

# **Fortis Homes** *Classic Specifications*

*9 Bittern Road and 15 Pa Ariki Road, Te Kauwhata*



# The Classic Typology

A smart, well-balanced home designed for easy everyday living, this three-bedroom layout delivers comfort, functionality, and flow in all the right places.

The open-plan kitchen, dining, and living zone forms the heart of the home, perfect for both relaxed family time and entertaining.

A centrally positioned kitchen with island bench keeps everything connected, while the living area opens out for seamless indoor-outdoor potential.

The master bedroom is privately positioned and complete with its own ensuite and wardrobe, while two additional bedrooms are well-sized and supported by a full family bathroom.

A separate laundry and internal access garage add to the practicality, making this home as functional as it is comfortable.

Ideal for first home buyers, young families, or investors, this layout offers a low-maintenance lifestyle without compromising on space or liveability.

Nothing is wasted here, only refined with purpose.

|                                                                                     |   |                                                                                     |   |                                                                                       |   |                                                                                       |   |            |
|-------------------------------------------------------------------------------------|---|-------------------------------------------------------------------------------------|---|---------------------------------------------------------------------------------------|---|---------------------------------------------------------------------------------------|---|------------|
| Bedrooms                                                                            |   | Bathrooms                                                                           |   | Living Areas                                                                          |   | Parking                                                                               |   | Floor Area |
|  | 3 |  | 2 |  | 1 |  | 1 | 109m2      |



As we evolve, our  
homes do too.

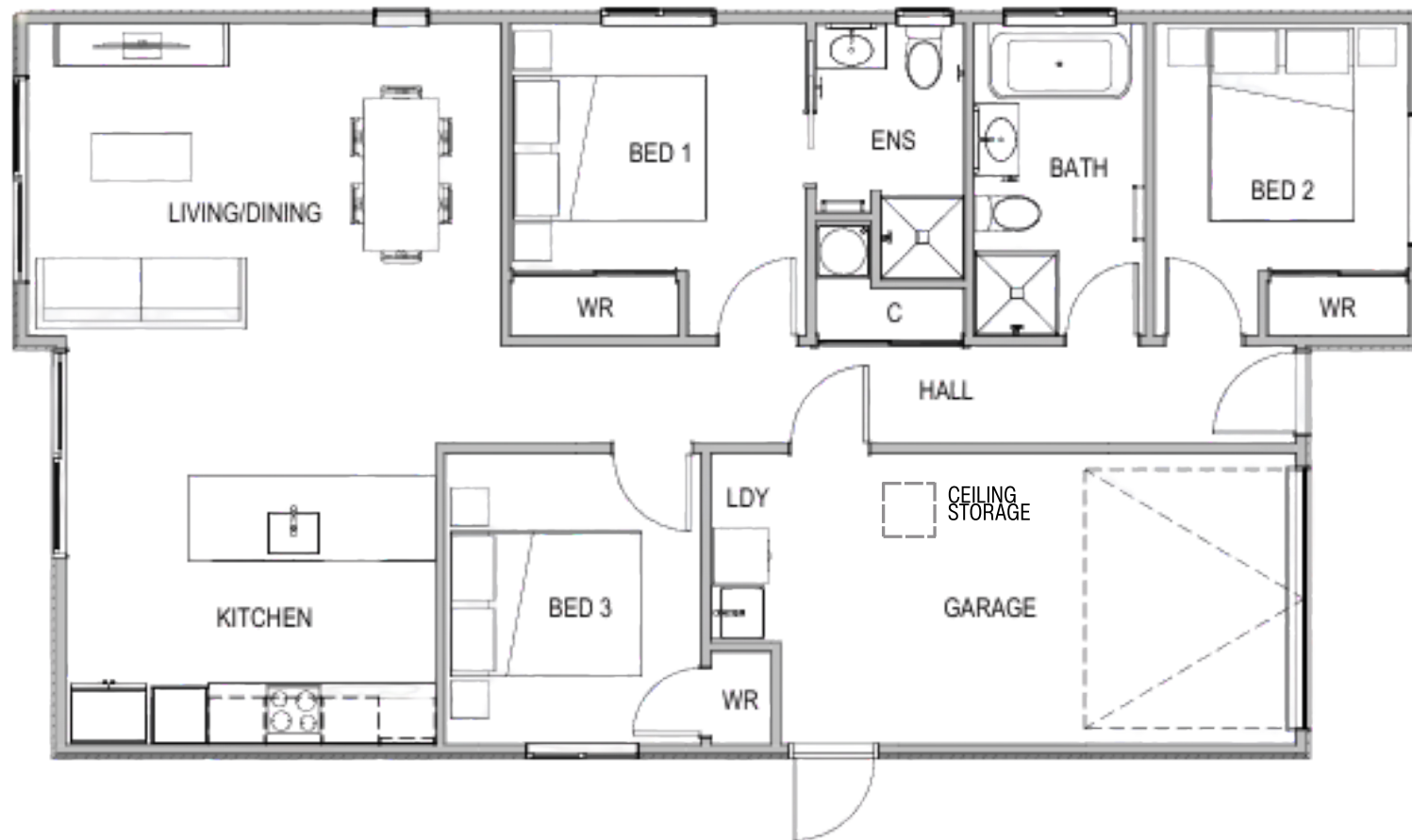
# Classic Floor Plan

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Floor Area

109m2 total

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# Interior Palette Cool

- 1. Carpet - Victoria Herregan Forged Steel
- 2. Bathroom Tile - Magic Stone White 600x600
- 3. Kitchen Bench Top - 20mm Engineered Stone Diamond Grey
- 4. Kitchen Splashback - Village White Gloss Tiles

- 5. Kitchen Cabinetry - Carbon Embossed
- 6. Laminate Flooring
- 7. Wall & Ceiling - Resene Black White

# Exterior Palette Cool



**Dominant Cladding**  
Porter

**Feature Cladding**  
Double House White

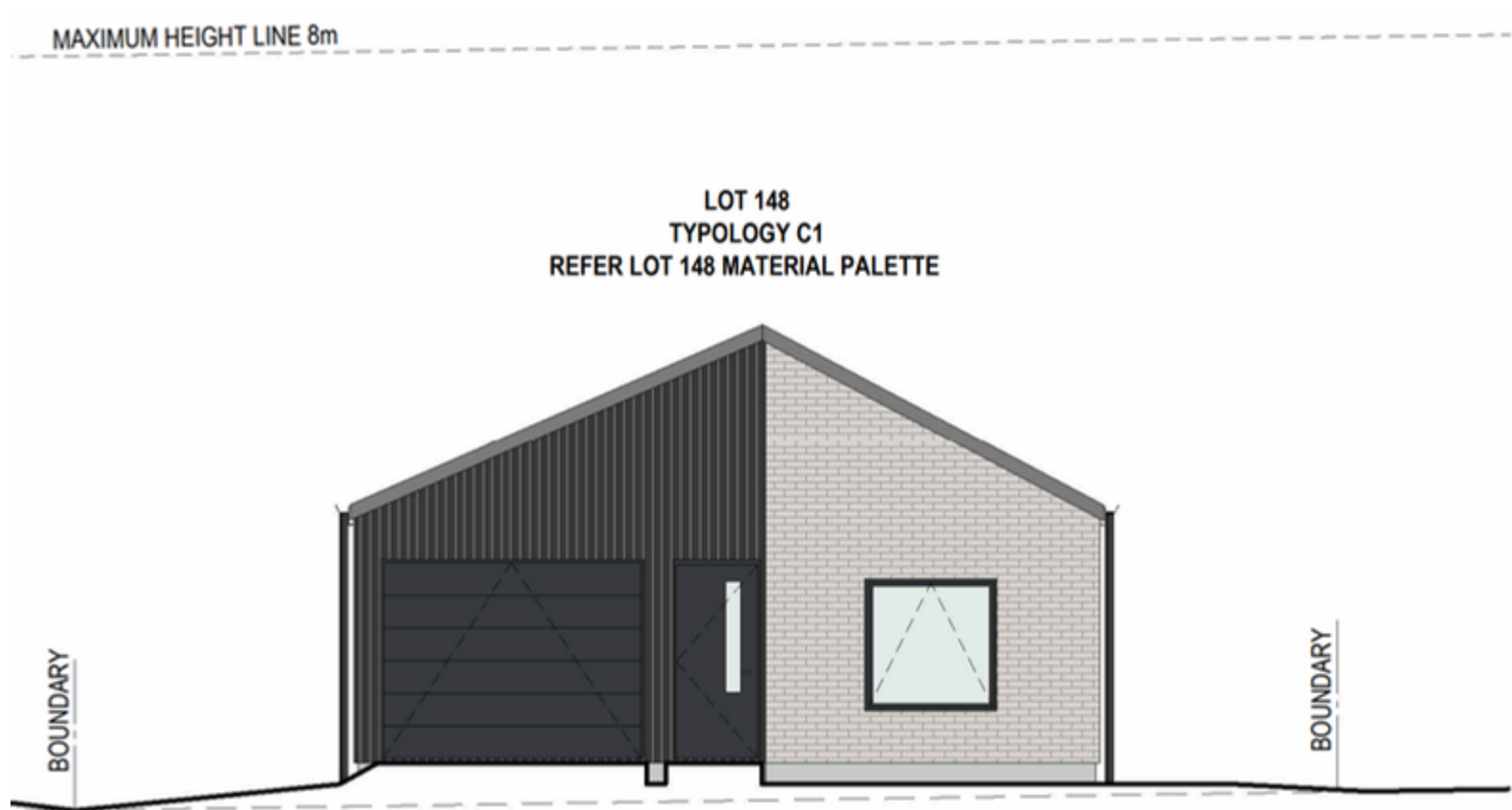
**Roofing | Corrugate | Colorsteel**  
Slate

**Downpipes | Spouting | Flashings**  
Slate

**Soffits | Fibre Cement**  
Porter

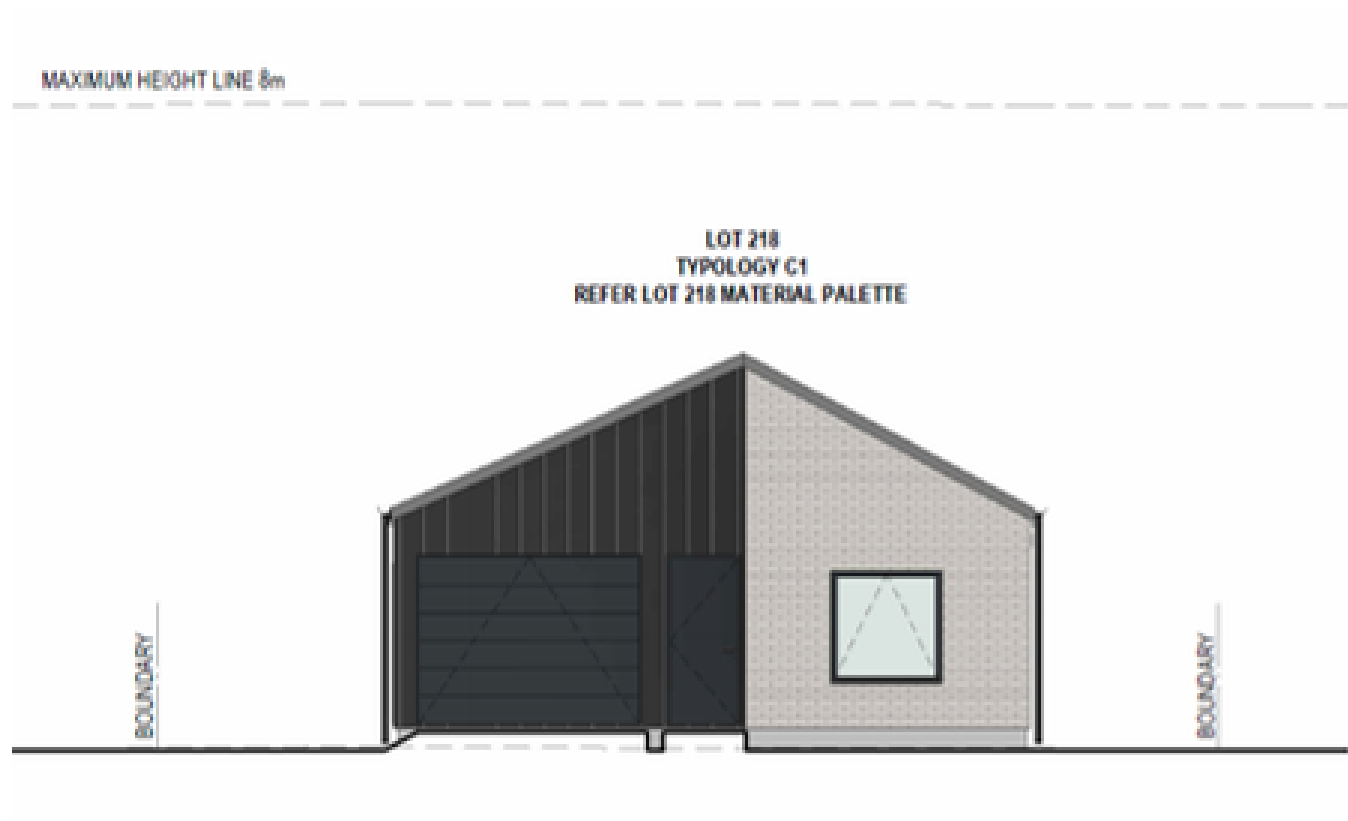
**Front Door | Garage Doors**  
Slate

**Window Joinery | Aluminium**  
Windsor Grey Matt



# Streetscape

9 Bittern Road



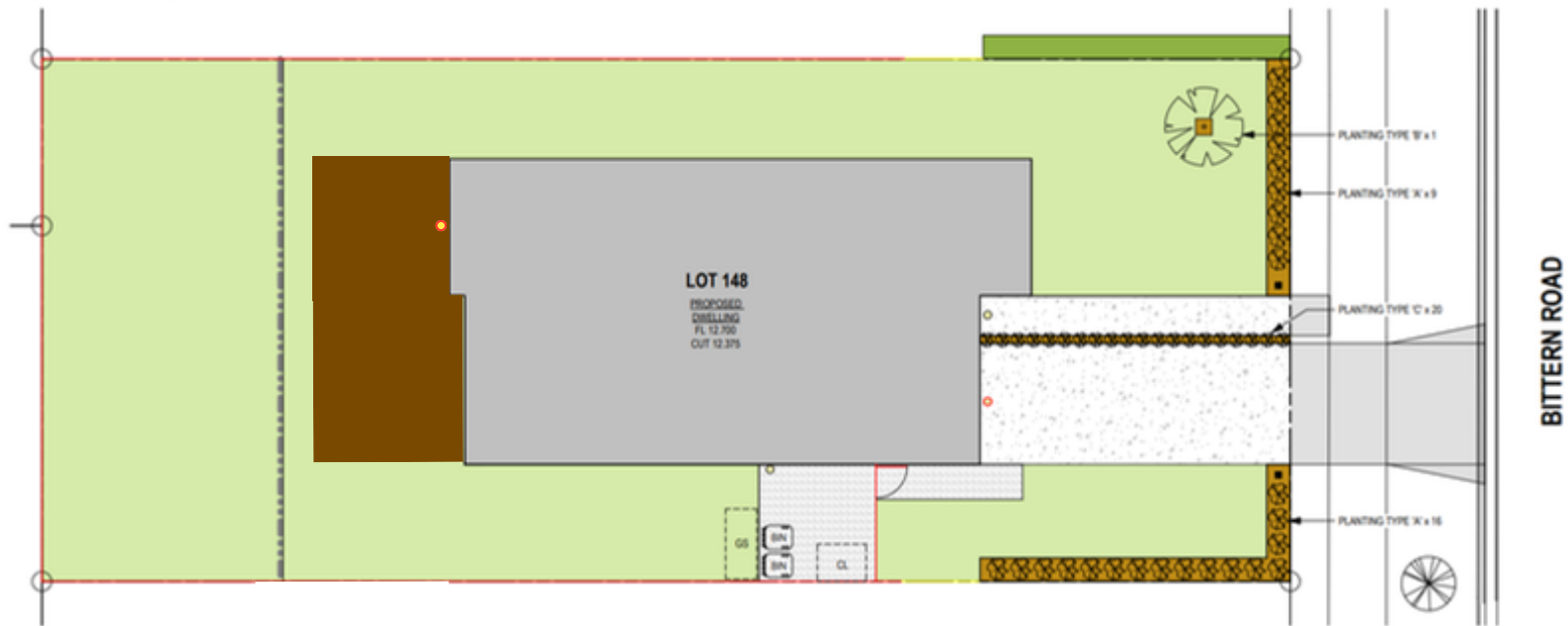
# Streetscape

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15 Pa Ariki Road

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## LOT 148 - LANDSCAPE PLAN



### LANDSCAPE PLAN

SCALE: 1:100

**NOTE:**  
THIS PAGE IS TO BE READ IN CONJUNCTION WITH  
SHEET 12 - LANDSCAPING - HARDSCAPING FIXTURES,  
MATERIALS AND SPECIFICATION AND SHEET 13 -  
LANDSCAPING - PLANTING SCHEDULE

### LANDSCAPING & PLANTING LEGEND

|  |                                        |  |                                          |
|--|----------------------------------------|--|------------------------------------------|
|  | FENCING AND GATES                      |  | EXTERIOR LED DOWNLIGHT                   |
|  | FENCE RAKE DOWN FROM 1800-1250mm       |  | EXTERIOR LED DOWNLIGHT & MOVEMENT SENSOR |
|  | GARDEN EDGING                          |  | POTENTIAL FUTURE GARDEN SHED POSITION    |
|  | CONCRETE - NATURAL, BROOMED            |  | CLOTHESLINE POSITION                     |
|  | AGGREGATE                              |  | DRIVEWAY POST AND LETTERBOX              |
|  | GARDEN BEDS                            |  | DRIVEWAY POST ONLY                       |
|  | BOUNDARY HEDGINGS WITHIN ADJOINING LOT |  | DECKING                                  |
|  | PLANTING, REFER SHEET 13               |  |                                          |

# Landscaping

9 Bittern Road Land Area

429m2 total

## LANDSCAPING - SITE LAYOUT



# Landscaping

15 Pa Ariki Road Land Area

423m2 total

# Exterior Construction Specs

## **DRAINAGE / UTILITIES**

As per BC plan

## **FOUNDATION TYPE**

Standard Rib-Raft foundation

## **FRAMING**

H1.2 treated frames and trusses

## **ROOFING**

Trapezoidal roofing

## **FASCIA**

Colorsteel

## **CLADDING 1 HORIZONTAL**

BCG Nuline, or similar

## **JOINERY**

Powder coated aluminium windows & doors  
Double glazed

## **CLADDING 2 VERTICAL**

BGC stratum trio 300, or similar

## **DOWNPIPES**

80mm downpipes

## **Soffits**

Hardiflex with PVC jointers

## **SPOUTING**

Colorsteel spouting

## **GARAGE DOOR**

Automated Colorsteel door to suit exterior  
colour scheme

## **DECKING**

140mm pine

## **WASHING LINE**

Fence mounted

## **FRONT DOOR**

Door to suit exterior colour scheme

## **FRONT DOOR HANDLE**

Schlage Resolute to suit exterior colour  
scheme. Electronic smart lock

## **EXTERIOR LIGHTING**

Sensor light located at some exterior doors

## **RETAINING**

Retaining complete as per design  
requirements

# Interior Construction Specs

## INSULATION

Ceilings and exterior walls for inhabitable areas

## PLUMBING

Buteline pipes, or similar. To include two outside taps

## WATER HEATING

Electric hot water cylinder | Size to suit location

## HEATING

Heat pump unit in one location

## ELECTRICAL

As per electrical plan

## LIGHT FITTINGS

LED downlights | round white

## INTERIOR DOORS

Hollow core | 35mm MDF | Flat jambs & architraves

## DOOR HANDLES

Schlage handles, or similar

## DOOR STOPS

To match door hardware

## GIB STOPPING

Level 4 paint finish

## CORNICE

Gib square stop

## SKIRTING

60 x 10 pine

## ARCHITRAVES

40 x 10

# Interior Finishing Specs

## **PAINTING**

Resene, or similar

## **FLOORING LAMINATE**

Level 4 finish to suit interior scheme

## **FLOORING CARPET**

Entrance | Kitchen | Dining | Living

## **TILES**

Bedrooms | Bathrooms

## **KITCHEN CABINETRY**

18mm laminex melteca

## **KITCHEN BENCHTOP**

20mm engineered stone benchtop

## **KITCHEN SPLASHBACK**

Tiled to match interior scheme

## **KITCHEN SINK**

Stainless steel single bowl undermount

## **KITCHEN MIXER**

Gooseneck sink mixer or similar

## **SHOWER**

Enclosed unit | tiled with acrylic base, or similar

## **SHOWER HEAD**

Sized to suit | 3 function shower and rain head

## **LED MIRROR**

To suit vanity and room size

## **TOWEL RAIL**

Heated towel rail

## **TOILET**

Back to wall toilet suite, or similar

## **VENTILATION**

Extractor Fan

## **MISC. FITTINGS**

Toilet paper holder | Vanity tap mixer

## **LAUNDRY TUB**

Slim laundry tub and mixer

## **WARDROBE SYSTEMS**

Solid shelving

## **SMOKE ALARM**

Photoelectric smoke alarm

## **KITCHEN LIGHT**

LED strip under overhead kitchen cabinetry

## **KITCHEN FEATURE LIGHT**

Cannister lights over kitchen island

## **OVEN**

Haier stainless steel wall oven

## **HOB**

Haier Electric ceramic cooktop, or similar

## **RANGE HOOD**

Intergrated rangehood to suit kitchen layout

## **DISHWASHER**

Haier Stainless steel dishwasher

## **VANITY**

Wall hung vanity | Sized to suit room

## **VANITY SPLASH BACK**

Tile

## **BATH**

Back to wall 1500 freestanding, to fit room size

# Additional Specs

## LANDSCAPING SPECS

### DRIVEWAY

Concrete driveway | Natural broomed finish

### FENCING

As per Lakeside landscape plan & design guidelines

### PLANTING

As per Lakeside landscape plan & design guidelines

### LETTERBOX

Macrocarpa wooden post mounted as per Lakeside design guidelines

### CLOTHESLINE

Fence mounted as per landscape plan

### DECKING

140mm plank pine decking

### RETAINING

As required to meet development guidelines

## GARAGE FEATURES

### DOWNLIGHTS

To allow for multi-use as garage or additional living

### SUPPLEMENTRY POWER

Additional power points on garage wall  
Additional power points in laundry  
to support garage fridge

### EV CHARGING

Wired to support future EV charging

### CARPET

Carpeted to support multi-use

## POWER

### CHARGING

USB/USBC power points above kitchen island

### EXTERIOR ACCESS

Additional power points available on exterior deck/outdoor area

# Notes

## **IMPORTANT**

### **SPECIFICATIONS SUBJECT TO**

Final design plans, product availability, building consent, and resource consent requirements

### **PLASTERBOARD STOPPING**

In some light conditions, in some locations, can be apparent, particularly if very light or dark colours are used

### **SOUND**

Minor "peaking or popping" may occur, mainly due to timber curing over time

### **PRODUCT CHANGES**

Due to duration of the project, some product changes may be required for a variety of reasons

### **INCLUDING BUT NOT LIMITED TO**

Supply chain delays, pandemics, supplier product changes, end of line materials, new products, or the brand evolving

### **THE BUILDER RESERVES THE RIGHT**

To change product/brand selections of all above stated items for similar or of equal quality. This right remains for the duration of the Project.

### **MBIE GUIDE**

To Tolerances, Materials and Workmanship in New Residential Construction 2015, applies to this Property

### **WARRANTY**

A 10-year Stamford Warranty is included with every Fortis Homes House & Land Package

## **EXCLUSIONS**

### **NO ALLOWANCE FOR**

- Alarm System
- Telephone connection and installation
- Internet connection and installation



# Why Fortis Homes

## Who We Are

Fortis Homes is proudly a family-owned New Zealand business, led by an experienced Kiwi team with a simple belief:

Good homes are considered well before construction begins.

## Warranty

For complete peace of mind, each Fortis home is confidently backed by a [10-year Stamford Warranty](#).

For more information, click the link above, or head to our website to learn more.

## What We Do

We're known for quality house and land packages, custom design and build solutions, and rental investment opportunities - but what really defines us is our approach: Honest, refined, and practical.

## We're Hands On

From concept to completion, we manage every detail to keep the process clear and well-executed, so the result holds up not just on handover day, but over time.

## Built To Last

We focus on locations with proven demand, practical layouts that maximise liveability, and durable specifications that minimise ongoing maintenance, supporting consistent rental returns and long-term asset performance.

## Build Ethos

Our work, including communities like Lakeside in Te Kauwhata, is shaped by the belief that homes should be well resolved, built to last, and genuinely suited to the people who live in them. That same thinking underpins our appeal to investors.

**Get In Touch**  
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