# Site Inspection Sheet 100223

**Application**

I H & J I FORRESTER
STONEWOOD HOMES
PO BOX 11036
SOCKBURN
CHRISTCHURCH 8443

Issue date 12/04/10

**Project**

| | |
|---|---|
| Description | HOUSING - Detached Dwelling (New Dwellings Only)<br>Being Stage 1 of an intended 1 Stages<br>DOMESTIC DWELLING |
| Intended Life | Indefinite, but not less than 50 years |
| Intended Use | 3 Bedroom Domestic Dwelling with Study & Attached Double Garage with Workshop - 300.14sqm2 |
| Estimated Value | $358,421 |
| Location | 28 SHERIDAN DRIVE, ROLLESTON<br>RAPID: |
| Legal Description | LOT 148 DP 367715 |
| Valuation No. | 2405535748 |
| Builder | |

Selwyn DISTRICT COUNCIL

# Code Compliance Certificate Sign-off Prompt Sheet



| | | |
|---|---|---|
| A tick (✓) in any space indicates an item has been assessed / provided & is approved / acceptable | | |
| A cross (x) in any space indicates an item has not been assessed / provided and a comment / reason should be added | | |
| N /A should be used if an item is not applicable to the consent signoff process 5-11-10 | | |
| Owner: IH + JI Forrester | Consent N°: 100 223 | |
| Agent: Storewood Homes. | | |
| **Complete all sections below using either ✓, x or N/A** | **✓ x N/A** | **Comments / Reasons for decision** |
| All listed inspections completed and copies of site inspection records in file: | ✓ | |
| Have all consent conditions been met: | ✓ | |
| Have energy works certificate(s) been supplied:<br>Electrical: 3283998 + 3365162<br>Gas: | ✓<br>NA | Registration checked ok |
| List PS3(s) and PS4(s) supplied if any; in support of reasonable grounds:<br>1. PS3 For Lima cladding installation<br>2.<br>3. | ✓ | From Bevan McKeich Builders LTD |
| Compliance Schedule ok to issue; T&C notified & schedule / Statement produced. (One copy attached to CCC for sending to applicant; and one copy for file): | NA | |
| Has any other documentation been provided to support the issue of the CCC? List documents:<br>1. Construction Statement 1500 KPA Plumbing test.<br>2. wet-Seal Installation Cirtificate<br>3. | ✓<br>✓ | Plumbers Registration checked. |
| Is the owner(s) name correct:<br>(Check certificate of title if necessary) | ✓ | |
| Has the mailing address been checked / updated:<br>(Use rates database or CCC application form) | ✓ | |
| Check lawfully established use is correct, same as BC:<br>(E.g. detached dwelling, commercial etc). Ensure amendments have not altered description. | ✓ | |
| Check legal description: | ✓ | |

| Complete all sections below using either ✓, x or N/A | ✓ x N/A | Comments / Reasons for decision |
|---|---|---|
| Check the location address aligns with Rates database: | ✓ | |
| Check year construction commenced (The year work started not the year consent was issued). | ✓ | 2010 First Inspection |
| Confirm all NTF's (if any) have been complied with to allow the issuance of the CCC. | NA | |
| Further information requested: | NA | |

| | | |
|---|---|---|
| All further information received and approved: | Signed: NA | Date: |
| CCC OK to Issue: | Signed: [illegible] Stevenson | Date: 5-11-10 |
| CCC Refused: (Provide reasoning). | Signed: NA | Date: |
| This signoff has been completed under the supervision of: | Signed: | Date: |
| This file /signoff has been reviewed by: | Signed: | Date: |
| | | Date: |
| | | |

Date Reconciliation Completed: Date Invoice Generated: Date of Refund:

No further actions resulting from reconcile:

SCANNED

RECEIVED
16 SEP 2010
SELWYN DISTRICT COUNCIL

Selwyn DISTRICT COUNCIL

Form 6

| FOR OFFICE USE ONLY |
|---|
| Building Consent No: 100223 |
| Date Received: 16/9/10. |

# Code Compliance Certificate Application

*(Only complete items that are applicable to your project)*

100916029

## APPLICATION

| | |
|---|---|
| Street Address or Rapid No. as applicable: 28 Sheridan Drive | Legal Description: Lot: DP: Valuation Roll Number: |
| Project Memorandum No. | Building Consent No. 100223 |
| Type of Building work: (eg. Domestic Dwelling) Domestic Dwelling attached garage | |
| Building Consent issued by: (Name of Building Consent Authority) Selwyn District Council | |
| Address Code Compliance Certificate to be posted to: 28 Sheridan Drive | |

## THE OWNER

| | | |
|---|---|---|
| Owner's Name: Ian Forrester | Contact Person: (if owner is a company) Paul Jenkins | |
| Mailing/Billing Address: 28 Sheridan drive | | |
| Street Address/Registered Office: | | |
| E-mail Address: | | |
| Phone Day: | Fax: | Cellphone: 0272550012 |

## THE AGENT

*Note - The Agent will be the first point of contact for communications with the Council/Building Consent Authority regarding this application/building work and will receive all correspondence including all invoices.*

| | | |
|---|---|---|
| Agent's Name: Stonewood Homes | | |
| Mailing/Billing Address: PO Box 11 036, Papanui | | |
| Street Address/Registered Office: | | |
| E-mail Address: | | |
| Phone Day: 3542344 | Fax: | Cellphone: 0272550012 |

## KEY PERSONNEL

| | | |
|---|---|---|
| Designer: | | Registration Number: |
| Mailing Address: | | |
| E-mail Address: | Phone Day: | |
| Engineer: Elliot Sinclair | | Registration Number: |
| Mailing Address: 151 Kilmore St | | |
| E-mail Address: rhw@elliot.co.nz | Phone Day: 3794014 | |
| Builder: Stonewood Homes | | Registration Number: |
| Mailing Address: PO Box 11 036 | | |
| E-mail Address: paul@stonewood.co.nz | Phone Day: 0272550012 | |
| Craftsman Plumber: Signature Plumbing | | Registration Number: |
| Mailing Address: 16 Booker Ave | | 16161 ✓ |
| E-mail Address: jnlill@xtra.co.nz | Phone Day: 0274574436 | |

ENTERED

ENTERED

ENTERED

## KEY PERSONNEL *(continued)*

| | | | |
|---|---|---|---|
| **Registered Drain layer:** Piperite Drainage | | | Registration Number: 18538 ✓ |
| Mailing Address: 83 Youngs Rd, RD1 Kaipoi | | | |
| E-mail Address: piperite@clear.net.nz | | Phone Day: 0212293015 | |
| **Registered Electrician:** KJ Electrical | | | Registration Number: |
| Mailing Address: PO BOX 26058 | | | |
| E-mail Address: kjelectrical@xtra.co.nz | | Phone Day: 027432532 | |
| **Craftsman Gasfitter:** N/a. | | | Registration Number: E3428 ✓ |
| Mailing Address: | | | |
| E-mail Address: | | Phone Day: | |
| **Other:** | | | Registration Number: |
| Mailing Address: | | | |
| E-mail Address: | | Phone Day: | |

*Add any additional relevant personnel on another sheet.*

## Other notes or comments which you as the applicant may wish to add

## SIGNATURE

☑ Request for Issue of a Code Compliance Certificate for this work under Section 95 of the Building Act 2004.

Signed by or for and on behalf of the Owner: pp Stonewood Homes

☐ Owner ☑ Agent Date: 16.9.10

Note: If acting "for and on behalf", please read & initial the following declaration before signing: "I hereby declare that I am authorised to act as Agent of the Owner".....

| Selwyn DISTRICT COUNCIL | Code Compliance Certificate Application Checklist - Form 6(C) (In conjunction with Form 6) | Building Consent No: 100223 |
|---|---|---|
| | | Date Received: 16/9/10 |

Project address: 28 Sheridan Drive Rolleston

| Have all the inspections listed in the Building Consent been carried out YES / NO (Please circle) Reinspection Req<br>If NO, please book the inspection/s before proceeding with this application.<br>NB The following is required on application in sufficient detail to show compliance with all aspects of the relevant Building Consent. Please complete this Checklist in FULL by placing a tick (√) in the supplied or Not Applicable boxes. Additional information may be requested during processing of the application. | Supplied | Not Applicable | Selwyn BCA Use Only |
|---|---|---|---|
| **Check You Have Included -** | | | |
| **COMPLETED, dated & signed Application Form** | ✓ | | ✓ |
| The Valuation number and Building Consent number | ✓ | | ✓ |
| An Address for the CCC to be posted to | ✓ | | ✓ |
| A copy of the Current Certificate of Title | N/a | ✓ | |
| **Check You Have Listed The Key Personnel -** | | | |
| – Name, address, phone number, registration number for **ALL** key personnel<br>– e.g. Builder, Electrician, Drain layer, Plumber, etc | ✓ | | ✓ |
| – Trade Certificates - provided for all key personnel | ✓ | | |
| **Check You Have Included The Documentation -** | | | |
| Electrical Certificate | ✓ | | ✓ |
| Gas Certificate | N/a | | |
| Water Pressure Test (1500KPA) statement, if requested by Building Inspector | ✓ | | ✓ |
| Producer Statement Construction (PS3) if required by Building Consent conditions | N/a | | |
| Producer Statement Construction Review (PS4) if required by Building Consent conditions | N/a | | |
| Proof of potability of water (3 tests results - 1 x chemical + 3 x bacteria) | N/a | | |
| Exterior Cladding – Construction Statement required by Building Consent conditions, e.g. Plaster Cladding, Classic Stone | N/a | | |
| Relocated Buildings – Copy of Code Compliance Certificate for the building, issued by the local authority whom's district the building was constructed in | N/a | | |
| Pile Driving records for driven piles | N/a | | |
| Septic tanks- Confirmation from ECAN that they have received and approved the certificate of construction from the drain layer / designer (Compliance Monitoring report) | N/a | | |
| **Evidence that specified systems are capable of performing to the performance standards set out in the Building Consent including-** | | | |
| Installers Certificates | | | |
| FPIS Certificates | | | |
| Dangerous Goods Location – Test Certificate issued by an ERMA approved test certifier. | | | |
| **Approvals from Other Authorities** – Approvals for discharges to land, air, or water from ECAN, | | | |

**NOTE: Once received by the BCA, your CCC application will be considered and either issued or refused within 20 working days. Please note if any further information is requested this time is suspended until that information is received.**

*For BCA Use Only:-*
*This application is accepted / declined as all relevant information has / has not been supplied - signed:-* SA

# CONSTRUCTION STATEMENT- PIPEWORK TESTING

SELWYN DISTRICT COUNCIL

| | |
|---|---|
| Building Consent Number: | SDC100223 |
| Issued by: *(Registered Craftsman Plumber)* | Joseph Harris. |
| For: *(owner)* | IAN + JEANETTE FORRESTER |

In respect of the testing of water pipework prior to concealment

| | |
|---|---|
| At: *(address)* | 28 SHERIDAN DRIVE |

I hereby state that I have personally tested the water pipework installed in the building authorised under the above Building Consent by the method indicated hereunder:

[✓] By pressurising the pipework to 1500 kpa for a period of not less than 15 minutes for the hot and cold water supply and checking to see that there are no leaks. (NZBC G12/AS1 7.5.1 (a),(b))

[✓] By pressurising the upvc. pipework to 1.5 times the maximum working pressure for a period of not less than 15 minutes and checking that there are no leaks. (NZBC G12/AS1 7.5.2, NZS 7643)

[✓] By pressurising the pipework to 1500 kpa for a period of not less than 5 minutes and checking to see that there are no leaks. (NZBC G12 VM1, AS3500:Part 1.2 1998)

For sanitary fixtures used for personal hygiene, I confirm that the tempering valve has been set so as to not exceed:

[ ] 45°C for early childhood centres, schools, old people's homes, institutions for people with psychiatric or physical disabilities, hospitals. (G12/ASI 6.14.1(a))

**or**

[✓] 55°C for all other *buildings*. (G12/ASI 6.14.1(b))

And I believe on reasonable grounds that the pipework has passed that test.

[✓] All work complies with the NZBC

I also understand that the Christchurch City Council in accepting this construction statement will be relying on it to issue the code compliance certificate at the completion of the building work.

| | |
|---|---|
| Signature of Craftsman Plumber: | [signature] |
| Date: | 23.7.10. |
| Craftsman Registration No: | 16161 |
| Company Name: | Signature plumbing LTD |

# PRODUCER STATEMENT CONSTRUCTION

ISSUED BY: Bevan McKeich Builders Ltd

TO: Selwyn District Council

IN RESPECT OF: External Cladding (Linea Weatherboard)

Bevan McKeich Builders Ltd has contracted to Stonewood Homes Ltd
(Contractor) (Employer/principal)

To carry out the above building works in accordance with the Contract titled

Lot 148 Sheridan Drive, Rolleston (new dwelling) consent 100223 ("the Contract")
(Project)

I, Bevan McKeich ***(who holds Trade Certificate, Advanced Trade Certificate in carpentry, 25 years trade experience and a recognized James Hardie Installer)*** a duly authorized representative of Bevan McKeich Builders Ltd believe on reasonable grounds that
(Contractor)

Bevan McKeich Builders Ltd have carried out and completed exterior cladding in accordance with the James Hardies Specifications, NZS 3604 and E2/AS1

..... Date: 15 September 2010
Bevan McKeich
(Signature of Authorized Agent on behalf of)

Bevan McKeich Builders Ltd
(Contractor)

P O Box 69 199, Lincoln, 7640
(Address)

# Installation Certificate

Independent Franchisee of the Wet-seal Franchise System ("Wet-seal Franchisee"):

**Gallagher Waterproofing Limited**
PO Box 609, Rangiora, North Canterbury
Christchurch 7400

**Invoice #:BE0877**
**Job Date: 25/08/10**

| | **Installation Address:** |
|---|---|
| Stonewood Homes<br>PO BOX 11036<br>CHRISTCHURCH NZ Christ | Lot 273 Acacia Avenue<br>Rangiora NZ 8254 |

**THIS CERTIFICATE** given by the **Wet-seal** Franchisee certifies that: (a) the installations scheduled below ("**Work**") have been carried out at the above premises ("**Premises**") using the appropriate **Wet-seal** system of waterproofing; (b) the Work has been undertaken by the **Wet-seal** Franchisee; (c) the **Wet-seal** system of waterproofing used in the Work (i) complies with Australian/New Zealand Standard 4858; (ii) in respect of the Work carried out in Australia complies with the Building Code of Australia (BCA) as amended and complies with Australian Standard 3740; and (iii) in respect of the Work carried out in New Zealand complies with clause E2 (external moisture), clause E3 (internal moisture) of Compliance Document for New Zealand Building Code; (d) the **Wet-seal** system of waterproofing and the products used comprised in the Work have been (i) tested in respect of application and/or use in Australia by the Commonwealth Scientific and Industrial Research Organisations (CSIRO) as meeting the requirements of Australian Standard 4992; and (ii) appraised by BRANZ as appropriate for use in New Zealand.

For the Terms and Conditions, Special Conditions and Explanations please see the **Wet-seal** website **www.wet-seal.ws**. Any unauthorised alteration to this Certificate will invalidate it completely.

## 15 Years Workmanship Guarantee.*

## Installations ("Work"):

| *Area:* | *Location:* | *Shower Type:* | *Bath Type:* | *Notes:* |
|---|---|---|---|---|
| BATHROOM<br>Under Tile Heating | Ground Floor | | | Undertile heating to bathroom & ensuite |

*I understand this Producer Statement will be relied on by Council to confirm compliance with the Building Code and/or conditions of the Building Consent to which it relates.*

Steven Gallagher - authorised signatory for and on behalf of Wet-seal Franchisee

* The guarantee of workmanship in relation to this Installation Certificate lasts 15 years to comply with local authority requirements and the Weathertight Homes Resolution Services Act 2006. However, persuant to Section 393 of the Building Act 2004 civil proceedings relating to building work may not be brought against Wet-seal after 10 years or more from the date of the act or omission on which the proceedings are based so please note this.

Certified System Quality ISO 9001

**Warranty** - The **Wet-seal** Franchisee warrants that the Work has been completed in a proper and workmanlike manner. The franchisor ("**Franchisor**") of the **Wet-seal** system is not liable in any respect under this warranty and the **Wet-seal** Franchisee's liability is limited to the costs only of removing and replacing affected installations. In the event of any warranty claim being made the **Wet-seal** Franchisee has the right prior to being obliged to carry out any remedial work, to enter the Premises (together with inspectors and/or advisers including but not limited to the Franchisor) and to inspect the Work and to carry out such remedial work as it deems fit. This warranty does not cover damage to the Work caused by any third party.

BRANZ Appraised Appraisal No. 486 (2005) Ref: WS100909

# Installation Certificate

Independent Franchisee of the Wet-seal Franchise System ("Wet-seal Franchisee"):

**Gallagher Waterproofing Limited**
PO Box 609, Rangiora, North Canterbury
Christchurch 7400

**Invoice #:BE0880**
**Job Date: 25/08/10**

Stonewood Homes
PO BOX 11036
CHRISTCHURCH NZ Christ

**Installation Address:**

Lot 148 #28 Sheridan Drive
Rolleston NZ 8004

**THIS CERTIFICATE** given by the **Wet-seal** Franchisee certifies that: (a) the installations scheduled below ("**Work**") have been carried out at the above premises ("**Premises**") using the appropriate **Wet-seal** system of waterproofing; (b) the Work has been undertaken by the **Wet-seal** Franchisee; (c) the **Wet-seal** system of waterproofing used in the Work (i) complies with Australian/New Zealand Standard 4858; (ii) in respect of the Work carried out in Australia complies with the Building Code of Australia (BCA) as amended and complies with Australian Standard 3740; and (iii) in respect of the Work carried out in New Zealand complies with clause E2 (external moisture), clause E3 (internal moisture) of Compliance Document for New Zealand Building Code; (d) the **Wet-seal** system of waterproofing and the products used comprised in the Work have been (i) tested in respect of application and/or use in Australia by the Commonwealth Scientific and Industrial Research Organisations (CSIRO) as meeting the requirements of Australian Standard 4992; and (ii) appraised by BRANZ as appropriate for use in New Zealand.

For the Terms and Conditions, Special Conditions and Explanations please see the **Wet-seal** website **www.wet-seal.ws**. Any unauthorised alteration to this Certificate will invalidate it completely.

## 15 Years Workmanship Guarantee.*

## Installations ("Work"):

| *Area:* | *Location:* | *Shower Type:* | *Bath Type:* | *Notes:* |
|---|---|---|---|---|
| BATHROOM | Ground Floor | STEP DOWN<br>Shower Wall Tanked | | |
| ENSUITE | Ground Floor | STEP DOWN<br>Shower Wall Tanked | ISLAND<br>Bath OverFlashed<br>Bath Not Fitted | |

*I understand this Producer Statement will be relied on by Council to confirm compliance with the Building Code and/or conditions of the Building Consent to which it relates.*

Steven Gallagher - authorised signatory for and on behalf of Wet-seal Franchisee

* The guarantee of workmanship in relation to this Installation Certificate lasts 15 years to comply with local authority requirements and the Weathertight Homes Resolution Services Act 2006. However, persuant to Section 393 of the Building Act 2004 civil proceedings relating to building work may not be brought against Wet-seal after 10 years or more from the date of the act or omission on which the proceedings are based so please note this.

Certified System Quality ISO 9001

**Warranty** - The **Wet-seal** Franchisee warrants that the Work has been completed in a proper and workmanlike manner. The franchisor ("**Franchisor**") of the **Wet-seal** system is not liable in any respect under this warranty and the **Wet-seal** Franchisee's liability is limited to the costs only of removing and replacing affected installations. In the event of any warranty claim being made the **Wet-seal** Franchisee has the right prior to being obliged to carry out any remedial work, to enter the Premises (together with inspectors and/or advisers including but not limited to the Franchisor) and to inspect the Work and to carry out such remedial work as it deems fit. This warranty does not cover damage to the Work caused by any third party.

BRANZ Appraised Appraisal No 486 [2005] Ref: WSIC0999

100917051

Selwyn DISTRICT COUNCIL

RECEIVED 17 SEP 2010 SELWYN DISTRICT COUNCIL

Form 6

| FOR OFFICE USE ONLY | |
|---|---|
| Building Consent No: | 100223 |
| Date Received: | 17 SEP 2010 |

SCANNED

# Code Compliance Certificate Application

*(Only complete items that are applicable to your project)*

## APPLICATION

| | |
|---|---|
| Street Address or Rapid No. as applicable: 28 Sheridan Drive | Legal Description: Lot: 148 DP: 367715<br>Valuation Roll Number: 2405535748 |
| Project Memorandum No. | Building Consent No. 100223 |
| Type of Building work: (eg. Domestic Dwelling) Domestic Dwelling attached garage | |
| Building Consent issued by: (Name of Building Consent Authority) Selwyn District Council | |
| Address Code Compliance Certificate to be posted to: 28 Sheridan Drive | |

+ ~~Complete~~

## THE OWNER

| | | |
|---|---|---|
| Owner's Name: Ian Forrester | Contact Person: (if owner is a company) Paul Jenkins | |
| Mailing/Billing Address: 28 Sheridan drive | | |
| Street Address/Registered Office: | | |
| E-mail Address: | | |
| Phone Day: | Fax: | Cellphone: 0272550012 |

## THE AGENT

***Note - The Agent will be the first point of contact for communications with the Council/Building Consent Authority regarding this application/building work and will receive all correspondence including all invoices.***

| | | |
|---|---|---|
| Agent's Name: Stonewood Homes | | |
| Mailing/Billing Address: PO Box 11 036, Papanui | | |
| Street Address/Registered Office: | | |
| E-mail Address: | | |
| Phone Day: 3542344 | Fax: | Cellphone: 0272550012 |

## KEY PERSONNEL

| | | |
|---|---|---|
| Designer: | | Registration Number: |
| Mailing Address: | | |
| E-mail Address: | Phone Day: | |
| Engineer: Elliot Sinclair | | Registration Number: |
| Mailing Address: 151 Kilmore St | | |
| E-mail Address: rhw@elliot.co.nz | Phone Day: 3794014 | |
| Builder: Stonewood Homes | | Registration Number: |
| Mailing Address: PO Box 11036 | | |
| E-mail Address: paul@stonewood.co.nz | Phone Day: 0272550012 | |
| Craftsman Plumber: Signature Plumbing | | Registration Number: |
| Mailing Address: 16 Booker Ave | | 16161 |
| E-mail Address: jnlill@xtra.co.nz | Phone Day: 0274574436 | |

## KEY PERSONNEL *(continued)*

| | | | |
|---|---|---|---|
| **Registered Drain layer:** Pipecite Drainage | | Registration Number: 18538 | |
| Mailing Address: 83 Youngs Rd, RD1 Kaipoi | | | |
| E-mail Address: pipecite@clear.net.nz | Phone Day: 0212293015 | | |
| **Registered Electrician:** KJ Electrical | | Registration Number: 3428 | ~~Gasfitter~~ |
| Mailing Address: PO BOX 26058 | | | |
| E-mail Address: kjelectrical@xtra.co.nz | Phone Day: 027432532 | | |
| **Craftsman Gasfitter:** N/a. | | Registration Number: 3428. | |
| Mailing Address: | | | |
| E-mail Address: | Phone Day: | | |
| **Other:** | | Registration Number: | |
| Mailing Address: | | | |
| E-mail Address: | Phone Day: | | |

*Add any additional relevant personnel on another sheet.*

## Other notes or comments which you as the applicant may wish to add

## SIGNATURE

☑ Request for issue of a Code Compliance Certificate for this work under Section 95 of the Building Act 2004.

Signed by or for and on behalf of the Owner: pp Stonewood Homes

☐ Owner ☑ Agent Date: 16.9.10

Note: If acting "for and on behalf", please read & initial the following declaration before signing: "I hereby declare that I am authorised to act as Agent of the Owner".....

| Selwyn DISTRICT COUNCIL | Code Compliance Certificate Application Checklist - Form 6(C) (in conjunction with Form 6) | Building Consent No: 100223 Date Received: |
|---|---|---|

**Project address:** .....

| Have all the inspections listed in the Building Consent been carried out YES / NO (Please circle) If NO, please book the inspection/s before proceeding with this application. NB The following is required on application in sufficient detail to show compliance with all aspects of the relevant Building Consent. Please complete this Checklist in FULL by placing a tick (√) in the supplied or Not Applicable boxes. Additional information may be requested during processing of the application. | Supplied | Not Applicable | Selwyn BCA Use Only |
|---|---|---|---|
| **Check You Have Included -** | | | |
| **COMPLETED, dated & signed Application Form** | ✓ | | ✓ |
| The Valuation number and Building Consent number | ✓ | | ✓ |
| An Address for the CCC to be posted to | ✓ | | ✓ |
| A copy of the Current Certificate of Title | N/a | | ✓ |
| **Check You Have Listed The Key Personnel -** | | | |
| – Name, address, phone number, registration number for ALL key personnel – e.g. Builder, Electrician, Drain layer, Plumber, etc | ✓ | | ✓ |
| – Trade Certificates - provided for all key personnel | ✓ | | ✓ |
| **Check You Have Included The Documentation -** | | | |
| Electrical Certificate | ✓ | | ✓ |
| Gas Certificate | N/a | | ✓ |
| Water Pressure Test (1500KPA) statement, if requested by Building Inspector | ✓ | | ✓ |
| Producer Statement Construction (PS3) if required by Building Consent conditions | N/a | | ✓ |
| Producer Statement Construction Review (PS4) if required by Building Consent conditions | N/a | | ✓ |
| Proof of potability of water (3 tests results - 1 x chemical + 3 x bacteria) | N/a | | ✓ |
| Exterior Cladding – Construction Statement required by Building Consent conditions, e.g. Plaster Cladding, Classic Stone | N/a | | ✓ |
| Relocated Buildings – Copy of Code Compliance Certificate for the building, issued by the local authority whom's district the building was constructed in | N/a | | ✓ |
| Pile Driving records for driven piles | N/a | | ✓ |
| Septic tanks- Confirmation from ECAN that they have received and approved the certificate of construction from the drain layer / designer (Compliance Monitoring report) | N/a | | ✓ |
| **Evidence that specified systems are capable of performing to the performance standards set out in the Building Consent including-** | | | |
| Installers Certificates | | | ✓ |
| FPIS Certificates | | | ✓ |
| Dangerous Goods Location – Test Certificate issued by an ERMA approved test certifier. | | | ✓ |
| **Approvals from Other Authorities** – Approvals for discharges to land, air, or water from ECAN, | | | ✓ |
| **NOTE: Once received by the BCA, your CCC application will be considered and either issued or refused within 20 working days. Please note if any further information is requested this time is suspended until that information is received.** | | | |

*For BCA Use Only:-*
*This application is accepted / declined as all relevant information has / has not been supplied - signed:-* .....

| Further Information Requested: |
|---|
| |

**Additional BC & CCC Work**

| Date | Initials | Administration | Units |
|---|---|---|---|
| | | | |
| | | | |
| | | | |
| | | | |

| Date | Initials | Processing | Units |
|---|---|---|---|
| 30-7-10 | | Research (John Heddon) | SEE timesheet |
| 5-11-10 | CDS | CCC | 5 |
| | | | |
| | | | |
| | | | |

| Date | Initials | Extra & Re-inspections | Units | Travel | Mileage |
|---|---|---|---|---|---|
| | | 2 extra prelines - Daryl & Carl | | | |
| 3-08-10 | CDS | Reinspect Preline. | 3 | 1 | 2 |
| 22-09-10 | CDS | Reinspection final | 5 | 1 | 4 |
| | | | | | |
| | | | | | |
| | | | | | |
| | | | | | |

# Code Compliance Certificate 100223

**Section 95, Building Act 2004**

COPY

**The Owner**

| | |
|---|---|
| Name of Owner: | Forrester Ian Howard & Forrester Jeanette Irene |
| Mailing address: | 28 Sheridan Drive, Rolleston 7614 |
| Street address/registered office: | |
| Phone number: | |
| Landline: | Daytime: 347 9322 |
| Mobile: | After hours: |
| Facsimile number: | |
| Email address: | |
| Website: | |

**The Building Work**

| | |
|---|---|
| Street Address of Building: | 28 SHERIDAN DRIVE, ROLLESTON |
| Legal Description of land where building is located: | LOT 148 DP 367715 |
| Valuation Number: | 2405535748 |
| Current lawfully established use: | DETACHED DWELLING |
| Type of work: | 3 BEDROOM DOMESTIC DWELLING WITH STUDY AND ATTACHED DOUBLE GARAGE |
| Estimated Value: | $358,421 |
| Location of building within site/block number: | |
| Building Name: | Year Construction Commenced: 2010 |

**Code Compliance Certificate:**

The Building Consent Authority named above is satisfied on reasonable grounds, that-the Building work complies with the Building Consent

CD Stevenson

Selwyn District Council Building Consent Authority Signatory

Issue Date: 5/11/10

# INSPECTION NOTICE

*Inspections are to be booked by the owner or builder*

| | |
|---|---|
| Name: **STONEWOOD HOMES** | Consent No: **100223** |
| Site Address/Rapid No | Officer ID: AOFSTEVEG |
| 28 SHERIDAN DRIVE, ROLLESTON | Name: Geoff Stevenson |

Type of building work:

Intended Use: : 3 Bedroom Domestic Dwelling with Study & Attached Double Garage with Workshop - 300.14sqm2 DOMESTIC DWELLING

Stats Code: HOUSING - Detached Dwelling (New Dwellings Only)

On 3/11/2010 at 8:29 a.m. this site was inspected pursuant to the Building Act 2004 (section 222/230) and the Local Government Act 2004 (Section 174). The purpose of the inspection was:

**INSPECTION TYPE: PRACT COMPLETION (HABITABLE)**

**INSPECTION RESULT: BUILDING WORK MAY PROCEED**

**The Following Items are yet to be completed:**

**Notes Summary:**

Item on notice dated 22/09/10 apears to be completed.Flashing in place. unable to see if flashing is sealed to wrap. Accepted to be completed as per requirements on reasonable grounds.

CCC application with supporting documents with inspection notes.

Note: A Code Compliance Certificate is required for 2004 Building Act Consents

**INSTRUCTIONS**

| | | | | | |
|---|---|---|---|---|---|
| Notice To: | Contractor ☐ | Owner ☐ | Agent ☐ | Occupier | ENTERED |
| By: | Telephone ☐ | Fax ☐ | Posting ☐ | Left on Site | |

# INSPECTION NOTICE

*Inspections are to be booked by the owner or builder*

| | |
|---|---|
| Name: **STONEWOOD HOMES** | Consent No: **100223** |
| Site Address/Rapid No | Officer ID: AOFSTEVEG |
| 28 SHERIDAN DRIVE, ROLLESTON | Name: Geoff Stevenson |

Type of building work:

Intended Use: : 3 Bedroom Domestic Dwelling with Study & Attached Double Garage with Workshop - 300.14sqm2 DOMESTIC DWELLING

Stats Code: HOUSING - Detached Dwelling (New Dwellings Only)

On 3/11/2010 at 8:29 a.m. this site was inspected pursuant to the Building Act 2004 (section 222/230) and the Local Government Act 2004 (Section 174). The purpose of the inspection was:

**INSPECTION TYPE: PRACT COMPLETION (HABITABLE)**

**INSPECTION RESULT: BUILDING WORK MAY PROCEED**

**The Following Items are yet to be completed:**

**Notes Summary:**

Item on notice dated 22/09/10 apears to be completed.Flashing in place. unable to see if flashing is sealed to wrap. Accepted to be completed as per requirements on reasonable grounds.

CCC application with supporting documents with inspection notes.

Note: A Code Compliance Certificate is required for 2004 Building Act Consents

**INSTRUCTIONS**

| | | | | | |
|---|---|---|---|---|---|
| Notice To: | Contractor ☐ | Owner ☐ | Agent ☐ | Occupier | |
| By: | Telephone ☐ | Fax ☐ | Posting ☐ | Left on Site | |

Selwyn DISTRICT COUNCIL

# FILE NOTE

Consent No: 100223

Applicants Name:

Date: 8 / 10 / 10

**MEMO**

Driveby to inspect Linea to brick sill after receiving advice from Paul Jenkins Stonewood Homes. that all work had been completed. Flashing has not been installed Requested that a reinspection be booked with SDC when completed, to meet the performance requirements of NZBC

Signed G M Stevenson

STONEWOOD HOMES

The home you deserve

Stonewood Homes
PO Box 11 036
Papanui
Christchurch

October 7, 2010

**Re: SDC100223**

To the inspections team:

I can confirm that ALL items on the final inspection sheet dated 16/9/10 in relation to the code of compliance inspection at 28 Sheridan Drive have been completed.

Items 1,2,3,5 and 6 have been signed off by your inspector at time of re inspection. Item 6 was however incomplete at this time. Following a site visit this afternoon I can confirm that the linea under the bedroom window has sufficient clearance to the brick sill.

Please advise if you wish to conduct a re inspection or if this Producer Statement is sufficient enough for you to issue the code of compliance.

Yours truly,

Paul Jenkins
Building Manager
Stonewood Homes
027 255 0012
Paul@stonewood.co.nz

Inspection File

7 OCT 2010

Phone: +64 3 354 2344
Fax: +64 3 354 2342
204 Main North Road, PO Box 11036
Christchurch 8051, New Zealand
info@stonewood.co.nz

# INSPECTION NOTICE

*Inspections are to be booked by the owner or builder*

| | |
|---|---|
| Name: **STONEWOOD HOMES** | Consent No: **100223** |
| Site Address/Rapid No | Officer ID: AOFSTEVEG |
| 28 SHERIDAN DRIVE, ROLLESTON | Name: Geoff Stevenson |

Type of building work:

Intended Use: : 3 Bedroom Domestic Dwelling with Study & Attached Double Garage with Workshop - 300.14sqm2 DOMESTIC DWELLING

Stats Code: HOUSING - Detached Dwelling (New Dwellings Only)

On 16/09/2010 at 2:16 p.m. this site was inspected pursuant to the Building Act 2004 (section 222/230) and the Local Government Act 2004 (Section 174). The purpose of the inspection was:

**INSPECTION TYPE: PRACT COMPLETION (HABITABLE)**

**INSPECTION RESULT: BUILDING WORK MAY NOT PROCEED/REINSPECTION REQUIRED**

**The Following Items are yet to be completed:**

1 Down lights Clear of insulation if not CA rated (Interior)

1/ At least one down light still to be cut clear of insulation & insulation reinstalled over kitchen area. Please check all down lights.

Sealing of Bathroom Fixtures (Interior)

2/ Seal top of tiled shower trim to walls. Both showers.

Safety Glass (Interior)

3/ Install permanent shower screens.

Other

4/ Provide clearance to bottom of linea panel to linea specification, master bedroom window.

5/ Fix all exterior heat pump units to concrete.

6/ Complete the sealing of driveway + associated drainage

**Notes Summary:**

Ceiling space insulation tidy. Down lights have insulation abutting. Ensure to manufactures specification. Plumbing frost protection completed. Smoke alarms installed. Sealing of wet areas completed. Safety glass installed windows. HWC seismic restraints, valving, Copper drain completed. Waste connection + venting completed. Sealing of wet areas completed. Drain venting in place. Landscaping still to complete, ensure ground levels are maintained in accordance with NZBC E2 AS1.

DOCUMENTS acepted by inspector. CCC on hold untill final has passed. 1/ Electrical energy certificate. 2/ Plumbing 1500 KPA test certificate.3/ Completed Code Compliance Application.

Note: A Code Compliance Certificate is required for 2004 Building Act Consents

**INSTRUCTIONS**

| | | | | | |
|---|---|---|---|---|---|
| Notice To: | Contractor ☐ | Owner ☐ | Agent ☐ | Occupier | |
| By: | Telephone ☐ | Fax ☐ | Posting ☐ | Left on Site | |

RECEIVED
17 SEP 2010
SELWYN DISTRICT COUNCIL

Selwyn DISTRICT COUNCIL

Form 6

| FOR OFFICE USE ONLY |
|---|
| Building Consent No: |
| Date Received: |

# Code Compliance Certificate Application

*(Only complete items that are applicable to your project)*

## APPLICATION

| | |
|---|---|
| Street Address or Rapid No. as applicable: 28 Sheridan Drive | Legal Description: Lot: DP: Valuation Roll Number: |
| Project Memorandum No. | Building Consent No. 100223 |
| Type of Building work: (eg. Domestic Dwelling) Domestic Dwelling attached garage | |
| Building Consent issued by: (Name of Building Consent Authority) Selwyn District Council | |
| Address Code Compliance Certificate to be posted to: 28 Sheridan Drive | |

## THE OWNER

| | | |
|---|---|---|
| Owner's Name: Ian Forrester | Contact Person: (if owner is a company) Paul Jenkins | |
| Mailing/Billing Address: 28 Sheridan drive | | |
| Street Address/Registered Office: | | |
| E-mail Address: | | |
| Phone Day: | Fax: | Cellphone: 027 255 0012 |

## THE AGENT

*Note - The Agent will be the first point of contact for communications with the Council/Building Consent Authority regarding this application/building work and will receive all correspondence including all invoices.*

| | | |
|---|---|---|
| Agent's Name: Stonewood Homes | | |
| Mailing/Billing Address: PO Box 11 036, Papanui | | |
| Street Address/Registered Office: | | |
| E-mail Address: | | |
| Phone Day: 3542344 | Fax: | Cellphone: 027 255 0012 |

## KEY PERSONNEL

| | | |
|---|---|---|
| Designer: | | Registration Number: |
| Mailing Address: | | |
| E-mail Address: | Phone Day: | |
| Engineer: Elliot Sinclair | | Registration Number: |
| Mailing Address: 151 Kilmore St | | |
| E-mail Address: rhw@elliot.co.nz | Phone Day: 3794014 | |
| Builder: Stonewood Homes | | Registration Number: |
| Mailing Address: PO Box 11 036 | | |
| E-mail Address: paul@stonewood.co.nz | Phone Day: 027 255 0012 | |
| Craftsman Plumber: Signature Plumbing | | Registration Number: 16161 |
| Mailing Address: 16 Booker Ave | | |
| E-mail Address: jalill@xtra.co.nz | Phone Day: 027 457 4436 | |

| Selwyn DISTRICT COUNCIL | Code Compliance Certificate Application Checklist - Form 6(C) (in conjunction with Form 6) | Building Consent No: |
|---|---|---|
| | | Date Received: |

Project address: .....

| Have all the inspections listed in the Building Consent been carried out<br>YES / NO (Please circle)<br>If NO, please book the inspection/s before proceeding with this application.<br>NB The following is required on application in sufficient detail to show compliance with all aspects of the relevant Building Consent. Please complete this Checklist in FULL by placing a tick (√) in the supplied or Not Applicable boxes. Additional information may be requested during processing of the application. | Supplied | Not Applicable | Selwyn BCA Use Only |
|---|---|---|---|
| **Check You Have Included -** | | | |
| **COMPLETED, dated & signed Application Form** | ✓ | | |
| The Valuation number and Building Consent number | ✓ | | |
| An Address for the CCC to be posted to | ✓ | | |
| A copy of the Current Certificate of Title | N/a | | |
| **Check You Have Listed The Key Personnel -** | | | |
| – Name, address, phone number, registration number for ALL key personnel<br>– e.g. Builder, Electrician, Drain layer, Plumber, etc | ✓ | | |
| – Trade Certificates - provided for all key personnel | ✓ | | |
| **Check You Have Included The Documentation -** | | | |
| Electrical Certificate | ✓ | | |
| Gas Certificate | N/a | | |
| Water Pressure Test (1500KPA) statement, if requested by Building Inspector | ✓ | | |
| Producer Statement Construction (PS3) if required by Building Consent conditions | N/a | | |
| Producer Statement Construction Review (PS4) if required by Building Consent conditions | N/a | | |
| Proof of potability of water (3 tests results - 1 x chemical + 3 x bacteria) | N/a | | |
| Exterior Cladding – Construction Statement required by Building Consent conditions, e.g. Plaster Cladding, Classic Stone | N/a | | |
| Relocated Buildings – Copy of Code Compliance Certificate for the building, issued by the local authority whom's district the building was constructed in | N/a | | |
| Pile Driving records for driven piles | N/a | | |
| Septic tanks- Confirmation from ECAN that they have received and approved the certificate of construction from the drain layer / designer (Compliance Monitoring report) | N/a | | |
| **Evidence that specified systems are capable of performing to the performance standards set out in the Building Consent including-** | | | |
| Installers Certificates | | | |
| FPIS Certificates | | | |
| Dangerous Goods Location – Test Certificate issued by an ERMA approved test certifier. | | | |
| **Approvals from Other Authorities** – Approvals for discharges to land, air, or water from ECAN, | | | |

**NOTE: Once received by the BCA, your CCC application will be considered and either issued or refused within 20 working days. Please note if any further information is requested this time is suspended until that information is received.**

*For BCA Use Only:-*
*This application is accepted / declined as all relevant information has / has not been supplied - signed:-* .....

## KEY PERSONNEL *(continued)*

| | | | |
|---|---|---|---|
| **Registered Drain layer:** Piperite Drainage | | Registration Number: 18538 | |
| Mailing Address: 83 Youngs Rd, RD1 Kaipoi | | | |
| E-mail Address: piperite@clear.net.nz | Phone Day: 0212293015 | | |
| **Registered Electrician:** KS Electrical | | Registration Number: | |
| Mailing Address: PO Box 26058 | | | |
| E-mail Address: kselectrical@xtra.co.nz | Phone Day: 02 7432532 | | |
| **Craftsman Gasfitter:** N/a. | | Registration Number: 3428. | |
| Mailing Address: | | | |
| E-mail Address: | Phone Day: | | |
| **Other:** | | Registration Number: | |
| Mailing Address: | | | |
| E-mail Address: | Phone Day: | | |

*Add any additional relevant personnel on another sheet.*

## Other notes or comments which you as the applicant may wish to add

## SIGNATURE

☑ Request for issue of a Code Compliance Certificate for this work under Section 95 of the Building Act 2004.

Signed by or for and on behalf of the Owner: pp Stonewood Homes

☐ Owner ☑ Agent Date: 16 9 10

Note: If acting "for and on behalf", please read & initial the following declaration before signing: "I hereby declare that I am authorised to act as Agent of the Owner".....

# CONSTRUCTION STATEMENT- PIPEWORK TESTING

SELWYN DISTRICT COUNCIL

| | |
|---|---|
| Building Consent Number: | SDC100223 |
| Issued by: (Registered Craftsman Plumber) | Joseph Harris |
| For: (owner) | IAN + JEANETTE FORRESTER |

In respect of the testing of water pipework prior to concealment

| | |
|---|---|
| At: (address) | 28 SHERIDAN DRIVE |

I hereby state that I have personally tested the water pipework installed in the building authorised under the above Building Consent by the method indicated hereunder:

- [✓] By pressurising the pipework to 1500 kpa for a period of not less than 15 minutes for the hot and cold water supply and checking to see that there are no leaks. (NZBC G12/AS1 7.5.1 (a),(b))
- [✓] By pressurising the upvc. pipework to 1.5 times the maximum working pressure for a period of not less than 15 minutes and checking that there are no leaks. (NZBC G12/AS1 7.5.2, NZS 7643)
- [✓] By pressurising the pipework to 1500 kpa for a period of not less than 5 minutes and checking to see that there are no leaks. (NZBC G12 VM1, AS3500:Part 1.2 1998)

For sanitary fixtures used for personal hygiene, I confirm that the tempering valve has been set so as to not exceed:

- [ ] 45°C for early childhood centres, schools, old people's homes, institutions for people with psychiatric or physical disabilities, hospitals. (G12/ASI 6.14.1(a))

**or**

- [✓] 55°C for all other *buildings*. (G12/ASI 6.14.1(b))

And I believe on reasonable grounds that the pipework has passed that test.

- [✓] All work complies with the NZBC

I also understand that the Christchurch City Council in accepting this construction statement will be relying on it to issue the code compliance certificate at the completion of the building work.

| | |
|---|---|
| Signature of Craftsman Plumber: | [signature] |
| Date: | 23.7.10 |
| Craftsman Registration No: | 16161 |
| Company Name: | Signature plumbing LTD |

# PRODUCER STATEMENT CONSTRUCTION

ISSUED BY: Bevan McKeich Builders Ltd

TO: Selwyn District Council

IN RESPECT OF: External Cladding (Linea Weatherboard)

Bevan McKeich Builders Ltd has contracted to Stonewood Homes Ltd
(Contractor) (Employer/principal)

To carry out the above building works in accordance with the Contract titled

Lot 148 Sheridan Drive, Rolleston (new dwelling) consent 100223 ("the Contract")
(Project)

I, Bevan McKeich ***(who holds Trade Certificate, Advanced Trade Certificate in carpentry, 25 years trade experience and a recognized James Hardie Installer)*** a duly authorized representative of Bevan McKeich Builders Ltd believe on reasonable grounds that
(Contractor)

Bevan McKeich Builders Ltd have carried out and completed exterior cladding in accordance with the James Hardies Specifications, NZS 3604 and E2/AS1

..... Date: 15 September 2010
Bevan McKeich
(Signature of Authorized Agent on behalf of)

Bevan McKeich Builders Ltd
(Contractor)

P O Box 69 199, Lincoln, 7640
(Address)

# Installation Certificate

Independent Franchisee of the Wet-seal Franchise System ("Wet-seal Franchisee"):

**Gallagher Waterproofing Limited**
PO Box 609, Rangiora, North Canterbury
Christchurch 7400

**Invoice #:BE0877**
**Job Date: 25/08/10**

| | **Installation Address:** |
|---|---|
| Stonewood Homes<br>PO BOX 11036<br>CHRISTCHURCH NZ Christ | Lot 273 Acacia Avenue<br>Rangiora NZ 8254 |

**THIS CERTIFICATE** given by the **Wet-seal** Franchisee certifies that: (a) the installations scheduled below ("**Work**") have been carried out at the above premises ("**Premises**") using the appropriate **Wet-seal** system of waterproofing; (b) the Work has been undertaken by the **Wet-seal** Franchisee; (c) the **Wet-seal** system of waterproofing used in the Work (i) complies with Australian/New Zealand Standard 4858; (ii) in respect of the Work carried out in Australia complies with the Building Code of Australia (BCA) as amended and complies with Australian Standard 3740; and (iii) in respect of the Work carried out in New Zealand complies with clause E2 (external moisture), clause E3 (internal moisture) of Compliance Document for New Zealand Building Code; (d) the **Wet-seal** system of waterproofing and the products used comprised in the Work have been (i) tested in respect of application and/or use in Australia by the Commonwealth Scientific and Industrial Research Organisations (CSIRO) as meeting the requirements of Australian Standard 4992; and (ii) appraised by BRANZ as appropriate for use in New Zealand.

For the Terms and Conditions, Special Conditions and Explanations please see the **Wet-seal** website **www.wet-seal.ws**. Any unauthorised alteration to this Certificate will invalidate it completely.

## 15 Years Workmanship Guarantee.*

## Installations ("Work"):

| *Area:* | *Location:* | *Shower Type:* | *Bath Type:* | *Notes:* |
|---|---|---|---|---|
| BATHROOM<br>Under Tile Heating | Ground Floor | | | Undertile heating to bathroom & ensuite |

*I understand this Producer Statement will be relied on by Council to confirm compliance with the Building Code and/or conditions of the Building Consent to which it relates.*

Steven Gallagher - authorised signatory for and on behalf of Wet-seal Franchisee

* The guarantee of workmanship in relation to this Installation Certificate lasts 15 years to comply with local authority requirements and the Weathertight Homes Resolution Services Act 2006. However, persuant to Section 393 of the Building Act 2004 civil proceedings relating to building work may not be brought against Wet-seal after 10 years or more from the date of the act or omission on which the proceedings are based so please note this.

Certified System Quality ISO 9001

**Warranty** - The **Wet-seal** Franchisee warrants that the Work has been completed in a proper and workmanlike manner. The franchisor ("**Franchisor**") of the **Wet-seal** system is not liable in any respect under this warranty and the **Wet-seal** Franchisee's liability is limited to the costs only of removing and replacing affected installations. In the event of any warranty claim being made the **Wet-seal** Franchisee has the right prior to being obliged to carry out any remedial work, to enter the Premises (together with inspectors and/or advisers including but not limited to the Franchisor) and to inspect the Work and to carry out such remedial work as it deems fit. This warranty does not cover damage to the Work caused by any third party.

BRANZ Appraised Appraisal No. 486 (2005)
Ref: WSIC0909

# Installation Certificate

Independent Franchisee of the Wet-seal Franchise System ("Wet-seal Franchisee"):

**Gallagher Waterproofing Limited**
PO Box 609, Rangiora, North Canterbury
Christchurch 7400

**Invoice #:BE0880**
**Job Date: 25/08/10**

Stonewood Homes
PO BOX 11036
CHRISTCHURCH NZ Christ

**Installation Address:**

Lot 148 #28 Sheridan Drive
Rolleston NZ 8004

**THIS CERTIFICATE** given by the **Wet-seal** Franchisee certifies that: (a) the installations scheduled below (**"Work"**) have been carried out at the above premises (**"Premises"**) using the appropriate **Wet-seal** system of waterproofing; (b) the Work has been undertaken by the **Wet-seal** Franchisee; (c) the **Wet-seal** system of waterproofing used in the Work (i) complies with Australian/New Zealand Standard 4858; (ii) in respect of the Work carried out in Australia complies with the Building Code of Australia (BCA) as amended and complies with Australian Standard 3740; and (iii) in respect of the Work carried out in New Zealand complies with clause E2 (external moisture), clause E3 (internal moisture) of Compliance Document for New Zealand Building Code; (d) the **Wet-seal** system of waterproofing and the products used comprised in the Work have been (i) tested in respect of application and/or use in Australia by the Commonwealth Scientific and Industrial Research Organisations (CSIRO) as meeting the requirements of Australian Standard 4992; and (ii) appraised by BRANZ as appropriate for use in New Zealand.

For the Terms and Conditions, Special Conditions and Explanations please see the **Wet-seal** website **www.wet-seal.ws**. Any unauthorised alteration to this Certificate will invalidate it completely.

## 15 Years Workmanship Guarantee.*

## Installations ("Work"):

| *Area:* | *Location:* | *Shower Type:* | *Bath Type:* | *Notes:* |
|---|---|---|---|---|
| BATHROOM | Ground Floor | STEP DOWN<br>Shower Wall Tanked | | |
| ENSUITE | Ground Floor | STEP DOWN<br>Shower Wall Tanked | ISLAND<br>Bath OverFlashed<br>Bath Not Fitted | |

*I understand this Producer Statement will be relied on by Council to confirm compliance with the Building Code and/or conditions of the Building Consent to which it relates.*

Steven Gallagher - authorised signatory for and on behalf of Wet-seal Franchisee

* The guarantee of workmanship in relation to this Installation Certificate lasts 15 years to comply with local authority requirements and the Weathertight Homes Resolution Services Act 2006. However, persuant to Section 393 of the Building Act 2004 civil proceedings relating to building work may not be brought against Wet-seal after 10 years or more from the date of the act or omission on which the proceedings are based so please note this.

Certified System Quality ISO 9001

**Warranty** - The **Wet-seal** Franchisee warrants that the Work has been completed in a proper and workmanlike manner. The franchisor (**"Franchisor"**) of the **Wet-seal** system is not liable in any respect under this warranty and the **Wet-seal** Franchisee's liability is limited to the costs only of removing and replacing affected installations. In the event of any warranty claim being made the **Wet-seal** Franchisee has the right prior to being obliged to carry out any remedial work, to enter the Premises (together with inspectors and/or advisers including but not limited to the Franchisor) and to inspect the Work and to carry out such remedial work as it deems fit. This warranty does not cover damage to the Work caused by any third party.

BRANZ Appraised Appraisal No.486 [2005]
Ref: WSIC0999

EWRB 551

ELECTRICAL WORKERS REGISTRATION BOARD

Safety • Competency

# Electrical Certificate of Compliance

for a low voltage installation if prescribed electrical work has been done on any part of it and the prescribed electrical work involved placing, replacing, or repositioning conductors or fittings attached to conductors.

No. 3365162

No. of attachments

**To be completed whether or not an Inspection is required.**

## CUSTOMER INFORMATION - PLEASE PRINT CLEARLY

Name of customer STONEWOOD HOMES / FORRESTOR Phone: 16-09-2010

Address of installation LOT 148/28 SHERWAN DRIVE

Postal address of customer (if not as above)

## DECLARATION OF CONFORMITY (Please tick (✓) appropriate boxes)

In accordance with Regulation 58 of the Electricity (Safety) Regulations 2010, the design of the installation or part of the installation to which this certificate applies

(a) complies with either Part 2 of AS/NZS 3000:2007 ☐ or Part 1 of AS/NZS3000:2007 and Regulation 59 ☑ and

(b) the supply system of the installation or part of the installation to which this certificate applies is 230V/400 V MEN ☑ or attached other system ☐

## WORK DETAILS

No. of lighting outlets

No. of ranges

No. of socket outlets

No. of water heaters

Was any installation work carried out by the homeowner? Yes ✓ No

Please tick (✓) as appropriate where work includes:

Mains

Main earthing system

✓ MEN Switchboard closest to point of supply

Electric lines

Description of work carried out (If necessary attach any pages with work done)

INSTALL 12 HEATPUMPS AND 12 O/S ISOLATORS AND COMISSION. FEED DONE BY KJ ELECTRICAL

## CERTIFICATION OF WORK (Please tick (✓) appropriate boxes)

I certify that the completed installation or part of the installation to which this certificate applies

☑ has been installed in accordance with the design detailed in the Declaration of Conformity section above

☑ has had tests which are required by the Electricity (Safety) Regulations 2010 satisfactorily completed

☑ has an earthing system that is correctly rated

☑ contains fittings which are safe to connect to a power supply

☑ is safe to connect to a power supply

## ELECTRICAL WORKER DETAILS

Name Carl Bangma.

Registration No. E254719.

Company Carbec Electrical

Contact Ph No. 021 344988

Signature

Date 16-9-2010.

## INSPECTION DETAILS

Electrical work requiring inspection by a registered electrical inspector

☐ Mains work (mains, MEN switchboards closest to the point of supply, or main earthing systems)

☐ Attached other

☐ Work carried out in accordance with Part 1 of AS/NZS 3000:2007

I certify that the items identified above are electrically safe and that the inspection has been carried out in accordance with the Electricity (Safety) Regulations 2010.

Name

Registration No.

Signature

Date

Contact Ph No.

**CUSTOMER COPY – THIS IS AN IMPORTANT DOCUMENT AND SHOULD BE RETAINED**

# CONSTRUCTION STATEMENT- PIPEWORK TESTING

SELWYN DISTRICT COUNCIL

| | |
|---|---|
| Building Consent Number: | SDC100223 |
| Issued by: *(Registered Craftsman Plumber)* | Joseph Harris. |
| For: *(owner)* | IAN + JEANETTE FORRESTER |

In respect of the testing of water pipework prior to concealment

| | |
|---|---|
| At: *(address)* | 28 SHERIDAN DRIVE |

I hereby state that I have personally tested the water pipework installed in the building authorised under the above Building Consent by the method indicated hereunder:

- [x] By pressurising the pipework to 1500 kpa for a period of not less than 15 minutes for the hot and cold water supply and checking to see that there are no leaks. (NZBC G12/AS1 7.5.1 (a),(b))
- [x] By pressurising the upvc. pipework to 1.5 times the maximum working pressure for a period of not less than 15 minutes and checking that there are no leaks. (NZBC G12/AS1 7.5.2, NZS 7643)
- [x] By pressurising the pipework to 1500 kpa for a period of not less than 5 minutes and checking to see that there are no leaks. (NZBC G12 VM1, AS3500:Part 1.2 1998)

For sanitary fixtures used for personal hygiene, I confirm that the tempering valve has been set so as to not exceed:

- [ ] 45°C for early childhood centres, schools, old people's homes, institutions for people with psychiatric or physical disabilities, hospitals. (G12/ASI 6.14.1(a))

**or**

- [x] 55°C for all other *buildings*. (G12/ASI 6.14.1(b))

And I believe on reasonable grounds that the pipework has passed that test.

- [x] All work complies with the NZBC

I also understand that the Christchurch City Council in accepting this construction statement will be relying on it to issue the code compliance certificate at the completion of the building work.

| | |
|---|---|
| Signature of Craftsman Plumber: | [signature] |
| Date: | 23.7.10. |
| Craftsman Registration No: | 16161 |
| Company Name: | Signature plumbing LTD |

# PRODUCER STATEMENT CONSTRUCTION

ISSUED BY: Bevan McKeich Builders Ltd

TO: Selwyn District Council

IN RESPECT OF: External Cladding (Linea Weatherboard)

Bevan McKeich Builders Ltd has contracted to Stonewood Homes Ltd
(Contractor) (Employer/principal)

To carry out the above building works in accordance with the Contract titled

Lot 148 Sheridan Drive, Rolleston (new dwelling) consent 100223 ("the Contract")
(Project)

I, Bevan McKeich ***(who holds Trade Certificate, Advanced Trade Certificate in carpentry, 25 years trade experience and a recognized James Hardie Installer)*** a duly authorized representative of Bevan McKeich Builders Ltd believe on reasonable grounds that
(Contractor)

Bevan McKeich Builders Ltd have carried out and completed exterior cladding in accordance with the James Hardies Specifications, NZS 3604 and E2/AS1

..... Date: 15 September 2010

Bevan McKeich
(Signature of Authorized Agent on behalf of)

Bevan McKeich Builders Ltd
(Contractor)

P O Box 69 199, Lincoln, 7640
(Address)

EWRB 551

ELECTRICAL WORKERS REGISTRATION BOARD

Safety • Competency

# Electrical Certificate of Compliance

for a low voltage installation if prescribed electrical work has been done on any part of it and the prescribed electrical work involved placing, replacing, or repositioning conductors or fittings attached to conductors.

**To be completed whether or not an Inspection is required.**

No. 3283998

No. of attachments

## CUSTOMER INFORMATION - PLEASE PRINT CLEARLY

Name of customer: Mr Forester.

Phone:

Address of installation: 28 Sheridan Drive.

Postal address of customer (if not as above):

## DECLARATION OF CONFORMITY (Please tick (✓) appropriate boxes)

In accordance with Regulation 58 of the Electricity (Safety) Regulations 2010, the design of the installation or part of the installation to which this certificate applies

(a) complies with either Part 2 of AS/NZS 3000:2007 ☑ or Part 1 of AS/NZS3000:2007 and Regulation 59 ☐ and

(b) the supply system of the installation or part of the installation to which this certificate applies is 230V/400 V MEN ☑ or attached other system ☐

## WORK DETAILS

50 No. of lighting outlets

1 No. of ranges

40 No. of socket outlets

1 No. of water heaters

Was any installation work carried out by the homeowner? ☐ Yes ☑ No

Please tick (✓) as appropriate where work includes:

☑ Mains ☑ Main earthing system

☑ MEN Switchboard ☐ Electric lines

Description of work carried out (If necessary attach any pages with work done)

New House as per plans.

* Mains by telecast
* H/P By other

Insulation Ω = 10 MΩ Bonding = Pass
Earth Continuity = 0.08Ω Polarity = pass
PFC = 1.29 kA Line loop = 0.17Ω

| RCD 1 | 0° | 180° | RCD 2 | 0° | 180° |
|---|---|---|---|---|---|
| 1x | 33.1 | 24.4 | 1x | 31.6 | 22.4 |
| 5x | 11.4 | 6.5 | 5x | 10.1 | 5.5 |
| Ramp test = | | 19mA | Ramp test = | | 23mA |

## CERTIFICATION OF WORK (Please tick (✓) appropriate boxes)

I certify that the completed installation or part of the installation to which this certificate applies

☑ has been installed in accordance with the design detailed in the Declaration of Conformity section above

☑ has had tests which are required by the Electricity (Safety) Regulations 2010 satisfactorily completed

☑ has an earthing system that is correctly rated

☑ contains fittings which are safe to connect to a power supply

☑ is safe to connect to a power supply

## ELECTRICAL WORKER DETAILS

Name: K-J Electrical.

Registration No.: E3428.

Company: K.J. McDonald

Contact Ph No.: 0274-325-327

Signature:

Date:

## INSPECTION DETAILS

Electrical work requiring inspection by a registered electrical inspector

☑ Mains work (mains, MEN switchboards closest to the point of supply, or main earthing systems)

☐ Attached other

☐ Work carried out in accordance with Part 1 of AS/NZS 3000:2007

I certify that the items identified above are electrically safe and that the inspection has been carried out in accordance with the Electricity (Safety) Regulations 2010.

Name: C. Gibson

Registration No.: I 241406

Signature:

Date: 16-09-10

Contact Ph No.: 3394152.

This form is approved by the Electrical Workers Registration Board (PO Box 10-156, Wellington. Freephone 0800 66 1000) for the purposes of the Electricity (Safety) Regulations 2010.

CUSTOMER COPY – THIS IS AN IMPORTANT DOCUMENT AND SHOULD BE RETAINED

# INSPECTION NOTICE

*Inspections are to be booked by the owner or builder*

| | |
|---|---|
| Name: **STONEWOOD HOMES** | Consent No: **100223** |
| Site Address/Rapid No | Officer ID: AOFSTEVEG |
| 28 SHERIDAN DRIVE, ROLLESTON | Name: Geoff Stevenson |

Type of building work:

Intended Use: : 3 Bedroom Domestic Dwelling with Study & Attached Double Garage with Workshop - 300.14sqm2 DOMESTIC DWELLING

Stats Code: HOUSING - Detached Dwelling (New Dwellings Only)

On 22/09/2010 at 1:55 p.m. this site was inspected pursuant to the Building Act 2004 (section 222/230) and the Local Government Act 2004 (Section 174). The purpose of the inspection was:

**INSPECTION TYPE: PRACT COMPLETION (HABITABLE)**

**INSPECTION RESULT: BUILDING WORK MAY NOT PROCEED/REINSPECTION REQUIRED**

**The Following Items are yet to be completed:**

ENTERED 23/9/10

Other

**4/ Provide clearance to bottom of linea panel to linea specification, master bedroom window. Install flashing & provide minimum 5mm clearance linea to flashing**

**Notes Summary:**

Reinspection of items notice dated19/09/10. Owner confirms item 1/ has been completed. Item 4/ still to complete.

Note: A Code Compliance Certificate is required for 2004 Building Act Consents

| INSTRUCTIONS | | | | | |
|---|---|---|---|---|---|
| | | | Paul Jenkins | | |
| Notice To: | Contractor ☐ | Owner ☐ | Agent ☑ | Occupier | |
| By: | Telephone ☑ | Fax ☑ | Posting ☐ | Left on Site | |

# INSPECTION NOTICE

*Inspections are to be booked by the owner or builder*

| | |
|---|---|
| Name: **STONEWOOD HOMES** | Consent No: **100223** |
| Site Address/Rapid No | Officer ID: AOFSTEVEG |
| 28 SHERIDAN DRIVE, ROLLESTON | Name: Geoff Stevenson |

Type of building work:

Intended Use: : 3 Bedroom Domestic Dwelling with Study & Attached Double Garage with Workshop - 300.14sqm2 DOMESTIC DWELLING

Stats Code: HOUSING - Detached Dwelling (New Dwellings Only)

On 16/09/2010 at 2:16 p.m. this site was inspected pursuant to the Building Act 2004 (section 222/230) and the Local Government Act 2004 (Section 174). The purpose of the inspection was:

**INSPECTION TYPE: PRACT COMPLETION (HABITABLE)**

**INSPECTION RESULT: BUILDING WORK MAY NOT PROCEED/REINSPECTION REQUIRED**

**The Following Items are yet to be completed:**

1 Down lights Clear of insulation if not CA rated (Interior)

✓ **1/ At least one down light still to be cut clear of insulation & insulation reinstalled over kitchen area. Please check all down lights.**

Sealing of Bathroom Fixtures (Interior)

✓ **2/ Seal top of tiled shower trim to walls. Both showers.**

Safety Glass (Interior)

✓ **3/ Install permanent shower screens.**

Other

**4/ Provide clearance to bottom of linea panel to linea specification, master bedroom window.**

**5/ Fix all exterior heat pump units to concrete.**

✓ complete the sealing of driveway + associated drainage

ENTERED

**Notes Summary:**

Ceiling space insulation tidy. Down lights have insulation abutting. Ensure to manufactures specification. Plumbing frost protection completed. Smoke alarms installed. Sealing of wet areas completed. Safety glass installed windows. HWC seismic restraints, valving, Copper drain completed. Waste connection + venting completed. Sealing of wet areas completed. Drain venting in place. Landscaping still to complete, ensure ground levels are maintained in accordance with NZBC E2 AS1.

DOCUMENTS acepted by inspector. CCC on hold untill final has passed. 1/ Electrical energy certificate. 2/ Plumbing 1500 KPA test certificate.3/ Completed Code Compliance Application.

Note: A Code Compliance Certificate is required for 2004 Building Act Consents

**INSTRUCTIONS**

| | | | | | |
|---|---|---|---|---|---|
| Notice To: | Contractor ☐ | Owner ☐ | Agent ☐ | Occupier | |
| By: | Telephone ☑ | Fax ☐ | Posting ☐ | Left on Site ✓ | |

# INSPECTION NOTICE

*Inspections are to be booked by the owner or builder*

| | |
|---|---|
| Name: **STONEWOOD HOMES** | Consent No: **100223** |
| Site Address/Rapid No | Officer ID: AOFBOWYET |
| 28 SHERIDAN DRIVE, ROLLESTON | Name: Tim Bowyer |

Type of building work:

Intended Use: : 3 Bedroom Domestic Dwelling with Study & Attached Double Garage with Workshop - 300.14sqm2 DOMESTIC DWELLING

Stats Code: HOUSING - Detached Dwelling (New Dwellings Only)

On 1/09/2010 at 10:37 a.m. this site was inspected pursuant to the Building Act 2004 (section 222/230) and the Local Government Act 2004 (Section 174). The purpose of the inspection was:

**INSPECTION TYPE: TANKING**

**INSPECTION RESULT: BUILDING WORK MAY PROCEED**

**The Following Items are yet to be completed:**

ENTERED

**Notes Summary:**

wet seal tanking system.showers x2 bathsplash,kick & top surface

Note: A Code Compliance Certificate is required for 2004 Building Act Consents

**INSTRUCTIONS**

| | | | | | |
|---|---|---|---|---|---|
| Notice To: | Contractor ☐ | Owner ☐ | Agent ☐ | Occupier | |
| By: | Telephone ☐ | Fax ☐ | Posting ☐ | Left on Site | |

# INSPECTION NOTICE

*Inspections are to be booked by the owner or builder*

| | |
|---|---|
| Name: **STONEWOOD HOMES** | Consent No: **100223** |
| Site Address/Rapid No | Officer ID: AOFwestwc |
| 28 SHERIDAN DRIVE, ROLLESTON | Name: Chris Westwood |

Type of building work:

Intended Use: : 3 Bedroom Domestic Dwelling with Study & Attached Double Garage with Workshop - 300.14sqm2 DOMESTIC DWELLING

Stats Code: HOUSING - Detached Dwelling (New Dwellings Only)

On 10/08/2010 at 10:02 a.m. this site was inspected pursuant to the Building Act 2004 (section 222/230) and the Local Government Act 2004 (Section 174). The purpose of the inspection was:

**INSPECTION TYPE: POSTLINE**

**INSPECTION RESULT: BUILDING WORK MAY PROCEED**

**The Following Items are yet to be completed:**

**Notes Summary:**

bathroom shower linings now screwed off at 100mm centers or less

Note: A Code Compliance Certificate is required for 2004 Building Act Consents

ENTERED

**INSTRUCTIONS**

| | | | | | |
|---|---|---|---|---|---|
| Notice To: | Contractor ☐ | Owner ☐ | Agent ☐ | Occupier | |
| By: | Telephone ☐ | Fax ☐ | Posting ☐ | Left on Site | |

# INSPECTION NOTICE

*Inspections are to be booked by the owner or builder*

| | |
|---|---|
| Name: **STONEWOOD HOMES** | Consent No: **100223** |
| Site Address/Rapid No | Officer ID: AOFSTEVEG |
| 28 SHERIDAN DRIVE, ROLLESTON | Name: Geoff Stevenson |

Type of building work:

Intended Use: : 3 Bedroom Domestic Dwelling with Study & Attached Double Garage with Workshop - 300.14sqm2 DOMESTIC DWELLING

Stats Code: HOUSING - Detached Dwelling (New Dwellings Only)

On 6/08/2010 at 9:58 a.m. this site was inspected pursuant to the Building Act 2004 (section 222/230) and the Local Government Act 2004 (Section 174). The purpose of the inspection was:

**INSPECTION TYPE: POSTLINE**

**INSPECTION RESULT: BUILDING WORK MAY NOT PROCEED/REINSPECTION REQUIRED**

**The Following Items are yet to be completed:**

Wet area linings to be tiled (fixed in accordance with system

**/Fixing of Aqualine to bathroom to be at 100mm centre's MAXIMUM. Fixing presently 130mm+. Fixing in ensuit ok.**

**Notes Summary:**

All interior linings completed Fixing of bracing panels complete. Aqualine installed in ensuit and bathroom+ laundary. Fixed for tiles in ensuit + bathroom showers Refixing in bathroom shower required. Metal corner angles installed. 10mm gib to walls 13 mm to cealings.

Note: A Code Compliance Certificate is required for 2004 Building Act Consents

**INSTRUCTIONS**

| | | | | | |
|---|---|---|---|---|---|
| Notice To: | Contractor ☑ | Owner ☐ | Agent ☐ | Occupier | |
| By: | Telephone ☑ | Fax ☐ | Posting ☐ | Left on Site ✓ | |

Dwain
Gib fixer

# INSPECTION NOTICE

*Inspections are to be booked by the owner or builder*

| | |
|---|---|
| Name: **STONEWOOD HOMES** | Consent No: **100223** |
| Site Address/Rapid No | Officer ID: AOFSTEVEG |
| 28 SHERIDAN DRIVE, ROLLESTON | Name: Geoff Stevenson |

Type of building work:

Intended Use: : 3 Bedroom Domestic Dwelling with Study & Attached Double Garage with Workshop - 300.14sqm2 DOMESTIC DWELLING

Stats Code: HOUSING - Detached Dwelling (New Dwellings Only)

On 3/08/2010 at 2:46 p.m. this site was inspected pursuant to the Building Act 2004 (section 222/230) and the Local Government Act 2004 (Section 174). The purpose of the inspection was:

**INSPECTION TYPE: PRELINE**

**INSPECTION RESULT: BUILDING WORK MAY PROCEED**

**The Following Items are yet to be completed:**

**Notes Summary:**

Moisture content of frameing now less than 18%, where tested

Note: A Code Compliance Certificate is required for 2004 Building Act Consents

**INSTRUCTIONS**

ENTERED

| | | | | | |
|---|---|---|---|---|---|
| Notice To: | Contractor ☐ | Owner ☐ | Agent ☑ | Occupier | |
| By: | Telephone ☑ | Fax ☐ | Posting ☐ | Left on Site | |

Selwyn DISTRICT COUNCIL

# INSPECTION NOTICE

*Inspections are to be booked by the owner or builder.*

Name: Forrester

Consent No: 100223

Site Address/Rapid No: 28 Sheridan Drive Rolleston

Officer: SDC 35

Name: Carl Green

Type of building work: Domestic Dwelling

On 30 / 7 / 10 at 11:48 (am) / pm this site was inspected pursuant to the Building Act 2004 [Section 222/230] and the Local Government Act 2004 [Section 174]. The purpose of the inspection was:-

| | | | | | | | | | |
|---|---|---|---|---|---|---|---|---|---|
| a | | Siting & Founds | h | | Bond Beam | o | | Other | |
| b | | Slab | i | | Blockfill | p | | Resource Consent | |
| c | | Pre Wrap | j | | Heating unit | q | | Complaint/investigation | |
| d | | Post Wrap | k | | Sanitary drainage | r | | Compliance Schedule | |
| e | | Half height veneer | l | | Stormwater drainage | s | | WOF/ c/s audit | |
| f | ✓ | Preline/Plumbing | m | | Pile/pole holes | t | | Final Inspection | ☐ Pass ☐ Fail |
| g | | Post line bracing | n | | Cladding | u | | | |

BUILDING WORK MAY PROCEED ☐ MAY NOT PROCEED ☑ RE-INSPECTION YES ☑ NO ☐

INSPECTION NOTES:

Moisture check only!

Wall frame 16.5 — 19.5%

Bottom Plate 24 — 35%

Moisture content remains to high to line. Reinspection required

**NOTE:** A Code Compliance Certificate Application is required for 2004 Building Act Consents

Owner/Builder/Contractor confirms floor height is as recommended by Environment Canterbury ☐

ENTERED

**INSTRUCTIONS**

All work inspected is in accordance with the Building Consent ☐

Satisfactory: Work may proceed when minor items above have been attended to ☐

Some work is not satisfactory or is incomplete, as detailed above, and rectification is required. ☑

A notice to fix will be issued ☐

| | | | | | |
|---|---|---|---|---|---|
| Notice to: | Contractor ☑ | Owner ☐ | Agent ☐ | Occupier ☐ | Signed: |
| By: | Telephone ☐ | Fax ☐ | Posting ☐ | Left on Site ☑ | |

Selwyn DISTRICT COUNCIL (3)

# INSPECTION NOTICE

*Inspections are to be booked by the owner or builder.*

Name: FORRESTER Consent No: 100223

Site Address/Rapid No: 28 SHONIDAN DRIVE, ROLLESTON Officer:

Name: BARRY

Type of building work: DWELLING

On 16 / 7 / 2010 at 1520 am / pm this site was inspected pursuant to the Building Act 2004 [Section 222/230] and the Local Government Act 2004 [Section 174]. The purpose of the inspection was:-

| | | | | | | | | | |
|---|---|---|---|---|---|---|---|---|---|
| a | | Siting & Founds | h | | Bond Beam | o | | Other | |
| b | | Slab | i | | Blockfill | p | | Resource Consent | |
| c | | Pre Wrap | j | | Heating unit | q | | Complaint/investigation | |
| d | | Post Wrap | k | | Sanitary drainage | r | | Compliance Schedule | |
| e | | Half height veneer | l | | Stormwater drainage | s | | WOF/ c/s audit | |
| f | ✓ | Preline/Plumbing | m | | Pile/pole holes | t | | Final Inspection | ☐ Pass ☐ Fail |
| g | | Post line bracing | n | | Cladding | u | | | |

BUILDING WORK MAY PROCEED ☐ MAY NOT PROCEED ☑ RE-INSPECTION YES ☑ NO ☐

INSPECTION NOTES: • RE-INSPECTION OF PRELINE

(1) MOISTURE STILL 20 – 23% & UP TO 28% @ BOTTOM PLATES & CEILING LINES.

• DEHUMIDIFIER ON & HEATING

• RE-BOOK INSPECTION PLEASE

ENTERED 19/7/10

**NOTE:** A Code Compliance Certificate Application is required for 2004 Building Act Consents

Owner/Builder/Contractor confirms floor height is as recommended by Environment Canterbury ☐

**INSTRUCTIONS**

All work inspected is in accordance with the Building Consent ☐

Satisfactory: Work may proceed when minor items above have been attended to ☐

Some work is not satisfactory or is incomplete, as detailed above, and rectification is required. ☑

A notice to fix will be issued ☐

| | | | | | |
|---|---|---|---|---|---|
| Notice to: | Contractor ☑ | Owner ☐ | Agent ☐ | Occupier ☐ | Signed: |
| By: | Telephone ☑ | Fax ☐ | Posting ☐ | Left on Site ☑ | |

Selwyn DISTRICT COUNCIL

# INSPECTION NOTICE

*Inspections are to be booked by the owner or builder.*

Name: FORRESTER

Consent No: 100223

Site Address/Rapid No: 28 SHERIDAN DRIVE ROLLESTON.

Officer:

Name:

Type of building work: Dwelling

On 1/7/10. at 12.30. am / pm this site was inspected pursuant to the Building Act 2004 [Section 222/230] and the Local Government Act 2004 [Section 174]. The purpose of the inspection was:-

| | | | | | | | | | |
|---|---|---|---|---|---|---|---|---|---|
| a | | Siting & Founds | h | | Bond Beam | o | | Other | |
| b | | Slab | i | | Blockfill | p | | Resource Consent | |
| c | | Pre Wrap | j | | Heating unit | q | | Complaint/investigation | |
| d | | Post Wrap | k | | Sanitary drainage | r | | Compliance Schedule | |
| e | | Half height veneer | l | | Stormwater drainage | s | | WOF/ c/s audit | |
| f | ✓ | Preline/Plumbing | m | | Pile/pole holes | t | | Final Inspection | ☐ Pass ☐ Fail |
| g | | Post line bracing | n | | Cladding | u | | | |

BUILDING WORK MAY PROCEED ☐ MAY NOT PROCEED ☑ RE-INSPECTION YES ☑ NO ☐

INSPECTION NOTES: BRACING ELEMENTS COMPLETED.

(B3) NOW ON KITCHEN ~~SIDE~~ SIDE OF WALL.

(1) MOVE SWITCH TO N3 ELEMENT.

STRUCTURE:- 90x45 FRAMING, MSG.8. H1.2 AND OREGON TO INTERIOR H1.2 TO EXTERIOR WELL FIXED TO SLAB, JUNCTIONS NAILED OFF. ROOF CEILING BATTENS DIRECT @ 600 ¢.

(2) MOISTURE:- 21% L.P.

PLUMBING:- 3m1 IN GARAGE VENT TO ENSUITE WC. POLY BUTYLENE PIPE WORK ENSURE 1500 KPA TEST. ENSURE DPM REINSTATED TO SHOWER BASES YET TO BE POURED.

THERMAL:- AIR SEAL TO WINDOWS, INSULATION INSTALLED VERTICAL TO WALLS, R.5. CEILINGS VERTICAL.

(3) FIT 35x35 ANGLES TO TILE SHOWER AREAS. ON SITE 16/7

ENSURE AAV TO INSTALL TO ENSUITE BASIN/SHOWER/KITCHEN CONFIRMATION REQ.

**NOTE:** A Code Compliance Certificate Application is required for 2004 Building Act Consents

Owner/Builder/Contractor confirms floor height is as recommended by Environment Canterbury ☐

**INSTRUCTIONS** REINSPECTION ON MOISTURE. AND ITEMS MARKED

All work inspected is in accordance with the Building Consent ☐

Satisfactory: Work may proceed when minor items above have been attended to ☐

Some work is not satisfactory or is incomplete, as detailed above, and rectification is required. ☐

A notice to fix will be issued ☐

ENTERED

| Notice to: | Contractor ☐ | Owner ☐ | Agent ☐ | Occupier ☐ | Signed: |
|---|---|---|---|---|---|
| By: | Telephone ☐ | Fax ☐ | Posting ☐ | Left on Site ☑ | |

# Building Consent Inspection Prompt Sheet
## Preline

| PROJECT DETAILS | | | | | |
|---|---|---|---|---|---|
| Building Consent No. | 100223 | Site Copy Viewed: | ✓ Yes | | No |
| Inspector's Name: | TB. | | | | |
| Time Arrived: 12.30 | Time Departed: 1.15. | Date: 1/7/10 | | | |

| ITEMS INSPECTED | | | |
|---|---|---|---|
| **Framing** | | **Bracing** | |
| ✓ | Timber species | ✓ | Location/type |
| ✓ | Timber grade | ✓ | Clear of wet areas |
| ✓ | Timber treatment | | Connections/fixings |
| ✓ | Moisture content | | ~~Roof bracing~~ |
| ✓ | Stud size | | ~~Dragon ties~~ |
| ✓ | Stud spacing | | ~~Diaphragms~~ |
| | ~~Lintel sizes~~ | **Fixing** | |
| | ~~Post sizes~~ | ✓ | Bottom plate |
| | ~~Truss Layout~~ | ✓ | Top plate |
| | ~~Girder truss supports~~ | | ~~Truss to plate~~ |
| ✓ | Ceiling batten spacing | | Purlins |
| | ~~Purlins~~ | | Brace bottom plate |
| **Other** | | | Steel angle fixings |
| | ~~Building wrap~~ | | Post to foundation |
| ✓ | Window air seals | | Post to beam |
| | ~~Roof underlay~~ | | Fire walls |
| ✓ | DPC under plates | | Lintel |
| ✓ | Insulation material | | |
| ✓ | Insulation placement | | |
| ✓ | Internal ventilation | | |
| | ~~Water cylinder support~~ | | |
| | ~~Seismic restraint~~ | | |
| | ~~Fire walls~~ | | |
| | ~~Shower tanking~~ | | |

**This is not an inspection record, it serves as a prompt and simply indicates that the items listed have been inspected. The Inspection Notice provides the record of items inspected and decisions made with respect to progression of building work, together with reasons for these decisions as inspection notes.**

Selwyn DISTRICT COUNCIL

# INSPECTION NOTICE

*Inspections are to be booked by the owner or builder.*

Name: FORRESTER

Consent No: 100223

Site Address/Rapid No: 28 STRUAN DRIVE ROLLESTON

Officer:

Name:

Type of building work: Decking

On 30 / 6 / 10 at 2.40 am / pm this site was inspected pursuant to the Building Act 2004 [Section 222/230] and the Local Government Act 2004 [Section 174]. The purpose of the inspection was:-

| | | | | | | | | | |
|---|---|---|---|---|---|---|---|---|---|
| a | | Siting & Founds | h | | Bond Beam | o | | Other | |
| b | | Slab | i | | Blockfill | p | | Resource Consent | |
| c | | Pre Wrap | j | | Heating unit | q | | Complaint/investigation | |
| d | | Post Wrap | k | | Sanitary drainage | r | | Compliance Schedule | |
| e | | Half height veneer | l | | Stormwater drainage | s | | WOF/ c/s audit | |
| f | ✓ | Preline/Plumbing | m | | Pile/pole holes | t | | Final Inspection | ☐ Pass ☐ Fail |
| g | | Post line bracing | n | | Cladding | u | | | |

BUILDING WORK MAY PROCEED ☐ MAY NOT PROCEED ☑ RE-INSPECTION YES ☑ NO ☐

INSPECTION NOTES:

EXTERIOR NOT YET WEATHERTIGHT.
RE BOOK WHEN COMPLETE

ENTERED HD

**NOTE:** A Code Compliance Certificate Application is required for 2004 Building Act Consents

Owner/Builder/Contractor confirms floor height is as recommended by Environment Canterbury ☐

**INSTRUCTIONS**

All work inspected is in accordance with the Building Consent ☐

Satisfactory: Work may proceed when minor items above have been attended to ☐

Some work is not satisfactory or is incomplete, as detailed above, and rectification is required. ☑

A notice to fix will be issued ☐

| | | | | | |
|---|---|---|---|---|---|
| Notice to: | Contractor ☑ | Owner ☐ | Agent ☐ | Occupier ☐ | Signed: |
| By: | Telephone ☐ | Fax ☐ | Posting ☐ | Left on Site ☑ | |

Selwyn DISTRICT COUNCIL

(3) **INSPECTION NOTICE**

*Inspections are to be booked by the owner or builder.*

Name: FORRESTER

Consent No: 100223

Site Address/Rapid No: LOT 148, 28 SHERIDAN DRIVE, ROLLESTON

Officer: Name: DARYL

Type of building work: DWELLING

On 23 / 6 / 2010 at 10:15 am / pm this site was inspected pursuant to the Building Act 2004 [Section 222/230] and the Local Government Act 2004 [Section 174]. The purpose of the inspection was:-

| | | | | | | | | | |
|---|---|---|---|---|---|---|---|---|---|
| a | | Siting & Founds | h | | Bond Beam | o | ✓ | Other | |
| b | | Slab | i | | Blockfill | p | | Resource Consent | |
| c | | Pre Wrap | j | | Heating unit | q | | Complaint/investigation | |
| d | | Post Wrap | k | | Sanitary drainage | r | | Compliance Schedule | |
| e | | Half height veneer | l | | Stormwater drainage | s | | WOF/ c/s audit | |
| f | | Preline/Plumbing | m | | Pile/pole holes | t | | Final Inspection | ☐ Pass ☐ Fail |
| g | | Post line bracing | n | | Cladding | u | | | |

BUILDING WORK MAY PROCEED ☑ MAY NOT PROCEED ☐ RE-INSPECTION YES ☐ NO ☑

INSPECTION NOTES: - CAVITY BATTENS

- 40 X 20 H3.1 CAVITY BATTENS WITHIN 600 ℄
- CAVITY CLOSERS IN PLACE.
- INTERNAL CORNER U.P.V.C FLASHINGS IN PLACE.
- INTERNAL CORNER FLASHING @ CLADDING CHANGE (METAL)
- SOAKERS TO EXTERNAL CORNERS TO BE USED (METAL.)

**NOTE:** A Code Compliance Certificate Application is required for 2004 Building Act Consents

Owner/Builder/Contractor confirms floor height is as recommended by Environment Canterbury ☐

**INSTRUCTIONS**

All work inspected is in accordance with the Building Consent ☑

Satisfactory: Work may proceed when minor items above have been attended to ☐

Some work is not satisfactory or is incomplete, as detailed above, and rectification is required. ☐

A notice to fix will be issued ☐

| | | | | | |
|---|---|---|---|---|---|
| Notice to: | Contractor ☑ | Owner ☐ | Agent ☐ | Occupier ☐ | Signed: |
| By: | Telephone ☐ | Fax ☐ | Posting ☐ | Left on Site ☑ | |

selwyn DISTRICT COUNCIL

# Building Consent Inspection Prompt Sheet
## Cladding/Envelope

| PROJECT DETAILS | | | |
|---|---|---|---|
| Building Consent No. | 100223 | Site Copy Viewed: | ✓ Yes / No |
| Inspector's Name: | D. Forquer | | |
| Time Arrived: | | Time Departed: | Date: 23/6/10 |

| | ITEMS INSPECTED | | |
|---|---|---|---|
| ✓ | Cavity Width 70mm | ✓ | System |
| | ~~Ties~~ | ✓ | Wrap/Ridged Barrier |
| | ~~Tie Spacing~~ | | ~~Sill Flashing~~ |
| | ~~Brick Type~~ | | ~~Head Flashing~~ |
| | ~~Bottom Ties~~ | | ~~Jamb Flashing~~ |
| | ~~Clean Cavity~~ | | ~~Netting~~ |
| | ~~Steel Lintels~~ | | ~~Control Joints~~ |
| | ~~Weep Holes~~ | ✓ | Vermin Proofing |
| | ~~Panel Width~~ | | ~~Air Seals~~ |
| | ~~Jointing~~ | | ~~Backing Materials~~ |
| ✓ | Cavity Closed to Ceiling | | ~~Internal Gutters~~ |
| | ~~Penetrations~~ | | ~~Sub Strate Fixing~~ |
| | | | ~~Thermal Barrier~~ |

**This is not an inspection record; it serves as a prompt and simply indicates that the items listed have been inspected. The Inspection Notice provides the record of items inspected and decisions made with respect to progression of building work, together with reasons for these decisions as inspection notes.**

# INSPECTION NOTICE

*Inspections are to be booked by the owner or builder*

| | |
|---|---|
| Name: **STONEWOOD HOMES** | Consent No: **100223** |
| Site Address/Rapid No | Officer ID: AOFroberp |
| 28 SHERIDAN DRIVE, ROLLESTON | Name: Peter Robertson |

Type of building work:

Intended Use: : 3 Bedroom Domestic Dwelling with Study & Attached Double Garage with Workshop - 300.14sqm2 DOMESTIC DWELLING

Stats Code: HOUSING - Detached Dwelling (New Dwellings Only)

On 18/06/2010 at 9:11 a.m. this site was inspected pursuant to the Building Act 2004 (section 222/230) and the Local Government Act 2004 (Section 174). The purpose of the inspection was:

**INSPECTION TYPE: HALF HIGH BRICK**

**INSPECTION RESULT: BUILDING WORK MAY PROCEED**

**The Following Items are yet to be completed:**

**Notes Summary:**

ck ties 2nd up then every 4th thereafter,brick ties 300mm centres up opennings ,40mm cavity wash outs inplace small amount of brick work to start approx 3m inlength profiles set up for 40mm cavity may proceed and ensure to same standard as inspected,Cavity batterns yet to be installed and inspected.

Note: A Code Compliance Certificate is required for 2004 Building Act Consents

**INSTRUCTIONS**

ENTERED

| Notice To: | Contractor ☐ | Owner ☐ | Agent ☐ | Occupier |
|---|---|---|---|---|

# INSPECTION NOTICE

*Inspections are to be booked by the owner or builder*

| | |
|---|---|
| Name: **STONEWOOD HOMES** | Consent No: **100223** |
| Site Address/Rapid No | Officer ID: AOFroberp |
| 28 SHERIDAN DRIVE, ROLLESTON | Name: Peter Robertson |

Type of building work:

Intended Use: : 3 Bedroom Domestic Dwelling with Study & Attached Double Garage with Workshop - 300.14sqm2 DOMESTIC DWELLING

Stats Code: HOUSING - Detached Dwelling (New Dwellings Only)

On 18/06/2010 at 9:06 a.m. this site was inspected pursuant to the Building Act 2004 (section 222/230) and the Local Government Act 2004 (Section 174). The purpose of the inspection was:

**INSPECTION TYPE: PRE-CLADDING**

**INSPECTION RESULT: BUILDING WORK MAY PROCEED**

**The Following Items are yet to be completed:**

**Notes Summary:**

Items from inspection dated 11/06/10 have been completed except for item 2 being cavity batterns.

Note: A Code Compliance Certificate is required for 2004 Building Act Consents

**INSTRUCTIONS**

ENTERED

| | | | | | |
|---|---|---|---|---|---|
| Notice To: | Contractor ☐ | Owner ☐ | Agent ☐ | Occupier | |
| By: | Telephone ☐ | Fax ☐ | Posting ☐ | Left on Site | |

Selwyn DISTRICT COUNCIL

# INSPECTION NOTICE

*Inspections are to be booked by the owner or builder.*

Name: I + J Forrester

Consent No: 100223

Site Address/Rapid No: 28 Sheridan Drive Rolleston

Officer:

Name: Geoff Stevenson

Type of building work: Domestic Dwelling

On 11 / 06 / 10 at 8-42 am / ~~pm~~ this site was inspected pursuant to the Building Act 2004 [Section 222/230] and the Local Government Act 2004 [Section 174]. The purpose of the inspection was:-

| | | | | | | | | | |
|---|---|---|---|---|---|---|---|---|---|
| a | | Siting & Founds | h | | Bond Beam | o | | Other | |
| b | | Slab | i | | Blockfill | p | | Resource Consent | |
| c | | Pre Wrap | j | | Heating unit | q | | Complaint/investigation | |
| d | ✓ | Post Wrap | k | | Sanitary drainage | r | | Compliance Schedule | |
| e | | Half height veneer | l | | Stormwater drainage | s | | WOF/ c/s audit | |
| f | | Preline/Plumbing | m | | Pile/pole holes | t | | Final Inspection | ☐ Pass ☐ Fail |
| g | | Post line bracing | n | | Cladding | u | | | |

BUILDING WORK MAY PROCEED ☑ MAY NOT PROCEED ☐ RE-INSPECTION YES ☑ NO ☐

INSPECTION NOTES:

* 1/ ✓ Items from last inspection 4-06-10 Still to complete (CPC40, Joist hangers. + roof bracing & web bracing)
* 2/ Cavity battens still to install.
Tyvek wrap stapled to exterior framing. Flashing tape fixed to exterior corners.
* 3/ Flashtape may need to be heated to ensure. ~~[illegible]~~ a seal to wrap is achieved. Wrap cut clear of foundation. DPM turned up at slab edge, penetrations taped. Meter box in place flash taped to wrap. Exterior joinery, flashings, + support bars still to install.
* 4/ Install ext joinery. Flashings + support bars.
Reinspection required for above items. 1 to 4.
7.5 mm eterpan diaphram installed at entry. Final 150 ¢

ENTERED

**NOTE:** A Code Compliance Certificate Application is required for 2004 Building Act Consents

Owner/Builder/Contractor confirms floor height is as recommended by Environment Canterbury ☐

**INSTRUCTIONS**

All work inspected is in accordance with the Building Consent ☐

Satisfactory: Work may proceed when minor items above have been attended to ☑

Some work is not satisfactory or is incomplete, as detailed above, and rectification is required. ☑

A notice to fix will be issued ☐

| | | | | | |
|---|---|---|---|---|---|
| Notice to: | Contractor ☑ | Owner ☐ | Agent ☐ | Occupier ☐ | Signed: |
| By: | Telephone ☐ | Fax ☐ | Posting ☐ | Left on Site ☐ | |

# Building Consent Inspection Prompt Sheet
## Post-Wrap

| PROJECT DETAILS | | | | | |
|---|---|---|---|---|---|
| **Building Consent No.** | 100223 | **Site Copy Viewed:** | ✓ | Yes | No |
| **Inspector's Name:** | Geoff Stevenson | | | | |
| **Time Arrived:** | 8-42 AM | **Time Departed:** | | **Date:** | 11-06-10 |

| ITEMS INSPECTED | | | |
|---|---|---|---|
| **Framing** | | | |
| ✓ | Wrap to foundation Cut clear | ✓ | Flashing tape to exterior openings |
| ✓ | Wrap fixing | ✓ | DPM Turned up at slab edge |
| ✓ | Wrap condition/type Tyvek | | |
| ✗ | Window flashings To install | | |
| ✓ | Penetration seals at inspection | | |

**This is not an inspection record, it serves as a prompt and simply indicates that the items listed have been inspected. The Inspection Notice provides the record of items inspected and decisions made with respect to progression of building work, together with reasons for these decisions as inspection notes.**

cavity Battens

× Items from last insped. still to complete.

× Ensure Flash tape is sealed to wrap. Heat Gun may be reqn

× cavity battens still to install

Selwyn DISTRICT COUNCIL

# INSPECTION NOTICE

*Inspections are to be booked by the owner or builder.*

Name: Forrester

Consent No: 100223

Site Address/Rapid No: 28 Sheridan drive Rolleston

Officer: 27

Name: Chris Westwood

Type of building work: Dwelling

On 4 / 6 / 10 at 8.24 am / pm this site was inspected pursuant to the Building Act 2004 [Section 222/230] and the Local Government Act 2004 [Section 174]. The purpose of the inspection was:-

| | | | | | | | | | |
|---|---|---|---|---|---|---|---|---|---|
| a | | Siting & Founds | h | | Bond Beam | o | | Other | |
| b | | Slab | i | | Blockfill | p | | Resource Consent | |
| c | ✓ | Pre Wrap | j | | Heating unit | q | | Complaint/investigation | |
| d | | Post Wrap | k | | Sanitary drainage | r | | Compliance Schedule | |
| e | | Half height veneer | l | | Stormwater drainage | s | | WOF/ c/s audit | |
| f | | Preline/Plumbing | m | | Pile/pole holes | t | | Final Inspection | ☐ Pass ☐ Fail |
| g | | Post line bracing | n | | Cladding | u | | | |

BUILDING WORK MAY PROCEED ☑ MAY NOT PROCEED ☐ RE-INSPECTION YES ☐ NO ☑

INSPECTION NOTES:

Plans on site

90x45 MSG8 Oregon at 400c. with DPC under H3 bottom plate. Purlins 3x2 & fixed for High wind
Ply bracing fixed off with S/S nails
Entrance way Diaphragm in place
Bottom plate connections complete
lintel connections complete
Stud to top plate connections complete
1./ top plate to truss internal connection to complete marked on as built
2./ web bracing to complete
3./ Roof bracing to complete.

ENTERED 4/6/10

**NOTE:** A Code Compliance Certificate Application is required for 2004 Building Act Consents

Owner/Builder/Contractor confirms floor height is as recommended by Environment Canterbury ☐

**INSTRUCTIONS**

All work inspected is in accordance with the Building Consent ☐

Satisfactory: Work may proceed when minor items above have been attended to 1./ 2./ & 3./ ☑

Some work is not satisfactory or is incomplete, as detailed above, and rectification is required. ☐

A notice to fix will be issued ☐

| | | | | | |
|---|---|---|---|---|---|
| Notice to: | Contractor ☑ | Owner ☐ | Agent ☐ | Occupier ☐ | Signed: |
| By: | Telephone ☐ | Fax ☐ | Posting ☐ | Left on Site ☑ | |

# Building Consent Inspection Prompt Sheet
## Pre-Wrap

| PROJECT DETAILS | | | | | |
|---|---|---|---|---|---|
| Building Consent No. | 100223 | Site Copy Viewed: | ✓ Yes | | No |
| Inspector's Name: | Chris | | | | |
| Time Arrived: 8.24 | Time Departed: 9.36 | Date: 4/6/10 | | | |

| ITEMS INSPECTED | | | |
|---|---|---|---|
| **Framing** | | **Bracing** | |
| ✓ | Timber species Oregon | ✓ | Location/type |
| ✓ | Timber grade MSG8 | ✓ | Fixings (ply)/connections |
| ✓ | Timber treatment H3 bottom plate | ✗ | Roof bracing to Rit |
| ✓ | Stud sizes 90 x 45 | | ~~Dragon ties~~ |
| ✓ | Stud spacings 400 ± | **Fixings** | |
| | Lintel sizes | ✓ | Bottom plate |
| | Post sizes | ✓ | Top plate |
| ✓ | Truss layout | ✓ | Truss to plate |
| ✗ | Girder truss supports To complete internal | ✓ | Purlins H Wind |
| ✓ | Purlin sizes 3 x 2 | ✓ | Lintel |
| ✓ | DPC under plates | | ~~Steel angles~~ |
| | | | ~~Fire walls~~ |

**This is not an inspection record, it serves as a prompt and simply indicates that the items listed have been inspected. The Inspection Notice provides the record of items inspected and decisions made with respect to progression of building work, together with reasons for these decisions as inspection notes.**

entrance diaphragm in place
Marelie nailed off at 150 ± around perimeter.

31 Sonter Road
P O Box 11-178
Sockburn
Christchurch 8443

WESTLAKE
TIMBER LTD

Ph. 348-3401
Fax 348-3402
Email:sales@westlake.co.nz
www.westlake.co.nz

AS BUILT DOCUMENTATION 1 of 8

DATE: 12/5/10

WITH REGARDS TO CONSENT NO 100223

Westlake Timber Ltd can confirm that the above project has been fabricated and supplied in accordance with the previously submitted AGREEMENT LETTER.

Please find attached the following.

1: As built truss layout and producer statement.

2. Truss to truss and truss to top plate fixings.

3. Stud to top plate and lintel fixings.

Additional information:

Please make this information available to your inspectors for their on site inspection visits.

**CHRIS RANDALL**
**MANAGER**
**WESTLAKE TIMBER LTD**



24055/357148
V3

## Westlake Timber

Job: 10-110

Client: A Customer
Phone:

Site: Stonewood Homes
28 Sheridan Dr
Rolleston

Description:
Building Consent No.:
Phone:

MiTek 20/20 Engineering 4.6.150 — MiTek New Zealand Ltd — Printed 17:06:09 11 May 2010

**PRODUCER STATEMENT for MiTek 20/20™ TRUSS DESIGN**

The MiTek 20/20™ truss design program has been developed by MiTek New Zealand Ltd for the design of GANG-NAIL® timber roof, floor and attic trusses in New Zealand. The truss designs computed by MiTek 20/20™ are prepared using sound and widely accepted engineering principles, and in accordance with compliance documents of the New Zealand Building Code and Verification Method B1/VM1; and internationally accepted standard ANSI/TPI 1 - 2002 as an alternative solution to satisfy the requirements of Clause B1 of the Building Code.

This producer statement covers the MiTek 20/20™ truss design and the structural performance of the GANG-NAIL plate.

**On behalf of MiTek New Zealand Ltd,** and subject to:

i) All proprietary products meeting their performance specification requirements
ii) The provision of adequate roof bracing and overall building stability
iii) Correct selection and placement of fixings
iv) Correct input of Truss Design Data below
v) The design being undertaken by suitably trained personnel
vi) The truss design being carried out in accordance with MiTek 20/20 User Terms and Conditions,

**I believe on reasonable grounds** that the trusses, if constructed in accordance with the MiTek 20/20™ truss design and shop drawings, will comply with the relevant provisions of the Building Code.

MiTek New Zealand Ltd holds a current policy of Professional Indemnity Insurance no less than $500,000.

**On behalf of MiTek New Zealand Ltd,**

In Ling Ng, BE (Hons), CPEng, IntPE, MIPENZ (ID: 146585)
**TECHNICAL SERVICES MANAGER, MiTek New Zealand Ltd**

---

**MiTek 20/20™ TRUSS DESIGN DATA**

The MiTek 20/20™ computer design for this job is based on the following design parameters entered into the program. The GANG-NAIL Fabricator shall ensure that these job details are current and relevant to the project for the design of the trusses.

**Job Details**

| | | | | | |
|---|---|---|---|---|---|
| | | Importance Level : | 2 | Design Working Life : | 50 years |
| **Roof Truss** | | | | | |
| Timber Group: | ~MSGx45 CF | Pitch: | 25.000 deg | Std Overhang: | 600 mm |
| **Roof** | | **Ceiling** | | **Wind** | |
| Material: | Galv Iron .5mm | Material: | Standard | Area: | High (44.0 m/s ) |
| Dead Load: | 0.210 kPa | Dead Load: | 0.200 kPa | Pressure Coeff: | Cpe = varies; Cpi = -0.30, 0.20 |
| Restraints: | 900 mm centres | Restraints: | 400 mm centres | **Snow** | |
| Live Load: | Qur = 0.250 kPa<br>Qc = 1.100 kN | Live Load: | Qc = 1.400 kN | Location: | Christchurch (N4 at 100 m) |
| | | | | Open Ground Load: | 0.900 kPa |
| | | | | Basic Roof Load: | 0.441 kPa |

The timber for these trusses shall be standard gauged and treated to the requirements of NZS 3602:2003. Unless otherwise noted, this design assumes that the steel fixings and timber connectors proposed are located in a **"closed environment"**, as defined by NZS3604:1999 Section 4.

**Truss List**

Legend: * = detail only, ? = input only, ~~Txx~~ = failed design, Ø = non certified, Unmarked trusses = designed successfully, LB = lateral bracing required

| Truss | Qty | Span (mm) | Pitch (deg) | Spacing (mm) | | Truss | Qty | Span (mm) | Pitch (deg) | Spacing (mm) | | Truss | Qty | Span (mm) | Pitch (deg) | Spacing (mm) |
|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|
| J03B | 1 | 3025 | 25.000 | 900 | | J01B | 1 | 2267 | 25.000 | 900 | | J12A | 1 | 1372 | 25.000 | 900 |
| J03C | 1 | 3025 | 25.000 | 900 | | J02 | 1 | 1367 | 25.000 | 900 | | J12B | 1 | 1372 | 25.000 | 900 |
| J06D | 1 | 2617 | 25.000 | 900 | | J02A | 1 | 1367 | 25.000 | 900 | | J12C | 1 | 1372 | 25.000 | 900 |
| J13D | 1 | 2522 | 25.000 | 900 | | J02B | 1 | 1367 | 25.000 | 900 | | J13 | 1 | 2522 | 25.000 | 900 |
| J13F | 1 | 2522 | 25.000 | 900 | | J02C | 1 | 1367 | 25.000 | 900 | | J13A | 1 | 2522 | 25.000 | 900 |
| J13H | 1 | 2522 | 25.000 | 900 | | J03 | 1 | 3025 | 25.000 | 900 | | J13B | 1 | 2522 | 25.000 | 900 |
| J13M | 1 | 2522 | 25.000 | 900 | | J03A | 1 | 3025 | 25.000 | 900 | | J13C | 1 | 2522 | 25.000 | 900 |
| J13N | 1 | 2522 | 25.000 | 900 | | J03D | 1 | 3025 | 25.000 | 900 | | J13E | 1 | 2522 | 25.000 | 900 |
| J13O | 1 | 2522 | 25.000 | 900 | | J04 | 1 | 2125 | 25.000 | 900 | | J13G | 1 | 2522 | 25.000 | 900 |
| J13P | 1 | 2522 | 25.000 | 900 | | J04A | 1 | 2125 | 25.000 | 900 | | J13I | 1 | 2522 | 25.000 | 900 |
| PTG011 | | 7218 | 0.000 | 900 | | J05 | 1 | 1225 | 25.000 | 900 | | J13J | 1 | 2522 | 25.000 | 900 |
| T01 | 1 | 4580 | 25.000 | 900 | | J05A | 1 | 1225 | 25.000 | 900 | | J13K | 1 | 2522 | 25.000 | 900 |
| T02 | 2 | 7080 | 25.000 | 900 | | J06 | 1 | 2617 | 25.000 | 900 | | J13L | 1 | 2522 | 25.000 | 900 |
| T04 | 1 | 4590 | 25.000 | 900 | | J06A | 1 | 2617 | 25.000 | 900 | | J14 | 1 | 1622 | 25.000 | 900 |
| T04A | 1 | 4590 | 25.000 | 900 | | J06B | 1 | 2617 | 25.000 | 900 | | J14A | 1 | 1622 | 25.000 | 900 |
| T06 | 1 | 6070 | 25.000 | 900 | | J06C | 1 | 2617 | 25.000 | 900 | | T03 | 1 | 6070 | 25.000 | 900 |
| T13 | 1 | 8970 | 25.000 | 900 | LB | J06E | 1 | 2617 | 25.000 | 900 | | T05 | 1 | 6070 | 25.000 | 900 |
| T14 | 1 | 8970 | 25.000 | 900 | | J06F | 1 | 2617 | 25.000 | 900 | | T07 | 3 | 10000 | 25.000 | 900 |
| T15 | 1 | 9570 | 25.000 | 900 | | J07 | 1 | 1717 | 25.000 | 900 | | T08 | 3 | 4580 | 25.000 | 726 |
| T16 | 1 | 14090 | 25.000 | 900 | LB | J07A | 2 | 1717 | 25.000 | 900 | | T09 | 4 | 4610 | 25.000 | 900 |
| T16A | 1 | 14090 | 25.000 | 900 | LB | J07B | 2 | 1717 | 25.000 | 900 | | T10 | 2 | 4610 | 25.000 | 811 |
| T17 | 1 | 6080 | 25.000 | 900 | | J07C | 1 | 1717 | 25.000 | 900 | | T11 | 1 | 3330 | 25.000 | 798 |
| T21 | 1 | 9835 | 25.000 | 900 | | J08 | 1 | 3012 | 25.000 | 900 | | T11A | 1 | 3330 | 25.000 | 798 |
| TG01 | 1 | 10000 | 25.000 | 900 | | J08A | 1 | 3012 | 25.000 | 900 | | T12 | 1 | 3330 | 25.000 | 798 |
| TG02 | 1 | 10000 | 25.000 | 900 | | J09 | 1 | 2112 | 25.000 | 900 | | T18 | 1 | 6080 | 25.000 | 900 |
| TG03 | 1 | 7080 | 25.000 | 900 | | J09A | 1 | 2112 | 25.000 | 900 | | T19 | 1 | 6080 | 25.000 | 900 |
| TG03A | 1 | 7080 | 25.000 | 900 | | J10 | 1 | 1212 | 25.000 | 900 | | T20 | 1 | 9835 | 25.000 | 900 |
| TR02 | 1 | 14090 | 25.000 | 900 | | J10A | 1 | 1212 | 25.000 | 900 | | TR01 | 1 | 5210 | 25.000 | 900 |
| TR03 | 1 | 14090 | 25.000 | 900 | LB | J11 | 1 | 2272 | 25.000 | 900 | | TR04 | 1 | 14090 | 25.000 | 900 |
| TR03A | 1 | 14090 | 25.000 | 900 | LB | J11A | 1 | 2272 | 25.000 | 900 | | V01 | 1 | 2370 | 25.000 | 900 |
| J01 | 1 | 2267 | 25.000 | 900 | | J11B | 1 | 2272 | 25.000 | 900 | | V02 | 1 | 1515 | 25.000 | 900 |
| J01A | 1 | 2267 | 25.000 | 900 | | J12 | 1 | 1372 | 25.000 | 900 | | V03 | 1 | 1539 | 25.000 | 900 |

# Westlake Timber

Job: 10-110

Client: A Customer
Phone:

Site: Stonewood Homes
28 Sheridan Dr
Rolleston

Description:
Building Consent No.:
MiTek 20/20 Engineering 4.5.150

MiTek New Zealand Ltd

Phone:

Printed 17:06:09 11 May 2010

| Truss | Qty | Span (mm) | Pitch (deg) | Spacing (mm) | Truss | Qty | Span (mm) | Pitch (deg) | Spacing (mm) | Truss | Qty | Span (mm) | Pitch (deg) | Spacing (mm) |
|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|
| V04 | 1 | 1769 | 25.000 | 900 | *HB03 | 1 | 7843 | 18.249 | 900 | *R02A | 6 | 913 | 25.000 | 900 |
| V05 | 1 | 869 | 25.000 | 900 | *HB04 | 3 | 5778 | 18.249 | 900 | *R02B | 1 | 913 | 25.000 | 900 |
| V06 | 1 | 3980 | 25.000 | 900 | *HB05 | 1 | 1229 | 18.249 | 900 | *R03 | 1 | 1953 | 25.000 | 900 |
| V07 | 1 | 2990 | 25.000 | 856 | *HB06 | 1 | 5064 | 18.249 | 900 | *R04 | 1 | 938 | 25.000 | 900 |
| V08 | 1 | 1278 | 25.000 | 856 | *HB07 | 1 | 1080 | 18.249 | 900 | *R05 | 1 | 1430 | 25.000 | 900 |
| V09 | 1 | 2178 | 25.000 | 900 | *HB08 | 2 | 4017 | 18.249 | 900 | *R05A | 2 | 1430 | 25.000 | 900 |
| V10 | 1 | 1530 | 25.000 | 900 | *HB09 | 1 | 10735 | 18.249 | 900 | *R06 | 1 | 901 | 25.000 | 900 |
| V11 | 1 | 2497 | 25.000 | 900 | *HB10 | 1 | 3647 | 18.249 | 900 | *R07 | 1 | 925 | 25.000 | 900 |
| V12 | 1 | 1597 | 25.000 | 900 | *HB11 | 1 | 6185 | 18.249 | 900 | *R08 | 1 | 1085 | 25.000 | 900 |
| V13 | 1 | 697 | 25.000 | 900 | *HB12 | 1 | 6361 | 18.249 | 900 | *R08A | 1 | 1085 | 25.000 | 900 |
| V14 | 2 | 2271 | 25.000 | 170 | *R01 | 1 | 1080 | 25.000 | 900 | *R09 | 1 | 4530 | 25.000 | 900 |
| *HB01 | 2 | 4010 | 18.249 | 900 | *R01A | 1 | 1080 | 25.000 | 900 | *R10 | 1 | 1335 | 25.000 | 900 |
| *HB02 | 1 | 3756 | 18.249 | 900 | *R02 | 6 | 913 | 25.000 | 900 | *R11 | 1 | 1070 | 25.000 | 900 |

**Total quantity : 162**

**The computer design input has been carried out by:**

Signed: ..... Date: 11-05-2010

Name of Computer Operator: MATT LINTOTT

Qualifications and Title: DRAFTER

Company: **Westlake Timber**

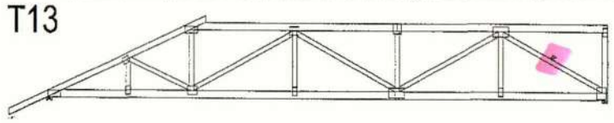
**Verification / Acceptance of Input Data:**

I have checked the input data against the construction drawings and specifications and verify that they are correct and suitable for this job.

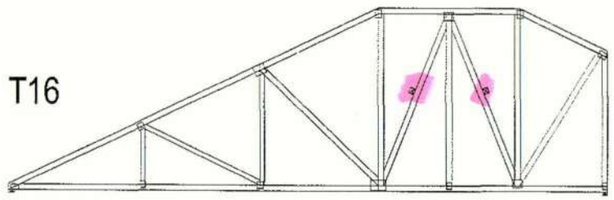
Signed: ..... Date: .....

Name: ..... Company: .....

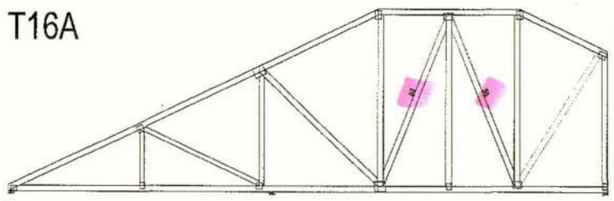
T13



T16

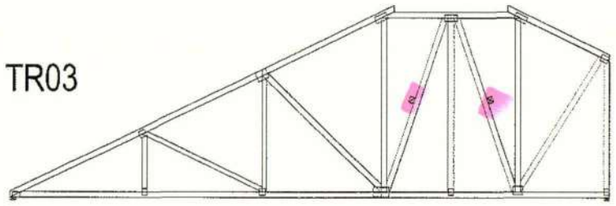


T16A

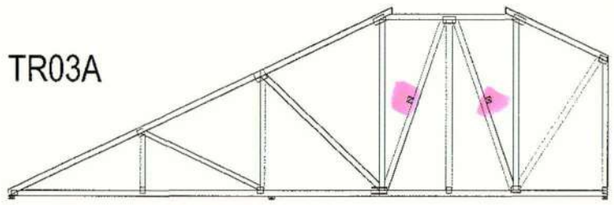


These trusses require web bracing as shown

TR03



TR03A



**NO SLAB THICKENING REQUIRED FROM TRUSS LOADS**


WESTLAKE
TIMBER LTD

★ PRENAIL FRAMES ★ TRUSSES ★ TIMBER

31 Sonter Road, Wigram
P.O. Box 16 737
Christchurch

Phone (03) 348-3401
Fax (03) 348-3402
Email: sales@westlake.co.nz

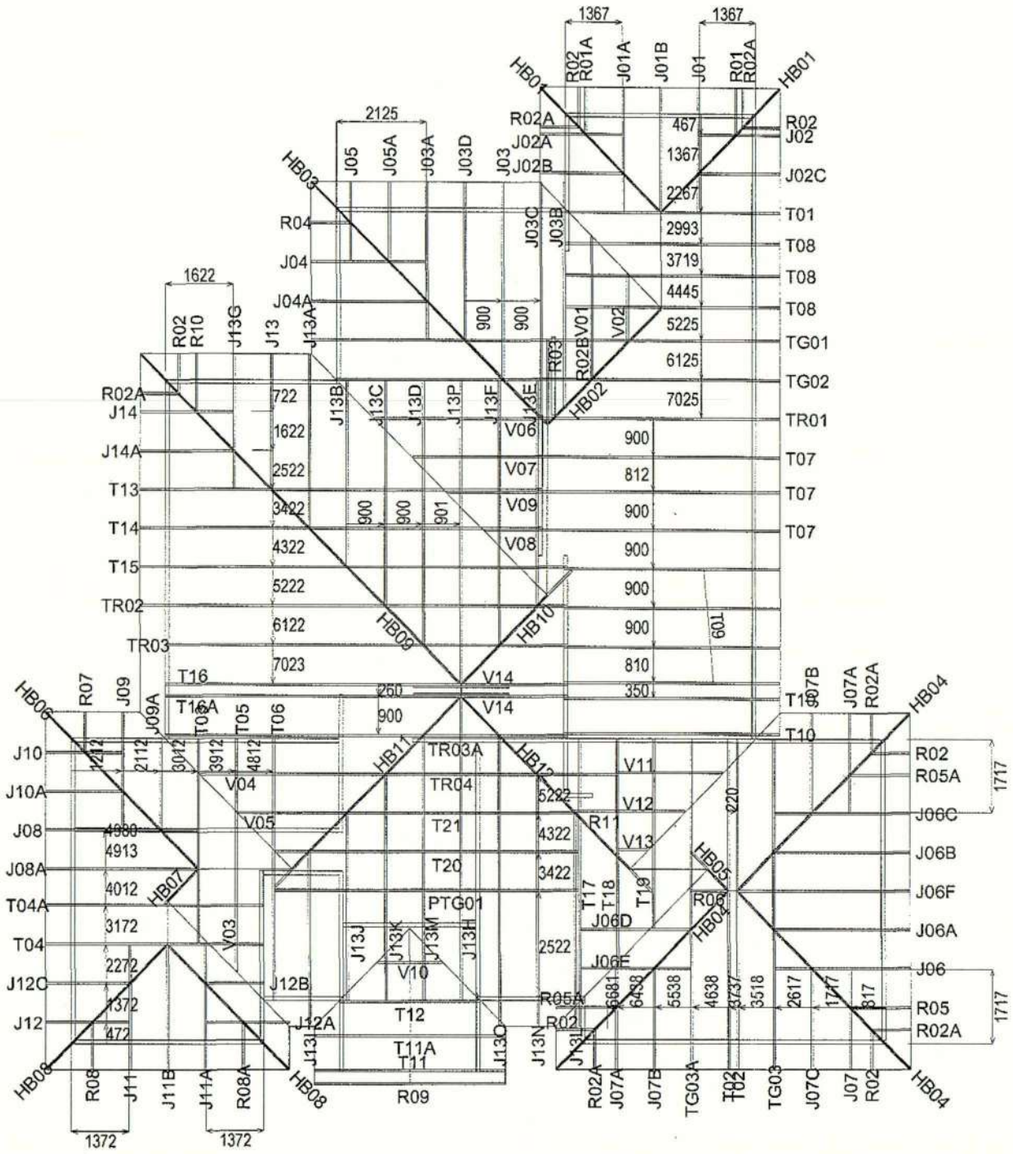

Job Name: Stonewood Homes _ Forrester

Address: 28 Sheridan Dr, Rolleston

Job: 10-110



Scale: 1:150 | Date: 08/05/2010 | Drawn By: Matt Lintott




# WESTLAKE TIMBER LTD

★ PRENAIL FRAMES★ TRUSSES★ TIMBER

31 Sonter Road,Wigram
P.O. Box 16 737
Christchurch

Phone (03) 348-3401
Fax (03) 348-3402
Email: sales@westlake.co.nz

Job Name: Stonewood Homes _ Forrester

Address: 28 Sheridan Dr, Rolleston

Job: 10-110 | Page 4 of 6

Scale: 1:150 | Date: 08/05/2010 | Drawn By: Matt Lintott

**AS BUILT LAYOUT**

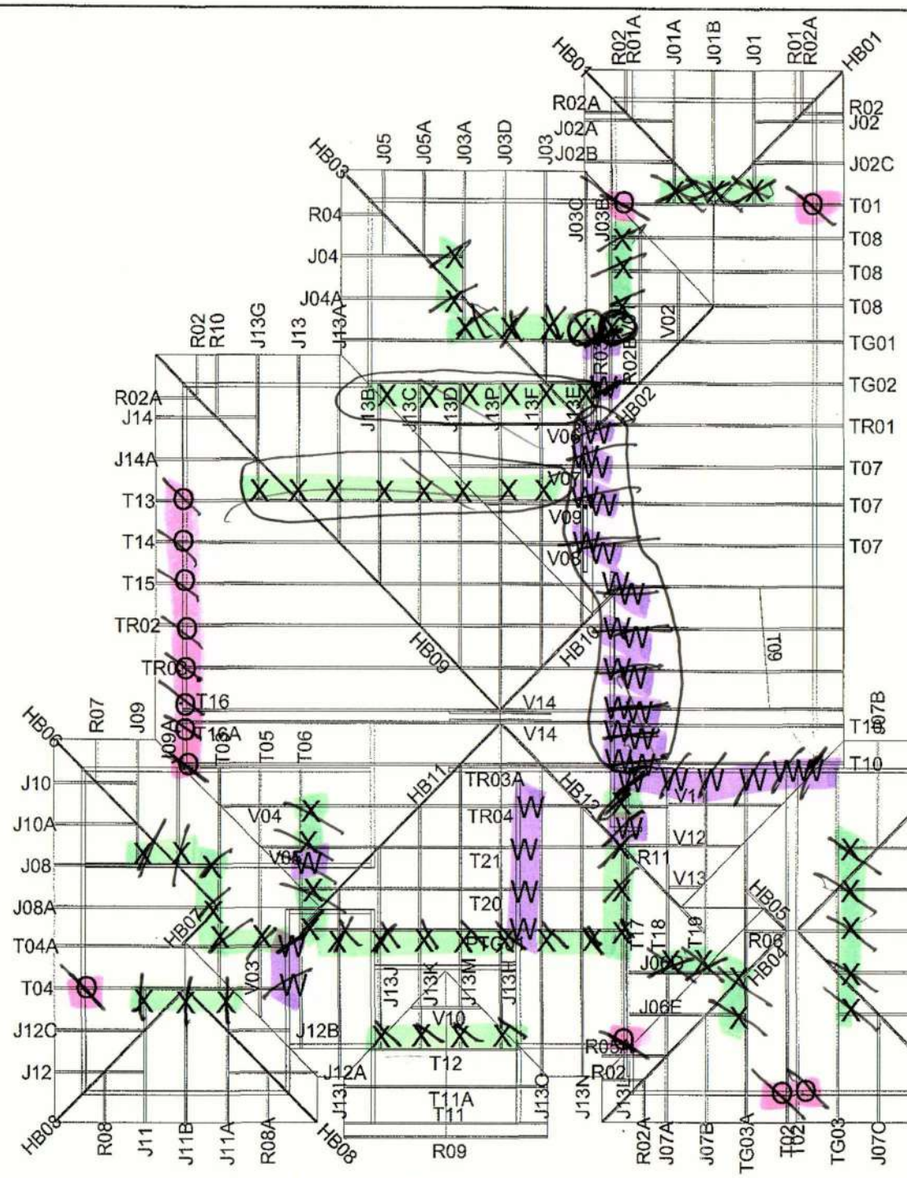
**ALL TIMBER TREATMENT COMPLIES WITH THE REQUIREMENTS OF THE BUILDING CONSENT ISSUED**

Inspection File

100223

SELWYN DISTRICT COUNCIL
13/5/10
CONSENT DOCUMENT

12 MAY 2010

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**ALL TIMBER TREATMENT COMPLIES WITH THE REQUIREMENTS OF THE BUILDING CONSENT ISSUED**

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Job Name: **Stonewood Homes _ Forrester**

Address: **28 Sheridan Dr, Rolleston**

Job: 10-110 | Page 5 of 6

Scale: 1:150 | Date: 08/05/2010 | Drawn By: Matt Linfott

FIXINGS:

- Wire Dogs supplied for all truss to plate fixing

X - Denotes 90x47 joist hanger
Z - Denotes 120x47 joist hanger
P - Denotes 190x47 joist hanger
E - Denotes 165x95 joist hanger
O - Denotes a pair of CT200 ceiling ties
M - Denotes multigrip each side
N - Denotes nailon plate
W - Denotes Pair of CPC40 Cleats
K - Denotes Pair of CPC80 Cleats
-- ALL THE ABOVE UNITS MUST BE FULLY NAILED

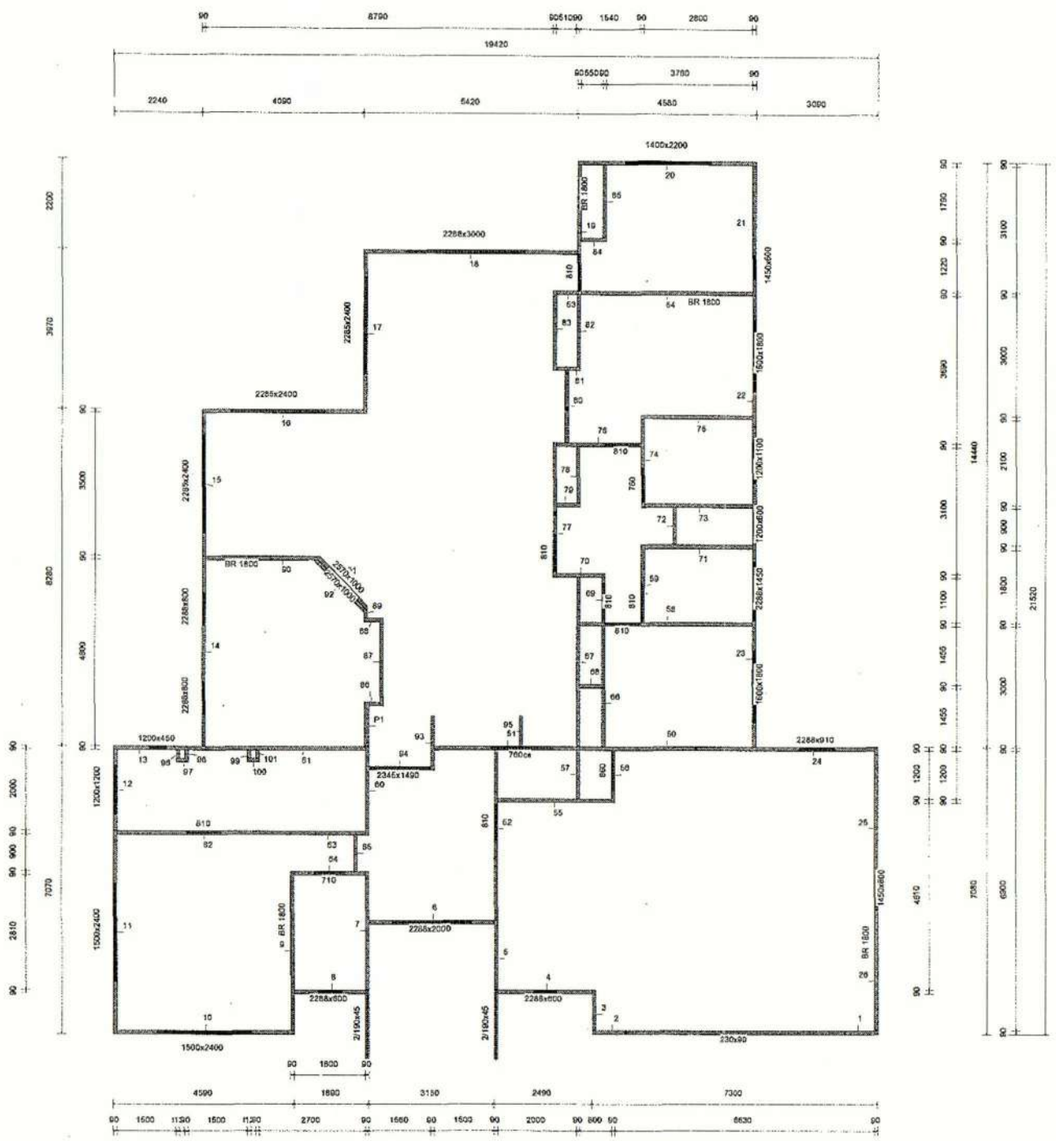
Please Note :

Builder Should Ensure That ALL OSH Approved Safety Practices Are Carried Out When Erecting Wall & Roof Framing.

Builder To Read Pre-Cut Plans In Conjunction With Architectural Plans. Builder To Check All Opening Trim Sizes And Braces On Site Before Enclosing. If Any Difference Contact Westlake Timber Ltd.

Westlake Timber Ltd Will Not Accept Any Charges For Remedial Work Unless Written Authority Is Issued By Westlake Timber Ltd Before Work Is Commenced. A Copy Of The Order Is To Accompany Any Invoice To Westlake Timber Ltd

If Experiencing Problems, Contact : Westlake Timber Ltd



**AS BUILT LAYOUT**

**ALL TIMBER TREATMENT COMPLIES WITH THE REQUIREMENTS OF THE BUILDING CONSENT ISSUED**

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P.O. Box 16 737
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Phone (03) 348-3401
Fax (03) 348-3402
Email: sales@westlake.co.nz


Job Name: Stonewood Homes _ Forrester

Address: 28 Sheridan Dr, Rolleston

Job: 10-110 | Page 3 of 6

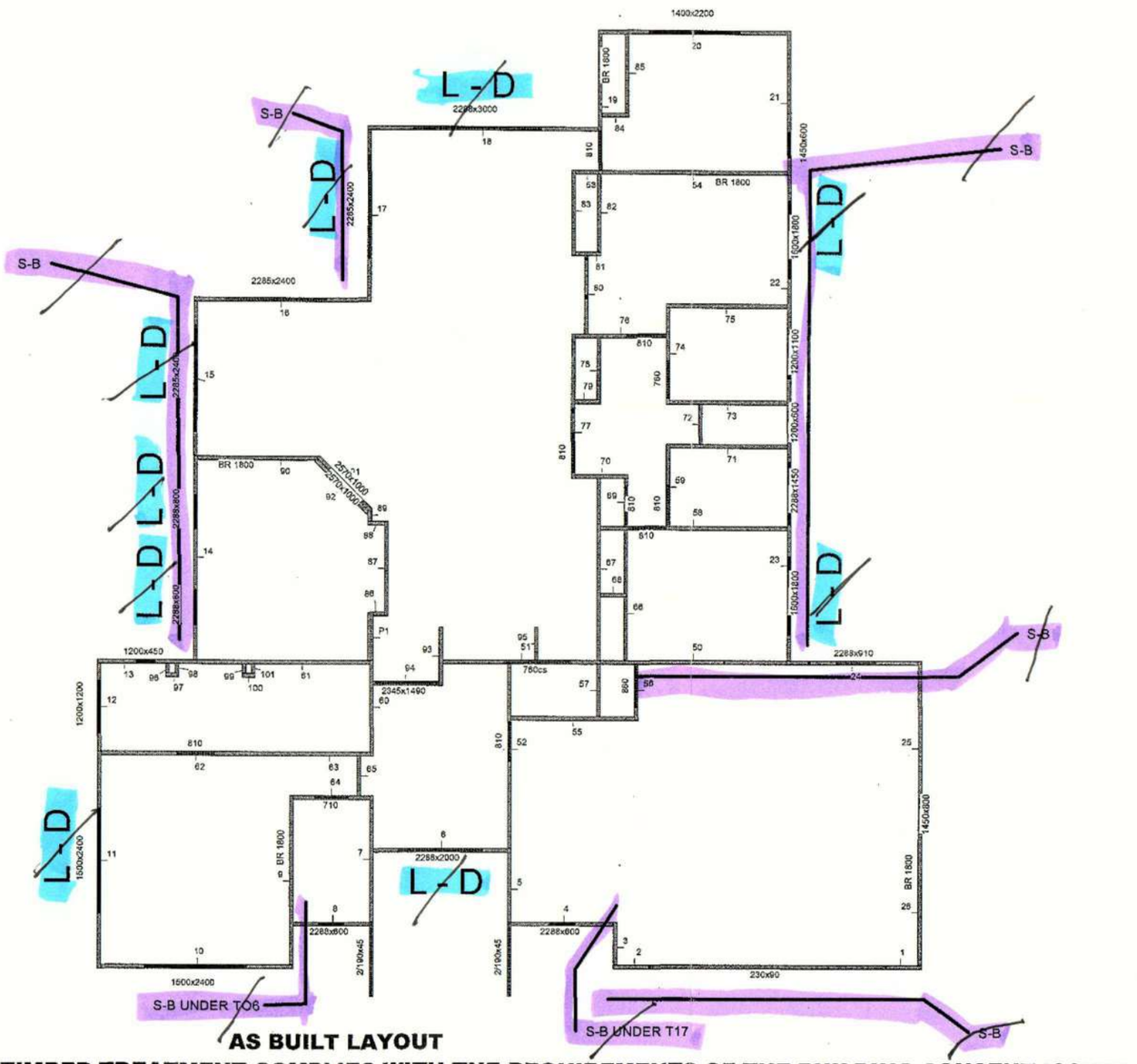
Scale: 1:150 | Date: 08/05/2010 | Drawn By: Matt Linfott

Inspection File

100223

SELWYN DISTRICT COUNCIL
13/5/10
CONSENT DOCUMENT

12 MAY 2010




**AS BUILT LAYOUT**

**ALL TIMBER TREATMENT COMPLIES WITH THE REQUIREMENTS OF THE BUILDING CONSENT ISSUED**

# WESTLAKE TIMBER LTD

★ PRENAIL FRAMES★ TRUSSES★ TIMBER

31 Sonter Road,Wigram
P.O. Box 16 737
Christchurch

Phone (03) 348-3401
Fax (03) 348-3402
Email: sales@westlake.co.nz

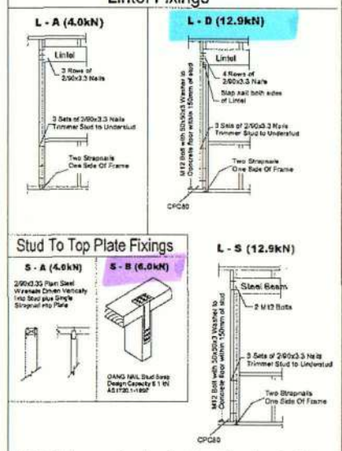
Job Name: **Stonewood Homes _ Forrester**

Address: **28 Sheridan Dr, Rolleston**

| Job: | Page 6 of 6 |
|---|---|
| 10-110 | |

| Scale | Date | Drawn By |
|---|---|---|
| 1:150 | 06/05/2010 | Matt Linfott |

## Lintel Fixings




All lintel fixings are type L - A unless otherwise stated.
All stud to top plate fixings are type s - A at 600mm max unless otherwise stated.

Inspection File

100223
SELWYN DISTRICT COUNCIL
13/5/10
CONSENT DOCUMENT

12 MAY 2010

Selwyn DISTRICT COUNCIL

# INSPECTION NOTICE

*Inspections are to be booked by the owner or builder.*

Name: Forrester

Consent No: 100223

Site Address/Rapid No: 28 Sheridan drive Rolleston

Officer: 27

Name: Chris Westwood

Type of building work: Dwelling

On 10 / 5 / 10 at 1.24 am / pm this site was inspected pursuant to the Building Act 2004 [Section 222/230] and the Local Government Act 2004 [Section 174]. The purpose of the inspection was:-

| | | | | | | | | | |
|---|---|---|---|---|---|---|---|---|---|
| a | | Siting & Founds | h | | Bond Beam | o | | Other | |
| b | | Slab | i | | Blockfill | p | | Resource Consent | |
| c | | Pre Wrap | j | | Heating unit | q | | Complaint/investigation | |
| d | | Post Wrap | k | ✓ | Sanitary drainage | r | | Compliance Schedule | |
| e | | Half height veneer | l | ✓ | Stormwater drainage | s | | WOF/ c/s audit | |
| f | | Preline/Plumbing | m | | Pile/pole holes | t | | Final Inspection | ☐ Pass ☐ Fail |
| g | | Post line bracing | n | | Cladding | u | | | |

BUILDING WORK MAY PROCEED ☑ MAY NOT PROCEED ☐ RE-INSPECTION YES ☐ NO ☑

INSPECTION NOTES:

Sanitary: 100mm pvc laid on chip to a grade 1:60 to lateral
Vents + inspection points in place.
test being put on at time of inspection

Stormwater: 100 + 90mm pvc laid in chip to a grade 1:60 to soak holes.

1/ Ensure Geo cloth is fitted

**NOTE:** A Code Compliance Certificate Application is required for 2004 Building Act Consents

Owner/Builder/Contractor confirms floor height is as recommended by Environment Canterbury ☐

ENTERED (TD)

**INSTRUCTIONS**

All work inspected is in accordance with the Building Consent ☐

Satisfactory: Work may proceed when minor items above have been attended to 1/ ☑

Some work is not satisfactory or is incomplete, as detailed above, and rectification is required. ☐

A notice to fix will be issued ☐

| | | | | | |
|---|---|---|---|---|---|
| Notice to: | Contractor ☑ | Owner ☐ | Agent ☐ | Occupier ☐ | Signed: |
| By: | Telephone ☐ | Fax ☐ | Posting ☐ | Left on Site ☑ | |

selwyn DISTRICT COUNCIL

# Building Consent Inspection Prompt Sheet
## Drainage

| PROJECT DETAILS | | | | | |
|---|---|---|---|---|---|
| **Building Consent No.** | 100223 | **Site Copy Viewed:** | | Yes | No |
| **Inspector's Name:** | Chris W | | | | |
| **Time Arrived:** | 1-24 | **Time Departed:** | | **Date:** | 10/5/10 |

| ITEMS INSPECTED | | | |
|---|---|---|---|
| **Sewage Systems** | | **Stormwater Systems** | |
| ✓ | Drain material 100 | ✓ | Drain material 90 + 100 |
| ✓ | Gradients 1:60 | ✓ | Gradients 1:60 |
| ✓ | Drain inspection points | ✓ | Drain inspection points |
| ✓ | Drain venting | | ~~Drain venting~~ |
| ✓ | Bedding material | ✓ | Bedding material chip |
| ✓ | Cover | ✓ | Cover |
| ✓ | Connection to lateral | | ~~Connection to lateral~~ |
| ✓ | Drain test bern putam. | ✓ | Soakage pits |
| **On Site Wastewater System** | | | Downpipe sizes |
| | Septic tank | | Downpipe positions |
| | Venting | | Deck drains |
| | Effluent trench depth | | Deck overflows |
| | Trench Length | | Gutter sizes and overflows |
| **Advanced Systems** | | | Bubble up sump |
| | Dripper lines | **Other Items** | |
| | Disposal bed | | Complete the database for on site systems |
| | Venting | ✓ | As laid plan |
| | Location of wastewater systems | ✓ | Tradesman's registration 18538 |

**This is not an inspection record, it serves as a prompt and simply indicates that the items listed have been inspected. The Inspection Notice provides the record of items inspected and decisions made with respect to progression of building work, together with reasons for these decisions as inspection notes.**

Selwyn DISTRICT COUNCIL

# INSPECTION NOTICE

*Inspections are to be booked by the owner or builder.*

Name: Forrester

Consent No: 100223

Site Address/Rapid No: Sheridan Dr Rolleston

Officer:

Name: T Boyd

Type of building work: Dwelling

On 6 / 5 / 10 at am / pm this site was inspected pursuant to the Building Act 2004 [Section 222/230] and the Local Government Act 2004 [Section 174]. The purpose of the inspection was:-

| | | | | | | | | | |
|---|---|---|---|---|---|---|---|---|---|
| a | | Siting & Founds | h | | Bond Beam | o | | Other | |
| b | ✓ | Slab | i | | Blockfill | p | | Resource Consent | |
| c | | Pre Wrap | j | | Heating unit | q | | Complaint/investigation | |
| d | | Post Wrap | k | | Sanitary drainage | r | | Compliance Schedule | |
| e | | Half height veneer | l | | Stormwater drainage | s | | WOF/ c/s audit | |
| f | | Preline/Plumbing | m | | Pile/pole holes | t | | Final Inspection | ☐ Pass ☐ Fail |
| g | | Post line bracing | n | | Cladding | u | | | |

BUILDING WORK MAY PROCEED ☑ MAY NOT PROCEED ☐ RE-INSPECTION YES ☐ NO ☑

INSPECTION NOTES:

Tailings, DPM installed
BP ordered @ 900¢
665 mesh covering slab area
5 x point load pads
formed. Reinforcing installed.
Services sealed to DPM & logged.

ENTERED
TP

**NOTE:** A Code Compliance Certificate Application is required for 2004 Building Act Consents

Owner/Builder/Contractor confirms floor height is as recommended by Environment Canterbury ☐

**INSTRUCTIONS** NO CARS provided

All work inspected is in accordance with the Building Consent ☐

Satisfactory: Work may proceed when minor items above have been attended to ☐

Some work is not satisfactory or is incomplete, as detailed above, and rectification is required. ☐

A notice to fix will be issued ☐

| | | | | | |
|---|---|---|---|---|---|
| Notice to: | Contractor ☑ | Owner ☐ | Agent ☐ | Occupier ☐ | Signed: |
| By: | Telephone ☐ | Fax ☐ | Posting ☐ | Left on Site ☐ | |

selwyn DISTRICT COUNCIL

# Building Consent Inspection Prompt Sheet
# Concrete Floor Slabs

| PROJECT DETAILS | | | | | |
|---|---|---|---|---|---|
| **Building Consent No.** | 100223 | **Site Copy Viewed:** | | Yes | ✓ No |
| **Inspector's Name:** | T Bond | | | | |
| **Time Arrived:** | | **Time Departed:** | | **Date:** | 6.5.10 |

| ITEMS INSPECTED | | | |
|---|---|---|---|
| **Damp Proofing** | | **Base Course** | |
| ✓ | DPM | ✓ | Material |
| ✓ | Lapping and Sealing | ✓ | Depth |
| ✓ | Penetrations | ✓ | Compaction |
| ✓ | Edge Finishing | | ~~Vegetation Removed~~ |
| | | | |
| **Reinforcing** | | **Other Items** | |
| ✓ | Mesh Size | | ~~Brace Fixings~~ |
| ✓ | Lapping | ✓ | Framing Fixings |
| ✓ | Cover | | ~~Shrinkage Control~~ |
| | Shrinkage Rods | | ~~Heating~~ |
| ✓ | Chairs | | ~~Insulation~~ |
| ✓ | Starter Lapping | | Services |
| | Starter Tying | | |

**This is not an inspection record, it serves as a prompt and simply indicates that the items listed have been inspected. The Inspection Notice provides the record of items inspected and decisions made with respect to progression of building work, together with reasons for these decisions as inspection notes.**

Selwyn DISTRICT COUNCIL

# INSPECTION NOTICE

*Inspections are to be booked by the owner or builder.*

Name: It J Forrester

Consent No: 100223

Site Address/Rapid No: 28 Sheridan Drive Rolleston

Officer:

Name: Geoff Stevenson

Type of building work: Domestic Dwelling

On 5 / 05 / 10 at 1-06 ~~am~~ / pm this site was inspected pursuant to the Building Act 2004 [Section 222/230] and the Local Government Act 2004 [Section 174]. The purpose of the inspection was:-

| | | | | | | | | | |
|---|---|---|---|---|---|---|---|---|---|
| a | | Siting & Founds | h | | Bond Beam | o | | Other | |
| b | | Slab | i | | Blockfill | p | | Resource Consent | |
| c | | Pre Wrap | j | | Heating unit | q | | Complaint/investigation | |
| d | | Post Wrap | k | ✓ | Sanitary drainage under slab. | r | | Compliance Schedule | |
| e | | Half height veneer | l | | Stormwater drainage | s | | WOF/ c/s audit | |
| f | | Preline/Plumbing | m | | Pile/pole holes | t | | Final Inspection | ☐ Pass |
| g | | Post line bracing | n | | Cladding | u | | | ☐ Fail |

BUILDING WORK MAY PROCEED ☐ MAY NOT PROCEED ☐ RE-INSPECTION YES ☐ NO ☐

INSPECTION NOTES:

* 1/ W/C to ensuits will need to be backvented ~~vent~~ within 15m of water seal if 1:60 Gradient is not maintained to all drains.
* 2/ AAV is required for ensuit shower please install exceeds 3.5 m to bathy dish.
Plans show w/c + shower to ensuit to be vented.
All wastes 40+50mm uPVC laid in max 20mm roords.
Gradient 1:40+. Two soil pipes installed
* 3/ Ensuit basin + kitchen sink to be AAV at hap
Had to wait on site for approved plans.

ENTERED

**NOTE:** A Code Compliance Certificate Application is required for 2004 Building Act Consents

Owner/Builder/Contractor confirms floor height is as recommended by Environment Canterbury ☐

**INSTRUCTIONS**

All work inspected is in accordance with the Building Consent ☐

Satisfactory: Work may proceed when minor items above have been attended to * ☑

Some work is not satisfactory or is incomplete, as detailed above, and rectification is required. ☐

A notice to fix will be issued ☐

| | | | | | |
|---|---|---|---|---|---|
| Notice to: | Contractor ☑ | Owner ☐ | Agent ☐ | Occupier ☐ | Signed: |
| By: | Telephone ☐ | Fax ☐ | Posting ☐ | Left on Site ☐ | |

# Building Consent Inspection Prompt Sheet
# Plumbing

| PROJECT DETAILS | | | | | |
|---|---|---|---|---|---|
| **Building Consent No.** | 100 223 | **Site Copy Viewed:** | ✓ Yes | | No |
| **Inspector's Name:** | Geoff Stevenson | | | | |
| **Time Arrived:** | 1-06 PM | **Time Departed:** | | **Date:** | 5-05-10 |

## ITEMS INSPECTED

| | Water | | Wastes |
|---|---|---|---|
| | Pipework | ✓ | Pipework |
| | Jointing | ✓ | Size 40 + 50 to showers |
| | Support | ✓ | Support 20mm round Max |
| | Pressure Test NA | ✓ | Gradient 1:40+ |
| | Frost Protection | ✗ | Air Admittance Valves ensuit shower |
| | Shut-off Valve | | Discharge Level |
| | Electrical Bonding | ✗ | Back Venting Could be reqn for ensuit w/c |
| | Cross Connection | ✓ | Drain Vents TO Install |
| | | ✓ | Pan Vents NA |

| | Hot Water Cylinder | | Ceiling Tanks |
|---|---|---|---|
| | Support | | Safe Tray |
| | Seismic Restraint TO | | Tray Overflow |
| | Safe Tray | | Air Gap NA |
| | Replacement Install | | Seismic Restraint |
| | Drain | | Support |
| | Open Vent | | |
| | Frost Protection | | |
| | PRV/TPR | | |
| ✓ | Copper Pipe Outlet Protected | | |
| | Tundish Level | | |
| | Wetback | | |
| | Valving | | |
| | Tempering Valve | | |

**This is not an inspection record, it serves as a prompt and simply indicates that the items listed have been inspected. The Inspection Notice provides the record of items inspected and decisions made with respect to progression of building work, together with reasons for these decisions as inspection notes.**

Selwyn DISTRICT COUNCIL

# INSPECTION NOTICE

*Inspections are to be booked by the owner or builder.*

Name: Forrester

Consent No: 100223

Site Address/Rapid No: Sheridan Dr Rolleston

Officer:

Name: Tom

Type of building work: Dwelling

On 3 / 5 / 10 at am / pm this site was inspected pursuant to the Building Act 2004 [Section 222/230] and the Local Government Act 2004 [Section 174]. The purpose of the inspection was:-

| | | | | | | | | | |
|---|---|---|---|---|---|---|---|---|---|
| a | ✓ | Siting & Founds | h | | Bond Beam | o | | Other | |
| b | | Slab | i | | Blockfill | p | | Resource Consent | |
| c | | Pre Wrap | j | | Heating unit | q | | Complaint/investigation | |
| d | | Post Wrap | k | | Sanitary drainage | r | | Compliance Schedule | |
| e | | Half height veneer | l | | Stormwater drainage | s | | WOF/ c/s audit | |
| f | | Preline/Plumbing | m | | Pile/pole holes | t | | Final Inspection | ☐ Pass ☐ Fail |
| g | | Post line bracing | n | | Cladding | u | | | |

BUILDING WORK MAY PROCEED ☑ MAY NOT PROCEED ☐ RE-INSPECTION YES ☐ NO ☑

INSPECTION NOTES:

Siting of dwelling confirmed by contractor as per plan.

Foundation 240mm wide into firm ground.

Reinforcing 2x D16 horizontals with D10 stirrups @ 600c tied & supported.

Provisions for services installed.

ENTERED

KL

**NOTE:** A Code Compliance Certificate Application is required for 2004 Building Act Consents

Owner/Builder/Contractor confirms floor height is as recommended by Environment Canterbury ☐

**INSTRUCTIONS**

All work inspected is in accordance with the Building Consent ☑

Satisfactory: Work may proceed when minor items above have been attended to ☐

Some work is not satisfactory or is incomplete, as detailed above, and rectification is required. ☐

A notice to fix will be issued ☐

| | | | | | |
|---|---|---|---|---|---|
| Notice to: | Contractor ☑ | Owner ☐ | Agent ☐ | Occupier ☐ | Signed: |
| By: | Telephone ☐ | Fax ☐ | Posting ☐ | Left on Site ☐ | |

# Building Consent Inspection Prompt Sheet
# Concrete Footings and Foundation Walls

| PROJECT DETAILS | | | | | |
|---|---|---|---|---|---|
| **Building Consent No.** | 100223 | **Site Copy Viewed:** | | Yes ✓ | No |
| **Inspector's Name:** | Top | | | | |
| **Time Arrived:** | | **Time Departed:** | | **Date:** | 3.5.10 |

| ITEMS INSPECTED | | | |
|---|---|---|---|
| **Site Factors** | | **Steel Work** | |
| ✓ | Potential Flooding | ✓ | Horizontal Rods |
| ✓ | Distance to Boundary | ✓ | Vertical Rods |
| ✓ | Site Stability | ✓ | Starters |
| ✓ | Ground Bearing | ✓ | Steel Identified |
| ✓ | Vegetation Clear | ✓ | Bottom Cover |
| ✓ | Topsoil Removed | ✓ | Side Cover |
| | Overhead or close Power wires | ✓ | Lapping |
| | | ✓ | Tying |
| | | | |
| **Excavations** | | **Other Items** | |
| ✓ | Depth | ✓ | Services Blockouts |
| ✓ | Width | | Steel Around Blockouts |
| ✓ | Formwork | | Finished Floor Height |
| ✓ | Level Bottom | | Drains under Building |
| | Stepped Foundations | | Subfloor Ventilation |

**This is not an inspection record; it serves as a prompt and simply indicates that the items listed have been inspected. The Inspection Notice provides the record of items inspected and decisions made with respect to progression of building work, together with reasons for these decisions as inspection notes.**

**This building consent is subject to the following Conditions.**

**Selwyn District Council Building Consent Authority Officers will carry out the following inspections:**

**Foundations** 3-05-10

Excavation for foundations including ground bearing capacity.
Reinforcing steel in foundation before concrete is poured.
Post hole excavations.

**Waste Pipes** CDS 5-05-10

Inspection and testing of sanitary plumbing before placement of granular base course underfloor slab.

**Floor Slab** Todd 6-05-10

To check DPC, reinforcing/thickenings to floor slab before concrete is poured.

**Pre-wrap** Chris 8-06-10

Structural framing and fixings prior to building wrap, soffit, and roofing installation.
Valley and secret gutter flashings prior to roofing installation.
Control joints and saw cuts to floor slab have been completed.

**Pre-clad** CDS 11-06-10 Fail
Peter 18-06-10 Pass

Inspection of building wrap, DPM, and flashings prior to veneer construction.
Cavity battens and flashings in place, prior to cladding being fixed. 23-06-10

**Cladding Half High** Peter 18-06-10

Veneer mid height inspection for cavity width, tie fixing, and check for mortar droppings.

Tim 30-06-10 Fail ✓
✓ CMS 3-08-10 Pass ✓

**Pre-line**

Tim 1-07-10 Fail ✓
Daryl 16-07-10 Fail ✓
Carl 30-07-10 Fail ✓

**NOTE: A weathertight exterior is required before a preline inspection occurs.**

Plumbing pipe work prior to fixing of internal linings.

Preline moisture test and structural framing check including confirmation of treated timber where required.

Bracing elements prior to fixing of internal linings.

Completeness of insulation prior to fixing of internal linings.

Window installation to check ventilation, air seals, and glazing.

**Plumbing & Drainage** ✓ Chris 10-08-10 ✓

**NOTE:- All drainage work must be inspected prior to backfilling and a fully dimensioned 'as-built' drainage plan for Council records must be available when the Inspector visits the site.**

Inspection and testing of sanitary sewer. ←

Connection to sewer lateral. ←

Spouting including rain water heads, overflows and downpipes.

Stormwater disposal to soakholes. ←

**Post-line** CMS 6-08-10 Fail ✓
Chris 10-08-10 Pass ✓

Check nailing off of bracing panels before stopping work is carried out.

**Tanking** Tim 1-09-10 ✓

Inspection of wet area, shower sealing, tanking of walls and floor substrate prior to installing surface finishes.

**Practical Completion - Residential**

Hot water reticulation valving.

Check temperature of hot water.

Seismic restraints to hot water cylinder and storage tanks.

Domestic mechanical ventilation.

Slip resistant surfaces.

Smoke alarm installation.

Window restrictors where appropriate.

Safety glass where appropriate.

Sealed driveway/surfaces including associated drainage.

An 'as built' truss layout, showing truss and top plate connectors, and a Producer Statement together with the lintel sizes outside the scope of NZS 3604 must be submitted to the Selwyn District Council Building Consent Authority for approval prior to the pre-wrap inspection being booked.

Upon completion of the building work Energy Work Certificates for the following items shall be provided to the owner to submit with their documentation for Code Compliance Certificate application, for the following:-

- ❑ Gasfitting
- ❑ Electrical work

Upon completion of the building work the Plumber shall provide a Pressure Test Certificate to the owner to submit with their documentation for Code Compliance Certificate application.

**Advice Notes:-**

**When the final inspection has been carried out and all building work approved, the Code Compliance Certificate can be applied for (The Code Compliance Certificate is invoiced separately with any additional costs if applicable).**

**Compliance schedule**

A compliance schedule is not required for this project.

## Attachments

Copies of the following documents are attached to this building consent:
Project Information Memorandum Number 100223P.

## Other Approvals Required

Nil

Signature

12/04/10

Date of Granting

Selwyn District Council Building Consent Authority Signatory

Position

On behalf of: Selwyn District Council

Issue Date: 1 APR 2010

# Building Consent 100223

**Section 51, Building Act 2004**

| | |
|---|---|
| Street address of building: | 28 SHERIDAN DRIVE, ROLLESTON |
| Legal description: | LOT 148 DP 367715 |
| Valuation number: | 2405535748 |
| Rapid number: | |
| Building name: | |
| Building location on site: | |
| Level/unit number: | |

| | |
|---|---|
| Name of Owner: | I H & J I FORRESTER |

| | |
|---|---|
| Applicant/Agent: | STONEWOOD HOMES |
| Contact person: | JO-ANNE AGER |
| Mailing address: | PO BOX 11036, SOCKBURN, CHRISTCHURCH 8443 |
| Street address/registered office: | 47 WATERLOO ROAD, CHRISTCHURCH |
| Phone number: | |
| Landline: | 354 2344 |
| Mobile: | |
| Daytime: | |
| After hours: | |
| Facsimile number: | 354 2342 |
| Email address: | jo-anne.ager@stonewood.co.nz |
| Website: | |

The following building work is authorised by this building consent:

| | |
|---|---|
| Description: | DOMESTIC DWELLING |
| Intended Use: | 3 Bedroom Domestic Dwelling with Study & Attached Double Garage with Workshop - 300.14sqm2 |
| Estimated Value: | $358,421 |

This building consent is issued under section 51 of the Building Act 2004. This building consent does not relieve the owner of the building (or proposed building) of any duty or responsibility under any other Act relating to or affecting the building (or proposed building).

This building consent also does not permit the construction, alteration, demolition, or removal of the building (or proposed building) if that construction, alteration, demolition, or removal would be in breach of any other Act.

**This Building consent is invalid unless work has commenced within 12 months from the date of issue** (section 52 of Building Act 2004).

**A Code Compliance Certificate must be applied for as soon as building work is completed** (section 92 of Building Act 2004).

Note:- Where conflict may occur between plan/specification information and/or any other specific instruction in application documentation, the applicant and/or designer is to note that the Schedule confirming the method of compliance with the NZ Building Code **will always be the prime default control for Council.**

Any amendment to this Approved Building Consent will require approval prior to the work being carried out. This will require an Amended Building Consent application to be made.

## Booking Inspections

1. The Building Consent Authority, is to be advised that the work is ready for inspection at least 1 clear working day before that inspection is required. Please note this may not guarantee an inspection at the desired time if an inspector is not available at that time.

2. All inspections are to be booked by phoning 03 347 2839 between the hours of 8:30am and 5:00pm.

3. The complete set of Approved Building Consent documents (including stamped plans and specifications) MUST be available on site for the Officer carrying out the inspection. No inspection will be undertaken if the approved documentation is not available.