECT NO:
98003848

PLEASE COMPLETE ALL SECTIONS OF THIS FORM (IF APPLICABLE TO YOUR APPLICATION)

Has a Project Information Memorandum been issued by the Council for this project? ☐ Yes ☐ No
If YES, add the Project Information Memorandum number to the box above marked PROJECT NO.

APPLICATION DETAILS	PROJECT
• OWNER (as defined by the Building Act 1991) Name: <u>Mr Mrs McKinlay</u> Mailing Address: <u>90 versatile Buildings</u> Street Address: <u>P.O Box 11336</u> Phone: <u>3488704</u> Fax: <u>3489093</u>	• LOCATION Street Address: <u>12 Kirk Rd</u> Lot: <u>④</u> DP: <u>57615</u> Other: _____
• APPLICANT (Must be authorised by the owner to make this application) Name: _____ Company: _____ Mailing Address: <u>cls above</u> Street Address: _____ Phone: _____ Fax: _____	• DESCRIPTION OF WORK: <u>To Build new garage workshop</u> • INTENDED USE: <u>car storage</u>
Estimated Value of proposed work (inclusive of GST) \$ <u>8700</u> Building Consent to be uplifted from: ☐ <u>Sockburn</u> Service Centre ☐ If prepaid post to Owner / Applicant (delete one)	• Will the building undergo a change of use? ☐ Yes ☒ No
• Water Supply Is a new supply required? ☐ Yes ☒ No Residential / Commercial (DELETE ONE) If commercial, has estimate been obtained from the Council? ☐ Yes ☒ No Distance from LH/RH boundary (looking from street) _____ metres Nominate street if a corner site: _____	• FLOOR AREA Ground Floor: Existing _____ m² Add _____ m² Other Floor: Existing _____ m² Add _____ m² Accessory Building Area: Existing _____ m² Add _____ m²
• Road Opening / Footpath Opening Is an opening required? ☐ Yes ☒ No Type of service: Sewer / Stormwater (DELETE AS NECESSARY)	• Planning - Site Coverage Total area of all buildings over foundation at ground level. Existing _____ m² Proposed <u>54</u> m²
• Vehicle Crossing (in connection with this Building Consent) Is a vehicle crossing required? ☐ Yes ☒ No New / Extension / Residential / Commercial (DELETE AS NECESSARY)	
FOR COUNCIL USE ONLY	
Invalid Owner Recorded: ☐ Date Received: _____ Prepaid Fee: \$ _____ Receipt No: _____ Receiving Officer's Name: _____	DRAINAGE INFORMATION Not Required ☐ Block Plan Only ☐ Full PIM ☐ Date Requested ____/____/____ Hazard ☐ Yes ☐ No

SECTION 1

Have you provided the following information?

Please tick the appropriate box

SECTION 2	Yes	No	N/A
• Site Plan: Fully dimensioned, scaled, showing all buildings & easements (proposed/existing)	✓		
• Certificate of Title: Recent search copy of (less than 6 months old)	✓		
• Plans & specification of an acceptable standard	✓		
• Plans, elevations, cross sections of the proposal in triplicate (in duplicate if PIM issued)	✓		
• Recession planes (including to internal boundaries) indicated		✓	
• Site levels relating to top of roadside kerb, and finished floor level indicated			✓
• Hill sites: indicate contours, drive gradients and building heights			✓
• Site boundaries nominated	✓		
• Shared access ways/other areas	✓		
• Foulwater drains		✓	
• Stormwater drains	✓		
• Stormwater discharge for hardstanding areas detailed to an approved outfall			✓
• Water Service Details			✓
• Vehicle crossing position indicated on site plan	✓		
• Vehicle access manoeuvre and parking area indicated		✓	
• Street trees, poles, sumps, manholes, traffic islands affecting vehicle access			✓
• Site area per unit indicated	✓		
• Site coverage: % details	✓		
• Living and service courts indicated		✓	
• Landscaped area indicated and planting plan produced		✓	
• Demolition Details			✓
• Swimming pool: design, fence and discharge			✓
• Backflow prevention			✓
• Waterway setbacks indicated			✓
• Notable and protected site trees indicated			✓
• Heritage site or building affected?			✓
• Resource Consent Application			✓
• Development Application			✓
• Subdivision details			✓

SECTION 3	Yes	No	N/A
• Structural drawings	✓		
• Foundation design and report on ground conditions		✓	
• Blockwork: design including foundations			✓
• Retaining walls: design heights, position, sub soil drainage and safety barriers			✓
• Fire partitions: dividing walls, common walls	✓		
• Window positions & opening windows indicated	✓		
• Safety glass provisions specified		✓	
• Thermal insulation and R value indicated		✓	
• Sound insulation indicated			✓
• Stairs/steps/landings/balconies: dimensions, handrail and barrier details			✓
• Solid fuel heater: make, model and location			✓
• Accurate layout & details of plumbing systems			✓
• Alternative Solutions details			✓
• Access and facilities for people with disabilities			✓
• Access Route Details			✓
• Dangerous goods: storage and sign details			✓
• Gas bottle: storage location and capacity if over 10kg			✓
• Soakpit, septic tank and pumping station design details.			✓
• Earthworks: Identify proposed cut or fill where more than 10 m ³ of soil is being moved			✓
• Specifications in duplicate	✓		
• Pegging certificate for two or more units on site			✓
• Bracing calculations and layout	✓		
• Roof truss design statement and layout	✓		
• Producer statement: Specific design details for work outside the scope of NZS 3604 & NZS 4229	✓		
• BA20 form (Producer Statement information)	✓		
• Fire Safety Summary or Fire Design Statement	✓		
• Compliance Schedule details	✓		

SECTION 6

3496951 021 33 073 (Mike Clapshaw)

☐ **Builder's Name:** Versatile Buildings Phone: 3488704
Address: P.O Box 11336 Sockburn Fax: 3484093

☐ **Building Certifier's Name:** as above Phone: Same
Address: as above Fax: Same

☐ **Plumber's Name:** _____ Phone: _____
Address: _____ Fax: _____

☐ **Drainlayer's Name:** _____ Phone: _____
Address: _____ Fax: _____

☐ **Engineer's Name:** _____ Phone: _____
Address: _____ Fax: _____

☐ **Designer's Name:** as above Phone: Same
Address: as above Fax: Same

SECTION 7

	YES / NO / NA	YES / NO / NA	YES / NO / NA
Have you fully completed:	Section 1 ☒	Section 4 ☒	Section 6 ☒
	Section 2 ☒	Section 5 ☒	Section 7 ☒
	Section 3 ☒	Section 5A ☒	

- IF THIS PROJECT CONSTITUTES A DEVELOPMENT PURSUANT TO SECTION 409 OF THE RESOURCE MANAGEMENT ACT 1991, THEN THIS APPLICATION IS ALSO DEEMED TO BE A NOTIFICATION BY THE OWNER OF A RESOURCE CONSENT APPLICATION FOR A DEVELOPMENT.
- Please note this application may not be processed further until any outstanding items have been submitted. Completion of this check sheet is not approval to start work.
- No work is to commence until the Building Consent is uplifted.
- **Building Consent Fees**
 The charges incurred by the Council in processing this application are payable whether or not the project proceeds. Note: Fees for some minor works (eg drainage only works, detached accessory buildings with a value of less than \$5,000) are required to be paid at the time of application.
- I DECLARE I HAVE BEEN AUTHORISED BY THE OWNER TO MAKE THIS APPLICATION

Print Name: IAN HUGH MCKINLAY Date: 19.5.95

Signature: [Signature]

SIGNED BY or FOR AND ON BEHALF OF THE OWNER

Project Information Memorandums (PIMs) and Building Consents can be lodged and uplifted at the following centres, where there are Building Information Officers available to assist you.

Civic Offices 163-173 Tuam Street PO Box 237 Telephone 379 1660 Fax 371 1792	Fendalton Service Centre Cnr Jeffreys & Clyde Roads PO Box 29 183 Telephone 351 7109 Fax 372 2747	Linwood Service Centre 180 Smith Street PO Box 24 214 Telephone 389 1477 Fax 372-2639	Sockburn Service Centre 149 Main South Road PO Box 11 011 Telephone 348 5119 Fax 372-2539
---	--	--	--

Project Information Memorandums (PIMs) and Building Consents can also be lodged and uplifted at these Service Centres.

Beckenham Service Centre 66 Colombo Street PO Box 12-033 Telephone 332 3099 Fax 332-3443	Papanui Service Centre Cnr Langdons Road & Restell Street PO Box 5142 Telephone 352 8117 Fax 352 1308	Shirley Service Centre 36 Marshland Road PO Box 27 043 Telephone 385 3079 Fax 385 4224
---	--	---

All the relevant information on this form is required to be provided under the Building Act and Resource Management Act for the Environmental Services Unit to process your application. Under these Acts this information has to be made available to members of the public including business organisations. The information contained in this application may be made available to other units of the Council. You have the right to access the personal information held about you by the Council which can be readily retrieved. You can also request that the Council correct any personal information it holds about you.

The information offered in this section is to assist the Council in the review process, including the assessment of the number of inspections. Statements offered by the applicant will be used as a guide rather than a commitment.

- Is the project to be erected in stages? ☐ Yes ☒ No

If yes briefly describe your proposed programme: _____

- Estimated start date: _____ (please note building work must be started within 6 months of Consent issue date)
- Estimated finish date: _____
- Is a registered engineer involved?
 - For design ☒ Yes ☐ No
 - For Inspection ☒ Yes ☐ No
- Is a Producer Statement to be offered?
 - Producer Statement: Design ☒ Yes ☐ No
 - Producer Statement: Inspection ☒ Yes ☐ No
- Is a registered master builder involved in the project? ☒ Yes ☐ No

Name (optional)

SECTION 4

COMPLETE THIS SECTION FOR ALL NEW BUILDINGS AND ALTERATIONS, EXCEPT SINGLE RESIDENTIAL DWELLINGS

Please tick the relevant boxes to show which systems are included or to be included in the building project

	EXTG	NEW
(a) Automatic sprinkler systems or other systems of automatic fire protection	☐	☐
(b) Automatic doors which form part of any fire wall and which are designed to close shut and remain shut on an alarm of fire	☐	☐
(c) Emergency warning systems for fire or other dangers	☐	☐
(d) Emergency lighting systems	☐	☐
(e) Escape route pressurisation systems	☐	☐
(f) Riser mains for fire service use	☐	☐
(g) Any automatic backflow preventer connected to a potable water supply	☐	☐
(h) Lifts, escalators, or travelators or other similar systems	☐	☐
(i) Mechanical ventilation or air conditioning system serving all or a major part of the building	☐	☐
(j) Any other mechanical, electrical, hydraulic, or electronic system whose proper operation is necessary for compliance with the building code	☐	☐
(k) Building maintenance units for providing access to the exterior and interior walls of buildings	☐	☐
(l) Such signs as are required by the building code in respect of the above mentioned systems	☐	☐
NONE OF THE ABOVE		☐

SECTION 5

COMPLETE THIS SECTION ONLY IF THE BUILDING CONTAINS OR WILL CONTAIN ANY OF THE SYSTEMS IN SECTION 5

	EXTG	NEW
(m) Means of escape from fire	☐	☐
(n) Safety barriers	☐	☐
(o) Means of access and facilities for use by persons with disabilities which meet the requirements of section 25 of the Disabled Persons Community Welfare Act 1975	☐	☐
(p) Handheld hoses for fire fighting	☐	☐
(q) Such signs as are required by the building code or section 25 of the Disabled Persons Community Welfare Act 1975	☐	☐

SECTION 5A



CHRISTCHURCH CITY COUNCIL
BUILDING ACT 1991
Project Information Memorandum

FORM BA2A
PROJECT NO:
98003848

Site Address: 12 Kirk Road

Legal Desc: Lot No: 4

DP No: 57615

Applicant: Versatile Buildings
P O Box 11336
Christchurch

Owner: Mr and Mrs McKinlay

Proposal: Garage/Workshop

- No information relevant to this project has been found.

DRAINAGE:

Drainage Plan provided

Total Project Information Memorandum fees \$ 65.00

Paid \$ nil

Receipt No.:

Balance to pay \$ 65.00 *Fee is payable upon uplifting building consent*

Signed for and on behalf of the Council: D. M. Jagger Date: 27-May-98

NAME: Phil Carr

POSITION: Building Information Officer

This project may proceed subject to the issue of a Building Consent and any other necessary authorisations being obtained.

NB: This Project Information Memorandum will lapse and be of no effect if a Building Consent has not been issued within 24 calendar months from the above date of issue.

CONSENT COPY

Page 2

EFFECT OF THE SUBMISSIONS TO THE PROPOSED CITY PLAN ON THE STATUS OF A PROJECT INFORMATION MEMORANDUM AND A BUILDING CONSENT

It is anticipated that the submissions to the Council's Proposed Plan will be completed mid-way through this year and the Council expects to issue decisions in late 1998.

Any amendments to the Proposed Plan will apply to all building development work from that time unless particular provisions are changed by the Environment Court.

You should be aware that the issue of a Project Information Memorandum does not give protection against any changes to the Proposed Plan. It is possible that as a consequence of the notification of changes to the Plan that some aspects of your building proposal will no longer comply.

Before the Council formally adopts any changes to the Proposed Plan you should ensure that the Building Consent has been paid for and uplifted to avoid the effect of any potential rule change. (Note that a Building Consent requires work to be started within 6 months of issue).

Alternatively a Certificate of Compliance may be obtained from the Council if the activity is permitted and complies fully with the rules of the current Transitional and Proposed Plans. This certificate is valid for 2 years and exempts a building proposal from changes to the City Plan for that period.

	Christchurch City Council Water Services And Waste Mgmt Units Supplementary Project Information Memorandum	PIM Number 98003848
--	---	--------------------------------------

Street Address 12 KIRK ROAD
 Legal Info LOT 5 DP 57615

Applicant VERSATILE BUILDINGS
 Address P O BOX 11336
 CHRISTCHURCH
 Service Centre SOCKBURN SERVICE CENTRE
 Intended Use OUTBUILDINGS - GARAGE/WORKSHOP

Pursuant to sections 30,31 and 36 of the Building Act 1991, the owner is required to provide a plan showing the existing levels of the land on which the building work is to take place so that an assessment can be made of the likelihood of inundation to the site and for the purpose of setting minimum sanitary sewer and storm water levels.

The comments recorded below incorporate information held by these units and/or which is considered to be relevant to the design of this project. For any further information please contact the Water Services and Waste Managements Units, telephone: 3711318, fax: 3791802.

Supply Information On The Following

Yes/No Comments

Attachments

1	Any Council easement, pipeline, open drain, waterway or building line restriction.			
2	The 'availability' or otherwise of the Council's drainage works to serve the property including swimming pool discharges.			
3	Minimum Section level for stormwater purposes.			
4	Minimum Section level for sanitary purposes.			
5	Any information on river bank erosion, avulsion, effluents or inundation.			
6	Any cost sharing scheme.			
7	Possible effects on adjoining properties.			
8	Any other relevant information.			
9	Is further information required to be supplied.			
10	Trade waste involvement.			

Additional Comments

Researched By

Number of Attachments

25/05 '98 MON 08:08 FAX 84 3 3711385

CHRISTCHURCH CITY COUNCIL

WATER SERVICES UNIT

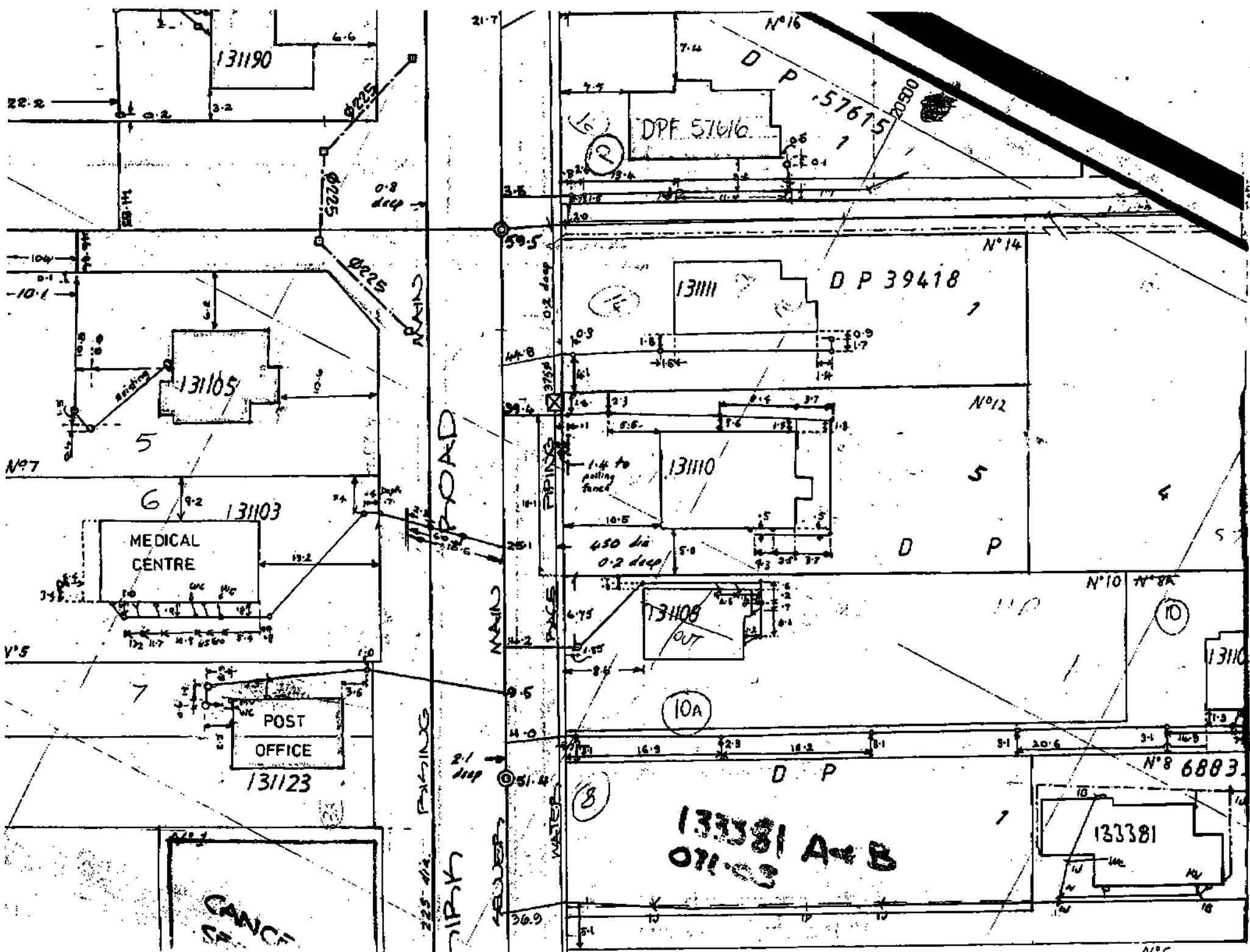
PH. 371 1277 20 MAY 1998
FAX 371 1385

C C C WATER SERVICES
DRAINAGE RECORD PLANS

CAUTION

The accuracy of this plan and the measurements are not guaranteed and should be verified by inspection.

→→→ SOCKBURN
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PROHIBITED
1/2000 1/500 1/500
08003848
0002





CHRISTCHURCH CITY COUNCIL

27 May 1998

VERSATILE BUILDINGS
P O BOX 11336
CHRISTCHURCH

Dear Sir/Madam

PROJECT INFORMATION MEMORANDUM
PROJECT NO. 98003848

Please find enclosed your Project Information Memorandum in respect of the proposed GARAGE/WORKSHOP at 12 KIRK ROAD

Your application for a Building Consent in respect of the above proposal will now be processed unless you advise the Council to cancel or suspend the application.

Please note also that the Project Information Memorandum may reveal matters affecting compliance with the Building Act 1991, or other authorisations required.

Yours faithfully

for
AREA DEVELOPMENT OFFICER/
SENIOR BUILDING INFORMATION OFFICER

DISTRIBUTION: PROPERTY FILE (1)

CONTACT

FILE

SOCKBURN SERVICE CENTRE

149 MAIN SOUTH ROAD

P O BOX 11-011 CHRISTCHURCH

TELEPHONE (03) 348-5119

FAX (03) 372-2539



CHRISTCHURCH CITY COUNCIL
BUILDING ACT 1991
Project Information Memorandum

FORM BA2A
PROJECT NO:
98003848

Site Address: 12 Kirk Road

Legal Desc: Lot No: 4

DP No: 57615

Applicant: Versatile Buildings
P O Box 11336
Christchurch

Owner: Mr and Mrs McKinlay

Proposal: Garage/Workshop

- No information relevant to this project has been found.

DRAINAGE:

Drainage Plan provided

Total Project Information Memorandum fees \$ 65.00

Paid \$ nil

Receipt No.:

Balance to pay \$ 65.00 *Fee is payable upon uplifting building consent*

Signed for and on behalf of the Council: _____ *PC* _____ Date: 27-May-98

NAME: Phil Carr

POSITION: Building Information Officer

This project may proceed subject to the issue of a Building Consent and any other necessary authorisations being obtained.

NB: This Project Information Memorandum will lapse and be of no effect if a Building Consent has not been issued within 24 calendar months from the above date of issue.

FILE COPY

	CHRISTCHURCH CITY COUNCIL	FORM: BA3
	APPLICATION FOR BUILDING CONSENT	PROJECT NO: 98003848

PLEASE COMPLETE ALL SECTIONS OF THIS FORM (IF APPLICABLE TO YOUR APPLICATION)

Has a Project Information Memorandum been issued by the Council for this project? ☐ Yes ☐ No
 If YES, add the Project Information Memorandum number to the box above marked PROJECT NO.

APPLICATION DETAILS	PROJECT
• OWNER (as defined by the Building Act 1991) Name: <u>M. M. McKinnon</u> Mailing Address: <u>Yeomanly Buildings</u> Street Address: <u>P.O. Box 11336</u> Phone: <u>3488704</u> Fax: <u>3489097</u>	• LOCATION Street Address: <u>12 Kirk Rd</u> Lot: <u>②</u> DP: <u>57615</u> Other: _____
• APPLICANT (Must be authorised by the owner to make this application) Name: _____ Company: _____ Mailing Address: <u>ctd above</u> Street Address: _____ Phone: _____ Fax: _____	• DESCRIPTION OF WORK: <u>To Build new garage workshop</u> • INTENDED USE: <u>car storage</u>
Estimated Value of proposed work (inclusive of GST) \$ <u>8700</u> Building Consent to be uplifted from: ☐ <u>Sockburn</u> Service Centre ☐ If prepaid post to Owner / Applicant (delete one)	☐ Will the building undergo a change of use? ☐ Yes ☒ No Intended Life if less than 50 years: _____ years Being stage <u>1</u> of an intended <u>1</u> stages
• Water Supply Is a new supply required? ☐ Yes ☒ No Residential / Commercial (DELETE ONE) If commercial, has estimate been obtained from the Council? ☐ Yes ☒ No Distance from LH/RH boundary (looking from street) _____ metres Nominate street if a corner site: _____	• FLOOR AREA Ground Floor: Existing _____ m ² Add _____ m ² Other Floor: Existing _____ m ² Add _____ m ² Accessory Building Area: Existing _____ m ² Add _____ m ²
• Road Opening / Footpath Opening Is an opening required? ☐ Yes ☒ No Type of service: Sewer / Stormwater (DELETE AS NECESSARY)	• Vehicle Crossing (in connection with this Building Consent) Is a vehicle crossing required? ☐ Yes ☒ No New / Extension / Residential / Commercial (DELETE AS NECESSARY)
FOR COUNCIL USE ONLY	
Invalid Owner Recorded: ☐ Date Received: _____ Prepaid Fee: \$ _____ Receipt No: _____ Receiving Officer's Name: _____	DRAINAGE INFORMATION Not Required ☐ Block Plan Only ☐ Full PIM ☐ Date Requested ____/____/____ Hazard ☐ Yes ☐ No

SECTION 1

Have you provided the following information?

Please tick the appropriate box

SECTION 2	Yes	No	N/A
• Site Plan: Fully dimensioned, scaled, showing all buildings & easements (proposed/existing)	✓		
• Certificate of Title: Recent search copy of (less than 6 months old)	✓		
• Plans & specification of an acceptable standard	✓		
• Plans, elevations, cross sections of the proposal in triplicate (in duplicate if PIM issued)	✓		
• Recession planes (including to internal boundaries) indicated		✓	
• Site levels relating to top of roadside kerb, and finished floor level indicated			✓
• Hill sites: indicate contours, drive gradients and building heights			✓
• Site boundaries nominated	✓		
• Shared access ways/other areas	✓		
• Foulwater drains		✓	
• Stormwater drains	✓		
• Stormwater discharge for hardstanding areas detailed to an approved outfall			✓
• Water Service Details			✓
• Vehicle crossing position indicated on site plan	✓		
• Vehicle access manoeuvre and parking area indicated		✓	
• Street trees, poles, sumps, manholes, traffic islands affecting vehicle access			✓
• Site area per unit indicated	✓		
• Site coverage: % details	✓		
• Living and service courts indicated		✓	
• Landscaped area indicated and planting plan produced		✓	
• Demolition Details			✓
• Swimming pool: design, fence and discharge			✓
• Backflow prevention			✓
• Waterway setbacks indicated			✓
• Notable and protected site trees indicated			✓
• Heritage site or building affected?			✓
• Resource Consent Application			✓
• Development Application			✓
• Subdivision details			✓

SECTION 3	Yes	No	N/A
• Structural drawings	✓		
• Foundation design and report on ground conditions		✓	
• Blockwork: design including foundations			✓
• Retaining walls: design heights, position, sub soil drainage and safety barriers			✓
• Fire partitions: dividing walls, common walls	✓		
• Window positions & opening windows indicated	✓		
• Safety glass provisions specified		✓	
• Thermal insulation and R value indicated		✓	
• Sound insulation indicated			✓
• Stairs/steps/landings/balconies: dimensions, handrail and barrier details			✓
• Solid fuel heater: make, model and location			✓
• Accurate layout & details of plumbing systems			✓
• Alternative Solutions details			✓
• Access and facilities for people with disabilities			✓
• Access Route Details			✓
• Dangerous goods: storage and sign details			✓
• Gas bottle: storage location and capacity if over 10kg			✓
• Soakpit, septic tank and pumping station design details.			✓
• Earthworks: Identify proposed cut or fill where more than 10 m ³ of soil is being moved			✓
• Specifications in duplicate	✓		
• Pegging certificate for two or more units on site			✓
• Bracing calculations and layout	✓		
• Roof truss design statement and layout	✓		
• Producer statement: Specific design details for work outside the scope of NZS 3604 & NZS 4229	✓		
• BA20 form (Producer Statement information)	✓		
• Fire Safety Summary or Fire Design Statement	✓		
• Compliance Schedule details	✓		

RESIDENTIAL/LIVING

N/L P.11

PIM APPLICATION CHECK SHEET

Project Number: 98003848

Location: 12 Kirk Road

Proposal: Garage/Workshop

Checked	Comment	Officer	Date	Time
☐ Building	☐ Yes ☐ No	<u>HO</u>	<u>26/5/98.</u>	
☐ Planning	☐ Yes ☒ No			
☐ Traffic	☐ Yes ☐ No			
☐ Envir. Health	☐ Yes ☐ No			
Transitional District Plan				
Proposed City Plan				
Zoning		Zoning		
Designations		Designations		
Road widening		Footprint/Sam		
Protected Item		Protected Item		
Airport Noise		Airport Noise		
Site area		Site area		
Shape factor		Net site area		
Res. Site Density/Plot Ratio		Res. Site Density/Plot Ratio		
Site coverage		Site coverage		
Height		Height		
Recession Planes		Recession Planes		
Street scene		Street scene		
Garage setback		Garage setback		
Internal boundary setback		Internal boundary setback		
Waterway setback		Waterway setback		
Separation distance/windows/balcony		Window/balcony setback		
Outdoor living/service area		Outdoor living/service area		
Landscaping		Landscaping		
Storage space		Storage space		
Accessory building length		Accessory building length		
Accessory building area		Cont. building length		
Design and appearance		External appearance		
Other		Other		
Traffic				
Car parking/garageable spaces		Car parking/garageable space		
Visitor Park		Visitor Park		
Access/gradients		Access/gradients		
Manoeuvring		Manoeuvring		
Crossing separation		Crossing separation		
Crossing distance		Crossing distance		
Crossing width		Crossing width		
Other		Other		
Other				
Activity				
Relocated buildings		Permitted		
Family Flat		Controlled		
Reserve Contrib/Dev Levy(Central)		Discretionary		
(Suburbs)		Non-complying		
Subdivision/Title issued				
Cross-lease Owners consent				
Resource Consents recorded				
Other				

HAZARDS	PROJECT NO.
None recorded ☒	
Found - (See attached Hazard & Special Site Characteristics) ☐	98003843
Provide one liners etc to support remarks on reverse	

[illegible]

McIntyre

GANG-NAIL

98003848

GROUP LTD

PRODUCER STATEMENT - DESIGN
GANG-NAIL GROUP LIMITED

CH3900
GANG-NAIL DESIGN

The building design CH3900 sheets 101, 102, 103, 104b, 105, 106a & 107 have been compiled using sound and widely accepted engineering principles and in accordance with NZS4203:1992 and NZS3603:1993 as verification methods and acceptable solutions of the approved documents issued by the Building Industry Authority to satisfy the requirements of Clause 81:Structure of the Building Regulations 1992.

As independent design professionals covered by a current policy of Professional Indemnity Insurance to a minimum value of \$200,000 I BELIEVE ON REASONABLE GROUNDS that subject to:

1. The verification of all design assumptions detailed in the drawings and
2. All proprietary products meeting the performance specification requirements,

the drawings, specifications and other documents according to which the building is proposed to be constructed, comply with the relevant provisions of the Building Code.

Stephen Coll

Stephen Anthony COLL

T.M. IPENZ, MNZIOB

for GANG-NAIL GROUP LIMITED
20 KOTZIKAS PLACE
CHRISTCHURCH
NEW ZEALAND

Date: 4 August, 1997

Correspondence from Christchurch Office

Auckland Office: 5 Zealandia Drive, East Tamaki, P.O. Box 58-014
Greenmount, New Zealand. Phone 0-9-274 7109, Fax 0-9-274 7100

Christchurch Office: 20 Kotzikas Place, Sockburn, P.O. Box 8397
Riccarton, New Zealand. Phone 0-3-348 8691, Fax 0-3-348 0314



O'Loughlin Taylor Spence Ltd CONSULTING ENGINEERS

St Elmo Courts
47 Hereford Street
Christchurch 1
P.O. Box 2372
Telephone 373-2724
Fax 373-1542

J.S. O'Loughlin BSc EE (Hons) MIPENZ
J.S. Spence BE (Hons) MIPENZ

PRODUCER STATEMENT

for

WALL FRAMING

for

VERSATILE STANDARD GARAGES

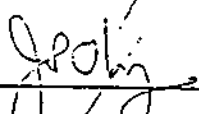
Issued by O'Loughlin Taylor Spence Ltd in respect of the wall framing as described on Standard Versatile Garages drawings File CH3900 Sheet 107 dated 25th June 1996.

We certify that the design has been carried out in accordance with the standards listed in Section B1/VMI of the approved documents issued by the Building Industry Authority.

We believe as an independent professional design practice, covered by a current policy of Professional Indemnity insurance to a value of \$200,000, that subject to the exclusions noted below, the buildings as proposed to be constructed, comply with the relevant provisions of the building code.

1. This consulting practice has not been engaged to determine the foundations conditions which are excluded from this certification.
2. This consulting practice has not been engaged for engineering inspection procedures during construction.

Signed:


O'Loughlin Taylor Spence Ltd
J S O'Loughlin Director

Registered Engineer
Registration No. 5032

Dated 4 July 1996

GANG-NAIL

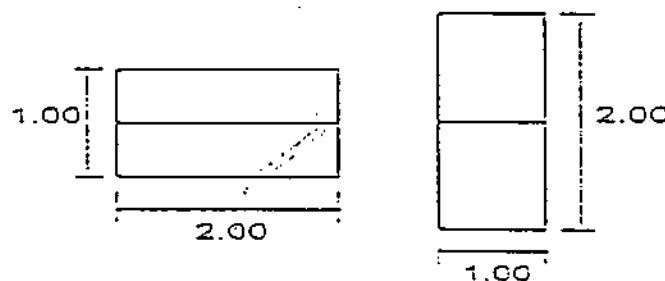
GROUP LTD

10 June 1997

CLARIFICATION OF BUILDING SIZE RATIOS FOR CH3900 SHEET 104B

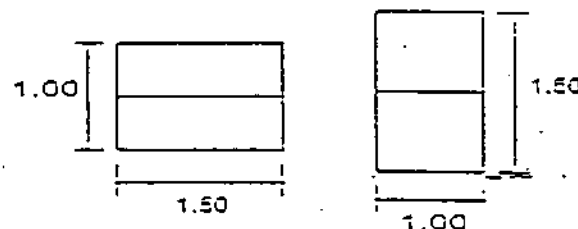
1. The designs as shown on Sheet 104-B cannot have the building ratios of side wall to end wall of more than 1 to 2. In other words any one of these walls cannot be more than twice the length of the adjacent wall.

e.g.



2. In the case of Very High wind load this ratio cannot exceed 1 to 1.5.

e.g.



and the bracing as shown applies.

cont...



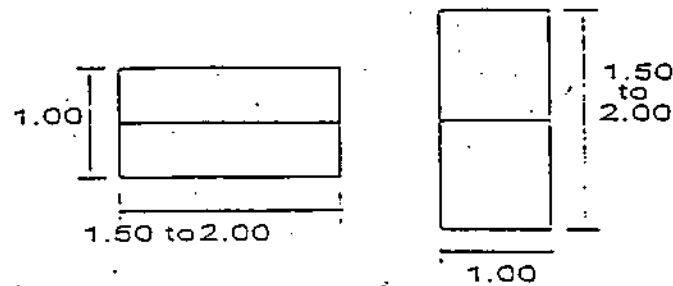
Correspondence from Christchurch Office

Auckland Office: 5 Zelanian Drive, East Tamaki, P.O. Box 58-014
Greenmount, New Zealand. Phone 0-9-274 7109, Fax 0-9-274 7100

Christchurch Office: 20 Kottikas Place, Sockburn, P.O. Box 8237
Riccarton, New Zealand. Phone 0-3-348 3691, Fax 0-3-348 0214

3. In the case of the High, Medium and Low wind loads there is an additional bracing requirement as noted (ie double rows as shown) where this ratio is between the 1 to 1.5 and 1 to 2.

e.g.

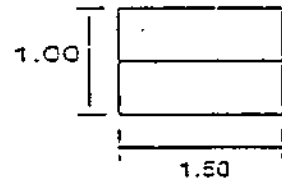


4. Where a building dimension is exactly on the 1 to 2 or 1 to 1.5 ratio the lesser bracing ratio can apply.

e.g.

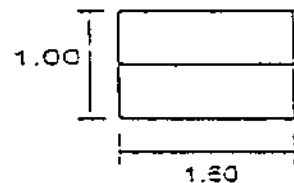
High Wind

The requirement for a double of is unnecessary

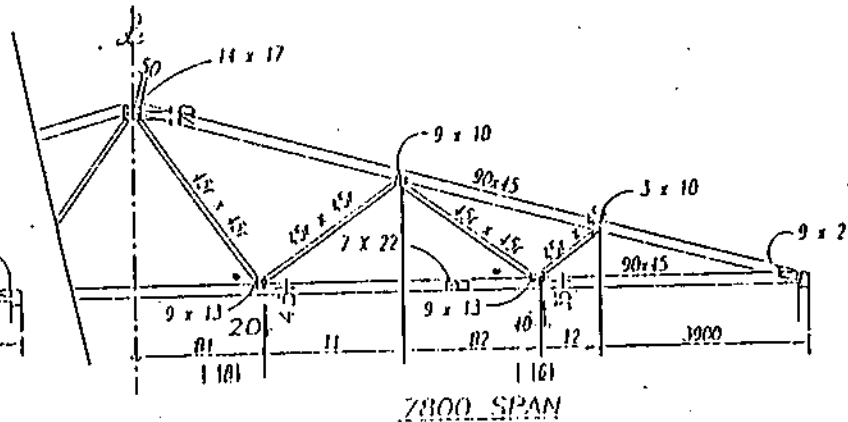
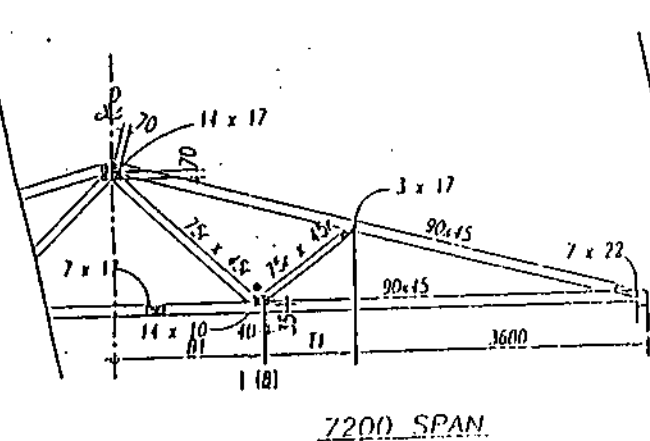
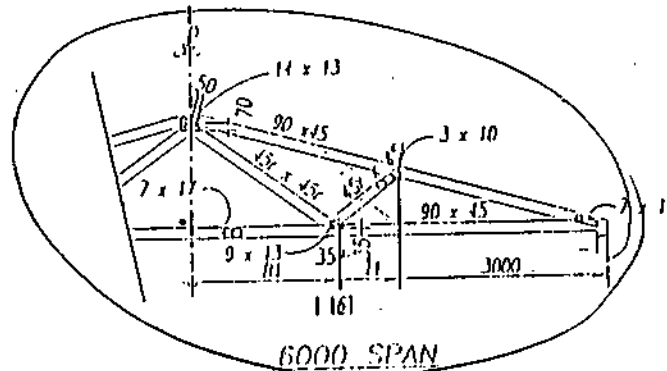
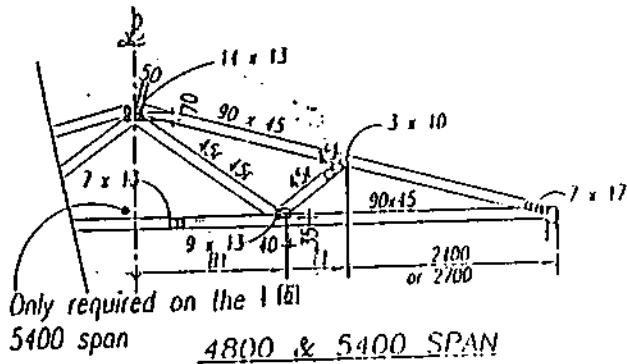
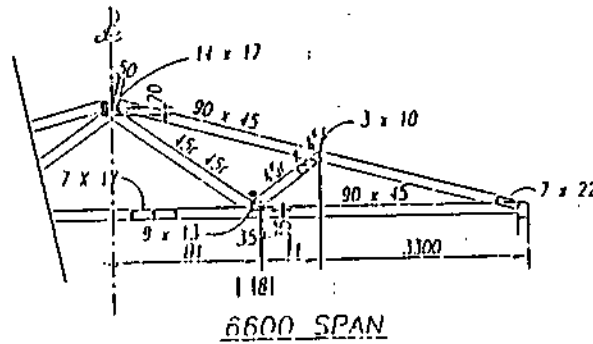
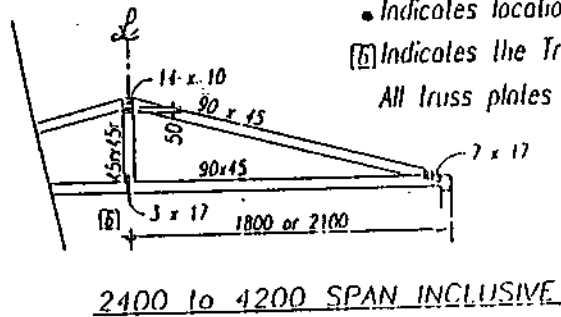


High Wind

Double row is required as shown.



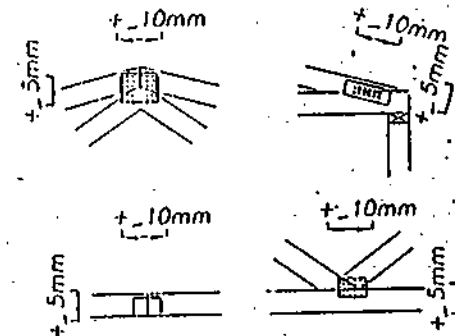
NOTE:
All trusses 15° pitch
• Indicates location of Bottom Chord Brace
[E] Indicates the Truss Camber (typical)
All truss plates are Gang Nail GN10 type



SPAN AND LOAD CHART
Live Load = 0.25kPa (top chord)
Dead Load = 0.20 kPa (top chord)
(Iron Roof, no ceiling)
Wind Load Cpi = 0.50 max
Cpe = 0.80 max
Purlin Spacing = 1100 max

SNOW LOAD (Kpa)	WIND LOAD	TRUSS CENTRES
NIL	LOW	2400
0.30	Low	2400
0.40	Low	2400
0.50	High	2100
0.60	Very High	1800
0.70	Very High	1600
0.80	Very High	1450
0.90	Very High	1300
1.00	Very High	1200

TIMBER:
The specification of timber shall be as follows:
Grading: MSG Radiata Pine Min. F5 or No1
Framing Grade 90x35 or 90x45 Kiln Dried.
Treatment: T.P.A. Specification H1/Chem Free
Kiln Dried Radiata pine.
Moisture Content: Dry



Typical positioning tolerances for plates
MANUFACTURING TOLERANCES.

NOTE:
1. Plates are to be fully pressed home on both sides of joints.
The plate axis must be located in the specified or indicated direction.
2. Joints are to be tightly butted along one edge.
The maximum gap between surfaces must not exceed 3mm at time of fabrication.

DRAWING	TRUSS DETAILS
DESIGN & DRAWN S.A. COLL & D.O'Connor	DRAWING No CH3900
DATE 1 August 1997	SHEET No 101

GANG-NAIL - LUMBERLOK
designed by
TIMBER ENGINEERING CONSULTANTS
Auckland Office
3-5 Schuster Drive, East Tamaki, Auckland
P.O. Box 24019, East Tamaki
Phone: 2247100, Auckland
Christchurch Office
Suite 10, 101, Canterbury Place
P.O. Box 8187, Christchurch
Phone: 318-8187 Fax: 308-8187

VERSATILE GARAGE DRAWINGS

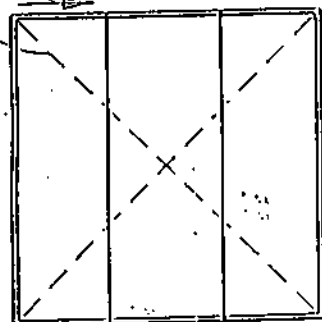
BRACING NOTES

1. The bracing effect of a single angle brace can be substituted by a 2400mm panel of weatherboard as detailed on Sheet No 105

2. Indicates a single row of Lumberlok Strip Brace tensioned up and laid over the top of purlins. Fix each end with 3 x 75 x 3.15 nails. (typical)

Indicates a single length of Angle Brace in wall set at approx 45°

Fix each end with 3 x 60 x 3.15 nails and at each stud crossing with 2 x 60 x 3.15 nails (typical)



1800 2400
4200

BRACING KEY

"Effective" truss centres 90 x 45 Dragon Ties at 45° in plane of bottom chord of truss = 4200 - 2 ie 2100

3. Building dimension ratios of Side Wall to End Wall must not exceed 1 to 2 (horizontal) for Low, Medium and High wind zones. Where the end wall to side wall ratio is between 1 to 1.5 and 1 to 2, a double row of strip brace is required or triple row in the case of 12m x 12m for High wind. (shown thus: — — —) on the corner to corner lines. The ratio of 1 to 1.5 and below requires single rows only.

4. Maximum Stud height of Building is 2.450m Refer sht 106A for 2.7m & 3.0m stud heights.

NO Double row of strip bracing required in all buildings in Very High Wind Zone Building ratio of End Wall to Side Wall must not exceed 1 to 1.5

Fix to top plate with 4 x 90 nails

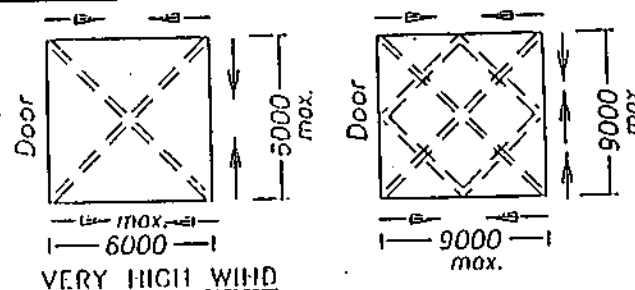
90 x 45 Dragon Ties at 45° in plane of bottom chord of truss

Fix to top plate with 4 x 90 nails

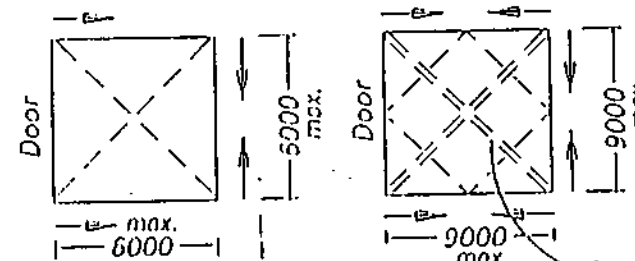
"Effective" truss centres 90 x 45 Dragon Ties at 45° in plane of bottom chord of truss = 4200 - 2 ie 2100

Fix to top plate with 4 x 90 nails

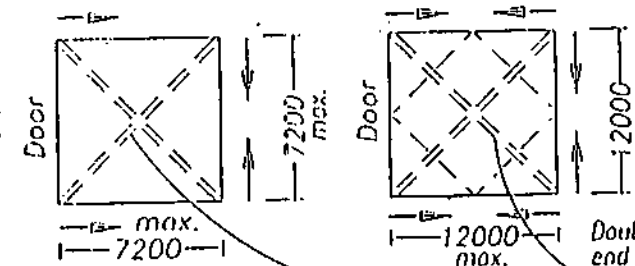
90 x 45 Dragon Ties at 45° in plane of bottom chord of truss



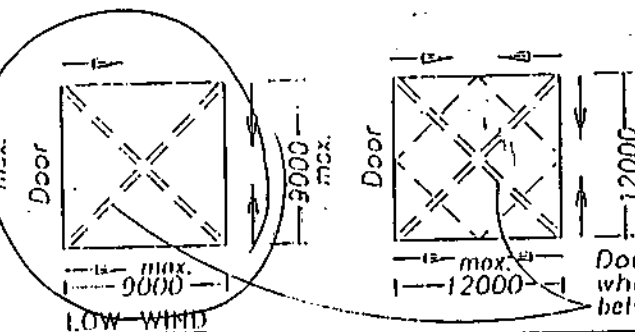
VERY HIGH WIND



HIGH WIND



MEDIUM WIND



LOW WIND

Triple row required where wall ratio is between 1 to 1.5 & 1 to 2

Double row required where wall ratio is between 1 to 1.5 & 1 to 2

Double row only required where end wall to side wall ratio is between 1 to 1.5 & 1 to 2

Double row required where wall ratio is between 1 to 1.5 & 1 to 2



GANG-NAIL - LUMBERLOK

designed by
TIMBER ENGINEERING CONSULTANTS
Juchland Office
1-3 Gordon Street, East Tamworth, Victoria
P.O. Box 10011, East Tamworth, P.O. Box 6111, East Melbourne
Phone 311 1100, Juchland Phone 311 1101 Fax 311 0514

VERSATILE GARAGE DRAWINGS

DRAWING		WINDLOAD BRACING REQUIREMENTS	
DESIGN & DRAWN	SA COLL & D O'Connor	DRAWING NO	CH3900
DATE	1 August 1997	SHEET NO	104-B



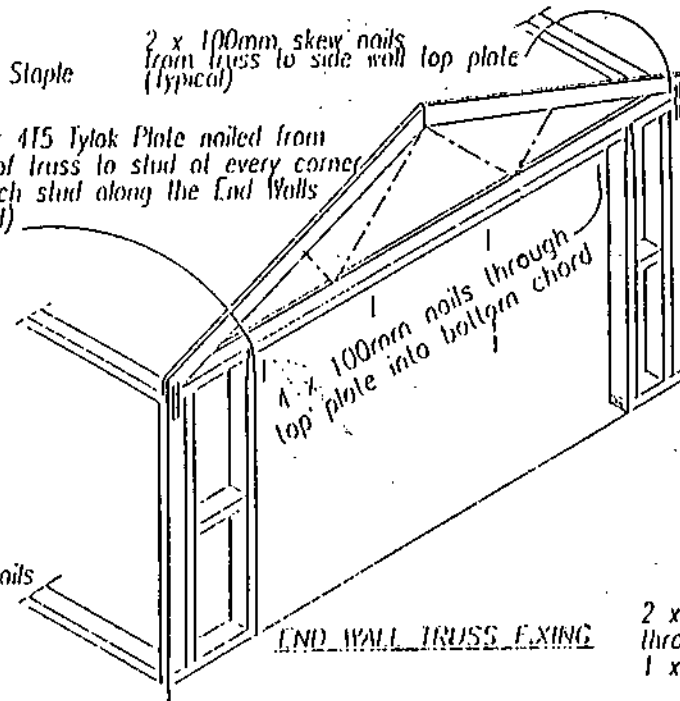
PLAN VIEW: END /SIDE WALL PLATE LAYOUT

Lumberlok Wiredog Staple

2 x 100mm skew nails from truss to side wall top plate (typical)

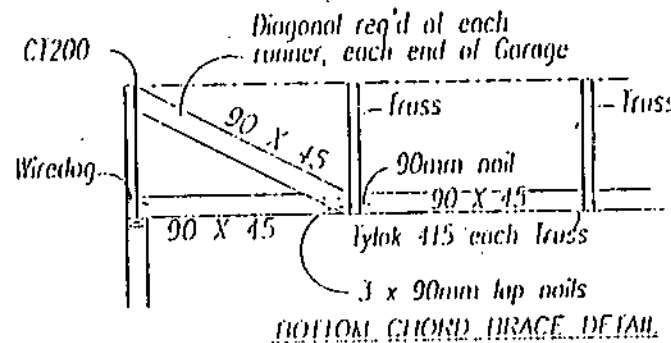
Strip Brace offset or 415 Tylok Plate nailed from from bottom chord of truss to stud at every corner and opening plus each stud along the End Walls (minimum 3 nail/end)

Lumberlok CI200 with 7 x 30 x 3.15dia nails — into truss, and minimum of 5 x 30 x 3.15 nails into stud and 2 nails into plate.
2 x 90mm skew nails from truss to top plate.



Lumberlok Strip Nails

TRUSS/STUD WALL FIXING



LOAD DETAILS

Live Load = 0.25Kpa (top chord)
Dead Load = 0.20 Kpa (top-chord)
Wind Load Cpi = 0.50 max
Cpe = 0.80 max

Purlin Spacing = 1100 max

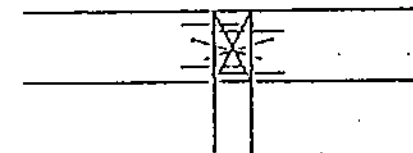
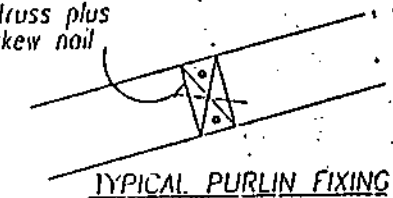
SNOW LOAD(Kpa)	WIND LOAD	TRUSS CENTRES
0.30	Low	2400
0.40	Low	2400
0.50	Low	2400
0.60	High	2100
0.70	Very High	1800
0.80	Very High	1600
0.90	Very High	1450
1.00	Very High	1300
	Very High	1200

NOTE:

Stud fixings in these two cases require the addition of two x Wire Dog Staples per connection.

WIND LOAD	TRUSS SPAN
High	12000
Very High	12000

2 x 90mm nails into end of purlin through the truss plus 1 x 90mm skew nail



TYPICAL PURLIN FIXING CROSS-SECTION

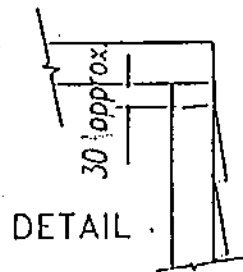
DRAWING	
TRUSS/STUD/PURLIN FIXING DETAILS	
DESIGN & DRAWN	DRAWING NO
S.A. Coll & H.O'Connor	CH3900
DATE	SHEET NO
1 August 1997	103

GANG-NAIL — LUMBERLOK

designed by
TINDER ENGINEERING CONSULTANTS
Auckland Office
1-3 Teahana Drive, East Tamaki, Auckland 1063
P.O. Box 34815, East Tamaki
Phone 3441100, Auckland. Facs 344-0310

VERSATILE GARAGE DRAWINGS

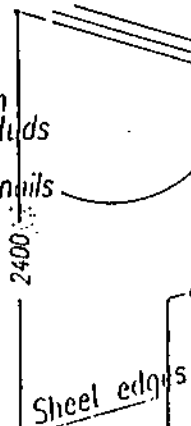




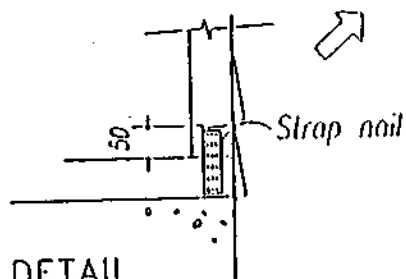
DETAIL

Standard Steel Sheet Weatherboard Cladding

Conventional Versatile
stud wall construction
ie 90 x 35 timber studs
notched into plates.
Fix with 2 x 90mm nails



Pair Strap nails at corner studs &
studs at ends of each panel.
ie 2400 or 1200 crs.



DETAIL

2400mm Minimum requirements or two sections of 1200mm wide panels
provides bracing effect of a single length of Angle Brace
ie. Allows for break in wall section around doors or windows.
All vertical sheet edges around these breaks are fixed at every rib.
A 10mm bolt and washer through bottom plate to foundation
to be located at the stud at the ends of each panel.

NOTE

1. Fix weather board with
 ϕ 2.8 x 35mm galvanised nails.
2. Locate nails as indicated on the drawing
of a wall section.
All sheet edges to be fixed to studs
at 600crs plus intermediate nailing
between sheet edges at every alternate rib.
Fixing along the vertical sheet edges to be
at every rib.
3. "Bracing Ability"
Provided the weatherboard sheet iron
(as shown across) is fixed in accordance
with notes 1 & 2 and laid out as drawn,
a 2400 mm section can replace the
requirement of a single length of Angle Brace
as specified on Sheet No 104.

Refer to :
"Load Rating of Versatile Timber Frame
Garage Wall"
prepared by: J.A. Dean
Reg Structural Engineer,
University of Canterbury.
October 1989.

This report is available for inspection from:
Versatile Buildings Ltd,
Springs Road,
CHRISTCHURCH.



GANG-MAIL - LUMBERLOK
designed by
TIMBER ENGINEERING CONSULTANTS
Auckland Office
1-3 Palmer Street, Auckland
P.O. Box 1000, Auckland
Phone 212-0000, Auckland

VERSATILE GARAGE DRAWINGS

DRAWING		WEATHERBOARD BRACING ELEMENT	
DESIGN & DRAWN	SA. COLL & D.O'Connor	DRAWING NO	CH3900
DATE	1 August 1997	SHEET NO	105

WALL FRAMING OPTIONS

OPTION 1 - VISUALLY GRADED DRY FRAME TIMBER

All combinations of loading conditions and geometric layouts will consist of 90 x 35 mm Number 1 Dry Frame.

OPTION 2 - MACHINE STRESS GRADED DRY FRAME TIMBER

(Stud Heights)

Wall (90x35mm)	Low Medium High Very High	2.1	2.4	2.7	3.0
		F4	F4	F4	F5
		F4	F4	F5	F7
		F4	F7	F8	F11
		F5	F8	F11	F11 (90x45)

TOP PLATE ONLY		
Height	Joints/Spacings	
	1000	2400
2.1	F4	F4
2.4	F4	F5
2.7	F4	F5
3	F5	F5

OPTION 3 - VISUALLY GRADED WET FRAME TIMBER

All combinations of loading conditions and geometric layouts will consist of 94 x 47 mm Number 2 Wet Frame.

GANG NAIL

GROUP LTD
designed by
TIMBER ENGINEERING CONSULTANTS

PO Box 100, Wanganui
New Zealand
Tel: 03 940 1111

Rev. Date

VERSATILE GARAGE DRAWINGS

Sheet Title

WALL DETAILS

Sheet Number

CH3900

Date 28/6/86

Rev. 1.1.00

Designed SAC

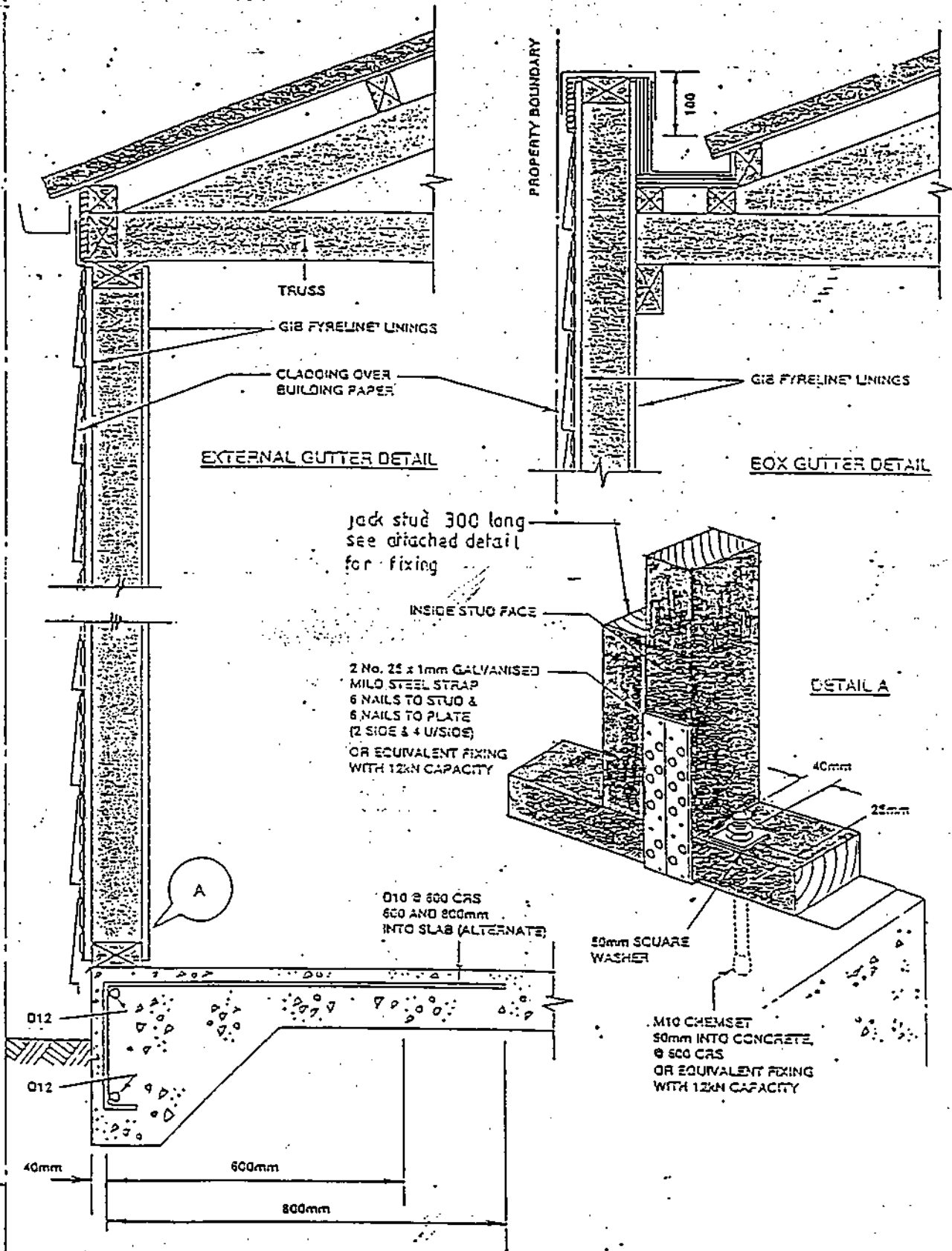
Drawn DLW

Checked SAC

Confirmed SAC

Sheet

107



NOTE : fyrelite sheets laid horizontally stagger joints



WINSTONE WALLBOARDS LTD

Auckland 02184 Fax 0-9-534 3972
Wellington 02293 Fax 0-4-553 7844
Christchurch 03159 Fax 0-3-337 1014



Auckland
Ph (09) 274-7109, Fax (09) 274-7100
Christchurch
Ph (03) 348-8691, Fax (03) 348-0314

Fire Wall Bracket	
Nairo	Out
ETS	

Date _____

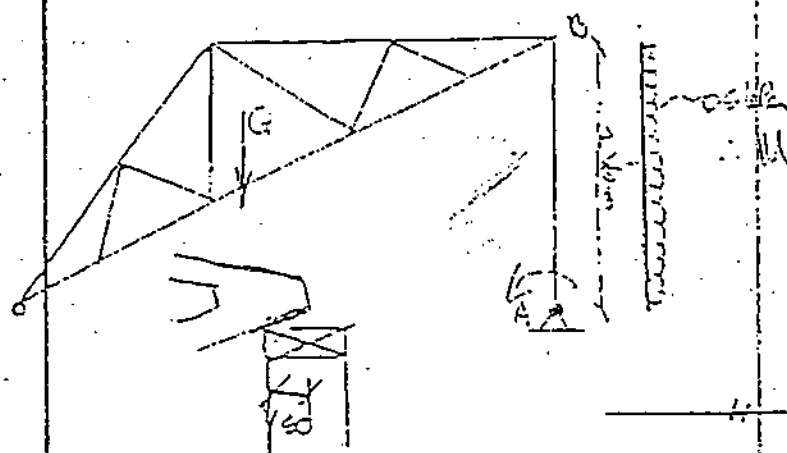
7/10/96

Page 1

Elimination

- 1) Light Roof only, no ceiling
- 2) 2.45m high studs from 90x35mm Laminated frame
- 3) Gauge width between 3 to 7.5m
- 4) $\frac{0.214}{0.70} = 0.214$

7.5m Span

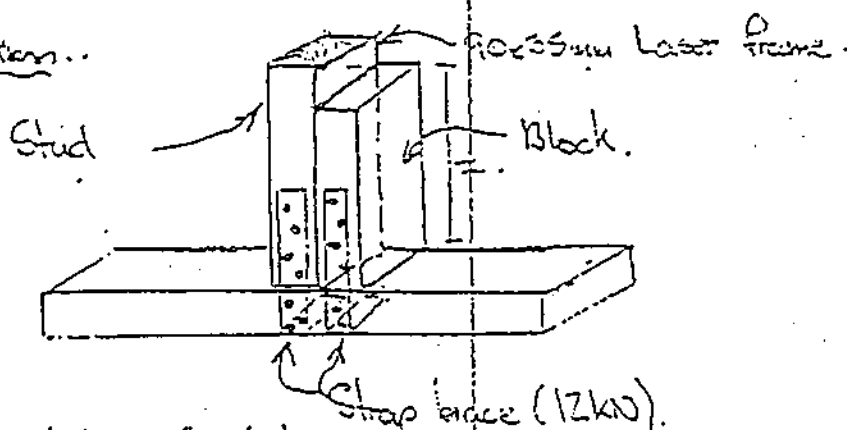


$$R_0 = \frac{73}{2} \times 0.1 \times 0.64 = 2.35 \text{ kg}$$

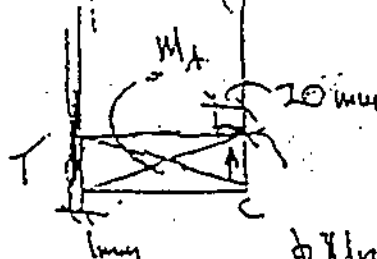
$$A = 0.45 \times 0.05 + 0.5 \times \frac{1.5}{2} \times 2.5 \times 0.05$$

$$= 0.92 \text{ kN.m} \quad \text{Shear}$$

possible connection.



check shear brace: $(\phi = 1 \text{ for } \text{br})$ 12 kN



$T = 1240$

$$M_n = 12 \times 60705 = 0.85 \text{ kNm}$$

$\phi_{\text{Un}} = 0.4$ within 5% of μ_A okay.



Auckland
Ph (09) 274-7109, Fax (09) 274-7100
Christchurch
Ph (03) 348-8651, Fax (03) 340-0314

Fire Wall Bracket

Name

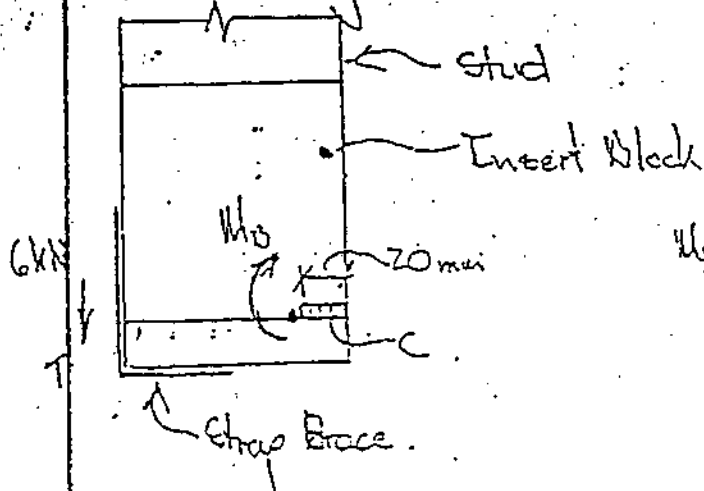
Date

7/10/96

Page

2

Insert Block Design



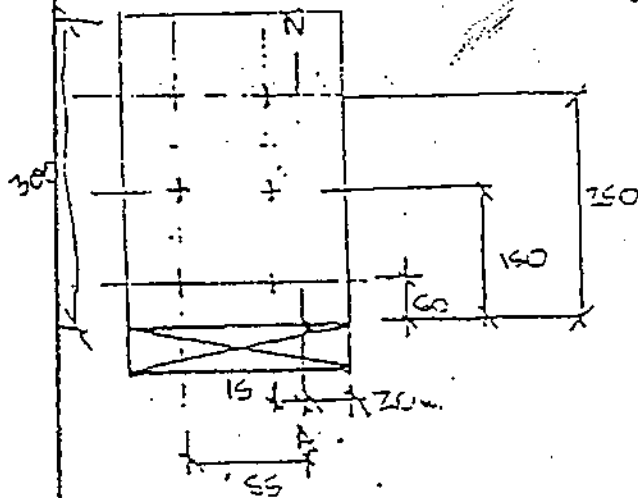
$$W_b = 0.0705 \times 6 = 0.43 \text{ kNm}$$

By 250x90x35mm Block

$\phi = 1$

$\eta = 0.67$

with 3.75x60mm Nails in the following pattern



$$Q_n = K \cdot Q_r \cdot \sum_{i=1}^n r_i^2$$

$$r^2 = (6 \times 0.015^2) + (3 \times 0.055^2) + (2 \times 0.05^2) + (2 \times 0.15^2) + (2 \times 0.25^2) = 0.135$$

$$Q_r = 665 \text{ N}$$

$$r_{max} = \sqrt{1 \times 0.055^2 + 1 \times 0.25^2}$$

$$= \sqrt{0.0655} = 0.256$$

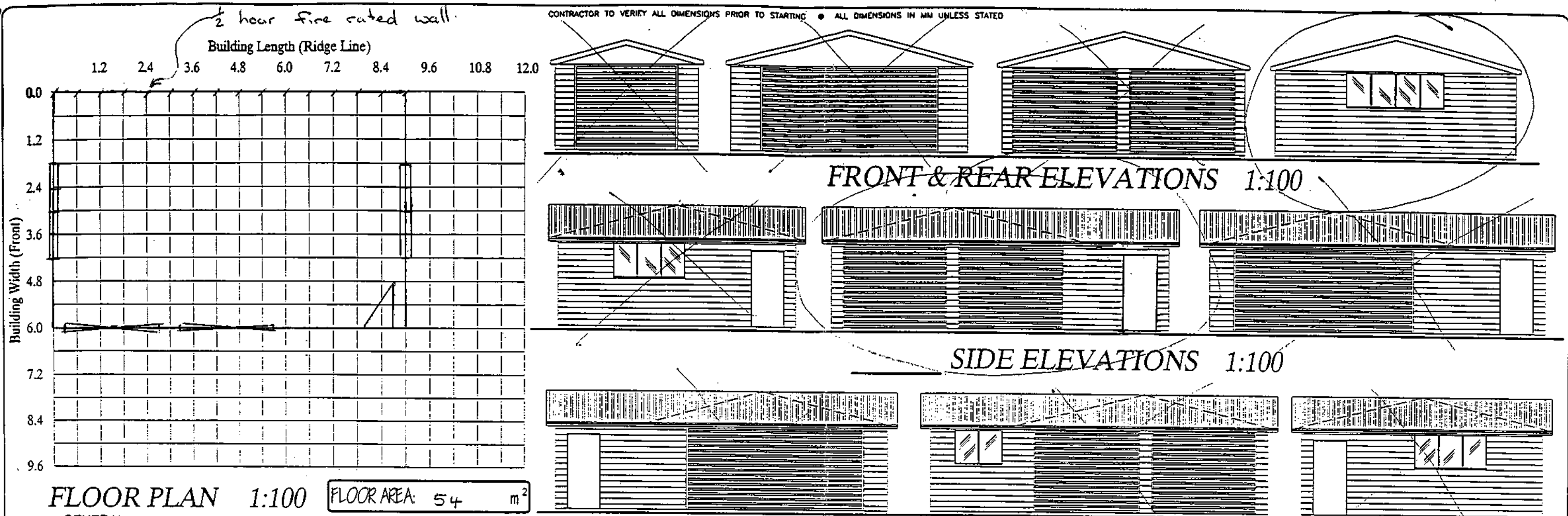
$$\therefore Q_n = 0.42 \text{ kNm with } 5\% \text{ of } 0.43 \text{ kNm}$$

Okay

Summary Use

2x Lumberlok Strap brace $\Rightarrow$ Characteristic load

1x Insert block 250x90x30mm with 6x 3.75x60mm w/c



GENERAL
All work to comply with the New Zealand Building Code. This specification and drawings shall be read in conjunction with Gangnail Producer Statement for Design, dated 26 July, 1996.

FOUNDATIONS
Concrete floor shall be 17.5 MPA, 100mm thick. Footing as detailed.

WALL FRAMING
All timber shall be machine gauged and treated to T.P.A. specification H1 or Chemical Free Dry frame. Studs shall be 90x35 dry frame at 600 c/s and housed into plates with owangs housed into studs. Lay two ply malthoid d.p.c. under all plates. Refer Gangnail Producer Statement CH3900/107 for timber grade options and specification.

ROOF FRAMING
Purlins shall be 90mm x 45mm on edge at 1100 max c/s fixed to Gangnail 15 degree trusses at centres shown below. Fix purlins and trusses as detailed in Gangnail Producer Statement for Design.

SIDE ENTRY OPENING LINTELS
Refer Soon Loo Consultants Ltd Producer Statement for Design, dated February 1997, for side entry lintels table below relates to Low Wind, up to 0.3 Snow (Kpa), Refer Producer Statement for others.

Clear Span	Truss Span: 6000	Truss Span: 6600 & 7200	Truss Span: 7800-9000
Max. span 2.7	170 x 45 LVL Lintel	170 x 45 LVL Lintel	200 x 45 LVL Lintel
Max. span 3.0	240 x 45 LVL Lintel	240 x 45 LVL Lintel	240 x 45 LVL Lintel
Max. span 4.5	240 x 45 LVL Lintel	240 x 45 LVL Lintel	240 x 63 LVL Lintel
Max. span 4.8	240 x 45 LVL Lintel	240 x 63 LVL Lintel	300 x 45 LVL Lintel

Trusses butted to lintel with 90 x 45 lumberlock joist hanger.

ROOFING
Shall be 0.44 B.M.T. steel longrun rib roofing, fixed with 65/75mm weatherseal spiral shank nails, over building paper on Ultra-Violet fast lashing.

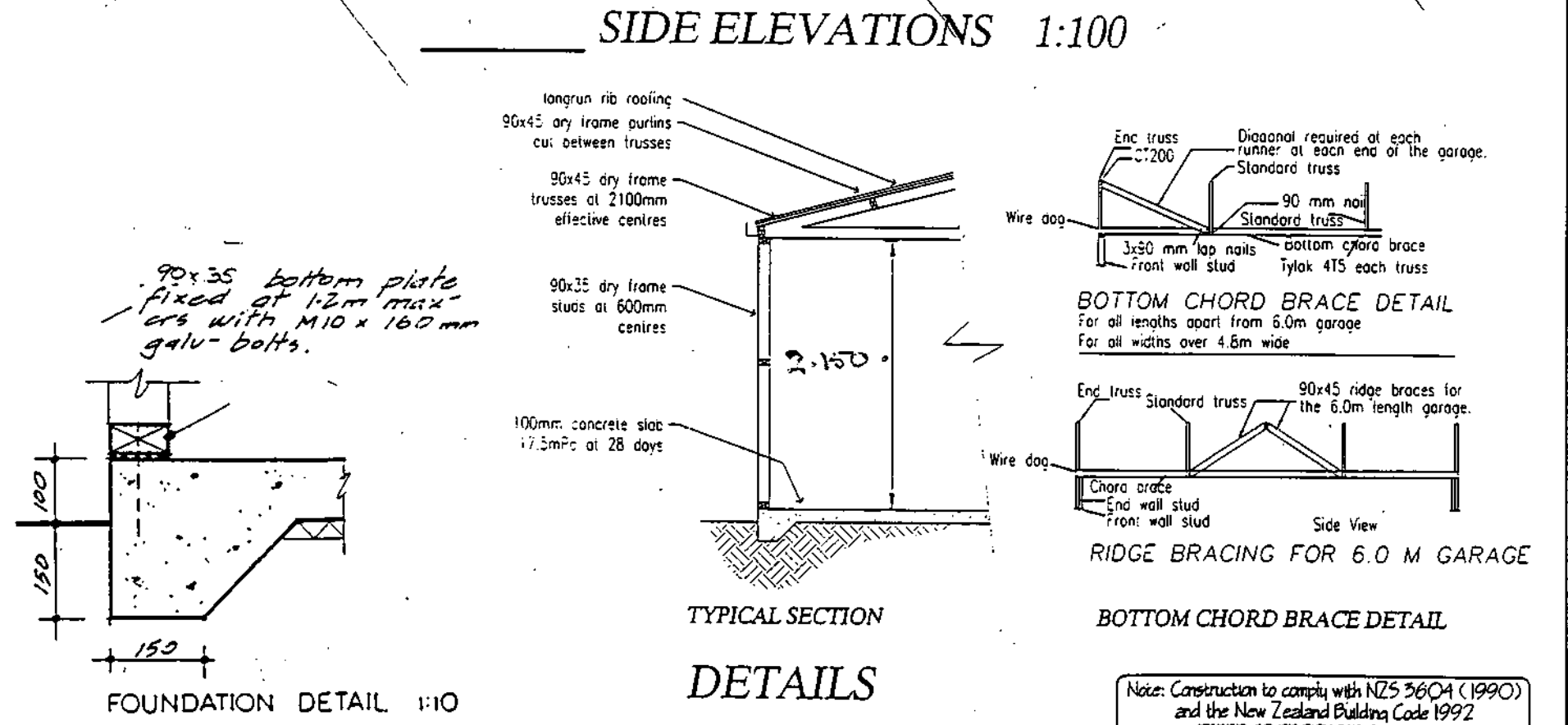
WALL CLADDING
Shall be Super-clad.
Fix in accordance with Gangnail Producer Statement for Design.

ROOF BRACING
Fix 90 x 45 dragon ties on flat to each corner of building up to 6.0m x 4.8m. For buildings over 6.0m x 4.8m fix Lumberlok roof plane strap bracing in accordance with Gangnail Producer Statement for Design.

WALL BRACING
For Superclad 300 horizontal weatherboard fix 22 x 22 x 1.2 metal angle bracing in accordance with NZS 3604. For steel sheet weatherboard cladding no metal angle bracing is required, refer Gangnail producer statement.

VERSATILE BUILDINGS

HEAD OFFICE: 112 WATERLOO ROAD
PH: (03) 348-8704
FAX: (03) 348-9093



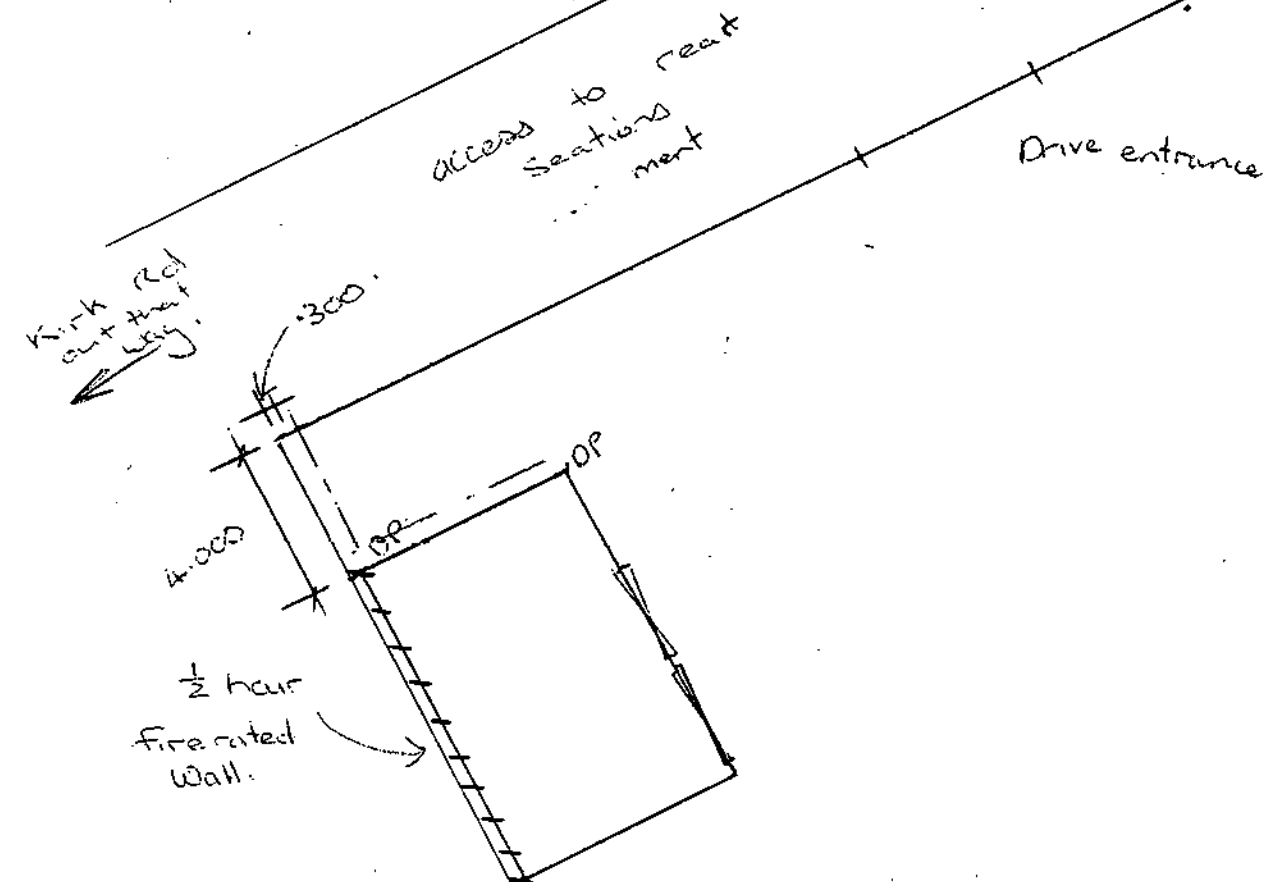
Note: Construction to comply with NZS 3604 (1990) and the New Zealand Building Code 1992
REFER TO PRODUCER STATEMENT

SCALE: 1:100
DATE: Sep '97
DRAWN: B.O'Connor
FILE: VG-1301A

SHEET: 1

PROJECT TITLE
Proposed Garage For:
Mr and Mrs McKinley
12 Kirk Rd

DRAWING TITLE
VERSATILE GARAGE



SITE AREA	-	1071	m ²
EXISTING	-	—	m ²
PROPOSED	-	54	m ²
TOTAL	-	54	m ²
COVERAGE	-	—	%

PROPOSED SITE PLAN FOR.

Mr Mrs McKinley

12 Kirk Rd

content.

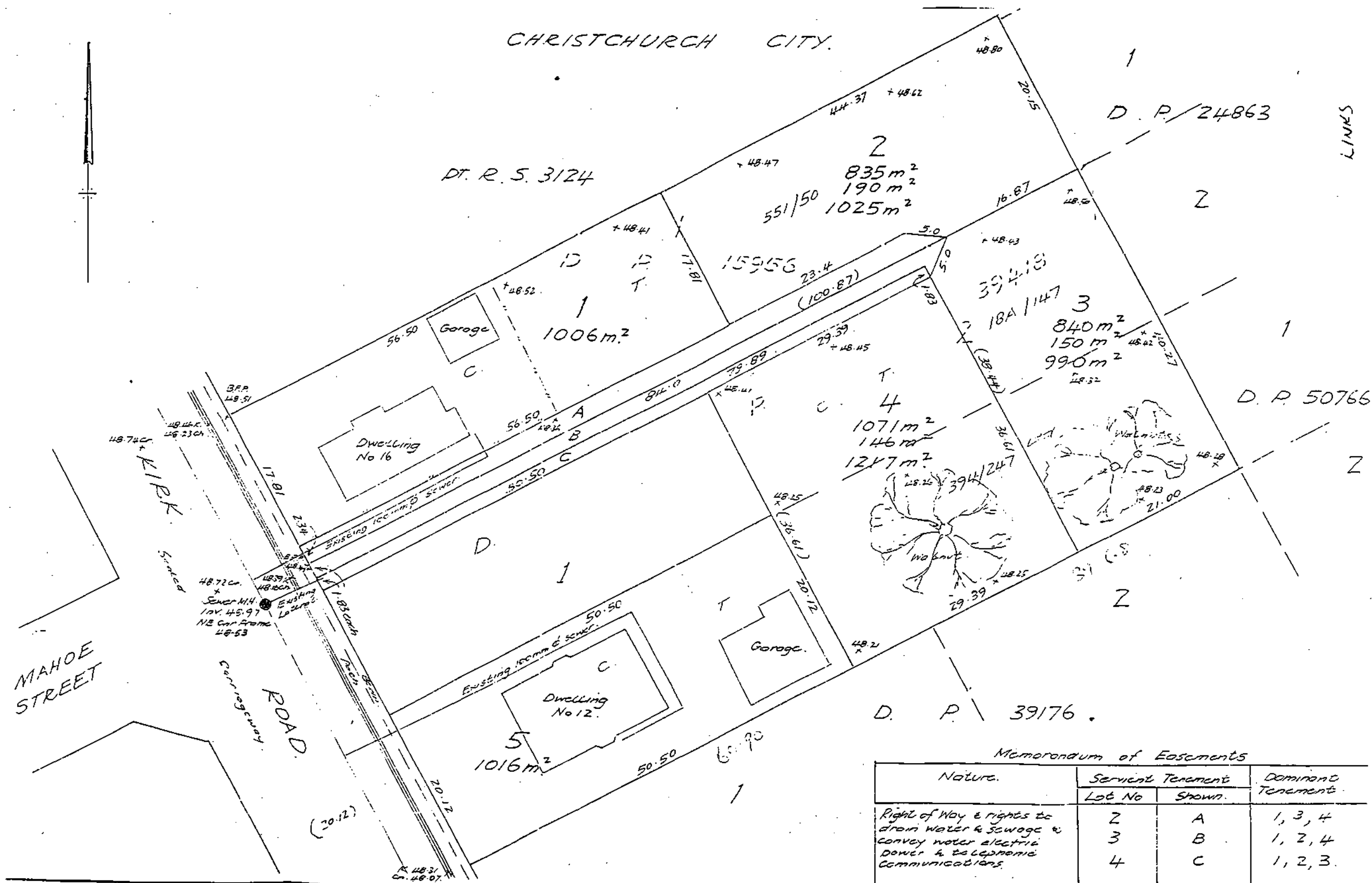
SCALE: 1:200

DATE:

DRAWN:

sheet

10/2/14



C. E. Heald.
Registered Surveyor
@ Whitchurch Road
Christchurch 5

PROPOSED SUBDIVISION OF LOT 1 D.P. 15956, LOT 2 D.P. 39418
& DT R. S. 3124
Comprised in C.S.T. 551/50 (P. Alfida) & 184/147, 394/247 (I.H. & M.E. McKinlay)
BLOCK XIII, CHRISTCHURCH S.D., CANTERBURY L.D.

Areas & dimensions subject
to final survey.

DRAWN BY... CHECKED... SCALES...
TRACED... DATE 31.10.10 1:100

SHEET
1
SERIES OF
REF

The information offered in this section is to assist the Council in the review process, including the assessment of the number of inspections. Statements offered by the applicant will be used as a guide rather than a commitment.

- Is the project to be erected in stages? ☐ Yes ☒ No

If yes briefly describe your proposed programme: _____

- Estimated start date: _____ (please note building work must be started within 6 months of Consent issue date)
- Estimated finish date: _____
- Is a registered engineer involved? ☒ Yes ☐ No
- For design ☒ Yes ☐ No
- For inspection ☒ Yes ☐ No
- Is a Producer Statement to be offered? ☒ Yes ☐ No
- Producer Statement: Design ☒ Yes ☐ No
- Producer Statement: Inspection ☒ Yes ☐ No
- Is a registered master builder involved in the project? ☒ Yes ☐ No

_____ Name (optional)

COMPLETE THIS SECTION FOR ALL NEW BUILDINGS AND ALTERATIONS, EXCEPT SINGLE RESIDENTIAL DWELLINGS

Please tick the relevant boxes to show which systems are included or to be included in the building project

	EXTG	NEW
(a) Automatic sprinkler systems or other systems of automatic fire protection	☐	☐
(b) Automatic doors which form part of any fire wall and which are designed to close shut and remain shut on an alarm of fire	☐	☐
(c) Emergency warning systems for fire or other dangers	☐	☐
(d) Emergency lighting systems	☐	☐
(e) Escape route pressurisation systems	☐	☐
(f) Riser mains for fire service use	☐	☐
(g) Any automatic backflow preventer connected to a potable water supply	☐	☐
(h) Lifts, escalators, or travelators or other similar systems	☐	☐
(i) Mechanical ventilation or air conditioning system serving all or a major part of the building	☐	☐
(j) Any other mechanical, electrical, hydraulic, or electronic system whose proper operation is necessary for compliance with the building code	☐	☐
(k) Building maintenance units for providing access to the exterior and interior walls of buildings	☐	☐
(l) Such signs as are required by the building code in respect of the above mentioned systems	☐	☐
NONE OF THE ABOVE		☐

COMPLETE THIS SECTION ONLY IF THE BUILDING CONTAINS OR WILL CONTAIN ANY OF THE SYSTEMS IN SECTION 5

	EXTG	NEW
(m) Means of escape from fire	☐	☐
(n) Safety barriers	☐	☐
(o) Means of access and facilities for use by persons with disabilities which meet the requirements of section 25 of the Disabled Persons Community Welfare Act 1975	☐	☐
(p) Handheld hoses for fire fighting	☐	☐
(q) Such signs as are required by the building code or section 25 of the Disabled Persons Community Welfare Act 1975	☐	☐

(Mike Clapshaw)

SECTION 6

☐ Builder's Name: Versatile Buildings Phone: 3488704
Address: P.O Box 11396 Sockburn Fax: 3484093

☐ Building Certifier's Name: as above Phone: Same
Address: as above Fax: Same

☐ Plumber's Name: _____ Phone: _____
Address: _____ Fax: _____

☐ Drainlayer's Name: _____ Phone: _____
Address: _____ Fax: _____

☐ Engineer's Name: _____ Phone: _____
Address: _____ Fax: _____

☐ Designer's Name: as above Phone: Same
Address: as above Fax: Same

SECTION 7

	YES / NO / NA	YES / NO / NA	YES / NO / NA
Have you fully completed:	Section 1 ☒	Section 4 ☒	Section 6 ☒
	Section 2 ☒	Section 5 ☒	Section 7 ☒
	Section 3 ☒	Section 5A ☒	

- IF THIS PROJECT CONSTITUTES A DEVELOPMENT PURSUANT TO SECTION 409 OF THE RESOURCE MANAGEMENT ACT 1991, THEN THIS APPLICATION IS ALSO DEEMED TO BE A NOTIFICATION BY THE OWNER OF A RESOURCE CONSENT APPLICATION FOR A DEVELOPMENT.
- Please note this application may not be processed further until any outstanding items have been submitted. Completion of this check sheet is not approval to start work.
- No work is to commence until the Building Consent is uplifted.
- **Building Consent Fees**
The charges incurred by the Council in processing this application are payable whether or not the project proceeds. Note: Fees for some minor works (eg drainage only works, detached accessory buildings with a value of less than \$5,000) are required to be paid at the time of application.
- **I DECLARE I HAVE BEEN AUTHORISED BY THE OWNER TO MAKE THIS APPLICATION**

Print Name: IAN HUGH MCKINLAY Date: 19. 5. 95

Signature: [Signature]

SIGNED BY or FOR AND ON BEHALF OF THE OWNER

Project Information Memorandums (PIMs) and Building Consents can be lodged and uplifted at the following centres, where there are Building Information Officers available to assist you.

Civic Offices 163-173 Tuam Street PO Box 237 Telephone 379 1660 Fax 371 1792	Fendalton Service Centre Cnr Jeffreys & Clyde Roads PO Box 29 183 Telephone 351 7109 Fax 372 2747	Linwood Service Centre 180 Smith Street PO Box 24 214 Telephone 389 1477 Fax 372-2639	Sockburn Service Centre 149 Main South Road PO Box 11 011 Telephone 348 5119 Fax 372-2539
---	--	--	--

Project Information Memorandums (PIMs) and Building Consents can also be lodged and uplifted at these Service Centres.

Beckenham Service Centre 66 Colombo Street PO Box 12-033 Telephone 332 3099 Fax 332-3443	Papanui Service Centre Cnr Langdons Road & Restell Street PO Box 5142 Telephone 352 8117 Fax 352 1308	Shirley Service Centre 36 Marshland Road PO Box 27 043 Telephone 385 3079 Fax 385 4224
---	--	---

All the relevant information on this form is required to be provided under the Building Act and Resource Management Act for the Environmental Services Unit to process your application. Under these Acts this information has to be made available to members of the public including business organisations. The information contained in this application may be made available to other units of the Council. You have the right to access the personal information held about you by the Council which can be readily retrieved. You can also request that the Council correct any personal information it holds about you.



CHRISTCHURCH CITY COUNCIL

28 May 1998

VERSATILE BUILDINGS
P O BOX 11336
CHRISTCHURCH

**COPY FOR YOUR
INFORMATION**

Dear Sir/Madam

**APPLICATION FOR BUILDING CONSENT
PROJECT NO. 98003848**

Your application for a Building Consent for the proposed GARAGE/WORKSHOP at 12 KIRK ROAD WIGRAM refers.

Processing of this building consent application has been completed and the consent is now ready for issue. The fees associated with the consent are listed on the following page.

The Building Consent is to be uplifted from the SOCKBURN SERVICE CENTRE upon payment of these fees.

Note that the **Building Consent is not valid until the fees have been paid** and you are in possession of the consent document together with the Inspection Schedule and any Conditions of Consent. Therefore, do not commence building work on the basis of this letter as it serves only as notice that the building consent is available for issue.

Please ensure that you give the Council at least one full days notice prior to placing concrete or covering in any of the work requiring inspections as identified on the Inspection Schedule. Failure to do this may result in the issue of a "Notice to Rectify" by the Council and may also jeopardise the issue of the Code Compliance Certificate which you will require upon completion of the works.

.../2

CONTACT : AREA DEVELOPMENT OFFICER

SOCKBURN SERVICE CENTRE 149 MAIN SOUTH ROAD
P O BOX 11-011 CHRISTCHURCH TELEPHONE (03) 348-5119 FAX (03) 372-2539

2.

The outstanding fees associated with the Building Consent are:

To PIM:		
Process and Grant		\$ <u>65.00</u>
To Building Consent:		
Accept and Issue		\$ <u>50.00</u>
Process and Grant		\$ <u>90.00</u>
To Code Compliance Certificate:		
Inspections		\$ <u>180.00</u>
Grant and Issue		\$ <u>30.00</u>
TOTAL		\$ <u>415.00</u>

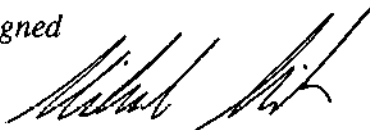
You are requested to uplift the consent and pay the fees set out above **within 30 days of the date of this letter**. Please use the attached Fee Summary as a means of identification.

If you do not wish to proceed with the building project, please contact the Service Centre as all fees associated with acceptance, processing and granting of the consent are still due to be paid.

Please note that your Building Consent will lapse if work has not commenced within six months of its date of issue or if reasonable progress has not been made within twelve months after work has commenced, unless an extension of time has been approved by the Council.

Please quote the above Project Number in all communication with the Council.

Signed



for
AREA DEVELOPMENT OFFICER SOCKBURN SERVICE CENTRE

**CHRISTCHURCH CITY COUNCIL
FEE SUMMARY****PIM/BUILDING CONSENT**

PROJECT NO. 98003848
SITE ADDRESS 12 KIRK ROAD
OWNER/APPLICANT VERSATILE BUILDINGS
DATE GRANTED 28 May 1998

This document summarises the unpaid fees as identified on the attached letter. You are requested to pay these fees before the Consent can be uplifted. Please present this document for payment to the Cashier at the SOCKBURN SERVICE CENTRE.

RC023	\$90.00	Process/Grant Consent	05157/840
RC025	\$210.00	Code Compliance Certificate	93085/801
RC027	\$65.00	Process/Grant Pim	05147/831
RC035	\$50.00	Accept/Issue Pim/Consent	05136/831

Total \$415.00 (Including GST)

R2573972

**Christchurch City Council
Legal Services Unit**

Memorandum

Date: 8 DECEMBER 2003

From: BEN JOHNSTON, SOLICITOR

To: BOB PRITCHARD (Subdivisions Officer, Environmental Services)

CAVEAT OVER 12 AND 14A KIRK ROAD, TEMPLETON

I attach a copy of a letter which I have received from Malley & Co today.

You will see that Malley & Co act for the McKinlays who are requesting the release of a caveat over the title to their two properties at Kirk Road, Templeton. Malley & Co advise that the caveats were originally registered in 1991 to ensure that any building work on the land was not commenced until there had been appropriate fill put in place.

Could you please confirm whether or not the caveat can now be withdrawn as Malley & Co suggest. If this is a matter which should be more appropriately dealt with by the building team, I would be grateful if you could forward this memo on to an officer in that unit and let me know who this has gone to.

Once I receive confirmation that the caveats can be released, I can prepare the necessary withdrawal documentation and correspond directly with Malley & Co.

If you wish to discuss this matter please do not hesitate to contact me on x8508.

Regards

B. Johnston

Ben Johnston
SOLICITOR

Ext 8508
Email: ben.johnston@ccc.govt.nz

Encl

Our Ref: BGJ:JMC

GIVING VALUE - BEING VALUED

*Buildings advise
that caveat is no longer
necessary.
- advised Ben 23-12-03*

Malley & Co

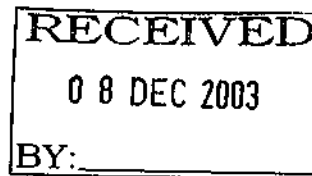
LAWYERS

(Est 1897)

10th Floor • 47 Cathedral Square • Christchurch • New Zealand
PO Box 1202 • DX WP21522 • Telephone 03-379 0712 • Fax 03-365 4613

5 December 2003

Christchurch City Council
P O Box 237
CHRISTCHURCH



ATTENTION: LEGAL DEPARTMENT

IAN HUGH MCKINLAY AND MARILYN EVA MCKINLAY - PROPERTIES : 12 AND 14A KIRK ROAD, TEMPLETON

We enclose copies of Certificates of Title 34B/433 and 34B/434 along with a copy of Caveat registered no 939172.1.

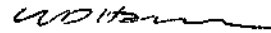
This Caveat was registered at a time when the Council had concerns over drainage issues within the Templeton area and was registered to ensure that if there was any building activity on the properties owned by my clients, appropriate fill would be introduced to the site before building.

My clients instruct that the Council no longer requires fill and various dwellings on properties around them have been built without the need for fill. In addition, my clients obtained consent for a garage on 14A Kirk Road five years ago which required no fill, and have obtained a consent for building of a dwelling on 14A Kirk Road in July of this year, again with no need to fill the site. Drainage goes to soak pits as recorded in the building consent applications.

In those circumstances it seems that the Caveat is redundant. I would be grateful if you could arrange for a release of the Caveat and let me have this in due course.

I look forward to hearing from you.

Yours faithfully
MALLEY & CO

per 

PP **PATRICK COSTELLOE**

email: PGC@malley.co.nz

PGC\McKinlay IH & ME Let CCC.doc\wdh

Partners	Ernest John Tait LL.B Patrick Gregory Costelloe LL.B Dominic Peter Dravitzki LL.B Robert John Unwin O'Connor LL.B John Michel Shingleton LL.B, LL.M (France)
Associate	Gregory Allen Hair LL.B
Branch Office	399b Main South Road PO Box 16 595 Hornby Christchurch Telephone (03) 349 5595 Facsimile (03) 349 6606



COMPUTER FREEHOLD REGISTER UNDER LAND TRANSFER ACT 1952



Search Copy

R.W. Muir
Registrar-General
of Land

Identifier CB34B/433
Land Registration District Canterbury
Date Issued 22 April 1991

Prior References
CB18A/147 CB394/247

Estate Fee Simple
Area 1221 square metres more or less
Legal Description Lot 4 Deposited Plan 57615
Proprietors
Ian Hugh McKinlay and Marilyn Eva McKinlay

Interests

Settled under the Joint Family Homes Act 1964 - 4.8.1976 at 12.09 pm (as to part) and 9.9.1977 at 10.08 (as to part) see Applications 92087.1 and 147015.4

930692.7 Easement Certificate specifying the following easements - 22.4.1991 at 11.35 am

Type	Servient Tenement	Easement Area	Dominant Tenement	Statutory Restriction
Right of way, right to drain water and sewage, and convey water, electric power and telephonic communications	Lot 4 Deposited Plan 57615 - herein	C DP 57615	Lot 3 Deposited Plan 57615	
Right of way, right to drain water and sewage, and convey water, electric power and telephonic communications	Lot 2 Deposited Plan 57615 - CT CB34B/431	A DP 57615	Lot 4 Deposited Plan 57615 - herein	
Right of way, right to drain water and sewage, and convey water, electric power and telephonic communications	Lot 3 Deposited Plan 57615 - CT CB34B/432	B DP 57615	Lot 4 Deposited Plan 57615 - herein	
Right of way, right to drain water and sewage, and convey water, electric power and telephonic communications	Lot 4 Deposited Plan 57615 - herein	C DP 57615	Lot 1 Deposited Plan 57615	

Transaction Id

Client Reference WDFH 12158-1 McKinley

Search Copy Dated 21/10/03 7:06 am, Page 1 of 3

Register Only

Identifier

CB34B/433

Right of way, right to drain water and sewage, and convey water, electric power and telephonic communications

Lot 4 Deposited Plan C DP 57615
57615 - herein

Lot 2 Deposited Plan
57615

The easements specified in Easement Certificate 930692.7 when created will be subject to Section 309(1)(a) Local Government Act 1974

939172.1 CAVEAT BY CHRISTCHURCH CITY COUNCIL - 13.6.1991 AT 9.40 AM

The rights of way specified in Easement Certificate 930592.7 are subject to Conditions 2, 4, 5a, 6 and 11a of Council's Consent set out in Document 251928.1

Identifier

CB34B/433

Notes: *Handwritten notes regarding the survey and land use.*

Registered Owner:

Particulars of the land:

Memorandum of Encumbrances:

Notes	Encumbrance	Lot No.	Area	Comments
Flow, light to drain water & sewerage & storm water electric power & telephone communications	A	1	1.5.5	
	B	2	1.5.5	
	C	3	1.5.5	

Total Area: 52,666 m²

Compared to: C.T. 551/50, 551/50, 551/50, 551/50

1. Color, shape, size:

2. Registered Surveyor: *Handwritten signature*

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LAND DISTRICT Canterbury

SURVEY BLK. 6 DIST. 3411 Christchurch

RZMS 261 SHT. 10366 RECORD MAP No. 1000

Lots 1-5 being Subdivision of

Lot 1 D.P. 15956, Lot 2 D.P. 39418 & P.R.S. 3124

TERRESTRIAL AUTHORITY Christchurch City

Surveyed by G.E. Hould

Scale 1:1000 Date October 1990

Transaction Id

Client Reference WDH 12158-1 McEnley

Search Copy Dated 21/10/03 7:06 am, Page 3 of 3

Register Only

12 Kirk Rd.



COMPUTER FREEHOLD REGISTER UNDER LAND TRANSFER ACT 1952



Search Copy

R. W. Muir
Registrar-General
of Land

Identifier **CB34B/434**
Land Registration District **Canterbury**
Date Issued **22 April 1991**

Prior References

CB394/247

Estate	Fee Simple
Area	1016 square metres more or less
Legal Description	Lot 5 Deposited Plan 57615

Proprietors
Ian Hugh McKinlay and Marilyn Eva McKinlay

Interests

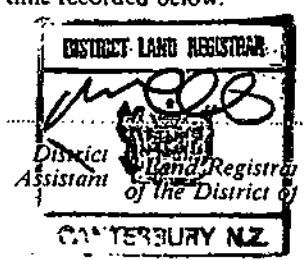
92087.1 Settled under the Joint Family Homes Act 1964 - 4.8.1976 at 12.09 pm
939172.1 CAVEAT BY CHRISTCHURCH CITY COUNCIL - 13.6.1991 AT 9.40 AM
A36364.1 Mortgage to Bank of New Zealand - 9.2.1993 at 11.43 am

CB34B/434

Withdrawn as to CT 348/432
- 15/12/1994 at 9.24 -

B

Particulars entered in the Register at the date and at the time recorded below.



CAVEAT

NOTICE SENT 16/11

MR J. H. & MRS M.E. MCKINLAY

CL- SPILLER ANTLEDGE
SOLICITORS

397 MAID SOUTH RD
CHCH

R.P.

19:40 13JUN91 C0639172
PARTICULARS ENTERED
HANDWRITING CAVEAT IN
DISTRICT OF CANTERBURY

CHAMBERLAIN
CLERK
RECEIVED
13 JUN 1991
CHRISTCHURCH

FEES PAID HEREON
AVAILABLE
TO 11 18 191
A.L.R.

