



BUILDING CONSENT APPLICATION

BC 020863

Private Bag 1, Leeston | Telephone (03) 324 5839 | Fax (03) 324 3531 | Email: admin@sdcc.govt.nz

THIS IS NOT A RESOURCE CONSENT APPLICATION

APPLICANT

Owners Name: ^{CD} Christopher Briggs

R L Rachel Kennett

Applicant Name: ^{CF} IN-SPECT

Mailing address: 35 Maces Road

Ch-Ch 6

Phone: (daytime) 3844492 Fax: 03-3846588

Mobile number: 025-374641

Email: in-spect@xtra.co.nz

* Under section 30 of the Building Act 1991, the applicant must be the owner of the land on which building work is contemplated or a person who or which has agreed in writing, whether conditionally or unconditionally, to purchase the land or leasehold estate or interest in the land, or to take a lease in the land, while the agreement remains in force.

SITE LOCATION DETAILS

(refer to your Rates Demand for details)

Street / Road Ambrose Estate

6 Rembrandt Drive Leeston

Rapid Number NONE

Valuation Roll Number 24054/331/00

Legal description Lot: 197 Dp: 82719

Star Rates
Evergreen Realty

This could include all or any of the following:- Lot, DP, Section, Block, or Township, etc.

This application is for:

- ☒ Building consent (including Project Information Memorandum)
☐ Project Information Memorandum only (PIM)
☐ Building consent for PIM N°: _____

PIM TYPE OF BUILDING

COMPLETED

Type of building work: (eg dwelling, commercial, farm shed, change of use)

Dwelling attached Garage

Intended use: (eg domestic use, shop, implement shed, garage to bedroom)

Domestic living

Life expectancy of building:

Indefinite but not less than 50 years ☒

Or Specified as _____ years ☐

Is this project being staged? Yes ☒ No ☐

If yes please give us details on the second page of this application in the "notes by applicant" section.

Estimated Value (incl. GST) \$ 136,000

FLOOR AREAS

Floor areas are for new work only:-

Ground floor: 172 sqm

First floor: _____

Site coverage will be assessed by planning staff.

CONFIDENTIALITY & SIGNED BY

We require our plans and/or specifications to remain confidential to protect copyright ☒

Note: if acting "for and on behalf", please read the following declaration before signing:-
I hereby declare that I am authorised to act as Agent of the Applicant.

Signed by or for and on behalf of the Applicant

Owner ☐

or Agent ☒

Date: 1/7/02



-2 JUL 2002

KEY PERSONNEL

Designer: GOLDEN HOMES

Phone: 3839681

Address: 11 Amoka Crescent, Ch. Ch

Fax: 03-3839687

Building Certifier: KELVIN NEWMAN Rego: 11

Phone: 3844492

Address: 35 Maces Road, Ch. Ch 6

Fax: 03-3846588

Builder: GOLDEN

Phone:

Address:

Fax:

Registered Drainlayer: HANSEN DRAINAGE Rego: 11117

Phone: 025-334089

Address: PO Box 32, Rangiora

Fax:

Craftsman Plumber: STEPHEN HILL Rego: 10980

Phone: 025-2211493

Address: 9 Kaiora Street, Ch. Ch

Fax:

NOTES BY APPLICANT

Other notes or comments which you as the applicant may wish to add

CHECKLIST

Have you enclosed with your application:-

- ☐ A current copy of your Certificate of Title showing your name. If this is not available, a copy of your sale and purchase agreement
- ☐ Two copies of all the information you are supplying.
- ☐ A deposit of \$100.00.
- ☐ Your builders name, and contact details.
- ☐ Your plumber and drainlayers name, and contact details. (if required)
- ☐ Any cultural heritage significance of the building.
- ☐ Specific arrangements for multiple or unusual inspections

Refer to individual check lists for the specific information required for the type of project your are applying for.

IN-SPECT

BUILDING CERTIFICATION CO.LTD.

• PHONE 384 4492 • FAX 384 6588 • MOBILE 025 374 641

NOTICE OF INSPECTION BUILDING ACT 1991

Owner's Name:

Briggs - Kennett

Site Address:

6 Rembrandt Drive

Scope of Building Certifier's Engagement No: 11

Territorial Authority Consent No: *020 863*

Inspection was made on *16/9/02* at *4:00* am/pm pursuant to The Building Act 1991.

PURPOSE OF INSPECTION:

PREPOUR FOUNDATION

Siting

Foundation Depth, Width

Reinforcing

Bearing

Slab Tiles

Surveyor Required

BLOCK WALL

Reinforcing

PREPOUR SLAB

Wastes

D.P.C.

Mesh

Tailings

Thickenings

1/2 HEIGHT VENEER

Cavities

Tie Spacings

Building Paper

Tie Fixing

D.C.P. To Windows

POST LINING

Brace Lining

Gib Nailing System

SOLID FUEL HEATER

Flue & Restraint

Unit Clearance

PRELINE INSPECTION

Moisture Content

Plate Fixings

Framing

Lintels

Bracing

Truss Connections

Roof Bracing

Insulation

Second Floor Joists

Ceiling Diaphragms

Verandah Beams

Gib Fire Wall

Wind Zone Fixings

Other Specify

PRELINE PLUMBING

Pipe Type/Sizing

Water Supply Entry

Lagging

Cylinder

Header Tank

Waste/Venting

Soil Stack

Seismic Restraint

Temperature Valve

Cylinder Relief

Other Specify

SANITARY DRAINAGE

Trench Fill Under Pipes

Inspection Points

Branch Drains

Soil Sacks

Main Vent Position

Boundary Connection

Sanitary Plumbing

Connection to Main Drain

Storm Water

Septic Tank & Effluent Disposal

Sub Floor Inspection

Pipes & Connections

Bearer Size/Spacing

Floor Joists

Sub Floor Insulation

Sub Floor Bracing

Other Specify

Fixings For Exterior Plaster System

Engineers Reports

Found Required

Slab Required

Bracing Required

COMMENTS

*MC 14-16% * D.P.C. to extend to bottom & complete around*
Bracing: as per plan windows
Insulation: OK
Plumbing: Pressure test prior to lining

Certifier

Building Inspector

R.E. Coulter



INSPECTION OK



REINSPECTION

INSTRUCTIONS



All work inspected is in accordance with The Building Consent/Certificate.



Some work is not satisfactory as detailed above and rectification is required.



A formal notice to rectify will be issued.

SIGNED

Contractor/Owner/Agent/Occupier

Date

IN-SPECT

BUILDING CERTIFICATION CO.LTD.

NOTICE OF INSPECTION BUILDING ACT 1991

• PHONE 384 4492 • FAX 384 6588 • MOBILE 025 374 641

Owner's Name: Briggs / Kennett

Site Address: 6 Rembrandt Drive

Scope of Building Certifier's Engagement No: 11

Territorial Authority Consent No: 020863

Inspection was made on 24/9/02 at _____ am/pm pursuant to The Building Act 1991.

PURPOSE OF INSPECTION:

PREPOUR FOUNDATION		PRELINE INSPECTION		SANITARY DRAINAGE	
Siting		Moisture Content		Trench Fill Under Pipes	
Foundation Depth, Width		Plate Fixings		Inspection Points	
Reinforcing		Framing		Branch Drains	
Bearing		Lintels		Soil Sacks	
Slab Tiles		Bracing		Main Vent Position	
Surveyor Required		Truss Connections		Boundary Connection	
BLOCK WALL		Roof Bracing		Sanitary Plumbing	
Reinforcing		Insulation		Connection to Main Drain	
PREPOUR SLAB		Second Floor Joists		Storm Water	
Wastes		Ceiling Diaphragms		Septic Tank & Effluent Disposal	
D.P.C.		Verandah Beams		Sub Floor Inspection	
Mesh		Gib Fire Wall		Pipes & Connections	
Tailings		Wind Zone Fixings		Bearer Size/Spacing	
Thickenings		Other Specify		Floor Joists	
1/2 HEIGHT VENEER		PRELINE PLUMBING		Sub Floor Insulation	
Cavities		Pipe Type/Sizing		Sub Floor Bracing	
Tie Spacings		Water Supply Entry		Other Specify	
Building Paper		Lagging		Fixings For Exterior Plaster System	
Tie Fixing		Cylinder			
D.C.P. To Windows		Header Tank		Engineers Reports	
POST LINING	✓	Waste/Venting		Found Required	
Brace Lining		Soil Stack		Slab Required	
Gib Nailing System	✓	Seismic Restraint		Bracing Required	
		Temperature Valve			
SOLID FUEL HEATER		Cylinder Relief			
Flue & Restraint		Other Specify			
Unit Clearance					

COMMENTS

gib nailing iso cbs

Certifier

R. Newman

Building Inspector

☒ **INSPECTION OK**

☐ **REINSPECTION**

INSTRUCTIONS

- ☒ All work inspected is in accordance with The Building Consent/Certificate.
☐ Some work is not satisfactory as detailed above and rectification is required.
☐ A formal notice to rectify will be issued.

SIGNED

Contractor/Owner/Agent/Occupier

Date



CODE COMPLIANCE CERTIFICATE NO: 02/265
Section 56 (3), Building Act 1991

Issued by: KELVIN NEWMAN
 currently approved and registered as a Building Certifier-Rego No: 11

To: Selwyn District Council

Building Consent No: 020863

PROJECT	PROJECT LOCATION
New or Relocated Building ☒	Street Address:
Alteration ☐	6 Rembrandt drive
Logfire Fire ☐	Legal Description:
Intended use (s):	Lot No: 197 Dp: 82719
Domestic Living ☒	
Out Buildings ☐	
Intended life:	
Indefinite but not less than	
50 years. ☒	
Specified as years.	
Demolition ☐	
Being stage one of intended one stages.	

This is:

- ☒ A Final Code Compliance Certificate issued in respect of all of the building work under the above consent.
- ☐ An Interim Code Compliance Certificate in respect of part only of the building work under the above building consent as specified in the attached page (s) headed "Scope and Conditions of Code Compliance Certificate No: 02/265 (being this certificate).

Signed by or on behalf of the Building Certifier:

Name: Kelvin Newman
 Position: Certifier

Date: 29/10/02

FINAL INSPECTION FOR EVALUATION OF CODE COMPLIANCE CERTIFICATE

Owner's Name: <i>Briggs - Kenneth</i>					
Site Address: <i>6 Rembrandt Drive</i>					
Scope of Building Certifier's Engagement No: 11			Territorial Authority Consent No: <i>020 863</i>		
Inspection was made on <i>25/10/02</i> at <i>9:15</i> am/pm pursuant to The Building Act 1991.					
B1 STRUCTURE		E1 SURFACE WATER		G1 & G2 PERSONAL HYGIENE	
File Check <i>/</i>		Finished Floor Level <i>/</i>		Laundry Tub <i>/</i>	
Producer Statements <i>/</i>		Decks <i>/</i>		WC <i>/</i>	
(Producer Statement)		Over Flows <i>/</i>			
(Construction Review)		Drive Sumps <i>/</i>		G4 VENTILATION	
Truss Design <i>/</i>		Down Pipes <i>/</i>		(Extractor Fans Vented To)	
B2 DURABILITY		Roof Gutters <i>/</i>		(Exterior)	
Product Literature <i>/</i>		E2 EXTERNAL MOISTURE		Opening Windows <i>/</i>	
(Same Product Used)		Flashings <i>/</i>			
(As On Consent)		Roof Penetrations <i>/</i>		G12 WATER SUPPLIES	
		Cladding Finishes <i>/</i>		Cylinder Restraint <i>/</i>	
C1 OUTBREAK OF FIRE				Temperature Valve <i>/</i>	
Fire Wall <i>NA</i>		E3 INTERNAL MOISTURE		Cylinder Relief <i>/</i>	
Solid Fuel Heater <i>NA</i>		Shower <i>/</i>		Flow Rates <i>/</i>	
		Bath <i>/</i>		Back Flow <i>/</i>	
D1 ACCESS ROUTES		Ventilation <i>/</i>		Under Bench Cylinder <i>/</i>	
Stairs <i>NA</i>		Impervious Floor <i>/</i>		Pipe Lagging <i>/</i>	
Handrails <i>NA</i>		Impervious Wall <i>/</i>		Header Tank <i>/</i>	
Non-Slip Areas <i>/</i>				Header Tank Restraint <i>/</i>	
		F2 HAZARDOUS BUILDING MATERIAL		G13 FOUL WATER	
		Safety Glazing Windows <i>/</i>		Air Admittance Valves <i>/</i>	
				Fixture Venting <i>/</i>	
		F4 SAFETY FROM FALLING		Main Vent <i>/</i>	
		Upper Floor Windows <i>NA</i>		Gully Traps Height <i>/</i>	
		Barriers <i>NA</i>			
INTERIM CODE COMPLIANCE CERTIFICATE ISSUE ☐ YES ☐ NO				H1	
SCOPE & PARTICULARS OF INTERIM CCC				Ceiling <i>/</i>	
				Batts <i>/</i>	
				Down Lights <i>/</i>	
CODE COMPLIANCE ISSUE ☐ YES ☐ NO					
COMMENTS <i>All work complete OK to issue CCC</i>					
CERTIFIER			BUILDING INSPECTOR <i>R.E. Cooper</i>		
☒ INSPECTION OK ☐ REINSPECTION			INSTRUCTIONS ☒ All work inspected is in accordance with The Building Consent/Certificate. ☐ Some work is not satisfactory as detailed above and rectification is required. ☐ A formal notice to rectify will be issued.		
SIGNED					
Contractor/Owner/Agent/Occupier			Date		

Owner's Name:	Kenneth - Bigg
Site Address:	6 Rembrandt Drive, Lot: 197
Scope of Building Certifier's Engagement No: 11	Territorial Authority Consent No: 090863
Inspection was made on 31/7/02 at 5.00 am/pm pursuant to The Building Act 1991.	

PURPOSE OF INSPECTION:

PREPOUR FOUNDATION		PRELINE INSPECTION		SANITARY DRAINAGE	
Siting		Moisture Content		Trench Fill Under Pipes	
Foundation Depth, Width		Plate Fixings		Inspection Points	
Reinforcing		Framing		Branch Drains	
Bearing		Lintels		Soil Sacks	
Slab Tiles		Bracing		Main Vent Position	
Surveyor Required		Truss Connections		Boundary Connection	
BLOCK WALL		Roof Bracing		Sanitary Plumbing	
Reinforcing		Insulation		Connection to Main Drain	
PREPOUR SLAB	/	Second Floor Joists		Storm Water	
Wastes	/	Ceiling Diaphragms		Septic Tank & Effluent Disposal	
D.P.C.	/	Verandah Beams		Sub Floor Inspection	
Mesh	/	Gib Fire Wall		Pipes & Connections	
Tailings	/	Wind Zone Fixings		Bearer Size/Spacing	
Thickenings		Other Specify		Floor Joists	
1/2 HEIGHT VENEER		PRELINE PLUMBING		Sub Floor Insulation	
Cavities		Pipe Type/Sizing		Sub Floor Bracing	
Tie Spacings		Water Supply Entry		Other Specify	
Building Paper		Lagging		Fixings For Exterior Plaster System	
Tie Fixing		Cylinder			
D.C.P. To Windows		Header Tank		Engineers Reports	
POST LINING		Waste/Venting		Found Required	
Brace Lining		Soil Stack		Slab Required	
Gib Nailing System		Seismic Restraint		Bracing Required	
		Temperature Valve			
SOLID FUEL HEATER		Cylinder Relief			
Flue & Restraint		Other Specify			
Unit Clearance					

COMMENTS

D.P.C. : OK

waste pipes : some work to complete

* Slab to cut as per NZS3604

Certifier	Building Inspector R.E. Lawless
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☒ **INSPECTION OK**

☐ **REINSPECTION**

INSTRUCTIONS

☒ All work inspected is in accordance with The Building Consent/Certificate.

☐ Some work is not satisfactory as detailed above and rectification is required.

☐ A formal notice to rectify will be issued.

SIGNED

Contractor/Owner/Agent/Occupier

Date

Westlake Timber

Producer Statement : Page 1

Job: 2-193

Client: Golden Homes

Site: Lot 197 Ambrose Estate

Description: Briggs & Kennet Residence

Phone: 01N 187A

Rolleston

MiTek 20/20 - Engine Gamma1 (Build 1082)

BRIGGS/KENNETT

MiTek NZ Ltd.

Phone:

Printed: 15.42.55 05 Aug 2002

PRODUCER STATEMENT
MiTek 2000™ TRUSS DESIGN PROGRAMCOPY FOR YOUR
INFORMATION

Certification of MiTek 2000™ Truss Design Program

The MiTek 2000™ truss design program has been developed by Gang-Nail Group Ltd for the design of Gang-Nail timber roof, floor and attic trusses in New Zealand. The truss designs com by this program are prepared using sound and widely accepted engineering principles, and in accordance with NZS 4203, NZS 3603 and NZS 3604 as verification methods and acceptable solutions of the approved documents issued by the Building Industry Authority to satisfy the requirements of Clause B1:Structure of the Building Regulations 1992. This computer design for proposed building complies with the relevant provisions of the NZ Building Code. This is subject to all proprietary products meeting their performance specification requirements, the provisio adequate bracing, fixings and the correct input of design data carried out by suitably trained personnel.

Summary of MiTek 2000™ Truss Design Data and Output

The MiTek 2000™ computer design output for this job titled and located at the site identified on the top of this page is based on the following parameters entered into the program. The own must ensure that the following job details below are current and relevant to the project before fabrication and erection of the Gang-Nail trusses.

Job Details

Roof Truss

Timber Group:

DF No.1 Fr D

Pitch:

22.50 deg

Std Overhang:

750 mm

Roof

Ceiling

Material: Monier Concrete Tiles

Material: Standard

Dead Load: 0.600 kPa

Dead Load: 0.200 kPa

Restrains: 400 mm centres

Restrains: 400 mm centres

Live Load: Q_{ur} = 0.250 kPaQ_c = 1.000 kN

Wind

Area: High (44.0 m/s)

Pressure Coeff: C_{pe} = varies; C_{pi} = -0.30, 0.20

Snow

Location: Zone 4 at 100 m

Open Ground Load: 0.550 kPa

Basic Roof Load: 0.440 kPa

These trusses must be fabricated and erected in accordance with the Gang-Nail manual. Proper erection bracing must be installed to hold the components true and plumb and in a safe con until permanent bracing is fixed. All permanent bracing and fixing must be installed before any loads are applied. The specifications for timber shall be as shown on the output. The timber be standard gauged and treated to the requirements of NZMP 3640. Unless otherwise noted, this design assumes that the steel fixings and timber connectors are situated in a closed environment, as defined by NZS3604:1999 Section 4.

Truss List

Legend: * = detail only, ? = input only, T = failed design, Unmarked trusses = designed successfully

Truss	Qty	Span (mm)	Pitch (deg)	Spacing (mm)	Truss	Qty	Span (mm)	Pitch (deg)	Spacing (mm)	Truss	Qty	Span (mm)	Pitch (deg)	Spacing (mm)
J01	1	2206	22.50	900	J07E	1	2906	22.50	900	*HB01	2	5449	16.33	900
J01A	1	2206	22.50	900	J07F	3	2906	22.50	900	*HB02	2	4106	16.33	900
J01B	1	2206	22.50	900	J08	1	2653	22.50	900	*HB03	2	5803	16.32	900
J01C	1	2206	22.50	900	J09	1	2619	20.94	900	*HB04	2	2499	16.33	900
J01D	1	2206	22.50	900	J09A	1	2619	20.94	900	*HB05	1	2990	16.33	900
J02	1	1306	22.50	900	J10	1	2420	22.50	900	*HB06	1	3761	16.32	900
J02A	1	1306	22.50	900	PTG01	1	500	0.00	900	*R01	1	1200	22.50	900
J03	1	2156	22.50	900	T01	1	6260	22.50	900	*R01A	1	1200	22.50	900
J03A	1	2156	22.50	900	T02	1	4360	22.50	900	*R01B	1	1200	22.50	900
J03B	1	2156	22.50	900	T02A	1	4360	22.50	900	*R01C	1	1200	22.50	900
J04	1	1256	22.50	900	T03	1	6760	22.50	900	*R02	1	1150	22.50	900
J04A	1	1256	22.50	900	T03A	1	6760	22.50	900	*R02A	1	1150	22.50	900
J05	1	2456	22.50	900	T03B	1	6760	22.50	900	*R02B	1	1150	22.50	900
J05A	1	2456	22.50	900	T04	3	6260	22.50	837	*R02C	1	1150	22.50	900
J05B	1	2456	22.50	900	T05	1	6260	22.50	837	*R03	1	1450	22.50	900
J05C	1	2456	22.50	900	T06	2	9460	22.50	900	*R03A	1	1450	22.50	900
J05D	1	2456	22.50	900	T07	2	4360	22.50	900	*R04	2	1094	22.50	900
J06	1	1556	22.50	900	TG01	1	6260	22.50	900	*R04A	2	1094	22.50	900
J06A	1	1556	22.50	900	TG02	1	6760	22.50	900	*R05	1	2550	22.50	900
J06B	1	1556	22.50	900	TG03	1	9460	22.50	900	*R06	1	914	22.50	900
J06C	1	1556	22.50	900	TG04	1	9460	22.50	900	*R07	2	2563	22.50	900
J07	1	2906	22.50	900	TR01	1	9460	22.50	900	*R08	1	1214	22.50	900
J07A	1	2906	22.50	900	TR02	1	9460	22.50	900	*R08A	1	1214	22.50	900
J07B	1	2906	22.50	900	V01	1	2454	22.50	900	*R09	1	1370	22.50	900
J07C	1	2906	22.50	900	V02	1	1554	22.50	900	*R09A	1	1370	22.50	900
J07D	1	2906	22.50	900	V03	1	954	22.50	900					

Total quantity : 90

020863

Westlake Timber

Producer Statement : Page 1

Job: 2-193

Client: Golden Homes
Phone:

Site: Lot 197 Ambrose Estate
Rolleston

Description: Briggs & Kennet Residence

Phone:

MiTek 20/20 - Engine Gamma1 (Build 1082)

Mitek NZ Ltd.

Printed: 15:42:55 05 Aug 2002

The computer design input has been carried out by:

Signed: 

Date: 5-8-02

Name of Computer Operator:

Lloyd Harwood

Qualifications and Title:

Company:

Westlake Timber

Verification / Acceptance of Input Data:

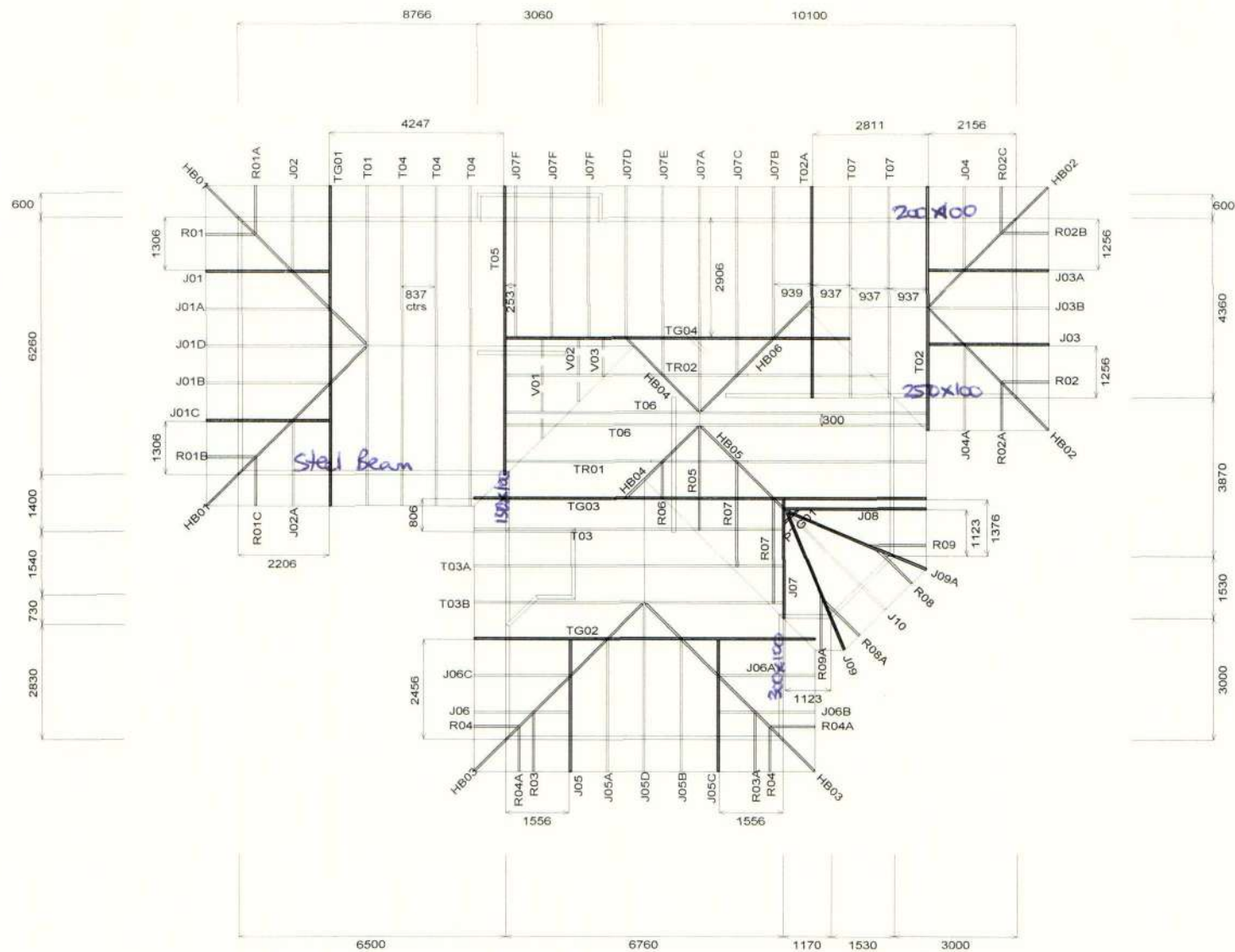
I have checked the input data against the construction drawings and specifications and verify that they are correct and suitable for this job.

Signed:

Date:

Name:

Company:



Westlake Timber

49 Shands Road
obob
Christchurch
New Zealand
Telephone: (03) 349-4008
Fax: (03) 349-2004

Name: Golden Homes
Address: Lot 197 Ambrose
Estate
Rolleston

Telephone:

Briggs Kennel Residence

Job:

2-193

File location: C:\MTEK\J00193\ 193

Scale: 1 : 155

Date: 5/08/2002

Drawn By: Lloyd

Job Details:

Snow Zone:

Zone 4

Snow Altitude:

100 m

Wind Area:

High

Design Wind Speed:

44.0 m/s

IC Restraints:

400 mm

BC Restraints:

400 mm

Roof Material:

Monier Concrete Tiles

Ceiling Material:

Standard

Roof Live Load:

0.250 kPa

Snow Load:

0.440 kPa

Roof Pitch:

22.50 deg

Truss Centres:

900 mm

Owner's Name: <u>Briggs & Kenner</u>	
Site Address: <u>26 Rembrandt Drive</u>	
Scope of Building Certifier's Engagement No: 11	Territorial Authority Consent No: <u>020863</u>
Inspection was made on <u>29/7/02</u> at <u> </u> am/pm pursuant to The Building Act 1991.	

PURPOSE OF INSPECTION:

PREPOUR FOUNDATION	PRELINE INSPECTION	SANITARY DRAINAGE
Siting	Moisture Content	Trench Fill Under Pipes
Foundation Depth, Width	Plate Fixings	Inspection Points
Reinforcing	Framing	Branch Drains
Bearing	Lintels	Soil Sacks
Slab Tiles	Bracing	Main Vent Position
Surveyor Required	Truss Connections	Boundary Connection
BLOCK WALL	Roof Bracing	Sanitary Plumbing
Reinforcing	Insulation	Connection to Main Drain
PREPOUR SLAB	Second Floor Joists	Storm Water
Wastes	Ceiling Diaphragms	Septic Tank & Effluent Disposal
D.P.C.	Verandah Beams	Sub Floor Inspection
Mesh	Gib Fire Wall	Pipes & Connections
Tailings	Wind Zone Fixings	Bearer Size/Spacing
Thickenings	Other Specify	Floor Joists
1/2 HEIGHT VENEER	PRELINE PLUMBING	Sub Floor Insulation
Cavities	Pipe Type/Sizing	Sub Floor Bracing
Tie Spacings	Water Supply Entry	Other Specify
Building Paper	Lagging	Fixings For Exterior Plaster System
Tie Fixing	Cylinder	
D.C.P. To Windows	Header Tank	Engineers Reports
POST LINING	Waste/Venting	Found Required
Brace Lining	Soil Stack	Slab Required
Gib Nailing System	Seismic Restraint	Bracing Required
	Temperature Valve	
SOLID FUEL HEATER	Cylinder Relief	
Flue & Restraint	Other Specify	
Unit Clearance		

COMMENTS

2 x 216 Rods
D10 STARTERS
.250 wide .300 deep on Rocky ground
Siting as approved plans

Certifier

K. Johnson

Building Inspector

- ☐ **INSPECTION OK**
☐ **REINSPECTION**

INSTRUCTIONS

- ☐ All work inspected is in accordance with The Building Consent/Certificate.
☐ Some work is not satisfactory as detailed above and rectification is required.
☐ A formal notice to rectify will be issued.

SIGNED

Contractor/Owner/Agent/Occupier

Date

FILE COPY

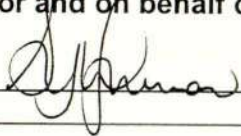
Building Consent**020863****Section 35, Building Act 1991****Application**C BRIGGS & R KENNETT
C/- INSPECT BUILDING CERT LTD
35 MACES ROAD
CHRISTCHURCHIssue date 17/07/02
Application date 2/07/02**Project**

Description	New Construction Being Stage 1 of an intended 1 Stages DOMESTIC DWELLING
Intended Life	Indefinite, but not less than 50 years
Intended Use	3 Bedroom dwelling with garage 172sqm
Estimated Value	\$136,000
Location	6 REMBRANDT DRIVE, ROLLESTON
Legal Description	LOT 197 DP 82719 BLK III LEESTON SD
Valuation No.	2405433100

COUNCIL CHARGES

This consent will be issued when the quoted costs are paid in full. The quote was sent to you earlier with the Project Information Memorandum Document. Where any work fails to meet required standards a re-inspection of that work may be required. Costs associated with that re-inspection will be invoiced separately as identified in the quote. These inspections are extra charges over and above the quoted costs.

This building consent is a consent under the Building Act 1991 to undertake building work in accordance with the attached plans and specifications so as to comply with the provisions of the building code. It is not a consent under the Resource Management Act and does not affect any duty or responsibility under any other Act nor permit any breach of any other Act.

Signed for and on behalf of the Council:Name: 

Date: 17/7/02

SERVICE
CENTRES:LEESTON
HIGH STREET, LEESTON
PH: (03) 324-8080DARFIELD
SOUTH TERRACE, DARFIELD
PH: (03) 318-8338LINCOLN
GERALD STREET, LINCOLN
PH: (03) 325-3288ROLLESTON COMMUNITY CENTRE
ROLLESTON DRIVE, ROLLESTON
PH: (03) 347-9669

Record: 020863



Exit

Debtor No BCO20863

Appl Name C BRIGGS & R KENNETT

Address C/- INSPECT BUILDING CERT LTD : 35 MACES ROAD : CHRISTCHURCH

Phone 3844492 : 025374641 : Fax 3846588

Balance \$ 0.00

T/Cost \$ 0.00

Proposal DOMESTIC DWELLING

Proposed Use

Intended Life INDEFINITE Being stage 1 of 1

Stats code New (& prebuilt) House, Unit, Bach, Crib, Town House etc.

Est value \$ 136,000

Floor (m2) 172 Units Storeys Pans

Builder Name GOLDEN HOMES Phone 3839681

Builder Addr 11 AMOKA CRESCENT, CHRISTCHURCH

Valuation No 2405433100 1-link

Owner EVERGREEN REALTY LTD

Location ** 6 REMBRANDT DRIVE, ROLLESTON

Legal ** LOT 197 DP 82719 BLK III LEESTON SD

Zone

Overseer INSPECT - 3844492

Certifier? Y

Status FORMALLY RECEIVED

2/07/02

Deadline 16/07/02

Note PIM/BC CIRC

R/Consent?

C/Schedule?

Confidential?

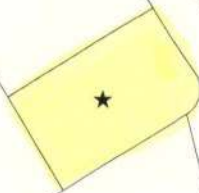


PROPERTY MAP :

ROLESTON DRIVE

REMBRANDT DRIVE

GAINSBOROUGH COURT





SIGN OFF BUILDING CONSENT:

BUILDING:

Jim Bepko

Date

12/7/02

HEALTH:

Donna M. Pinn Pinn only

Date

05-07-02

INSPECT
Blc 020863

CONDITIONS

No Inspection

NZS 3604 1999

NO OF INSPECTIONS ALLOWED

EARTHQ:

3

SNOW:

43

WIND:

H

ALT:

70

CORROS:

2

FILE NOTES

AMENDMENTS

DATE:

DESCRIPTION:

Owner's Name: Briggs/Kenett

Site Address: 6 Rembrandt Dr.

Scope of Building Certifier's Engagement No: 11

Territorial Authority Consent No: 020863

Inspection was made on 03/10/02 at _____ am/pm pursuant to The Building Act 1991.

PURPOSE OF INSPECTION:

PREPOUR FOUNDATION	PRELINE INSPECTION	SANITARY DRAINAGE	
Siting	Moisture Content	Trench Fill Under Pipes	✓
Foundation Depth, Width	Plate Fixings	Inspection Points	✓
Reinforcing	Framing	Branch Drains	✓
Bearing	Lintels	Soil Sacks	
Slab Tiles	Bracing	Main Vent Position	✓
Surveyor Required	Truss Connections	Boundary Connection	✓
BLOCK WALL	Roof Bracing	Sanitary Plumbing	✓
Reinforcing	Insulation	Connection to Main Drain	✓
PREPOUR SLAB	Second Floor Joists	Storm Water	✓
Wastes	Ceiling Diaphragms	Septic Tank & Effluent Disposal	
D.P.C.	Verandah Beams	Sub Floor Inspection	
Mesh	Gib Fire Wall	Pipes & Connections	
Tailings	Wind Zone Fixings	Bearer Size/Spacing	
Thickenings	Other Specify	Floor Joists	
1/2 HEIGHT VENEER	PRELINE PLUMBING	Sub Floor Insulation	
Cavities	Pipe Type/Sizing	Sub Floor Bracing	
Tie Spacings	Water Supply Entry	Other Specify	
Building Paper	Lagging	Fixings For Exterior Plaster System	
Tie Fixing	Cylinder		
D.C.P. To Windows	Header Tank	Engineers Reports	
POST LINING	Waste/Venting	Found Required	
Brace Lining	Soil Stack	Slab Required	
Gib Nailing System	Seismic Restraint	Bracing Required	
	Temperature Valve		
SOLID FUEL HEATER	Cylinder Relief		
Flue & Restraint	Other Specify		
Unit Clearance			

COMMENTS

Drains laid on chip.
Sewer to existing lateral.
Stormwater to soakholes.
Water-test prior to backfill.

Certifier

Building Inspector [Signature]

☒ **INSPECTION OK**

☐ **REINSPECTION**

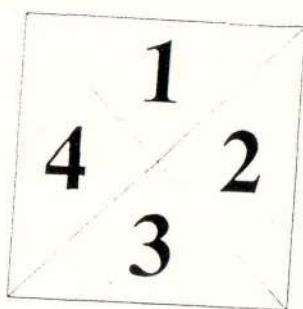
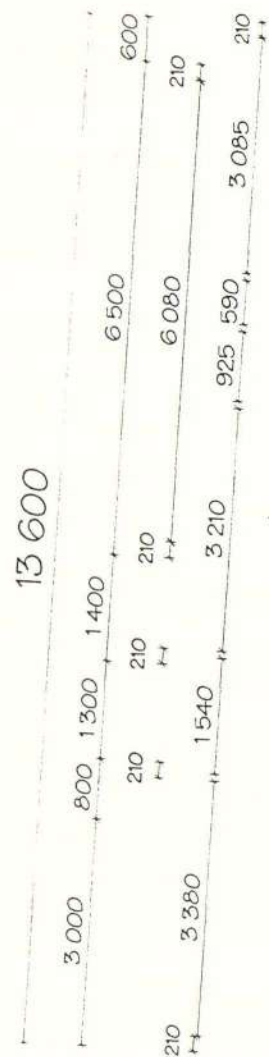
INSTRUCTIONS

- ☒ All work inspected is in accordance with The Building Consent/Certificate.
☐ Some work is not satisfactory as detailed above and rectification is required.
☐ A formal notice to rectify will be issued.

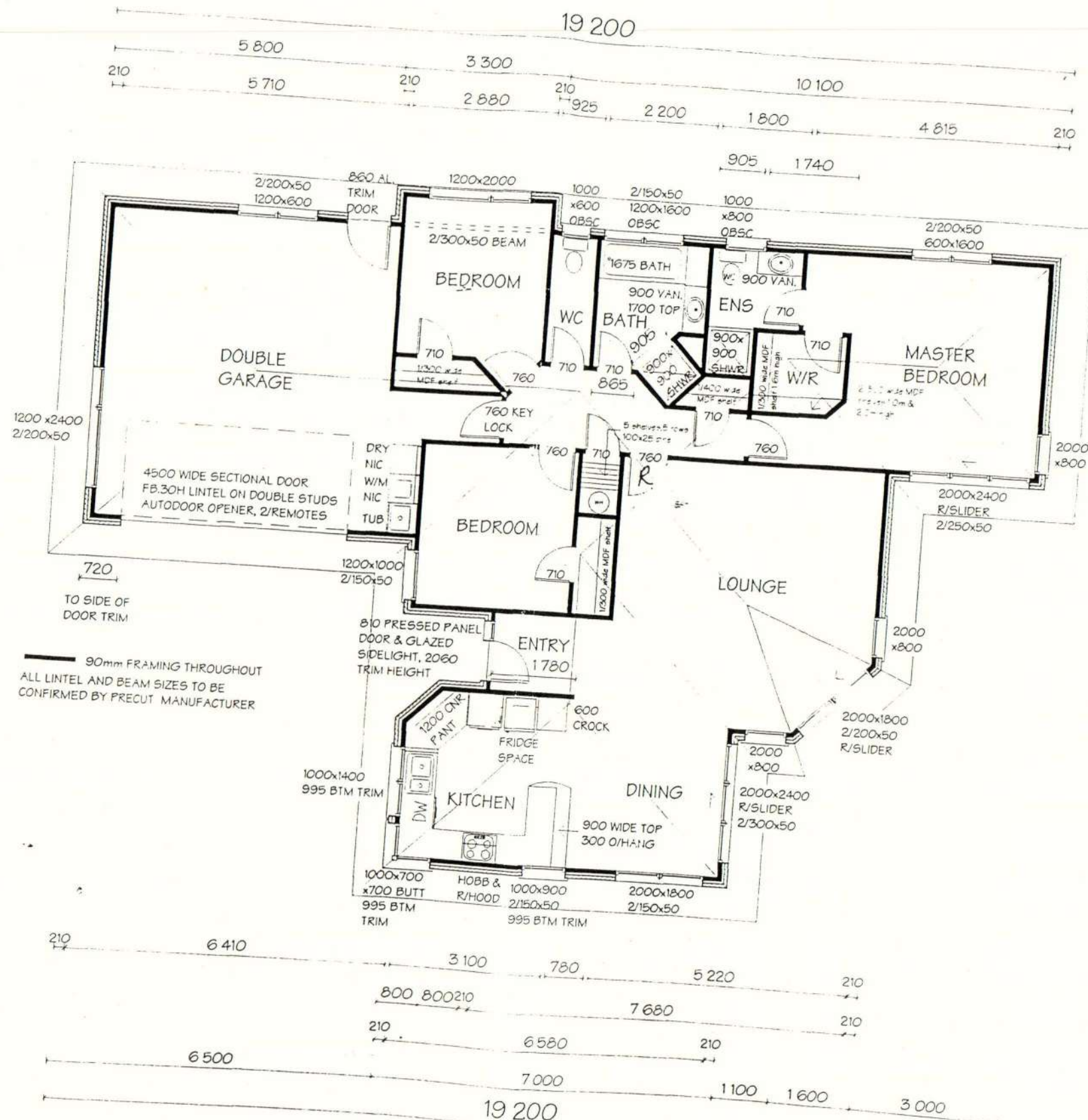
SIGNED

Contractor/Owner/Agent/Occupier

Date



ELEVATION
GUIDE



FLOOR PLAN

FLOOR AREA = 172.4 sqM
ROOF AREA = 214.2 sqM
SCALE 1:100

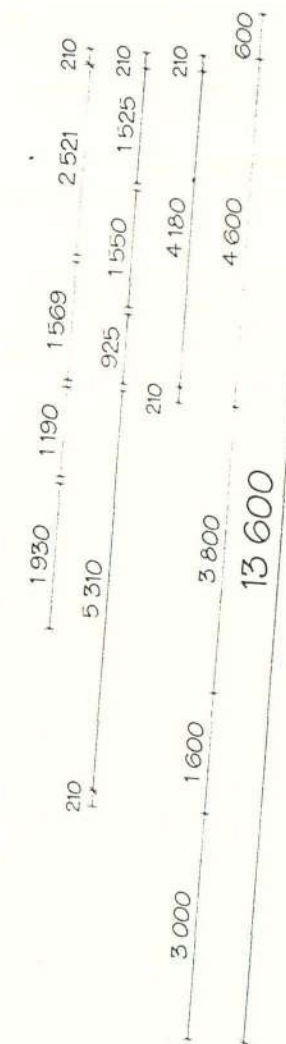
PROPOSED RESIDENCE

MR BRIGGS & MRS KENNET, LOT 354/197
AMBROSE ESTATE, ROLLESTON
AALST CONSTRUCTION LTD, JOB NO.187A

ALTERED

KIM

© GOLDEN HOMES
HOLDINGS LTD 1994

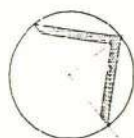


238d 57 30"
36.00

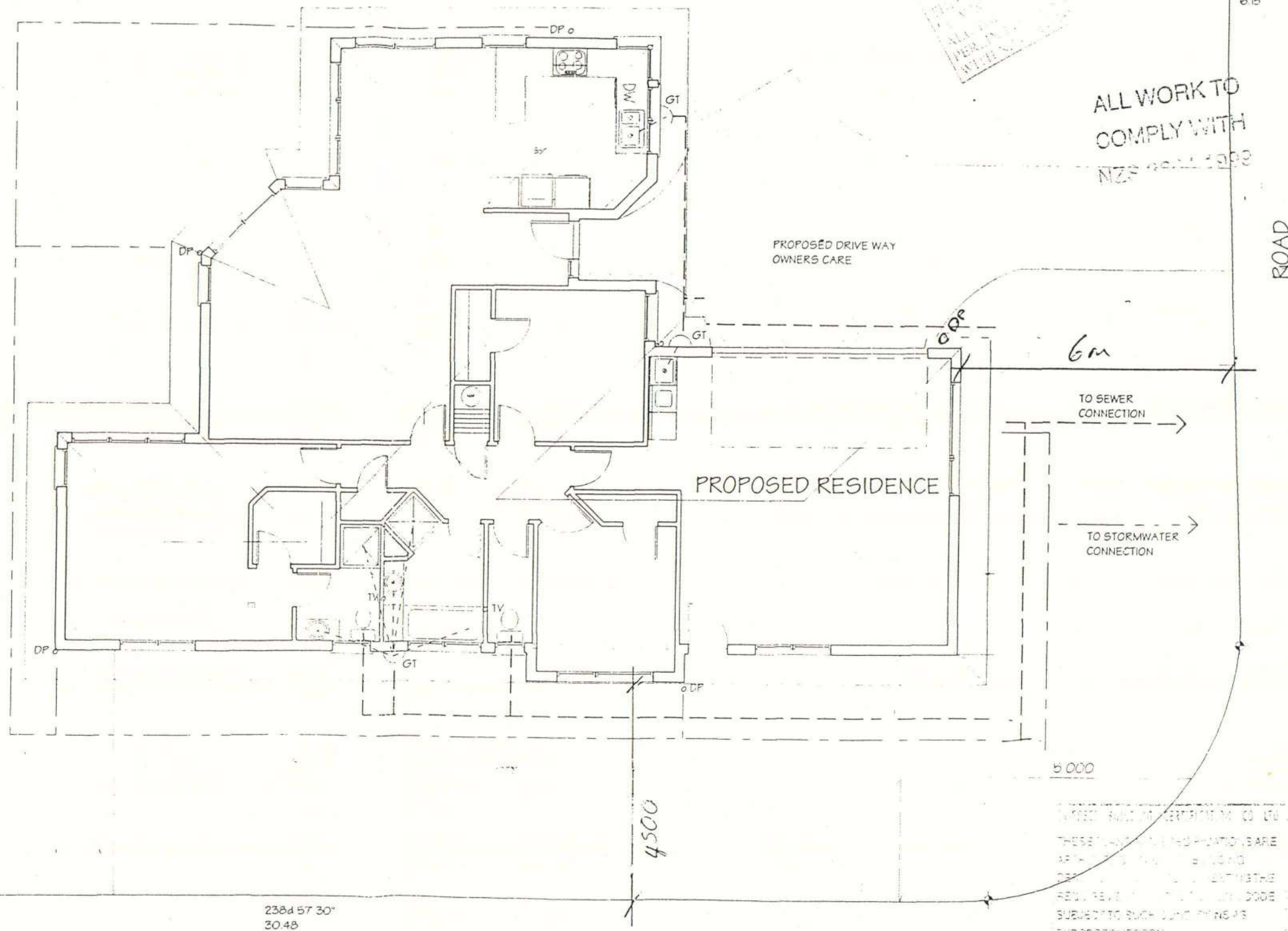
KEY

- 100mm SOIL DRAIN
- WASTES
- oDP DOWNPIPES
- GT GULLY TRAP
- oTV TERMINAL VENT
- PLUMBING TO NZ STANDARD

LOT 354
AREA 816sqM
FLAT SITE



328d 57 30"
22.77



SITE & DRAINAGE

SCALE 1:100

PROPOSED RESIDENCE

MR BRIGGS & MRS KENNET, LOT 354 197
AMBROSE ESTATE, ROLLESTON
AALST CONSTRUCTION LTD, JOB NO.187A

Handwritten signature/initials.

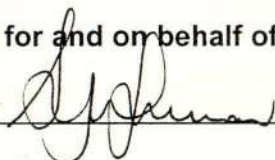
**Project Information Memorandum****020863****Section 31, Building Act 1991****Application**C BRIGGS & R KENNETT
C/- INSPECT BUILDING CERT LTD
35 MACES ROAD
CHRISTCHURCHIssue date 17/07/02
Application date 2/07/02**Project**

Description	New Construction
	Being Stage 1 of an intended 1 Stages
	DOMESTIC DWELLING
Intended Life	Indefinite, but not less than 50 years
Intended Use	3 Bedroom dwelling with garage 172sqm
Estimated Value	\$136,000
Location	6 REMBRANDT DRIVE, ROLLESTON
Legal Description	LOT 197 DP 82719 BLK III LEESTON SD
Valuation No.	2405433100

This project information memorandum is confirmation that the proposed building work may be undertaken, subject to the provisions of the Building Act 1991, and any requirements of the building consent.

This project information memorandum includes:

___ Information identifying relevant special features of the land concerned.

Signed for and on behalf of the Council:**Name:****Date:** 17/7/02

BUILDING INFORMATION

For buildings designed in accordance with NZS 3604:1999 the following design loadings criteria are indicated as being acceptable on and around the proposed construction site.

Earthquake Zone :B
Snow Load [Sg] : 0.43 kPa
Site Wind Speed : 44m/sec High.
Altitude :50m
Corrosion Zone :2

1]

Building Certifier shall check installation of the following work for compliance with the Building Code and report on the Councils behalf: Trusses , beam fixing.

2]

Upon completion of this building project, we require full details of materials used and drawings of any amendments during the course of construction.

3]

Please provide a truss layout relating to this project for our records.

DRAINAGE & HEALTH INFORMATION

1] Council reticulated water supply and sewerage available.

2] Stormwater to soakholes.

ENGINEERING INFORMATION

Sewer - Council sewage scheme available.

Stormwater to ground disposal

Water supply - Council water supply available. The supply is metered. The application fee is \$56.25. See attached form.

Entrances – Form and seal vehicle entranceway minimum three metres wide between the property boundary and the edge of seal (urban)

Any damage to council footpaths and berms within the road reserve shall be at the applicants cost to repair

Planning Comments For PIM BC020863

Buildings Compliance :

Resource Consent Required ? NO

Based on the plans and information lodged with the building consent application the proposed domestic dwelling and attached garage complies with the relevant planning requirements.

Activity :

Activity: Domestic Dwelling and Attached Garage (NEW)
Zoning: Residential 2 Ellesmere Section of Transitional District Plan
Living 1 Proposed District Plan

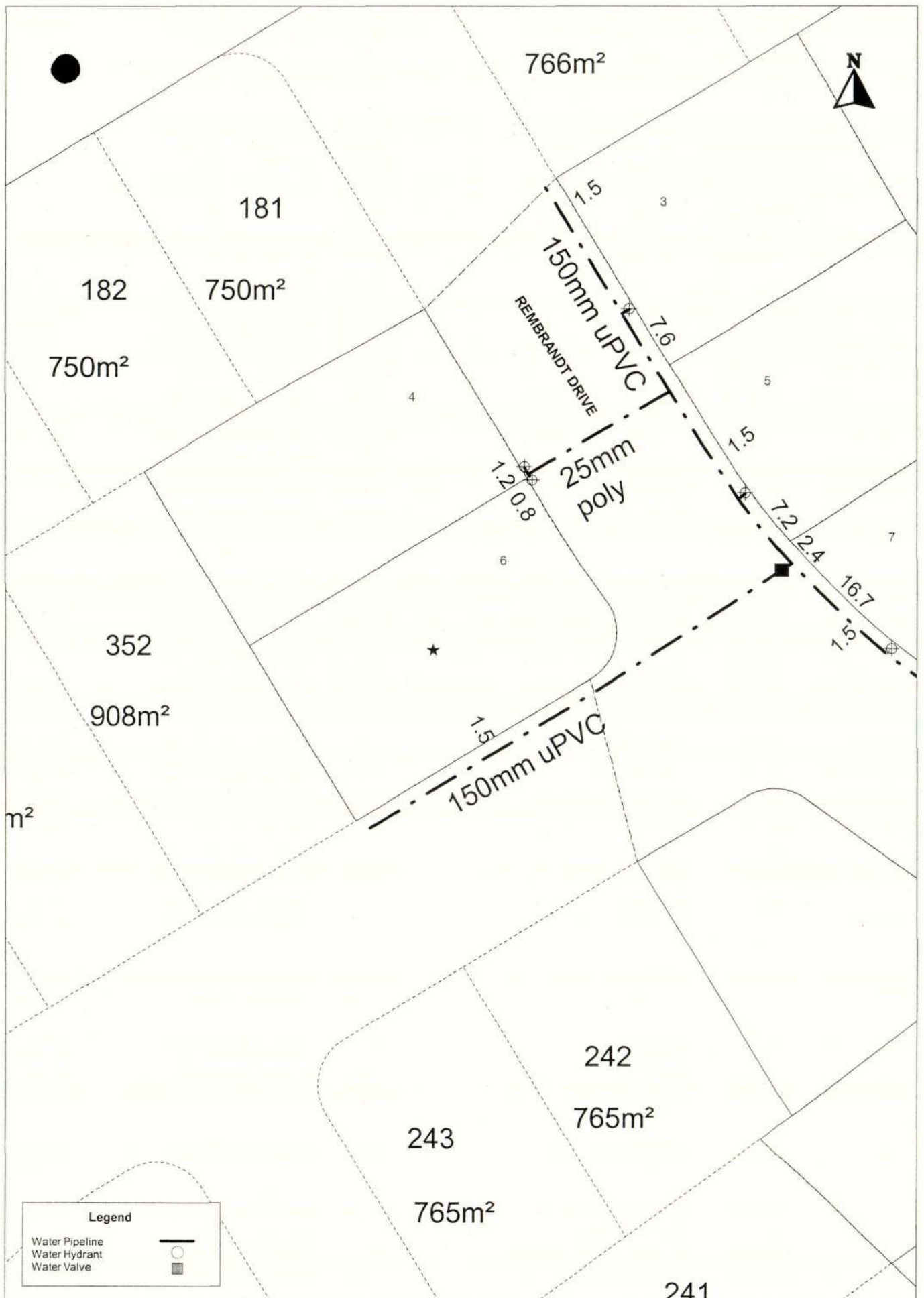
Current Resource Consents :

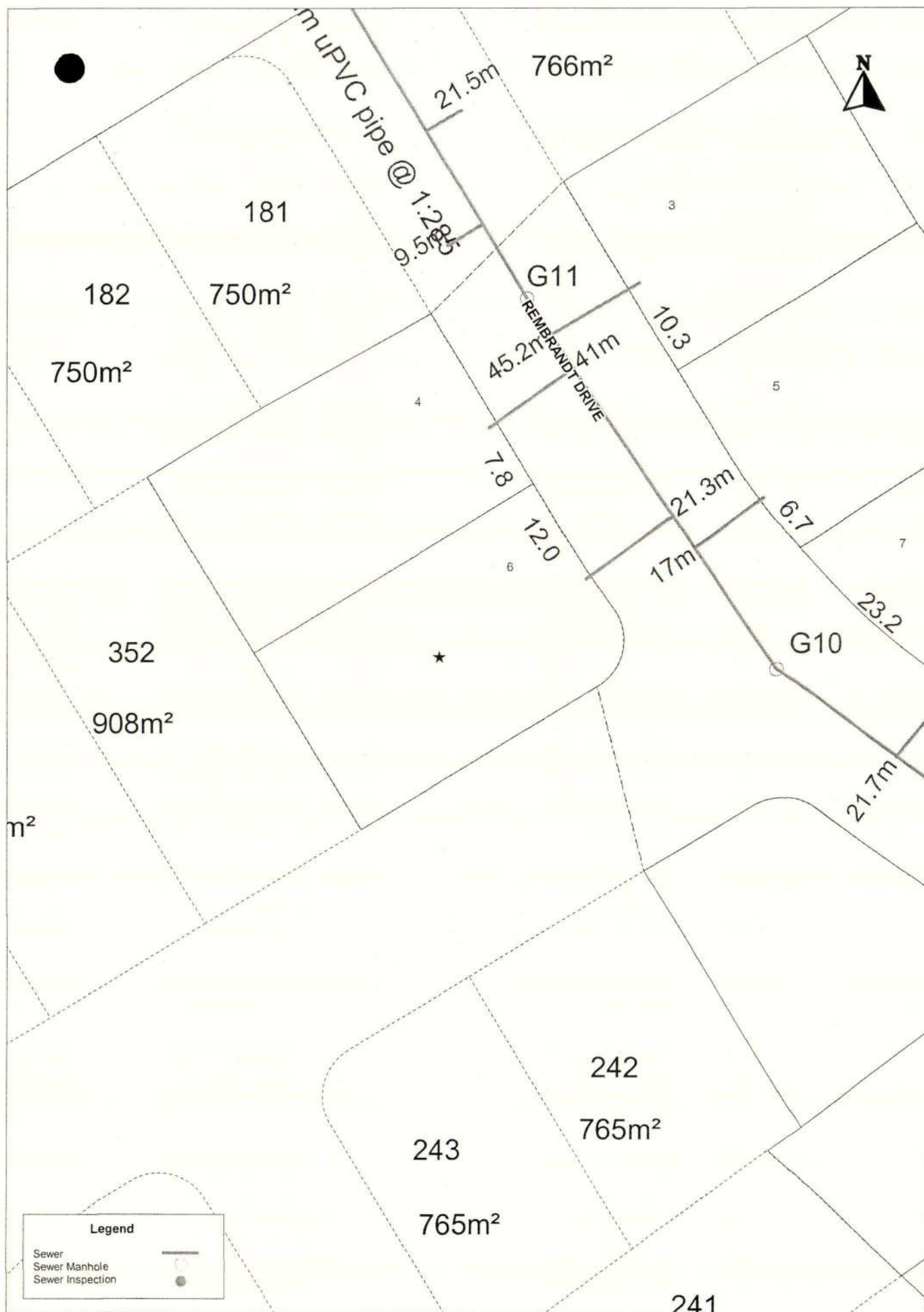
Previous resource consents granted/refused for this property ?
None known relevant to this proposal

Land Features :

Designations:
N/A

Special Land Features
N/A





Cadastral information derived from
Land Information New Zealand's Digital Cadastral Database (DCDB)
CROWN COPYRIGHT RESERVED
Approved for internal reproduction by Selwyn District Council
Digital Licence No. 133562-01

Note: Measurements are approximate only and should
be checked on site.

Sewer Map



HIGH STREET, LEESTON
PRIVATE BAG 1, LEESTON
PH: (03) 324-8080 FAX: (03) 324-3531

REF No.....

TAX INVOICE ONLY

C BRIGGS & R KENNETT
C/- INSPECT BUILDING CERT LTD
35 MACES ROAD
CHRISTCHURCH

GST REG No. 53-113-451
Cust No. BC020863
17/07/02

Tax Invoice 73772

=====

020863 : 6 REMBRANDT DRIVE, ROLLESTON
DOMESTIC DWELLING

Qty	Description	Rate	Amount

	ADMINISTRATION/PROCESSING/ISSUE FEE	213.20	*
	PLANNING & ENGINEERING	37.25	*
	BUILDING RESEARCH LEVY	136.00	*
	BIA LEVY	88.40	*
	WATER SUPPLY CONNECTION FEES ROLLESTON	56.25	*
(* Incl Gst \$59.01)		Total	\$531.10
			=====

C BRIGGS & R KENNETT 17/07/02

BC020863 /73772

531.10

SERVICE CENTRES:
LEESTON
HIGH STREET, LEESTON
PH: (03) 324-8080

DARFIELD
SOUTH TERRACE, DARFIELD
PH: (03) 318-8338

LINCOLN
GERALD STREET, LINCOLN
PH: (03) 325-3288

ROLLESTON COMMUNITY CENTRE
ROLLESTON DRIVE, ROLLESTON
PH: (03) 347-9669

PIM APPLICATION WORKSHEET

NAME: G Briggs + A Kennett

CONSENT NO : BC 020863

date required

completed & date

NOTES:

BUILDING

10/7/02

12/7/02

EHO

5/7/02

Pim only
5.07.02

PLANNING

9/7/02

283 09/07/02

ENGINEERS

4/7/02

03/07/02
4/5/02
1/5/02

PLUMBING & DRAINAGE

NZBC AS1/ G12 & G13

NZBC AS1/ AS 3500

P01
P02
P03
P04
P05
P06
P07
P08

P09
P10
P11
P12
P13
P14
P15
P16

P17
P18
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P30
P31
P32

P33
P34
P35
P36
P37
P38
P39
P40

P41
P42
P43
P44
P45
P46
P47
P48

comments

Council reticulated water supply and sewerage available. Stormwater to soakholes.

More info

Intended use

3 bedroom dwelling with garage

ENGINEERING

sewer
☒ E00
☒ E01
E02
E03
E04

stormwater
☒ E05
E06
E07
E08
E09

hazards
E10
E11
E12
E13
E14

water
☒ E15
E16
E17
E18
E19

entrances
☒ E20
E21
E22
E23
E24

entrances
E25
E26
E27
☒ E28

comments

BUILDING

NZS 3604:1999

NZS 1900

NZS 4203

NZS 7421

EARTHQUAKE B SNOW 43 WIND H ALTITUDE 50 CORROSION C

[illegible]

comments

More info / to enable us to process your building consent when received:

Intended use

Intended use — Planning

BUILDING CONSENT & PIM COSTING

NUMBER

BC 020863

\$

CODE COMPLIANCE CERTIFICATE COST

(Select and insert a, b or c value in \$ column)

a (Multiple inspections) 55.00
 b (2-4 inspections) 45.00
 c (1 inspection) 35.00

\$ 55.00

ADMINISTRATION

UNITS

Rate/Unit

Processing Consent	14 8	
Processing PIM	6	
Issue, photocopy & administer consent	10 6	
Inspection recording (enter number of inspections)		
TOTAL ADMINISTRATION UNITS	A	20 x \$4.50

\$ 90.00

BUILDING

Processing PIM	3
Processing Building Consent	3
Further Information	
TOTAL BUILDING UNITS	B

6

HEALTH

Processing PIM	3
Processing Consent	
Further Information	
TOTAL HEALTH UNITS	C

3

AUDIT & APPROVAL OF CONSENT FOR ISSUE

SIGN OFF	D	2
----------	---	---

TOTAL HEALTH & APPROVAL UNITS

B+C+D

11 x \$6.20

\$ 68.20

INSPECTION CONDITIONS

TYPE DETAIL

ADMIN & PROCESS
TOTAL

\$ 213.20

1	
2	
3	
4	
5	
6	
7	
8	

TOTAL INSPECTIONS

E

	INSPECTIONS	X	TRAVEL TIME	
E		X		F

E+F

x \$6.20

	INSPECTIONS	X	DISTANCE	
E		X		TOTAL

x \$0.45

INSPECTIONS PLUS
TRAVEL COSTS

\$

CONSULTANTS

PLANNING	3	X \$6.75	\$ 20.25
----------	---	----------	----------

ENGINEERING	FLAT RATE	\$17.00	insert as applicable	17.00
-------------	-----------	---------	----------------------	-------

C/T	P/S	OTHER	
\$	\$	\$	\$ 37.25

RE-INSPECTION FEE

\$

GROSS TOTAL
 LESS DEPOSIT
 NET TOTAL

INFORMATION		COMMENT
Intended Use		
<i>habitable</i>		
<i>non-habitable</i>		
<i>definition required (schedule)</i>		
Site		
<i>flood zone</i>		
<i>ground bearing</i>		
<i>notifications other authorities</i>		
Fire Wall		
Floor Slab		
<i>mesh</i>		
<i>DPC</i>		
Foundation		
<i>reinforcing</i>		
<i>depth/width</i>		
<i>engineer certification</i>		
Piles		
<i>pile bracing</i>		
<i>pile fixings</i>		
Truss Design		
<i>wind speed</i>		
<i>snow load</i>		
<i>roof cladding</i>		
<i>heavy/light</i>		
Bracing		
<i>calculations</i>		
<i>layout plan</i>		
Garage Lintel		
<i>type</i>		
<i>P/Statement</i>		
Lintels/Beams		
<i>span</i>		
<i>cantilevered lintels</i>		
Producer Statement		
<i>assumptions</i>		
<i>work covered (specifically)</i>		
<i>drawings</i>		
Insulation		
Heating Type		
<i>specifications</i>		
<i>interior environment G5</i>		
Ventilation		
<i>window safety-glass</i>		
<i>natural lighting</i>		
<i>extract ventilation G4</i>		

INFORMATION		COMMENT
Exterior cladding		
<i>masonry veneer</i>		
<i>70/100 series</i>		
<i>stucco/plaster</i>		
<i>fibre cement</i>		
<i>weatherboard</i>		
<i>other</i>		
2nd storey		
<i>joist length</i>		
<i>supporting beams</i>		
<i>roof bracing</i>		
<i>2nd storey bracing</i>		
<i>load bearing walls</i>		
<i>stud sizing, long studs</i>		
<i>stairs/handrails spacings</i>		
<i>balconies/stairs from</i>		
<i>safety from falling</i>		
Fire C1 – C4		
<i>means of escape</i>		
<i>structural stability</i>		
<i>access routes</i>		
Access & Facilities D1		
Compliance Schedule		
<i>lighting F6</i>		
<i>warning systems F7</i>		
<i>signs F8</i>		
Water		
<i>supply</i>	✓	
<i>backflow</i>	✓	
<i>plumbing</i>	✓	
Sewer		
<i>drainage</i>	✓	
<i>disposal effluent</i>	✓	
Stormwater		
<i>need for consent</i>	✓	
Food Preparation G3		
Gas G10 – G11		
Sound		
<i>tenancy separation G6</i>		
Demolition		
Services		
Swimming Pools		
<i>fencing</i>		
<i>hydrostatic valve</i>		
<i>non-slip surfaces</i>		
Farm Building		
<i>timber sizes</i>		
<i>pole hole depth/size</i>		
<i>bracing</i>		

Comments: Certifier Job

Consent No.: 020863

AGREEMENT FOR SALE AND PURCHASE OF REAL ESTATE

This form is approved by the Real Estate Institute of New Zealand and by the Auckland District Law Society.

DATE: 23 February 2002
VENDOR: Atst Construction Ltd.

PURCHASER: Rachel Lee Kermett
Christopher David Briggs

PROPERTY

Address of property: Lot 197 Ambrose Estate, Rolleston, Rembrandt drive
Estate: FEE SIMPLE LEASEHOLD CROSSLEASE UNIT TITLE (if none is deleted fee simple)

Legal Description:

Area: 816m² Lot: 197 DP: 82719 CT: 470/435

Together with a residential dwelling to be erected on site in accordance with plans & specifications attached to the terms recorded in the agreement

PURCHASE PRICE

Purchase Price: \$189,500

one hundred & eighty nine thousand five hundred dollars.

Plus GST (if any) OR Inclusive of GST (if any).
If neither is deleted the purchase price includes GST (if any).

GST date: (refer clause 12)

Deposit: (refer clause 2) \$ See Further Terms of Sale & Deposit Provision

Balance of purchase price to be paid or satisfied as follows: on completion of property & issue of code compliance by local authority

POSSESSION (refer clause 3)

Possession date: Upon completion of building as per plans & specifications and following payment in full of all sums due to the vendor

Interest rate for late settlement: % p.a.

CONDITIONS (refer clause 8)

Financial condition (if any):

Lender:

Amount required:

Finance date:

LIM required: Yes/No

OIA Consent required: Yes/No

Land Act/OIA date:

TENANCIES (if any)

Name of tenant:

Bond:

Rent:

Term:

Right of renewal:

CHATELS

The following chattels if now situated on the property are included in the sale.
(strike out or add as applicable):

STOVE TV AERIALS FIXED FLOOR COVERINGS BLINDS CURTAINS DRAPES

TELEPHONES LIGHT FITTINGS

FILE COPY

As per attached plans & specifications

Sale by (name of real estate agent):

Private Treaty

It is agreed that the vendor sells and the purchaser purchases the above described property, and the chattels included in the sale, on the terms set out above, and the General and Further Terms of Sale



35 MACES ROAD
PHONE - 3844492
FAX - 3846588
MOBILE - 025 374641

Dear Consents Officer:

Please find enclosed: Stamped approved plans and specifications along with a Building Certificate for the Briggs / Kennett application.

Listed below are things that fall outside my scope of approval (No. 11)
Please note Producer Statements have been or will be supplied for these areas.

- ☒ Truss Design.
- ☒ Producer Statement for beams falling outside the scope of NZ 3604.
- ☐ Producer Statement foundation design.
- ☐ Producer Statement retaining wall design.
- ☐ Engineering design to steelwork.
- ☐ Producer Statement block work design.
- ☐ Inspection procedure for work engineer wishes to inspect.
- ☐ Producer Statement for Plaster System.
- ☐ Effluent Design

In addition.

- ☒ Gas – To be Self Certified by a Registered Gas-fitter.
 - ☒ Electrical – Self Certified by a Registered Electrician.
- If any further matters require clarification please phone or fax on the above numbers.

Sincerely

KELVIN NEWMAN

DIRECTOR: IN-SPECT BUILDING CERTIFICATION CO LTD.

1999/5

FILE COPY

BUILDING CERTIFICATE NO: 02/265

Section 56, Building Act 1991

Issued by: Kelvin Newman
currently approved and registered as a Building Certifier-Rego No: 11.

To: Selwyn District Council

Project Information Memorandum No:

Building Consent No:

PROJECT	PROJECT LOCATION
New or Relocated Building ☒	Street Address:
Alteration or Addition ☐	Ambrose Estate
Logfire ☐	Legal Description:
Intended use (s) [In detail]:	Lot No: 197 Dp: 82719
Domestic Living ☒	
Out Building ☐	
Intended life:	
Indefinite but not less than	
50 years. ☒	
Demolition or Removal ☐	
Being stage one of an intended one stages.	

This is to certify that:

The Building Certifier has been engaged to inspect specified building work in relation to listed provisions of the Building Code as detailed in the one page headed "Scope of Building Certifier's Engagement Building Certificate No: 02/265 attached to this notice.

The Building Certifier is satisfied on reasonable grounds that:

- ☒ The proposed building work would comply with the listed provisions of the Building Code if properly completed in accordance with the listed plans and specifications.
- ☐ The building work complied with the listed provisions of the Building Code on the date of certification.

Signed by or on behalf of the Building Certifier:

Name: Kelvin Newman
Position: Building Certifier

KJ Newman

Date: 9/7/02.

2001/2

FILE COPY

SCOPE OF BUILDING CERTIFIERS ENGAGEMENT
BUILDING CERTIFICATE NO: 02/265

Checking of Plans & Specifications for compliance with provisions of the Building Code listed in Building Certifiers Scope of approval.

Inspection procedures required during construction.

Issue of Code Compliance Certificate when work meets the requirements of the Building Certificate & Building Code.

Items not covered by the Building Certificate are listed on the separate page attached to the Building Consent application.

FILE COPY



Register of Building Certifiers

established under section 53
of the Building Act 1991

*B u i l d i n g
I n d u s t r y
A u t h o r i t y*

Name: NEWMAN, Kelvin John

Registration No: 11

Date of approval: 6/10/1997

Date of expiry of approval: 6/10/2002

Date of renewal: 6/10/2001

Date of amendment: 5/6/2002

Address:

In-Spect Building Certification Company Ltd
35 Maces Road, Christchurch
Phone 03 384 4492
Fax 03 384 6588

Approved by the Building Industry Authority under Part VII of the Building Act 1991 in respect of the provisions of the building code listed below subject to the limitations listed below:

General limitations	
Detached dwellings in accordance with clause A1 2.0.2 of the building code; and	
Multi-unit dwellings in accordance with clause A1 2.0.3 of the building code in which no household unit has more than one other household unit vertically above it, and in which each household unit has an escape route that is not shared with any other household unit; and	
Outbuildings and ancillary buildings in accordance with clauses A1 7.0.1 and A1 8.0.1 respectively of the building code and associated with such dwellings.	
Provisions of the building code in respect of which the approval applies and any limitations in respect of each such provision	
Provision	Limitations
B1 "Structure"	In respect of proposed building work for building consent purposes: Compliance with B1/AS1, B1/AS2, B1/AS3, and B1/AS4 only. In respect of completed building work for code compliance certificate purposes: Compliance with B1/AS1, B1/AS2, B1/AS3, B1/AS4, including proprietary fixings and the use of proprietary materials for bracing elements, and with B1/VM1 and B1/VM4.
B2 "Durability"	Compliance with B2/AS1 only in relation to the other provisions of the building code listed herein.

Provision	Limitations
C1 "Outbreak of fire"	Compliance with C1/AS1 for solid fuel appliances and chimneys only.
C2 "Means of escape"	Compliance with C2/AS1 only.
C3 "Spread of fire"	Compliance with C3/AS1 only.
D1 "Access routes"	Compliance with D1/AS1 only.
E1 "Surface water"	Compliance with E1/AS1 only.
E2 "External moisture"	In respect of proposed building work for building consent purposes: Compliance with E2/AS1 only. In respect of completed building work for code compliance certificate purposes: Compliance with E2/AS1, including proprietary cladding systems, and with E2/VM1.
E3 "Internal moisture"	Compliance with E3/AS1 only.
F2 "Hazardous building materials"	Compliance with F2/AS1 only in relation to the other provisions of the building code listed herein.
F4 "Safety from falling"	Compliance with F4/AS1 only.
F5 "Construction and demolition hazards"	Compliance with F5/AS1 only.
F8 "Signs"	Compliance with F8/AS1 only in relation to the other provisions of the building code listed herein.
G1 "Personal hygiene"	Compliance with G1/AS1 only.
G2 "Laundering"	Compliance with G2/AS1 only.
G3 "Food preparation and prevention of contamination"	Compliance with G3/AS1 only.
G4 "Ventilation"	Compliance with G4/AS1 only, but excluding mechanical systems.
G5 "Interior environment"	Compliance with G5/AS1 only.
G6 "Airborne and impact sound"	Compliance with G6/AS1 only.
G7 "Natural light"	Compliance with G7/AS1 only.
G12 "Water supplies"	Compliance with G12/AS1 only.
G13 "Foul water"	Compliance with G13/AS1 excluding Section 8 and G13/AS2 excluding Section 7.
G14 "Industrial Liquid Waste"	In respect of completed building work for the on-site disposal of foul water for code compliance certificate purposes only.
G15 "Solid waste"	Compliance with G15/AS1 only.
H1 "Energy efficiency"	Compliance with H1/AS1 only.
Each of the provisions listed above	Compliance with a current certificate of accreditation.

IN-SPECT BUILDING CERTIFICATION
CO LTD.

35 Maces Road Ch-Ch 6.
Phone - 3844492.
Fax - 3846588.
Mobile - 025 374641.

INSPECTIONS REQUIRED

Briggs/Kennett

COUNCIL CONSENT NO: *1*

PROJECT LOCATION: *Ambrose Estate*

- ☒ Pre-pour foundation.
- ☒ Pre-pour slab.
- ☒ Pre-line plumbing.
- ☒ Post lining prior to stopping.
- ☒ Half high veneer.
- ☐ Fixings/Substraight for plaster system.
- ☒ Drainage prior to back fill.
- ☐ Reinforcing to block work prior to pouring concrete.
- ☒ Final inspection for Code Compliance Certificate issue.
- ☐ Solid Fuel Heater prior to lighting.

Inspection booking can be made during working hours 7.30am-5.30pm on the above numbers.

If absolutely necessary after hours bookings can be made on 3844492.

24 Hours notice of inspection would be required.

Inspection bookings with less notice can only be done if there is an available time.

When booking inspections please quote the above consent number and project location, contact phone number and if the inspection is required AM or PM.

Yours sincerely,

Kelvin Newman.

Director: In-Spect Building Certification Co Ltd.

K Newman

SOILS & FOUNDATIONS

Geotechnical Consulting Engineers

Soils & Foundations (1973) Ltd
Tower 2, Deans Park
7 Deans Avenue
PO Box 13-052
Christchurch, New Zealand
Facsimile 0-3-366 7780
Telephone 0-3-379 8432



DESIGN STATEMENT

ISSUED BY: Andrew Hurley
TO: Aalst Construction Ltd
IN RESPECT OF: New dwellings
AT: Various locations in Canterbury

Soils & Foundations Ltd has been engaged by Aalst Construction Ltd to provide structural design services in respect of the requirements of Clause B1 of the Building Regulations 1992 for part only (as specified) of the building work.

- 180 PFC lintel to double garage doors

The design has been prepared in accordance with Verification Method B1/VM1 of the approved documents issued by the Building Industry Authority and the work is described on the architectural drawings by Golden Homes, for their range of homes, and the specification and other documents according to which the buildings are proposed to be constructed.

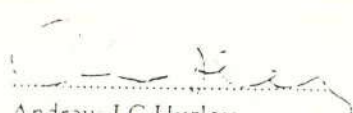
As an independent design professional covered by a current policy of Professional Indemnity Insurance to a minimum value of \$200,000, **I BELIEVE ON REASONABLE GROUNDS** that subject to:

(i) the verification of the following design assumptions:

- Garage door opening not to exceed 4540 mm
- All dwellings are single storey and the lintel supports roof load only (heavy roof)
- Maximum span of trusses spanning onto lintel is 7140mm (ie. interior length of garage)
- Eaves width not exceeding 760 mm from the framing (except 880 mm for house type "Eileen")
- No significant point loads occur on the lintel other than from a single girder truss supporting hip end jack trusses
- Snow load not to exceed 0.8 kPa (typically <200m altitude for Canterbury)
- lintel is pre-cambered upwards by 8mm at midspan

and (ii) all proprietary products meeting the performance specification requirements.

the drawings, specifications, and other documents according to which the buildings are proposed to be constructed comply with the relevant provisions of the building code.


Andrew J C Hurley
BE MIPENZ ERB Reg No. 9818

Date: 5 September 2001

file ref: 95251.00

• Foundation Analysis, Design & Certification • Site Investigation • Earthworks Supervision
• Roading & Paving • Soil Stabilisation • Slope Stability • Groundwater & Dewatering
• Retaining Structures • Harbour & Coastal Works • Geomechanics Laboratory

AALST CONSTRUCTION

SPECIFICATIONS

IN-SPECT BUILDING CERTIFICATION CO LTD
THESE PLANS AND SPECIFICATIONS ARE
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CERTIFICATION CO LTD AS MEETING THE
REQUIREMENTS OF THE BUILDING CODE
SUBJECT TO SUCH CONDITIONS AS
ENDORSED HEREON

ALL WORK TO
COMPLY WITH
NZS 3604 1999

For Briggs & Kennett

Lot 197 DP 82719

Job No. 187a

IMPORTANT
THIS SITE FALLS OUTSIDE A
LOW WIND-ZONE.
ALL TOP-PLATE, TRUSS &
PERLIN FIXINGS TO COMPLY
WITH NZS 3604 1999

Rachel Kennett
Christopher Briggs
Flat 2/5 Peters Lane.

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AALST CONSTRUCTION

SPECIFICATIONS

GENERAL

Insurance: The main contractor and all subcontractors shall insure their own workmen employed on the contract by taking out an Employers Liability Policy. The shall also take out a Public Risk Policy. The main contractor shall take out a Fire Policy to the full insurable value of the building. All policies remain in force until the building is handed over to the owners.

Consents and National Building Code: Work in all trades shall be in accordance with Consents and Building Act 1991 and Building Code and Resource Management Act 1990 and the contractor shall give all notices required by the Council Inspectors and shall obtain all necessary consents prior to carrying out any work.

Electrical permit is to be available at completion of all works for submission to Council.

Inspections: Local Authority inspections are required at varying stages of construction and must be called for as per Local Authority requirements.

Land Use: Contracts will not use any land in a manner that contravenes a rule in any Regional Plan or Proposed Regional Plan unless an express Resource Consent has been obtained. This means that unless it has been specifically approved in a District's plan, we cannot erect, reconstruct, place, alter, extend, demolish any structural part of a structure, or carry out any excavation, drilling, tunnelling etc, or damage or disturb the habitats of plants or animals in, on or under the land, nor dump any objectionable substance in, on or under the land.

Contaminants: No one may discharge contaminants into the environment *either water, land or air*, unless it has been specifically allowed for in a rule in the Regional Plan or by a Resource Consent.

In particular, there is to be:

- a) No burning of rubbish
 - b) No tipping of toxic wastes into the ground
 - c) No burying of rubbish,
- unless you have a specific permit.

In the case where there are creeks or waterways running through subdivision, no contractor will allow any contaminants to be left on the site in such a way as spillage or leakage could occur into these waterways.

Trees: No trees are to be cut down without the specific approval of the Owner/Builder.

Variations to Contract: There shall be no alterations to this contract unless agreed between the Contractor and Owner and shown in writing and signed by the Owner and the Contractor.

Maintenance: The maintenance shall include any defects in the materials or workmanship or any parts that need adjusting which are included in the Contract. The Contractor or Sub Contractors shall be held responsible for maintenance for a period of 31 days after the Owner has taken possession or has advised that the building is ready for occupation.

Omissions: Materials or finishes not specifically mentioned or shown on the drawings but which are necessary to complete the building shall be of a standard usual in good class construction or as specified by the manufacturers.

Site Access: The Owner of the section must provide all weather truck access before the building shall commence.

Levels: All levels are to be checked on site before commencing work.

Differences: In the event of there being differences between the drawings and this specification, the matters shown on the drawings shall take preference.

Substitution of Materials: In the event of any material as set out in this specification being unprocureable or hereafter prohibited by any status or any new or replacement products released on the market, Owner's lending institution, regulations or bylaw, then the Builder may substitute any permissible materials as are of a value and quality as near as reasonably practicable to the specified materials and any difference in cost of such substituted materials shall be treated as an extra or a deduction to the contract price as the case may be.

Finance Company: If this Contract is to be financed by an institution, then the requirements of this institution, if differing from this specification, shall be notified to the Contractor before the Contract documents are signed, e.g. Owner, Painter, Contractors etc.

EXCAVATOR

General: Read the General Conditions of Contract. Excavate for all footings, pads and all projections below ground. Excavations shall be to sizes of appropriate footings etc specified and at least 300mm deep or to solid bearing. In the case of expended clay, footings shall be a minimum of 450mm deep.

Site Levelling: The Building Contractor shall arrange for all necessary bulldozing, grading, levelling or filling on the site. The Contractor must inspect the site personally before tendering so as to be fully acquainted with the nature of the ground and the extent of the excavations. No claims shall be allowed for failure to observe this clause.

Excavation: The Earthmoving Contractor shall carry out all excavations to the direction of the Builder and to level pegs etc. Care must be taken at all times to ensure that excavated material does not damage or contaminate stormwater or open drainage systems.

ALL WORK TO
COMPLY WITH
NZS 3604 1999

THIS SITE FALLS OUTSIDE A
LOW WIND-ZONE.
THESE PLANS ARE TO COMPLY
WITH NZS 3604 1999

IN-SPECT BUILDING CERTIFICATION CO LTD
THESE PLANS AND SPECIFICATIONS ARE
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REQUIREMENTS OF THE BUILDING CODE
SUBJECT TO STANDARD CONDITIONS OF
CONTRACT

Levels: Levels shown on plans are correct to reasonable tolerances. The Contractor should inspect the site personally for his own satisfaction.

Basewall Footing: Excavate for foundations for basewalls which shall be continuous concrete footing. Sizes as indicated on plans.

CONCRETOR

General: Read the General Conditions of this Contract. Carry out the mixing and placing of all concrete footings, slab floors and pads, all reinforcing as specified and supply all precast concrete items.

Concrete Mix: Concrete shall be 1 part cement, 2 parts sand and four parts coarse aggregate (1:2:4). It shall be mixed in a power mixer and each batch shall be mixed for a minimum period of 2 minutes until it is an even colour and uniform consistency throughout. Alternatively, Ready Mix concrete from a reputable firm may be used.

CONCRETE MATERIALS

Cement: Shall be normal Portland complying in all respects with the requirements of NZS 43. Cement shall be properly stored at all times, so as to be protected from moisture.

Fine Aggregate: Shall be clean, coarse siliceous sand, free from salt, organic or other deleterious matter.

Coarse Aggregate: Shall be clean, hard, crushed stone, graded from BM20.

Water: Shall be clean drinking quality from approved supply.

Reinforcement: Reinforcing steel shall consist of plain round bars, bent, cranked and tied in accordance with the best trade practice. Concrete cover to bars shall generally be no less than 75mm in footings, steel shall be lapped at least 40mm diameter or minimum 400mm.

Formwork: All formwork shall be of sound timber and shall be fixed in perfect alignment, level and plumb and securely braced. The inside of the formwork shall be wetted before concreting is commenced.

Blockbase Foundations: Foundations for basewall shall be continuous footing as indicated on plans. Step footings to suit block sizes and to follow contours of site. Reinforcing rods to be tied at 300mm centres with No. 3 steel.

Floor: The whole area shown as floor shall have a 100mm thick concrete slab on well packed, solid fill.
Use a damp proof cover of 0.25mm polythene laid carefully and all laps to be taped.

Damp Proof Course: All timber supported on or in contact with brick, stone or concrete shall be protected by an approved damp proof course.

BLOCKLAYER

General: Read with General Conditions of Contract. Lay up to whole of the concrete blockwork shown on the plans and elevations and herein specified. All course shall be level, carried up uniformly keeping perpendiculars, angles etc. true and plumb and the whole bonded together.

Materials: All materials shall be of good quality. Cement and sand shall be as specified for Concretor. Mortar shall be 1 part cement to 3 parts sand, gauged with an approved fattening admixture. Blocks shall be of approved manufacture, concrete masonry units conforming to NZS 595 for concrete bricks and blocks. Reinforcing steel shall be plain round and deformed bars as specified.

Storing and Laying: Blocks shall be protected from weather while sorted out on site and shall not be wetted prior to laying. Lay blocks up to preserve vertical continuity of cells with mortar placed on shell walls only. Bond at angles of intersections shall be provided by lapping units in successive vertical courses or equivalent mechanical anchorage.

Basewalls: Build the block basewalls as shown using 200mm Firth Units, concrete masonry units with a maximum 10mm joints, tooled smooth and weather struck where exposed.

Vents (where required): Build in as progresses 400mm x 200mm precast concrete, vermin proof vents, spaced 60mm from angles at a maximum of 1,800mm centres. Vents should be in course below bond beam.

Filling Course: The nominal mix proportions for concrete for filling cells around reinforcing shall be 1 part cement, 2 parts sand, 2 parts BM 20 aggregate. Compact concrete as cells are filled by rodding.

CARPENTER AND JOINER

General: Complete all Carpenters and Joiners work to highest trade standards. All framing timbers to be as NZ 3604 1990. Generally facilitate all sub-trades. Structural sizes, spacing and fixing details per NZSs 3604 1999 and Amendments - deviations to NZSs 3604 to be supplied by Engineer or to manufacturers specification.

Timber Schedule: All framing to comply with NZS 3603 and NZS 3604 1999 and its amendments. Also refer to drawings for specific design detail. All wind loadings are to be based on NZS 4203. All timber where possible shall be precut or preassembled off the site so as to minimise damage.

Structural Timbers: To relevant tables NZSs 3604 1999 and its amendments.

Finishing Lines: Refer Addendum

Wall Framing: Exterior and interior walls and bearing shall be framed of size shown on plans with studs at (as per plan) centres and shall have 3 rows of drawings at 800 centres. Bracing shall be in accordance with NZS 4203 and special design requirements noted on the drawings.

ALL WORK TO
COMPLY WITH

NZS 3604 1999

IN-SPECT BUILDING
THESE PLANS AND SPECIFICATIONS ARE
FOR VERMIN PROOF BUILDING
CERTIFICATION CO LTD AS MEETING THE
REQUIREMENTS OF THE BUILDING CODE
SUBJECT TO GENERAL CONDITIONS AS
ENDORSED HEREON.

Joinery Schedule: All windows to be of type and size as shown on plans with rebated jambs. Back door to be glazed aluminium hinged door. Entry door to be of timber construction (painted in light colour).

Internal Doors: Doors shall be pre-hung flush doors clashed one edge to sizes shown on plans, they shall be hung on one and a half pairs 90mm AC butt hinges and fitted with tubular latchsets. The timber doors shall be paint quality, hollow core with rebated jambs. Internal sliding doors to be hung on approved sliding door gear.

Code of Practice for specifying timber and wood based products for use in buildings shall be in accordance with NZS 3602 1990 and grading of timber shall be in accordance with NZS 3631 1988.

Ceiling Strapping: Fix 75mm x 40mm strapping strips longitudinally at 400cc to suit 9.5 gib ceiling sheets. Provide solid railing for all scotia and cornices.

Soffit Lining: Roof overhangs shall be lined with 4.5mm Hardiflex used with PVC joints, section at joints fixed with galvanised clouts. Soffit sheets shall extend to back of porches and be grooved into back of fascia and barge boards a minimum of 6mm.

Wardrobes: Line wardrobes with Gibraltar board. Fit one 300mm x 25mm full length shelf at 1,700 height with Pryde wardrobe rail or similar. Doors to be as noted on plans.

Linen Cupboard: Provide in line cupboard, 5 full length and width slatted shelves. Fix wood slats to wall cleats. First shelf shall be 450mm from floor.

Hot Water Cupboard: Construct cupboard with 75mm x 50mm timber and Gibraltar board sides.

Tub Cabinet: Fix one premade tub cabinet as per plans.

Vanity Unit: Fix one premade vanity unit as per plans.

Kitchen Cupboards: Generally fit as shown on plans. Doors to be levelled and adjusted.

Finishing Timbers: All finishing timbers shall be dressed and sanded to give a smooth, even finish free from all defects and machine marks. Butt joints and mitres shall be neatly fitted and fastened. Ensure that dents, knots and other defect timber is not used but returned to the supplier for replacement.

Hardware PC: Builders Standard range unless otherwise specified.

BRICKLAYER

General: Read with General Conditions of Contract. Build the whole of the brickwork as shown on plans and elevations and herein specified. All courses shall be level, carried up uniformly keeping perpendiculars, angles etc. true and plumb and the whole bonded together.

Materials: All materials shall be good quality. Cement and sand shall be as specified for Concrete. Mortar shall be 1 part cement to 2 parts sand, gauged with an approved fattening admixture. Bricks shall be of approved manufacture, clay masonry units conforming to NZS 366.

Storage and Laying: Bricks shall be stored on site where required. Bricks shall not be wetted prior to laying. Full flush all bed and vertical joints with coloured mortar keeping joints a maximum of 10mm thick. Tool smooth where exposed. Bond at angles shall be provided by lapping units in successive vertical courses or equivalent mechanical anchorage.

Brick Veneer Walls: Build the exterior walls of the house as shown per addendum, all joints fully flushed and tooled smooth for facework. Secure brick veneer to wall framing with No. 8 galvanised wire ties at 300mm centres to every third course and at all angles, openings and end walls. *Type of ties & spacings will comply with NZS 3604:1999.*

Vermin Proof: Build in 100mm wide strip of 6mm mesh, galvanised netting secured to bottom plate with galvanised staples carried across cavity and build 25mm into brickwork.

Window Sills: Form sills to all windows using similar bricks to wall veneer. Lay bricks on edge of mortar on full length malthoid flashing. Bricks shall overhang veneer to form drip.

Clean Face Brick: Clean down all face brick at competition with a weak solution of muriatic acid and leave free from stains or defects.

Pointing: Brickwork to be pointed as per colour scheme to all joints.

ELECTRICIAN

General: All electrical installations shall be made in complete conformity with State Electricity Department Regulations and Local Supply Authority requirements.

Switches: All power points and light switches shall have flush metal boxes with white plastic covering plates.

Materials: Materials used by the electrician must be of an approved manufacture and must conform to the regulations of the local Power Board.

Workmanship: The whole of the Electrician's work must be carried out in compliance with the regulations of the said Power Board and the Underwriters' Association by duly licensed tradesman.

Wiring: Wire the electrical system with tough plastic sheathed and insulated cables. Connection boxes shall be used with the plastic cable and wiring shall be concealed where practical.

ALL WORK TO
COMPLY WITH

NZS 3604:1999

IMPORTANT
THIS SET OF PLANS IS TO BE USED FOR ALL TOP-PLATE, TRUSS & PERLIN FIXINGS TO COMPLY WITH NZS 3604:1999.

IN-SPECT BUILDING CERTIFICATION CO LTD
THESE PLANS AND SPECIFICATIONS ARE APPROVED FOR IN-SPECT BUILDING CERTIFICATION CO LTD AS BEING IN COMPLIANCE WITH THE REQUIREMENTS OF THE BUILDING CODE SUBJECT TO SECTIONS 10 & 11 AS ENDORSED HEREON.

Mains: Where rough rubber sheathed or plastic sheathed cables are installed as service mains, the cable shall terminate in an approved mains entry box fixed to the outside of the building as close as practicable to the service line termination. Subject to the Supply Authority's approval the point shall be installed with the service mains where so required by the Local Authority.

Meter Panel: Provide and fix one meter panel enclosed in metal box with clear panel in door where directed.

PLUMBER

General: Read the General Conditions of Contract. The whole of the plumbing work shall comply in all respects with the Building Act 1991 and Building Code 1992 and the building left watertight and all installations in perfect working order.

Cleaning: The Plumber shall clean all the sanitary fittings, taps etc. that he installs.

Insurance: The Plumbing Contractor shall take out a Public Risk Policy to cover damage done by his own employees.

Sanitaryware: Supply and fix all items specified on the plans. All toilets to be white porcelain WC pan, Dux cistern, double flat plastic seat and flush pipe in accordance with NZS 3331, NZS 2028 and NZS 4616.

Taps: All taps to be as per order.

Vent Pipes: Carry up all vent pipes as required by Local Inspector from drains and fittings. Restraining strap to be installed to hot water cylinder as per manufacturers recommendations. Drip try with overflow pipe may be required under certain types of hot water cylinders and are to be installed as per manufacturers recommendations.

Wastes: Fix 31.75mm x 38.1 PVC wastes with PVC traps from sink, tub, bath, basin and shower to discharge into gullies. Backvent where necessary. Traps to be as per NZS 7652 (refer to National Building Code, Section G13, VIII) and NZS 7641 1978 (Section G13, VII).

Piping: Piping hot water in ~~copper~~ ^{Polybutalene}, and cold water lines shall be in Polybutalene with appropriate fittings.

Cold Water Supply: Pipe feeders from supply in 19mm Polybutalene. All pipework to WC, bath, hot water cylinder, shower, basin, sink and tubs in Polybutalene. Also provide and fix 2 brass hose taps. Piping outside building shall be buried to a minimum depth of 450mm grassed areas, and 600mm in sealed areas, in the ground in accordance with NZS 7601 1978.

Hot Water Cylinder: Supply and fix one 180 litre capacity (as specified in Addendum) electric hot water cylinder complete with element and thermostat. Fix 19mm copper exhaust or pressure reducing valve in accordance with NZS 4606 1985, NZS 6214 1988. Temperature to bath, shower and vanity to be set at 60°C.

Hot Water Supply: Run hot water lines from cylinder to bath in 12mm copper to sink, basin, tub and shower in accordance with NZS 7601 1978.

Insulation: Insulate the whole building in accordance with the relevant Government Regulations in force at the time. Refer to Addendum or drawings for insulation type.

Completion: The whole site is to be cleared of excess building materials, and all trenches backfilled only.

DRAINLAYER

General: Read with General Conditions of Contract. The whole of the Drainlaying work is to be carried out by a Registered Drainlayer and shall be in accordance with the Building Act 1991 and Building Regulations 1992.

Extent of Work: Excavate or supply and lay all drains, fittings etc. necessary for the complete drainage of this building, including both sanitary sewer and stormwater systems.

Materials: Shall be all good quality lines.

- Pipes, first quality 100mm diameter PVC or approved tile in accordance with NZS 7641 NZS 4452 1986.
- Fittings, gullies, PVC NZS 7604 1981.

Laying: Excavate for and lay pipelines to even falls, complete with necessary bends, junctions, cleaning eyes and inspections. Fit rubber ring joints and clean out pipes as work proceeds. Connect up to sanitary sewer.

Completion: All works must be tested to the Inspector's satisfaction and any defects made good before backfilling. Backfilling to be as original ground level.

GIBSTOPPER

General: Carry out all stopping work to highest trade standards. To paint quality to all work including taped joints.

Materials: Plastering materials shall be good quality and as specified by wallboard manufacturer.

Precaution: Take all reasonable precautions to prevent damage to stain to any woodwork.

Gib Cove: Fit all gib cove to manufacturers specifications.

Ceilings: To be 9.5 Gib board fixed in accordance with manufacturers recommendations.

ROOFER

General: Read with General Conditions of Contract. Fix whole roof as shown on plans and elevations to provide a thoroughly watertight roof.

Roofing Materials: To be as indicated on plans and fixed to manufacturers specification.

ALL WORK TO
COMPLY WITH
NZS 3604 1999

IMPORTANT
THIS SITE FALLS OUTSIDE A
LOW WIND-ZONE.
ALL TOP-PLATE, TRUSS &
PERLIN WORK MUST COMPLY
WITH NZS 3604 1999

IN-SPECT BUILDING CERTIFICATION CO LTD
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ENDORSED HEREON.

*Compliance with NZS 4211: All joinery units must be designed and manufactured to comply with NZS 4211 and other relevant standards, namely NZS 4223 Table II and NZS 3604. Windows/Doors will have the appropriate NZS 4211 compliance sticker attached.

Glass: Glass to be fitted in strict accordance with NZS 4223. More specifically:

- minimum of 5mm thick in all sliding doors and hinge doors
- 5mm to be used below vision rails in doors and windows.

Glazing to WC/Ensuite: Bathroom and shower shall be selected obscure glass.

WALLBOARD FIXER

General: Carry out the whole of the fixing work and stopping of all Gibraltar board walls and ceilings as specified below.

Ceilings: To be as indicated on the plans.

Wall Linings: Supply 9.5mm Gibraltar board wall linings throughout house, including all cupboards, wardrobes etc. except where otherwise stated.

Precaution: Take all reasonable precautions to prevent damage or stain to any woodwork.

PAINTER AND PAPERHANGER

General: Read the General Conditions of Contract. All painting shall be in accordance with the best trade practice, executed during suitable weather and with no undue delay.

Materials: Use only good quality, ready mixed or base colours with strong colour stains. All paints shall be mixed, thinned and applied strictly to the manufacturers recommendations to achieve the finish and colour scheme chosen by the client.

Exterior Woodwork: All exterior wood surfaces shall be thoroughly dry and clean before paint is applied. To areas not already primed, apply one coat of general purpose primer, then stop all nail holes, cracks and defects with filler, then apply one coat of exterior undercoat in a colour approximating the colour of the finishing coat and one coat of exterior gloss paint. Lightly rub down all surfaces with fine glass paper.

Cement Fibre Board: To be coated as per manufacturers specifications.

Interior Paintwork: All interior painted areas shall receive one coat of primer undercoat or sealer. Stop all nail holes, cracks and defects with a filler compound or linseed putty then apply one coat of interior undercoat and one finishing coat of interior highgloss paint.

Ceilings: Apply one sealing coat to all painted ceilings, stop all nail holes, cracks and defects then apply one undercoat and one finishing coat.

Wallpaper: The glue to be used shall be fresh and have a fungicide mixed with it. Papers shall be matched, trimmed, hung true and plumb with neatly butted joints and all air bubbles and crinkles smoothed out. Trim edges of paper round architraves, cupboards etc. with a sharp knife.

Wardrobes: Paint inside of all wardrobes.

ALL WORK TO
COMPLY WITH
NZS 3604 1999

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ENDORSED HEREON.

MONIER CONCRETE TILE
ROOF @ 22.5 DEG. PITCH

ALTERED

KIM

© GOLDEN HOMES
HOLDINGS LTD 19:

ALL WORK TO
COMPLY WITH
NZS 3604 1999

IMPORTANT
THIS SITE FALLS OUTSIDE A
LOW WIND-ZONE.
ALL TOP-PLATE, TRUSS &
PERLIN FIXINGS TO COMPLY
WITH NZS 3604 1999

ELEVATIONS

SCALE 1:100

2.

SELECTED FASCIA &
GUTTER SYSTEM



3.



4500 WIDE SECTIONAL
GARAGE DOOR

ALUMINIUM JOINERY

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4.

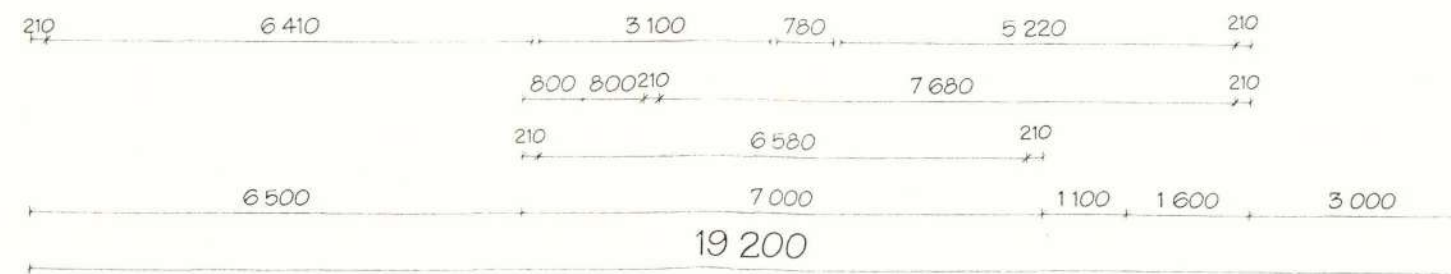
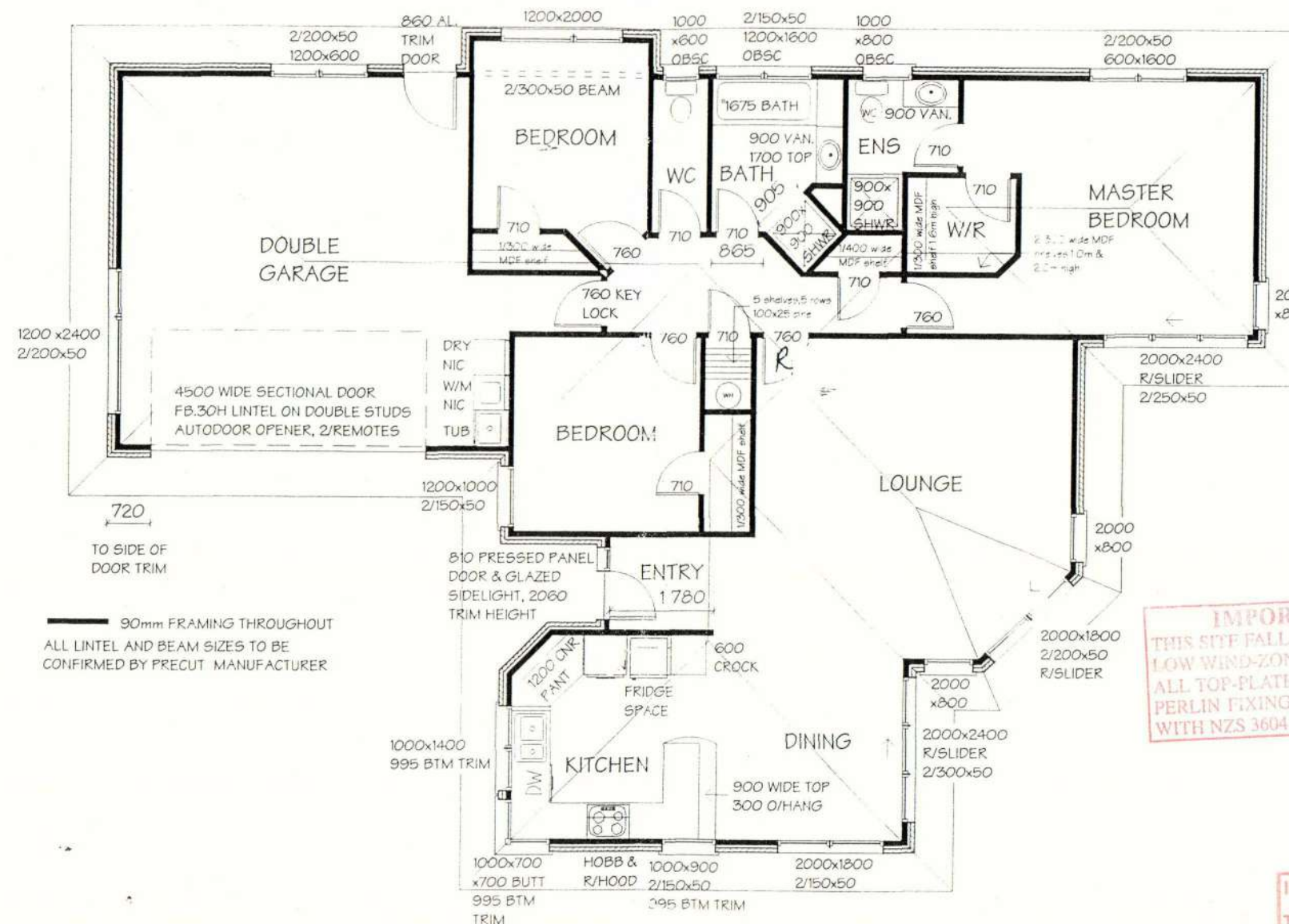
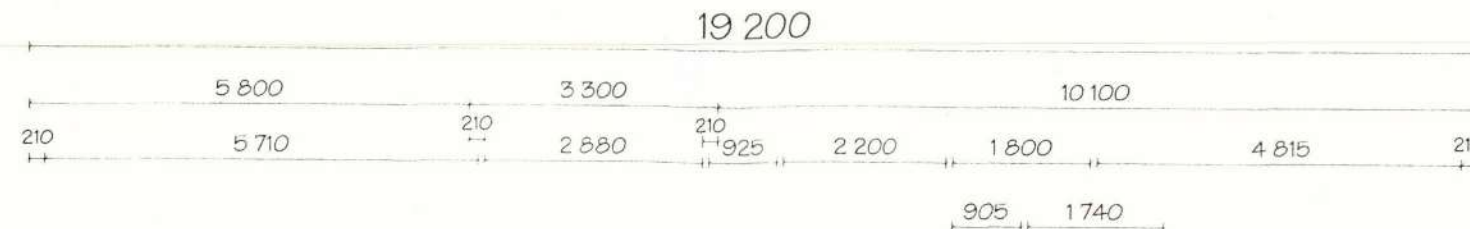
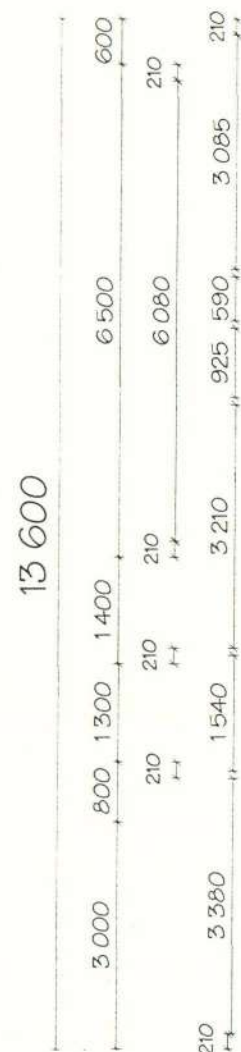
SELECTED MONIER 70
SERIES BRICK VENEER



810 PRESSED PANEL ENTRY
DOOR & GLAZED SIDELIGHT

PROPOSED RESIDENCE

MR BRIGGS & MRS KENNET, LOT 34 197
AMBROSE ESTATE, ROLLESTON
AALST CONSTRUCTION LTD, JOB NO.187A



ELEVATION GUIDE

FLOOR PLAN

FLOOR AREA = 172.4 sqM
 ROOF AREA = 214.2 sqM
 SCALE 1:100

PROPOSED RESIDENCE

MR BRIGGS & MRS KENNET, LOT 54/97
 AMBROSE ESTATE, ROLLESTON
 AALST CONSTRUCTION LTD, JOB NO.187A

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ALL WORK TO
 COMPLY WITH
 NZS 3604 1999

IMPORTANT
 THIS SITE FALLS OUTSIDE A
 LOW WIND-ZONE.
 ALL TOP-PLATE, TRUSS &
 PERLIN FIXINGS TO COMPLY
 WITH NZS 3604 1999

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 REQUIREMENTS OF THE BUILDING CODE
 SUBJECT TO SUCH CONDITIONS AS
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19 200

5 800

3 300

10 100

ALTERED

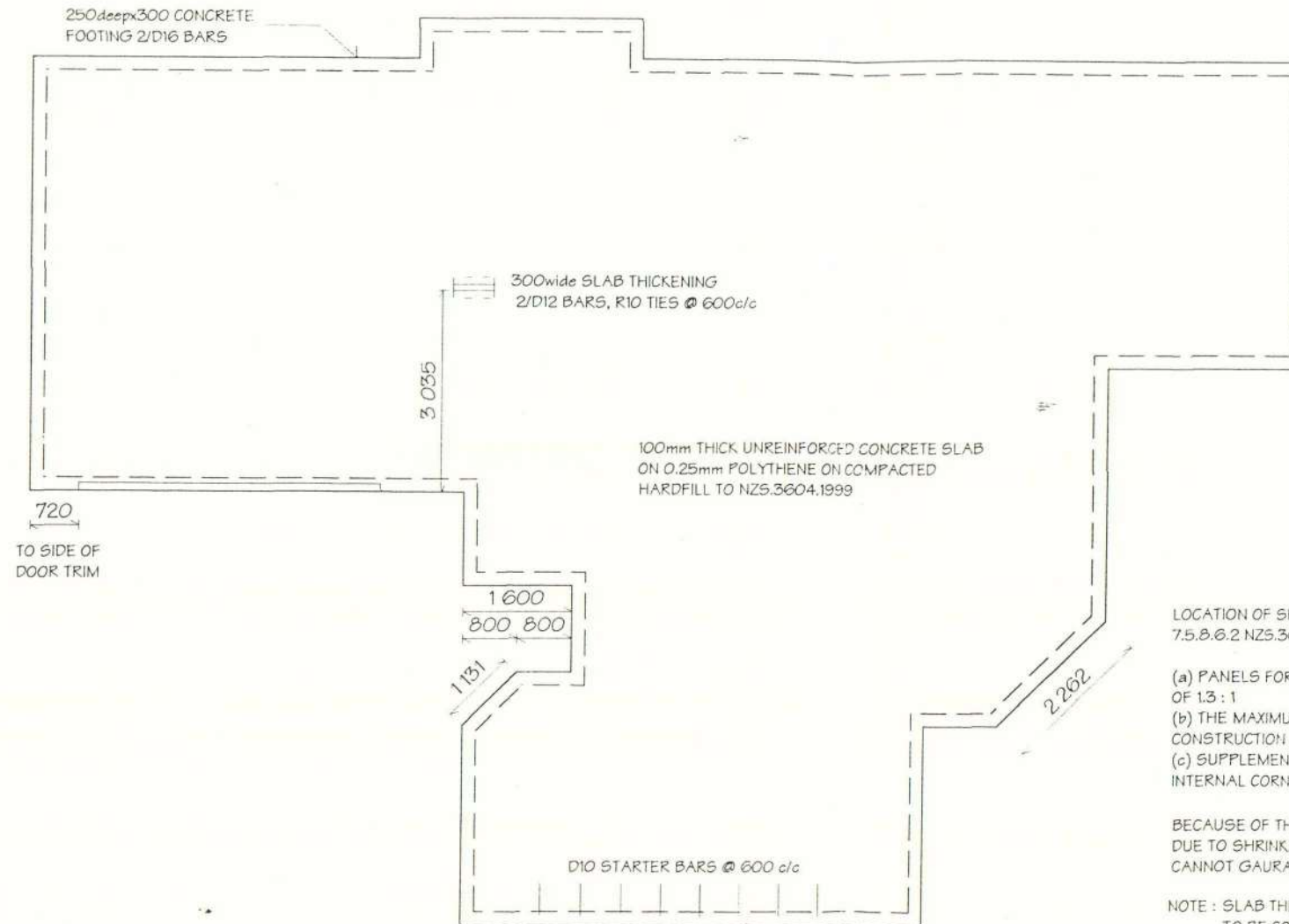
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LOCATION OF SHRINKAGE CONTROL JOINTS TO COMPLY WITH SECTION
7.5.8.6.2 NZS 3604:1999 FOR UNREINFORCED SLABS

- (a) PANELS FORMED SHALL HAVE A MAXIMUM RATIO OF LENGTH : WIDTH
OF 1.3 : 1
- (b) THE MAXIMUM PLAN DIMENSION OF CONCRETE BETWEEN
CONSTRUCTION JOINTS, OR SHRINKAGE CONTROL JOINTS IS 3m.
- (c) SUPPLEMENTARY STEEL (2/D10 BARS, 1.2m LONG) PLACED AT
INTERNAL CORNERS EXCEPT ACROSS SHRINKAGE CONTROL JOINTS.

BECAUSE OF THE POSSIBILITY OF CRACKS DEVELOPING IN THE CONCRETE FLOOR
DUE TO SHRINKAGE DURING THE CURING PROCESS, AALST CONSTRUCTION LTD.
CANNOT GAURANTEE AGAINST FLOOR TILES BREAKING

NOTE : SLAB THICKENING POSITIONS UNDER GIRDER TRUSS POINT LOADS
TO BE CONFIRMED BY TRUSS MANUFACTURER

6 500

7 000

1 100

1 600

3 000

19 200

FOUNDATION PLAN

SCALE 1:100

PROPOSED RESIDENCE

MR BRIGGS & MRS KENNET, LOT ~~384~~ 197

AMBROSE ESTATE, ROLLESTON

AALST CONSTRUCTION LTD, JOB NO.187A

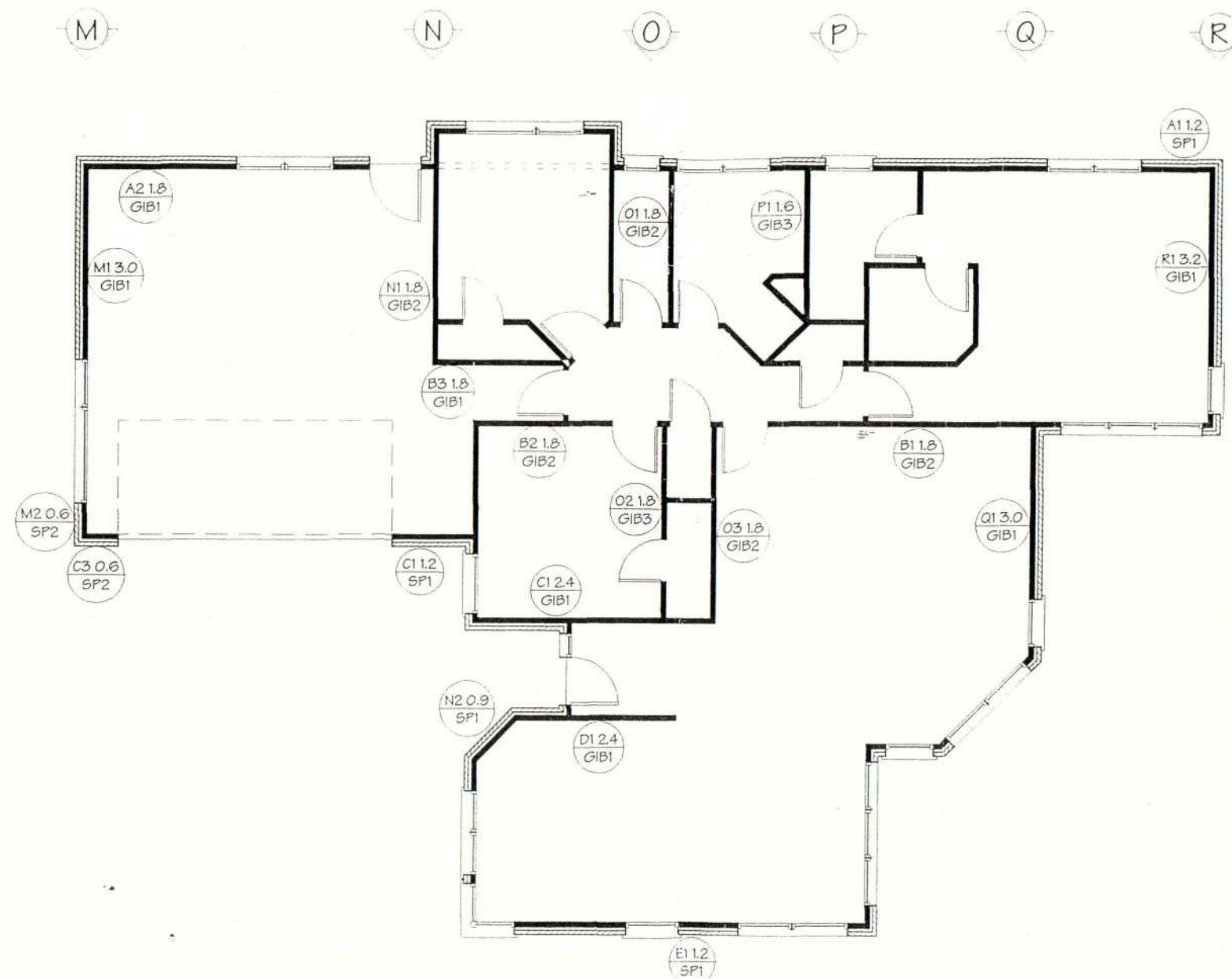
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WITH NZS 3604 1999

**ALL WORK TO
COMPLY WITH
NZS 3604 1999**

BRACING PLAN

SCALE 1:100

PROPOSED RESIDENCE

MR BRIGGS & MRS KENNET, LOT 384 197
AMBROSE ESTATE, ROLLESTON
AALST CONSTRUCTION LTD, JOB NO.187A

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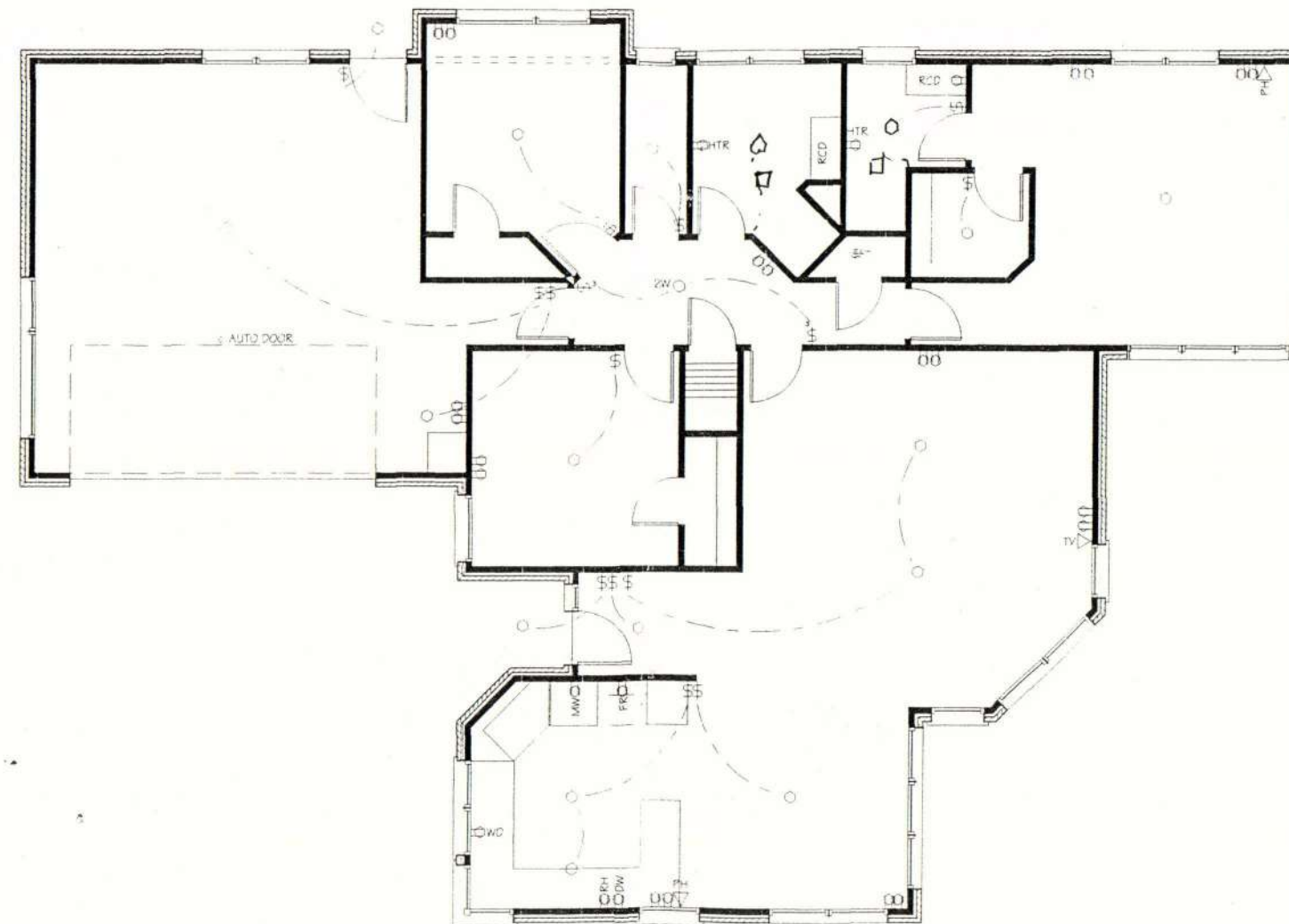
KEY

RECESSED LIGHTS	15 No.
EXTRACTOR FANS	2 No.
SINGLE P/POINT	3 No.
DOUBLE P/POINT	11 No.
RCD POINT	2 No.
HEATED TOWEL RAIL	2 No.
TV OUTLET	2 No.
TELEPHONE JACK	2 No.

2 WAY LIGHT CIRCUIT	1 No.
RANGEHOOD DUCTING	1 No.
AUTO GARAGE DOOR POINT	1 No.

METER BOX	1 No.
HOB, OVEN, & HWC WIRING	
BUILDERS TEMPORARY SUPPLY	
INSPECTION & CONNECTION FEES	

NOTE: POSITION OF ELECTRICAL
FIXTURES TO BE CONFIRMED WITH
OWNER ON SITE



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NZS 3604 1999

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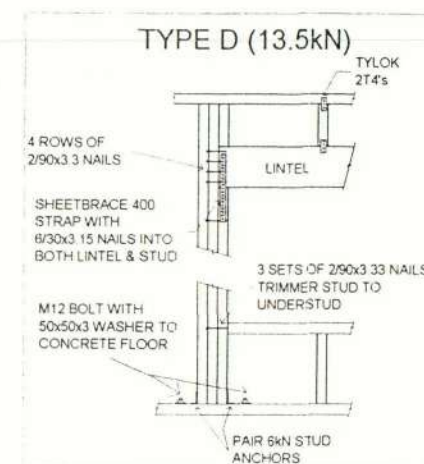
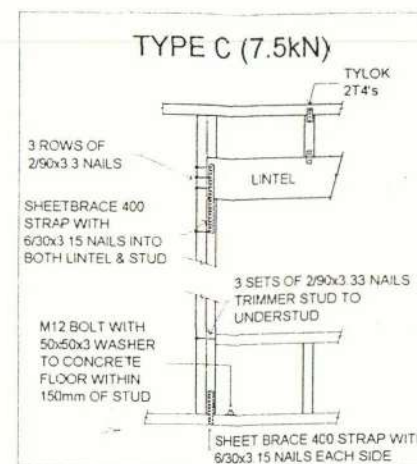
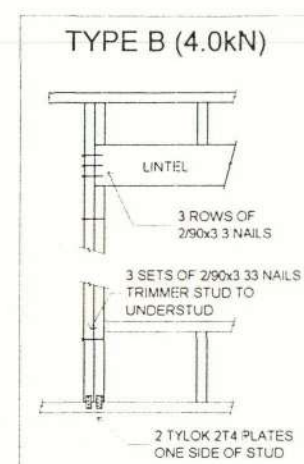
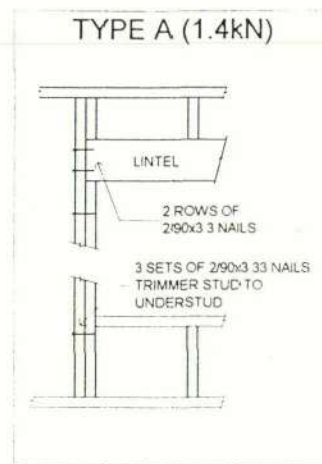
ELECTRICAL PLAN

SCALE 1:100

PROPOSED RESIDENCE

MR BRIGGS & MRS KENNET, LOT ~~354~~ 197
AMBROSE ESTATE, ROLLESTON
AALST CONSTRUCTION LTD, JOB NO.187A

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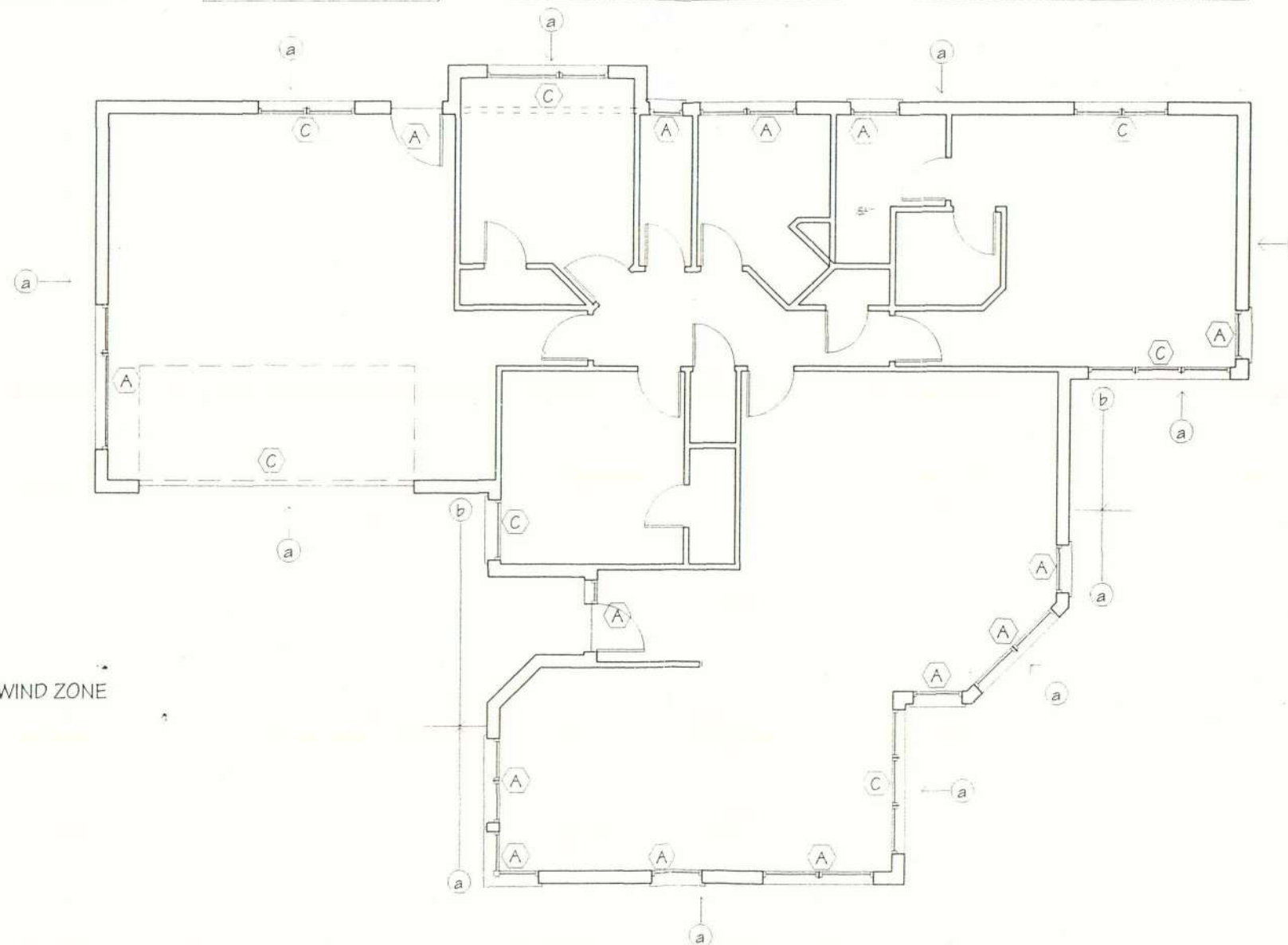


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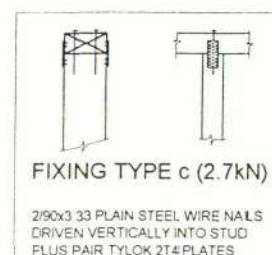
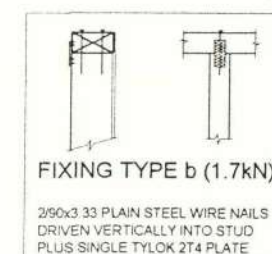
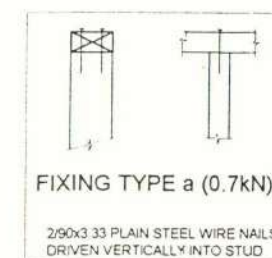
IN-SPECT BUILDING CERTIFICATION CO LTD
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FIXINGS FOR MEDIUM WIND ZONE

a LINTEL FIXING

b TOP PLATE FIXING



IMPORTANT
THIS SITE FALLS OUTSIDE A LOW WIND-ZONE. ALL TOP-PLATE, TRUSS & PERLIN FIXINGS TO COMPLY WITH NZS 3604 1999

ALL WORK TO COMPLY WITH NZS 3604 1999

LINTEL & PLATE FIXINGS

SCALE 1:100

PROPOSED RESIDENCE

MR BRIGGS & MRS KENNET, LOT 34 / 97
AMBROSE ESTATE, ROLLESTON
AALST CONSTRUCTION LTD, JOB NO.187A

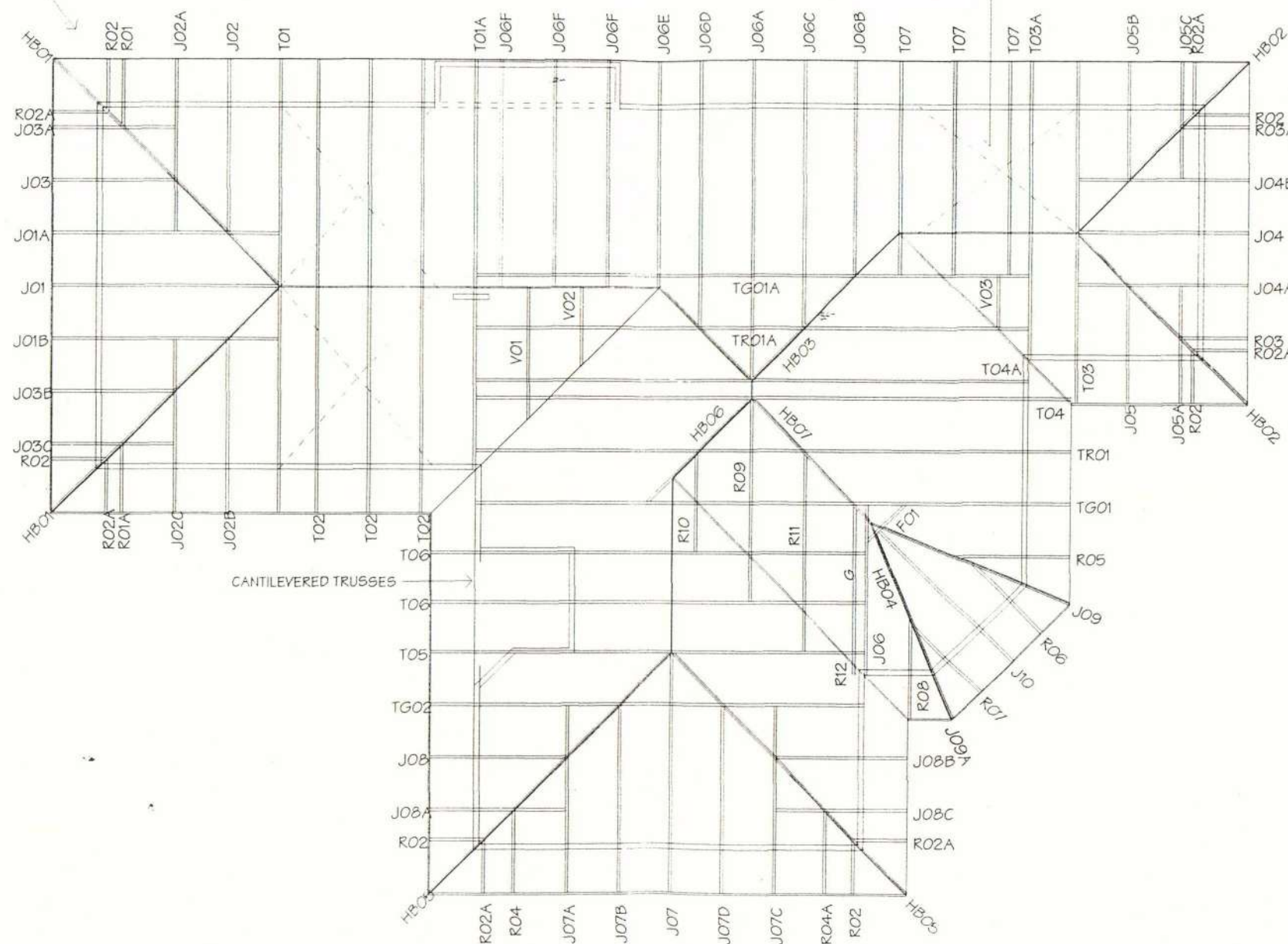
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GAMGNAIL ROOF TRUSSES @900c/c
22.5 DEG. PITCH, 750 O/HANG

LUMBERLOK STRIP BRACES
WITH TENSIONERS



ALL WORK TO
COMPLY WITH
NZS 3604 1999

IMPORTANT
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ROOF FRAMING

SCALE 1:100

PROPOSED RESIDENCE

MR BRIGGS & MRS KENNET, LOT 354 197
AMBROSE ESTATE, ROLLESTON
AALST CONSTRUCTION LTD, JOB NO.187A

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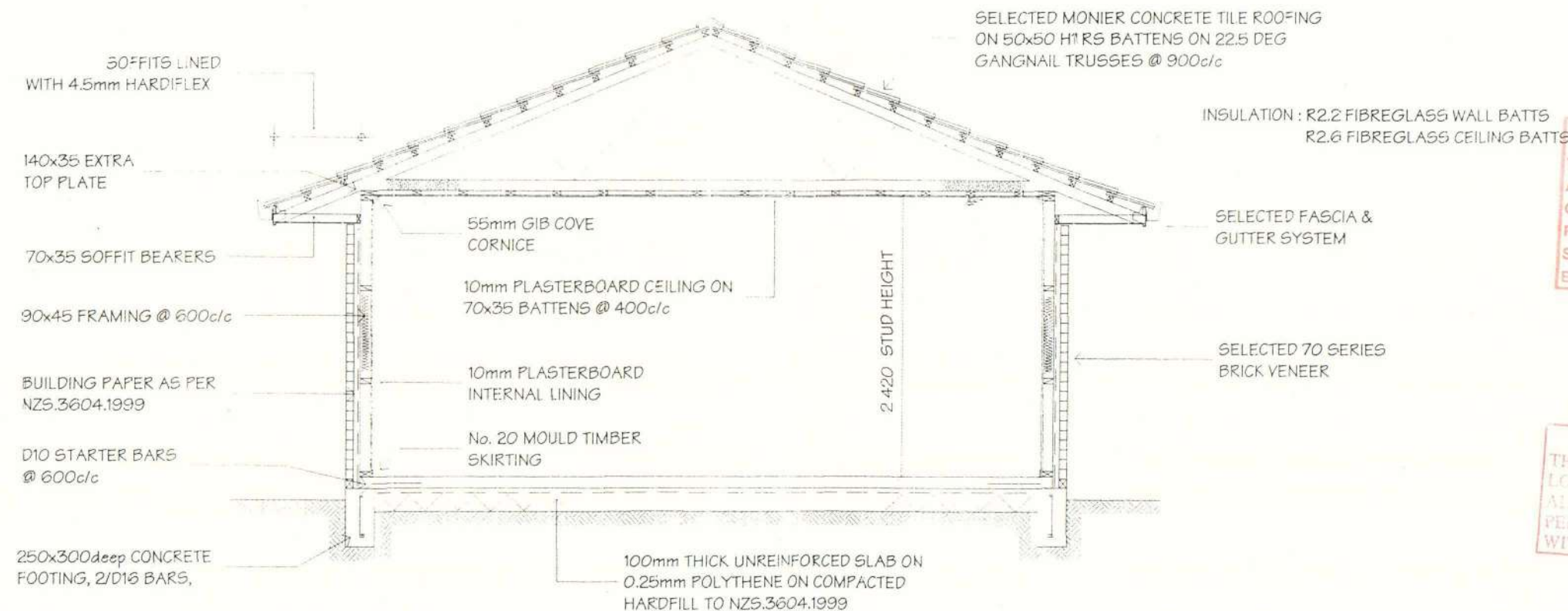
NOTE: MEDIUM WIND ZONE,
ROOF TRUSSES FIXED IN ACCORDANCE WITH
TABLES 10.12 & 10.13 NZS.3604.1999

TILE BATTENS FIXED IN ACCORDANCE WITH
TABLES 10.9 & 10.10 NZS.3604.1999

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PERLIN FIXINGS TO COMPLY
WITH NZS 3604 1999

ALL WORK TO
COMPLY WITH
NZS 3604 1999

TYPICAL SECTION

SCALE 1:50

PROPOSED RESIDENCE

MR BRIGGS & MRS KENNET, LOT ~~364~~ 197
AMBROSE ESTATE, ROLLESTON
AALST CONSTRUCTION LTD, JOB NO.187A

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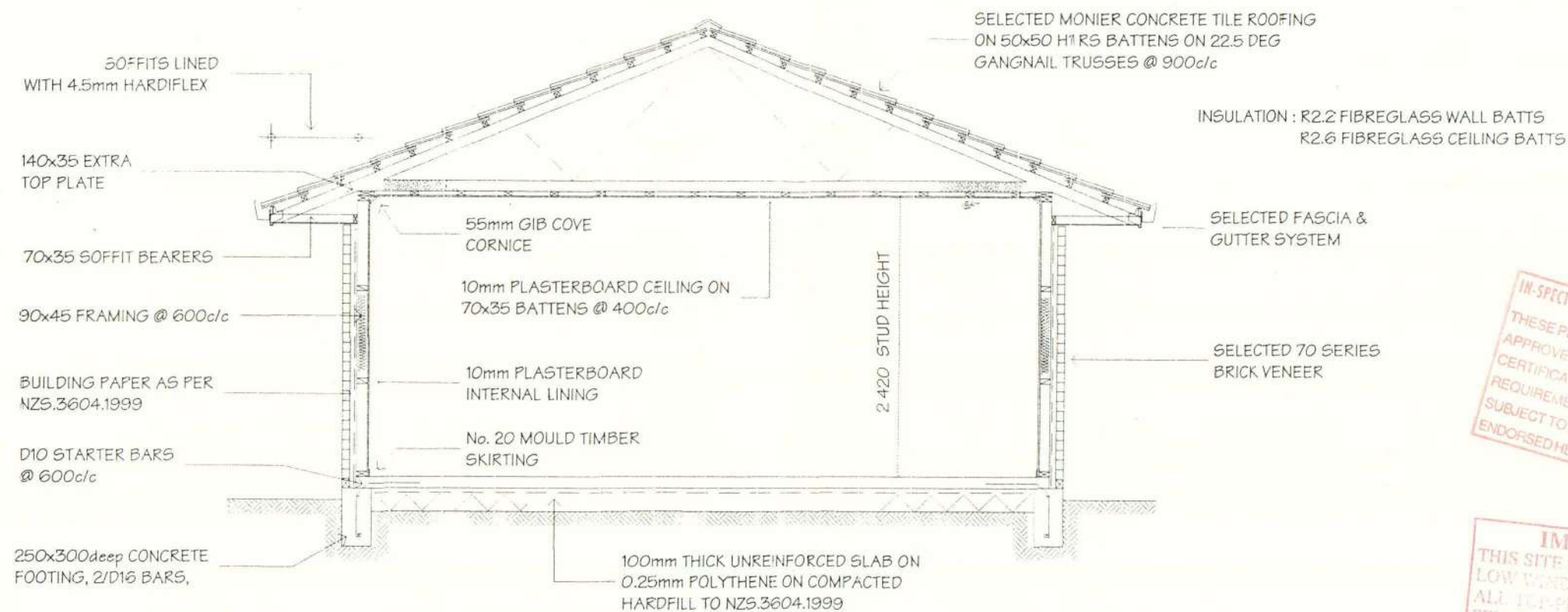
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TYPICAL SECTION

SCALE 1:50

PROPOSED RESIDENCE

MR BRIGGS & MRS KENNET, LOT ~~354~~ 197
AMBROSE ESTATE, ROLLESTON
AALST CONSTRUCTION LTD, JOB NO.187A

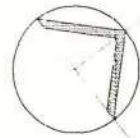
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238d 57' 30"
36.00

KEY

- 100mm SOIL DRAIN
- WASTES
- oDP DOWNPIPES
- GT GULLY TRAP
- oTV TERMINAL VENT
- PLUMBING TO NZ STANDARD

LOT 354
AREA 816sqm
FLAT SITE



328d 57' 30"
22.77

IMPORTANT
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LOW WIND-ZONE.
ALL TOP-PLATE TRUSS &
PERLIN FIXINGS TO COMPLY
WITH NZS 3604 1999

IMPORTANT
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WITH NZS 3604 1999

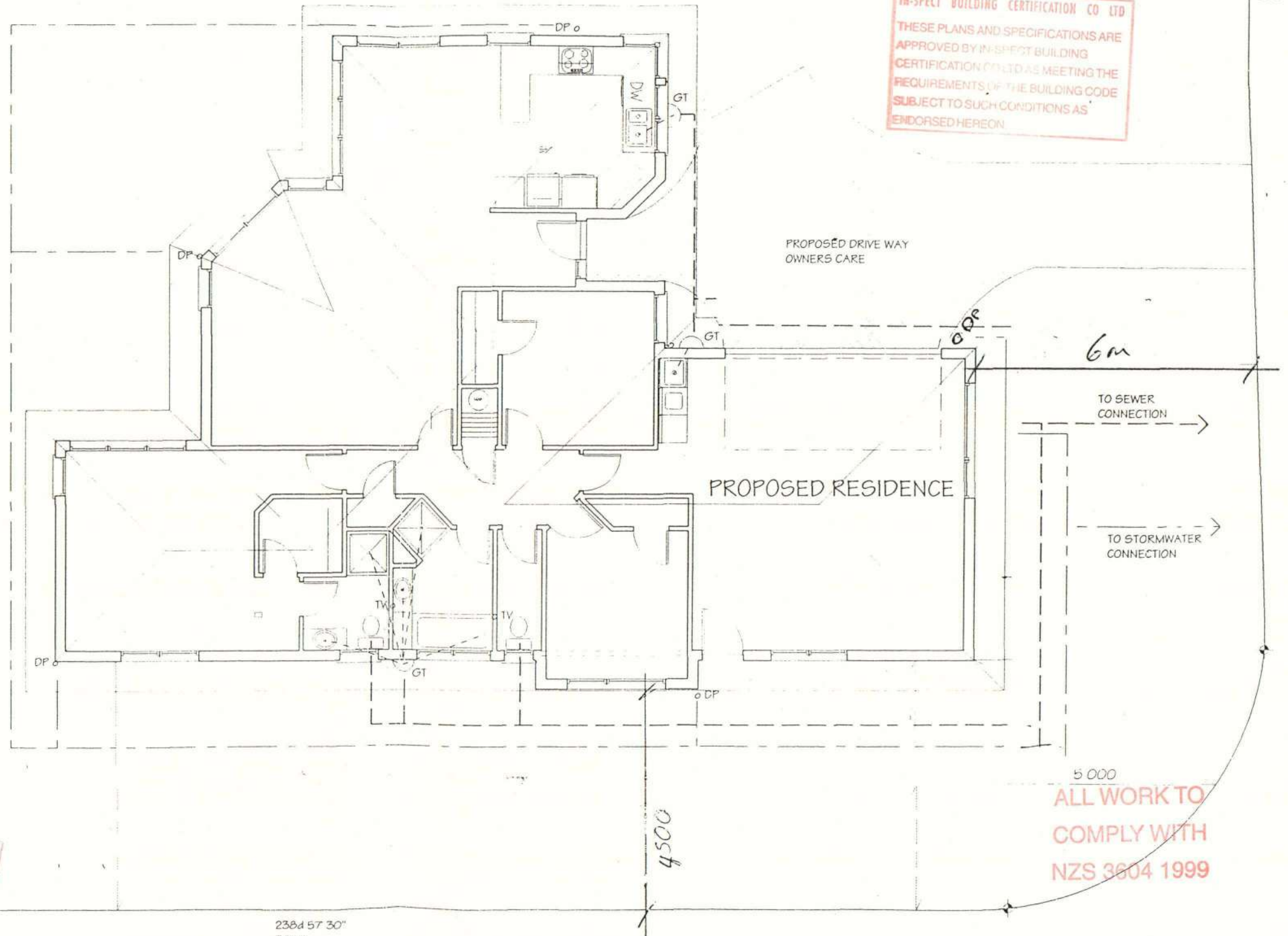
238d 57' 30"
30.48

SELWYN DISTRICT COUNCIL
SITING APPROVED
PROPOSAL *Drilling*
DATE 09/07/02 PLANNER *MS*

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328d 57' 30"
6.15

ROAD



SITE & DRAINAGE

SCALE 1:100

PROPOSED RESIDENCE

MR BRIGGS & MRS KENNET, LOT 354 197
AMBROSE ESTATE, ROLLESTON
AALST CONSTRUCTION LTD, JOB NO.187A

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DWELLING

- ☐ Site Plan
- ☐ Floor plans
- ☐ Details of any demolition work
- ☐ Elevations
- ☐ Cross sections
- ☐ On site sewage treatment and disposal
- ☐ Potable water details
- ☐ Provisions for disposing of stormwater
- ☐ Wall bracing layout and calculations
- ☐ Truss design
- ☐ Producer Statement for specific design.
- ☐ Written specifications

SOLID FUEL HEATER

- ☐ Floor plan indicating position of heater
- ☐ Fire installation instructions
- ☐ Indicate whether the fire is free standing or built into an existing chimney.
- ☐ If second hand— include approved heating engineer's report
- ☐ Include Craftsman Plumber's name if fire to be connected to a wetback.

SWIMMING POOLS

- ☐ Site plan indicating position of pool.
- ☐ Pool specifications, paving and fencing details
- ☐ Backflow prevention, filter backwash and pool water disposal
- ☐ Hydrostatic valve if in high water table area.

GARAGE

- ☐ Site Plan
- ☐ Floor plans
- ☐ Details of any demolition work
- ☐ Elevations
- ☐ Cross sections
- ☐ Provisions for disposing of stormwater
- ☐ Wall bracing layout and calculations
- ☐ Truss design
- ☐ Producer Statement for specific design.

FARM BUILDINGS

- ☐ Site Plan
- ☐ Floor plans
- ☐ Details of any demolition work
- ☐ Elevations
- ☐ Cross sections
- ☐ Producer Statements for specific design
- ☐ Producer Statements for buildings sited in an area exceeding 0.7kPa snow loading.

COMMERCIAL BUILDINGS

- ☐ as for dwelling plus:
- ☐ Producer statement design to cover specifically designed engineering work (often the entire building project)
- ☐ Fire report
- ☐ Disabled Facilities and Access
- ☐ Compliance Schedule details

Where producer statements have been referred to in the checklists, it is not compulsory to have a Producer Statement Design but it will reduce the cost of your consent and facilitate a quicker release. Alternatively Council can have your proposed design peer reviewed by an Engineer and the cost added to your consent.

BUILDING INFORMATION

Timing:

A building consent will be issued within a maximum allowable time of ten working days provided all the information required has been supplied. Where all information is provided a faster issue time may be achieved. Processing time for issue is stopped whenever further information is required and starts again when the information is received.

Fees:

A deposit payable of \$100.00 is required to begin processing your application. A quote for consent issue and inspection cost is provided with the Project Information Memorandum (PIM). Once the building consent has been approved, you will receive by mail notification of the balance of the fees payable.

INSPECTIONS

During the process of construction, inspections will be necessary to confirm all work complies with your Building Consent and the Building Code. The Council requires 24 hours notice prior to the Council's Building Official visit.

Inspections are generally required prior to covering up or closing in of any of the following:-

- Plumbing and drainage work
- Excavations for foundations
- Reinforcing steel for foundations
- Timber framing
- Insulation material
- Bracing elements
- Other building work noted as requiring inspection as a condition of a consent.
- Other inspections required by an engineer relating to a producer statement.

RESOURCE CONSENTS

When you apply for a Project Information Memorandum your application will be assessed by the Planning Department of Council to determine whether your application complies with the District Plans requirements.

Only if your application does not comply will a resource consent be required. You will be notified that a resource consent is required and it is recommended that you contact the Planning Department to determine the process from there. Telephone 324 8080.

CODE COMPLIANCE

A building consent is not completed until it has been issued with a full Code Compliance Certificate following the final satisfactory inspection.

Reasons and benefits of achieving Code Compliance Status

- Verify that the building and subcontractors have completed their work in accordance with the consent.
- Certify that the work complies with the NZ Building Code.
- Insurance—assists with claims, etc.
- Sale of property—a Land Information Memorandum (LIM) is normally requested prior to sale and the Solicitor acting for the purchaser will in the majority of cases require confirmation that Building Consents are issued with Code Compliance Certificates.