

STATEMENT OF PASSING OVER INFORMATION

This information has been supplied by the vendor or the vendor's agents. Accordingly, Ownly (REAA 2008) and Sold On Kapiti Limited is merely passing over the information as supplied to us by the vendor or the vendor's agents.

We cannot guarantee its accuracy and reliability as we have not checked, audited, or reviewed the information and all the intending purchasers are advised to conduct their own due diligence investigation into the same.

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there's a future here

KAPITICOAST
DISTRICT COUNCIL

CODE COMPLIANCE CERTIFICATE
Section 43(3), Building Act 1991

Applicant

MR E HEATH
51 NGARARA ROAD
WAIKANAE

Consent Details

Consent/PIM No.: 961263
Date issued: 13/05/97
Valn No: 1495162100
Overseer: BOB OLIVER

Project Descrn: ALTERATIONS, REPAIRS or EXTENSIONS
BEING STAGE 1 OF AN INTENDED 1 STAGES
ALTERATION TO DWELLING

Intended Life: INDEFINITE, BUT NOT LESS THAN 50 YEARS

Intended Uses: RESIDENTIAL

Project Location: 51 NGARARA ROAD, WAIKANAE

Legal Description: LOT 7 DP 56305

Estimated Value: \$ 16,000

The Council's total charges paid on the uplifting of this Code
Compliance Certificate in accordance with the following details
are \$ 0.00.

This is a final code compliance certificate issued in respect of
all the building work under the above building consent.

SIGNED FOR AND ON BEHALF OF THE COUNCIL:

NAME: B. M. Lennan BUILDING CONTROL OFFICER DATE: 13-5-97

there's a future here

KAPITICOAST
DISTRICT COUNCIL

BUILDING CONSENT
Section 35, Building Act 1991

Applicant

MR E HEATH
51 NGARARA ROAD
WAIKANAE

Consent Details

Consent/PIM No.: 961263
Date issued: 20/12/96
Date of applicn: 29/11/96
Valn No: 1495162100
Overseer: Bob Oliver

Project Descrn: ALTERATIONS, REPAIRS or EXTENSIONS
BEING STAGE 1 OF AN INTENDED 1 STAGES
ALTERATION TO DWELLING

Intended Life: INDEFINITE, BUT NOT LESS THAN 50 YEARS

Intended Uses: RESIDENTIAL

Project Location: 51 NGARARA ROAD. WAIKANAE

Legal Description: LOT 7 DP 56305

Estimated Value: \$ 16.000

CHARGES: The Council's charges paid on uplifting this
Building Consent, in accordance with the attached
details, are:

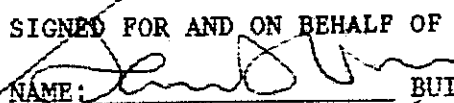
	\$ 1,006.00
Building Research Levy	\$ 0.00
Building Industry Authority Levy	\$ 0.00
TOTAL:	\$ 1,006.00

This building consent is a consent under the Building Act 1991 to undertake building work in accordance with the attached plans and specifications so as to comply with the provisions of the building code. It is not a consent under the Resource Management Act and does not affect any duty or responsibility under any other Act nor permit any breach of any other Act.

This building consent is issued subject to the conditions specified in the attached page(s) headed CONDITIONS OF BUILDING CONSENT 961263.

SIGNED FOR AND ON BEHALF OF THE COUNCIL:

NAME:


BUILDING CONTROL OFFICER

DATE:

20.12.96



CONDITIONS OF BUILDING CONSENT 961263

- 1 All foundations are to be to solid bearing minimum of 300mm
- 2 Work to comply with NZS3604-1990.
- 3 Metal head flashings required over all exterior joinery.
- 4 Note and comply with endorsements on approved plans.
- 5 Minimum heights of finished concrete slab-on-ground floors above adjoining finished ground level to comply with Fig E 1 NZS 3604 1990.



BUILDING CONSENT ADDENDA 961263

APPLICANT: MR E HEATH : 51 NGARARA ROAD : WAIKANAE
LOCATION: 51 NGARARA ROAD, WAIKANAE
BUILDER: E KNAP 230 TE MOANA RD WAIKANAE

General requirements

- a) The District Inspector is to be given 24 hours notice before carrying out the following inspections.

FOUNDATION INSPECTION

PRE-SLAB INSPECTION, CONCRETE FLOOR

PRELINING INSPECTION, MOISTURE TEST, CHECK BRACING

POST-LINING INSPECTION, LININGS, FIXED AS PER BRACE DESIGN

WATER TEST ON SEWER DRAINS

FINAL INSPECTION BUILDING

FINAL INSPECTION OF PLUMBING

- b) To arrange for any of the above required inspections by the District Inspector, please contact Bob Oliver on (04) 298-5139 between the hours of 8.00 am and 4.30 pm.

Conditions of consent

- 1 All foundations are to be to solid bearing minimum of 300mm
- 2 Work to comply with NZS3604-1990.
- 3 Metal head flashings required over all exterior joinery.
- 4 Note and comply with endorsements on approved plans.



BUILDING CONSENT ADDENDA 961263 [Continued]

- 5 Minimum heights of finished concrete slab-on-ground floors above adjoining finished ground level to comply with Fig B 1 NZS 3604 1990.

I have read the foregoing requirements and conditions of consent, and the Owner/Builder/Authorised Person hereby agrees to comply with them.

OWNER/BUILDER/AUTHORISED PERSON

E. B. Heath

DATE

20/12/96

there's a future here

KAPITICOAST
DISTRICT COUNCIL

MR E HEATH
51 NGARARA ROAD
WAIKANAE

GST REG No. 51-860-608
CUST No. BC961263
18/12/96

TAX INVOICE 11323

961263 : 51 NGARARA ROAD, WAIKANAE
ALTERATION TO DWELLING

QTY	DESCRIPTION	RATE	AMOUNT
	Building Consent/PIM		606.00 *
	Damage Deposit		400.00 OG
	BEFORE GST		938.67
	(* INCLUDES GST)	GST	67.33
	TOTAL		\$1,006.00
	CASH RECEIVED		270.00CR
	NET DUE		736.00

THIS IS NOTIFICATION THAT YOUR APPROVED PLANS
ARE READY TO UPLIFT.

MR E HEATH 18/12/96 BC961263 /11323 1,006.00

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KAPITICOAST
DISTRICT COUNCIL

PROJECT INFORMATION MEMORANDUM
Section 31, Building Act 1991

Applicant

MR E HEATH
51 NGARARA ROAD
WAIKANAE

PIM Details

Consent/PIM No.: 961263
Date issued: 18/12/96
Date of applicn: 29/11/96
Valn No: 1495162100
Overseer: Bob Oliver

Project Descrn: ALTERATIONS, REPAIRS or EXTENSIONS
BEING STAGE 1 OF AN INTENDED 1 STAGES
ALTERATION TO DWELLING

Intended Life: INDEFINITE, BUT NOT LESS THAN 50 YEARS

Intended Uses: RESIDENTIAL

Project Location: 51 NGARARA ROAD, WAIKANAE

Legal Description: LOT 7 DP 56305

This project information memorandum is confirmation that the proposed building work may be undertaken, subject to the provisions of the Building Act 1991, and any requirements of the building consent.

This project information memorandum includes:

- ___ Information identifying relevant special features of the land concerned
- ___ Details of relevant utility systems
- ___ Details of authorisations which have been granted

SIGNED FOR AND ON BEHALF OF THE COUNCIL:

NAME: En Risch BUILDING CONTROL OFFICER DATE: 18/12/96

ADVICE OF COMPLETION OF BUILDING WORK

Section 43(1), Building Act 1991

25 FEB 1998

KAPITI COAST
DISTRICT COUNCIL

To Kapiti Coast District Council

[Cross each applicable box and attach relevant documents]

Under Building Consent No.: 961 263

From [Owner]:

Name: E. Heath.

Mailing address: 51

Ngarara Road

Waikanae

COMPLETED

AKS FORM
Dwelling.

OK TO ISSUE
12-5-97

You are hereby advised that

- ☐ All
☐ Part only as specified in the attached particulars

of the building work under the above building consent is believed to have been completed to the extent required by that building consent.

You are requested to issue

- ☐ A final
☐ An interim

code compliance certificate accordingly (except where a code compliance certificate has been issued by a building certifier as stated below).

The attached particulars include:

- ☐ Building certificates
☐ A code compliance certificate issued by a building certifier
☐ Producer statements

Signed by or for and on behalf of the owner:

Name: E Knap.

Position: Builder

Date: 25/2/97

Business Hours Contact No: 025 472907



Ngarara Building, Rimu Road, Private Bag 601, Paraparaumu. Phone (04) 298 5139, Fax (04) 297 2563.

SPECIAL FEATURES OF THE ABOVE LAND

Information is attached identifying the following special features of the land concerned that are known to Council:

- Potential Erosion ☐
- Potential Avulsion..... ☐
- Potential Subsidence..... ☐
- Potential Slippage..... ☐
- Potential Alluvion..... ☐
- Potential Inundation..... ☐
- Presence of Hazardous Contaminants..... ☐

Other feature(s) or characteristic(s) likely to be relevant to the design or construction of the proposed buildings and not apparent from the District Scheme or District Plan:

(Plumbing & Drainage)

SEWER AVAILABLE/CONNECTED connected

WATER AVAILABLE/CONNECTED connected

SITE PLAN OF EXISTING SERVICES (IF ANY) attached

LOCATION OF SEWER LATERAL shown on plan

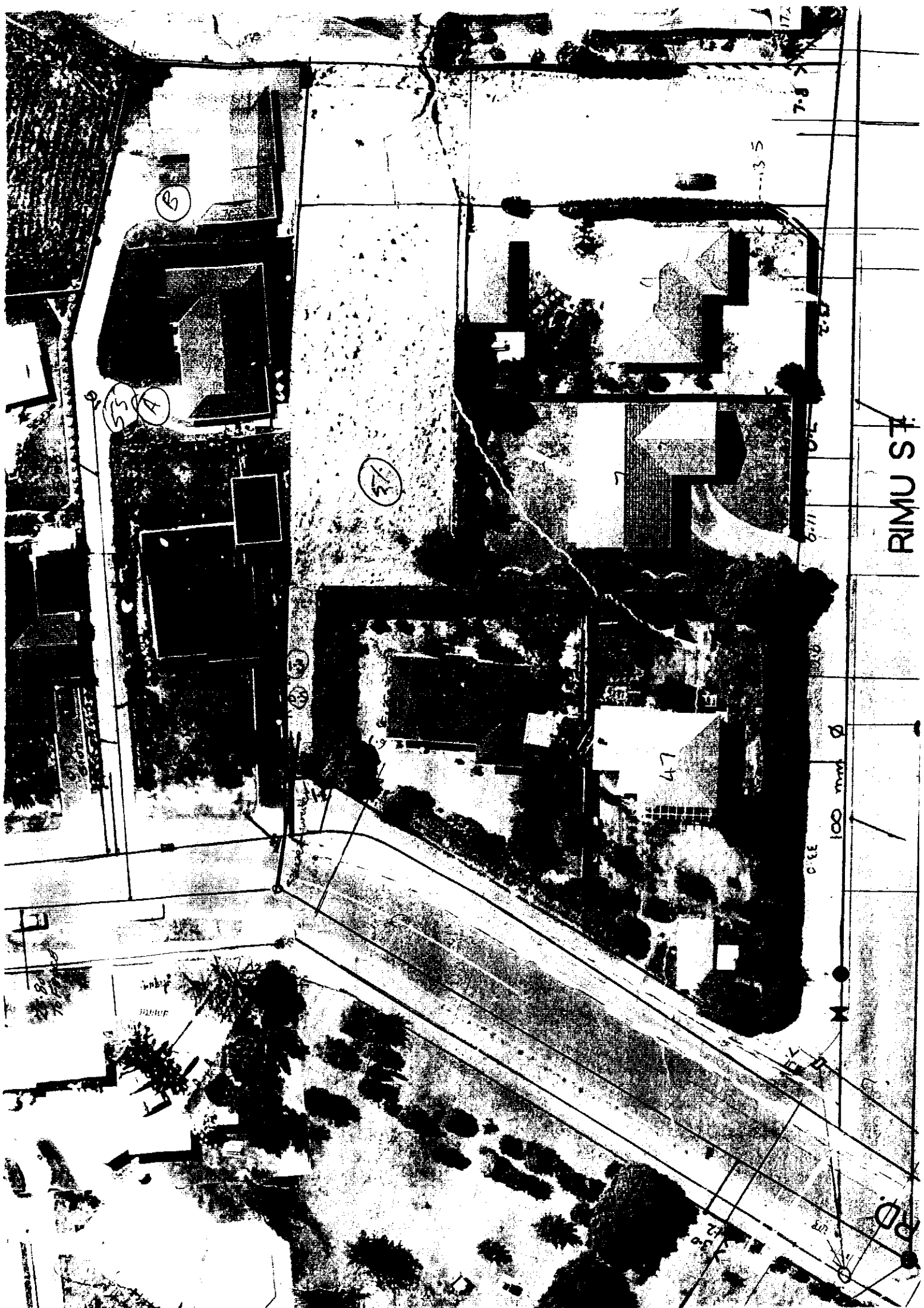
LOCATION AND SIZE OF WATER TAP shown 15mm

LOCATION OF EASEMENTS (IF ANY) none

LOCATION OF PUBLIC DRAINS (IF ANY) no record of any

STORMWATER DISPOSAL TO	CHANNEL	☐
	DRAIN	☐
	ON SITE	☒

ADDITIONAL COMMENTS



RIMU ST

100 m

100 m

100 m

100 m

100 m

There's a future here

KAPITICOAST
DISTRICT COUNCIL
SITE CHECK SHEET

NAME: E. Heath

ADDRESS: 51 Napara Rd. LOT: 7 DP: 56305

PROJECT: Dwelling Add. CONSENT NO: 961263

WORK CANNOT PROCEED PAST EACH STEP UNTIL THAT STEP HAS BEEN INSPECTED, APPROVED AND THIS FORM SIGNED BY THE RELEVANT INSPECTOR. WORK APPROVED BY A CERTIFIER REQUIRES A BUILDING CERTIFICATE SUPPLIED BY THE CERTIFIER.

COMPONENT TO BE INSPECTED	INSPECTION REQUIRED (TICK)	INSPECTION CHECK	INSPECTION RECHECK	COMMENTS AND/OR RECTIFICATION NOTICE NO	OK TO PROCEED YES/NO	ADDITION INSPECT YES/NO	DATE, SIGNATURE
FOUNDATIONS							
Siting				Good Ground			
Footings - Piles	✓	✓		1 Dir inferring bonded into existing			
Steel	✓	✓					R/L 14.1.97.
Min Floor Level Cert							
CONCRETE FLOOR							
Building	✓	✓		Concrete over DPC	yes	no	R/L 15.1.97.
P & D Wastes, etc				Tied into existing slab.			
SUB FLOOR							
Connections							
Braces							
Blocking							
Insulation							
BLOCKFILL 1							
BLOCKFILL 2							
PRE-LINE							
Wall Framing	✓	✓					
Moisture	✓	✓		% DRY D/FIR			
Bracing	✓	✓		+ Pine			
Fixings	✓	✓					
Lintels	✓	✓					
Roof Framing	✓	✓			yes	no	R/L 30.1.97
Trusses							
Bracing	✓	✓		All O/K to line.			
Fixings	✓	✓					
P & D 1500 KPA test							
POSTLINE	✓	✓		All O/K	yes	no	R/L 31.1.97
DRAIN TEST - SEWER							
DRAIN TEST - STORMWATER							

ADMIN = \$36 per hour
PLAN VETTING = \$60 per hour
INSPECTIONS = \$50

Site Address: 51 Ngamara Rd.
duy hotels

NETWORK UTILITY OPERATORS = Cost + 10%

Classification		\$	Plan Vetting				Total \$	Consultants			Total \$	Inspections						Total \$	Admin \$	PIM \$	Total
			PI	D	Bld	EH		T/P				Site	PI	D	Bld	EH					
1	Fire Places, Signs	0-1500																36	NII		
2	Sheds, Carports	1501-4000																36	NII		
3	Garages, Conservatories, Swim Pool, Etc	4001-10000																36	50		
4	House Additions	4001-10000																36	50		
5	House Additions	10001-50000	2		4		\$90 - 2		\$30 - 1	1	1	1	5			\$100 -		36	50	606 -	
6	Dwellings	50001-100000																36	100		
7	Dwellings	100001-150000																36	100		
8	Dwellings	150001-200000																54	100		
9	Dwellings	200001-250000																54	140		
10	Dwellings	250001-300000																72	140		
11	Dwellings	300000 +																72	160		
12	Commercial/Industrial	0-10000																36	50		
13	Commercial/Industrial	10001-50000																36	60		
14	Commercial/Industrial	50001-100000																36	100		
15	Commercial/Industrial	100001-150000																36	100		
16	Commercial/Industrial	150001-200000																54	100		
17	Commercial/Industrial	200001-250000																54	140		
18	Commercial/Industrial	250001-300000																54	140		
19	Commercial/Industrial	350001-350000																54	140		
20	Commercial/Industrial	350001-400000																72	160		
21	Commercial/Industrial	400001-450000																72	180		
22	Commercial/Industrial	450001-500000																72	200		
23	Commercial/Industrial	500000 +																72	250		

FINAL INSPECTIONS

COMPONENT TO BE INSPECTED	INSPECTION REQUIRED (TICK)	INSPECTION CHECK	INSPECTION RECHECK	COMMENTS AND/OR RECTIFICATION NOTICE NO	OK TO PROCEED YES/NO	ADDITION INSPECT YES/NO	DATE, SIGNATURE
Insulation	/	/					
Joinery & Flashings	/	/					
Glazing (Safety etc)	/	/					
Range/Bathroom Fans							
Comb, Heater/Chimney							
Floor Levels	/	/					
Post Connections							
Subfloor Ventilation							
Subfloor Access							
Room Ventilation ---	/	/					
EXTERIOR CLADDINGS				ALL OK. AT THIS			BT ML
Walls	/	/		FINAL STAGE			12-5-97
Roof	/	/					
Hot Water Temp							
HV Cyl, Valves & Restraint							
Waste & Drain Vents							
Gully Traps							
Spouting & Downpipes	/	/					
Stormwater Drains							
ENG SUPERVISION CERT							
FIRE FACILITIES							
EGRESS							
DISABLED							
EHO							

BUILDING COMPONENTS DEEMED COMPLETED

CERTIFIER	SIGNATURE	DATE	CERTIFIER	SIGNATURE	DATE
Building	BT ML	12-5-97	Services		
Plumbing			Resource Management		
Drainage			Air Conditioning		
EHO					
Lins					
Compliance Schedule					

WORK IS NOW DEEMED TO BE COMPLETED. A CODE COMPLIANCE CERTIFICATE WILL BE ISSUED WHERE REQUIRED BY THE BUILDING ACT.

CODE COMPLIANCE CERTIFICATE NUMBER

Signature

Designation

Date

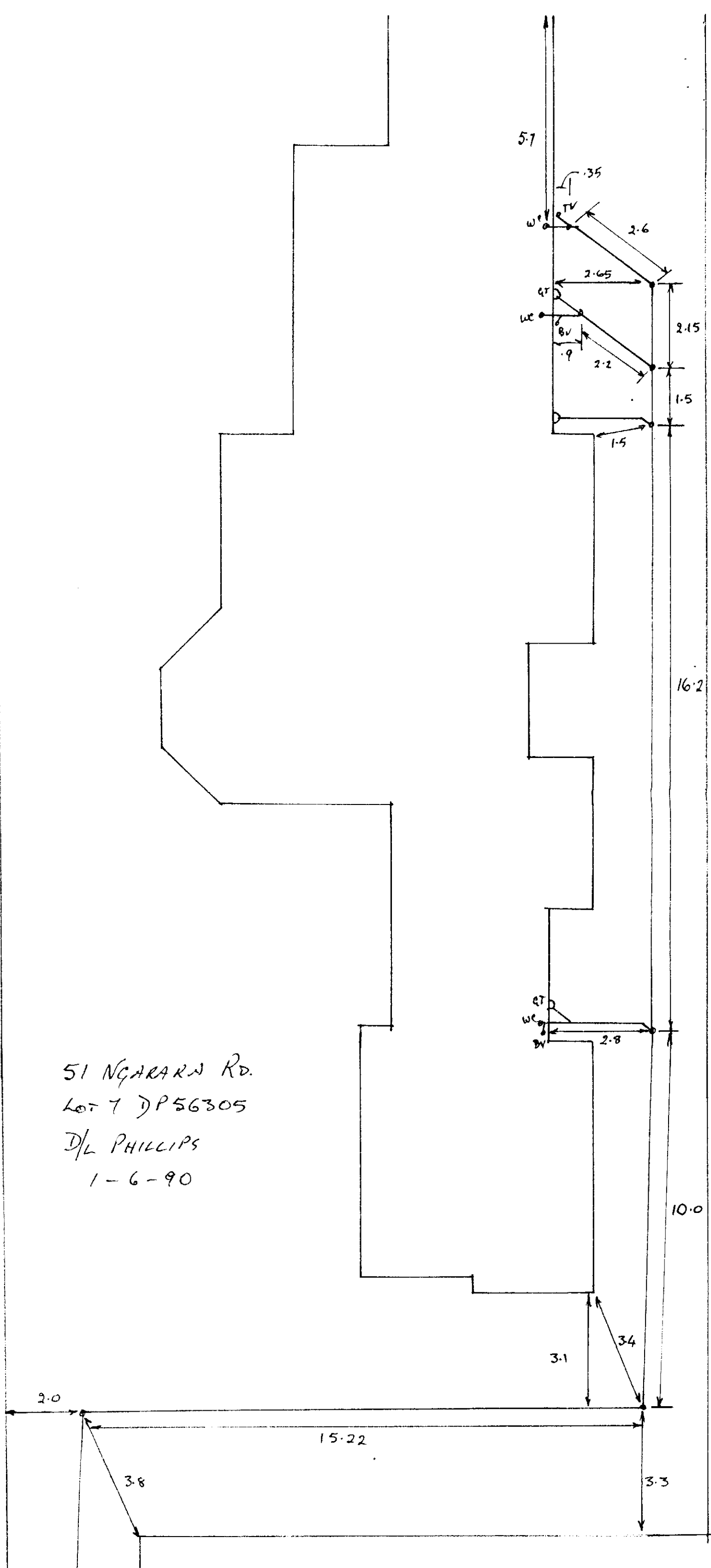
WHEN THE PROJECT IS COMPLETED THIS INSPECTION SHEET WILL BE ATTACHED TO THE RELEVAN

CONSENT DATA INPUT REQUIREMENTS

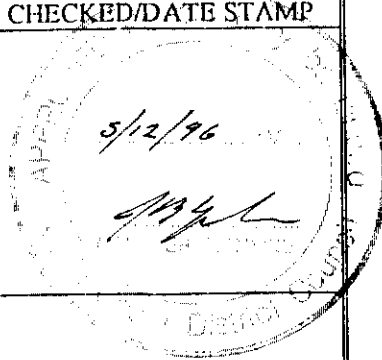
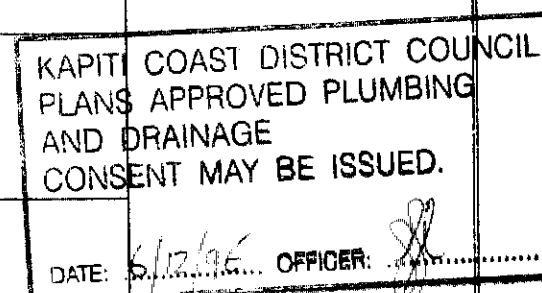
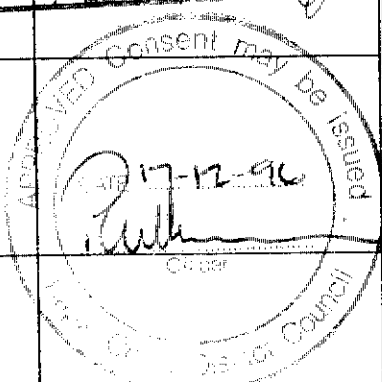
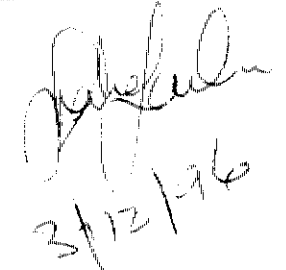
REQUIRED INSPECTIONS		STANDARD CONDITIONS		
14	✓	2	✓	17
1	✓	3	✓	18
7		4	✓	19
16		5		20
2	✓	6	✓	21
3		7	✓	22
4	✓	8		23
8		9	✓	30
5	✓	10		
10	✓	11		
12		12		
6	✓	13		
9	✓	14		
11		15		
13		16		
15				

NON STANDARD CONDITION

This image shows a single sheet of white paper with horizontal blue or grey ruling lines. The lines are evenly spaced and run across the width of the page. There is no handwriting or other markings on the paper.



FOR COUNCIL USE:

DEPARTMENT	REQUIREMENTS	Yes	No	COMMENTS	CHECKED/DATE STAMP
Town Planning	Zoning Confirms				
	Dispensation				
	Planning Consent				
	Special Floor Level				
Plumbing					
Drainage					
Stormwater	To Channel				
	To Drain				
	Confined to Lot		☒		
Building					
Structural	Specific Design				
	Foundation				
	Structure				
	Roof				
Subdivisional Engineer	Earthworks Bylaw				
	Conditions				
Environmental Health					
Site- Footpath & Entrance Conditions					
Existing V/E To Road Good Condition				Ground OK	 3/12/96
NOTES:					


 APPLICATION FOR BUILDING CONSENT
 Section 33, Building Act 1991

Form 3

 To: Kapiti Coast District Council
 [Cross each applicable box and attach relevant documents in triplicate]

CONSENT NO

961263

PART A : GENERAL

(Complete Part A in all cases - Refer over for Parts B-E, sign and date)

APPLICANT (OWNER*)	PROJECT
Name: <u>ERIC HEATH</u> Mailing address: <u>51 NGARARA RD</u> <u>WAIKAWAE</u> Contact [Print Name and position]: <u>OWNER</u> <u>E. HEATH</u> Phone: <u>293 5996</u> Fax: _____ *Under section 33 of the Building Act 1991, the applicant must be the owner of the land on which building work is contemplated or a person who or which has agreed in writing, whether conditionally or unconditionally, to purchase the land or any leasehold estate or interest in the land, or to take a lease of the land, while the agreement remains in force.	Cross One ☐ New or relocated Building ☒ Alterations or additions ☐ Accessory Building or Fire ☐ Building Demolition or Removal Being stage _____ of an intended _____ stages. Estimated value (inclusive of GST): \$ <u>16 000.00</u> Intended use, eg Dwelling, Carport, Garage, etc _____ Intended life: ☒ Indefinite but not less than 50 years Specified as _____ years
FOR COUNCIL USE Received: <u>29/11/96</u> Application Deposit: \$ <u>270.00</u> Receipt No: _____ Paid By: <u>EW + B E Heath</u> <u>Westpac CB</u>	PROJECT LOCATION Street address (if any): <u>51 Ngarara Rd</u> <u>Waikawa</u> Legal description (as shown on certificate of title or rates notice, if any): Lot <u>7</u> DP <u>56305</u> Valuation No. <u>14951-62100</u>
NOTE: BALANCE OF FEES ARE PAYABLE ON CONSENT APPROVAL	
This Application is for: ☐ Building Consent only, in accordance with project information ☐ Both building consent and a project information memorandum	
PLEASE NOTE The information provided in support of this application is public and as such is freely available on request. However under Section 27(3) of the Building Act 1991 you may for security and/or copyright reasons request the plans and specifications pertaining to this application be marked as confidential by completing the following section	CONFIDENTIALITY Plans and Specifications 1. ☐ I/We require that my/our: 2. ☐ plans 3. ☐ specifications be treated as confidential in order to protect: 4. ☐ the security of the building 5. ☐ copyright Signed: _____
SIZE OF BUILDING Floor area m ² <u>23</u> No of stories <u>1</u> No of Units _____	

PART B : PROJECT DETAILS

(Complete Part B only if you have not applied separately for a project information memorandum)

- ☐ Location, in relation to legal boundaries, and external dimensions of new, relocated, or altered buildings
☐ New provisions to be made for vehicular access, including parking
☐ Provisions to be made in building over or adjacent to any road or public place
☒ New provisions to be made for disposing of stormwater and wastewater
☒ Precautions to be taken where building work is to take place over existing drains or sewers or in close proximity to wells or watermain
☒ New connections to public utilities
☐ Provisions to be made in any demolition work for the protection of the public, suppression of dust, disposal of debris, disconnection from public utilities and suppression of noise
☐ Any cultural heritage significance of the building or building site, including whether it is on a marae

PART C : BUILDING DETAILS

(Complete Part C in all cases)

This application is accompanied by (cross each applicable box, attach relevant documents in duplicate):

- ☒ The drawings, specifications and other documents according to which the building is proposed to be constructed to comply with the provisions of the building code, with supporting documents, if any, including:
 - ☐ Building certificates
 - ☐ Producer statements
 - ☐ References to accreditation certificates issued by the Building Industry Authority
 - ☐ References to determinations issued by the Building Industry Authority
- ☐ Proposed procedures, if any, for inspection during construction

PART D : KEY PERSONNEL

(Complete Part D as far as possible in all cases. Give names, addresses and telephone numbers. Give relevant registration numbers if known)

Designer(s): REID ASSOCIATES, ARCHITECTS
PO BOX 155, WAIKANAHE
04 293 3246

Building Certifier(s): _____

Builder/s: E KNAF 230 TEMCARA RD. WAIKANAHE
CH 293 3022, MOBILE 025 472 907

Registered Drainlayer: MARTIN PHILLIPS REG NO: _____

Craftsman Plumber: " REG NO: _____

Other: 243400 MOBILE 025 455448

PART E : COMPLIANCE SCHEDULE DETAILS**E1: Systems Necessitating a Compliance Schedule**

(Complete Part e1 for all new buildings and alterations, except single residential dwellings)

The building will contain the following (Cross each applicable box and attach proposed inspection, maintenance, and reporting procedures):

- ☐ Automatic sprinkler systems or other systems of automatic fire protection
☐ Automatic doors which form part of any fire wall and which are designed to close shut and remain shut on an alarm of fire
☐ Emergency warning systems for fire or other dangers
☐ Emergency lighting systems
☐ Escape route pressurisation systems
☐ Riser mains for fire service use.

- ☐ Any automatic back-flow prevention
☐ Lifts, escalators or travelators or of
☐ Mechanical ventilation or air conditioning
☐ Any other mechanical, electrical, or plumbing compliance with the building code
☐ Building maintenance units for private
☐ Such signs as are required by the building code
☐ None of the above

Other Systems

E2 only if

follow
procedure

facilities for use by persons with disabilities which meet the requirements of section 25
 of the Community Welfare Act 1975

fighting

required by the building code or Section 25 of the Disabled Persons Community Welfare

Signature of the Applicant:

Heath
rev

Date: 28/11/96**FOR OFFICE USE ONLY**

FEES		APPLICATION DEPOSIT	
Building	\$606	RECEIPT NO	DATE 29.11.96
Sewer Connection	\$	613672	
Water Connection	\$	INVOICE NO	DATE 18/12/96
Vehicle Crossing	\$	11323	
Damage Deposit	\$100	RECEIPT NO	DATE 20.12.96
Structural Checking	\$	48586	
Building Research Levy	\$	FEES PAID BY:	
Development Levy	\$	EW & BE Heath	
BIA Levy	\$	W.	
Compliance Schedule	\$	BUILDING CONSENT	DATE ISSUED
Town Planning Bond	\$	NUMBER	20.12.96
Photocopying	\$	961263	
SUBTOTAL	\$1006	AUTHORISATION FOR REFUND OF DEPOSITS	
Less Deposit Paid	\$270.00	Deposit held =	\$400
TOTAL	\$736	Cost to Repair Damage Caused During Construction =	\$
GST INCLUDED	\$	Total Balance to be Refunded	\$400
		Authority Number: 2773	
		Authorised: <u>BM</u>	DATE:



SEWER NO.

KAPITI COAST DISTRICT COUNCIL

Application for Permit

To: The General Manager

PRIVATE BAG, PARAPARAUMU

I/WE REID ASSOCIATESPhone 33 246(Postal Address) P.O. BOX 155WAIKANA E (ON BEHALF OF KAYES)

hereby make application for permission to have the work described herein, and set out in the plans and specifications attached hereto, carried out in the premises situated at -

No. 51 Street or Road NGIARARA RDLot No. 7 D.P. 56305 District WAIKANA EThe owner of the premises is GERALD + ELIZABETH KAYE(Postal Address) c/o KAYES HARDWARE - COASTLANDSSignature of Applicant [Signature] Date 8 NOV 1989

VALUATION NO.

1 49 5 00 94 4

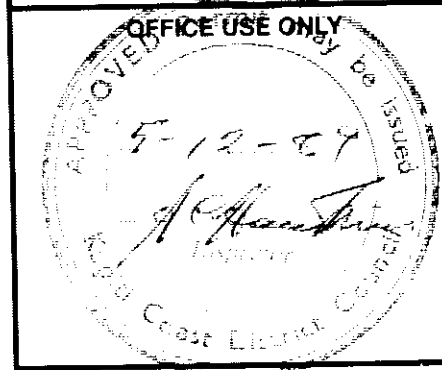
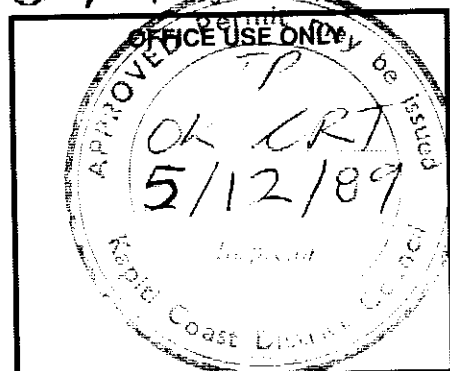
Date Rec'd

Day Book

Initial

15-11

Page



Building - Plumbing - Drainage

Description of proposed work: NEW HOUSEwith a floor area of 231.08 sq. metres

Estimated cost of BUILDING incl. materials

Estimated labour content of PLUMBING only

Estimated labour content of DRAINAGE only

TOTAL estimated value of proposed work

Builder's name and address TO BE ADVISEDType of water supply TOWN Capacity of storage tanks

cubic metres

Plumber's name and address T.B.A.Drainlayer's name and address T.B.A.**Important:- No work to be commenced before the permit is issued.****For Office use only**Account No. 21789 Date 6-12-89Receipt No. 1945Date 7/2/90

Fees: (Exclusive of GST)

Building Permit	\$	5	8	2	2	2
Plumbing Permit	\$	4	1	8	6	7
Drainage Permit	\$	1	8	7	5	5
Sewer Connection	\$					
Water Connection	\$					
Kerb Crossing FEE	\$	3	5	5	5	0
Damage Deposit <u>NO GST</u>	\$	4	0	0	0	0
Bldg Research Levy	\$	1	2	4	4	5
Sub Total	\$	2	0	6	8	4
GST	\$	2	0	8	5	5
Total	\$	2	2	7	7	0

Permit No. 14 01889.3 W109Date Issued 8-2-90Permit No. 278

Date Issued

Permit No.

Date Issued

Order No.

Refund

Checked

Date

Permit Endorsement:

CONCEALED SOIL AND T.V. WIRES ARE NOT
PERMITTED UNLESS BUILT INTO BRICKS OR
MINIMUM 100mm THICK PLASTER WALLS.

It is the responsibility of the applicant and/or builder to ensure that the proposed building is constructed in accordance with existing sewerage and drainage levels.

SHEET A
(CIRCLE whichever is applicable)

NAME: KAYE

STOREY:

Single or top ✓

Lower of two or middle of three

Lower of three

WIND AREA:

High ✓

Medium / Low

STOREY HEIGHT = 2.4 ✓ m

SITE ADDRESS:

51 NAARARA RD

WAIKANA

1)

FOR EARTHQUAKE

Roof weight: light ✓ heavy

Average roof slope: 40 °

Earthquake Zone: A ✓ B / C

E = 3 ✓ B.U.'s/m²

2)

WIND along the building (W1)

Average roof height: 3.2 ✓ m

Greatest roof slope: 40 °

w1 wall = 22 ✓ B.U.'s/m

w1 roof = 64 ✓ B.U.'s/m

W1 total = 86 ✓ B.U.'s/m

ALONG

3)

WIND across the building (W2)

Average roof height: 2.1 ✓ m

Greatest roof slope: 40 °

w2 wall = 22 ✓ B.U.'s/m

w2 roof = 42 ✓ B.U.'s/m

W2 total = 64 ✓ B.U.'s/m

ACROSS

ROOF or BUILDING LENGTH

BL = 34.4 ✓ m

ROOF or BUILDING WIDTH

BW = 12.03 ✓ m

GROSS ROOF or BUILDING PLAN AREA

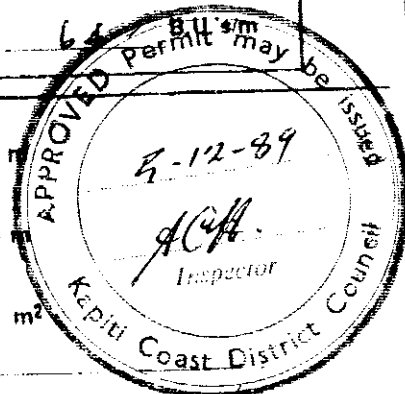
GPA = 271 ✓ m²

EARTHQUAKE: LOAD (ALONG and ACROSS)

E x GPA = 3 x 271 = 813 B.U.'s

WIND: LOAD ALONG

W1 x BW = 86 x 12.03 = 1034.58 B.U.'s



ALONG

1	Wall or Bracing Line		Wall Bracing Elements Provided				
	2	3	4	5	6	7	8
Total Bracing Units Required for this storey	Line Label	Minimum B.U.'s Required	Bracing Element NO.	Type (table 20)	Rating B.U.'s (table 20)	Length of Element (m)	B.U.'s Achieved
From sheet A greater of earthquake or wind along	A	46	A1	H	65	1.2	78
	B	76	B1	H	65	1.8	117
	C	154	C1	H	60	0.9	54
			C2	H	65	3.4	221
			C3	H	60	0.9	54
	D	339	D1	H	65	2.0	130
			D2	H	65	1.6	104
			D3	H	65	1.2	78
			D4	H	65	3.4	221
	E		D5	H	65	1.2	78
			D6	H	65	2.7	176
			D7	H	65	2.4	156
			E1	12	42	2.0	70
			E2	12	"	2.0	70
034.58	TOTAL		1467				

ACROSS

1	Wall or Bracing Line		Wall Bracing Elements Provided				
	2	3	4	5	6	7	8
Total Bracing Units Required for this storey	Line Label	Minimum B.U.'s Required	Bracing Element NO.	Type (table 20)	Rating B.U.'s (table 20)	Length of Element (m)	B.U.'s Achieved
From sheet A greater of earthquake or wind across	M	100	M1	H	65	2.9	187
			M2	H	65	2.2	143
	N	70	N1	L	42	4.0	168
	O	70	O1	L	42	3.4	143
	P	70	P1	H	65	2.4	156
			P2	H	65	1.6	104
	Q	70	Q1	2	62	5.8	316
			Q2	H	65	1.6	104
	R	70	R1	2	62	3.2	198
			R2	2	62	2.2	136
	S	70	S1	12	42/1.2	2.2	77
			S2	12	42/1.2	2.2	77
			S3	12	42/1.2	1.4	49
	T	70	T1	H	65	2.4	156
	U	44	U1	H	65	3.0	195
2201.6	TOTAL		2211				

* H = DENOTES HARDIPLEX AS ATTACHED INFORMATION

1607

Subfloor Sheet Bracing

Sheet thicknesses of 6.0mm or more are satisfactory alternatives to the list of sheet materials specified for use as subfloor sheet bracing under clause 4.3.8(a) of NZS 3604.

Structural Ceiling Diaphragms

Sheet thicknesses of 4.5mm or more are satisfactory alternatives to the list of sheet materials specified for use as structural ceiling diaphragms under clause 12.5.2(a) and (c) of NZS 3604.

Wall Bracing

Sheet Bracing

Hardiflex Building Boards, Hardipanel and Harditex fixed using the 'special nailing' method (refer Fig. 1) may be used as sheet bracing in accordance with NZS 3604 section 6.9.4. Steel straps must be installed to the end studs as specified in clause 6.9.4.5, and as illustrated in Figure 3. The detail shown at bottom right of Figure 47 (NZS 3604), showing the nailing of sheet material to the joists, must not be used. The Table 1 rating in bracing units per metre of element length (BU/m) apply.

Diagonal Braces with Sheet Materials

Sheet thicknesses of 4.5mm or more are satisfactory alternatives to the list of sheet materials specified under clause 6.9.2.2 of NZS 3604, to be used as wall bracing with diagonal braces (NZS 3604 Table 20, Types 1 to 6).

Hardiflex, Hardipanel and Harditex may also be used as sheet bracing without steel straps to the end-studs when the panel length exceeds 2.4m. The Table 2 ratings in bracing units per metre of element length (BU/m) apply.

Table 1: Sheet Bracing Ratings – End-Stud Strapping – Special Nailing

Sheet (*) Thickness	Element length Not exceeding 1.2m	Element length Exceeding 1.2m
4.5mm	50 BU/m	55 BU/m
6.0 and 6.5mm	60 BU/m	65 BU/m
7.5mm	65 BU/m	70 BU/m

Table 2: Sheet Bracing Ratings – Without end-Stud Strapping – Special and Standard Nailing

Sheet Thickness (*)	(Element Length exceeding 2.4m)	
	Standard Nailing	Special Nailing
4.5mm	40 BU/m	55 BU/m
6.0 and 6.5mm	50 BU/m	65 BU/m
7.5mm	55 BU/m	70 BU/m

(*) Harditex is normally 7.5mm thick in the body of the sheets. Tapered edges reduce the thickness to 6.0mm around the sheet perimeter. Perimeter nailing is important for bracing performance. Differences in material formulation also result in a slightly reduced strength. For these reasons the bracing ratings for 4.5mm thick sheets should be used for Harditex.

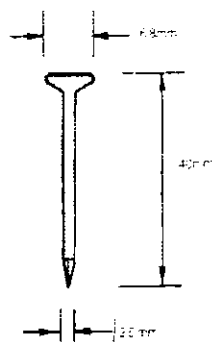


Fig. 2 Hardiflex Nail

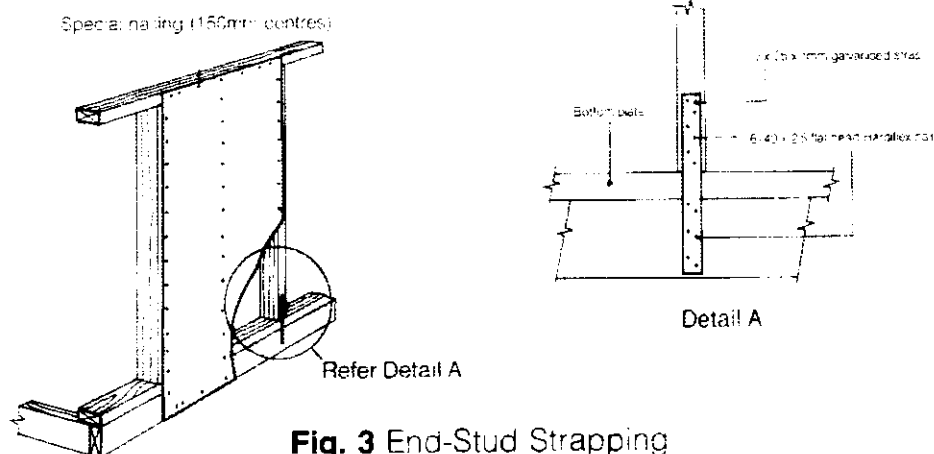


Fig. 3 End-Stud Strapping

Bracing Alternatives

- The exterior of the structure can be totally clad in Hardies sheets to provide continuous sheet bracing to all walls.

Hardies sheet products can be used, in conjunction with other exterior claddings such as brick veneer or planks, to provide bracing.

Product Advantages

- The exterior cladding system can be used as a total bracing system. Sheets can be fixed to the normal cladding specification to provide all the necessary bracing units.
- When used as bracing panels under brick veneer or similar the sheets are extremely durable compared to alternative timber based products. The sheets can be left exposed to the weather without deterioration.
- A large range of choices in the type of sheets that can be selected for bracing systems.

The alternative Hardies Fibre Cement Products for the above bracing systems are:

Stucco Board	7.5mm thickness
Montana Board	7.5mm thickness
Ascot Board	7.5mm thickness
Feature Board	6.5mm thickness
Harditex	7.5mm thickness
Hardiflex	7.5mm or 6.0mm thickness

- Exterior sheet bracing panels can be designed to be fixed to the stud walls before cladding such as brick or stone veneer, or plank claddings are erected.

Use 4.5mm, 6.0mm or 7.5mm Hardiflex for these systems.

- Internal lining sheets can be designed to provide the necessary bracing ratings particularly to wardrobe areas.

Use 4.5mm, 6.0mm or 7.5mm Hardiflex for these systems.

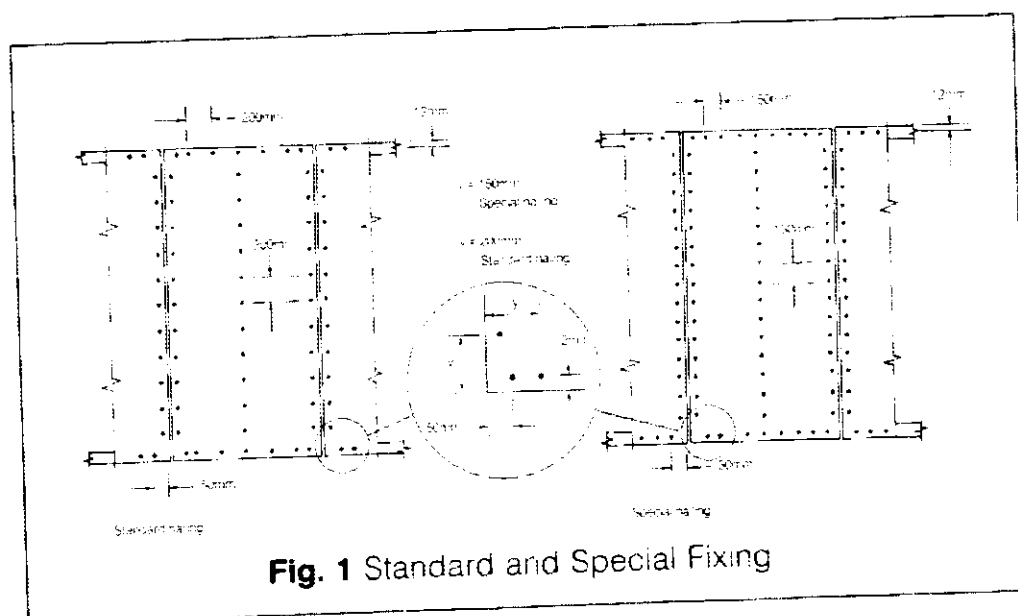


Fig. 1 Standard and Special Fixing

Bracing Usage to NZS 3604

Hardiflex Building Boards, Hardipanel and Harditex, 4.5mm thick or more, and fixed with Hardiflex nails are suitable bracing materials in terms of NZS 3604 provided that product exposed to the weather is coated with suitable acrylic paint. Nail centres shall be as specified in NZS 3604, except that a maximum of 200mm centres applies to intermediate supports. nailing is at no less than 12mm from the sheet edges, and 50mm clearance is provided to at least one edge at sheet

PAYNE SEWELL LTD

CONSULTING ENGINEERS • SURVEYORS • PLANNERS

CLIENT

SUBJECT

FILE NO

1217461

DATE

PAGE

BY

Beam Sizes.

Span = 4.8m

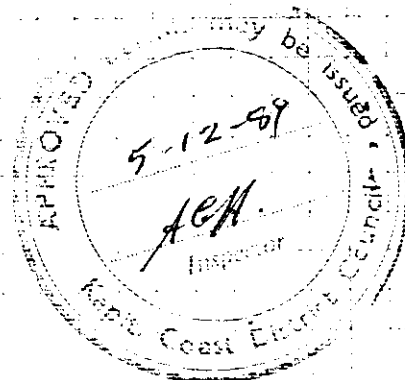
*Carries Trusses
Spanning 6m*

*300 x 100
Timber*

Span = 4.5m

*Carries Trusses
Spanning 7.8m*

*300 x 100
Timber*



CLIENT

REED.

SUBJECT

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LOADINGS

$$\text{Roof DL} = \frac{0.25}{0.75} = 0.33 \text{ kpa}$$

$$w = 0.25 \text{ kpa}$$

WIND

$$V = 45$$

$$S_1 = 1.0$$

$$S_2 = 0.62$$

$$q = 0.48 \text{ kpa}$$

Beam loads

$$0.7D + W = 0.7(0.33) - 0.48 \times 1.1$$

$$= 0.297$$

$$D + L = 0.33 + 0.25$$

$$= 0.58 \text{ kpa}$$

$$w = 0.58 \times \frac{4.86}{2}$$

$$= 1.392 \text{ kN/m}$$

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$$M = \frac{1.74 \times 4.8^2}{8} = \frac{41.6}{5.01} \text{ kN.m}$$

$$Z \geq \frac{5010}{\frac{4000}{6}} = 668.835$$

Try 250 x 100

$$\Delta = \frac{5 \left(\frac{1740}{1292} \right) 4.8^4}{384 (8 \times 10^9) 114 \times 10^6}$$

$$= 0.073$$

$$\Delta_{b2} = 6 \text{ m} \times 2 = 12$$

Too high

Try 300 x 100

$$\Delta = 13 \times \frac{1}{114} = 7.44$$

$$\Delta_{b2} = 4.23 \times 2 = 8.46 \text{ m} = \frac{L}{56.7}$$

OK

$$D_{LL} = 3.2$$

$\Rightarrow 300 \times 100 \text{ OK}$

CLIENT

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BY

4.5 m Span
Carries $\frac{7.8}{2}$ m Roof

$$W = 0.58 \times \frac{7.8}{2} = 2.26 \text{ kN/m}$$

$$M = 2.26 \times \frac{4.5^2}{8} = 5.7 \text{ kN.m}$$

$$Z \geq \frac{5200}{6} = 950 \text{ mm}$$

$$\Delta = \frac{5(2260)4.5^4}{384(8 \times 10^9)199 \times 10^6} = 0.0076 \text{ mm}$$

$$\Delta_{n2} = \frac{0.008 \times 0.35 \times 2}{0.58} = 4.55 \times 2 = 9.1 \approx \frac{4}{494}$$

SPECIFICATION OF WORKS AND MATERIALS

Project: Proposed Residence for Mr & Mrs G.Kaye

**Address: 51 Ngarara Rd
WAIKANAE**

**REID ASSOCIATES ARCHITECTS
P.O.Box 155 Waikanae
Phone (058) 33246**

PRELIMINARY AND GENERAL

MAIN PARTIES TO THE CONTRACT

Owner: Mr & Mrs G. Kaye

Engineer: Payne Sewell : Levin

Architect: Reid Associates.

Nominated Contractors: To be advised

CONDITIONS OF CONTRACT

The conditions of contract, which shall apply to all trades and sections of the work shall be as set out in a specific appendix to the tender documents, or as agreed between the parties by letter or other supporting document. The Contract documents shall be these conditions, this specification, and the contract drawings.

FEES AND LEVIES

The contractor shall make all allowances and pay when due all local authority fees, levies and deposits applicable to the works.

GUARANTEES AND WARRANTIES

The contractor shall take all steps to ensure that guarantees and warranties are provided on items specified in the contract and that all conditions for installation and registration are met.

INSURANCE

The contractor shall arrange for a "Builders all risk" policy to cover all relevant parties to the contract prior to accessing the site.

MAINTENANCE

The Builder shall maintain the works for a period of 90 days (or as otherwise agreed between the parties), from "practical Completion" of the works making good any defects.

STANDARD SPECIFICATIONS

The work shall comply with All relevant New Zealand Standard Specifications, Local Authority By laws and best trade practice.

SITE PREPARATION

TEMPORARY SERVICES

The contractor shall allow for and arrange temporary power and water to the Works.

SETTING OUT

All site Boundaries must be clearly established by the contractor. The Owner shall engage a surveyor if boundary positions are in doubt.

ACCESS TO THE SITE

The contractor shall inspect the site and make any necessary allowances to ensure access for equipment to the works, and allow for making good any damage.

EXCAVATION

Excavate all trenches down to solid bearing. Any adverse sub ground conditions that could not be reasonably foreseen and not indicated by the foundation drawings shall be accommodated by agreement between the parties and applied as an extra to the contract.

CONCRETE WORK

SCOPE OF WORK

1. Footings
2. Concrete slab
3. Post pads

GENERAL

Materials and workmanship shall comply with N.Z.S.S.1900 clauses 9/3/3 to 9/3/25. 28 Day crushing strength shall reach 17.5 Mpa unless specifically noted as otherwise on drawings.

REINFORCEMENT

Steel to comply with N.Z.S.S 197. Steel size and location shall be as detailed on drawings. Hook all rod ends, lap all steel 40 diameters min and tie all joints securely with 16 guage black iron wire and secure in intended position.

CONCRETE SLAB

Shall be 100mm thick ~~reinforced with 665 mesh to middle of slab, lapped 225mm and secured at that height.~~ A polythene damproof underlay shall be provided on compacted sand. Tape all damproof joints with black P.V.C adhesive tape. Seal all penetrations. Slabs open to the weather do not require dampcourse.

FINISHING

Screed slabs to level or to prescribed falls and then bring to a hard surface with approved power float Equipment. The finished surface is to be accurate to 6mm in 3000mm.

FRAMING

WALLS

All framing timber to be not boric treated Radiata Pine ,ex 100x50 at 600mm centres generally.Noggings to be at 800mm centres vertically and nailing to comply with NZS 3604 nailing schedule. Nogging and non load bearing studs may be No 2 framing grade.

FLOORS

See concrete section

CEILINGS

Provide ex 75 x40 mm battens at 450mm spacing to underside trusses to provide fixing for 9.5mm gib.

ROOF FRAMING

Framing to be as shown on drawings,Coloursteel 5000 corrugated roofing to be fixed on building paper on stretched galv netting on ex 75 x 50 purlins on gangnail trusses spaced at 900mm centres.Provide roof bracing system as specified in NZS 3604 and shown on drawings

STABILITY

All bottom plates shall be fixed to floors or other support by steel or steel bolts cast and cranked in slabs at 1.4 m max spacings,or by nailing to comply with N.Z.S. 3604 to othet framing or bearers.All Walls shall be adequately braced to prevent any lateral movement and to comply with overall bracing requirements where applicable under a bracing schedule.Bracing shall be by Galvanised steel angle in combination with sheet material or by Permitted sheet material only fixed as specified in N.Z.S.3604.All nailed fixings generally shall comply with the nailing schedule set out in the appendix to N.Z.S 3604.

LININGS

WALLS - INTERIOR.

Refer to drawings and the lining schedule (if given) for type and location of linings which shall comply with the following

GIBRALTER BOARD

Line new interior timber walls with 9.5mm gib board supported and nailed off with gib clouts to comply with Manufacturers recommendations and to sheet Bracing requirements for type 1 and 2 bracing as per NZS 3604. Set clouts and align tapered joints to prepare for stopping.

CUSTOMWOOD

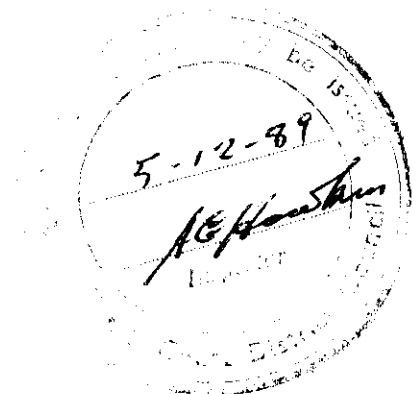
Line new interior timber walls and nail off where specified to achieve type 8 and 9 bracing elements with 9mm customwood sheets as per N.Z.S.3604. Set Nails and prepare for stopping as for Gib bd. linings

WALLS - EXTERIOR

Line walls as specified on drawings and on linings schedule (if given) Linings shall comply with the following:

HARDITEX SHEET

Line walls with Harditex 7.5mm sheet fixed strictly according to manufacturers instructions. Lay over building paper. All jointing to be done by textured coating applicator.



CEILINGS.

Ceilings shall be lined as specified on drawings and schedule (if supplied) and shall comply with the following

GIBRALTER BOARD

Provide solid fixing by way of rafter, batten or nogging at no more than 450mm centers and fix 9.5mm gib board strictly according to Manufacturers instructions to allow for a completely flush and crack free surface ready for stopping and painting.

VERANDAH SOFFITS

Line soffit with 4.5 mm hardiflex flat sheets. Secure with tan. beading and PVC strip Jointers.

ROOFING

see roof framing section

JOINERY

EXTERIOR JOINERY

Shall be Alucoat white aluminium with MUF customwood liners

INTERIOR JOINERY

Doors shall be stock flush hollow core, stain quality rimu veneer of an approved make, hung with 3 100mm pins B.S. butts on ex 40mm solid slimline type pine jambs

HARDWARE

To be selected by owner

CABINET WORK

All cupboards, vanities, shelves etc to be prefinished melteca board construction or similar approved as agreed between owner and contractor.

INSULATION

WALLS

All exterior walls shall have R 1.6 fiberglass insulation tightly fitting between studs and nogs

CEILINGS

Provide R 2.2 fiberglass insulation directly above vapour barrier above gib lining.

FLOORS

conc slab - no insulation

PLUMBING

GENERAL

The works shall be carried out by competent tradesmen possessing the qualifications laid down in spec. 15 and 16 of NZS 671.

FLASHINGS

Flash as necessary to render the building watertight
All roof flashings shall be coloursteel to match roof

SPOUTING AND DOWNPIPES

Fit Coloursteel gutters and downpipes straight and with even falls.
Dispose to approved soakage pits.

VENTS AND SOIL STACKS

To be rigid PVC ,concealed where possible

HOT AND COLD WATER RETICULATION

To be approved Polybutylene with standard manufacturer approved connectors and accessories,except in concrete slabs where copper wrapped firmly in plumbers felt shall be used.
180 litre high pressure gash hot water cylinder shall be supplied in position shown on plan,copper pipe to be used within 1800mm of cylinder.Supply additional 135 litre electric cylinder to serve laundry and wc area beside garage

FITTINGS

Allow to supply ,install and connect all plumbing fittings and accessories chosen by owner listed below:

- 1.Showers (2) 900 x900 complete with rose and mixer
- 2.Vanities (2) prefin. cabinet type with drawers and integral top/bowl
- 3.W.C'S (2) McSkimmings wall hung white with selected seats and wall line cisterns
- 4.SS wash tub and base
- 5.Std bath unit
- 6.WC basins (2) wall mount
- 5.Sink unit with waste disposal outlet and waste provision
- 6.plumbing for dishwasher supplied by owner
- 7.All other taps,Kitchen faucet,and shutoff stop cocks including separate taps for washing machine

TESTING AND COMMISSIONING

Test all systems for operation and watertightness.Remedy all defects before linings are in place.Leave work fully complete and in full working order.

DRAINAGE

GENERAL

Provide all fittings necessary to complete the work and lay all drains to an even consistent fall of not less than 1 in 40

SEWER

Install 100mm PVC gully traps to take wastes and 100 bends to take soil pipe, terminal vent etc. Run drains to on site connection as shown on plan. Provide cleaning eyes at any change of direction or junction.

STORMWATER

From all downpipes, take stormwater drains on site main connection

TESTING AND COMMISSIONING

Arrange and attend local authority inspection and test. Remedy all defects. Backfill all trenches to original level and ground condition. Remove all waste material and leave work area in a clean and tidy condition.

ELECTRICAL

GENERAL

Provide all materials and plant necessary to complete the work set out in accordance with best trade practice, the wiring regulations 1969, and to the approval of local Authorities. Obtain all necessary permits from the supply authority prior to commencing work.

EXTENT OF WORK

Details are supplied on plan and consist of;

1. Mains supply to main Meter and switchboard located adjacent garage door
2. general wiring reticulation to house
3. Supply and installation of all plugs and switches, batten holders, exterior light fittings
4. Installation only of Oven, hob, hot water cylinder wiring, all with isolating switches

PAINTING

GENERAL

The painting contract shall be carried out by tradesmen registered with the Master Painters Association, using Materials that are the best of their kind and supplied new and unbroken for the job, and applied to comply with the manufacturers instructions and to best trade standard.

CARE OF THE WORKS

Protect any surfaces outside the scope of the work and leave the works clean and the paintwork free of blemishes of any kind.

PAINTING SCHEDULE

The extent of work and finishes required are as set out below:

1. EXTERIOR

barges : undercoat, finish coats to gloss enamel
Posts/pergolas: 2 coats lumbersider acylic
Front door : seal, polyeurathane 3 coats
Soffits : 2 coats latex acrylic
Harditex: Hopper spray application of resitex or sim. All joints to be fiberglass filled by applicator to achieve smooth flush and crack free surface

2. INTERIOR

Walls : seal, Paint 2 coats vinyl acrylic
Ceiling and scotia : seal, 2 coats ceiling latex.
Doors, seal, polyeurathane to satin
Windows/door frames/skirtings: undercoat, paint to gloss enamel



KAITIAKI COAST DISTRICT COUNCIL
PRIVATE BAG, PARAPARAUMU

278

19

PLUMBING AND DRAINAGE PERMIT

Mr. M.P. PHILLIPS

Box 189

WAIKANAHE

is hereby authorised to carry on the work described herein as set forth in the plan deposited with me, on the premises.

Situated 51 NGARARA RD

Being Lot 7 D.P. 56305

Owner G & E KAYE

Builder

Such work is to be carried out in strict accordance with the DRAINAGE and PLUMBING REGULATIONS 1978 under the HEALTH ACT, 1956, AND NOTICE GIVEN WHEN THE WORK IS COMPLETED AND READY FOR INSPECTION.

Tradesman's Signature

Estimated Value of:

Plumbing \$825 :

Drainage \$3000 :

Fee Paid:

Plumbing \$418 : 57

Drainage \$187 : 55

Sewer \$:

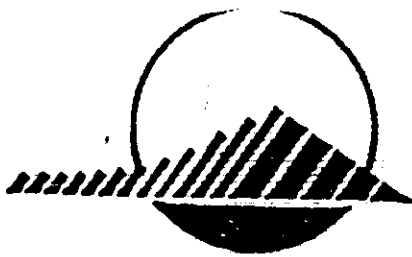
Water \$:

DESCRIPTION OF WORK AS PER PLAN AND SPECIFICATION

PLUMBING & DRAINAGE WORK
TO NEW OUTBUILDING

Engineer

(or other officer authorised by the local authority)



3595

KAPITI COAST DISTRICT COUNCIL

LOCALITY Waikanae Sewer

DATE RECEIVED

DATE ISSUED

PERMIT NO.

278

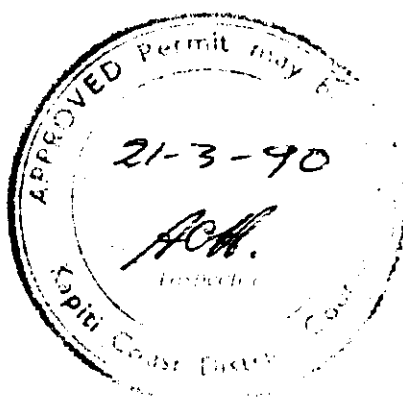
APPLICATION FOR PLUMBING AND DRAINAGE PERMIT

OWNER'S NAME

G. & E. Kaye

FOR OFFICE USE ONLY

REMARKS:



NOTE—In all cases where septic tanks are installed the site and position must be first approved by the Council Health Inspector.

Application For Plumbing and Drainage Permit

To: The General Manager,
Private Bag,
Paraparaumu

Waikanae Service Centre,
Aputa Place,
Waikanae.

Otaki Service Centre,
Main St.,
Otaki.

I, the undersigned, do hereby apply for a permit to carry out DRAINAGE and PLUMBING work in accordance with the undermentioned particulars.

Description of Drainage and Plumbing Work

to new dwelling

Allotment. Lot: 7 D.P.: 56305 Section: _____ Area: _____

Block: _____ S.D.: _____ Locality: _____

Previous Owner	{ If Section has been recently transferred }
----------------	--

Frontage (Length) _____ (Name of Street or Road) 51 Ngorara Rd.

Water Supply (Description)

Est. Material Value of Plumbing Work \$: **Est. Labour Value of Plumbing Work \$3560.00**

Est. Material Value of Drainage Work \$: **Est. Labour Value of Drainage Work \$ / 500: -**

5000

Total Value \$

All work will be carried out in accordance with Kapiti Coast District Council's By-Laws and Drainage and Plumbing Regulations 1978 and Amendments.

Plumbing Permit Fee Based on Labour Value \$ 471 Receipt No.: 1945

Drainage Permit Fee Based on Labour Value \$211 Receipt No.: _____

Full Name and Address of Owner:

G. & E. Kaye

NOTE.—The following MUST accompany this Application:—

- (a) Ground Plan of Building showing all drains, vents, sumps, septic tanks and sanitary fittings to be plotted on opposite page. For a sewer connection, complete enclosed carbonised form.

- (b) Specifications of work materials to be used.

Plan showing drain should be drawn to scale of 1-100.

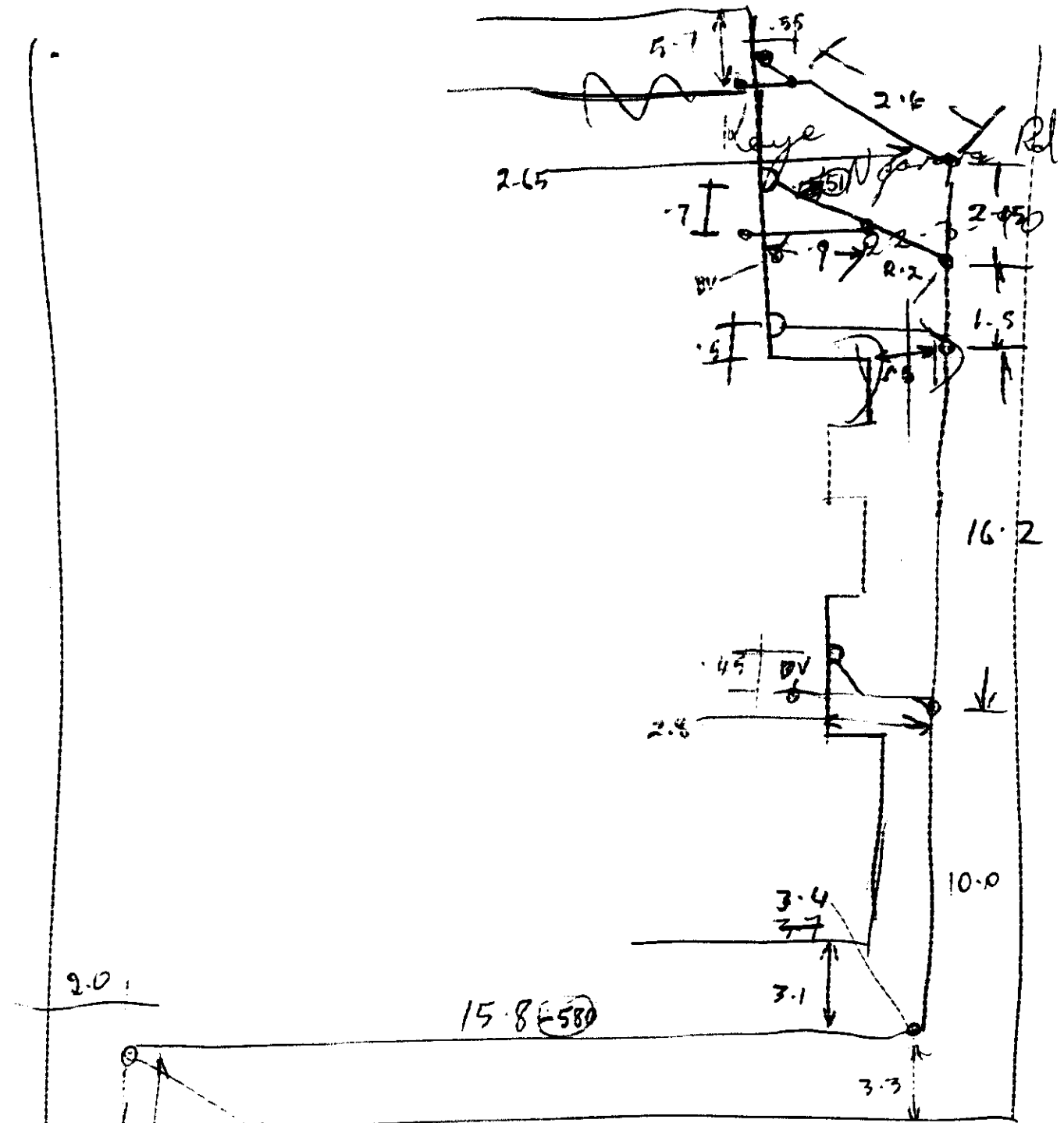
Stormwater drains should be shown (if any) in dotted lines.

Signature of Applicant: _____

Address _____

**Craftsman
Plumber's Signature,
Address, and
Registered No.**

**Registered Drainlayer's
Signature, Address, and
Registered No.**



51 Ngaxox Kd.
1-6-90



KAPITI COAST DISTRICT COUNCIL

Authorisation for Refund of Deposits

1018

To: Mr. TREASURY

(Building Clerk, Building Inspector)

Date 10/10/90

Owner G & E KAYE

Applicant REID ASSOCIATES Address PO Box 155

WAIKANAE

~~has applied~~ is ready for Refund of Deposits at Job Address

51 NGARARA RD Lot 7 D.P. 12/90

Val. No. 7/12/90

Account No. 21789

RECEIPT No: 1945

ITEM	O.K.	REPAIR REQUIRED	COST
Road			
Kerb			
Path		\$400	
Crossing		REFUND	
Stormwater			
Berm			
Other			

Inspected M GERLICH

Date 10/10/90

To: WORKS OVERSEER

Date

Please make all necessary repairs as detailed above.

Works Completed (Overseer) Date

To: ACCOUNTS CLERK

Date

Please refund — Total Amount

Balance after Transfer \$ 400.00

Authorising Officer

(Building Clerk/Building Inspector)

**IMPORTANT
DO NOT DETACH**

AL RECEIPT 9 4 5

2277008

Receipts without the Cash Register printed figures will not be recognised as valid

Dr to

6-12-1989
P.O. Box 542,
Levin.

HOROWHENUA COUNTY COUNCIL

M. *G. * E. Hayes*
Address *c/o Hayes Hardware*
Coastlands
Paseporoome

Permits will be posted upon payment of this account.

* ACCOUNTS FOR WORK IN THE WAIKANAЕ AREA MAY BE PAID TO THE COUNCIL OFFICE, APUTA PLACE, WAIKANAЕ.

Permits will be posted upon payment of this account.

* ACCOUNTS FOR WORK IN THE WAIKANAĒ AREA MAY BE PAID TO THE COUNCIL OFFICE, APUTA PLACE, WAIKANAĒ.

Inspector: M _____

File No. _____

Receipt No. 1945

Date Permit Issued 8/2/90

OWNER	
Name	G & E KAYE
Mailing Address	70 KAYES HARDWARE COASTLANDS PARAPARAUMU

BUILDER	
Name	PERMIT ISSUED TO APPLICANT
Mailing Address	70 KAYES HARDWARE COASTLANDS PARAPARAUMU

PROPERTY ON WHICH BUILDING IS TO BE ERECTED/DEMOLISHED

SITE	
Street No.	51
Street Name	NGARARA RD
Town/District	WAIKANAE
Riding	

LEGAL DESCRIPTION	
Valuation Roll No.	14950/094/4
Lot	7
D.P.	56305
Section	
Block	
Survey District	WAIKANAE

DESCRIPTION OF PROPOSED WORK AND MAIN PURPOSE OF USE

NEW DWELLING

FLOOR AREA		DWELLING UNITS	
Whole Sq. Metres	237	Number Erected	1

ESTIMATED VALUES \$ INC	Building	128,469	
	Plumbing	8,281	
	Drainage	3,000	
	G.S.T.	(15,527)	
	TOTAL	139,750	

NATURE OF PERMIT (TICK BOX)	
☒	NEW BUILDING - exclude domestic garages and domestic outbuildings
☐	FOUNDATIONS ONLY
☐	ALTERED, REPAIRED, EXTENDED, CONVERTED, RESITED - include installation of heating appliances
☐	NEW CONSTRUCTION OTHER THAN BUILDINGS - include demolitions
☐	DOMESTIC GARAGES AND DOMESTIC OUTBUILDINGS

FEES APPLICABLE

Building Permit	\$ 582.22	Water Connection	\$
Street Damage Deposit	\$ 400.00		\$
Building Research Levy	\$ 124.45		\$
Plumbing	\$ 418.67		\$
Drainage	\$ 187.55		\$
Sewer Connection	\$		\$
Vehicle Crossing Levy	\$ 355.56		\$
M.S. Plumbing	\$		\$
		G.S.T.	\$ 208.55
		TOTAL:	\$ 2277.00

Receipt No.	1945
Date of Payment	7/2/90
Authorised Officer	BM

Special Conditions:

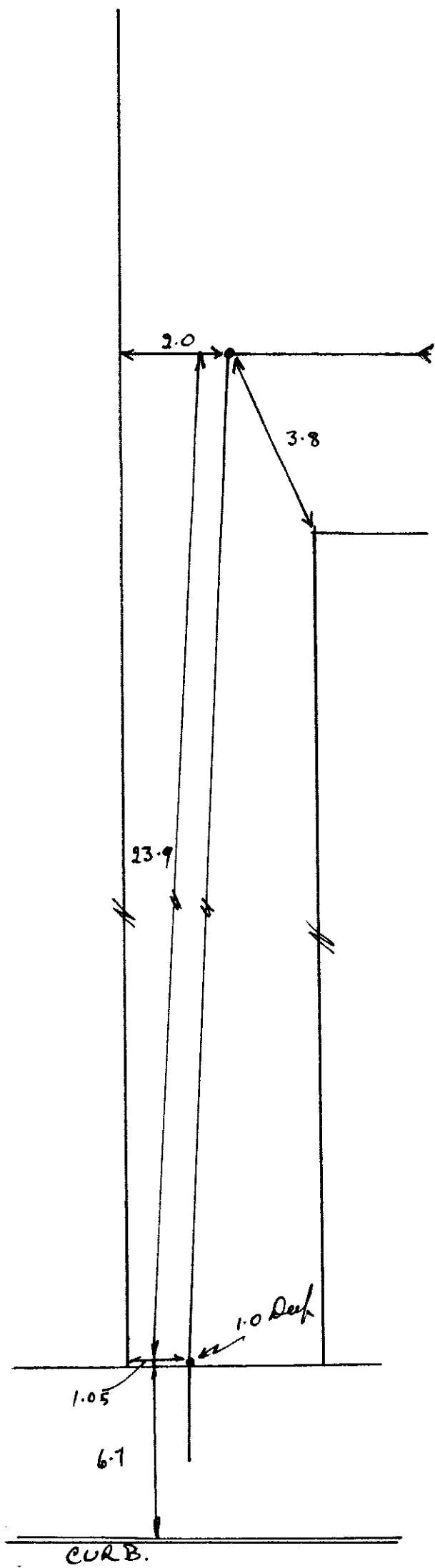
BUILDER TO ENSURE THAT PROPOSED
FOUNDATION HEIGHT WILL ALLOW A
SATISFACTORY DRAINAGE CONNECTION
TO THE SEWER MAIN.CONCRETE SOIL & TV PIPES NOT PERMITTED UNLESS BUILT INTO
DUCKS OR MINIMUM 150mm THICK FRAMED WALLS

Date Inspected

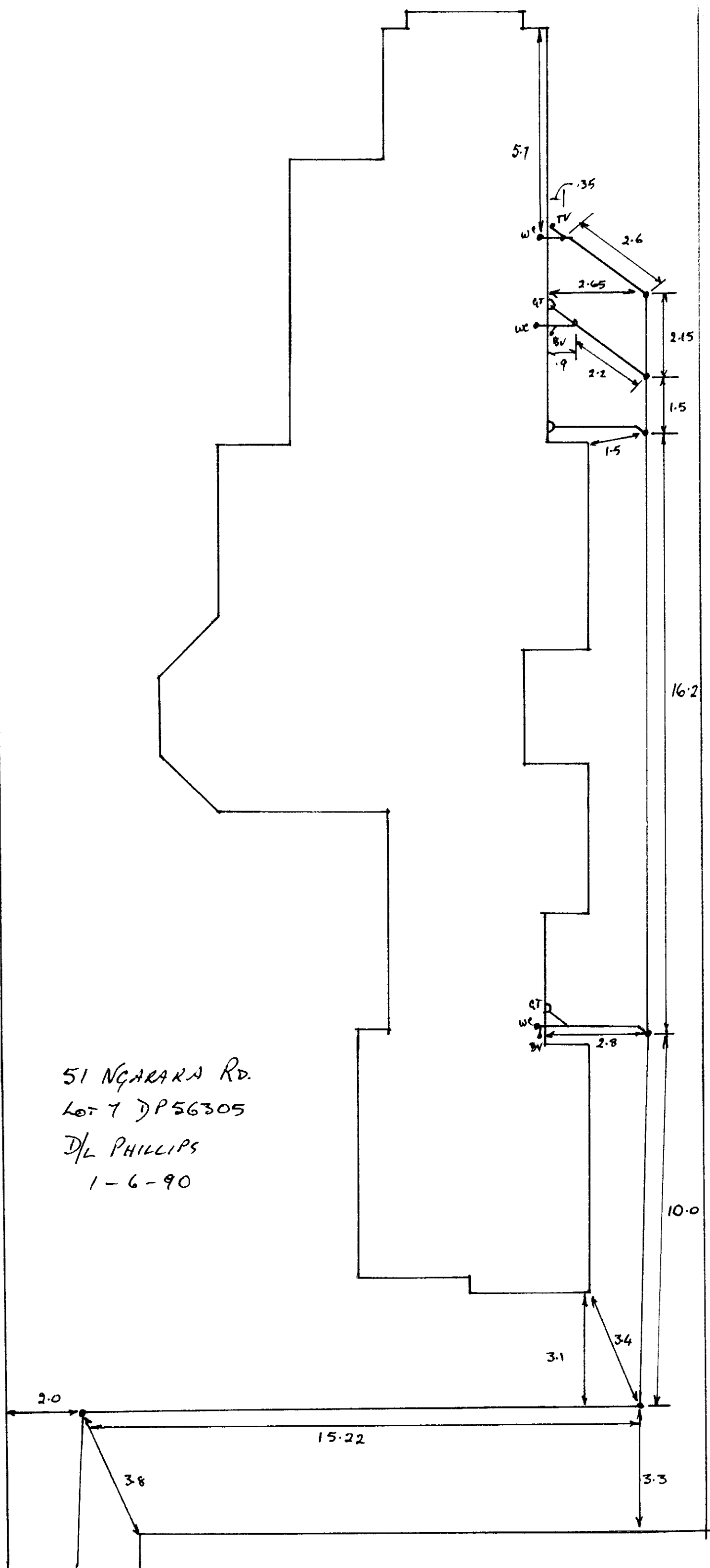
REMARKS (e.g. stage reached with work)

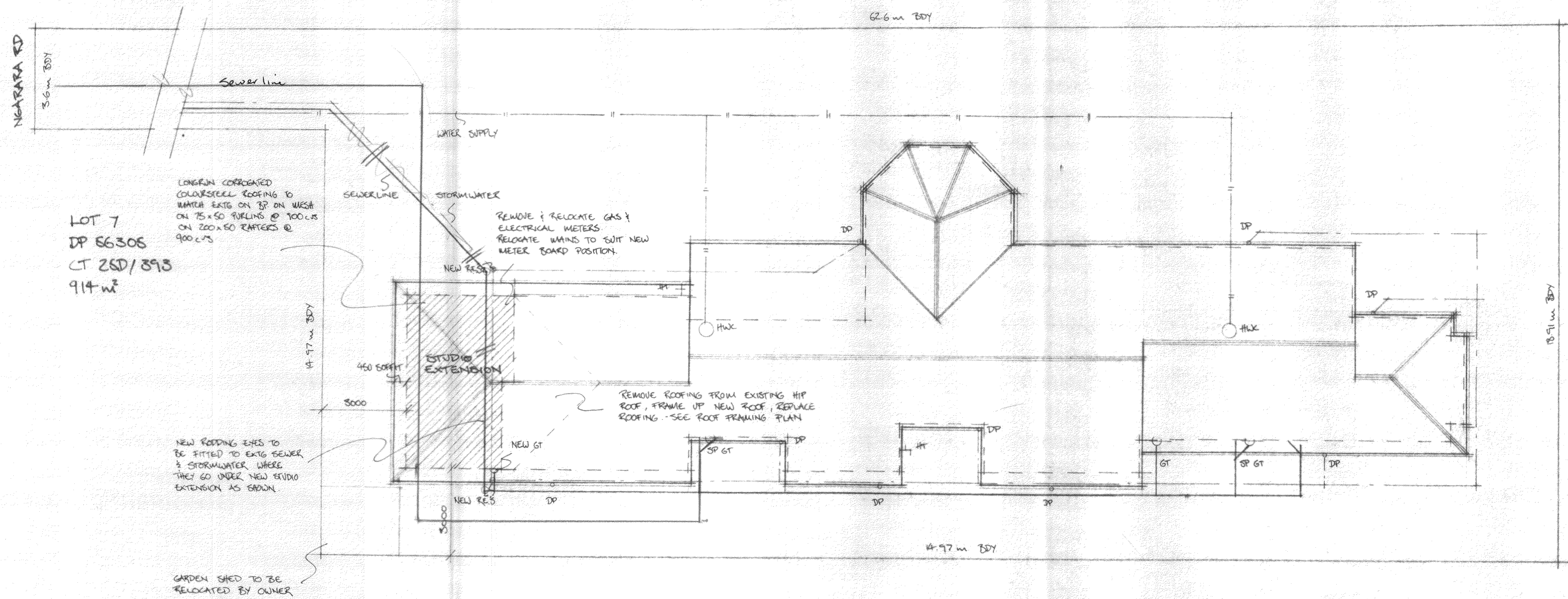
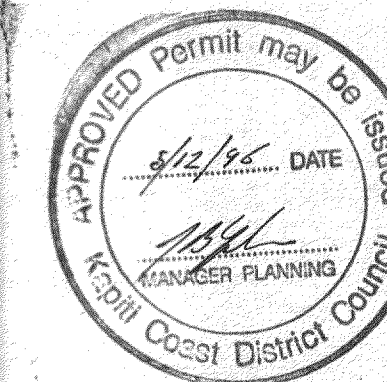
Found OK

Slab OK

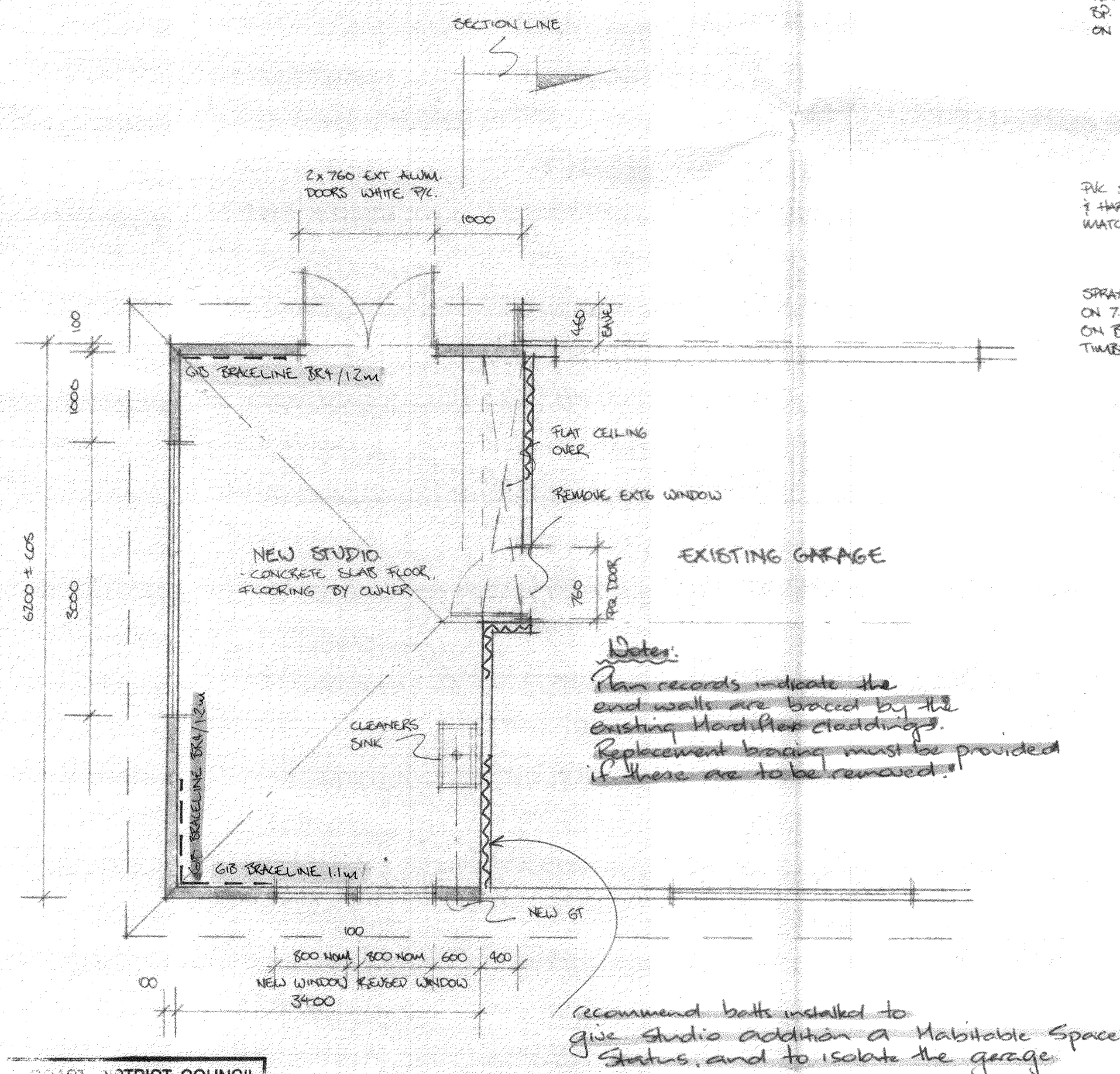


51 NGARARA RD.
 Lot 7 DP 56305
 D/L PHILLIPS
 1-6-90

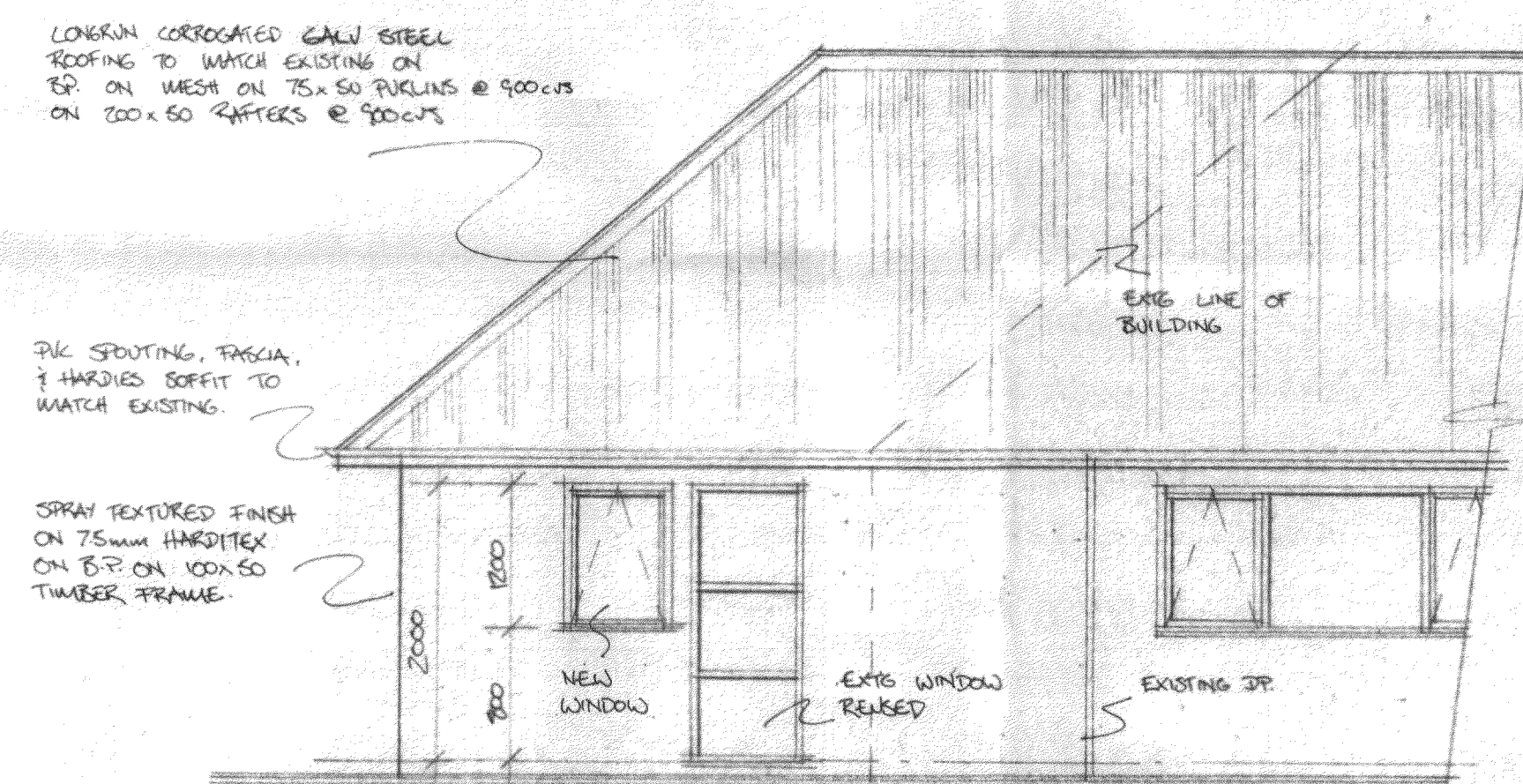




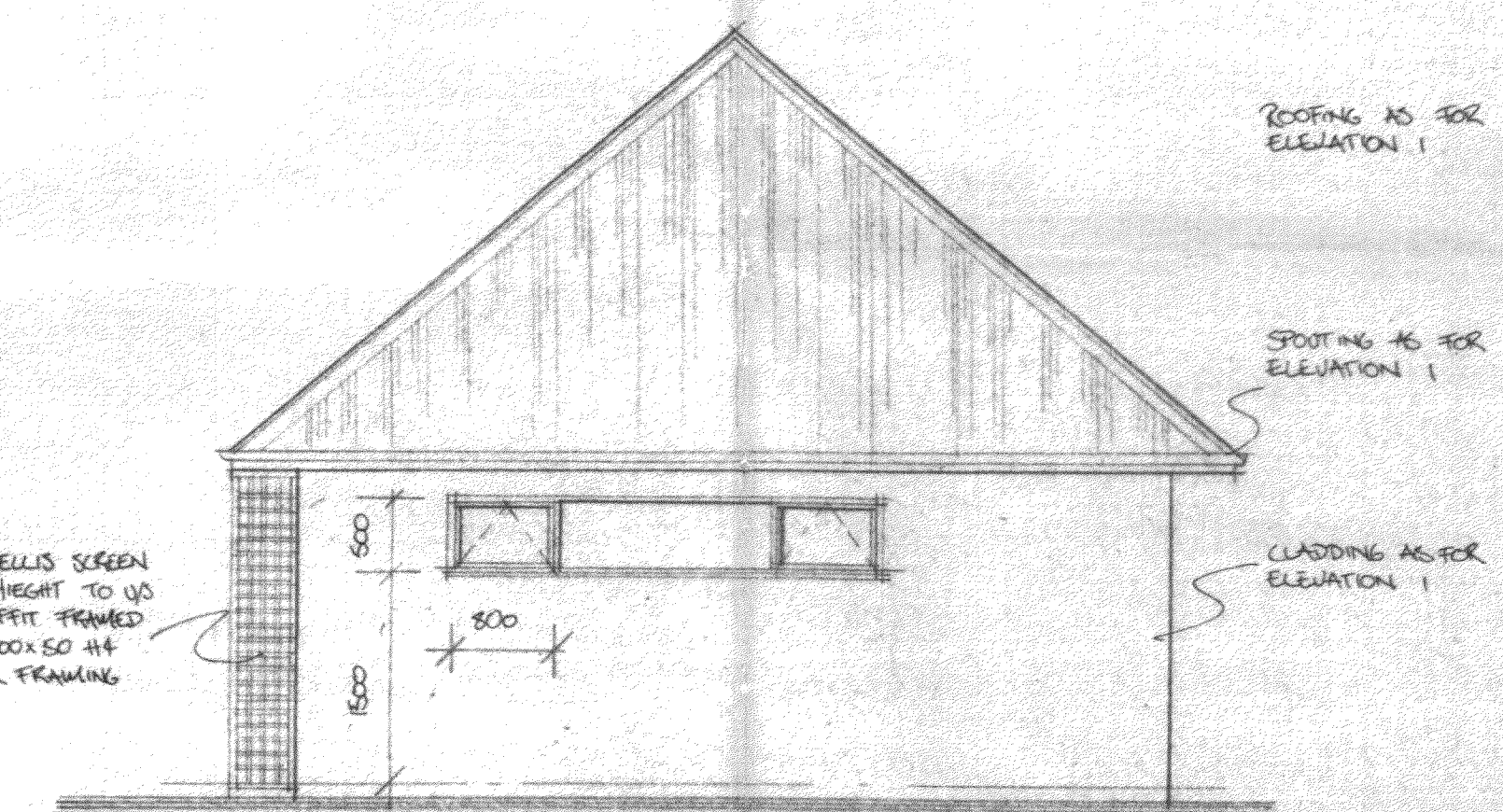
SITE PLAN/ ROOF PLAN 1:100



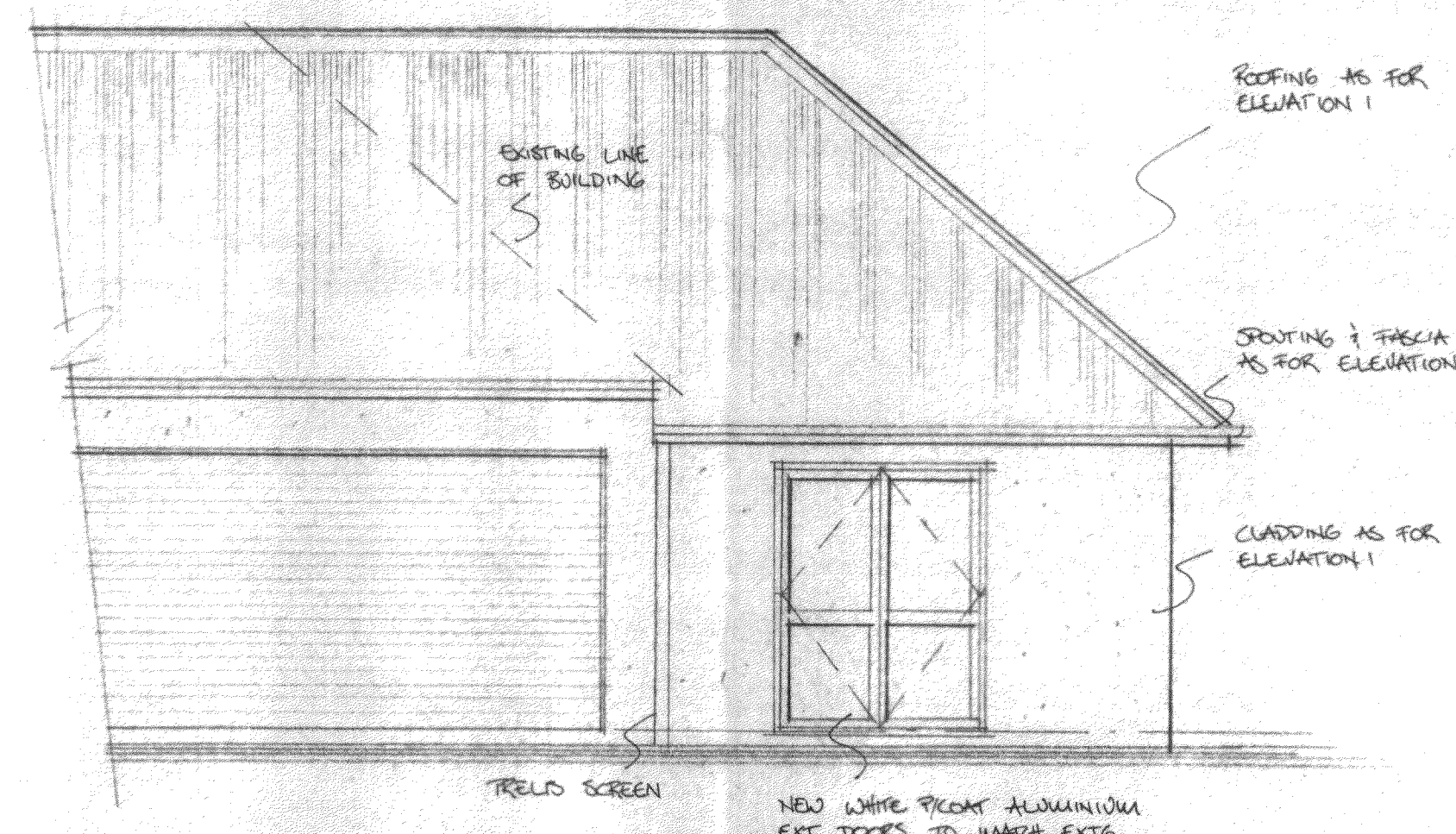
PLAN AS PROPOSED 1:50



ELEVATION 1 1:50



ELEVATION 2



ELEVATION 3

MINIMUM FINISHED FLOOR LEVEL ABOVE —	
PROTECTED GROUND	100mm BRICK VENEER
UNPROTECTED GROUND	150mm OTHER CLADDINGS
	150mm BRICK VENEER
	225mm OTHER CLADDINGS

Revisions		

Project
NEW STUDIO
51 NGARARA ST
WAIKANA E

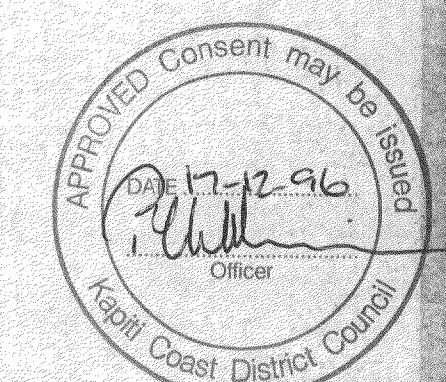
Client
MR & MRS HEATH

Drawing
SITE PLAN/ ROOF PLAN
PLAN AS PROPOSED
ELEVATION 1-3

Drawn	MR	Date	9/11/96
Checked		Date	
Job No	5496	Dep. No.	1
Rev			

REID ASSOCIATES ARCHITECTS

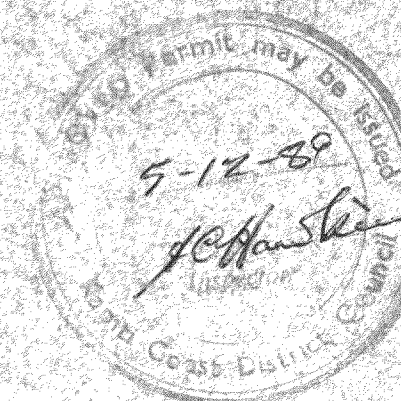
P.O. Box 155 Waikanae
Phone / Fax 1 041 293 3246



KAITIAKI COAST DISTRICT COUNCIL
APPROVED PLUMBING
GARANTEE
JOURNALS MAY BE ISSUED
DATE: 6/12/96 OFFICER: [Signature]

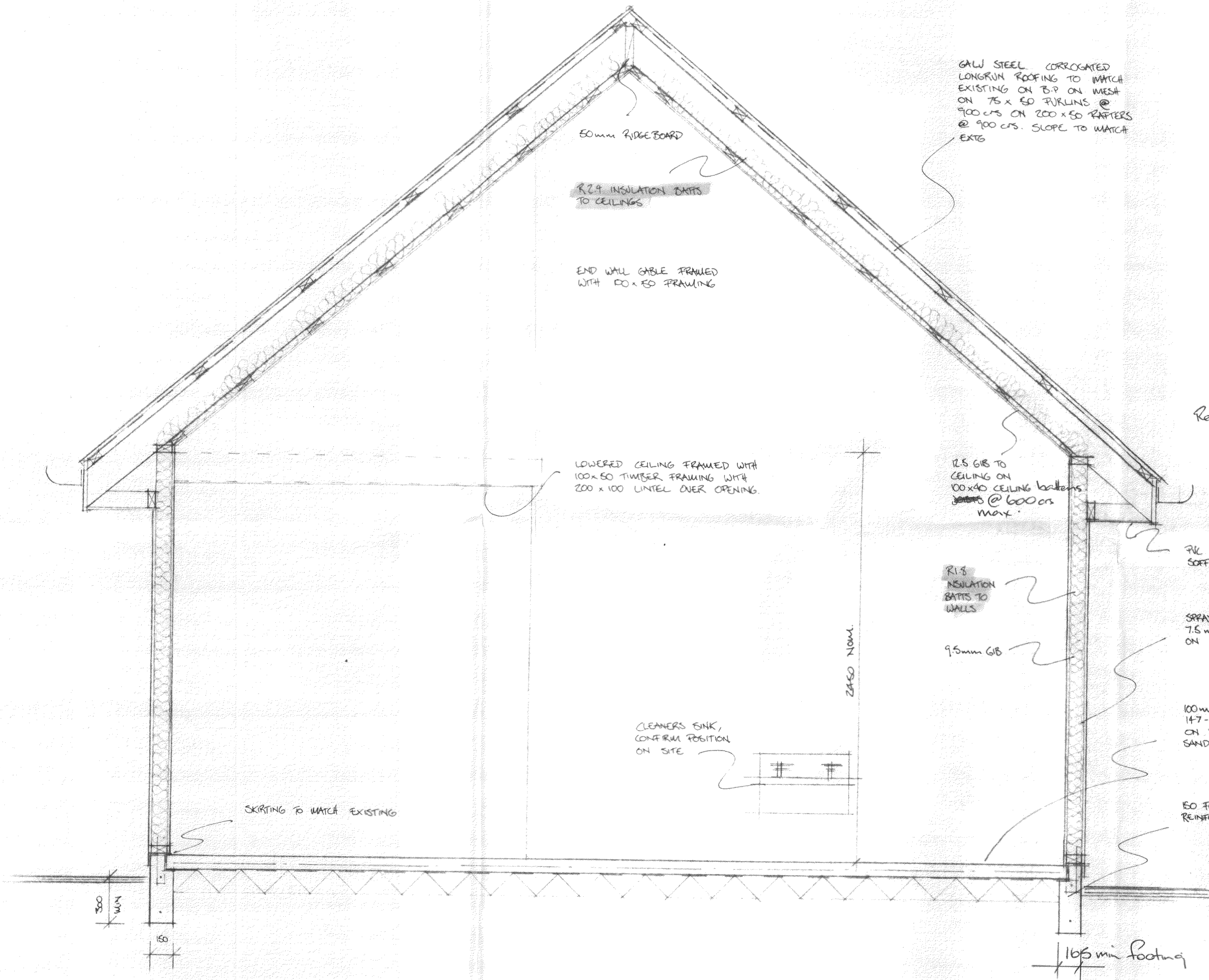
CONCEALED SOIL AND T.V. PIPES ARE NOT
PERMITTED UNLESS BUILT INTO DUCTS OR
MINIMUM 150mm THICK FRAMED WALLS.

It is the responsibility of the owner and
or builder to ensure that proposed
building levels are compatible with
existing sewer connection levels.

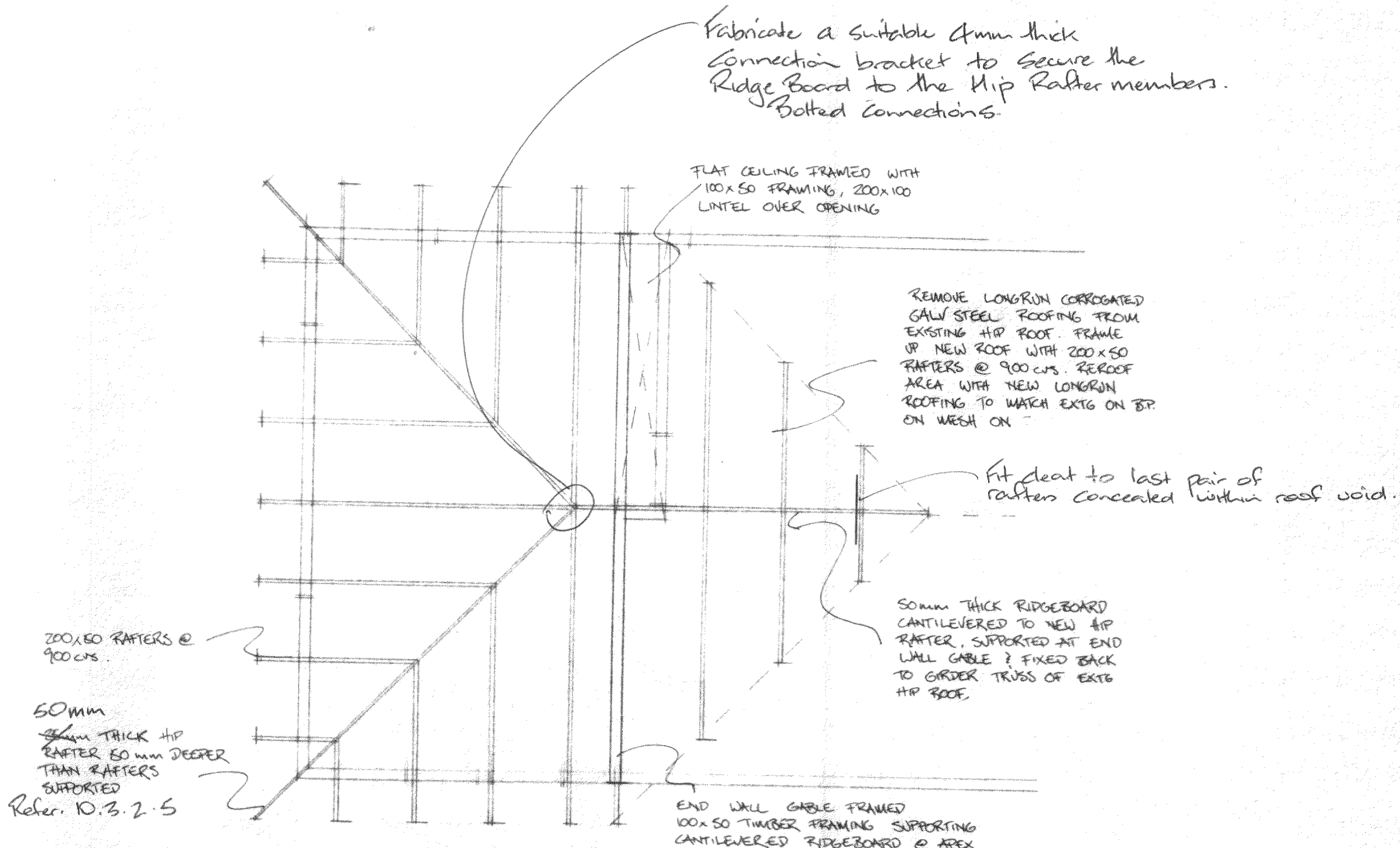


KAYE RESIDENCE • 51 NGARARA RD
WAIKANAE
• REID ASSOCIATES
ARCHITECTS

HIGH WIND ZONE
 2 - 'Z' Nails to Truss/Rafter and External
 Wall Top Plates (Light Roof)
 Standard Framing to NZS 3604
 Stud Tables
 Fixings in accordance with Nailing
 Schedule



SECTION 1:20



ROOF FRAMING PLAN 1:50

7/8" STUDTING, FASCIA & HANDIES SOFFIT TO MATCH EXIST

SPRAYED TEXTURED FINISH ON 7.5mm HARDITEX ON B.P. ON 100x50 TIMBER FRAMING

100mm CONCRETE SLAB WITH 147-D ECONOMY WESA REINFORCING ON DPM ON 150 COMPACTED SAND.

50 FOOTING WITH 2x12 REINFORCING REBS

BOTTOM PLATE FIXINGS
 10 Ø Max 900 mm crs.
 12 Ø Max 1.400m crs.
 Approved Anchors (fixed to manufacturers instructions) 'Remset' Dynabolt 'PLUS' only.

Revisions		
No.	Description	Date

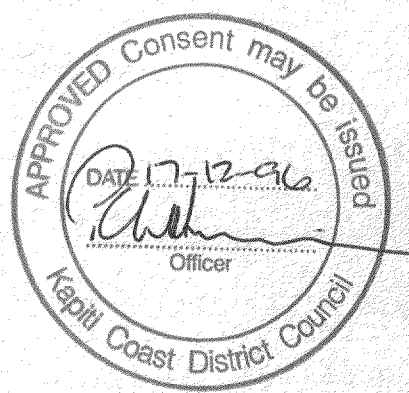
Project
NEW STUDIO
 51 NGARARA ST
 WAIKANAE

Client
MR & MRS HEATH

Drawing
 SECTION
 ROOF FRAMING PLAN

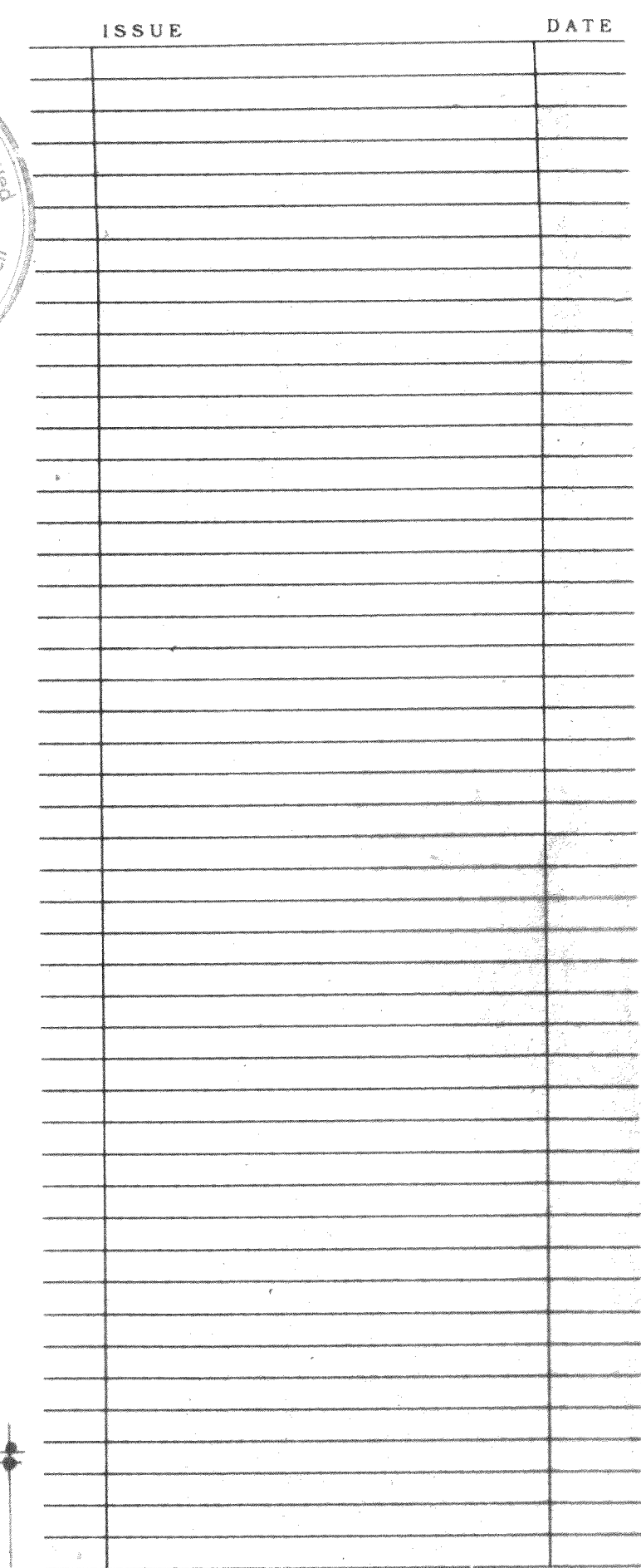
Drawn	MR	Date	20/11/96
Checked		Date	
Job No	5496	Sup. No	2

REID ASSOCIATES ARCHITECTS
 P.O. Box 155 Waihanau
 Phone / Fax 10412893246





NOTE - Given a FILE CLADDING TO BE
MAILED ACCORDING TO MANUFACTURERS DETAILS
TO ACQUIRE SHEET BRACING ELEMENT WHERE MARKED
AFTER BRACING TYPE NO. R.
Bottom Plate Fixings to Comply with.
N153606 Fix 67.



REVISIONS	DATE
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LEVEL 2 • 11 NGAIO RD.
PO BOX 155 • WAIKANAE
PHONE (058) 33-246

PROJECT

NEW HOUSE AT
51 NGARARA RD
WAIKANA E

CLIENT

LIZ & GERRY
KAYE

DRAWING

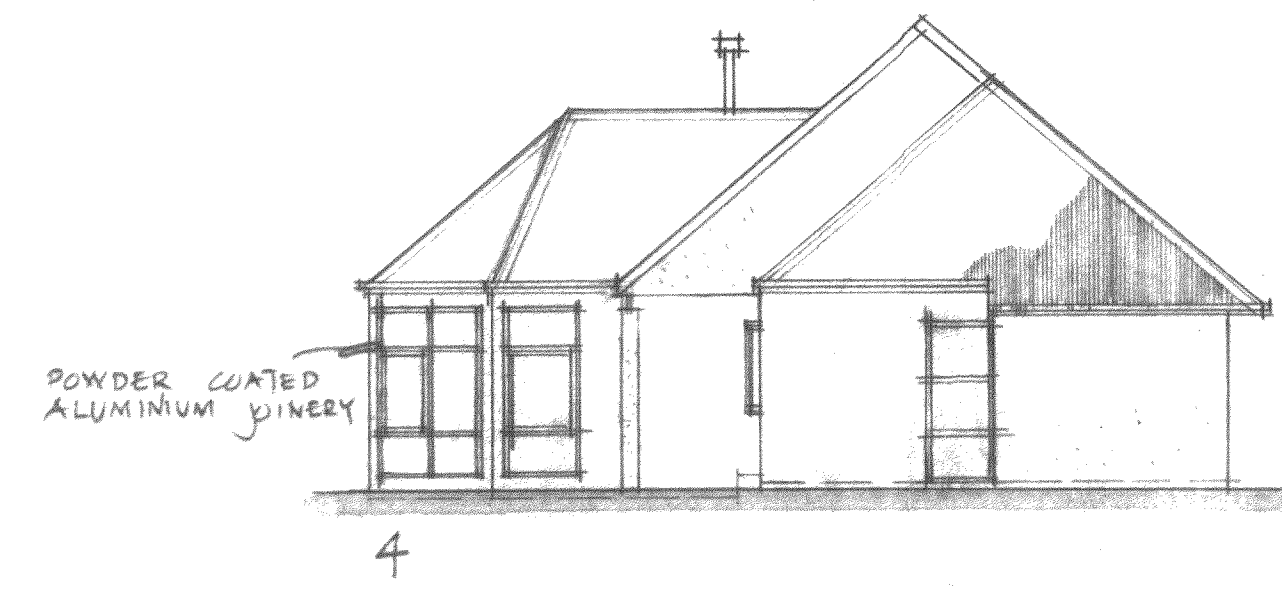
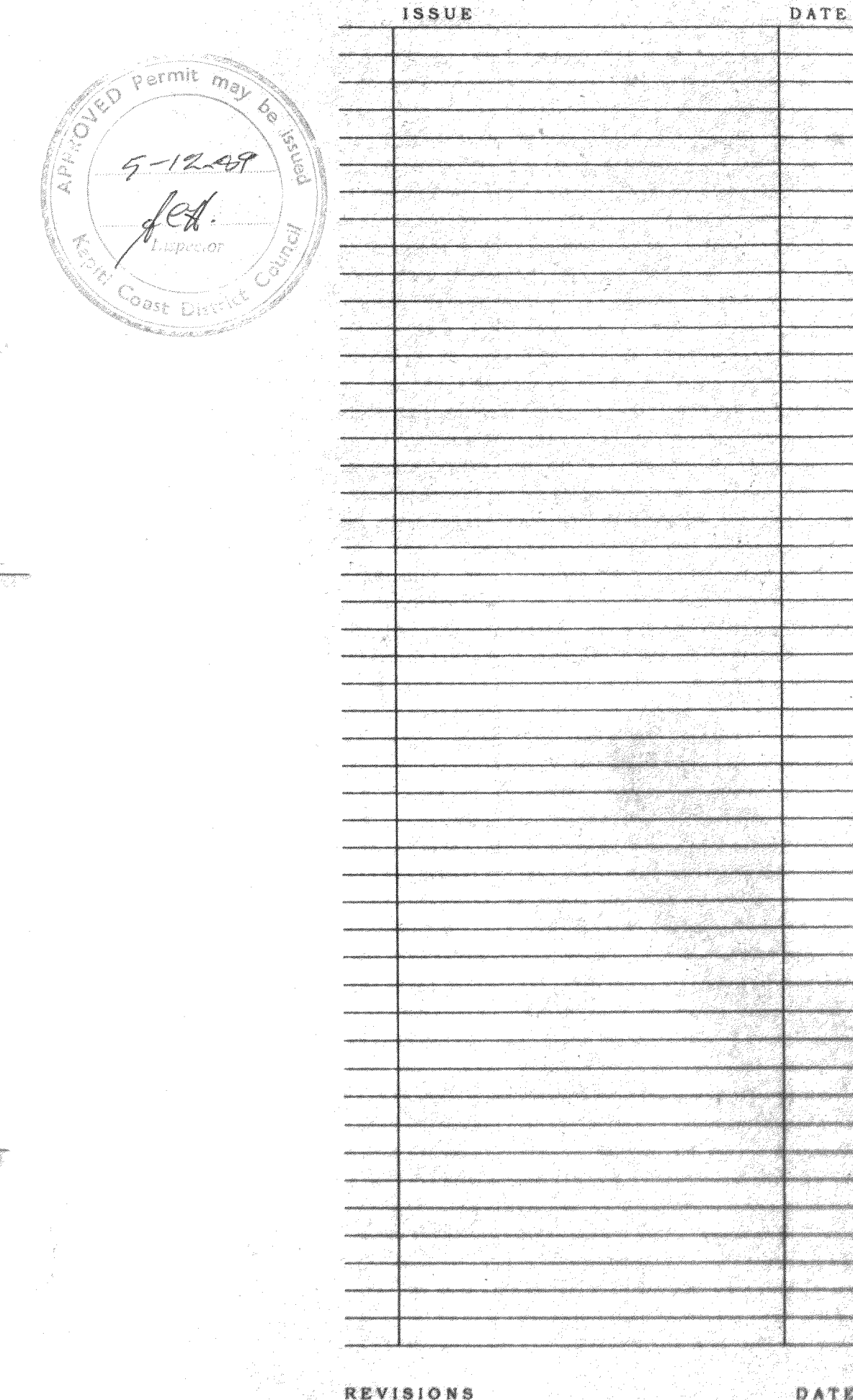
ALUMINIUM DOOR & WINDOW SCHEDULE
FLOOR PLAN

SCALES

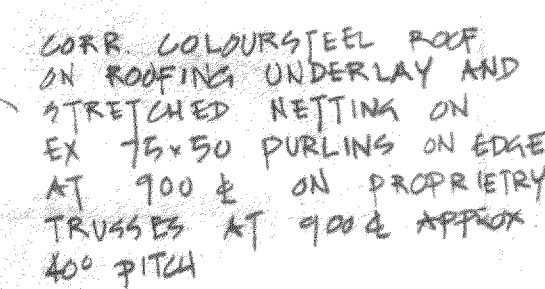
1-100

DRAWN	DATE
PETER	NOV '89
CHECKED	DATE

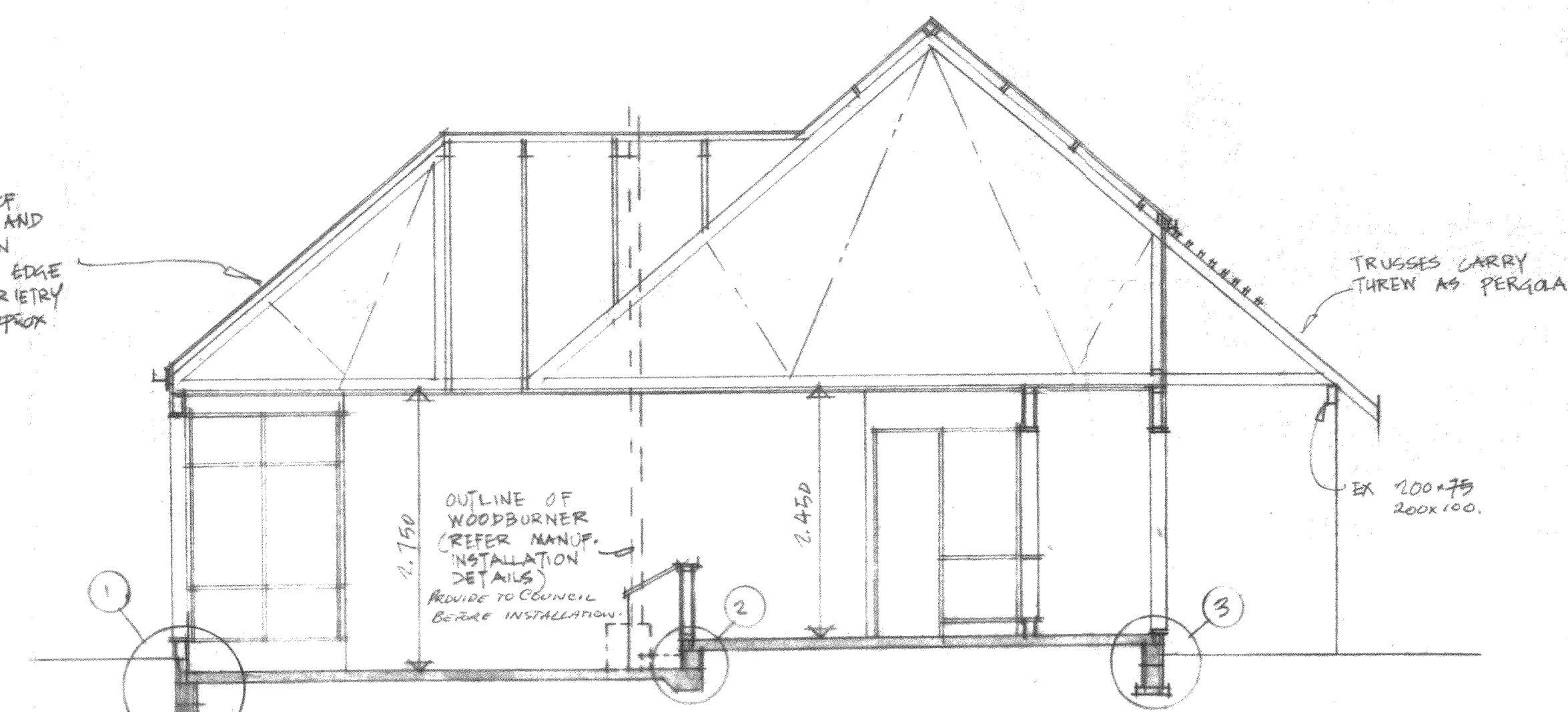
PROJECT	DRAWING No	REVISION
8944	W 2	



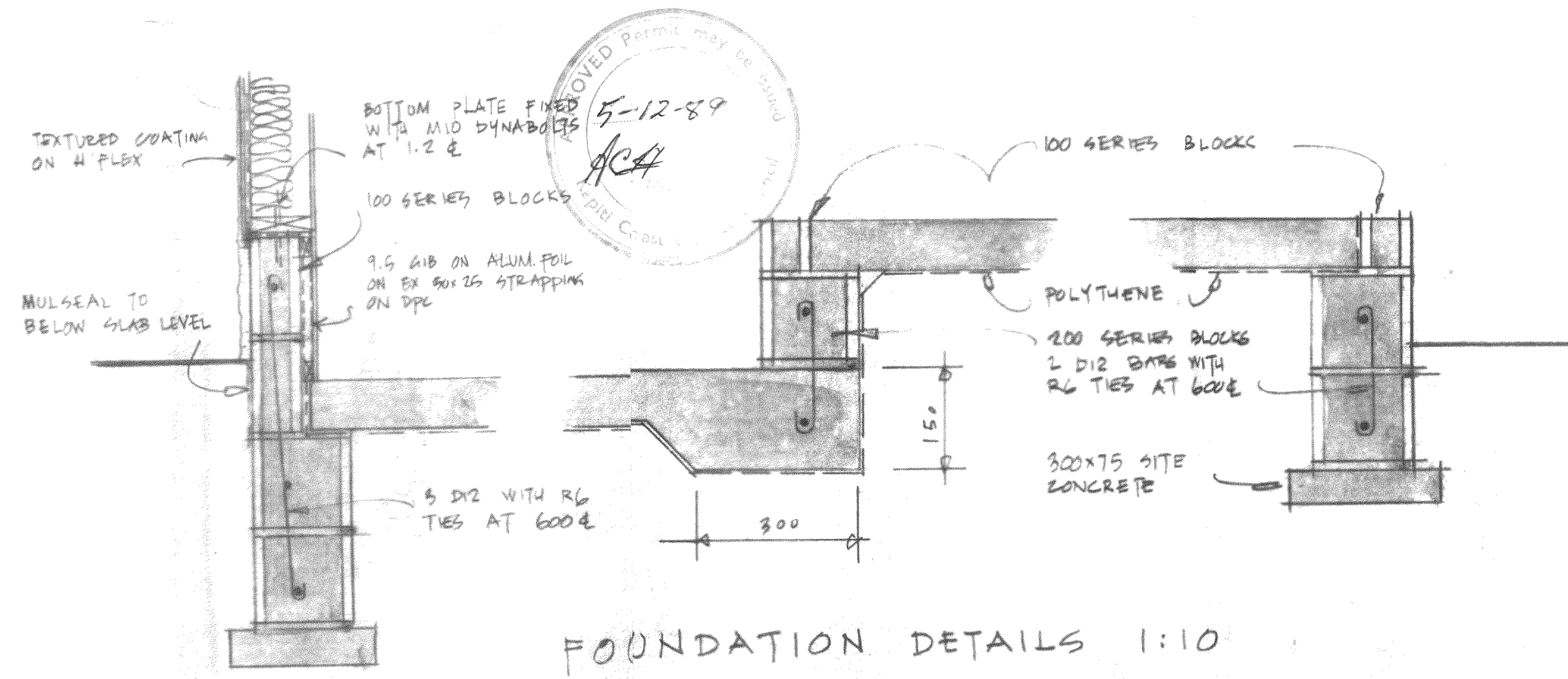
ELEVATIONS 1:100



SECTION C-6 1:50



SECTION B.B 1-50



SECTION A-A 1:50

FOUNDATION DETAILS 1:10



REID ASSOCIATES
ARCHITECTS

LEVEL 2 • 11 NGAIO RD.
PO BOX 155 • WAIKANAÉ
PHONE (058) 33-246

PROJECT

NEW HOUSE AT
51 NGARARA RD
WAIKANAE

CLIENT

LIZ & GERRY
KAYE

DRAWING

ELEVATIONS
SECTIONS
DETAILS

SCALES 1:100, 1:50, 1:10

DRAWN PETER DATE NOV '89

PROJECT	DRAWING No	REVISION
8944	W3	