

# Sharalyn Fraser *Agency*

Statement of passing over information – This information has been supplied by the Vendor or the vendor's agents. Accordingly, Sharalyn Fraser Agency (Ownly Limited licensed (REA 2008) is merely passing over the information as supplied to us by the vendor or vendors agents.

We cannot guarantee its accuracy and reliability as we have not checked, audited, or reviewed the information and all intended purchasers are advised to conduct their own due diligence investigation into the same. To the maximum extent permitted by law Sharalyn Fraser Agency (Ownly Limited licensed (REA 2008) does not accept any responsibility to any person for the accuracy of the information herein



# Code Compliance Certificate

Section 95, Building Act 2004

## The Owner

|                                                   |                  |          |
|---------------------------------------------------|------------------|----------|
| Bradley Hayden James & Bradley Kirsty Marie Moore | No.              | 080035   |
| c/- 118 Rimu Road                                 | Issue date       | 5/08/08  |
| Paraparaumu 5032                                  | Application date | 17/01/08 |

## The Building

|                   |                                        |
|-------------------|----------------------------------------|
| Street Address    | 131 King Arthur Drive, Paraparaumu     |
| Valuation No.     | 1526036105                             |
| Legal Description | LOT 5 DP 369877 C/T 283489             |
| Intended Use      | Residential                            |
| Intended Life     | Indefinite, but not less than 50 years |
| Current Use       | Vacant Land                            |
| Proposal          | New Dwelling                           |
| Estimated Value   | \$449,000                              |

## Code Compliance

The building consent authority named below is satisfied, on reasonable grounds, that –

- The building work complies with the building consent; and
- The property owner must follow and carry out the manufacturers prescribed maintenance procedures.

Signed for and on behalf of the Kapiti Coast District Council:

Signature:

Date:

06 AUG 2008

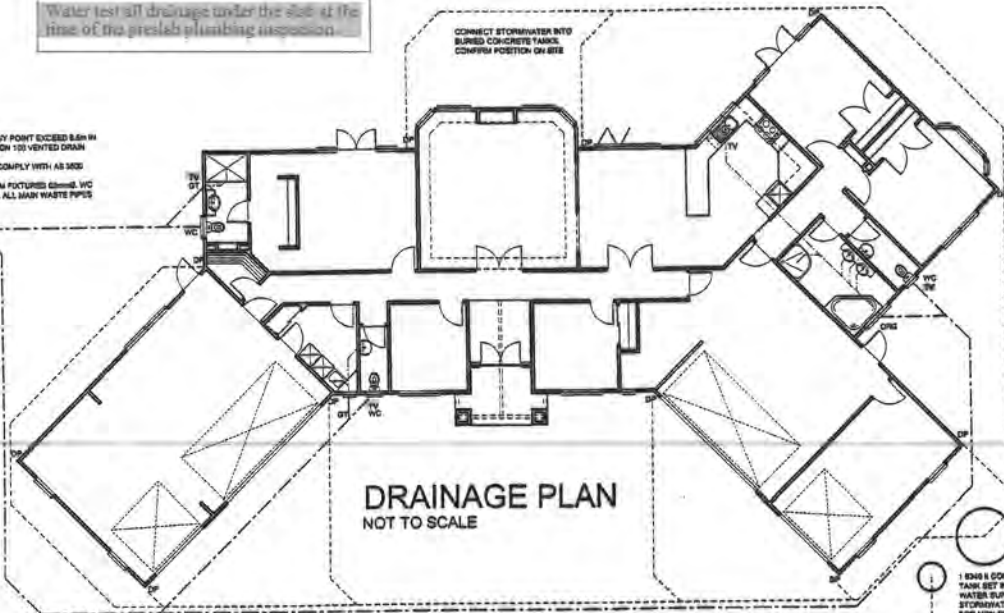
28/02/2008

**MINIMUM SIZE DRAIN 65MM**  
**SWEPT "Y" JUNCTIONS TO BE USED.**

Water test all drainage under the slab at the time of the prelab plumbing inspection

**NOTE:**

NO PIPES AT ANY POINT EXCEED 8.5m IN LENGTH FROM DN 100 VENTED DRAIN  
 ALL WORK TO COMPLY WITH AS 1925  
 ALL PIPES FROM FACTURED 65mm V.C PIPES 100mm. ALL MAN WASTE PIPES 100mm



CONNECT SEWAGE INTO SEPTIC TANK SYSTEM DESIGNED BY OTHERS. CONFIRM POSITION ON SITE

refer also previous approved plan

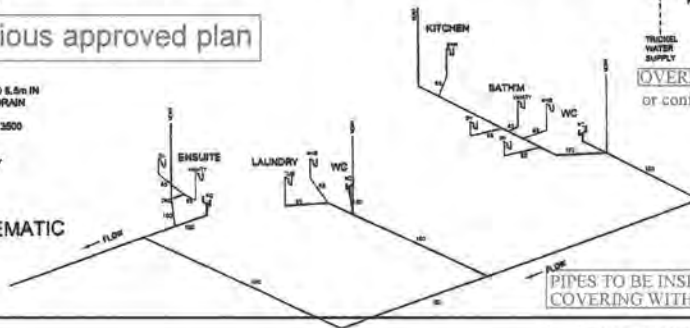
**NOTE:**

NO PIPES AT ANY POINT EXCEED 8.5m IN LENGTH FROM DN 100 VENTED DRAIN  
 ALL WORK TO COMPLY WITH AS 3500

150mm UPVC WASTE PIPES TO CONNECT TO LOCAL AUTHORITY SEWER MAIN. POSITION TO BE CONFIRMED ON SITE

**DRAINAGE SCHEMATIC**

NOT TO SCALE  
 MIN GRADIENT OF COMMON DRAIN 1:80



Revised:  
 OCTOBER 07 rev A  
 DECEMBER 07 rev B  
 DECEMBER 07 rev C

**APPROVED**  
 BY P & D  
 Simon Copp  
 Officer  
 30/1/2008

Project  
**NEW DWELLING**

LOT 5 KING ARTHUR DR OTASANGA

Client  
 BRADLEY

Showing This  
**DRAINAGE PLAN**

Designed:

**COASTAL**  
 17 Pines Road  
 Mount Pleasant  
 New South Wales  
 Tel: 02 9411 0000  
 e-mail: 1800coastal@coastal.net.au

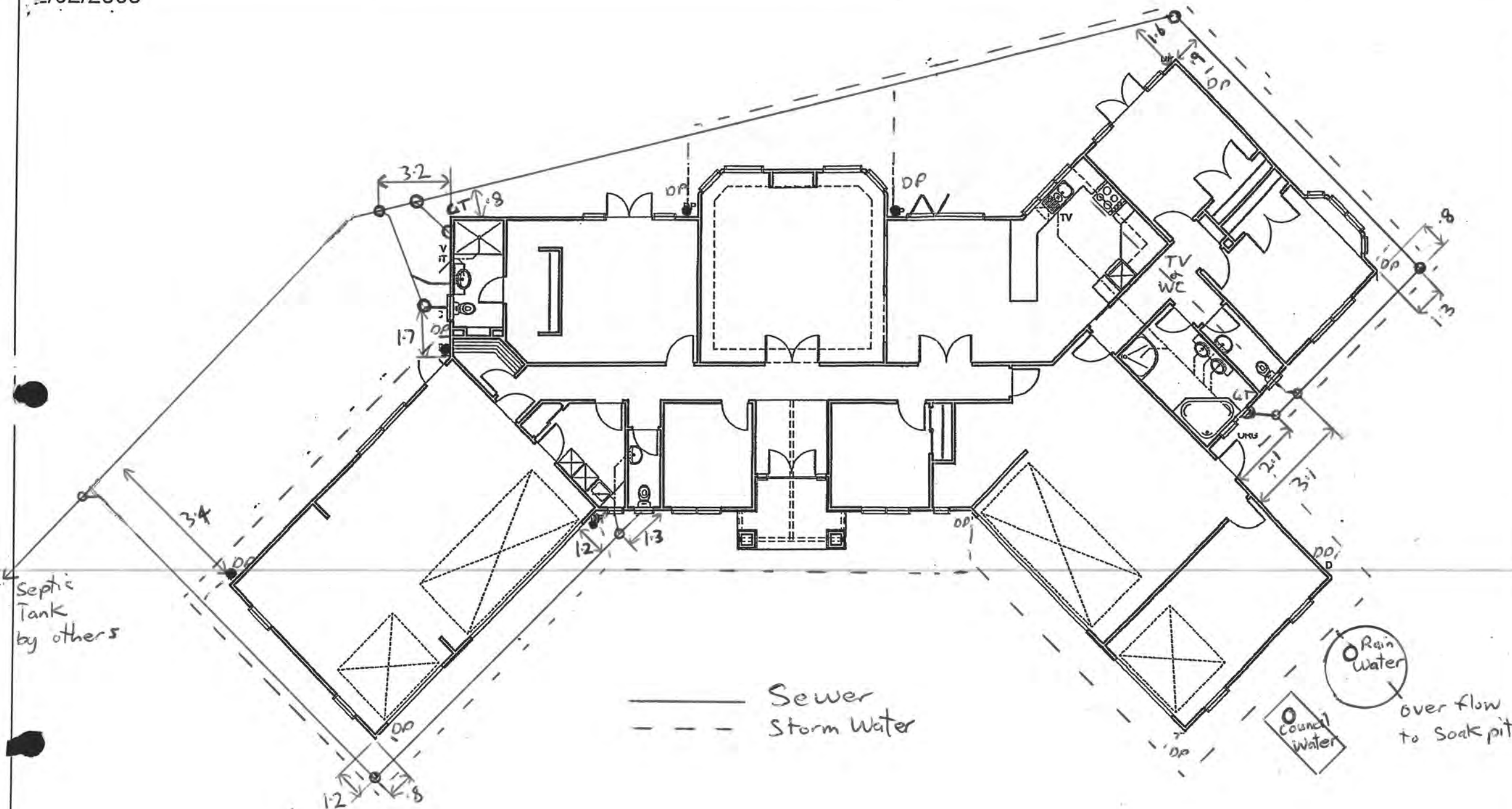
Drawn: 808 Francis  
 Checked: 808 Francis  
 Date: 28/02/08

Job: 006  
 Page of: 2/15  
 Rev: C

C.J. Gardner

This document must be used in accordance with the AS 1925/3500. It is not to be used for any other purpose. All work must be done in accordance with the AS 1925/3500. It is not to be used for any other purpose. All work must be done in accordance with the AS 1925/3500. It is not to be used for any other purpose.

2/02/2008



Revisions:  
OCTOBER 07 rev A  
DECEMBER 07 rev B  
DECEMBER 07 rev C

Project:  
NEW  
DWELLING

LOT 5 KING ARTHUR DR  
OTAIHANGA

Client:  
BRADLEY

Drawing Title:  
DRAINAGE PLAN

Designer:  
**COASTAL**  
ARCHITECTURE LTD.  
17 Fincham Road  
Raumati Beach  
New Zealand  
Tel: 04 905 0958  
e-mail: billfrancis@paradise.net.nz

Design:  
Bill Francis  
Drawn:  
bf  
Scale:  
as shown

Job: 006  
Page of: 2/15  
Rev: C

Please show under slab drainage, stormwater  
, sewer and watermain and toby location on the asbuilt plan  
provided to Council.

**C.J. Gardner** THOMAS

New Zealand's leading landscape architects

All work shall be in accordance with the NZBC, if in doubt ASK  
The Contractor must verify all dimensions on the job before commencing any work or shop drawings. Figured dimensions are to be used, scaled dimensions must be verified.  
This drawing and content are copyright of Coastal Architecture Ltd. The recipient of this document is prohibited from disclosing its content for any purpose without the prior written consent of Coastal Architecture Ltd

## Producer Statement

### Private Sewer Drains

#### Construction Review

Issued by Kapiti Plumbing Registration Number 12724

To Kapiti Coast District Council

In respect to the following

Private Sewer Drains installed in accordance with G13 AS2 or AS/NZS 3500 .2.2 as shown on the approved plans or as per the attached amended plan

Installed at 131 King Arthur Drive, Otaihanga

Building Consent No. 080035

As a registered drainlayer, currently holding an annual practicing license, certify that I, or personnel under my control, have carried out the installation of the above system and I believe on reasonable grounds that the installation complies with the New Zealand Building Code.

Name Mark Scate Signature [Signature] Date 24.7.08

*Note: Fully dimensioned as built drain plan to be supplied. (scale 1:100)*

*Drains may be laid and backfilled without inspection provided that the drain is left under test with a min of 1.0 m head and the inspection at the lateral left exposed.*

KCDC Office use only

Producer Statement author authenticated and current registration verified

Verification & Registration checked: <https://www2.pgdb.co.nz/PGDB/PublicRegister>

Date 6/8/08

Name M. Brook

Signature [Signature]

**Producer Statement**  
**Piped Services**  
**&**  
**Sanitary Plumbing Stacks**

**Construction Review**

Issued by Kapiti Plumbing Registration Number 12727

To Kapiti Coast District Council

In respect to the following

Piped Services installed in accordance with G12/AS1 as shown on the approved plans or as per the attached amended plan and Sanitary Plumbing Stacks installed in accordance with G13/AS1 or AS/NZS 3500.2.2

Installed at 131 King Arthur Drive, Otahanga

Building Consent No. 080035

As a Craftsman plumber, currently holding an annual practicing license, certify that I, or personnel under my control, have carried out the installation of the above system and I believe on reasonable grounds that the installation complies with the New Zealand Building Code. Both hot and cold systems have been pressure tested for a period of 15 minutes at a pressure of 1500 kPa.

Name Mark Scarfe Signed M Scarfe Date 24.7.08

**KCDC Office use only**

Producer Statement author authenticated and current registration verified

Verification & Registration checked: <https://www2.pgdb.co.nz/PGDB/PublicRegister>

Date 6/8/08

Name Russell Brook

Signature R Brook

## Producer Statement

### Stormwater Drains

#### Construction Review

Issued by Kapiti Plumbing Registration Number 12724

To Kapiti Coast District Council

In respect to the following

Stormwater Drains installed in accordance with E1 AS1 as shown on the approved plans or as per the attached amended plan

Installed at 131 King Arthur Drive, Otaihangā

Building Consent No 080035

As a registered drainlayer, currently holding an annual practicing license, certify that I, or personnel under my control, have carried out the installation of the above system and I believe on reasonable grounds that the installation complies with the New Zealand Building Code.

Name Mark Scarfe Signed MS Scarfe Date 24.7.08

*Note: Fully dimensioned as built drain plan to be supplied. (scale 1:100)*

---

KCDC Office use only

---

Producer Statement author authenticated and current registration verified

Verification & Registration checked: <https://www2.pgdb.co.nz/PGDB/PublicRegister>

Date 6/8/08

Name Russell Brook

Signature RB

..... (full name)  
PLEASE PRINT

|                               |                                            |
|-------------------------------|--------------------------------------------|
| BUILDING CONSENT NO<br>080035 | PLUMBERS PRODUCER STATEMENT TO BE PROVIDED |
| Date Issued                   | Connection Recorded                        |

## SCOPE OF INSPECTION SHEET

Date 29-7-2008 SR or BCA 080035 Inspection No. 11

Time 3.30 Documents on site YES / NO

Owner Name BRADLEY Project Description New Dwelling

Site Address 31 KING HARTMAN DRIVE

☒ Building ☐ Plumbing

Circle appropriate Type & Inspection Other .....

Site Found Piles PreSlab Subfloor Drainage PreWrap PreClad Weathertight PreLine PostLine Block Brick Ret.Wall ☒ Final

Engineer Supervision Yes No n/a - Name .....

Diagram (if necessary)

Notes .....

*ALL WORK COMPLETED  
AS PER PLANS.  
ALL CERTIFICATES SUPPLIED  
FINAL O/K.*

Photo's Taken - Nos. .... saved / scanned? Y / N

Site instruction issued .....

Result: ☒ Pass ☐ Part pass ☐ Fail

Confirmation of inspection by person on site

Person on site: Builder ☒ Owner ☐ Other ☐ No One on site ☐

Your next inspection will be .....  
(Guidance notes for inspection on the rear of this sheet)

Agreed, Bill Solomon Sign [Signature] Date 29.7.2008  
(Print Name)

Officer Name R. JOZADER Sign [Signature] Date 29.7.2008

Additional Insp. Sheet No. ....

Information entered into data base ☐ Initial ..... Date 1/1/

## SCOPE OF INSPECTION

Inspections are made in conjunction with, and with the cooperation of, the owner/owner's agent to ensure that the building work complies with the provisions of the Building Act and NZ Building Code. The inspection is general in nature and involves an audit of the following aspects:

**Engineer – Civil/Structural/Fire/Geotechnical:** An engineer has been engaged to carry out inspections on behalf of the owner. Please ensure those inspections are carried out. A Certificate of Expert Opinion is required to be supplied to Council.

**Site:** A surveyor's report, or visible boundary markers provided, so that the set out of the project can be clearly identified.

**Foundation:** When all formwork has been completed, footings have been excavated and reinforcement is in place.

**Piles:** When all holes are excavated prior to installation.

**Pre-slab plumbing (concrete slab):** When all plumbing and drainage pipes have been installed, prior to backfilling.

**Pre-slab building (concrete slab):** When DPM has been placed with all laps and penetrations sealed, reinforcing in place and in position with chairs as appropriate.

**Sub-floor (timber suspended floor):** When all sub-floor connections, joists and required blocking, and any suspended plumbing pipe work have been completed, but before any flooring or base boards have been fitted. Relocated dwellings require a sub-floor inspection prior to the base boards being fitted.

**Drainage:** When all drainage works is completed and is under test, before backfilling occurs. As laid drainage plan is required at time of inspection.

**Pre-wrap:** When all roof and wall framing is complete, including any exterior sheet bracing, but before building wrap has been installed.

**Pre-clad:** When building wrap and window and door flexible flashing tape has been installed, cavity battens (cavity systems), cavity closers and all flashing systems are in place, but before joinery has been installed.

**Weathertightness:** When exterior cladding has been installed, flashings in place, air seals fitted to openings, but before any coating system have been applied.

**Pre-line (plumbing):** When all internal plumbing is complete and plumbing pipe work is under test pressure.

**Pre-line (building):** When the exterior of the building is weather tight, all structural components (including bracing) have been completed and wall insulation is in place.

**Wet area membranes, decks, roofs and shower area:** Pre application of wet area membrane, when all outlets and flashings have been installed, ready for membrane installation.

Post application of wet area membrane.

**Post-line:** When all interior linings have been installed, but before skirting, Scotia or plastering stopping. Installation details of screws check of wall bracing element.

**Block:** When all masonry block work including block foundations for slab floors, is completed, reinforcing in place and washout openings in place.

**Brick Veneer:** When veneer is at half height and all flashings are in place.

**Retaining wall:** Pre application of waterproof membrane system.

Post application of waterproof membrane system.

Protection installed for membrane system and installation of perforated drainage system before back filling.

**Final:** Final inspections are carried out at the completion of the project and may include entire project, plumbing, drainage and storm water. The Code Compliance Certificate is issued if the building work complies with the approved building consent.

**Free Standing Fireplace:** Final inspection required only.

**In Built Fireplace:** Inspection required before installation and after installation.

## PRIVACY STATEMENT

1. The information contained on the Building Inspection Report Sheet is held by the Kapiti Coast District Council, whose address is Private Bag 601, Paraparaumu.
2. The information is available for public inspection as part of the Building Record of the property concerned.
3. You have the right under the Privacy Act 1993 to obtain access to, and to request correction of any personal information held by Council concerning you.

Council has a Privacy Officer. If you have any concerns regarding privacy issues please telephone (04) 296 4700

## FINAL INSPECTION

Date 29-7-2008 SR or BCA 080035 Inspection No. 11

Time 3.30 Documents on site YES / NO

Owner Name BRADLEY Project Description New Dwelling

Site Address 131 KING HARTMAN DRIVE

All inspections are carried out with strict reference to the building consent granted.

**P = Pass F = Fail NA = Non-Applicable**

Inspection decisions are based on the extent of work inspected at the time of inspection.

Please refer to the related scope sheet for definition of the inspections extent.

### Applicable to all inspections

| Sighted previous inspection notes | Y | N | NA | Conforms with approved drawings | Y | N | NA | Confirm Additional information/amended plan | Y | N | NA |
|-----------------------------------|---|---|----|---------------------------------|---|---|----|---------------------------------------------|---|---|----|
| <b>FINAL – Exterior</b>           |   |   |    |                                 |   |   |    |                                             |   |   |    |
| Sub-floor ventilation             | P | F | NA | Roof fixings                    | P | F | NA | Spouting + Down-pipes                       | P | F | NA |
| Deck Structure                    | P | F | NA | Flashings – Roof                | P | F | NA | Penetrations – Flashings                    | P | F | NA |
| Barriers                          | P | F | NA | Gully Dishes                    | P | F | NA | Storm-water + site drainage                 | P | F | NA |
| Handrails                         | P | F | NA | Wastes to gully                 | P | F | NA | Fixings – Durability                        | P | F | NA |
| Steps/Stairs                      | P | F | NA | Terminal vents/AAV's            | P | F | NA | Cladding painted/sealed                     | P | F | NA |
| Flashings – Windows/Doors         | P | F | NA | Cladding Ground Clearance       | P | F | NA |                                             | P | F | NA |

### FINAL – Interior

|                              |   |   |    |                          |   |   |    |                          |   |   |    |
|------------------------------|---|---|----|--------------------------|---|---|----|--------------------------|---|---|----|
| Service areas – floors/walls | P | F | NA | Food storage/preparation | P | F | NA | Hot water temp <u>55</u> | P | F | NA |
| Stair design                 | P | F | NA | Ventilation              | P | F | NA | Solid fuel heater        | P | F | NA |
| Handrails                    | P | F | NA | Insulation + clearance   | P | F | NA | Water supply tank        | P | F | NA |
| Balustrades                  | P | F | NA | HWC flues                | P | F | NA | Trap seals + AAV's       | P | F | NA |
| Lightings                    | P | F | NA | HWC valves               | P | F | NA | Cistern flushing         | P | F | NA |
| Laundrying                   | P | F | NA | HWC restraint            | P | F | NA | WC pan connection        | P | F | NA |
| Cooking facilities           | P | F | NA | Tempering valve          | P | F | NA | Septic tank              | P | F | NA |
| Smoke detectors              | P | F | NA | Glazing – Human Impact   | P | F | NA | Window labels            | P | F | NA |

### FINAL – Intertency/Commercial

|                           |   |   |    |                                                   |   |   |    |                |   |   |    |
|---------------------------|---|---|----|---------------------------------------------------|---|---|----|----------------|---|---|----|
| Fire/Life systems sighted | P | F | NA | Guarantees/Warranties/Certificates/Expert Opinion | P | F | NA | Intertency STC | P | F | NA |
|---------------------------|---|---|----|---------------------------------------------------|---|---|----|----------------|---|---|----|

### All Inspections

|                        |   |   |    |                              |   |   |    |                      |   |   |  |
|------------------------|---|---|----|------------------------------|---|---|----|----------------------|---|---|--|
| Road Crossing Complete | P | F | NA | Energy Certificates supplied | P | F | NA | Final Check Complete | Y | N |  |
|------------------------|---|---|----|------------------------------|---|---|----|----------------------|---|---|--|

Name: R Jorwer Officer Sign: RJA Date: 29.7.2008

# SCOPE OF INSPECTION SHEET

Date 21/5/2008 SR or BCA 080035 Inspection No. 10  
Time 1:20 pm Documents on site YES / NO  
Owner Name BRADLEY Project Description New Dwelling  
Site Address 131 KING ARTHUR DRIVE

☒ Building ☐ Plumbing

Circle appropriate Type & Inspection Other .....

Site Found Piles PreSlab Subfloor Drainage PreWrap PreClad Weathertight PreLine ☒ PostLine Block Brick Ret.Wall Final

Engineer Supervision Yes No n/a - Name .....

Diagram (if necessary)

Notes .....

BRACE Q1 - Boulder Comploting  
BRACE Q3, Q2H111 OK

Photo's Taken - Nos. .... saved / scanned? Y / N

Site instruction issued .....

Result: ☒ Pass ☐ Part pass ☐ Fail

Confirmation of inspection by person on site

Person on site: Builder ☒ Owner ☐ Other ☐ No One on site ☐

Your next inspection will be FINAL  
(Guidance notes for inspection on the rear of this sheet)

Agreed, [Signature] Sign [Signature] Date 21.5.2008  
(Print Name)

Officer sign [Signature] Name [Signature] Date 21.5.2008

Additional Insp. Sheet No. ....

Information entered into data base ☒ Initial [Signature] Date 21.5.2008

## WEATHERTIGHTNESS / PRELINE / POSTLINE

Date 21/5/2008 SR or BCA 080035 Inspection No. 10

Time 1:20 PM Documents on site YES / NO

Owner Name BRADLEY Project Description New Dwelling

Site Address 131 KING ARTHUR DRIVE

All inspections are carried out with strict reference to the building consent granted.

**P = Pass F = Fail NA = Non-Applicable**

Inspection decisions are based on the extent of work inspected at the time of inspection.

Please refer to the related scope sheet for definition of the inspections extent.

### Applies to all inspections

|                                   |   |   |    |                                 |   |   |    |                                             |   |   |    |
|-----------------------------------|---|---|----|---------------------------------|---|---|----|---------------------------------------------|---|---|----|
| Sighted previous inspection notes | Y | N | NA | Conforms with approved drawings | Y | N | NA | Confirm Additional information/amended plan | Y | N | NA |
|-----------------------------------|---|---|----|---------------------------------|---|---|----|---------------------------------------------|---|---|----|

### WEATHERTIGHTNESS

|                                             |   |   |    |                                          |   |   |    |                                  |   |   |    |
|---------------------------------------------|---|---|----|------------------------------------------|---|---|----|----------------------------------|---|---|----|
| Cladding selection complies with BC?        | P | F | NA | Roof material complies with BC?          | P | F | NA | Sheets fixed to manufacturers    | P | F | NA |
| Roof fixing complies                        | P | F | NA | Fixings appropriate for durability?      | P | F | NA | Sheet layout                     | P | F | NA |
| Ridge/hip flashings in place                | P | F | NA | Roof/wall junctions flashed              | P | F | NA | Control joints where appropriate | P | F | NA |
| Penetrations correctly flashed              | P | F | NA | Fixings appropriate for bracing elements | P | F | NA | Flashings in place               | P | F | NA |
| Clearance provided for fascia & spouting    | P | F | NA | Ground clearances achieved               | P | F | NA | Clearance off deck surface       | P | F | NA |
| Flashings/wraps in place, parapets/barriers | P | F | NA | Glazing – human impact                   | P | F | NA | Truss/Rafter fixings             | P | F | NA |

### PRELINE

|                            |   |   |    |                          |   |   |    |                        |   |   |    |
|----------------------------|---|---|----|--------------------------|---|---|----|------------------------|---|---|----|
| Max moisture Content ..... | P | F | NA | Insulation R Value ..... | P | F | NA | Bracing connections    | P | F | NA |
| Ventilation to rooms       | P | F | NA | Top plate connection     | P | F | NA | Air seals              | P | F | NA |
| Timber treatment           | P | F | NA | Ceiling batten spacing   | P | F | NA | Bottom plate fixings   | P | F | NA |
| Lintel/beam size & fixing  | P | F | NA | Stud spacing             | P | F | NA |                        | P | F | NA |
| Plumber Name               |   |   |    | TPR line                 | P | F | NA | Waste pipe size & test | P | F | NA |
| Soil pipe size and test    | P | F | NA | Inbuilt S/W pipes tested | P | F | NA | Floor wastes           | P | F | NA |
| Pipes fixed/supported      | P | F | NA | Vents terminated         | P | F | NA | Shut off valves        | P | F | NA |
| System: AS3500, G13, Other | P | F | NA | Pressure Test            | P | F | NA |                        | P | F | NA |

### POSTLINE

|                      |   |   |    |                           |   |   |    |               |   |   |    |
|----------------------|---|---|----|---------------------------|---|---|----|---------------|---|---|----|
| Sheet bracing        | P | F | NA | Wet area substrate system | P | F | NA | Sheet fixings | P | F | NA |
| Penetrations sleeved | P | F | NA |                           | P | F | NA |               | P | F | NA |

Officer Sign: [Signature] Name: R J Oliver Date: 21/5/2008

# SCOPE OF INSPECTION SHEET

Date 18/5/08 SR or BCA 080035 Inspection No. 9

Time ..... Documents on site YES / NO

Owner Name Bradley Project Description New Dwelling

Site Address 131 King Arthur Dr Pram

☒ Building ☐ Plumbing  
Circle appropriate Type & Inspection Other .....

Site Found Piles PreSlab Subfloor Drainage PreWrap PreClad Weathertight PreLine ☒ PostLine Block Brick Ret.Wall Final

Engineer Supervision Yes No n/a - Name .....

Notes All brace sheets fixed  
as required  
with the exception of  
walls noted in site instruction  
Ok to continue

Diagram (if necessary)

Photo's Taken - Nos. .... saved / scanned? Y / N

Site instruction issued  
Walls Q2 & Q3 in garage yet to be  
completed

Result: ☒ Pass ☐ Part pass ☒ Fail

Confirmation of inspection by person on site

Person on site: Builder ☐ Owner ☐ Other ☐ No One on site ☐

Your next inspection will be Recheck on above walls  
(Guidance notes for inspection on the rear of this sheet)

Agreed, Mike Stewart Sign [Signature] Date 1/1/  
(Print Name)

Officer Name Russell Brook Sign [Signature] Date 16/5/08

Additional Insp. Sheet No. ....

## WEATHERTIGHTNESS / PRELINE / POSTLINE

Date: 15/5/08 SR or BCA: 080035 Inspection No. 9

Time: ..... Documents on site YES / NO

Owner Name: Bradley Project Description: New Dwelling

Site Address: 131 King Arthur Dr. Parem

All inspections are carried out with strict reference to the building consent granted.

**P = Pass F = Fail NA = Non-Applicable**

Inspection decisions are based on the extent of work inspected at the time of inspection.

Please refer to the related scope sheet for definition of the inspections extent.

### Applies to all inspections

| Sighted previous inspection notes | Y | N | NA | Conforms with approved drawings | Y | N | NA | Confirm Additional information/amended plan | Y | N | NA |
|-----------------------------------|---|---|----|---------------------------------|---|---|----|---------------------------------------------|---|---|----|
|-----------------------------------|---|---|----|---------------------------------|---|---|----|---------------------------------------------|---|---|----|

### WEATHERTIGHTNESS

|                                             |   |   |    |                                          |   |   |    |                                  |   |   |    |
|---------------------------------------------|---|---|----|------------------------------------------|---|---|----|----------------------------------|---|---|----|
| Cladding selection complies with BC?        | P | F | NA | Roof material complies with BC?          | P | F | NA | Sheets fixed to manufacturers    | P | F | NA |
| Roof fixing complies                        | P | F | NA | Fixings appropriate for durability?      | P | F | NA | Sheet layout                     | P | F | NA |
| Ridge/hip flashings in place                | P | F | NA | Roof/wall junctions flashed              | P | F | NA | Control joints where appropriate | P | F | NA |
| Penetrations correctly flashed              | P | F | NA | Fixings appropriate for bracing elements | P | F | NA | Flashings in place               | P | F | NA |
| Clearance provided for fascia & spouting    | P | F | NA | Ground clearances achieved               | P | F | NA | Clearance off deck surface       | P | F | NA |
| Flashings/wraps in place, parapets/barriers | P | F | NA | Glazing – human impact                   | P | F | NA | Truss/Rafter fixings             | P | F | NA |

### PRELINE

|                            |   |   |    |                          |   |   |    |                        |   |   |    |
|----------------------------|---|---|----|--------------------------|---|---|----|------------------------|---|---|----|
| Max moisture Content ..... | P | F | NA | Insulation R Value ..... | P | F | NA | Bracing connections    | P | F | NA |
| Ventilation to rooms       | P | F | NA | Top plate connection     | P | F | NA | Air seals              | P | F | NA |
| Timber treatment           | P | F | NA | Ceiling batten spacing   | P | F | NA | Bottom plate fixings   | P | F | NA |
| Lintel/beam size & fixing  | P | F | NA | Stud spacing             | P | F | NA |                        | P | F | NA |
| Plumber Name               |   |   |    | TPR line                 | P | F | NA | Waste pipe size & test | P | F | NA |
| Soil pipe size and test    | P | F | NA | Inbuilt S/W pipes tested | P | F | NA | Floor wastes           | P | F | NA |
| Pipes fixed/supported      | P | F | NA | Vents terminated         | P | F | NA | Shut off valves        | P | F | NA |
| System: AS3500 G13, Other  | P | F | NA | Pressure Test            | P | F | NA | Fire wraps and collars | P | F | NA |

### POSTLINE

|                      |   |          |    |                           |   |   |           |                          |          |          |    |
|----------------------|---|----------|----|---------------------------|---|---|-----------|--------------------------|----------|----------|----|
| Sheet bracing        | P | <u>F</u> | NA | Wet area substrate system | P | F | <u>NA</u> | Sheet fixings            | <u>P</u> | <u>F</u> | NA |
| Penetrations sleeved | P | F        | NA |                           | P | F | NA        | Fire/Acoustic separation | P        | F        | NA |

Officer Name: Russell Brook Officer Sign: [Signature] Date: 16/5/08

## SCOPE OF INSPECTION SHEET

Date ..... SR or BCA ..... Inspection No. ....

Time ..... Documents on site YES / NO

Owner Name ..... Project Description .....

Site Address .....

**Building Plumbing**

Circle appropriate Type & Inspection Other .....

Site Found Piles PreSlab Subfloor Drainage PreWrap PreClad Weathertight PreLine PostLine Block Brick Ret.Wall Final

Engineer Supervision Yes No n/a – Name .....

Diagram (if necessary)

Notes .....

.....

.....

.....

.....

.....

.....

.....

.....

.....

.....

Photo's Taken – Nos. .... saved / scanned? Y / N

Site instruction issued .....

.....

.....

.....

.....

.....

Result: **Pass** **Part pass** **Fail**

Confirmation of inspection by person on site

Person on site: Builder ☐ Owner ☐ Other ☐ ..... No One on site ☐

Your next inspection will be .....

(Guidance notes for inspection on the rear of this sheet)

Agreed, ..... Sign ..... Date ...../...../.....  
(Print Name)

Officer Name ..... Sign ..... Date ...../...../.....

Additional Insp. Sheet No. ....

Information entered into data base ☐ Initial ..... Date ...../...../.....

# SCOPE OF INSPECTION SHEET

Date 13/5/08 SR or BCA 080035 Inspection No. 8

Time ..... Documents on site YES / NO

Owner Name Bradley Project Description New Dwelling

Site Address 131 King Arthur Dr Paraparaumu

Building Plumbing

Circle appropriate Type & Inspection Other .....

Site Found Piles PreSlab Subfloor Drainage PreWrap PreClad Weathertight PreLine PostLine Block Brick Ret.Wall Final

Engineer Supervision Yes No n/a - Name .....

Notes Recheck of items requiring  
rectification on previous  
inspection of 6/5/08

Diagram (if necessary)

All items have now been  
rectified as required  
Over size holes have had  
brnz approved Miten  
brackets fixed over.

OK to line all walls

Photo's Taken - Nos. .... saved / scanned? Y / N

Site instruction issued .....

Result Pass Part pass Fail

Confirmation of inspection by person on site

Person on site: Builder ☒ Owner ☐ Other ☐ No One on site ☐

Your next inspection will be Post line  
(Guidance notes for inspection on the rear of this sheet)

Agreed, Mike Stewart Sign [Signature] Date 13/5/08  
(Print Name)

Officer Name Russell Brook Sign [Signature] Date 13/5/08

Additional Insp. Sheet No. ....

## WEATHERTIGHTNESS / PRELINE / POSTLINE

Date 13/5/20 SR or BCA 080035 Inspection No. 8

Time ..... Documents on site YES / NO

Owner Name Bradley Project Description New Dwelling

Site Address 131 King Arthur Dr Paraparaumu

All inspections are carried out with strict reference to the building consent granted.

**P = Pass F = Fail NA = Non-Applicable**

Inspection decisions are based on the extent of work inspected at the time of inspection.

Please refer to the related scope sheet for definition of the inspections extent.

### Applies to all inspections

|                                   |   |   |    |                                 |   |   |    |                                             |   |   |    |
|-----------------------------------|---|---|----|---------------------------------|---|---|----|---------------------------------------------|---|---|----|
| Sighted previous inspection notes | Y | N | NA | Conforms with approved drawings | Y | N | NA | Confirm Additional information/amended plan | Y | N | NA |
|-----------------------------------|---|---|----|---------------------------------|---|---|----|---------------------------------------------|---|---|----|

### WEATHERTIGHTNESS

|                                             |   |   |    |                                          |   |   |    |                                  |   |   |    |
|---------------------------------------------|---|---|----|------------------------------------------|---|---|----|----------------------------------|---|---|----|
| Cladding selection complies with BC?        | P | F | NA | Roof material complies with BC?          | P | F | NA | Sheets fixed to manufacturers    | P | F | NA |
| Roof fixing complies                        | P | F | NA | Fixings appropriate for durability?      | P | F | NA | Sheet layout                     | P | F | NA |
| Ridge/hip flashings in place                | P | F | NA | Roof/wall junctions flashed              | P | F | NA | Control joints where appropriate | P | F | NA |
| Penetrations correctly flashed              | P | F | NA | Fixings appropriate for bracing elements | P | F | NA | Flashings in place               | P | F | NA |
| Clearance provided for fascia & spouting    | P | F | NA | Ground clearances achieved               | P | F | NA | Clearance off deck surface       | P | F | NA |
| Flashings/wraps in place, parapets/barriers | P | F | NA | Glazing – human impact                   | P | F | NA | Truss/Rafter fixings             | P | F | NA |

### PRELINE

|                             |   |   |    |                          |   |   |    |                        |   |   |    |
|-----------------------------|---|---|----|--------------------------|---|---|----|------------------------|---|---|----|
| Max moisture Content .....% | P | F | NA | Insulation R Value ..... | P | F | NA | Bracing connections    | P | F | NA |
| Ventilation to rooms        | P | F | NA | Top plate connection     | P | F | NA | Air seals              | P | F | NA |
| Timber treatment            | P | F | NA | Ceiling batten spacing   | P | F | NA | Bottom plate fixings   | P | F | NA |
| Lintel/beam size & fixing   | P | F | NA | Stud spacing             | P | F | NA |                        | P | F | NA |
| Plumber Name                |   |   |    | TPR line                 | P | F | NA | Waste pipe size & test | P | F | NA |
| Soil pipe size and test     | P | F | NA | Inbuilt S/W pipes tested | P | F | NA | Floor wastes           | P | F | NA |
| Pipes fixed/supported       | P | F | NA | Vents terminated         | P | F | NA | Shut off valves        | P | F | NA |
| System: AS3500, G13, Other  | P | F | NA | Pressure Test            | P | F | NA | Fire wraps and collars | P | F | NA |

### POSTLINE

|                      |   |   |    |                           |   |   |    |                          |   |   |    |
|----------------------|---|---|----|---------------------------|---|---|----|--------------------------|---|---|----|
| Sheet bracing        | P | F | NA | Wet area substrate system | P | F | NA | Sheet fixings            | P | F | NA |
| Penetrations sleeved | P | F | NA |                           | P | F | NA | Fire/Acoustic separation | P | F | NA |

Officer Name: ..... Officer Sign: ..... Date: ...../...../.....

# SCOPE OF INSPECTION SHEET

Date 6/5/08 SR or BCA 080035 Inspection No. 7

Time ..... Documents on site YES / NO

Owner Name Bradley Project Description New Dwelling

Site Address 131 King Arthur Dr Paraparaumu

☒ Building ☐ Plumbing

Circle appropriate Type & Inspection Other .....

Site Found Piles PreSlab Subfloor Drainage PreWrap PreClad Weathertight PreLine PostLine Block Brick Ret.Wall Final

Engineer Supervision Yes No n/a - Name .....

Notes \* MSG & Framing Diagram (if necessary)

\* Plumbing and electrical 90% complete

\* Building weather tight enough to line  
\* Polystyrene cladding with Rockcote plaster

\* Polystyrene fixed as per manufacturers requirements

\* Pink wall and ceiling batts in place

\* OK to carry on lining with the exception of the walls noted below

Photo's Taken - Nos. .... saved / scanned? Y / N

Site instruction issued  
Walls N1 to ensuite, Kitchen, wc by garage, and Main bathroom have been damaged by plumbing waste pipes. Studs have over size holes and been cut away.

Result: Pass Part pass ☒ Fail

Confirmation of inspection by person on site

Person on site: Builder ☒ Owner ☐ Other ☐ No One on site ☐

Your next inspection will be Recheck of above walls  
(Guidance notes for inspection on the rear of this sheet)

Agreed, Garren Davis Sign ..... Date 6/5/08  
(Print Name)

Officer sign Russell Brock Name Russell Brock Date 6/5/08

Additional Insp. Sheet No. ....

Information entered into data base ☐ Initial ..... Date 6/5/08

## WEATHERTIGHTNESS / PRELINE / POSTLINE

Date 6/5/08 SR or BCA 080035 Inspection No. 7

Time ..... Documents on site YES / NO

Owner Name Bradley Project Description New Dwelling

Site Address 131 King Arthur Dr Parnaparauna

All inspections are carried out with strict reference to the building consent granted.

**P = Pass F = Fail NA = Non-Applicable**

Inspection decisions are based on the extent of work inspected at the time of inspection.

Please refer to the related scope sheet for definition of the inspections extent.

### Applies to all inspections

| Sighted previous inspection notes | Y | N | NA | Conforms with approved drawings | Y | N | NA | Confirm Additional information/amended plan | Y | N | NA |
|-----------------------------------|---|---|----|---------------------------------|---|---|----|---------------------------------------------|---|---|----|
|-----------------------------------|---|---|----|---------------------------------|---|---|----|---------------------------------------------|---|---|----|

### WEATHERTIGHTNESS

|                                             |          |          |           |                                          |          |          |           |                                  |          |          |           |
|---------------------------------------------|----------|----------|-----------|------------------------------------------|----------|----------|-----------|----------------------------------|----------|----------|-----------|
| Cladding selection complies with BC?        | <u>P</u> | <u>F</u> | <u>NA</u> | Roof material complies with BC?          | <u>P</u> | <u>F</u> | <u>NA</u> | Sheets fixed to manufacturers    | <u>P</u> | <u>F</u> | <u>NA</u> |
| Roof fixing complies                        | <u>P</u> | <u>F</u> | <u>NA</u> | Fixings appropriate for durability?      | <u>P</u> | <u>F</u> | <u>NA</u> | Sheet layout                     | <u>P</u> | <u>F</u> | <u>NA</u> |
| Ridge/hip flashings in place                | <u>P</u> | <u>F</u> | <u>NA</u> | Roof/wall junctions flashed              | <u>P</u> | <u>F</u> | <u>NA</u> | Control joints where appropriate | <u>P</u> | <u>F</u> | <u>NA</u> |
| Penetrations correctly flashed              | <u>P</u> | <u>F</u> | <u>NA</u> | Fixings appropriate for bracing elements | <u>P</u> | <u>F</u> | <u>NA</u> | Flashings in place               | <u>P</u> | <u>F</u> | <u>NA</u> |
| Clearance provided for fascia & spouting    | <u>P</u> | <u>F</u> | <u>NA</u> | Ground clearances achieved               | <u>P</u> | <u>F</u> | <u>NA</u> | Clearance off deck surface       | <u>P</u> | <u>F</u> | <u>NA</u> |
| Flashings/wraps in place, parapets/barriers | <u>P</u> | <u>F</u> | <u>NA</u> | Glazing human impact                     | <u>P</u> | <u>F</u> | <u>NA</u> | Truss/Rafter fixings             | <u>P</u> | <u>F</u> | <u>NA</u> |

### PRELINE

|                                    |          |          |           |                          |          |          |           |                        |          |          |           |
|------------------------------------|----------|----------|-----------|--------------------------|----------|----------|-----------|------------------------|----------|----------|-----------|
| Max moisture Content <u>10-15%</u> | <u>P</u> | <u>F</u> | <u>NA</u> | Insulation R Value       | <u>P</u> | <u>F</u> | <u>NA</u> | Bracing connections    | <u>P</u> | <u>F</u> | <u>NA</u> |
| Ventilation to rooms               | <u>P</u> | <u>F</u> | <u>NA</u> | Top plate connection     | <u>P</u> | <u>F</u> | <u>NA</u> | Air seals              | <u>P</u> | <u>F</u> | <u>NA</u> |
| Timber treatment                   | <u>P</u> | <u>F</u> | <u>NA</u> | Ceiling batten spacing   | <u>P</u> | <u>F</u> | <u>NA</u> | Bottom plate fixings   | <u>P</u> | <u>F</u> | <u>NA</u> |
| Lintel/beam size & fixing          | <u>P</u> | <u>F</u> | <u>NA</u> | Stud spacing             | <u>P</u> | <u>F</u> | <u>NA</u> |                        | <u>P</u> | <u>F</u> | <u>NA</u> |
| Plumber Name                       |          |          |           | TPR line                 | <u>P</u> | <u>F</u> | <u>NA</u> | Waste pipe size & test | <u>P</u> | <u>F</u> | <u>NA</u> |
| Soil pipe size and test            | <u>P</u> | <u>F</u> | <u>NA</u> | Inbuilt S/W pipes tested | <u>P</u> | <u>F</u> | <u>NA</u> | Floor wastes           | <u>P</u> | <u>F</u> | <u>NA</u> |
| Pipes fixed/supported              | <u>P</u> | <u>F</u> | <u>NA</u> | Vents terminated         | <u>P</u> | <u>F</u> | <u>NA</u> | Shut off valves        | <u>P</u> | <u>F</u> | <u>NA</u> |
| System: AS3500, G13, Other         | <u>P</u> | <u>F</u> | <u>NA</u> | Pressure Test            | <u>P</u> | <u>F</u> | <u>NA</u> |                        | <u>P</u> | <u>F</u> | <u>NA</u> |

### POSTLINE

|                      |          |          |           |                           |          |          |           |               |          |          |           |
|----------------------|----------|----------|-----------|---------------------------|----------|----------|-----------|---------------|----------|----------|-----------|
| Sheet bracing        | <u>P</u> | <u>F</u> | <u>NA</u> | Wet area substrate system | <u>P</u> | <u>F</u> | <u>NA</u> | Sheet fixings | <u>P</u> | <u>F</u> | <u>NA</u> |
| Penetrations sleeved | <u>P</u> | <u>F</u> | <u>NA</u> |                           | <u>P</u> | <u>F</u> | <u>NA</u> |               | <u>P</u> | <u>F</u> | <u>NA</u> |

Officer Sign: Russell Brook Name: M Ford Date: 6/5/08

# SCOPE OF INSPECTION SHEET

Date 28/4/2008 SR or BCA 080035 Inspection No. 6

Time 4.00 pm Documents on site YES / NO

Owner Name Bradley Project Description New Dwelling

Site Address 131 King Arthur Drive

Building Plumbing

Circle appropriate Type & Inspection Other .....

Site Found Piles PreSlab Subfloor Drainage PreWrap PreClad Weathertight PreLine PostLine Block Brick Ret.Wall Final

Engineer Supervision Yes No n/a - Name .....

Notes From Living To GARAGE  
Door walls and Garage ceiling  
only.  
Bracing connections in place  
as per consent.  
Ponded ceiling battens used  
Moisture content 16-18%  
to Garage door wall only.  
Ok to live.

Diagram (if necessary)

Photo's Taken - Nos. .... saved / scanned? Y / N

Site instruction issued .....

Result: Pass Part pass Fail

Confirmation of inspection by person on site

Person on site: Builder ☐ Owner ☐ Other ☐ No One on site ☐

Your next inspection will be Final inspection to Dwelling  
(Guidance notes for inspection on the rear of this sheet)

Agreed, W. Stoker Sign W. Stoker Date 28/4/08  
(Print Name)

Officer Name Tony King Sign Tony King Date 28/4/08

Additional Insp. Sheet No. ....

## WEATHERTIGHTNESS / PRELINE / POSTLINE

Date 28/4/2008 SR or BCA 080035 Inspection No. 6

Time 4.00 pm Documents on site YES / NO

Owner Name BRADLEY Project Description New Dwelling

Site Address 131 King Arthur Drive

All inspections are carried out with strict reference to the building consent granted.

**P = Pass F = Fail NA = Non-Applicable**

Inspection decisions are based on the extent of work inspected at the time of inspection.

Please refer to the related scope sheet for definition of the inspections extent.

### Applies to all inspections

|                                   |          |   |    |                                 |          |   |    |                                             |   |   |           |
|-----------------------------------|----------|---|----|---------------------------------|----------|---|----|---------------------------------------------|---|---|-----------|
| Sighted previous inspection notes | <u>Y</u> | N | NA | Conforms with approved drawings | <u>Y</u> | N | NA | Confirm Additional information/amended plan | Y | N | <u>NA</u> |
|-----------------------------------|----------|---|----|---------------------------------|----------|---|----|---------------------------------------------|---|---|-----------|

### WEATHERTIGHTNESS

|                                             |   |   |    |                                          |   |   |    |                                  |   |   |    |
|---------------------------------------------|---|---|----|------------------------------------------|---|---|----|----------------------------------|---|---|----|
| Cladding selection complies with BC?        | P | F | NA | Roof material complies with BC?          | P | F | NA | Sheets fixed to manufacturers    | P | F | NA |
| Roof fixing complies                        | P | F | NA | Fixings appropriate for durability?      | P | F | NA | Sheet layout                     | P | F | NA |
| Ridge/hip flashings in place                | P | F | NA | Roof/wall junctions flashed              | P | F | NA | Control joints where appropriate | P | F | NA |
| Penetrations correctly flashed              | P | F | NA | Fixings appropriate for bracing elements | P | F | NA | Flashings in place               | P | F | NA |
| Clearance provided for fascia & spouting    | P | F | NA | Ground clearances achieved               | P | F | NA | Clearance off deck surface       | P | F | NA |
| Flashings/wraps in place, parapets/barriers | P | F | NA | Glazing – human impact                   | P | F | NA | Truss/Rafter fixings             | P | F | NA |

### PRELINE

|                                     |   |   |    |                          |   |   |    |                        |   |   |    |
|-------------------------------------|---|---|----|--------------------------|---|---|----|------------------------|---|---|----|
| Max moisture Content <u>16.18</u> % | P | F | NA | Insulation R Value       | P | F | NA | Bracing connections    | P | F | NA |
| Ventilation to rooms                | P | F | NA | Top plate connection     | P | F | NA | Air seals              | P | F | NA |
| Timber treatment                    | P | F | NA | Ceiling batten spacing   | P | F | NA | Bottom plate fixings   | P | F | NA |
| Lintel/beam size & fixing           | P | F | NA | Stud spacing             | P | F | NA |                        | P | F | NA |
| Plumber Name                        |   |   |    | TPR line                 | P | F | NA | Waste pipe size & test | P | F | NA |
| Soil pipe size and test             | P | F | NA | Inbuilt S/W pipes tested | P | F | NA | Floor wastes           | P | F | NA |
| Pipes fixed/supported               | P | F | NA | Vents terminated         | P | F | NA | Shut off valves        | P | F | NA |
| System: AS3500, G13, Other          | P | F | NA | Pressure Test            | P | F | NA | Fire wraps and collars | P | F | NA |

### POSTLINE

|                      |   |   |    |                           |   |   |    |                          |   |   |    |
|----------------------|---|---|----|---------------------------|---|---|----|--------------------------|---|---|----|
| Sheet bracing        | P | F | NA | Wet area substrate system | P | F | NA | Sheet fixings            | P | F | NA |
| Penetrations sleeved | P | F | NA |                           | P | F | NA | Fire/Acoustic separation | P | F | NA |

Officer Name: Tony King Officer Sign: [Signature] Date: 28/4/08

## SCOPE OF INSPECTION SHEET

Date 24-4-2008 SR or BCA 080035 Inspection No. 5

Time 9.10 AM Documents on site YES / NO

Owner Name BRADLEY Project Description new Dwelling

Site Address 131 King ARTHUR Drive

☒ Building ☐ Plumbing

Circle appropriate Type & Inspection Other .....

Site Found Piles PreSlab Subfloor Drainage PreWrap ☒ PreClad Weathertight PreLine PostLine Block Brick Ret.Wall Final

Engineer Supervision Yes No n/a - Name .....

Diagram (if necessary)

Notes .....

FIT EXTRA DOW BAND  
TO SUPPORT WRAP AT MAX  
450 c/c's where NO PLY BRACING  
AS DISCUSSED.

FIT VERMIN BOTTOM STRIP  
TO "STONE" CAVITIES.

WRAP WINDOW TAPE + ALL BARS S/K.

Photo's Taken - Nos. .... saved / scanned? Y / N

Site instruction issued .....

Result: ☒ Pass ☐ Part pass ☐ Fail

Confirmation of inspection by person on site

Person on site: Builder ☒ Owner ☐ Other ☐ No One on site ☐

Your next inspection will be PLY CLADDING  
(Guidance notes for inspection on the rear of this sheet)

Agreed, Darren DAVIS Sign [Signature] Date 24, 4, 2008  
(Print Name)

Officer Name R Jorner Sign [Signature] Date 24, 4, 2008

Additional Insp. Sheet No. ....

Information entered into data base ☒ Initial [Signature] Date 24/4/2008

## PRE WRAP / PRE CLAD

Date 24-4-2008 SR or BCA 080035 Inspection No. 5  
 Time 9.10 AM Documents on site YES / NO  
 Owner Name BRADLEY Project Description new Dwelling  
 Site Address 131 KING ARTHUR DRIVE

All inspections are carried out with strict reference to the building consent granted.

P = Pass F = Fail NA = Non-Applicable

Inspection decisions are based on the extent of work inspected at the time of inspection.

Please refer to the related scope sheet for definition of the inspections extent.

### Applies to all inspections

|                                   |   |   |    |                                 |   |   |    |                                             |   |   |    |
|-----------------------------------|---|---|----|---------------------------------|---|---|----|---------------------------------------------|---|---|----|
| Sighted previous inspection notes | Y | N | NA | Conforms with approved drawings | Y | N | NA | Confirm Additional information/amended plan | Y | N | NA |
|-----------------------------------|---|---|----|---------------------------------|---|---|----|---------------------------------------------|---|---|----|

### PRE WRAP

|                                                    |   |   |    |                                             |   |   |    |                      |   |   |    |
|----------------------------------------------------|---|---|----|---------------------------------------------|---|---|----|----------------------|---|---|----|
| Cladding type identified                           | P | F | NA | Exterior sheet bracing & angle brace fixing | P | F | NA | Bracing requirements | P | F | NA |
| Framing moisture meets cladding requirements ..... | P | F | NA | Bottom plate connections                    | P | F | NA | Purlin fixing        | P | F | NA |
| Stud spacing appropriate for cladding              | P | F | NA | Building wrap type                          | P | F | NA | Decking substrate    | P | F | NA |

### PRE CLAD

|                                            |   |   |    |                                             |   |   |    |                                |   |   |    |
|--------------------------------------------|---|---|----|---------------------------------------------|---|---|----|--------------------------------|---|---|----|
| Building wrap type <u>TYVEK</u>            | P | F | NA | Building wrap                               | P | F | NA | Head flashings                 | P | F | NA |
| Flexible sealing tape type <u>ACU-BOND</u> | P | F | NA | Flexible sealing tape                       | P | F | NA | Sill flashings                 | P | F | NA |
| Deck membrane type .....                   | P | F | NA | Deck membrane fixed in accordance with Spec | P | F | NA | Back flashings                 | P | F | NA |
| Saddle flashings                           | P | F | NA | Internal/external corner flashings          | P | F | NA | Jamb flashings                 | P | F | NA |
| Capillary clearances                       | P | F | NA | Flashing of penetrations                    | P | F | NA | Ground/deck cladding clearance | P | F | NA |

### CAVITY SYSTEM

|                                            |   |   |    |                                     |   |   |    |                               |   |   |    |
|--------------------------------------------|---|---|----|-------------------------------------|---|---|----|-------------------------------|---|---|----|
| Additional strapping to wrap               | P | F | NA | Batten timber treatment             | P | F | NA | Cavity closers                | P | F | NA |
| Battens in place                           | P | F | NA | Battens structural fixing           | P | F | NA | Cavity spacers                | P | F | NA |
| Cavity spacers size & slope                | P | F | NA | Reinforcing fixed in place (stucco) | P | F | NA | Proprietary self spacing mesh | P | F | NA |
| Mesh spacers (stucco)                      | P | F | NA | Proprietary control joints (stucco) | P | F | NA | Rigid backing type (stucco)   | P | F | NA |
| Fixings (galvanized or stainless) (stucco) | P | F | NA | Waterproofing to slab-edge          | P | F | NA |                               | P | F | NA |

Name: R J O'Zuer Officer Sign: [Signature] Date: 24, 4, 2008

# SCOPE OF INSPECTION SHEET

Date 9/4/2008 SR or BCA 080035 Inspection No. 4

Time 2 pm Documents on site YES / NO

Owner Name Bradley Project Description new Dwelling

Site Address 131 King Arthur Drive

☒ Building ☐ Plumbing

Circle appropriate Type & Inspection Other .....

Site Found Piles PreSlab Subfloor Drainage ☒ PreWrap PreClad Weathertight PreLine PostLine Block Brick Ret.Wall Final

Engineer Supervision Yes No n/a - Name .....

Diagram (if necessary)

Notes .....

TRUSSES NOT completed at  
THE TIME OF INSPECTION

SP Sheet Fixings completed  
AS DISCUSSED DURING INSPECTION.

SP ANCHOR STRAPS etc NOT DONE  
(using GIB HAND BEATS)

Photo's Taken - Nos. 0/K to continue  
saved / scanned? Y / N

Site instruction issued .....

Result: ☒ Pass ☐ Part pass ☐ Fail

Confirmation of inspection by person on site

Person on site: Builder ☒ Owner ☐ Other ☐ No One on site ☐

Your next inspection will be Pre Clad - when wrap completed  
(Guidance notes for inspection on the rear of this sheet)

Agreed, DANIEL DAVY Sign [Signature] Date 9, 4 2008  
(Print Name)

Officer Name R. JOURNAL Sign [Signature] Date 9, 4 2008

Additional Insp. Sheet No. ....

Information entered into data base ☒

Initial [Signature]

Date 11/4/2008

## PRE WRAP / PRE CLAD

Date 9/14/2008 SR or BCA 080035 Inspection No. 4  
 Time 2 PM Documents on site YES / NO  
 Owner Name Bradley Project Description new Dwelling  
 Site Address 131 King Arthur Drive

All inspections are carried out with strict reference to the building consent granted.

P = Pass F = Fail NA = Non-Applicable

Inspection decisions are based on the extent of work inspected at the time of inspection.

Please refer to the related scope sheet for definition of the inspections extent.

### Applies to all inspections

|                                   |   |   |    |                                 |   |   |    |                                             |   |   |    |
|-----------------------------------|---|---|----|---------------------------------|---|---|----|---------------------------------------------|---|---|----|
| Sighted previous inspection notes | Y | N | NA | Conforms with approved drawings | Y | N | NA | Confirm Additional information/amended plan | Y | N | NA |
|-----------------------------------|---|---|----|---------------------------------|---|---|----|---------------------------------------------|---|---|----|

### PRE WRAP

|                                                    |   |   |    |                                             |   |   |    |                      |   |   |    |
|----------------------------------------------------|---|---|----|---------------------------------------------|---|---|----|----------------------|---|---|----|
| Cladding type identified                           | P | F | NA | Exterior sheet bracing & angle brace fixing | P | F | NA | Bracing requirements | P | F | NA |
| Framing moisture meets cladding requirements ....% | P | F | NA | <u>refinish</u><br>Bottom plate connections | P | F | NA | Purlin fixing        | P | F | NA |
| Stud spacing appropriate for cladding              | P | F | NA | Building wrap type                          | P | F | NA | Decking substrate    | P | F | NA |

### PRE CLAD

|                                  |   |   |    |                                             |   |   |    |                                |   |   |    |
|----------------------------------|---|---|----|---------------------------------------------|---|---|----|--------------------------------|---|---|----|
| Building wrap type .....         |   |   |    | Building wrap                               | P | F | NA | Head flashings                 | P | F | NA |
| Flexible sealing tape type ..... |   |   |    | Flexible sealing tape                       | P | F | NA | Sill flashings                 | P | F | NA |
| Deck membrane type .....         |   |   |    | Deck membrane fixed in accordance with Spec | P | F | NA | Back flashings                 | P | F | NA |
| Saddle flashings                 | P | F | NA | Internal/external corner flashings          | P | F | NA | Jamb flashings                 | P | F | NA |
| Capillary clearances             | P | F | NA | Flashing of penetrations                    | P | F | NA | Ground/deck cladding clearance | P | F | NA |

### CAVITY SYSTEM

|                                            |   |   |    |                                     |   |   |    |                               |   |   |    |
|--------------------------------------------|---|---|----|-------------------------------------|---|---|----|-------------------------------|---|---|----|
| Additional strapping to wrap               | P | F | NA | Batten timber treatment             | P | F | NA | Cavity closers                | P | F | NA |
| Battens in place                           | P | F | NA | Battens structural fixing           | P | F | NA | Cavity spacers                | P | F | NA |
| Cavity spacers size & slope                | P | F | NA | Reinforcing fixed in place (stucco) | P | F | NA | Proprietary self spacing mesh | P | F | NA |
| Mesh spacers (stucco)                      | P | F | NA | Proprietary control joints (stucco) | P | F | NA | Rigid backing type (stucco)   | P | F | NA |
| Fixings (galvanized or stainless) (stucco) | P | F | NA | Waterproofing to slab-edge          | P | F | NA |                               | P | F | NA |

Name: L. Jorwer Officer Sign: [Signature] Date: 9/14/2008

# SCOPE OF INSPECTION SHEET

Date 27/3/08 SR or BCA 080035 Inspection No. 3

Time 3:30 Documents on site YES / NO

Owner Name G.S. GARANGA HOMES Project Description NEW DRAINAGE

Site Address 131 KING ARTHUR DR -

Building Plumbing Circle appropriate Type & Inspection Other .....

Site Found Piles PreSlab Subfloor Drainage PreWrap PreClad Weathertight PreLine PostLine Block Brick Ret.Wall Final

Engineer Supervision Yes No n/a - Name .....

Notes 100mm MAIN SEWER PVC PIPE TO SEPTIC  
TANK SYSTEM  
13 SAPES IN SAND  
ON WATER TEST + HOLDING OVER 24 HRS  
ALL INSPECTION POINTS IN PLACE  
PIPES IN AS PER PLANS + REQUIREMENTS  
TO AS 3500-2  
PIPES HAVE GOOD FALL

Diagram (if necessary)

OK TO BACKFILL -

Photo's Taken - Nos. .... saved / scanned? Y / N

Site instruction issued AS BUILT + PRODUCERS STATEMENT TO FOLLOW

Result: Pass Part pass Fail

Confirmation of inspection by person on site

Person on site: Builder ☐ Owner ☐ Other ☒ DRAWLAGE No One on site ☐

Your next inspection will be .....  
(Guidance notes for inspection on the rear of this sheet)

Agreed, Lazer Plumbing Sign [Signature] Date 27/3/08  
(Print Name)

Officer Name GARGITHA Sign [Signature] Date 27/3/08

Additional Insp. Sheet No. ....

## SITE / FOUNDATIONS / PILES / PRE SLAB / SUBFLOOR / DRAINAGE

Date 27/3/08 SR or BCA 080035 Inspection No. 3  
 Time 3:30 Documents on site YES / NO  
 Owner Name G.S. GARANGER HOMES Project Description NEW DWELLING  
 Site Address 131 KING ARTHUR DR

All inspections are carried out with strict reference to the building consent granted.

**P = Pass F = Fail NA = Non-Applicable**

Inspection decisions are based on the extent of work inspected at the time of inspection.

Please refer to the related scope sheet for definition of the inspections extent.

### SITE

|                                              |   |   |    |                                                           |   |   |    |                               |   |   |    |
|----------------------------------------------|---|---|----|-----------------------------------------------------------|---|---|----|-------------------------------|---|---|----|
| Conforms with approved drawings              | Y | N | NA | Checked driveway                                          | Y | N | NA | Engineer supervision required | Y | N | NA |
| Scope of Resource consent granted?           | Y | N | NA | Checked position off relevant boundaries and datum height | Y | N | NA |                               | Y | N | NA |
| Expert Opinion (Producer statement) required | Y | N | NA | Name of Surveyor                                          |   |   |    | Name of Engineer              |   |   |    |
|                                              |   |   |    | Company                                                   |   |   |    | Company                       |   |   |    |

### FOUNDATIONS

### PILES

### SUBFLOOR

|                         |   |   |    |                            |   |   |    |                           |   |   |    |
|-------------------------|---|---|----|----------------------------|---|---|----|---------------------------|---|---|----|
| Footing Depth           | P | F | NA | Pile size                  | P | F | NA | Pile/Bearer/Joist Fixings | P | F | NA |
| Good bearing (NZS 3604) | P | F | NA | Pile layout is to plan     | P | F | NA | Notching, Holes, etc      | P | F | NA |
| Reinforcing             | P | F | NA | Special piles - point load | P | F | NA | Solid Blocking            | P | F | NA |
| Siting                  | P | F | NA | Timber Treatment           | P | F | NA | Joists                    | P | F | NA |
| Sub-floor vents         | P | F | NA | Hole depth                 | P | F | NA | Beams/Bearers             | P | F | NA |

### PRE SLAB PLUMBING

|                         |   |   |    |                      |   |   |    |                                 |   |   |    |
|-------------------------|---|---|----|----------------------|---|---|----|---------------------------------|---|---|----|
| Rebate for brick veneer | P | F | NA | Sand blinding        | P | F | NA | Steel reinforcing               | P | F | NA |
| Ground clearance        | P | F | NA | Slab thickenings     | P | F | NA | Bar chairs                      | P | F | NA |
| Concrete Cover          | P | F | NA | Vapour barrier (DPC) | P | F | NA | DPC penetrations taped          | P | F | NA |
| Driveway s/w control    | P | F | NA | Bottom plate fixings | P | F | NA | Minimum Floor Level             | P | F | NA |
| Secondary flow path     | P | F | NA | TPR line             | P | F | NA | Wastes and drains - size / fall | P | F | NA |
| Pipe material           | P | F | NA | Plumbing layout      | P | F | NA | Test - Water / Air              | P | F | NA |
| Pipe protection         | P | F | NA | Pipes supported      | P | F | NA | Visual leak check               | P | F | NA |

### DRAINAGE

|                  |   |   |    |                    |   |   |    |                                |       |   |    |
|------------------|---|---|----|--------------------|---|---|----|--------------------------------|-------|---|----|
| Pipe diameter    | P | F | NA | Connections/Angles | P | F | NA | Holding water                  | P     | F | NA |
| Bedding material | P | F | NA | Branch length      | P | F | NA | Terminal vent <i>to follow</i> | P     | F | NA |
| Gully trap(s)    | P | F | NA | Direction/Fall     | P | F | NA | LBP/Registration No:           | 20373 |   |    |

Officer Name: GARON MCE Sign: [Signature] Date: 27/3/08

# SCOPE OF INSPECTION SHEET

Date 18/3/08 SR or BCA 080035 Inspection No. 2

Time ..... Documents on site YES / NO

Owner Name G.J. Gardner Homes Project Description New Dwelling

Site Address 131 King Arthur Dr Paraparaumu

Building Plumbing

Circle appropriate Type & Inspection Other .....

Site Found Piles PreSlab Subfloor Drainage PreWrap PreClad Weathertight PreLine PostLine Block Brick Ret.Wall Final

Engineer Supervision Yes No n/a - Name Hamish Wells

Notes \* Survey pegs sighted \* Dwelling site as per plan \* Rib raft foundation \* 665 Mesh placed and tied \* Spacers fitted as required \* Polythene laid over sand \* Footings to front entrance pillars \* Steel placed and tied as required \* Ground beams placed as per truss manufacturer producer requirements

Photo's taken - Nos. excavated as required saved / scanned? Y / N

Site instruction issued

\* Internal corner rods yet to be fixed \* Hamish Wells engineer P.S4 to come

Result: Pass Part pass Fail

Confirmation of inspection by person on site

Person on site: Builder ☐ Owner ☐ Other ☐ No One on site ☐

Your next inspection will be Pre wrap  
(Guidance notes for inspection on the rear of this sheet)

Agreed, Brent Ashman Sign B.Ashman Date 18/03/08  
(Print Name)

Officer Name Russen Book Sign Russen Date 18/3/08

Additional Insp. Sheet No. ....

# SITE / FOUNDATIONS / PILES / PRE SLAB / SUBFLOOR / DRAINAGE

Date: 18/3/08 SR or BCA: 080035 Inspection No.: 2

Time: ..... Documents on site YES / NO

Owner Name: G. J. Gardner Homes Project Description: New Dwelling

Site Address: 131 King Arthur Dr Paraparaumu

All inspections are carried out with strict reference to the building consent granted.

**P = Pass F = Fail NA = Non-Applicable**

Inspection decisions are based on the extent of work inspected at the time of inspection.

Please refer to the related scope sheet for definition of the inspections extent.

## SITE

|                                              |          |   |           |                                                           |          |   |    |                               |   |   |           |
|----------------------------------------------|----------|---|-----------|-----------------------------------------------------------|----------|---|----|-------------------------------|---|---|-----------|
| Conforms with approved drawings              | <u>Y</u> | N | NA        | Checked driveway                                          | <u>Y</u> | N | NA | Engineer supervision required | Y | N | <u>NA</u> |
| Scope of Resource consent granted?           | <u>Y</u> | N | NA        | Checked position off relevant boundaries and datum height | <u>Y</u> | N | NA |                               | Y | N | NA        |
| Expert Opinion (Producer statement) required | Y        | N | <u>NA</u> | Name of Surveyor                                          |          |   |    | Name of Engineer              |   |   |           |
|                                              |          |   |           | Company                                                   |          |   |    | Company                       |   |   |           |

## FOUNDATIONS

## PILES

## SUBFLOOR

|                         |          |   |    |                            |   |   |    |                           |   |   |    |
|-------------------------|----------|---|----|----------------------------|---|---|----|---------------------------|---|---|----|
| Footing Depth           | <u>P</u> | F | NA | Pile size                  | P | F | NA | Pile/Bearer/Joist Fixings | P | F | NA |
| Good bearing (NZS 3604) | <u>P</u> | F | NA | Pile layout is to plan     | P | F | NA | Notching, Holes, etc      | P | F | NA |
| Reinforcing             | <u>P</u> | F | NA | Special piles - point load | P | F | NA | Solid Blocking            | P | F | NA |
| Siting                  | <u>P</u> | F | NA | Timber Treatment           | P | F | NA | Joists                    | P | F | NA |
| Sub-floor vents         | P        | F | NA | Hole depth                 | P | F | NA | Beams/Bearers             | P | F | NA |

## PRE SLAB

|                         |          |   |           |                      |          |   |           |                                 |          |   |    |
|-------------------------|----------|---|-----------|----------------------|----------|---|-----------|---------------------------------|----------|---|----|
| Rebate for brick veneer | P        | F | <u>NA</u> | Sand blinding        | <u>P</u> | F | NA        | Steel reinforcing               | <u>P</u> | F | NA |
| Ground clearance        | <u>P</u> | F | NA        | Slab thickenings     | <u>P</u> | F | NA        | Bar chairs                      | <u>P</u> | F | NA |
| Concrete Cover          | <u>P</u> | F | NA        | Vapour barrier (DPC) | <u>P</u> | F | NA        | DPC penetrations taped          | P        | F | NA |
| Driveway s/w control    | <u>P</u> | F | NA        | Bottom plate fixings | <u>P</u> | F | <u>NA</u> | Minimum Floor Level             | P        | F | NA |
| Secondary flow path     | P        | F | NA        | TPR line             | P        | F | NA        | Wastes and drains - size / fall | P        | F | NA |
| Pipe material           | P        | F | NA        | Plumbing layout      | P        | F | NA        | Test - Water / Air              | P        | F | NA |
| Pipe protection         | P        | F | NA        | Pipes supported      | P        | F | NA        | Visual leak check               | P        | F | NA |

## DRAINAGE

|                  |   |   |    |                    |   |   |    |                      |   |   |    |
|------------------|---|---|----|--------------------|---|---|----|----------------------|---|---|----|
| Pipe diameter    | P | F | NA | Connections/Angles | P | F | NA | Holding water        | P | F | NA |
| Bedding material | P | F | NA | Branch length      | P | F | NA | Terminal vent        | P | F | NA |
| Gully trap(s)    | P | F | NA | Direction/Fall     | P | F | NA | LBP/Registration No: |   |   |    |

Officer Name: Russell Brook Sign: Russell Brook Date: 18/3/08

# SCOPE OF INSPECTION SHEET

Date 14/3/08 SR or BCA 080035 Inspection No. 1

Time 3.40 Documents on site YES / NO

Owner Name G.I. Gardner Homes Project Description New Dwelling

Site Address 131 King Arthur Dr Paraparaumu

Building Plumbing

Circle appropriate Type & Inspection Other .....

Site Found Piles PreSlab Subfloor Drainage PreWrap PreClad Weathertight PreLine PostLine Block Brick Ret.Wall Final

Engineer Supervision Yes No n/a - Name .....

Notes \* AS 3500 system Diagram (if necessary)

\* Pipe work laid as per Floor

\* Plan

\* Water holding

\* Good sand cover and fall

\* Pipe work lagged and supported

Photo's Taken - Nos. .... saved / scanned? Y / N

Site instruction issued .....

Result: Pass Part pass Fail

Confirmation of inspection by person on site

Person on site: Builder ☒ Owner ☐ Other ☐ No One on site ☐

Your next inspection will be Foundation / pre slab  
(Guidance notes for inspection on the rear of this sheet)

Agreed, KIRIWA WILLIAMS Sign [Signature] Date 1/1/  
(Print Name)

Officer Name Russell Brook Sign [Signature] Date 14/3/08

Additional Insp. Sheet No. ....

## SITE / FOUNDATIONS / PILES / PRE SLAB / SUBFLOOR / DRAINAGE

Date: 14/3/08 SR or BCA: 080035 Inspection No. ....

Time: 3.40 Documents on site YES / NO

Owner Name: G.I. Gardner Homes Project Description: New Dwelling

Site Address: 131 King Arthur Dr Paraparaumu

All inspections are carried out with strict reference to the building consent granted.

**P = Pass F = Fail NA = Non-Applicable**

Inspection decisions are based on the extent of work inspected at the time of inspection.

Please refer to the related scope sheet for definition of the inspections extent.

### SITE

|                                              |   |   |    |                                                           |   |   |    |                               |   |   |    |
|----------------------------------------------|---|---|----|-----------------------------------------------------------|---|---|----|-------------------------------|---|---|----|
| Conforms with approved drawings              | Y | N | NA | Checked driveway                                          | Y | N | NA | Engineer supervision required | Y | N | NA |
| Scope of Resource consent granted?           | Y | N | NA | Checked position off relevant boundaries and datum height | Y | N | NA |                               | Y | N | NA |
| Expert Opinion (Producer statement) required | Y | N | NA | Name of Surveyor                                          |   |   |    | Name of Engineer              |   |   |    |
|                                              |   |   |    | Company                                                   |   |   |    | Company                       |   |   |    |

### FOUNDATIONS

### PILES

### SUBFLOOR

|                         |   |   |    |                            |   |   |    |                           |   |   |    |
|-------------------------|---|---|----|----------------------------|---|---|----|---------------------------|---|---|----|
| Footings Depth          | P | F | NA | Pile size                  | P | F | NA | Pile/Bearer/Joist Fixings | P | F | NA |
| Good bearing (NZS 3604) | P | F | NA | Pile layout is to plan     | P | F | NA | Notching, Holes, etc      | P | F | NA |
| Reinforcing             | P | F | NA | Special piles - point load | P | F | NA | Solid Blocking            | P | F | NA |
| Siting                  | P | F | NA | Timber Treatment           | P | F | NA | Joists                    | P | F | NA |
| Sub-floor vents         | P | F | NA | Hole depth                 | P | F | NA | Beams/Bearers             | P | F | NA |

### PRE SLAB

|                         |   |   |    |                      |   |   |    |                                 |   |   |    |
|-------------------------|---|---|----|----------------------|---|---|----|---------------------------------|---|---|----|
| Rebate for brick veneer | P | F | NA | Sand blinding        | P | F | NA | Steel reinforcing               | P | F | NA |
| Ground clearance        | P | F | NA | Slab thickenings     | P | F | NA | Bar chairs                      | P | F | NA |
| Concrete Cover          | P | F | NA | Vapour barrier (DPC) | P | F | NA | DPC penetrations taped          | P | F | NA |
| Driveway s/w control    | P | F | NA | Bottom plate fixings | P | F | NA | Minimum Floor Level             | P | F | NA |
| Secondary flow path     | P | F | NA | TPR line             | P | F | NA | Wastes and drains - size / fall | P | F | NA |
| Pipe material           | P | F | NA | Plumbing layout      | P | F | NA | Test - Water / Air              | P | F | NA |
| Pipe protection         | P | F | NA | Pipes supported      | P | F | NA | Visual leak check               | P | F | NA |

### DRAINAGE

|                  |   |   |    |                    |   |   |    |                      |   |   |    |
|------------------|---|---|----|--------------------|---|---|----|----------------------|---|---|----|
| Pipe diameter    | P | F | NA | Connections/Angles | P | F | NA | Holding water        | P | F | NA |
| Bedding material | P | F | NA | Branch length      | P | F | NA | Terminal vent        | P | F | NA |
| Gully trap(s)    | P | F | NA | Direction/Fall     | P | F | NA | LBP/Registration No: |   |   |    |

Officer Name: Russell Bosch Sign: [Signature] Date: 14/3/08



# Site Inspection Report - New BC Applications

BC Application number: 080035 Lot 5 DP 369877

Site Address: 131 KING ARTHUR DR

Building Project: New Dwla

Check NCS status is currently "To Site Inspection"

| Item to be checked                                                                      | Decision | Record any relevant information | Action required                       |
|-----------------------------------------------------------------------------------------|----------|---------------------------------|---------------------------------------|
| Contours match application?                                                             | Yes / No |                                 |                                       |
| Datum point identified?                                                                 | Yes / No |                                 |                                       |
| Boundaries identified?                                                                  | Yes / No |                                 |                                       |
| Check ground conditions OK?                                                             | Yes / No |                                 |                                       |
| Check f/path, kerb & channel, grass berm, note existence/damage.                        | Yes / No | SAME RURAL                      |                                       |
| Vehicle entrance crossing installed (describe condition)                                | Yes / No | SAME RURAL                      |                                       |
| Photos taken? (Save & link to NCS)                                                      | Yes / No |                                 |                                       |
| Dogs on property?                                                                       | Yes / No |                                 |                                       |
| Is there a requirement for further foundation investigation e.g Engineers design        | Yes / No | SEE SITE NOTES                  | Referred to Approvals T/L<br>Yes / No |
| Record all decisions in accordance with KCDC Policy 007. Circle Yes or No in each case. |          |                                 |                                       |
|                                                                                         |          |                                 |                                       |
|                                                                                         |          |                                 |                                       |
|                                                                                         |          |                                 |                                       |
|                                                                                         |          |                                 |                                       |

Note: if there is a requirement for further information or some areas which do not appear to comply refer file to Team Leader Consent Approvals for action.

Inspecting Officer: Name: BARRIE M Signature: [Signature]

Date Inspected: 22/1/08

Unless further foundation information required, change NCS status to "To Plumbing & Drainage" and place file in P&D shelf area for Approvals. If further information is required, then Status change to "To Senior Building Inspector" and hand to Team Leader Consent Approvals for action.

# KCDC CODE COMPLIANCE REVIEW CHECK SHEET

If specified supporting documentation has not been provided, what alternative information or verification method has been provided to compensate. (describe):

-----

-----

-----

## Compliance Schedule

|                                                                                                                               |   |                                    |
|-------------------------------------------------------------------------------------------------------------------------------|---|------------------------------------|
| Is a new or amended compliance schedule required?                                                                             | Y | <input checked="" type="radio"/> N |
| If "Y" Has it been issued? (Refer note below)                                                                                 | Y | N                                  |
| If the new/ revised compliance schedule has not been issued, what action has been taken to ensure it will be issued? Outline: |   |                                    |
| -----                                                                                                                         |   |                                    |
| -----                                                                                                                         |   |                                    |
| -----                                                                                                                         |   |                                    |

*Note: If the draft/ revised compliance schedule has not been issued, the Code Compliance Certificate cannot be issued. Suspend issuing CCC until this matter is addressed.*

## Building consent requirements.

|                                                                                           |
|-------------------------------------------------------------------------------------------|
| Are there any item specified in the building consent or PIM that have not been completed. |
| Outline: -----                                                                            |
| -----                                                                                     |
| -----                                                                                     |
| -----                                                                                     |
| -----                                                                                     |
| -----                                                                                     |

Are there any development impact fees to be paid outstanding? Yes ☒ No (if yes, CCC cannot be issued)

Approve to issue Code Compliance Certificate if all other outstanding fees are paid. ☒ YES / NO

Building officer:

Signature: .....

Date: .....

Name: .....

Co- reviewer:

Signature: .....

Date: .....

Name: .....

# KCDC CODE COMPLIANCE REVIEW CHECK SHEET

**Criteria:** All building work except for minor works or major projects. *Refer BI-WI-024*

|                                |                 |
|--------------------------------|-----------------|
| Address: 131 KING ARTHUR DRIVE | Date: 31-7-2008 |
|                                | BC No: 080035   |

|                                                                  |                                    |                         |
|------------------------------------------------------------------|------------------------------------|-------------------------|
| application for code compliance certificate (Form 278) completed | <input checked="" type="radio"/> Y | <input type="radio"/> N |
|------------------------------------------------------------------|------------------------------------|-------------------------|

|                                                                             |                   |
|-----------------------------------------------------------------------------|-------------------|
| Confirm all required inspections have been completed and passed: <i>Yes</i> | Answer: Yes or No |
|-----------------------------------------------------------------------------|-------------------|

|                                                                                                                                                     |
|-----------------------------------------------------------------------------------------------------------------------------------------------------|
| If inspections have been missed, what supporting info and method of verification has been provided to compensate for missed inspection. (Describe): |
|                                                                                                                                                     |
|                                                                                                                                                     |
|                                                                                                                                                     |
|                                                                                                                                                     |

|                                                                  |                                      |                                                    |
|------------------------------------------------------------------|--------------------------------------|----------------------------------------------------|
| Work in accordance with approved consent and approved amendments | <input checked="" type="radio"/> Yes | <input type="radio"/> No                           |
| If no, has NTF been issued:                                      | N/A                                  | <input type="radio"/> Yes <input type="radio"/> No |
| Have items of non compliance been resolved and NTF uplifted.     | N/A                                  | <input type="radio"/> Yes <input type="radio"/> No |

*Note: If work is not in accordance with consent, (and approved amendments) or NTF matters have not been resolved, suspend application for Code Compliance Certificate*

**Supporting documentation required in building consent addenda** (Accept in accordance with KCDC Policy 002) **Form completed during BC Approval process**

| Tick (✓) indicates yes, N/A indicates considered - but not applicable | Req'd | Supplied | Accept |
|-----------------------------------------------------------------------|-------|----------|--------|
| copy of electrical certificate                                        | ✓     | ✓        | ✓      |
| copy of gas certificate                                               | ✓     | ✓        | ✓      |
| an "as-built" drainage plan                                           | ✓     | ✓        | ✓      |
| plumbing (Form 125) for pressure test and installation piped services | ✓     | ✓        | ✓      |
| drainage (Form 126) for stormwater installation                       | ✓     | ✓        | ✓      |
| drainage (Form 127) for private sewer installation                    | ✓     | ✓        | ✓      |
| a Construction Review (PS4) statement for Structural engineering      | ✓     | ✓        | ✓      |
| a Construction Review (PS4) statement for Fire engineering            | N/A   |          |        |
| a Construction Review (PS4) statement for Geo-technical engineering   | N/A   |          |        |
| Roof cladding warranty                                                | ✓     | ✓        | ✓      |
| Solar water heating technical specifications                          | N/A   |          |        |
| wall cladding/texture coating installation applicator warranty        | ✓     | ✓        | ✓      |
| a copy of the lift certificate                                        | N/A   |          |        |
| a certificate from the fire alarm installer                           | N/A   |          |        |
| a certificate from the sprinkler installer                            | N/A   |          |        |
| a copy of wet-area membrane installers warranty                       | N/A   |          |        |
| A copy of deck membrane manufacturer's installers warranty/guarantee  | N/A   |          |        |
| FPIS (verifier) Fire Systems Certification                            | N/A   |          |        |

| FOR COUNCIL USE:                         |                                     |                                               | APPROVING OFFICER/<br>DATE  |
|------------------------------------------|-------------------------------------|-----------------------------------------------|-----------------------------|
| DEPARTMENT                               | TICK FOR<br>REFERRAL                | COMMENTS                                      |                             |
| Resource Consents<br>(refer PIM Sheet)   | <input checked="" type="checkbox"/> |                                               |                             |
| Plumbing and Drainage                    | <input checked="" type="checkbox"/> |                                               |                             |
| Building                                 | <input checked="" type="checkbox"/> |                                               | 2/2/2008<br>A. He - 28/2/08 |
| Fire Design                              | <input checked="" type="checkbox"/> |                                               |                             |
| Compliance Schedule                      | <input checked="" type="checkbox"/> |                                               |                             |
| Environmental Health                     | <input checked="" type="checkbox"/> |                                               |                             |
| Site- Foopath & Entrance Conditions      |                                     | Ground                                        |                             |
| ELEVATED SITE ABOVE<br>ROAD & UNDULATING |                                     | SOFT SAND ON TOP FIRM &<br>PRECOMPACTED 150MM | BC/M<br>22/1/08             |
| VEHICLE ENTRANCE EXISTING<br>SEMI RURAL  |                                     | APPEARS SATISFACTORY                          |                             |
| NOTES:                                   |                                     |                                               |                             |



|                         |                                            |
|-------------------------|--------------------------------------------|
| Building Consent No.    | 080035.                                    |
| Building Project        | New Dwelling.                              |
| Location (Site Address) | 131 King Arthur Dr - Otahanga.             |
| Building Category       | Circle appropriate category 0 <u>1</u> 2 3 |

| Application workflow checklist                                                                                                                                                                                              |                                                                                                                                                                             |                  |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------|
|                                                                                                                                                                                                                             | Name & Signature<br>Note # A signature confirms that<br>the application contains<br>sufficient information to enable<br>compliance with the building<br>code to be assessed | Date             |
| # Note: Checked, date stamped and initialled by<br>TO/BCO. Select and circle appropriate category<br>above & identify allocation to appropriate<br>technical groups and if required to go to "site<br>inspection" AP-WI-001 | Michelle Salmon                                                                                                                                                             | 17/01/08         |
| Payment taken and receipted (details entered<br>inside this cover sheet) by CSO CS-WI-008                                                                                                                                   | Jeanette Allen                                                                                                                                                              | 17/1/08          |
| Data entered and invoiced by CSO CS-WI-008                                                                                                                                                                                  |                                                                                                                                                                             |                  |
| Pages numbered by CSO CS-WI-008                                                                                                                                                                                             |                                                                                                                                                                             |                  |
| BC Application and documentation scanned,<br>checked & status update by CSO CS-WI-009                                                                                                                                       | Me<br>Me                                                                                                                                                                    | 18/1/08          |
| BC Application signed over to BC CS-WI-009                                                                                                                                                                                  |                                                                                                                                                                             | 18/1/08          |
| Application reviewed by Technical Officers who<br>sign off at back of this form AP-WI-026 & AP-<br>WI-009                                                                                                                   | Simon Copp<br>A. He -                                                                                                                                                       | 22/08<br>28/2/08 |
| Once Technical review complete, passed to CS<br>for Plan Production and Invoicing AP-WI-009                                                                                                                                 |                                                                                                                                                                             |                  |
| CSO checks data entry input, including required<br>inspections CS-WI-012                                                                                                                                                    |                                                                                                                                                                             |                  |
| BC, plans and other appropriate paperwork<br>produced by CSO CS-WI-012                                                                                                                                                      |                                                                                                                                                                             |                  |
| BC, Approved plans and appropriate paperwork<br>sent to applicant or agent with receipt by CSO<br>CS-WI-012                                                                                                                 |                                                                                                                                                                             | 29/2/08          |
| Inspection envelope prepared by CSO with<br>endorsed plans and other appropriate paperwork<br>and filed to cabinet. CS-WI-012                                                                                               |                                                                                                                                                                             |                  |

## CONSENT DATA INPUT REQUIREMENTS

| REQUIRED INSPECTIONS |                                 | 32 |   | Lapse and cancellation after 12mths of consent                                    | 23  |   | Installation of solid fuel appliance (wood burner) comply and secured                     |
|----------------------|---------------------------------|----|---|-----------------------------------------------------------------------------------|-----|---|-------------------------------------------------------------------------------------------|
| ✓                    | Foundation/Piles                |    | ✓ |                                                                                   |     | ✓ |                                                                                           |
|                      | Block                           | 2  | ✓ | Engineer design specific components                                               | 23A |   | Second hand wood burner certified                                                         |
| ✓                    | Pre-Slab (Plumbing)             | 3  |   | Foundations to solid bearing of 200mm                                             | 25  | ✓ | Contractor to leave site clean and clear                                                  |
| ✓                    | Pre-Slab (Building)             | 4  | ✓ | NZS3604 as acceptable solution in terms of NZ Building Code                       | 30  |   | To comply with Food Hygiene Regulations 1974                                              |
|                      | Sub-Floor                       | 6  |   | Not approved as Habitable Room                                                    | 31  |   | As in CCZ, all fixings need to be stainless steel                                         |
| ✓                    | Drainage                        | 9  | ✓ | Note and comply with all endorsements on approved plans                           | 33  |   | Approval only given for relocation purposes                                               |
| ✓                    | Pre-Wrap                        | 10 |   | Names and Registration of plumber and drain-layer required                        | 34  |   | If cladding to have pre-finished colour coating, to be appropriate for coastal conditions |
| ✓                    | Pre-Clad                        |    |   |                                                                                   |     |   |                                                                                           |
| ✓                    | Weathertightness                |    |   |                                                                                   |     |   |                                                                                           |
| ✓                    | Pre-lining (Building)           | 11 | ✓ | Concealed soil and TV pipes and gas flues only allowed in ducts or minimum framed | 38  |   | Window sashes on upper levels less than 760mm above floor to have stays fixed             |
|                      | Pre-lining (Plumbing)           |    |   |                                                                                   |     |   |                                                                                           |
| ✓                    | Wet areas - membrane            | 12 | ✓ | Hot & Cold water pipes tested to 1500kPa                                          | 39  |   | Construction of playground to comply with NZS5828                                         |
| ✓                    | Post Lining                     |    |   |                                                                                   |     |   |                                                                                           |
|                      | Brick Veneer                    | 13 |   | Roof stormwater to be connected to existing                                       | 40  |   | Fencing, gates, doors directly leading to swimming pool to comply with Pool Act 1937      |
|                      | Retaining Wall                  |    |   |                                                                                   |     |   |                                                                                           |
| ✓                    | Final (Dwelling)                | 14 |   | Copper water pipes not permitted                                                  | 43  |   | Textured systems should be applied by licensed, trained applicators - supply warranty     |
|                      | Final (Commercial & Multi-resd) |    |   |                                                                                   |     |   |                                                                                           |
|                      |                                 | 15 |   | Owner/builder to ensure prop foundation height will allow satisfactory connection | 44  | ✓ | Exterior cladding system to be completed and inspected prior to internal lining           |
|                      |                                 | 21 | ✓ | Minimum FFL to comply with NZS3604                                                |     |   |                                                                                           |
|                      |                                 |    |   |                                                                                   |     |   |                                                                                           |
|                      |                                 |    |   |                                                                                   |     |   |                                                                                           |
|                      |                                 |    |   |                                                                                   |     |   |                                                                                           |
|                      |                                 |    |   |                                                                                   |     |   |                                                                                           |

## FOR OFFICE USE ONLY

| FEES                           |            | APPLICATION FEE \$.....                                    |
|--------------------------------|------------|------------------------------------------------------------|
| Building Fee                   | \$ 2193 =  | \$4002-53                                                  |
| Sewer Connection               | \$.....    | RECEIPT NO DATE 17/1                                       |
| Water Connection               | \$.....    | 243812                                                     |
| Vehicle Crossing               | \$.....    | INVOICE NO DATE 17/1                                       |
| Damage Deposit                 | \$ 440 =   | 55781                                                      |
| Code Compliance Administration | \$.....    | RECEIPT NO DATE.....                                       |
| Building Research Levy         | \$ 449 =   |                                                            |
| Development Levy               | \$.....    | FEES PAID BY:                                              |
| DBH Levy                       | \$ 884-53  | Wells Construction Ltd                                     |
| Compliance Schedule            | \$.....    |                                                            |
| Digital Storage Fee            | \$ 36 =    | BUILDING CONSENT , DATE ISSUED                             |
| Certificate of Title Charge    | \$.....    | NUMBER                                                     |
| Photocopying                   | \$.....    | 080035                                                     |
| SUBTOTAL                       | \$ 4002-53 | AUTHORISATION FOR REFUND OF DEPOSIT                        |
| Less Fee Paid                  | \$ 4002-53 | Deposit held = \$.....                                     |
| TOTAL                          | \$.....    | Cost to Repair Damage Caused During Construction = \$..... |
| GST INCLUDED                   | \$ 245-95  | Total Balance to be Refunded                               |
|                                |            | Authority Number:                                          |
|                                |            | Authorised: DATE:                                          |

## STANDARD CONSENT CONDITIONS

|    |  |
|----|--|
| 37 |  |
| 72 |  |
| 80 |  |

## NON-STANDARD ADDENDA

### ENGINEERS DESIGN

This project contains elements specifically designed by an Engineer. The Owner/Builder is required to ensure the Engineer inspects the work and provides KCDC with written evidence of the inspection.

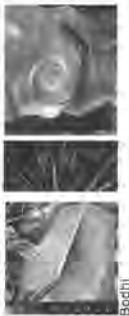
compaction certificate by end engineer  
to be supplied to council prior to placing  
of reinforcing and concrete.

GST 51-860-608

Received with thanks by 9/01  
KAPITI COAST DISTRICT COUNCIL

17-01-08 12:41 Receipt no.243812

DR BC080035  
GJ GARDNER HOMES-KAP 4,002.53-  
GJ Gardner Homes-Kapiti/Porirua::PO Box  
CQ AS  
Wells Construction L 4,002.53



# Building consent      080035

## Section 51, Building Act 2004

### The building

Street address of building: 131 King Arthur Drive, Paraparaumu

Legal description of land where building is located: LOT 5 DP 369877 C/T 283489

Valuation number: 1526036105

Building name:

Location of building within site/block number:

Level/unit number:

### The owner

Name of owner: Hayden and Kirsty Bradley

Contact person:

Mailing address: c/- 118 Rimu Road, Paraparaumu

Street address/registered office:

Phone number: Landline: 04 9027475

Mobile:

Daytime:

After hours:

Facsimile number:

Email address:

Website:

First point of contact for communications with the council/building consent authority:

Full Name: GJ Gardner Homes-Kapiti/Porirua

Mailing Address: PO Box 765, Paraparaumu

Phones:: 04 9044470: 021903186: 04 2961248

Fax: 04 2987910

Email: [nathan.wells@gjgardner.co.nz](mailto:nathan.wells@gjgardner.co.nz)

### Building work

The following building work is authorised by this building consent:

New Dwelling

Residential

This building consent is issued under section 51 of the Building Act 2004. This building consent does not relieve the owner of the building (or proposed building) of any duty or responsibility under any other Act relating to or affecting the building (or proposed building).

This building consent also does not permit the construction, alteration, demolition, or removal of the building (or proposed building) if that construction, alteration, demolition, or removal would be in breach of any other Act.

**Compliance schedule**

A compliance schedule is not required for the building.

**Attachments**

Copies of the following documents are attached to this building consent:



Signature



Position

On behalf of: KAPITI COAST DISTRICT COUNCIL

Date: 28/02/08

29 February 2008

Hayden and Kirsty Bradley  
c/- 118 Rimu Road  
Paraparaumu

Dear Sir/Madam

**Approval of Building Consent: 080035**

Description: New Dwelling  
Location: 131 King Arthur Drive, Paraparaumu  
Legal Description: LOT 5 DP 369877 C/T 283489

I am pleased to inform you that the above building consent application has been approved. The building consent documents have been issued and are enclosed.

**Before starting any work please read ALL the building consent documents carefully and in full so that you as the owner understand the conditions under which the consent has been issued.**

As the owner you are also responsible for the following:

- ensuring that building work starts within 12 months of the approval of the building consent and that work progresses at a reasonable pace.
  - ensuring that all required inspections are completed and that a Code Compliance Certificate is obtained once the work has been completed – please be aware that before a Code Compliance Certificate is issued, the building work must comply with the Building Act 2004 and the Building Code as at the date of final inspection.
  - that no work with noisy equipment is to be carried out before 7.30 a.m. or after 6 p.m. Monday to Saturday. During the week there may be workers on site from 6.30 a.m. quietly preparing for work. Work with noisy equipment is not permitted on Sundays and public holidays.
  - ensuring that no damage occurs to public property, for example footpaths or retaining structures. Should damage occur you will be required to pay for any repairs.
- 
- ensuring that if you wish to make any changes to the approved building consent, then an amendment to the building consent will need to be lodged with us.

If you have any questions regarding your building consent or your responsibilities, please contact Kapiti Coast District Council on (04) 9045 617.

## Addenda to Application

### Application

|                                                              |     |        |
|--------------------------------------------------------------|-----|--------|
| GJ Gardner Homes-Kapiti/Porirua<br>PO Box 765<br>Paraparaumu | No. | 080035 |
|--------------------------------------------------------------|-----|--------|

### Project

|                   |                                                                                                                    |
|-------------------|--------------------------------------------------------------------------------------------------------------------|
| Description       | New (& prebuilt) House, Unit, Bach, Crib, Town House etc.<br>Being Stage 1 of an intended 1 Stages<br>New Dwelling |
| Intended Life     | Indefinite, but not less than 50 years                                                                             |
| Intended Use      | Residential                                                                                                        |
| Estimated Value   | \$449,000                                                                                                          |
| Location          | 131 King Arthur Drive, Paraparaumu                                                                                 |
| Legal Description | LOT 5 DP 369877 C/T 283489                                                                                         |
| Valuation No.     | 1526036105                                                                                                         |

|             |                                                                                       |
|-------------|---------------------------------------------------------------------------------------|
| Builder:    | GJ Gardner Homes Kapiti Rimu Rd, Coastlands : 021903185                               |
| Designer:   | Coastal Architecture Ltd - Bill France 17 Fincham Road,<br>Raumati Beach : 0272499519 |
| Drainlayer: | Kapiti Plumbing Ltd - Bernie Lynch PO Box 612, Paraparaumu<br>: 021524823             |
| Plumber:    | As Above                                                                              |
| Contractor: | ISP Consulting Eng Ltd - John O'Hagan 14 laings Road, Lower<br>Hutt : 0275400823      |
| Contractor: | Deke Consulting - Malcolm Thompson 68 Northland Rd,<br>Northland : 04 9767889         |

### General Requirements

- a) The District Inspector is to be given 24 hours' notice before carrying out the following inspections:
1. Foundations
  2. Pre-slab
  3. Pre-slab
  4. Drainage
  5. Pre Wrap
  6. Pre Clad
  7. Weathertightness
  8. Preline
  9. Wet Area - pre Application
  10. Wet Area - post application
  11. Postline
  12. Final Inspection

- b) To arrange for any of the above required inspections by Building Control Team, please contact the Call Centre on (04) 296 4700 between the hours of 7.30am and 5.30pm.

I have read the foregoing addenda to application, and the Owner/Builder/Authorised Person hereby agrees to comply with them.

**OWNER/BUILDER/  
AUTHORISED PERSON**

**Date:**

1. LAPSE AND CANCELLATION OF BUILDING CONSENT. A building consent shall lapse and be of no effect if the building work concerned has not been commenced within 12 calendar months after the date of issue. Or within such further period as the territorial authority allows.
2. The inspection of all specific design components of the building is the responsibility of the Design Engineer who is also required to supply a written report to Council.
3. NZS3604 is an Acceptable Solution in terms of the New Zealand Building Code and is a recommended reference document for timber framed buildings.
4. Note and comply with endorsements on approved plans.
5. Concealed soil and TV pipes and gas flues are only permitted built into ducts or minimum 150mm framed walls or with the Phillips top plate connecting bracket.
6. Both hot and cold water pipes are to be tested to 1500 KPA pressure.
7. Minimum heights of finished concrete slab-on-ground floors above adjoining finished ground level to comply with the current NZS3604.
8. Seismic restraint to be provided to appliance and flue as per manufacturer's recommendations (and NZBC C/AS1 Sections 9.1.2 and 9.2.2)
9. Contractor to leave site clear of all demolition materials and in a tidy state.
10. Exterior cladding system to be previously completed and inspected by Council's Inspector prior to any subsequent prelining inspection/approval being granted for the fixing of internal linings.
11. -Compaction Certificate by Engineer to be supplied to council prior to placing of reinforcing and concrete. -This project contains elements specifically designed by an Engineer. The Owner/Builder is required to ensure the Engineer inspects the work and provides KCDC with written evidence of the inspection.

I have read the foregoing addenda to application, and the Owner/Builder/Authorised Person hereby agrees to comply with them.

**OWNER/BUILDER/  
AUTHORISED PERSON**

**Date:** \_\_\_\_\_

28/02/2008

**NOTE:**

THE OWNER/BUILDER IS RESPONSIBLE FOR CLEARLY DEFINING THE SITE BOUNDARY LINES & PEGS. THIS MAY REQUIRE A SURVEY. NOTE: ESTABLISHED FENCES ARE NOT NECESSARILY ON THE SITE BOUNDARY

CONFIRM POSITION ON SITE WITH OWNER

BUILDER TO ENSURE THAT PROPOSED FOUNDATION HEIGHT WILL ALLOW A SATISFACTORY DRAINAGE CONNECTION TO THE SEPTIC TANK

SEPTIC TANK SYSTEM BY OTHERS. CONFIRM POSITION ON SITE

**BOUNDARY LINES**

The Owner/Builder is responsible for clearly defining the site boundary lines and pegs. This may require a survey. NOTE: established fences are not necessarily on the site boundary.

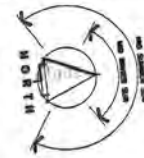
DIMENSIONS APPROX. CONFIRM ON SITE

DWELLING POSITIONED ON EXISTING LEVEL BUILDING PLATFORM

DRIVEWAY

1 6240 L CONCRETE STORMWATER TANK SET IN GROUND FOR TRUCKFEED WATER SUPPLY. 1 22000 L CONCRETE STORMWATER TANK SET IN GROUND FOR NON-POTABLE USE (FLUSHING WC, LAUNDRY & EXTERIOR TAPES). CONFIRM POSITION ON SITE WITH OWNER. Full cock and overflow to remain above ground level.

Plumber to water test the town water tank to ensure that the tank is water tight.



PHONE & POWER SUPPLY

TRUCKFEED WATER SUPPLY

Revised: OCTOBER 07 rev A  
DECEMBER 07 rev B  
DECEMBER 07 rev C  
**APPROVED BY PLANNING**  
Sam Mitchell  
Officer  
23/01/08

**APPROVED BY P & D**  
Simon Copp  
Officer  
30/1/2008

Project: **NEW DWELLING**  
LOT 5 KING ARTHUR DR OTAHANGA

Client: **BRADLEY**

Drawing Title: **SITE PLAN**  
DATUM - 2555

Designer: **COASTAL ARCHITECTS LTD**  
17 Pridmore Road  
Manning Road  
New Zealand  
Tel: 04 835 8888  
E-mail: info@coastalarchitects.co.nz

Checked: **SSI Francis** Drawn: **LF**  
Scale: **as shown**

Job: **006** Page of: **1/15** Rev: **C**

**LOT 5**  
DP 369877  
DWELLING = 343.3m<sup>2</sup> (349m<sup>2</sup> including entry porch)  
SITE AREA = 4689m<sup>2</sup>  
SITE COVERAGE = 7.4%

HIGH WIND ZONE

KING ARTHUR DRIVE

G.J. Gardner, HONET

**SITE PLAN**

SCALE 1:250

12 West Street, Auckland, New Zealand. Tel: 09 309 9999. Fax: 09 309 9998. Email: info@coastalarchitects.co.nz

28/02/2008

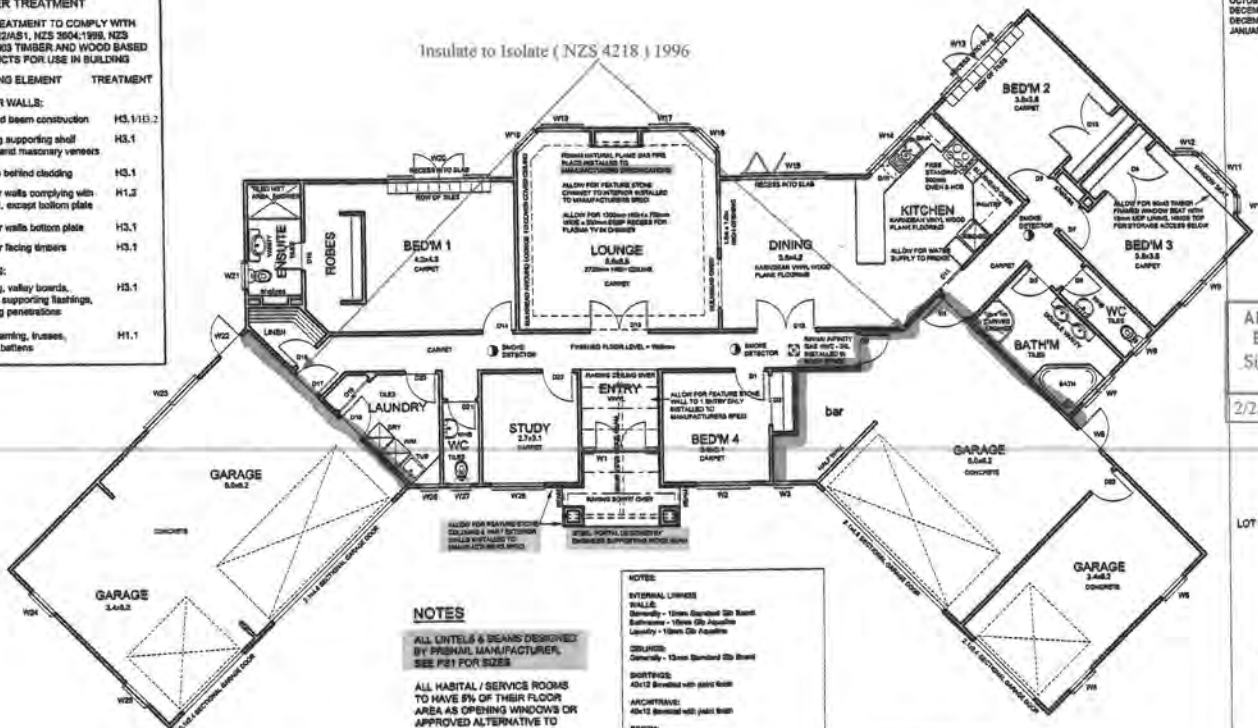
#### TIMBER TREATMENT

ALL TREATMENT TO COMPLY WITH  
NZS 3504:1998, NZS 3504:1998, NZS  
3504:2003 TIMBER AND WOOD BASED  
PRODUCTS FOR USE IN BUILDINGS

#### BUILDING ELEMENT TREATMENT

| BUILDING ELEMENT                                                         | TREATMENT |
|--------------------------------------------------------------------------|-----------|
| <b>TIMBER WALLS:</b>                                                     |           |
| Post and beam construction                                               | H3.1/19.2 |
| Framing supporting shelf angles and masonry veneers                      | H3.1      |
| Beams behind cladding                                                    | H3.1      |
| Exterior walls complying with E2/AS1, except bottom plate                | H1.2      |
| Exterior walls bottom plate                                              | H3.1      |
| Exterior facing timbers                                                  | H3.1      |
| <b>ROOFS:</b>                                                            |           |
| Decking, valley boards, boards supporting battens, flashing penetrations | H3.1      |
| Roof framing, trusses, ceiling battens                                   | H1.1      |

Insulate to Isolate (NZS 4218:1996)



#### NOTES

ALL UNITS & BEAMS DESIGNED BY PRIMA MANUFACTURES, SEE P81 FOR SIZES

ALL HABITAT / SERVICE ROOMS TO HAVE 8% OF THEIR FLOOR AREA AS OPENING WINDOWS OR APPROVED ALTERNATIVE TO ACHIEVE VENTILATION REQUIREMENTS

UNITS WHERE SPECIFIED OTHER THAN TO TABLES OF NZS 3504:1998 & ALL PROPRIETARY BEAMS & TRUSSES MUST BE CONFIRMED BY THE SUPPLYING LICENSED RETAILER OR REGISTERED ENGINEER

Slip resistance of trafficable surfaces to conform to Table 2. of D1 NZBC.

#### NOTES

**EXTERNAL UNIFORMS:**  
WALLS:  
Generally - 10mm Standard Gb Board  
Bathrooms - 10mm Gb Aquadine  
Laundry - 10mm Gb Aquadine

**CEILING:**  
Generally - 10mm Standard Gb Board

**BATHROOMS:**  
10x12 Standard with glass bath

**ARCHITRAVE:**  
10x12 Standard with glass bath

**SCOTCH:**  
75mm Gb Board

**BATHROOM:**  
Vanity: Milano 1500 Dm hand  
Shower: Milano 1000x1000 curved  
WC: Corner Plaster Glass Ceased shower stone suite  
Bath: Spoke Custom Body Therapy Gb Bath 1550 x 1050

**ENTRY:**  
Vanity: Milano 1500 Dm hand  
Shower: Milano 1000x1000 curved  
WC: Corner Plaster Glass Ceased shower stone suite  
Bath: Spoke Custom Body Therapy Gb Bath 1550 x 1050

**SEPARATE WC:**  
WC: Corner Plaster Glass Ceased shower stone suite  
Vanity: Milano 1500 Dm hand

gas filter to provide a compliance certificate to council

gas bottles to be sited further than 1.0m from an opening in a building

WATER PIPES TESTED TO 1500KPA

REVISION  
OCTOBER 07  
DECEMBER 07  
JANUARY 08

REV A  
REV B  
REV C

APPROVED  
BYP & D  
Simon Copp  
Officer  
2/2/2008

Project  
NEW DWELLING

LOT 5 KING ARTHUR DR  
OTAHANGA

Client  
BRADLEY

Drawing Title  
FLOOR PLAN

Designer:

COASTAL

17 Poulton Road  
Rangitikei  
New Zealand  
Tel: 04 893 2958  
Email: info@coastalnz.co.nz

Design: S. Francis  
Drawn: M. Scott  
Scale: AS SHOWN

Job: 006  
Page of: 3/15  
Rev: D

G.J. Gardner

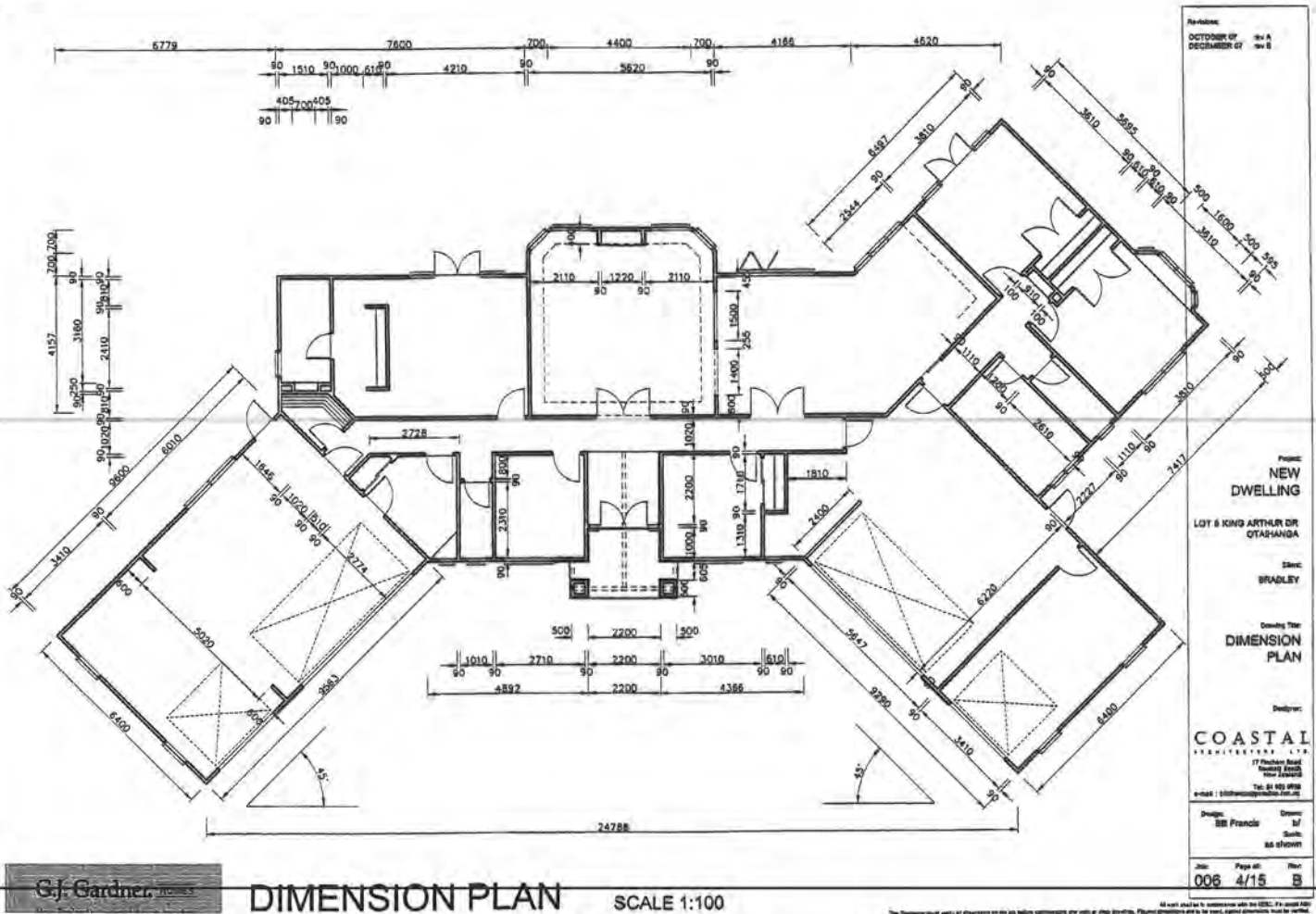
FLOOR PLAN

SCALE 1:100

AREA = 343.3m<sup>2</sup>

All work shall be in accordance with the NZBC. For detail see NZBC. All work shall be in accordance with the NZBC. For detail see NZBC. All work shall be in accordance with the NZBC. For detail see NZBC.

28/02/2008



C.J. Gardner

# DIMENSION PLAN

SCALE 1:100

All work must be in accordance with the NZS, and all work must be in accordance with the NZS, and all work must be in accordance with the NZS.

2/02/2008

**Reinforcing Steel Bends**  
 D10mm = Min 50mm @ & min 40mm for stirrups  
 D12mm = Min 60mm @ & min 45mm for stirrups  
 D16mm = Min 80mm @  
 Refer also to NZS 3101 for clarity

**EXPOSED CONCRETE STRENGTH REQUIREMENTS**  
 Within 500m of mean high tide - 25mpa  
 Beyond 500m of mean high tide - 20mpa

Compaction certificate by Engineer to be supplied to Council prior to placing of reinforcing and concrete

RS-RAFT FLOOR & FOUNDATIONS ALL DESIGNED BY ENGINEER

ENTRY & SIDE PORCH SLAB 150mm LOWER THAN FLOOR LEVEL

ALLOW FOR 45mm SEAT IN FOOTING FOR STONE CLADDING TO ENTRY & COLUMNS

450x450x600mm DEEP CONCRETE FOOTING

ALLOW FOR GARAGE DOOR REBATE TO SUIT DOOR TYPE

ALLOW FOR GARAGE DOOR REBATE TO SUIT DOOR TYPE

#### NOTES

OVERHANG FRAMES BY 6mm TO COMPLY WITH NZS3804:1989 & NZBC  
 ALL CONSTRUCTION TO COMPLY WITH NZS3804:1989, NZBC AND BEST POSSIBLE TRADE PRACTICES

BOTTOM PLATES FIXING  
 10mm@ CAST IN @ MAX 900 C/S  
 12mm@ CAST IN @ MAX 1400 C/S  
 APPROVED ANCHORS (FIXED TO MANUFACTURERS INSTRUCTIONS) RAMSET DYNASOLT PLUS, TRUBOLTS & REBOL ANCHORS

NZS 3804:1989 RECOMMENDS A CONTROL JOINT AROUND THE PERIMETER OF ANY AREAS WITH SOLID TILES ON FLOOR TO AVOID CRACKING. BUILDER TO VERIFY WITH OWNER SPECIFIC AREAS

BASEMENT AND/OR LOWER GROUND FLOOR AREAS MUST BE WATERPROOFED & TANKED AT LEAST TO THE STANDARDS OF SECTION 12 OF CLAUSE 62 OF THE COMPLIANCE DOCUMENT FOR NEW ZEALAND BUILDING CODE

ALLOW TO RECESS ALL GARAGE DOORS, ENTRY DOOR, FRENCH DOORS & BI-FOLD INTO SLAB

PIPES TO BE INSPECTED BEFORE COVERING WITH SAND.

Revised:  
 OCTOBER 07 rev A  
 DECEMBER 07 rev B

Project  
**NEW DWELLING**

LOT 5 KING ARTHUR DR OTAHANGA

Client  
 BRADLEY

Drawing Title  
**FOUNDATION PLAN**

Designer

**COASTAL**  
 CONSULTANTS LTD  
 17 Kaitake Road  
 Auckland North  
 New Zealand  
 Tel: 04 905 9999  
 email: info@coastalconsultants.co.nz

Design: DB Francis  
 Check: DF  
 Scale: as shown

Job: 006  
 Page of: 7/15  
 Rev: B

C.J. Gardner

Chief Designer's Signature & Stamp

**FOUNDATION PLAN**

SCALE 1:100

42 years shall be in accordance with the NZBC, if in doubt after this document shall verify all dimensions on the job before commencing any work or other drawings. Reported dimensions are to be used, unless otherwise stated or verified.





ENGINEERS NEW ZEALAND

ARCHITECTS  
NEW ZEALAND

ACENZ

Building Code Clause(s) .....

**PRODUCER STATEMENT – PS1 – DESIGN***(Guidance notes on the use of this form are printed on the reverse side\*)*ISSUED BY: DEKE CONSULTING LTD. ....  
(Design Firm)TO: G.I. GARDENER LTD. ....  
(Owner/Developer)TO BE SUPPLIED TO: KAPITI COAST DISTRICT COUNCIL ....  
(Building Consent Authority)IN RESPECT OF: NEW BRADLEY RESIDENCE ....  
(Description of Building Work)AT: LOT 5 KING ARTHUR DR. OTAIHANGA, PARAPARAUMU ....  
(Address)

LOT 5 DP SO

We have been engaged by the owner/developer referred to above to provide CIVIL DESIGN (RIBRAFT FLOOR SLAB) &amp; RETAIN BEAM OVER ENTRANCE services in respect of the requirements of

Clause(s) B1. .... of the Building Code for  
☐ All or ☒ Part only (as specified in the attachment to this statement), of the proposed building work.

The design carried out by us has been prepared in accordance with:

☒ Compliance Documents issued by Department of Building & Housing B1 VMA .....  
(verification method / acceptable solution)☐ Alternative solution as per the attached schedule ..... ORThe proposed building work covered by this producer statement is described on the drawings titled  
NEW BRADLEY RESIDENCE and numbered 1229

together with the specification, and other documents set out in the schedule attached to this statement.

On behalf of the Design Firm, and subject to:

- (i) Site verification of the following design assumptions: GROUND AS PER ISP REPORT
- (ii) All proprietary products meeting their performance specification requirements;

I believe on reasonable grounds the building, if constructed in accordance with the drawings, specifications, and other documents provided or listed in the attached schedule, will comply with the relevant provisions of the Building Code.

I, MALCOLM THOMSON ..... am: ☒ CP Eng 144906 ..... #  
(Name of Design Professional)☐ Reg Arch ..... #I am a Member of: ☒ IPENZ ☐ NZIA and hold the following qualifications: BE (Civil) .....The Design Firm issuing this statement holds a current policy of Professional Indemnity Insurance no less than \$200,000\*.  
The Design Firm is a member of ACENZ ☐ YES ☒ NOSIGNED BY MALCOLM THOMSON ..... ON BEHALF OF DEKE CONSULTING LTD. ....  
(Design Firm)Date 31/12/07 ..... (signature) *M. Thomson*

*Note: This statement shall only be relied upon by the Building Consent Authority named above. Liability under this statement accrues to the Design Firm only. The total maximum amount of damages payable arising from this statement and all other statements provided to the Building Consent Authority in relation to this building work, whether in contract, tort or otherwise (including negligence), is limited to the sum of \$200,000\*.*

This form is to accompany Form 2 of the Building (Forms) Regulations 2004 for the application of a Building Consent.



NEW ZEALAND INSTITUTE OF  
ARCHITECTS  
INCORPORATED



Building Code Clause(s) .....

## PRODUCER STATEMENT – PS1 – DESIGN

(Guidance notes on the use of this form are printed on the reverse side\*)

ISSUED BY: DEKE CONSULTING LTD. ....

(Design Firm)

TO: G.J. GARDENER LTD. ....

(Owner/Developer)

TO BE SUPPLIED TO: KAPITI COAST DISTRICT COUNCIL. ....

(Building Consent Authority)

IN RESPECT OF: NEW BRADLEY RESIDENCE .....

(Description of Building Work)

AT: LOT 5 KING ARTHUR DR. OTAIHANGA, PARAPARAUMU .....

(Address)

LOT 5 DP SO

We have been engaged by the owner/developer referred to above to provide CIVIL DESIGN (RIBRAFT FLOOR SLAB) .....

(Extent of Engagement)

Clause(s) B1 ..... of the Building Code for

☐ All or ☒ Part only (as specified in the attachment to this statement), of the proposed building work.

The design carried out by us has been prepared in accordance with:

☒ Compliance Documents issued by Department of Building & Housing B1 VM4 .....

(verification method / acceptable solution)

or

☐ Alternative solution as per the attached schedule .....

The proposed building work covered by this producer statement is described on the drawings titled .....

NEW BRADLEY RESIDENCE ..... and numbered 1229 .....

together with the specification, and other documents set out in the schedule attached to this statement.

On behalf of the Design Firm, and subject to:

(i) Site verification of the following design assumptions GROUND AS PER ISP REPORT .....

(ii) All proprietary products meeting their performance specification requirements;

I believe on reasonable grounds the building, if constructed in accordance with the drawings, specifications, and other documents provided or listed in the attached schedule, will comply with the relevant provisions of the Building Code.

I, MALCOLM THOMSON ..... am: ☒ CPEng 144906 ..... #

(Name of Design Professional)

☐ Reg Arch ..... #

I am a Member of: ☒ IPENZ ☐ NZIA and hold the following qualifications: RE (Civil) .....

The Design Firm issuing this statement holds a current policy of Professional Indemnity Insurance no less than \$200,000\*.

The Design Firm is a member of ACENZ ☐ YES ☒ NO

SIGNED BY MALCOLM THOMSON ..... ON BEHALF OF DEKE CONSULTING LTD. ....

(Design Firm)

Date: 31/12/07 ..... (signature)

Note: This statement shall only be relied upon by the Building Consent Authority named above. Liability under this statement accrues to the Design Firm only. The total maximum amount of damages payable arising from this statement and all other statements provided to the Building Consent Authority in relation to this building work, whether in contract, tort or otherwise (including negligence), is limited to the sum of \$200,000\*.

This form is to accompany Form 2 of the Building (Forms) Regulations 2004 for the application of a Building Consent.

# Electrical Certificate of Compliance

for prescribed electrical work that is carried out on electrical installations and involves the placing or positioning or the replacing or repositioning of conductors (including fittings attached to those conductors).

**To be completed whether or not an inspection is required.**

No. **2545756**

No. of attachments

**CUSTOMER INFORMATION - PLEASE PRINT CLEARLY**Name of customer **HAYDEN BRADLEY**

Phone:

Address of installation **131 KING ARTHUR DRIVE, PARAPARAUMU.**

Postal address of customer (if not as above)

**WORK DETAILS****91** No. of lighting outlets**1** No. of ranges**52** No. of socket outlets

No. of water heaters

Please tick (✓) as appropriate where work includes:

☐ Mains☐ Main earthing system

Was any installation work carried out by the homeowner?

☐ Yes ☒ No☐ Switchboard☐ Electric linesDescription **NEW CONNECTION**

It is recommended that test results be recorded here:

Visual Examination ☒Earth Continuity ☒Bonding ☒Polarity ☒Insulation Resistance **7100** Mohm

Other

**Validity authenticated in  
accordance with KCDC Policy 002**

**06 AUG 2008**Signature: **[Signature]**

If necessary attach any pages with sketches of work done

**CERTIFICATION OF WORK**

I certify that the above electrical work has been carried out in accordance with the requirements of the Electricity Act 1992 and Electricity Regulations 1997.

**ELECTRICAL WORKER DETAILS**Name **SHAWN O'LEARY**Registration no. **E17118 ✓**Company **O'LEARY ELECTRIC**Signature **[Signature]**Date **8-7-08**Contact Ph No. **027-2755400.****CERTIFICATION OF ELECTRIC LINES**

(to be completed where a separate electrical worker has installed the electric line portion of the mains)

Name

Registration no.

Company

Signature

Date

Contact Ph No.

**INSPECTION DETAILS** Electrical work requiring inspection by a registered electrical inspector☒ New mains☒ Switchboard☒ Earthing system☒ Installation work in hazardous areas

I certify that the inspection has been carried out in accordance with the requirements of regulation 41 of the Electricity Regulations 1997.

Name **Brian Pershe**Registration no. **I247667**Signature **[Signature]**Date **9-7-08**

Daytime Contact Ph No.

**CUSTOMER COPY - THIS IS AN IMPORTANT DOCUMENT AND SHOULD BE RETAINED**

## MANUFACTURERS GUARANTEE

Job Number : 21503  
Site Address : Lot 5 King Arthur Drive, Otaihangā, Kapiti Coast  
Building Owner :  
Builder : G J Gardner Homes - Kapiti/Porirua  
Licensed Plasterer : P & J Plastering Contractors Ltd  
Systems Used : EPS 40 Plus - 20mm Battens,  
Substrates Used : 40mm EPS,  
Textures Used : Classico Swirl,  
Colours Used : 1/8 MASALA (R) , 1/4 OILSKIN (R)  
Start Date : 10-May-2008  
End Date : 15-Jun-2008  
Clauses and Further Information :

### Guarantee Periods :

EPS 40 Plus - 20mm Battens : - This system has a 15 Year Manufacturers Guarantee for product as per conditions below:

The Manufacturer, Rockcote Resene Limited (herein after called "the Manufacturer") hereby guarantees:-

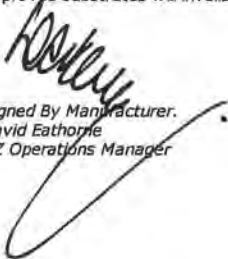
This guarantee is limited to necessary repairs arising from defects in the manufacture of any products manufactured by the manufacturer, affixed and applied in accordance with all specifications, installation directions, procedures and instructions established by the Manufacturer but does not include damage to or deterioration of the products caused by factors beyond the control of the Manufacturer. For example, but without limiting the foregoing factors damage or defects could be caused by:-

- Faulty Workmanship and/or materials by others.
- Damage caused by acts of God, for example earthquakes, flood, wind or storm damage.
- Damage caused by fire or unlawful acts.
- Damage caused by accidental or intentional impact.
- Damage caused by localised ground movement, including slips and subsidence.
- The manufacturer will not by virtue of this warranty be liable for any consequential, indirect or special damage or loss of any kind whatsoever.

### NOTE:

- The manufacturer accepts no Liability for damage caused to other surfaces products or property through water leakage or water penetration which occurs because of improper fixing of doors, windows or door and window flashings.
- This Guarantee extends to product only and does not include the making of any refunds or payments by the manufacturer.
- Please refer to Rockcote specifications which are to be read in conjunction with this Guarantee.
- This Guarantee shall meet the requirements of the current E2 including proposed changes to E2 AS1 & B2 Durability which complies with the New Zealand Building Code Performance B2.3
- The Guarantee is subject to maintenance requirements, if Vector 5 has been applied to balustrades/parapet area's, these areas are to be cleaned and maintained annually, over coated with Resene X-200 after the first two years and subsequently every five years there after .
- No liability is assumed or implied for project supervision or defects caused by improper installation of the system.

This Product is for application by Licensed Plasterers only. Product only applied in non-conformance with the product data sheet and installation manual or to non approved substrates will invalidate Rockcote's Guarantee.

  
Signed By Manufacturer.  
David Eathorne  
NZ Operations Manager

**MyHome**  
maintenance guide



## P & J Plastering Contractors Ltd

Joe Tusoan  
P O Box 312  
Waikanae  
Kapiti Coast  
04 293 3769  
021 548 536  
tsoan@xtra.co.nz

### LICENSED PLASTERER WARRANTY

Job Number : 21503  
Site Address : Lot 5 King Arthur Drive, Otaihanga, Kapiti Coast  
Building Owner :  
Builder : G J Gardner Homes - Kapiti/Porirua  
Licensed Plasterer : P & J Plastering Contractors Ltd  
Systems Used : EPS 40 Plus - 20mm Battens,  
Substrates Used : 40mm EPS,  
Textures Used : Classico Swirl,  
Colours Used : 1/8 MASALA (R) , 1/4 OILSKIN (R)  
Start Date : 10-May-2008  
End Date : 15-Jun-2008  
Clauses and Further Information :

The Licensed Plasterer warrants that defects in the work carried out by the Licensed Plasterer arising within five years of the Completion Date recorded above and caused by faulty workmanship in the application of the Rockcote Resene Products ("RRP") or as a result of RRP being applied other than in accordance with the manufacturer's or supplier's specifications will be made good by the Licensed Plasterer and without cost to the Purchaser.

- The warranty will only apply if the Purchaser has made full payment for the supply and application of the RRP and thereafter will extend to subsequent owners of the property.
- The warranty will only apply where the defect is a direct result of faulty workmanship in the application of the RRP.
- The liability of the licensed plasterer is limited to remedying the defect in the workmanship and the licensed plasterer will not by virtue of this warranty be liable for any other damage, loss, liability, expense or any other loss of any kind whatsoever.
- The warranty will not apply to any repair or maintenance work if any such repair or maintenance work is done other than under the supervision of and subject to the inspection and approval of the Licensed Plasterer or Rockcote Resene Limited.
- Any remedial work carried out under this warranty will not extend the term of this warranty.

Signed by P & J Plastering Contractors Ltd

**P&J PLASTERING  
CONTRACTORS LTD  
PO BOX 312  
WAIKANAЕ**



## P & J Plastering Contractors Ltd

Joe Tounsoon  
P O Box 312  
Waikanae  
Kapiti Coast  
04 293 3769  
021 548 536  
tsoun@xtra.co.nz

### PRODUCER / CONSTRUCTION STATEMENT

Job Number : 21503  
Site Address : Lot 5 King Arthur Drive, Otaihanga, Kapiti Coast  
Building Owner :  
Builder : G J Gardner Homes - Kapiti/Porirua  
Licensed Plasterer : P & J Plastering Contractors Ltd  
Systems Used : EPS 40 Plus - 20mm Battens,  
Substrates Used : 40mm EPS,  
Textures Used : Classico Swirl,  
Colours Used : 1/8 MASALA (R) , 1/4 OILSKIN (R)  
Start Date : 10-May-2008  
End Date : 15-Jun-2008  
Clauses and Further  
Information :

We the above firm have completed the above work in accordance with the New Zealand Building Code and the Rockcote Resene Limited Specifications.

Signed by P & J Plastering Contractors Ltd

**P&J PLASTERING  
CONTRACTORS LTD  
PO BOX 312  
WAIKANA**

90 - 104 Felton Mathew Ave,  
P.O. Box 18 071, Glen Innes,  
Auckland, New Zealand  
Freephone: 0800 104 868  
Freefax: 0800 766 324  
Email: [info@gerardroofs.co.nz](mailto:info@gerardroofs.co.nz)  
Web: [www.gerardroofs.co.nz](http://www.gerardroofs.co.nz)

Name of Purchaser **GJ Gardner Homes Ltd**  
Address Warranted **5 King Arthur Drive**  
**Paraparaumu Wellington**  
Type of Warranty **Tile Warranty**  
Installation Contractor **Coastal Roofing Solutions Ltd**  
Date of Warranty **01.04.2008**  
Brand **Corona Shake Textured Pepper 300**

Warranty number  
**95203**

Purchase Order No.  
**king arthur**

AHI Roofing is proud to provide you with the attached **Gerard Roofs<sup>®</sup> Warranty**.

Our tiles are made from Zinalume coated steel, which is pressed prior to the application of an acrylic topcoat. This manufacturing system provides long term protection in the harshest of climates, including marine environments. This is why we are able to offer you fully backed 50-year pro rata **weatherproof** and 15-year pro rata **surface coating warranties**.

Most building materials require some servicing and maintenance during their product life and roofs are no exception. It is therefore important that you take the time to **read the attached warranty and maintenance guide** for your Gerard Roof.

In addition, please undertake the following actions **to validate your Gerard Roofs Warranty**:

1. Please **complete the attached warranty card** and post back to Gerard Roofs.
2. Please **input your name and address details** (in the space provided) in the upper left-hand corner, of the first page of your warranty.
3. Please **file your warranty** in a safe place.

For more information about Gerard Roofs, suggested maintenance programs or your warranty please visit **[www.gerardroofs.co.nz](http://www.gerardroofs.co.nz)**.

~~Or alternatively you can call the Gerard Roofs Helpline on 0800 104 868 during office hours.~~

You can also contact us by fax, e-mail or via the internet.

Yours sincerely



Max Goode  
Customer Service Manager

90 - 104 Felton Mathew Ave,  
P.O. Box 18 071, Glen Innes,  
Auckland, New Zealand  
Freephone: 0800 104 868  
Freefax: 0800 766 324  
Email: [info@gerardroofs.co.nz](mailto:info@gerardroofs.co.nz)  
Web: [www.gerardroofs.co.nz](http://www.gerardroofs.co.nz)

Name of Purchaser **GJ Gardner Homes**  
Address Warranted **Lot 5 King Arthur Drive**  
**Paraparaumu Wellington**  
Type of Warranty **Klass Warranty**  
Installation Contractor **Coastal Roofing Solutions Ltd**  
Date of Warranty **01.04.2008**  
Brand **Klass External Fascia Ironsand**

Warranty number  
**95209**

Purchase Order No.  
**king arthur**

AHI Roofing is proud to provide you with the attached **Gerard Roofs ® Warranty**.

Our Rainwater Systems are made from Zincalume coated steel. This manufacturing system provides long term protection in the harshest of climates, including marine environments. This is why we are able to offer you fully backed 10-year pro rata **surface coating warranties**.

Most building materials require some servicing and maintenance during their product life and roofs are no exception. It is therefore important that you take the time to **read the attached warranty and maintenance guide** for your Gerard Product.

In addition, please undertake the following actions **to validate your Gerard Roofs Warranty**:

1. Please **complete the attached warranty card** and post back to Gerard Roofs.
2. Please **input your name and address details** (in the space provided) in the upper left-hand corner, of the first page of your warranty.
3. Please **file your warranty** in a safe place.

For more information about Gerard Roofs, suggested maintenance programs or your warranty please visit **[www.gerardroofs.co.nz](http://www.gerardroofs.co.nz)**.

Or alternatively you can call the Gerard Roofs Helpline on **0800 104 868** during office hours.

You can also contact us by fax, e-mail or via the internet.

Yours sincerely



Max Goode  
Customer Service Manager

# TOPSTONE LTD

[www.hardasrocks.co.nz](http://www.hardasrocks.co.nz)

PO BOX 5611 Palmerston North 4441  
E [topstone@xtra.co.nz](mailto:topstone@xtra.co.nz) M 027 2909 345

**0508 4 STONE**

---

## PRODUCER STATEMENT

---

No. 0101

### Customer Details:

Wells Construction Ltd

### Project:

Lot 5, King Arthur Drive  
Otaihanga

### Details:

This letter is to confirm that all Eldorado Stone application has been carried out by a certified Hard as Rocks Applicator as per recommended installation procedures. This statement does not cover the substrate or any relevant flashings installed by others.  
Eldorado Stone carries a 50 year limited product guarantee.

Signature: \_\_\_\_\_



Date: 24 July 2008

Josh Anderson  
Director of TopStone Ltd



---

# 50 YEAR LIMITED WARRANTY

---

Manufacturer warrants Eldorado Stone® Wall Veneers for a period of 50 years against manufacturing defects when used on structures conforming to local building codes and when installed in accordance with manufacturer's written instructions. Warranty coverage specifically excludes damage resulting from wall movement;

settlement of the building; contact with chemicals or paint; and discoloration due to contaminants, staining or oxidation.

Warranty coverage is limited to replacement or repair of defective materials only and does not cover labor to remove or replace materials. Warranty coverage is limited to the original purchaser.



## PRODUCER STATEMENT – PS4 – CONSTRUCTION REVIEW

*(Guidance notes on the use of this form are printed on the reverse side)*

**ISSUED BY:** Hamish Wells Ltd

*(Construction Review Firm)*

**TO:** Wells Construction Ltd

*(Owner/Developer)*

**TO BE SUPPLIED TO:** Kapiti Coast district Council

*(Building Consent Authority)*

**IN RESPECT OF:** Foundations and Portal

*(Description of Building Work)*

**AT:** 131 King Arthur Drive Otaihangā

*(Address)*

**LOT 5**

**DP 369877**

**SO**

Hamish Wells Ltd

*(Construction Review Firm)*

has been engaged by

to provide ☐ CM1 ☐ CM2 ☐ CM3 ☐ CM4 ☐ CM5 *(Engineering Categories)* or ☐ OOL1 ☐ OOL2 ☐ OOL3 ☐ OOL4 *(Architectural Categories)*

observation ☒ or other supervision of construction of foundations services

*(Extent of Engagement)*

in respect of clause(s) **B1 & 2** of the Building Code for the building work described in

documents relating to Building Consent No. **080035** and those relating to

Building Consent Amendment(s) Nos. **NA** issued during the

course of the works. We have sighted these Building Consents and the conditions of attached to them.

Authorised instructions / variation(s) No. **NA** (copies attached)

or by the attached Schedule ☐ have been issued during the course of the works.

On the basis of ☐ this ☒ these review(s) and information supplied by the contractor during the course of the works, I believe on reasonable grounds that ☐ All ☒ Part only of the building works have been completed in accordance with the relevant requirements of the Building Consents and Building Consent Amendments identified above, with respect to Clause(s) **B1 & B2** of the Building Regulations.

I, **Hamish Wells** am: ☒ CPEng No. **186323**

*(Name of Construction Review Professional)*

☐ Reg Arch No. \_\_\_\_\_

I am a Member of: ☒ IPENZ ☐ NZIA and hold the following qualifications: \_\_\_\_\_

The Construction Review Firm issuing this statement holds a current policy of Professional Indemnity Insurance no less than \$200,000\*.

The Construction Review Firm is a member of ACENZ: ☐ YES ☒ NO

**SIGNED BY** Hamish Wells ON BEHALF OF Hamish Wells Ltd

**Hamish Tennent Wells**

Digitally signed by Hamish Tennent Wells  
 DN: CN = Hamish Tennent Wells, C =  
 NZ, O = Hamish Wells Limited  
 Date: 2008.07.28 11:05:57 +12'00'

Date: **280708**

Signature: \_\_\_\_\_

*Note: This statement shall only be relied upon by the Building Consent Authority named above. Liability under this statement accrues to the Construction Review Firm only. The total maximum amount of damages payable arising from this statement and all other statements provided to the Building Consent Authority in relation to this building work, whether in contract, tort or otherwise (including negligence), is limited to the sum of \$200,000\*.*

This form to accompany **Forms 6 or 8 of the Building (Form) Regulations 2004** for the issue of a Code Compliance Certificate.

# GUIDANCE ON USE OF PRODUCER STATEMENTS

Producer statements were first introduced with the Building Act 1992. The producer statements were developed by a combined task committee consisting of members of the New Zealand Institute of Architects, Institution of Professional Engineers New Zealand, Association of Consulting Engineers New Zealand in consultation with the Building Officials Institute of New Zealand. The original suite of producer statements has been revised as at the date of this form as a result of enactment of the Building Act (2004) by these organisations to ensure standard use within the industry.

The producer statement system is intended to provide Building Consent Authorities (BCAs) with reasonable grounds for the issue of a Building Consent or a Code Compliance Certificate, without having to duplicate design or construction checking undertaken by others.

|                                 |                                                                                                                                                                                                                                                                                                                               |
|---------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <b>PS1 Design</b>               | Intended for the use by a suitably qualified independent design professional in circumstances where the BCA accepts a producer statement for establishing reasonable grounds to issue a Building Consent;                                                                                                                     |
| <b>PS2 Design Review</b>        | Intended for use by a suitably qualified independent design professional where the BCA accepts an independent design professional's review as the basis for establishing reasonable grounds to issue a Building Consent;                                                                                                      |
| <b>PS3 Construction</b>         | Forms commonly used as a certificate of completion of building work are Schedule 6 of NZS 3910:2003 <sup>1</sup> ; or Schedules E1/E2 of NZIA's SCC 2007 <sup>2</sup>                                                                                                                                                         |
| <b>PS 4 Construction Review</b> | Intended for use by a suitably qualified independent design professional who undertakes construction monitoring of the building works where the BCA requests a producer statement prior to issuing a Code Compliance Certificate.<br><br>This must be accompanied by a statement of completion of building work (Schedule 6). |

The following guidelines are provided by ACENZ, IPENZ and NZIA to interpret the Producer Statement.

## Competence of Design Professional

This statement is made by a Design Firm that has undertaken a contract of services for the services named, and is signed by a person authorised by that firm to verify the processes within the firm and competence of its designers.

A competent design professional will have a professional qualification and proven current competence through registration on a national competence-based register, either as a Chartered Professional Engineer (CPEng) or a Registered Architect.

Membership of a professional body, such as the Institution of Professional Engineers New Zealand (IPENZ) or the New Zealand Institute of Architects (NZIA) provides additional assurance of the designer's standing within the profession. If the design firm is a member of the Association of Consulting Engineers New Zealand (ACENZ), this provides additional assurance about the standing of the firm.

Persons or firms meeting these criteria satisfy the term "suitably qualified independent design professional".

## \* Professional Indemnity Insurance

As part of membership requirements, ACENZ requires all member firms to hold Professional Indemnity Insurance to a minimum level.

The PI insurance minimum stated on the front of this form reflects standard, small projects. If the parties deem this inappropriate for large projects the minimum may be up to \$500,000.

## Professional Services during Construction Phase

There are several levels of service which a Design Firm may provide during the construction phase of a project (CM1-5)<sup>3</sup> (OL1-OL4)<sup>2</sup>. The Building Consent Authority is encouraged to require that the service to be provided by the Design Firm is appropriate for the project concerned.

## Requirement to provide Producer Statement PS4

Building Consent Authorities should ensure that the applicant is aware of any requirement for producer statements for the construction phase of building work at the time the building consent is issued as no design professional should be expected to provide a producer statement unless such a requirement forms part of the Design Firm's engagement.

## Attached Particulars

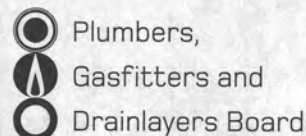
Attached particulars referred to in this producer statement refer to supplementary information appended to the producer statement.

## Refer Also:

- 1 *Conditions of Contract for Building & Civil Engineering Construction NZS 3910: 2003*
- 2 *NZIA Standard Conditions of Contract SCC 2007 (1st edition)*
- 3 *Guideline on the Briefing & Engagement for Consulting Engineering Services (ACENZ/IPENZ 2004)*

[www.acenz.org.nz](http://www.acenz.org.nz)  
[www.ipenz.org.nz](http://www.ipenz.org.nz)  
[www.nzia.co.nz](http://www.nzia.co.nz)





**PLUMBERS, GASFITTERS AND DRAINLAYERS BOARD**  
**GASFITTING CERTIFICATION CERTIFICATE**  
(Pursuant to the Gas Act 1992 and the Gas Regulations 1993 and amendments)  
**ENERGY WORK CERTIFICATE**  
(Pursuant to the Building Act 1991)

Certificate No **474686**

9th Floor, 70 The Terrace  
PO Box 10655  
WELLINGTON  
Tel 04 494 2970  
Fax 04 494 2975  
website www.pgdb.co.nz

**THIS CERTIFICATE IS NOT TRANSFERABLE****Installation address:**

Please complete in block letters

(Box No's not acceptable)

(Number)

131

(Street name)

King Arthur Drive

(Suburb)

Otairanga

**Consumer:**

Mr H &amp; K

(Title)

(Initials)

(Town/City)

Bradley

(Family/Business name)

**DESCRIPTION OF GASFITTING TO WHICH THIS CERTIFICATE APPLIES**

Appliance

Flue

Ventilation

| Qty | Type           | Location   | Make/model                     | Input rate    | Type          | Location | Type      | Location |
|-----|----------------|------------|--------------------------------|---------------|---------------|----------|-----------|----------|
| 1   | Cooker         | Kitchen    | Delonghi<br>L-91GW             | 39.8<br>mj/hr | N/A           |          | Complies  |          |
| 1   | Hot Water Unit | Roof space | Rinnai XR26<br>REU-V2630FFUG-2 | 195<br>mj/hr  | Power flue    | Roof     | Roofspace |          |
| 1   | fire place     | Lounge     | Rinnai Arriva<br>RHFE-750E+RM2 | 31.5<br>mj/hr | Balanced flue | Outside  | Outside   |          |
|     |                |            |                                |               |               |          |           |          |
|     |                |            |                                |               |               |          |           |          |
|     |                |            |                                |               |               |          |           |          |
|     |                |            |                                |               |               |          |           |          |

Registered Gasfitter/s Supervised by certifier

Name

Registration No

Name

Registration No

Certificate owner

Registration No

On behalf of

Address

(If other than certifying gasfitter)

Kapiti Plumbing  
12724

**Category****Type (Regulation 24(1))**

- ☒ Domestic  
☐ Commercial  
☐ Industrial  
☐ Temporary  
☐ Other

- ☒ New  
☐ Addition, ☐ Extension,  
☐ Replacement  
☐ Alteration  
☐ Repair following accident

**Gas Type**

- ☐ NG ☒ LPG ☐ TLP ☐ Bio

**Name of Gas Supplier** Rock gas
**Pipework Installed** ☒ YES ☐ NO  
(attach pipework diagram)
**Test Results****Other Testing**

10 min Duration  
3.55 kPa Test pressure  
0.02 kPa Loss / gain  
2.78 kPa Working pressure

Combustion  
☐ Yes ☒ No  
Ventilation  
☐ Yes ☒ No

**Test Date**

28/7/08

**I certify that :-**

- ① All appliances and fittings worked on by me or by persons working under my supervision are safe and that all work carried out was in accordance with all applicable requirements of the Gas Act 1992 and Gas Regulations 1993 as amended.  
② The gasfitting to which this certificate applies does not make other parts of the installation unsafe or otherwise non-compliant with the Gas Act 1992 and Gas Regulations 1993 as amended.  
③ Gasfitting work to which this certificate applies  
☐ does ☒ does not include work on an appliance or fitting imported or manufactured by a person for their own use.

**Certifiers Name**

Address

Registration No

Signature

Date

Mark Scaife  
16 Stella Ct  
Paraparaumu

12724 ✓

M Scaife

28/7/08

# AIR TECH™ 9000 AERATED WASTE WATER TREATMENT SYSTEM

## SERVICE MAINTENANCE REPORT

Nº 3949

|         |                       |                |     |    |      |      |
|---------|-----------------------|----------------|-----|----|------|------|
| OWNER   | Hayden Bradley        | HOME           | YES | NO | DATE | 16/2 |
| ADDRESS | 131 King Arthur Drive | CALL FIRST     | YES | NO | TEL  |      |
| COUNCIL | KCDC                  | TANK ID NUMBER |     |    |      |      |

### ELECTRICAL

### COMMENTS

|                                     |       |     |    |     |     |    |  |
|-------------------------------------|-------|-----|----|-----|-----|----|--|
| ALARMS TESTED                       | WATER | YES | NO | AIR | YES | NO |  |
| ELEC BLOWER BOX CHECKED AND CLEANED |       |     |    | YES |     | NO |  |
| LID SECURED                         |       |     |    | YES |     | NO |  |

### AIR BLOWER

|                                             |                      |      |      |  |
|---------------------------------------------|----------------------|------|------|--|
| ROTARY VANES                                | VANE KIT REPLACEMENT | YES  | NO   |  |
| TEMPERATURE                                 |                      | OKAY | HIGH |  |
| NOISE LEVEL                                 |                      | OKAY | HIGH |  |
| FILTERS CLEANED - 1X EXTERNAL, 2 X INTERNAL |                      | YES  | NO   |  |

### SEPTIC CHAMBER

|                          |     |     |      |       |     |     |      |
|--------------------------|-----|-----|------|-------|-----|-----|------|
| BIO TUBE FITLER CLEANED  |     |     |      |       | YES | NO  |      |
| ACCUMULATION - SLUDGE    | LOW | MED | HIGH | CRUST | LOW | MED | HIGH |
| INLET AND JUNCTION CLEAR |     |     |      |       | YES | NO  |      |

### AIR & SLUDGE RETURN SYSTEMS

|                                |      |         |  |
|--------------------------------|------|---------|--|
| ODOUR                          | YES  | NO      |  |
| AERATION                       | GOOD | POOR    |  |
| AIR DIFFUSER CHECKED           | YES  | NOT REQ |  |
| CLARIFICATION CHAMBER          | GOOD | POOR    |  |
| SLUDGE RETURN TO PRIMARY CLEAR | YES  | NO      |  |
| SLUDGE ACCUMULATION            | HIGH | LOW     |  |

### IRRIGATION CHAMBER

|                                    |          |      |      |
|------------------------------------|----------|------|------|
| CLEAN IRRIGATION CHAMBER           | YES      | NO   |      |
| TURBIDITY                          | MG/LITRE |      |      |
| IRRIGATION PUMP OPERATION PRESSURE | GOOD     | FAIR | POOR |

### IRRIGATION DISPOSAL SYSTEM

|                                  |      |                 |                |                     |
|----------------------------------|------|-----------------|----------------|---------------------|
| CONDITION                        | OK   | INACCESSIBLE    | REPLACE/REPAIR |                     |
| IRRIGATION LATERALS              | OK   | CLEANED         | REPLACE/REPAIR |                     |
| ARKAL FILTER                     | OK   | REPLACED        | CLEANED        | WATER METRE READING |
| LID COVERS SECURED               |      | YES             | NO             |                     |
| FIELD CONDITION                  | TIDY | PONDING/RUN OFF | PLANTED        | BARK/MULCH COVER    |
| PRIMARY CHAMBER NEEDS DESLUDGING |      | YES             | NO             |                     |

Comments: Cleaned and removed out very bubble in secondary and clarifications. No Rugs. Rugs started.

Technician (PRINT) *[Signature]* SIGNED *[Signature]*

C:\WPWIN60\WPDOCS\SEPTIC\SERMATB.WPD



## SERVICE MAINTENANCE REPORT

No 3959

|         |                           |                |                                      |                                     |      |        |
|---------|---------------------------|----------------|--------------------------------------|-------------------------------------|------|--------|
| OWNER   | Bradley, Hayden & Christy | HOME           | YES                                  | <input checked="" type="radio"/> NO | DATE | 8/7/11 |
| ADDRESS |                           | CALL FIRST     | <input checked="" type="radio"/> YES | <input type="radio"/> NO            | TEL  |        |
| COUNCIL |                           | TANK ID NUMBER |                                      |                                     |      |        |

## ELECTRICAL

## COMMENTS

|                                     |       |                                      |                          |                                      |                                      |                          |   |
|-------------------------------------|-------|--------------------------------------|--------------------------|--------------------------------------|--------------------------------------|--------------------------|---|
| ALARMS TESTED                       | WATER | <input checked="" type="radio"/> YES | <input type="radio"/> NO | AIR                                  | <input checked="" type="radio"/> YES | <input type="radio"/> NO | ✓ |
| ELEC BLOWER BOX CHECKED AND CLEANED |       |                                      |                          | <input checked="" type="radio"/> YES | <input type="radio"/> NO             |                          | ✓ |
| LID SECURED                         |       |                                      |                          | <input checked="" type="radio"/> YES | <input type="radio"/> NO             |                          | ✓ |

## AIR BLOWER

|                                             |                      |                                       |                                     |   |
|---------------------------------------------|----------------------|---------------------------------------|-------------------------------------|---|
| ROTARY VANES                                | VANE KIT REPLACEMENT | YES                                   | <input checked="" type="radio"/> NO |   |
| TEMPERATURE                                 |                      | <input checked="" type="radio"/> OKAY | HIGH                                | ✓ |
| NOISE LEVEL                                 |                      | <input checked="" type="radio"/> OKAY | HIGH                                | ✓ |
| FILTERS CLEANED - 1X EXTERNAL, 2 X INTERNAL |                      | YES                                   | <input checked="" type="radio"/> NO | ✓ |

## SEPTIC CHAMBER

|                          |                                      |                                      |                          |       |                                      |                          |      |         |
|--------------------------|--------------------------------------|--------------------------------------|--------------------------|-------|--------------------------------------|--------------------------|------|---------|
| BIO TUBE FITLER CLEANED  |                                      | <input checked="" type="radio"/> YES | <input type="radio"/> NO | ✓     |                                      |                          |      |         |
| ACCUMULATION - SLUDGE    | <input checked="" type="radio"/> LOW | MED                                  | HIGH                     | CRUST | <input checked="" type="radio"/> LOW | MED                      | HIGH | Wetland |
| INLET AND JUNCTION CLEAR |                                      |                                      |                          |       | <input checked="" type="radio"/> YES | <input type="radio"/> NO | ✓    |         |

## AIR &amp; SLUDGE RETURN SYSTEMS

|                                |                                       |                                          |   |
|--------------------------------|---------------------------------------|------------------------------------------|---|
| ODOUR                          | YES                                   | <input checked="" type="radio"/> NO      | ✓ |
| AERATION                       | <input checked="" type="radio"/> GOOD | POOR                                     | ✓ |
| AIR DIFFUSER CHECKED           | YES                                   | <input checked="" type="radio"/> NOT REQ | ✓ |
| CLARIFICATION CHAMBER          | <input checked="" type="radio"/> GOOD | POOR                                     | ✓ |
| SLUDGE RETURN TO PRIMARY CLEAR | <input checked="" type="radio"/> YES  | NO                                       | ✓ |
| SLUDGE ACCUMULATION            | HIGH                                  | <input checked="" type="radio"/> LOW     | ✓ |

## IRRIGATION CHAMBER

|                                    |                                       |                          |      |
|------------------------------------|---------------------------------------|--------------------------|------|
| CLEAN IRRIGATION CHAMBER           | <input checked="" type="radio"/> YES  | <input type="radio"/> NO | ✓    |
| TURBIDITY                          | MG/LITRE                              |                          | ✓    |
| IRRIGATION PUMP OPERATION PRESSURE | <input checked="" type="radio"/> GOOD | FAIR                     | POOR |

## IRRIGATION DISPOSAL SYSTEM

|                                  |                                      |                          |                                          |                     |                                     |
|----------------------------------|--------------------------------------|--------------------------|------------------------------------------|---------------------|-------------------------------------|
| CONDITION                        | <input checked="" type="radio"/> OK  | INACCESSIBLE             | REPLACE/REPAIR                           | ✓                   |                                     |
| IRRIGATION LATERALS              | <input checked="" type="radio"/> OK  | CLEANED                  | REPLACE/REPAIR                           | ✓                   |                                     |
| ARKAL FILTER                     | <input checked="" type="radio"/> OK  | REPLACED                 | <input checked="" type="radio"/> CLEANED | WATER METRE READING |                                     |
| LID COVERS SECURED               | <input checked="" type="radio"/> YES | <input type="radio"/> NO | ✓                                        |                     |                                     |
| FIELD CONDITION                  | TIDY                                 | PONDING/RUN OFF          | PLANTED                                  | BARK/MULCH COVER    |                                     |
| PRIMARY CHAMBER NEEDS DESLUDGING |                                      |                          |                                          | YES                 | <input checked="" type="radio"/> NO |

Comments: Bio filter cleaned, Bio filter blocked

d Bio filter

Technician (PRINT) K. G. C. C.

SIGNED K. G. C. C.

C:\WPWIN60\WPDOCS\SEPTIC\SERMATB.WPD



# AIR TECH™ 9000 AERATED WASTE WATER TREATMENT SYSTEM

## SERVICE MAINTENANCE REPORT

Nº 3584

|         |                          |                |     |                                     |      |          |
|---------|--------------------------|----------------|-----|-------------------------------------|------|----------|
| OWNER   | Hayden & Christy Bradley | HOME           | YES | <input checked="" type="radio"/> NO | DATE | 15/12/10 |
| ADDRESS | 131 King Arthur Drive    | CALL FIRST     | YES | <input checked="" type="radio"/> NO | TEL  |          |
| COUNCIL |                          | TANK ID NUMBER |     |                                     |      |          |

### ELECTRICAL

### COMMENTS

|                                     |       |                                      |                          |                                      |                                      |                          |   |
|-------------------------------------|-------|--------------------------------------|--------------------------|--------------------------------------|--------------------------------------|--------------------------|---|
| ALARMS TESTED                       | WATER | <input checked="" type="radio"/> YES | <input type="radio"/> NO | AIR                                  | <input checked="" type="radio"/> YES | <input type="radio"/> NO | ✓ |
| ELEC BLOWER BOX CHECKED AND CLEANED |       |                                      |                          | <input checked="" type="radio"/> YES | <input type="radio"/> NO             |                          | ✓ |
| LID SECURED                         |       |                                      |                          | <input checked="" type="radio"/> YES | <input type="radio"/> NO             |                          | ✓ |

### AIR BLOWER

|                                             |                      |                                       |                                     |   |
|---------------------------------------------|----------------------|---------------------------------------|-------------------------------------|---|
| ROTARY VANES                                | VANE KIT REPLACEMENT | YES                                   | <input checked="" type="radio"/> NO | ✓ |
| TEMPERATURE                                 |                      | <input checked="" type="radio"/> OKAY | HIGH                                | ✓ |
| NOISE LEVEL                                 |                      | <input checked="" type="radio"/> OKAY | HIGH                                | ✓ |
| FILTERS CLEANED - 1X EXTERNAL, 2 X INTERNAL |                      | YES                                   | <input checked="" type="radio"/> NO | ✓ |

### SEPTIC CHAMBER

|                          |                                      |     |      |       |                                      |                                      |                            |   |
|--------------------------|--------------------------------------|-----|------|-------|--------------------------------------|--------------------------------------|----------------------------|---|
| BIO TUBE FITLER CLEANED  |                                      |     |      |       | <input checked="" type="radio"/> YES | <input type="radio"/> NO             | ✓                          |   |
| ACCUMULATION - SLUDGE    | <input checked="" type="radio"/> LOW | MED | HIGH | CRUST | <input checked="" type="radio"/> LOW | <input checked="" type="radio"/> MED | <input type="radio"/> HIGH | ✓ |
| INLET AND JUNCTION CLEAR |                                      |     |      |       | <input checked="" type="radio"/> YES | <input type="radio"/> NO             | ✓                          |   |

### AIR & SLUDGE RETURN SYSTEMS

|                                |                                       |                                          |                   |
|--------------------------------|---------------------------------------|------------------------------------------|-------------------|
| ODOUR                          | YES                                   | <input checked="" type="radio"/> NO      | ✓                 |
| AERATION                       | <input checked="" type="radio"/> GOOD | POOR                                     | ✓ bubbles         |
| AIR DIFFUSER CHECKED           | YES                                   | <input checked="" type="radio"/> NOT REQ | ✓                 |
| CLARIFICATION CHAMBER          | GOOD                                  | POOR                                     | ✓ sludge vacuumed |
| SLUDGE RETURN TO PRIMARY CLEAR | <input checked="" type="radio"/> YES  | <input type="radio"/> NO                 | ✓                 |
| SLUDGE ACCUMULATION            | <input checked="" type="radio"/> HIGH | LOW                                      | ✓                 |

### IRRIGATION CHAMBER

|                                    |                                       |                          |      |
|------------------------------------|---------------------------------------|--------------------------|------|
| CLEAN IRRIGATION CHAMBER           | <input checked="" type="radio"/> YES  | <input type="radio"/> NO | ✓    |
| TURBIDITY                          | MG/LITRE                              |                          | ✓    |
| IRRIGATION PUMP OPERATION PRESSURE | <input checked="" type="radio"/> GOOD | FAIR                     | POOR |

### IRRIGATION DISPOSAL SYSTEM

|                                  |                                     |                                      |                                          |                  |
|----------------------------------|-------------------------------------|--------------------------------------|------------------------------------------|------------------|
| CONDITION                        | <input checked="" type="radio"/> OK | INACCESSIBLE                         | REPLACE/REPAIR                           | ✓                |
| IRRIGATION LATERALS              | <input checked="" type="radio"/> OK | CLEANED                              | REPLACE/REPAIR                           | ✓                |
| ARKAL FILTER                     | <input checked="" type="radio"/> OK | REPLACED                             | <input checked="" type="radio"/> CLEANED | ✓                |
| LID COVERS SECURED               |                                     | <input checked="" type="radio"/> YES | <input type="radio"/> NO                 | ✓                |
| FIELD CONDITION                  | TIDY                                | PONDING/RUN OFF                      | PLANTED                                  | BARK/MULCH COVER |
| PRIMARY CHAMBER NEEDS DESLUDGING |                                     | YES                                  | <input type="radio"/> NO                 | ✓                |

Comments: Bubbles, sludge all else looking good

Technician (PRINT) K. G. Cundy

SIGNED [Signature] C:\WPWIN60\WPDOCS\SEPTIC\SERMATB.WPD



# AIR TECH™ 9000 AERATED WASTE WATER TREATMENT SYSTEM

## SERVICE MAINTENANCE REPORT

No 3753

|         |                       |                |     |    |             |
|---------|-----------------------|----------------|-----|----|-------------|
| OWNER   | Bradley               | HOME           | YES | NO | DATE 2/6/10 |
| ADDRESS | 131 King Arthur Drive | CALL FIRST     | YES | NO | TEL         |
| COUNCIL |                       | TANK ID NUMBER |     |    |             |

### ELECTRICAL

### COMMENTS

|                                     |       |     |    |     |     |    |  |
|-------------------------------------|-------|-----|----|-----|-----|----|--|
| ALARMS TESTED                       | WATER | YES | NO | AIR | YES | NO |  |
| ELEC BLOWER BOX CHECKED AND CLEANED |       |     |    | YES |     | NO |  |
| LID SECURED                         |       |     |    | YES |     | NO |  |

### AIR BLOWER

|                                             |                      |      |      |  |
|---------------------------------------------|----------------------|------|------|--|
| ROTARY VANES                                | VANE KIT REPLACEMENT | YES  | NO   |  |
| TEMPERATURE                                 |                      | OKAY | HIGH |  |
| NOISE LEVEL                                 |                      | OKAY | HIGH |  |
| FILTERS CLEANED - 1X EXTERNAL, 2 X INTERNAL |                      | YES  | NO   |  |

### SEPTIC CHAMBER

|                          |     |     |      |
|--------------------------|-----|-----|------|
| BIO TUBE FITLER CLEANED  | YES | NO  |      |
| ACCUMULATION - SLUDGE    | LOW | MED | HIGH |
| INLET AND JUNCTION CLEAR | YES | NO  |      |

### AIR & SLUDGE RETURN SYSTEMS

|                                |      |         |  |
|--------------------------------|------|---------|--|
| ODOUR                          | YES  | NO      |  |
| AERATION                       | GOOD | POOR    |  |
| AIR DIFFUSER CHECKED           | YES  | NOT REQ |  |
| CLARIFICATION CHAMBER          | GOOD | POOR    |  |
| SLUDGE RETURN TO PRIMARY CLEAR | YES  | NO      |  |
| SLUDGE ACCUMULATION            | HIGH | LOW     |  |

### IRRIGATION CHAMBER

|                                    |          |      |      |
|------------------------------------|----------|------|------|
| CLEAN IRRIGATION CHAMBER           | YES      | NO   |      |
| TURBIDITY                          | MG/LITRE |      |      |
| IRRIGATION PUMP OPERATION PRESSURE | GOOD     | FAIR | POOR |

### IRRIGATION DISPOSAL SYSTEM

|                                  |      |                 |                |                     |
|----------------------------------|------|-----------------|----------------|---------------------|
| CONDITION                        | OK   | INACCESSIBLE    | REPLACE/REPAIR |                     |
| IRRIGATION LATERALS              | OK   | CLEANED         | REPLACE/REPAIR |                     |
| ARKAL FILTER                     | OK   | REPLACED        | CLEANED        | WATER METRE READING |
| LID COVERS SECURED               |      |                 | YES            | NO                  |
| FIELD CONDITION                  | TIDY | PONDING/RUN OFF | PLANTED        | BARK/MULCH COVER    |
| PRIMARY CHAMBER NEEDS DESLUDGING |      |                 | YES            | NO                  |

Comments ..... B.C. Hooked up sludge return through the floor -  
 ..... pumped out and cleaned

Technician (PRINT) ..... K. F. Cuddy

SIGNED ..... C:\WPWIN60\WPDOCS\SEPTIC\SERMATB.WPD



# AIR TECH™ 9000 AERATED WASTE WATER TREATMENT SYSTEM

## SERVICE MAINTENANCE REPORT

Nº 2672

|         |                    |                |                                      |                                     |      |         |
|---------|--------------------|----------------|--------------------------------------|-------------------------------------|------|---------|
| OWNER   | Bradley            | HOME           | YES                                  | <input checked="" type="radio"/> NO | DATE | 10/9/09 |
| ADDRESS | 131 King Arthur Dr | CALL FIRST     | <input checked="" type="radio"/> YES | <input type="radio"/> NO            | TEL  |         |
| COUNCIL | Pram               | TANK ID NUMBER |                                      |                                     |      |         |

### ELECTRICAL

### COMMENTS

|                                     |       |     |                                     |     |     |                                     |  |
|-------------------------------------|-------|-----|-------------------------------------|-----|-----|-------------------------------------|--|
| ALARMS TESTED                       | WATER | YES | <input checked="" type="radio"/> NO | AIR | YES | <input checked="" type="radio"/> NO |  |
| ELEC BLOWER BOX CHECKED AND CLEANED |       |     |                                     | YES | NO  |                                     |  |
| LID SECURED                         |       |     |                                     | YES | NO  |                                     |  |

### AIR BLOWER

|                                             |                      |      |                                     |  |
|---------------------------------------------|----------------------|------|-------------------------------------|--|
| ROTARY VANES                                | VANE KIT REPLACEMENT | YES  | <input checked="" type="radio"/> NO |  |
| TEMPERATURE                                 |                      | OKAY | HIGH                                |  |
| NOISE LEVEL                                 |                      | OKAY | HIGH                                |  |
| FILTERS CLEANED - 1X EXTERNAL, 2 X INTERNAL |                      | YES  | NO                                  |  |

### SEPTIC CHAMBER

|                          |     |                                      |      |       |     |                                      |      |
|--------------------------|-----|--------------------------------------|------|-------|-----|--------------------------------------|------|
| BIO TUBE FITLER CLEANED  |     |                                      |      |       | YES | NO                                   |      |
| ACCUMULATION - SLUDGE    | LOW | <input checked="" type="radio"/> MED | HIGH | CRUST | LOW | <input checked="" type="radio"/> MED | HIGH |
| INLET AND JUNCTION CLEAR |     |                                      |      |       | YES | NO                                   | had  |

### AIR & SLUDGE RETURN SYSTEMS

|                                |      |                                     |                    |
|--------------------------------|------|-------------------------------------|--------------------|
| ODOUR                          | YES  | <input checked="" type="radio"/> NO |                    |
| AERATION                       | GOOD | POOR                                |                    |
| AIR DIFFUSER CHECKED           | YES  | NOT REQ                             |                    |
| CLARIFICATION CHAMBER          | GOOD | POOR                                | Sludge need vacuum |
| SLUDGE RETURN TO PRIMARY CLEAR | YES  | NO                                  |                    |
| SLUDGE ACCUMULATION            | HIGH | LOW                                 |                    |

### IRRIGATION CHAMBER

|                                    |          |      |      |
|------------------------------------|----------|------|------|
| CLEAN IRRIGATION CHAMBER           | YES      | NO   |      |
| TURBIDITY                          | MG/LITRE |      |      |
| IRRIGATION PUMP OPERATION PRESSURE | GOOD     | FAIR | POOR |

### IRRIGATION DISPOSAL SYSTEM

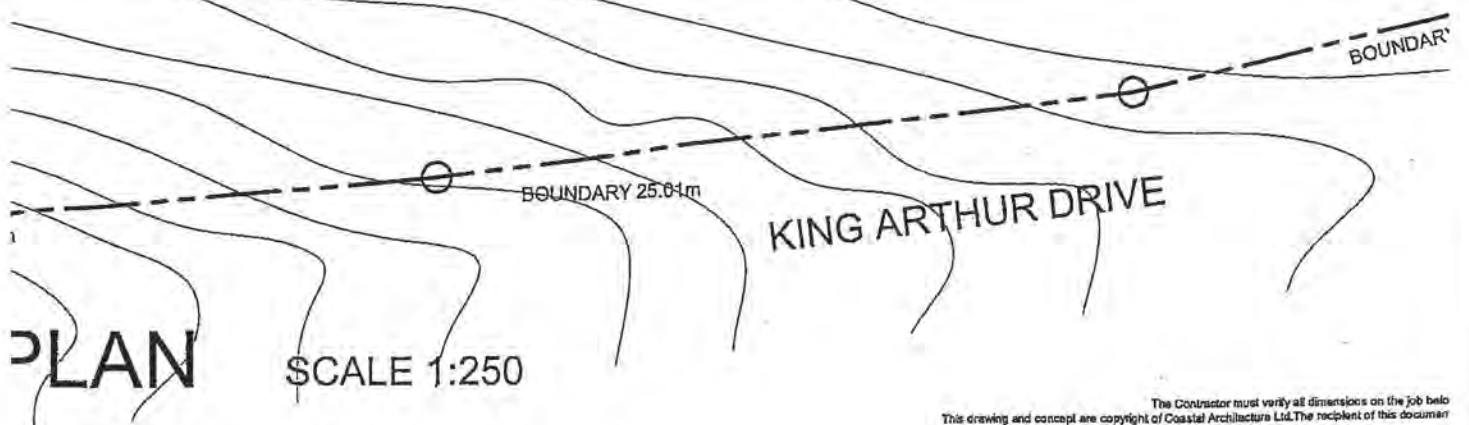
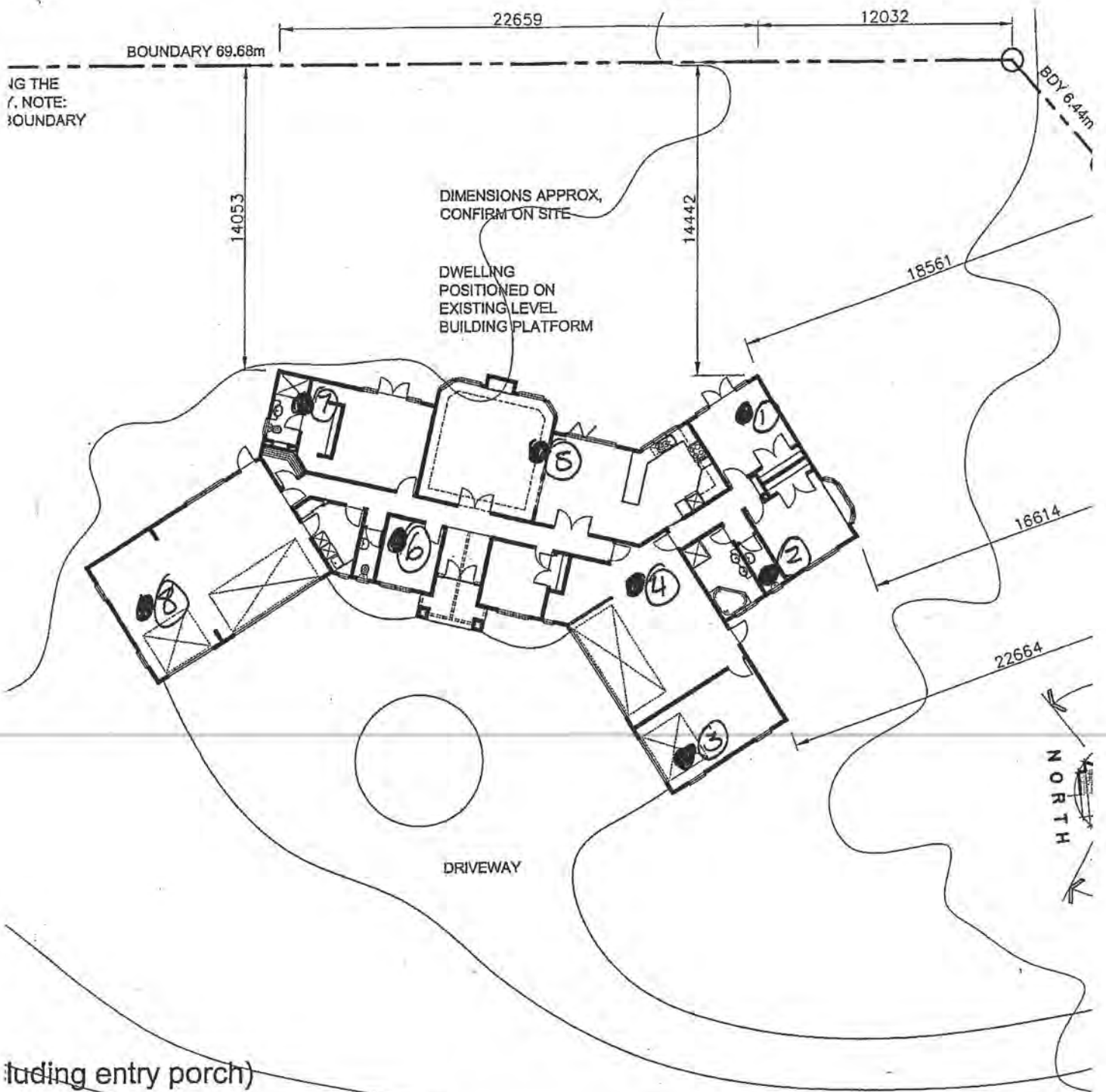
|                                  |                                     |                 |                |                     |
|----------------------------------|-------------------------------------|-----------------|----------------|---------------------|
| CONDITION                        | <input checked="" type="radio"/> OK | INACCESSIBLE    | REPLACE/REPAIR |                     |
| IRRIGATION LATERALS              | <input checked="" type="radio"/> OK | CLEANED         | REPLACE/REPAIR |                     |
| ARKAL FILTER                     | <input checked="" type="radio"/> OK | REPLACED        | CLEANED        | WATER METRE READING |
| LID COVERS SECURED               |                                     |                 |                | YES NO              |
| FIELD CONDITION                  | TIDY                                | PONDING/RUN OFF | PLANTED        | BARK/MULCH COVER    |
| PRIMARY CHAMBER NEEDS DESLUDGING |                                     |                 |                | YES NO              |

Comments: needs vacuum asap, had for an object in junction

Technician (PRINT) K. G. Cundy

SIGNED K. G. Cundy C:\WPWIN60\WPDOCS\SEPTIC\SERMATB.WPD





# ISP Soil Probe Recording Sheet

|            |                         |        |                              |
|------------|-------------------------|--------|------------------------------|
| Job Number | 22315                   | Signed | ISP Consulting Engineers Ltd |
| Date       | 3-Dec-07                |        | Scala Penetrometer Record    |
| Location   | Lot 5 King Arthor Drive |        | ISP Centre, 14 Laings Road   |
|            | Paraparaumu             |        | P O Box 30535, Lower Hutt    |
| Client     | GJ Gardner Homes        |        | Tel (04) 566 8004            |
|            | Probe Number            |        | Fax (04) 566 8037            |

| Depth       | 1  |    | 2  |    | 3 |    | 4  |    | 5 |   | 6  |    | 7  |    | 8  |    |
|-------------|----|----|----|----|---|----|----|----|---|---|----|----|----|----|----|----|
| 0 - 100     | 3  | 6  | 3  | 6  | 1 | 3  | 1  | 3  | 1 | 3 | 1  | 3  | 2  | 3  | 2  | 5  |
| 100 - 200   | 7  | 8  | 8  | 9  | 7 | 14 | 4  | 4  | 5 | 8 | 4  | 5  | 5  | 6  | 8  | 10 |
| 200 - 300   | 11 | 12 | 10 | 10 |   |    | 3  | 3  | 9 | 9 | 6  | 5  | 8  | 6  | 12 |    |
| 300 - 400   | 7  | 4  | 8  | 5  |   |    | 4  | 3  | 6 | 5 | 3  | 3  | 5  | 4  |    |    |
| 400 - 500   | 3  | 3  | 5  | 5  |   |    | 4  | 3  | 5 | 6 | 2  | 1  | 3  | 3  |    |    |
| 500 - 600   | 6  | 6  | 3  | 3  |   |    | 4  | 4  | 6 | 9 | 2  | 1  | 4  | 4  |    |    |
| 600 - 700   | 7  | 8  | 3  | 2  |   |    | 5  | 6  |   |   | 1  | 2  | 5  | 6  |    |    |
| 700 - 800   | 6  | 8  | 2  | 3  |   |    | 5  | 6  |   |   | 2  | 3  | 5  | 8  |    |    |
| 800 - 900   | 8  | 14 | 8  | 12 |   |    | 8  | 14 |   |   | 6  | 9  | 8  | 12 |    |    |
| 900 - 1000  | 12 | 12 |    |    |   |    | 14 | 16 |   |   | 12 | 12 | 14 |    |    |    |
| 1000 - 1100 | 16 |    |    |    |   |    |    |    |   |   | 14 |    |    |    |    |    |
| 1100 - 1200 |    |    |    |    |   |    |    |    |   |   |    |    |    |    |    |    |
| 1200 - 1300 |    |    |    |    |   |    |    |    |   |   |    |    |    |    |    |    |
| 1300 - 1400 |    |    |    |    |   |    |    |    |   |   |    |    |    |    |    |    |
| 1400 - 1500 |    |    |    |    |   |    |    |    |   |   |    |    |    |    |    |    |
| 1500 - 1600 |    |    |    |    |   |    |    |    |   |   |    |    |    |    |    |    |
| 1600 - 1700 |    |    |    |    |   |    |    |    |   |   |    |    |    |    |    |    |
| 1700 - 1800 |    |    |    |    |   |    |    |    |   |   |    |    |    |    |    |    |
| 1800 - 1900 |    |    |    |    |   |    |    |    |   |   |    |    |    |    |    |    |
| 1900 - 2000 |    |    |    |    |   |    |    |    |   |   |    |    |    |    |    |    |
| 2000 - 2100 |    |    |    |    |   |    |    |    |   |   |    |    |    |    |    |    |
| 2100 - 2200 |    |    |    |    |   |    |    |    |   |   |    |    |    |    |    |    |
| 2200 - 2300 |    |    |    |    |   |    |    |    |   |   |    |    |    |    |    |    |
| 2300 - 2400 |    |    |    |    |   |    |    |    |   |   |    |    |    |    |    |    |
| 2400 - 2500 |    |    |    |    |   |    |    |    |   |   |    |    |    |    |    |    |
| 2500 - 2600 |    |    |    |    |   |    |    |    |   |   |    |    |    |    |    |    |
| 2600 - 2700 |    |    |    |    |   |    |    |    |   |   |    |    |    |    |    |    |
| 2700 - 2800 |    |    |    |    |   |    |    |    |   |   |    |    |    |    |    |    |
| 2800 - 2900 |    |    |    |    |   |    |    |    |   |   |    |    |    |    |    |    |
| 2900 - 3000 |    |    |    |    |   |    |    |    |   |   |    |    |    |    |    |    |
| 3000 - 3100 |    |    |    |    |   |    |    |    |   |   |    |    |    |    |    |    |
| 3100 - 3200 |    |    |    |    |   |    |    |    |   |   |    |    |    |    |    |    |
| 3200 - 3300 |    |    |    |    |   |    |    |    |   |   |    |    |    |    |    |    |
| 3300 - 3400 |    |    |    |    |   |    |    |    |   |   |    |    |    |    |    |    |
| 3400 - 3500 |    |    |    |    |   |    |    |    |   |   |    |    |    |    |    |    |
| 3500 - 3600 |    |    |    |    |   |    |    |    |   |   |    |    |    |    |    |    |
| 3600 - 3700 |    |    |    |    |   |    |    |    |   |   |    |    |    |    |    |    |
| 3700 - 3800 |    |    |    |    |   |    |    |    |   |   |    |    |    |    |    |    |
| 3800 - 3900 |    |    |    |    |   |    |    |    |   |   |    |    |    |    |    |    |
| 3900 - 4000 |    |    |    |    |   |    |    |    |   |   |    |    |    |    |    |    |
| 4000 - 4100 |    |    |    |    |   |    |    |    |   |   |    |    |    |    |    |    |
| 4100 - 4200 |    |    |    |    |   |    |    |    |   |   |    |    |    |    |    |    |
| 4200 - 4300 |    |    |    |    |   |    |    |    |   |   |    |    |    |    |    |    |
| 4300 - 4400 |    |    |    |    |   |    |    |    |   |   |    |    |    |    |    |    |
| 4400 - 4500 |    |    |    |    |   |    |    |    |   |   |    |    |    |    |    |    |
| 4500 - 4600 |    |    |    |    |   |    |    |    |   |   |    |    |    |    |    |    |

|            |                         |                |                                     |     |           |       |     |           |
|------------|-------------------------|----------------|-------------------------------------|-----|-----------|-------|-----|-----------|
| Job Number | 22315                   | Signed         | ISP Consulting Engineers Ltd        |     |           |       |     |           |
| Date       | 3-Dec-07                |                | Scala Penetrometer Results Sheet    |     |           |       |     |           |
| Location   | Lot 5 King Arthor Drive |                | ISP Centre, 14 Laings Road          |     |           |       |     |           |
|            | Paraparaumu             |                | P O Box 30535, Lower Hutt           |     |           |       |     |           |
| Client     | GJ Gardner Homes        |                | Tel (04) 566 8004 Fax (04) 566 8037 |     |           |       |     |           |
|            | Probe Number 1          | Probe Number 2 | Probe Number 3                      |     |           |       |     |           |
| Notes      |                         |                |                                     |     |           |       |     |           |
| Depth      | No.                     | 0 5 10 15      | Depth                               | No. | 0 5 10 15 | Depth | No. | 0 5 10 15 |
| 50         | 3                       |                | 50                                  | 3   |           | 50    | 1   |           |
| 100        | 6                       |                | 100                                 | 6   |           | 100   | 3   |           |
| 150        | 7                       |                | 150                                 | 8   |           | 150   | 7   |           |
| 200        | 8                       |                | 200                                 | 9   |           | 200   | 14  |           |
| 250        | 11                      |                | 250                                 | 10  |           | 250   | 0   |           |
| 300        | 12                      |                | 300                                 | 10  |           | 300   | 0   |           |
| 350        | 7                       |                | 350                                 | 8   |           | 350   | 0   |           |
| 400        | 4                       |                | 400                                 | 5   |           | 400   | 0   |           |
| 450        | 3                       |                | 450                                 | 5   |           | 450   | 0   |           |
| 500        | 3                       |                | 500                                 | 5   |           | 500   | 0   |           |
| 550        | 6                       |                | 550                                 | 3   |           | 550   | 0   |           |
| 600        | 6                       |                | 600                                 | 3   |           | 600   | 0   |           |
| 650        | 7                       |                | 650                                 | 3   |           | 650   | 0   |           |
| 700        | 8                       |                | 700                                 | 2   |           | 700   | 0   |           |
| 750        | 6                       |                | 750                                 | 2   |           | 750   | 0   |           |
| 800        | 8                       |                | 800                                 | 3   |           | 800   | 0   |           |
| 850        | 8                       |                | 850                                 | 8   |           | 850   | 0   |           |
| 900        | 14                      |                | 900                                 | 12  |           | 900   | 0   |           |
| 950        | 12                      |                | 950                                 | 0   |           | 950   | 0   |           |
| 1000       | 12                      |                | 1000                                | 0   |           | 1000  | 0   |           |
| 1050       | 16                      |                | 1050                                | 0   |           | 1050  | 0   |           |
| 1100       | 0                       |                | 1100                                | 0   |           | 1100  | 0   |           |
| 1150       | 0                       |                | 1150                                | 0   |           | 1150  | 0   |           |
| 1200       | 0                       |                | 1200                                | 0   |           | 1200  | 0   |           |
| 1250       | 0                       |                | 1250                                | 0   |           | 1250  | 0   |           |
| 1300       | 0                       |                | 1300                                | 0   |           | 1300  | 0   |           |
| 1350       | 0                       |                | 1350                                | 0   |           | 1350  | 0   |           |
| 1400       | 0                       |                | 1400                                | 0   |           | 1400  | 0   |           |
| 1450       | 0                       |                | 1450                                | 0   |           | 1450  | 0   |           |
| 1500       | 0                       |                | 1500                                | 0   |           | 1500  | 0   |           |
| 1550       | 0                       |                | 1550                                | 0   |           | 1550  | 0   |           |
| 1600       | 0                       |                | 1600                                | 0   |           | 1600  | 0   |           |
| 1650       | 0                       |                | 1650                                | 0   |           | 1650  | 0   |           |
| 1700       | 0                       |                | 1700                                | 0   |           | 1700  | 0   |           |
| 1750       | 0                       |                | 1750                                | 0   |           | 1750  | 0   |           |
| 1800       | 0                       |                | 1800                                | 0   |           | 1800  | 0   |           |
| 1850       | 0                       |                | 1850                                | 0   |           | 1850  | 0   |           |
| 1900       | 0                       |                | 1900                                | 0   |           | 1900  | 0   |           |
| 1950       | 0                       |                | 1950                                | 0   |           | 1950  | 0   |           |
| 2000       | 0                       |                | 2000                                | 0   |           | 2000  | 0   |           |
| 2050       | 0                       |                | 2050                                | 0   |           | 2050  | 0   |           |
| 2100       | 0                       |                | 2100                                | 0   |           | 2100  | 0   |           |
| 2150       | 0                       |                | 2150                                | 0   |           | 2150  | 0   |           |
| 2200       | 0                       |                | 2200                                | 0   |           | 2200  | 0   |           |
| 2250       | 0                       |                | 2250                                | 0   |           | 2250  | 0   |           |
| 2300       | 0                       |                | 2300                                | 0   |           | 2300  | 0   |           |
| 2350       | 0                       |                | 2350                                | 0   |           | 2350  | 0   |           |
| 2400       | 0                       |                | 2400                                | 0   |           | 2400  | 0   |           |
| 2450       | 0                       |                | 2450                                | 0   |           | 2450  | 0   |           |
| 2500       | 0                       |                | 2500                                | 0   |           | 2500  | 0   |           |
| 2550       | 0                       |                | 2550                                | 0   |           | 2550  | 0   |           |
| 2600       | 0                       |                | 2600                                | 0   |           | 2600  | 0   |           |
| 2650       | 0                       |                | 2650                                | 0   |           | 2650  | 0   |           |
| 2700       | 0                       |                | 2700                                | 0   |           | 2700  | 0   |           |
| 2750       | 0                       |                | 2750                                | 0   |           | 2750  | 0   |           |
| 2800       | 0                       |                | 2800                                | 0   |           | 2800  | 0   |           |
| 2850       | 0                       |                | 2850                                | 0   |           | 2850  | 0   |           |
| 2900       | 0                       |                | 2900                                | 0   |           | 2900  | 0   |           |
| 2950       | 0                       |                | 2950                                | 0   |           | 2950  | 0   |           |
| 3000       | 0                       |                | 3000                                | 0   |           | 3000  | 0   |           |
| 3050       | 0                       |                | 3050                                | 0   |           | 3050  | 0   |           |
| 3100       | 0                       |                | 3100                                | 0   |           | 3100  | 0   |           |
| 3150       | 0                       |                | 3150                                | 0   |           | 3150  | 0   |           |
| 3200       | 0                       |                | 3200                                | 0   |           | 3200  | 0   |           |
| 3250       | 0                       |                | 3250                                | 0   |           | 3250  | 0   |           |
| 3300       | 0                       |                | 3300                                | 0   |           | 3300  | 0   |           |
| 3350       | 0                       |                | 3350                                | 0   |           | 3350  | 0   |           |
| 3400       | 0                       |                | 3400                                | 0   |           | 3400  | 0   |           |
| 3450       | 0                       |                | 3450                                | 0   |           | 3450  | 0   |           |
| 3500       | 0                       |                | 3500                                | 0   |           | 3500  | 0   |           |

|            |                         |                |                                     |       |     |
|------------|-------------------------|----------------|-------------------------------------|-------|-----|
| Job Number | 22315                   | Signed         | ISP Consulting Engineers Ltd        |       |     |
| Date       | 3-Dec-07                |                | Scala Penetrometer Results Sheet    |       |     |
| Location   | Lot 5 King Arthor Drive |                | ISP Centre, 14 Laings Road          |       |     |
|            | Paraparaumu             |                | P O Box 30535, Lower Hutt           |       |     |
| Client     | GJ Gardner Homes        |                | Tel (04) 566 8004 Fax (04) 566 8037 |       |     |
|            | Probe Number 4          | Probe Number 5 | Probe Number 6                      |       |     |
| Notes      |                         |                |                                     |       |     |
| Depth      | No.                     | Depth          | No.                                 | Depth | No. |
| 50         | 1                       | 50             | 1                                   | 50    | 1   |
| 100        | 3                       | 100            | 3                                   | 100   | 3   |
| 150        | 4                       | 150            | 5                                   | 150   | 4   |
| 200        | 4                       | 200            | 8                                   | 200   | 5   |
| 250        | 3                       | 250            | 9                                   | 250   | 6   |
| 300        | 3                       | 300            | 9                                   | 300   | 5   |
| 350        | 4                       | 350            | 6                                   | 350   | 3   |
| 400        | 3                       | 400            | 5                                   | 400   | 3   |
| 450        | 4                       | 450            | 5                                   | 450   | 2   |
| 500        | 3                       | 500            | 6                                   | 500   | 1   |
| 550        | 4                       | 550            | 6                                   | 550   | 2   |
| 600        | 4                       | 600            | 9                                   | 600   | 1   |
| 650        | 5                       | 650            | 0                                   | 650   | 1   |
| 700        | 6                       | 700            | 0                                   | 700   | 2   |
| 750        | 5                       | 750            | 0                                   | 750   | 2   |
| 800        | 6                       | 800            | 0                                   | 800   | 3   |
| 850        | 8                       | 850            | 0                                   | 850   | 6   |
| 900        | 14                      | 900            | 0                                   | 900   | 9   |
| 950        | 14                      | 950            | 0                                   | 950   | 12  |
| 1000       | 16                      | 1000           | 0                                   | 1000  | 12  |
| 1050       | 0                       | 1050           | 0                                   | 1050  | 14  |
| 1100       | 0                       | 1100           | 0                                   | 1100  | 0   |
| 1150       | 0                       | 1150           | 0                                   | 1150  | 0   |
| 1200       | 0                       | 1200           | 0                                   | 1200  | 0   |
| 1250       | 0                       | 1250           | 0                                   | 1250  | 0   |
| 1300       | 0                       | 1300           | 0                                   | 1300  | 0   |
| 1350       | 0                       | 1350           | 0                                   | 1350  | 0   |
| 1400       | 0                       | 1400           | 0                                   | 1400  | 0   |
| 1450       | 0                       | 1450           | 0                                   | 1450  | 0   |
| 1500       | 0                       | 1500           | 0                                   | 1500  | 0   |
| 1550       | 0                       | 1550           | 0                                   | 1550  | 0   |
| 1600       | 0                       | 1600           | 0                                   | 1600  | 0   |
| 1650       | 0                       | 1650           | 0                                   | 1650  | 0   |
| 1700       | 0                       | 1700           | 0                                   | 1700  | 0   |
| 1750       | 0                       | 1750           | 0                                   | 1750  | 0   |
| 1800       | 0                       | 1800           | 0                                   | 1800  | 0   |
| 1850       | 0                       | 1850           | 0                                   | 1850  | 0   |
| 1900       | 0                       | 1900           | 0                                   | 1900  | 0   |
| 1950       | 0                       | 1950           | 0                                   | 1950  | 0   |
| 2000       | 0                       | 2000           | 0                                   | 2000  | 0   |
| 2050       | 0                       | 2050           | 0                                   | 2050  | 0   |
| 2100       | 0                       | 2100           | 0                                   | 2100  | 0   |
| 2150       | 0                       | 2150           | 0                                   | 2150  | 0   |
| 2200       | 0                       | 2200           | 0                                   | 2200  | 0   |
| 2250       | 0                       | 2250           | 0                                   | 2250  | 0   |
| 2300       | 0                       | 2300           | 0                                   | 2300  | 0   |
| 2350       | 0                       | 2350           | 0                                   | 2350  | 0   |
| 2400       | 0                       | 2400           | 0                                   | 2400  | 0   |
| 2450       | 0                       | 2450           | 0                                   | 2450  | 0   |
| 2500       | 0                       | 2500           | 0                                   | 2500  | 0   |
| 2550       | 0                       | 2550           | 0                                   | 2550  | 0   |
| 2600       | 0                       | 2600           | 0                                   | 2600  | 0   |
| 2650       | 0                       | 2650           | 0                                   | 2650  | 0   |
| 2700       | 0                       | 2700           | 0                                   | 2700  | 0   |
| 2750       | 0                       | 2750           | 0                                   | 2750  | 0   |
| 2800       | 0                       | 2800           | 0                                   | 2800  | 0   |
| 2850       | 0                       | 2850           | 0                                   | 2850  | 0   |
| 2900       | 0                       | 2900           | 0                                   | 2900  | 0   |
| 2950       | 0                       | 2950           | 0                                   | 2950  | 0   |
| 3000       | 0                       | 3000           | 0                                   | 3000  | 0   |
| 3050       | 0                       | 3050           | 0                                   | 3050  | 0   |
| 3100       | 0                       | 3100           | 0                                   | 3100  | 0   |
| 3150       | 0                       | 3150           | 0                                   | 3150  | 0   |
| 3200       | 0                       | 3200           | 0                                   | 3200  | 0   |
| 3250       | 0                       | 3250           | 0                                   | 3250  | 0   |
| 3300       | 0                       | 3300           | 0                                   | 3300  | 0   |
| 3350       | 0                       | 3350           | 0                                   | 3350  | 0   |
| 3400       | 0                       | 3400           | 0                                   | 3400  | 0   |
| 3450       | 0                       | 3450           | 0                                   | 3450  | 0   |
| 3500       | 0                       | 3500           | 0                                   | 3500  | 0   |

|            |                         |           |                                     |     |                |       |     |           |
|------------|-------------------------|-----------|-------------------------------------|-----|----------------|-------|-----|-----------|
| Job Number | 22315                   |           | ISP Consulting Engineers Ltd        |     |                |       |     |           |
| Date       | 3-Dec-07                |           | Scala Penetrometer Results Sheet    |     |                |       |     |           |
| Location   | Lot 5 King Arthor Drive |           | ISP Centre, 14 Laings Road          |     |                |       |     |           |
|            | Paraparaumu             |           | P O Box 30535, Lower Hutt           |     |                |       |     |           |
| Client     | GJ Gardner Homes        |           | Tel (04) 566 8004 Fax (04) 566 8037 |     |                |       |     |           |
|            | Probe Number 7          |           | Probe Number 8                      |     | Probe Number 9 |       |     |           |
| Notes      |                         |           |                                     |     |                |       |     |           |
| Depth      | No.                     | 0 5 10 15 | Depth                               | No. | 0 5 10 15      | Depth | No. | 0 5 10 15 |
| 50         | 2                       |           | 50                                  | 2   |                | 50    | 0   |           |
| 100        | 3                       |           | 100                                 | 5   |                | 100   | 0   |           |
| 150        | 5                       |           | 150                                 | 8   |                | 150   | 0   |           |
| 200        | 6                       |           | 200                                 | 10  |                | 200   | 0   |           |
| 250        | 8                       |           | 250                                 | 12  |                | 250   | 0   |           |
| 300        | 6                       |           | 300                                 | 0   |                | 300   | 0   |           |
| 350        | 5                       |           | 350                                 | 0   |                | 350   | 0   |           |
| 400        | 4                       |           | 400                                 | 0   |                | 400   | 0   |           |
| 450        | 3                       |           | 450                                 | 0   |                | 450   | 0   |           |
| 500        | 3                       |           | 500                                 | 0   |                | 500   | 0   |           |
| 550        | 4                       |           | 550                                 | 0   |                | 550   | 0   |           |
| 600        | 4                       |           | 600                                 | 0   |                | 600   | 0   |           |
| 650        | 5                       |           | 650                                 | 0   |                | 650   | 0   |           |
| 700        | 6                       |           | 700                                 | 0   |                | 700   | 0   |           |
| 750        | 5                       |           | 750                                 | 0   |                | 750   | 0   |           |
| 800        | 8                       |           | 800                                 | 0   |                | 800   | 0   |           |
| 850        | 8                       |           | 850                                 | 0   |                | 850   | 0   |           |
| 900        | 12                      |           | 900                                 | 0   |                | 900   | 0   |           |
| 950        | 14                      |           | 950                                 | 0   |                | 950   | 0   |           |
| 1000       | 0                       |           | 1000                                | 0   |                | 1000  | 0   |           |
| 1050       | 0                       |           | 1050                                | 0   |                | 1050  | 0   |           |
| 1100       | 0                       |           | 1100                                | 0   |                | 1100  | 0   |           |
| 1150       | 0                       |           | 1150                                | 0   |                | 1150  | 0   |           |
| 1200       | 0                       |           | 1200                                | 0   |                | 1200  | 0   |           |
| 1250       | 0                       |           | 1250                                | 0   |                | 1250  | 0   |           |
| 1300       | 0                       |           | 1300                                | 0   |                | 1300  | 0   |           |
| 1350       | 0                       |           | 1350                                | 0   |                | 1350  | 0   |           |
| 1400       | 0                       |           | 1400                                | 0   |                | 1400  | 0   |           |
| 1450       | 0                       |           | 1450                                | 0   |                | 1450  | 0   |           |
| 1500       | 0                       |           | 1500                                | 0   |                | 1500  | 0   |           |
| 1550       | 0                       |           | 1550                                | 0   |                | 1550  | 0   |           |
| 1600       | 0                       |           | 1600                                | 0   |                | 1600  | 0   |           |
| 1650       | 0                       |           | 1650                                | 0   |                | 1650  | 0   |           |
| 1700       | 0                       |           | 1700                                | 0   |                | 1700  | 0   |           |
| 1750       | 0                       |           | 1750                                | 0   |                | 1750  | 0   |           |
| 1800       | 0                       |           | 1800                                | 0   |                | 1800  | 0   |           |
| 1850       | 0                       |           | 1850                                | 0   |                | 1850  | 0   |           |
| 1900       | 0                       |           | 1900                                | 0   |                | 1900  | 0   |           |
| 1950       | 0                       |           | 1950                                | 0   |                | 1950  | 0   |           |
| 2000       | 0                       |           | 2000                                | 0   |                | 2000  | 0   |           |
| 2050       | 0                       |           | 2050                                | 0   |                | 2050  | 0   |           |
| 2100       | 0                       |           | 2100                                | 0   |                | 2100  | 0   |           |
| 2150       | 0                       |           | 2150                                | 0   |                | 2150  | 0   |           |
| 2200       | 0                       |           | 2200                                | 0   |                | 2200  | 0   |           |
| 2250       | 0                       |           | 2250                                | 0   |                | 2250  | 0   |           |
| 2300       | 0                       |           | 2300                                | 0   |                | 2300  | 0   |           |
| 2350       | 0                       |           | 2350                                | 0   |                | 2350  | 0   |           |
| 2400       | 0                       |           | 2400                                | 0   |                | 2400  | 0   |           |
| 2450       | 0                       |           | 2450                                | 0   |                | 2450  | 0   |           |
| 2500       | 0                       |           | 2500                                | 0   |                | 2500  | 0   |           |
| 2550       | 0                       |           | 2550                                | 0   |                | 2550  | 0   |           |
| 2600       | 0                       |           | 2600                                | 0   |                | 2600  | 0   |           |
| 2650       | 0                       |           | 2650                                | 0   |                | 2650  | 0   |           |
| 2700       | 0                       |           | 2700                                | 0   |                | 2700  | 0   |           |
| 2750       | 0                       |           | 2750                                | 0   |                | 2750  | 0   |           |
| 2800       | 0                       |           | 2800                                | 0   |                | 2800  | 0   |           |
| 2850       | 0                       |           | 2850                                | 0   |                | 2850  | 0   |           |
| 2900       | 0                       |           | 2900                                | 0   |                | 2900  | 0   |           |
| 2950       | 0                       |           | 2950                                | 0   |                | 2950  | 0   |           |
| 3000       | 0                       |           | 3000                                | 0   |                | 3000  | 0   |           |
| 3050       | 0                       |           | 3050                                | 0   |                | 3050  | 0   |           |
| 3100       | 0                       |           | 3100                                | 0   |                | 3100  | 0   |           |
| 3150       | 0                       |           | 3150                                | 0   |                | 3150  | 0   |           |
| 3200       | 0                       |           | 3200                                | 0   |                | 3200  | 0   |           |
| 3250       | 0                       |           | 3250                                | 0   |                | 3250  | 0   |           |
| 3300       | 0                       |           | 3300                                | 0   |                | 3300  | 0   |           |
| 3350       | 0                       |           | 3350                                | 0   |                | 3350  | 0   |           |
| 3400       | 0                       |           | 3400                                | 0   |                | 3400  | 0   |           |
| 3450       | 0                       |           | 3450                                | 0   |                | 3450  | 0   |           |
| 3500       | 0                       |           | 3500                                | 0   |                | 3500  | 0   |           |

Andrew Hawera

**SITE INSPECTION REPORT****ISP CONSULTING  
ENGINEERS LTD**Civil & Structural  
Seismic Risk Analysis  
Building ComplianceLower Hutt Office  
Tel: 04 566 8004  
Fax: 04 566 8037  
Level 1, ISP Centre  
14 Laings Road  
P.O. Box 30 535  
Lower Hutt 5010Paraparaumu Office  
Tel: 04 902 5750  
Level 1 Office 24  
Kayel Building  
Margaret Road  
Raumati Beach  
P.O. Box 537  
Paraparaumu 5254Email: email@isp.co.nz  
Web: www.isp.co.nz

|                                                                           |                             |                      |
|---------------------------------------------------------------------------|-----------------------------|----------------------|
| Date: <b>10 March 2008</b>                                                | Report No: <b>2</b>         | Job No: <b>22315</b> |
| Inspected By: <b>John O'Hagan</b>                                         |                             |                      |
| Contractors Representative: <b>GJ Gardner</b><br><b>Fax (04) 298 7910</b> |                             |                      |
| Project: <b>131 King Arthur Drive</b>                                     | Area Inspected: <b>Soil</b> |                      |
| Weather: <b>Fine</b><br>Time: <b>8:00am</b>                               |                             |                      |

The peat layer has been removed and replaced with compacted sand. We have Scala probed the compacted sand, results attached. Generally the sand has been compacted well and the bearing capacity is as per the requirements of NZS3604:1999 for good ground. In probe location 1, 3, and 5 there is up to 200mm sand that could do with a bit more compaction; we have instructed the contractor roll over these areas with the front end loader to try to get a bit more compaction (4 or 5 passes).

It is acceptable to place the 300mm layer of compacted base course material over the sand.

Regards

**John O'Hagan**  
**DIRECTOR**

|            |                       |  |                                     |  |
|------------|-----------------------|--|-------------------------------------|--|
| Job Number | 22315                 |  | ISP Consulting Engineers Ltd        |  |
| Date       | 10-Mar-08             |  | Scala Penetrometer Results Sheet    |  |
| Location   | 131 King Arthur Drive |  | ISP Centre, 14 Laings Road          |  |
|            |                       |  | P O Box 30535, Lower Hutt           |  |
|            |                       |  | Tel (04) 566 8004 Fax (04) 566 8037 |  |
| Client     | GJ Gardner            |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |
|            |                       |  |                                     |  |

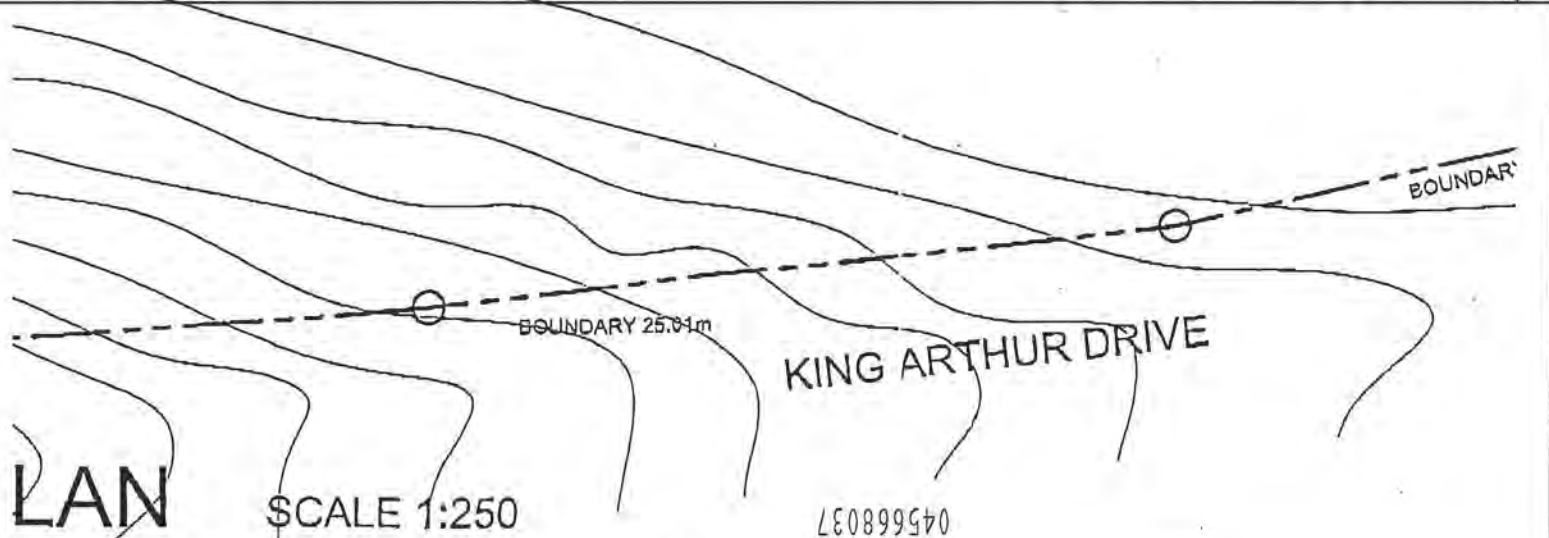
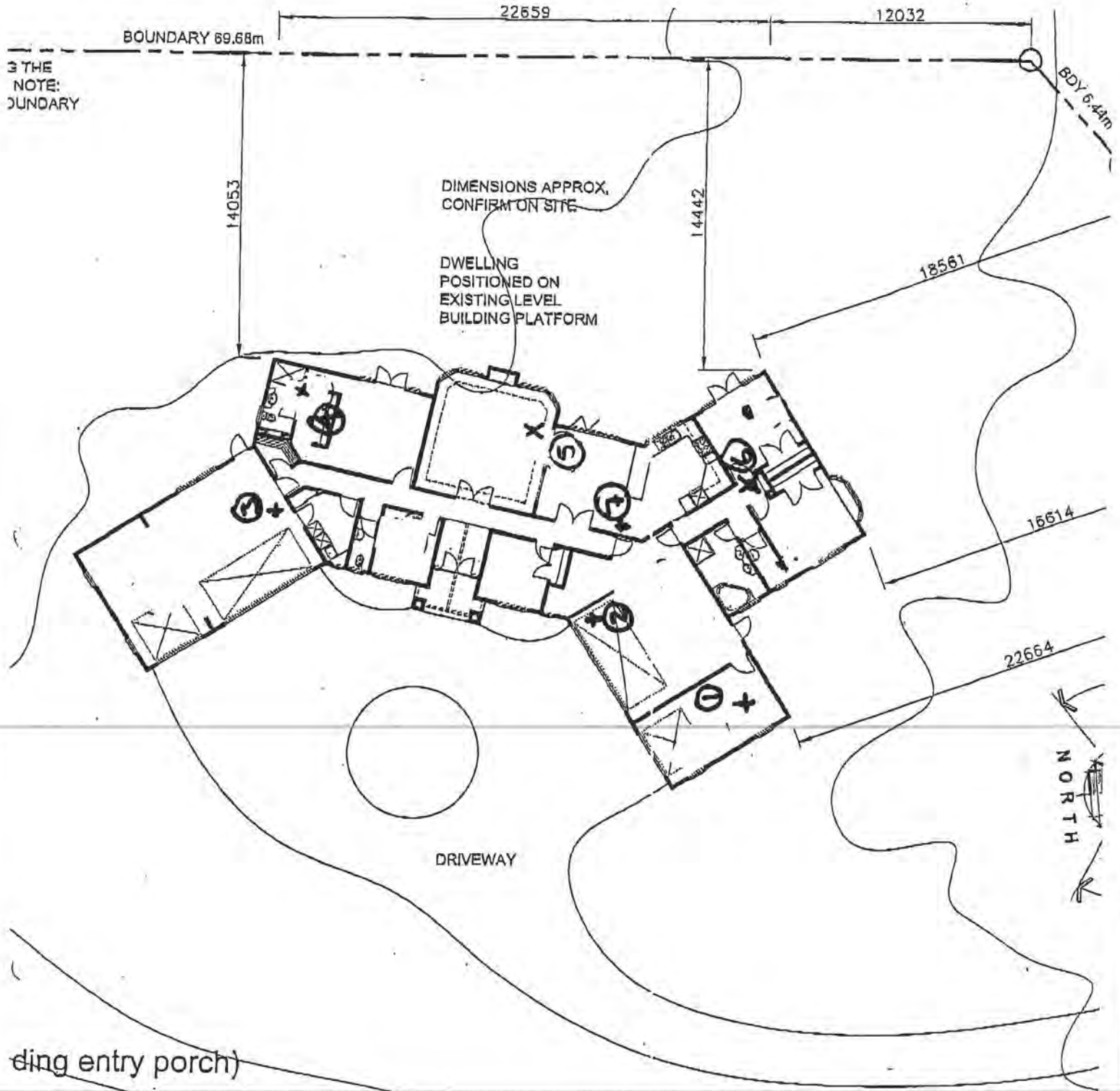
| Job Number |     | 22315                 |   | ISP Consulting Engineers Ltd        |    |
|------------|-----|-----------------------|---|-------------------------------------|----|
| Date       |     | 10-Mar-08             |   | Scala Penetrometer Results Sheet    |    |
| Location   |     | 131 King Arthur Drive |   | ISP Centre, 14 Lalngs Road          |    |
| Client     |     | GJ Gardner            |   | P O Box 30535, Lower Hutt           |    |
|            |     |                       |   | Tel (04) 566 8004 Fax (04) 566 8037 |    |
| Notes      |     | Probe Number 4        |   | Probe Number 5                      |    |
|            |     |                       |   |                                     |    |
| Depth      | No. | 0                     | 5 | 10                                  | 15 |
| 50         | 0   |                       |   |                                     |    |
| 100        | 1   |                       |   |                                     |    |
| 150        | 1   |                       |   |                                     |    |
| 200        | 2   |                       |   |                                     |    |
| 250        | 2   |                       |   |                                     |    |
| 300        | 2   |                       |   |                                     |    |
| 350        | 3   |                       |   |                                     |    |
| 400        | 3   |                       |   |                                     |    |
| 450        | 3   |                       |   |                                     |    |
| 500        | 3   |                       |   |                                     |    |
| 550        | 3   |                       |   |                                     |    |
| 600        | 3   |                       |   |                                     |    |
| 650        | 8   |                       |   |                                     |    |
| 700        | 0   |                       |   |                                     |    |
| 750        | 0   |                       |   |                                     |    |
| 800        | 0   |                       |   |                                     |    |
| 850        | 0   |                       |   |                                     |    |
| 900        | 0   |                       |   |                                     |    |
| 950        | 0   |                       |   |                                     |    |
| 1000       | 0   |                       |   |                                     |    |
| 1050       | 0   |                       |   |                                     |    |
| 1100       | 0   |                       |   |                                     |    |
| 1150       | 0   |                       |   |                                     |    |
| 1200       | 0   |                       |   |                                     |    |
| 1250       | 0   |                       |   |                                     |    |
| 1300       | 0   |                       |   |                                     |    |
| 1350       | 0   |                       |   |                                     |    |
| 1400       | 0   |                       |   |                                     |    |
| 1450       | 0   |                       |   |                                     |    |
| 1500       | 0   |                       |   |                                     |    |
| 1550       | 0   |                       |   |                                     |    |
| 1600       | 0   |                       |   |                                     |    |
| 1650       | 0   |                       |   |                                     |    |
| 1700       | 0   |                       |   |                                     |    |
| 1750       | 0   |                       |   |                                     |    |
| 1800       | 0   |                       |   |                                     |    |
| 1850       | 0   |                       |   |                                     |    |
| 1900       | 0   |                       |   |                                     |    |
| 1950       | 0   |                       |   |                                     |    |
| 2000       | 0   |                       |   |                                     |    |
| 2050       | 0   |                       |   |                                     |    |
| 2100       | 0   |                       |   |                                     |    |
| 2150       | 0   |                       |   |                                     |    |
| 2200       | 0   |                       |   |                                     |    |
| 2250       | 0   |                       |   |                                     |    |
| 2300       | 0   |                       |   |                                     |    |
| 2350       | 0   |                       |   |                                     |    |
| 2400       | 0   |                       |   |                                     |    |
| 2450       | 0   |                       |   |                                     |    |
| 2500       | 0   |                       |   |                                     |    |
| 2550       | 0   |                       |   |                                     |    |
| 2600       | 0   |                       |   |                                     |    |
| 2650       | 0   |                       |   |                                     |    |
| 2700       | 0   |                       |   |                                     |    |
| 2750       | 0   |                       |   |                                     |    |
| 2800       | 0   |                       |   |                                     |    |
| 2850       | 0   |                       |   |                                     |    |
| 2900       | 0   |                       |   |                                     |    |
| 2950       | 0   |                       |   |                                     |    |
| 3000       | 0   |                       |   |                                     |    |
| 3050       | 0   |                       |   |                                     |    |
| 3100       | 0   |                       |   |                                     |    |
| 3150       | 0   |                       |   |                                     |    |
| 3200       | 0   |                       |   |                                     |    |
| 3250       | 0   |                       |   |                                     |    |
| 3300       | 0   |                       |   |                                     |    |
| 3350       | 0   |                       |   |                                     |    |
| 3400       | 0   |                       |   |                                     |    |
| 3450       | 0   |                       |   |                                     |    |
| 3500       | 0   |                       |   |                                     |    |

|            |                |                       |   |                                     |                |    |       |     |                |   |    |    |
|------------|----------------|-----------------------|---|-------------------------------------|----------------|----|-------|-----|----------------|---|----|----|
| Job Number |                | 22315                 |   | ISP Consulting Engineers Ltd        |                |    |       |     |                |   |    |    |
| Date       |                | 10-Mar-08             |   | Signed _____                        |                |    |       |     |                |   |    |    |
| Location   |                | 131 King Arthur Drive |   | Scala Penetrometer Results Sheet    |                |    |       |     |                |   |    |    |
| Client     |                | GJ Gardner            |   | ISP Centre, 14 Laings Road          |                |    |       |     |                |   |    |    |
|            |                |                       |   | P O Box 30535, Lower Hutt           |                |    |       |     |                |   |    |    |
|            |                |                       |   | Tel (04) 566 8004 Fax (04) 566 8037 |                |    |       |     |                |   |    |    |
| Notes      | Probe Number 7 |                       |   |                                     | Probe Number 8 |    |       |     | Probe Number 9 |   |    |    |
|            | Depth          | No.                   | 0 | 5                                   | 10             | 15 | Depth | No. | 0              | 5 | 10 | 15 |
|            | 50             | 0                     |   |                                     |                |    | 50    | 0   |                |   |    |    |
|            | 100            | 1                     |   |                                     |                |    | 100   | 0   |                |   |    |    |
|            | 150            | 2                     |   |                                     |                |    | 150   | 0   |                |   |    |    |
|            | 200            | 3                     |   |                                     |                |    | 200   | 0   |                |   |    |    |
|            | 250            | 3                     |   |                                     |                |    | 250   | 0   |                |   |    |    |
|            | 300            | 4                     |   |                                     |                |    | 300   | 0   |                |   |    |    |
|            | 350            | 5                     |   |                                     |                |    | 350   | 0   |                |   |    |    |
|            | 400            | 5                     |   |                                     |                |    | 400   | 0   |                |   |    |    |
|            | 450            | 8                     |   |                                     |                |    | 450   | 0   |                |   |    |    |
|            | 500            | 0                     |   |                                     |                |    | 500   | 0   |                |   |    |    |
|            | 550            | 0                     |   |                                     |                |    | 550   | 0   |                |   |    |    |
|            | 600            | 0                     |   |                                     |                |    | 600   | 0   |                |   |    |    |
|            | 650            | 0                     |   |                                     |                |    | 650   | 0   |                |   |    |    |
|            | 700            | 0                     |   |                                     |                |    | 700   | 0   |                |   |    |    |
|            | 750            | 0                     |   |                                     |                |    | 750   | 0   |                |   |    |    |
|            | 800            | 0                     |   |                                     |                |    | 800   | 0   |                |   |    |    |
|            | 850            | 0                     |   |                                     |                |    | 850   | 0   |                |   |    |    |
|            | 900            | 0                     |   |                                     |                |    | 900   | 0   |                |   |    |    |
|            | 950            | 0                     |   |                                     |                |    | 950   | 0   |                |   |    |    |
|            | 1000           | 0                     |   |                                     |                |    | 1000  | 0   |                |   |    |    |
|            | 1050           | 0                     |   |                                     |                |    | 1050  | 0   |                |   |    |    |
|            | 1100           | 0                     |   |                                     |                |    | 1100  | 0   |                |   |    |    |
|            | 1150           | 0                     |   |                                     |                |    | 1150  | 0   |                |   |    |    |
|            | 1200           | 0                     |   |                                     |                |    | 1200  | 0   |                |   |    |    |
|            | 1250           | 0                     |   |                                     |                |    | 1250  | 0   |                |   |    |    |
|            | 1300           | 0                     |   |                                     |                |    | 1300  | 0   |                |   |    |    |
|            | 1350           | 0                     |   |                                     |                |    | 1350  | 0   |                |   |    |    |
|            | 1400           | 0                     |   |                                     |                |    | 1400  | 0   |                |   |    |    |
|            | 1450           | 0                     |   |                                     |                |    | 1450  | 0   |                |   |    |    |
|            | 1500           | 0                     |   |                                     |                |    | 1500  | 0   |                |   |    |    |
|            | 1550           | 0                     |   |                                     |                |    | 1550  | 0   |                |   |    |    |
|            | 1600           | 0                     |   |                                     |                |    | 1600  | 0   |                |   |    |    |
|            | 1650           | 0                     |   |                                     |                |    | 1650  | 0   |                |   |    |    |
|            | 1700           | 0                     |   |                                     |                |    | 1700  | 0   |                |   |    |    |
|            | 1750           | 0                     |   |                                     |                |    | 1750  | 0   |                |   |    |    |
|            | 1800           | 0                     |   |                                     |                |    | 1800  | 0   |                |   |    |    |
|            | 1850           | 0                     |   |                                     |                |    | 1850  | 0   |                |   |    |    |
|            | 1900           | 0                     |   |                                     |                |    | 1900  | 0   |                |   |    |    |
|            | 1950           | 0                     |   |                                     |                |    | 1950  | 0   |                |   |    |    |
|            | 2000           | 0                     |   |                                     |                |    | 2000  | 0   |                |   |    |    |
|            | 2050           | 0                     |   |                                     |                |    | 2050  | 0   |                |   |    |    |
|            | 2100           | 0                     |   |                                     |                |    | 2100  | 0   |                |   |    |    |
|            | 2150           | 0                     |   |                                     |                |    | 2150  | 0   |                |   |    |    |
|            | 2200           | 0                     |   |                                     |                |    | 2200  | 0   |                |   |    |    |
|            | 2250           | 0                     |   |                                     |                |    | 2250  | 0   |                |   |    |    |
|            | 2300           | 0                     |   |                                     |                |    | 2300  | 0   |                |   |    |    |
|            | 2350           | 0                     |   |                                     |                |    | 2350  | 0   |                |   |    |    |
|            | 2400           | 0                     |   |                                     |                |    | 2400  | 0   |                |   |    |    |
|            | 2450           | 0                     |   |                                     |                |    | 2450  | 0   |                |   |    |    |
|            | 2500           | 0                     |   |                                     |                |    | 2500  | 0   |                |   |    |    |
|            | 2550           | 0                     |   |                                     |                |    | 2550  | 0   |                |   |    |    |
|            | 2600           | 0                     |   |                                     |                |    | 2600  | 0   |                |   |    |    |
|            | 2650           | 0                     |   |                                     |                |    | 2650  | 0   |                |   |    |    |
|            | 2700           | 0                     |   |                                     |                |    | 2700  | 0   |                |   |    |    |
|            | 2750           | 0                     |   |                                     |                |    | 2750  | 0   |                |   |    |    |
|            | 2800           | 0                     |   |                                     |                |    | 2800  | 0   |                |   |    |    |
|            | 2850           | 0                     |   |                                     |                |    | 2850  | 0   |                |   |    |    |
|            | 2900           | 0                     |   |                                     |                |    | 2900  | 0   |                |   |    |    |
|            | 2950           | 0                     |   |                                     |                |    | 2950  | 0   |                |   |    |    |
|            | 3000           | 0                     |   |                                     |                |    | 3000  | 0   |                |   |    |    |
|            | 3050           | 0                     |   |                                     |                |    | 3050  | 0   |                |   |    |    |
|            | 3100           | 0                     |   |                                     |                |    | 3100  | 0   |                |   |    |    |
|            | 3150           | 0                     |   |                                     |                |    | 3150  | 0   |                |   |    |    |
|            | 3200           | 0                     |   |                                     |                |    | 3200  | 0   |                |   |    |    |
|            | 3250           | 0                     |   |                                     |                |    | 3250  | 0   |                |   |    |    |
|            | 3300           | 0                     |   |                                     |                |    | 3300  | 0   |                |   |    |    |
|            | 3350           | 0                     |   |                                     |                |    | 3350  | 0   |                |   |    |    |
|            | 3400           | 0                     |   |                                     |                |    | 3400  | 0   |                |   |    |    |
|            | 3450           | 0                     |   |                                     |                |    | 3450  | 0   |                |   |    |    |
|            | 3500           | 0                     |   |                                     |                |    | 3500  | 0   |                |   |    |    |

## ISP Soil Probe Recording Sheet

|              |                       |        |                              |
|--------------|-----------------------|--------|------------------------------|
| Job Number   | 22315                 | Signed | ISP Consulting Engineers Ltd |
| Date         | 10-Mar-08             |        | Scala Penetrometer Record    |
| Location     | 131 King Arthur Drive |        | ISP Centre, 14 Laings Road   |
|              |                       |        | P O Box 30535, Lower Hutt    |
| Client       | GJ Gardner            |        | Tel (04) 566 8004            |
| Probe Number |                       |        | Fax (04) 566 8037            |

| Depth       | 1 |   | 2 |   | 3 |   | 4 |   | 5 |   | 6 |   | 7 |   | 8 |  |
|-------------|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|--|
| 0 - 100     | 0 | 1 | 1 | 1 | 1 | 1 | 0 | 1 | 0 | 1 | 0 | 1 | 0 | 1 |   |  |
| 100 - 200   | 1 | 1 | 2 | 3 | 1 | 1 | 1 | 2 | 1 | 1 | 2 | 2 | 2 | 3 |   |  |
| 200 - 300   | 1 | 1 | 3 | 4 | 2 | 2 | 2 | 2 | 2 | 2 | 3 | 3 | 3 | 4 |   |  |
| 300 - 400   | 1 | 3 | 4 | 3 | 3 | 3 | 3 | 3 | 3 | 4 | 4 | 4 | 5 | 5 |   |  |
| 400 - 500   | 3 | 5 | 4 | 3 | 4 | 5 | 3 | 3 | 5 | 5 | 5 | 5 | 8 |   |   |  |
| 500 - 600   | 8 |   | 8 |   | 5 | 5 | 3 | 3 | 6 |   | 5 |   |   |   |   |  |
| 600 - 700   |   |   |   |   | 8 |   | 8 |   |   |   |   |   |   |   |   |  |
| 700 - 800   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |  |
| 800 - 900   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |  |
| 900 - 1000  |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |  |
| 1000 - 1100 |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |  |
| 1100 - 1200 |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |  |
| 1200 - 1300 |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |  |
| 1300 - 1400 |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |  |
| 1400 - 1500 |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |  |
| 1500 - 1600 |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |  |
| 1600 - 1700 |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |  |
| 1700 - 1800 |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |  |
| 1800 - 1900 |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |  |
| 1900 - 2000 |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |  |
| 2000 - 2100 |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |  |
| 2100 - 2200 |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |  |
| 2200 - 2300 |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |  |
| 2300 - 2400 |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |  |
| 2400 - 2500 |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |  |
| 2500 - 2600 |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |  |
| 2600 - 2700 |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |  |
| 2700 - 2800 |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |  |
| 2800 - 2900 |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |  |
| 2900 - 3000 |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |  |
| 3000 - 3100 |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |  |
| 3100 - 3200 |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |  |
| 3200 - 3300 |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |  |
| 3300 - 3400 |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |  |
| 3400 - 3500 |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |  |
| 3500 - 3600 |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |  |
| 3600 - 3700 |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |  |
| 3700 - 3800 |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |  |
| 3800 - 3900 |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |  |
| 3900 - 4000 |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |  |
| 4000 - 4100 |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |  |
| 4100 - 4200 |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |  |
| 4200 - 4300 |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |  |
| 4300 - 4400 |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |  |
| 4400 - 4500 |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |  |
| 4500 - 4600 |   |   |   |   |   |   |   |   |   |   |   |   |   |   |   |  |



20 February 2008

GJ Gardner Homes-Kapiti/Porirua  
PO Box 765  
Paraparaumu

**Building Consent: 080035**

Dear Sir/Madam

**Request for further information**

*Information received 26/2/08  
Bill Solomon submitted requested  
information.*

**Description:** New Dwelling  
**Location:** 131 King Arthur Drive, Paraparaumu  
**Legal Description:** LOT 5 DP 369877 C/T 283489

Unfortunately, we are unable to process your Building Consent Application until we receive the information detailed below.

**Information Needed:**

1. Manufactures specification for stone feature
  2. Detail for fixing decorative timber to gable ends (as per manufactures specification)
  3. P.S.1 by engineer for steel portal to entrance
- 21/2/08  
sent detail to Rockcote, Rockcote OK'd detail, and sent  
new detail for join  
between x2 claddings*

We have suspended your application and will not proceed any further until the above information is received.

Please contact me if you would like to discuss this matter.

Yours sincerely

*all received. ✓*

18 February 2008

Kapiti Coast District Council  
Building Inspectors  
Attention: Andrew

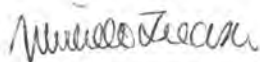
Dear Andrew

**RE: BC080035P, Lot 5 131 King Arthur Drive, Otaihanga**

As requested I am writing to confirm that Wells Construction Ltd T/- G J Gardner Homes Kapiti/Porirua will supply a compaction certificate from ISP Consulting Ltd certifying the suitability of the soil for laying the slab in the localised "soft areas" after our site scrape at Lot 5, 131 King Arthur Drive has been completed and prior to preparing the foundation.

Should you require any further assistance or information, please contact the undersigned or our Construction Supervisor: Bill Solomon on 027 682 2999.

Yours faithfully



**Michelle Leask**  
Director

NEW ZEALAND'S FAVOURITE HOME BUILDERS



JOH/ah/J22315

3 December 2007

Michelle Leask  
G. J Gardner Homes  
PO Box 765  
Paraparaumu

Fax (04) 298 7910

Dear Michelle,

**Report on Ground Conditions  
Lot 5 King Arthur Drive - Paraparaumu**

We confirm we have investigated the above site with respect to the proposed residential development and carried out Scala Penetrometer soil test. The results of those tests are appended.

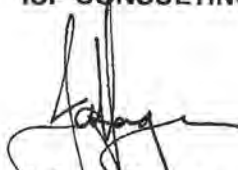
With the exception around the entry area and main bathroom, the Scala test results indicate that the soil generally has a minimum dependable bearing capacity of 200kPa, 300mm below the existing ground level. The Scala results around the entry area and main bathroom indicate the top 300mm is firm then softer for a depth of 500mm before becoming very firm below 800mm. The results suggest these are two very localised soft spots.

In our opinion foundations designed in accordance with the non specific design standard NZS3604:1999 – "Timber Framed Buildings" will be adequate for the proposed dwelling.

If the Council inspector identifies the "soft spot" areas to be of concern a suitably qualified Engineer should be engaged to review these specific areas and if required specifically design the foundations in these areas. This can be determined on site during construction.

We trust this meets your requirements. Feel free to contact us with any further queries or comments.

Yours sincerely,  
**ISP CONSULTING ENGINEERS LTD**

  
**John O'Hagan**  
**DIRECTOR**



**ISP CONSULTING  
ENGINEERS LTD**

Civil & Structural  
Seismic Risk Analysis  
Building Compliance

Lower Hutt Office  
Tel: 04 566 8004  
Fax: 04 566 8037  
Level 1, ISP Centre  
14 Laings Road  
P.O. Box 30 535  
Lower Hutt 5010

Paraparaumu Office  
Tel: 04 902 5750  
Level 1 Office 24  
Kayel Building  
Margaret Road  
Raumati Beach  
P.O. Box 537  
Paraparaumu 5254

Email: email@isp.co.nz  
Web: www.isp.co.nz



ISO 9001



BC080035P

4 February 2008

GJ Gardner Homes-Kapiti/Porirua  
PO Box 765  
Paraparaumu

**Re: New Dwelling for Hayden and Kirsty Bradley at 131 King Arthur Drive, Paraparaumu**

I am pleased to advise that the Project Information Memorandum (PIM) component of your Building Consent application, BC080035P, has been completed.

Your proposed building project meets all the requirements of Council's District Plan which means that once you have received your Building Consent you may proceed with construction.

Council's Customer Service group is currently holding the PIM documents so that they can be forwarded to you once your Building Consent is completed however if you require them to be sent earlier please contact our Customer Service staff on 04 2964700.

Yours Sincerely

Sam Mitchell  
**Resource Consents Projects Officer**

**CHECKSHEET** (Effective from 31 March 2005)

**PIM - Project Information Memorandum**

Address Lot 5, 131 King Arthur Drive, Otahanga.

Use this check sheet to assist you in lodging a complete PIM application and to avoid delays in processing. Please attach 2 copies of the following information (unless otherwise specified) with your completed PIM application form. Tick each box which is relevant and ensure you attach the information. If the box is not relevant, please write NA across the box.

Customer use



**a Application form (1 copy)**

Completed and signed by the owner or by an agent on behalf of the owner.



**b Proof of ownership (1 copy)**

One recent copy of current certificate/s of title (i.e. not older than 3 months) or one copy of purchase agreement (if recently purchased) or one copy of relevant portions of current lease



**c Application fee**

Applications will not be accepted without payment of the appropriate fees. Fees payable are set out in the published fee schedule of the council that has jurisdiction over the project site.



**d Locality plan (1:500) showing:**

Physical location of the site in relation to streets or landmarks, north point, name of building and lot and DP number.



**e Site plan (1:100) showing:**

Dimensions of all boundaries, north point, finished floor levels, ground contours (extend to boundaries) / levels, site area, site coverage, street name and number, lot and DP number, outline of building, area of building, distances to boundaries



**f Drainage plan (1:100) showing:**

Proposed stormwater and wastewater disposal including connections to Council mains (not required if included on site plan)



**g Elevations (1:100/1:50) showing:**

Accurate lines from boundary to boundary on each elevation, relevant District Plan daylight control lines, the maximum height on each elevation, location of door and window openings, floor levels in relation to ground levels, exterior cladding nominated to all elevations



**h Vehicle access plans showing:**

- Location and extent of driveway relative to existing legal boundaries of the site, public footpath/roadway and, where relevant, other features (e.g. house, wall, fence, tree) that potentially effect visibility and manoeuvring
- long-section (1:100) showing proposed levels and gradients along the centreline; on wide or tight-turning accesses, three long-sections along left, centre and right
- location and area of parking spaces

For office use only



The following Councils developed this checksheet in partnership: Kapiti Coast District, Porirua City, Wellington City, Hutt City, Upper Hutt City.

## CHECKSHEET (Effective from 31 March 2005)

### Single Residential Dwelling and Accessory Building

Use for single stand-alone dwellings, dwelling additions and/or alterations, repiles, garages, decks, gazebos, sheds, retaining walls, etc

For use with applications for building consent

Address Lot 5, 131 King Arthur Drive, Otahanga.

This checklist shows you the information that has to be supplied with your building consent application. Please attach 2 copies of the following information (unless otherwise specified) with your completed Building Consent Application form.

Please tick each relevant box in the Customer Use column as you attach the information. If the box is not relevant to your application, write NA across the box. Please check each section carefully and complete those sections that are relevant to your project.

A guidance document is available to help complete the section in the application form on 'means of compliance' for each building code clause

Once you have attached all the required information, please check for completeness as an incomplete application or lack of any supporting information will mean that your application cannot be accepted for processing.

Customer  
use

### 1. GENERAL

#### COMPLETE FOR ALL APPLICATIONS



#### a Building Consent Application Form (1 copy)

Completed and signed by the owner or by an agent on behalf of the owner.



#### b Proof of ownership (1 copy)

One recent copy of current certificate/s of title (i.e. not older than 3 months) or one copy of purchase agreement (if recently purchased) or one copy of relevant portions of current lease



#### c Locality plan (1:500) showing:

Physical location of the subject building in relation to streets or landmarks, north point, name of building and lot and DP number



#### d Inspections and monitoring

Details of proposed inspection regime including monitoring by council officers and other professionals eg architects, engineers, surveyors and certification to be supplied on completion.



#### e Application fee

Applications will not be accepted without payment of the appropriate fees. Fees payable are set out in the published fee schedule of the council that has jurisdiction over the project site.

For office use  
only



## 2. DEMOLITION / REMOVAL

**COMPLETE FOR ALL PROJECTS INVOLVING DEMOLITION OF SIGNIFICANT PARTS OF BUILDINGS OR THE DEMOLITION OR REMOVAL OF WHOLE BUILDINGS.**

**Note:** Where the project is only for the complete removal or demolition of a building you are not required to complete any further sections

- ☐ a **Means of barricading the site**  
Provide details of temporary barriers, gates which swing inwards or other means of restricting public access to the area
- ☐ b **Proposed tipping location for demolition materials (address/landfill)**
- ☐ c **Hazardous building materials**  
Provide safety plan detailing the safe handling and disposal of hazardous materials
- ☐ d **Site management plan covering**  
management to control silt run off, noise and dust
- ☐ e **Proposed destination for relocated building:**
- ☐ f **Access to and from the site including (use of kerb and crossings)**
- ☐ g **Specify termination of existing services**
  - Water
  - Sewer
  - Stormwater
- ☐ h **Details about the building such as:**  
Number of storeys, type of materials the building is constructed of (note: Photographs of the building would be useful)

**Note:** You will need to contact the relevant service authorities specified below to advise them of the extent of your work:

Electricity, gas, drainage, water, transport, telecommunications, cable television or any other services that may be affected.

**Note:** Transportation of relocated building -

You will be required to contact and provide details to Council's Transportation and Traffic Department

## 3. FOUNDATIONS / FLOOR

**COMPLETE FOR ALL NEW BUILDINGS, FOR EXISTING BUILDINGS WHERE THE FOOTPRINT OF THE BUILDING WILL CHANGE OR WHERE AN ADDITIONAL STOREY IS BEING ADDED**

- ☒ a **Site Plan (1:100) showing**  
Dimensions of all boundaries, north point, finished floor levels, ground contours (extended to boundaries) and/or levels, site area, street name and number, lot and DP number, outline of building and distances to boundaries. Include on the site plan the designated wind zone of the site ( e.g. specific design, very high, high, medium or low)
- ☒ b **Foundation plan (1:100/1:50) showing:**
  - dimensions of all new foundations
  - sub-floor, including bracing
  - footing details
  - if a concrete slab, show basic details including reinforcing and contractions joints
  - piles and footings
- ☒ c **Subfloor bracing**  
Provide subfloor bracing plan and calculations for all piled structures. Where the structure is specifically engineered, this should be included with the structural calculations  
Subfloor bracing plan and calculations are required where an additional storey is to be added.
- ☒ d **Foundation details**  
Details including reinforcing and connections

#### 4. CONSTRUCTION

##### COMPLETE FOR ALL NEW STRUCTURES OR ALTERATIONS TO EXISTING STRUCTURES



a Existing floor plan (1:100/1:50) showing  
(for additions and alterations only)

- all levels
- all designated spaces
- all removals
- sanitary fixtures
- smoke detectors



a Proposed floor plans (1:100/1:50) showing:

- room dimensions
- location of partitions
- all designated spaces
- all floors (new or altered)
- location of sanitary fixtures
- stairs, barriers, handrails, floor joists and beams
- floor joist layout for each level with timber floors
- smoke detectors



b Wall bracing plan (1:100/1:50) showing:

Bracing details and calculations for wall bracing (also required for existing lower storeys where an additional storey is being added)

Sub-floor bracing for decks projecting more than 2m from the house

Location, type and number of bracing elements to indicate compliance with NZS 3604:1900 (include calculations)

If the bracing was specifically designed by a structural engineer, provide calculations (required for specific design wind zones and lateral distribution of upper floor loads where lower storey bracing is provided in walls beyond the upper storey footprint)



c Sections and details (1:50/1:20/1:10) showing:

- stairs, handrails, decks and decking
- insulation systems and materials to floors, walls and roof
- barriers providing safety from falling. Specific engineering design required where detail does not comply with NZBC B1/AS2
- framing sizes, beams, lintels, trusses including fixing and other structural items. Lintels carrying point loads, such as from girder trusses, require specific engineering design
- roof cladding, eaves, fascias, gutters, flashings to openings
- fire rated systems on all walls - closer than 1 metre to boundary
- stud heights of rooms and total height from lowest ground floor level to top of ridge
- truss layout supported by design certificate and design of fixing details and load path to ground
- retaining wall details e.g. type, height of retained ground, relationship to boundary, waterproof membrane and proposed drainage.
- truss design details



d Fire report:

For domestic dwellings of 4 storeys or more, or buildings providing more than one household unit.

#### 5. STRUCTURAL

##### COMPLETE FOR ALL PROJECTS INCORPORATING SPECIFIC STRUCTURAL



a Structural calculations

If any design work required the services of a structural engineer, attach 2 copies of the calculations with this application along with structural drawings

The calculations must be prefaced with information explaining the design philosophy and justification of assumptions and methodologies used in analysis



b Producer statements:

If this application for consent relies on any producer statements certifying compliance with the New Zealand Building Code, a copy must be attached with this application. (Note all structural producer statements are required to have accompanying calculations)

## 6. EXTERNAL

### COMPLETE FOR NEW BUILDINGS OR EXISTING BUILDINGS WITH ALTERATIONS TO THE EXTERNAL SHELL



#### a Elevations (1:100/1:50) showing:

Accurate lines from boundary to boundary on each elevation, relevant District Plan daylight control lines, the maximum height on each elevation, location of door and window openings, fixed and opening sashes, sill heights, floor levels in relation to ground levels, exterior cladding nominated to all elevations, down pipes and spouting, ventilators to sub-floor area (suspended floors only)



#### b Risk assessment

(Risk matrix in E2/AS1 may be used)

Consider exposure, design and detailing to support appropriate selection of cladding



#### c Cladding details (1:50/1:20/1:10)

Provide details around all penetrations, joinery and other junctions at a level appropriate to the level of risk e.g. roof/wall, balcony/ wall, junction of different types of cladding, backflashing details for cavity systems



#### d Product certification

Supply copies of product certificates relied on as compliance documents



#### e Alternative solutions

If the proposal uses products or systems that are not covered in the Acceptable Solutions of clause E2 of the building code provide supporting current information including independent test results (full signed reports), case studies, expert opinion (including evidence of experience/qualification, basis for forming opinion, and statement of independence) etc to demonstrate compliance

## 7. SERVICES

### COMPLETE FOR ALL PROJECTS WITH NEW INSTALLATION OR ALTERATION OF PLUMBING OR DRAINAGE SERVICES



#### a Plumbing and Drainage plan (1:100) showing:

Note: If you have supplied drainage details for surface water disposal on the site plan, no drainage plan is required

- fixtures and fittings, hotwater system(s)
- if the building is more than one storey with sanitary fittings on upper floors, provide an isometric layout showing wastes, pipes and falls
- drainage layout with inspection bends and junctions indicated for both sewer and stormwater
- any other drainage on site including council mains and retaining wall field drains
- ventilation of sanitary rooms
- calculations for sizing of downpipes

## 8. CHANGE OF USE

### COMPLETE FOR ALL EXISTING BUILDINGS WHERE THE PROPOSAL INVOLVES FORMING A HOUSEHOLD UNIT WHERE ONE DID NOT EXIST BEFORE

Example: the conversion of a garage or shed into a residential unit



#### a Assessment of the building for compliance with the building code

Section 115(a) of the Building Act 2004 requires that the work comply fully with all clauses of the building code.



#### b Reasonably practicable

The above assessment must relate to all building code clauses. If the proposal is for the project to meet anything less than full compliance with any clauses, your application must clearly state your reasoning, with supporting documentation, and show how you will meet the highest level of compliance that can be considered reasonably practicable.

## 9. SPECIFICATIONS

### COMPLETE FOR ALL APPLICATIONS

*Note: The specification must be specific to the project and cover all aspects of the proposed work.*



#### a Specification: General

- elements of structure (size, spacing, timber treatment)
- finish of fixings to meet durability requirements
- plumbing and drainage materials and design that installation is to comply with
- wet area surfaces
- ventilation systems
- flooring slip resistance for access routes
- glazing
- type of smoke detectors (including existing smoke detectors where they will remain)



#### b External claddings

For each of the following claddings provide details of the product name, manufacturer, maintenance requirements and warranties offered

- Building wraps
- Wall claddings
- Roof claddings
- Membranes (roofs and decks)
- Tanking
- Joinery



### NOTES

The issue of a building consent does not relieve the owner of any duty or responsibility under any other act

Please check with your local territorial authority regarding the requirement for other approvals required and fees payable. These may include:

- Consents under the Resource Management Act
- Approvals under bylaws including earthworks, vehicle crossings and road openings

# DWELLING PROCESSING CHECKLIST

BC 080P35

No = Plans, specifications & documentation not complying with the Building Code (specified alongside each prompt)

Yes = Plans, specifications & documentation complying with the Building Code. (specified alongside each prompt)

N/A = Not Applicable to this application.

Category 1

## Site Plan (NZS 3604 Sec 3.4, 4.5 Code clB1, F1&F2)

Comments

N/A NO YES

- ☐ ☐ ☒ Wind zone High ~~High~~ Specific..... NZS 3604
- ☐ ☒ ☒ Flooding / ponding ..... GIS District plan No
- ☐ ☐ ☒ Hazards ..... F1 F2 & Sec 71-74 Bld Act None
- ☐ ☐ ☒ Corrosion zone ..... B2 & NZS 3604 No
- ☐ ☐ ☒ Soil conditions ..... B1 NZS 3604 OK check site notes, engineer penetrometer test.
- ☐ ☐ ☒ Distances to boundaries/siting ..... District plan Planning
- ☐ ☐ ☒ Floor levels/ contours ..... E2/AS1 & NZS 3604 E1 "
- ☐ ☐ ☒ Two or More Allotments ..... Sec 75 - 83 Bld Act "
- ☐ ☐ ☒ Specific Design (list all items) civil design (rubble floor slab) Deke Consulting LTD CP Eng

Note :- all critical engineering to be accompanied by a design and calculations

## Concrete / Foundation Plan (NZS 3604 NZS 4210 & 4229 E2/AS1)

Comments

Layout

- ☐ ☐ ☒ Layout dimensions..... NZS 3604
- ☐ ☐ ☒ Control joints..... NZS 3604
- ☐ ☐ ☒ Slab thickening..... NZS 3604
- ☐ ☐ ☒ Plumbing layout..... NZS 3500

Section

- ☐ ☐ ☒ Depth & width..... NZS 3604
- ☐ ☐ ☒ Reinforcement..... NZS 3604;B2
- ☐ ☐ ☒ Plate fixings..... NZS 3604;B2
- ☐ ☐ ☒ DPM..... NZS 3604;B2
- ☐ ☐ ☒ Engineer design and Calcs..... B1;B2
- ☐ ☐ ☒ Concrete strength..... B1;B2

*by engineer.*  
*PSI Deke Consulting LTD*  
*Compaction certificate to be supplied*  
*by CP Eng.*

## Timber / Subfloor Plan (NZS3604 NZS 3602 & 3640, B1)

Comments

Layout

- ☐ ☐ ☐ Layout dimensions
- ☐ ☐ ☐ Bearers details..... B1;B2
- ☐ ☐ ☐ Joist details..... B1;B2

Section

- ☐ ☐ ☐ Foundation type/size..... NZS 3604;B2
- ☐ ☐ ☐ Piles post sizes & treatment ..... NZS 3604;3602;3640;B2
- ☐ ☐ ☐ Pile c/c..... NZS 3604
- ☐ ☐ ☐ Fixing..... NZS 3604;B2
- ☐ ☐ ☐ Ventilation & Access to sub floor spaces ..... NZS 3604

If the addition is an upper storey show details on upgrading existing foundations, joints, piles, etc (may require Engineer design)

## Floor plans / layout

Comments

### General

N/A NO YES

- ☐ ☐ ☒ Room dimensions
- ☐ ☐ ☒ Sectional lines
- ☐ ☒ ☒ Location of partitions
- ☐ ☐ ☒ All designated spaces
- ☐ ☐ ☒ Location of sanitary fixtures
- ☐ ☐ ☒ Lintels..... NZS 3604:B2
- ☐ ☐ ☒ Beams..... NZS 3604, by engineer
- ☐ ☐ ☒ Point loads by engineer or pre-nailer....B1 B2
- ☐ ☐ ☒ Smoke detectors.....F7

Portal beam by Deke Consulting crBy

} all lintel beams and point loads covered by Placemakers P/s.

Changes to existing work requires both an existing floor plan & a proposed floor plans

### Kitchen

- ☐ ☐ ☒ Sink ..... G3/AS1
- ☐ ☐ ☒ Hot & cold supply.....G12
- ☐ ☐ ☒ Food preparation surface.....G3/AS1
- ☐ ☐ ☒ Waste water....G13. - Simon Corp
- ☐ ☐ ☒ Cooking area..... G3
- ☐ ☐ ☒ Space for refrigerator.....G3
- ☐ ☐ ☒ Energy source.....G11& G9
- ☐ ☐ ☒ Impervious surfaces.....G3

Refer P&D

Facility provided for washing utensils / food G3, Section 1.1 & Figure 1:  
Preparation Area and Access to Facility Paragraphs 1.1.2 and 1.5

### Wet areas / WCs NZS 3602: 2003 sec. 10.3.1 ;D1, Table 2.

- ☐ ☐ ☒ Non-slip flooring.....D1 table2
- ☐ ☐ ☒ Waterproofing membrane.....B2 & E2 - manufacture spec included.
- ☐ ☐ ☒ Safety glazing.....F2
- ☒ ☐ ☐ Accidental overflow provision if multi-unit dwelling

### Laundry G2/AS1, cl 1.01&2; E3/AS1 cl 3.1.

- ☐ ☐ ☒ Laundry tub or space .....G2/AS1
- ☐ ☐ ☒ Water and electric power .....G9
- ☐ ☐ ☒ Splash protection .....E3/AS1

## Wall / Framing

Comments

### General

- ☐ ☐ ☒ Identify engineering / Structural items. ....B1 B2
- ☐ ☐ ☒ By pre-nailer or to NZS 3604
- ☐ ☐ ☒ Fixing types ..... NZS 3604
- ☐ ☐ ☒ Stud c/c as per wind zone.... NZS 3604
- ☐ ☐ ☒ Building wrap..... NZS 3604 E2/AS1 - Tyvek spec supplied. An band tape
- ☐ ☐ ☒ Stud heights of rooms..... NZS 3604
- ☐ ☐ ☒ Wall claddings (see below)

**Roof..... NZS 3604,3602 &3640 B1B2E2**

Comments

**Trussed / by pre-nailer**

- ☐ ☐ ☒ Fixing layout & details.....B1 B2
- ☐ ☐ ☒ Correct layout.....B1
- ☐ ☐ ☒ Max span (12m or Engineer).....B1
- ☐ ☐ ☒ Purlin or batten c/c.....B1 B2

Placemaker s/s

Gerard tiles specs in file

**Framed roof NZS 3604**

- ☐ ☐ ☒ Purlins.....B1 B2
- ☐ ☐ ☒ Gable.....B1 B2
- ☐ ☐ ☒ Rafters.....B1 B2
- ☐ ☐ ☒ Ridge beams.....B1 B2
- ☐ ☐ ☒ Ceiling joists.....B1 B2
- ☐ ☐ ☒ Ceiling battens.....B1 B2
- ☐ ☐ ☒ Collar ties.....B1 B2
- ☐ ☐ ☒ Strong backs.....B1 B2
- ☐ ☐ ☒ Valley boards.....B1 B2
- ☐ ☐ ☒ Under purlins.....B1 B2
- ☐ ☐ ☒ Strutting beam.....B1 B2

**Masonry ; Metal or Profiled Metal**

- ☐ ☐ ☒ Pitch / profile.....B1
- ☐ ☐ ☒ Underlay.....E2
- ☐ ☐ ☒ Flashings.....E3;E2
- ☒ ☐ ☒ Parapets.....B1 E2 B2
- ☐ ☐ ☒ Type or thickness (e.g. 0.4 pressed metal).....B2
- ☐ ☐ ☒ Gutters, Barges & Fascias detail Refer E2, section 8.3, cl 8.3.9

Gerard roof branz appraisal attached to file

- refer gerard tee specs

Installation of profiled metal roof cladding shall be by trained installers, approved by the tile manufacturer or NZ agent. In some cases experienced builders undertake installation, refer E2, section 8.4, cl 8.4.2 'General'.

**Membrane Roofs Code E2/AS1 B2**

- ☐ ☐ ☒ Flashings.....E3
- ☐ ☐ ☒ Limitations.....E2 B2
- ☐ ☐ ☒ Approved installer.....B2
- ☐ ☐ ☒ Substrate thickness.....B2
- ☐ ☐ ☒ Substrate treatment.....B2
- ☐ ☐ ☒ Fall.....E1 E2
- ☐ ☐ ☒ Overflow.....E1
- ☐ ☐ ☒ Wall roof junctions .....E2

Refer also E2, Section 8.5, cl 8.5.4, 'Butyl & EPDM' Note:- a roof plan layout is required for all of the above

**Claddings Code E2/AS1, Branz good practice Guides & Weather tightness Vol 12&3**

Comments

- ☐ ☐ ☒ Cavity.....E2
- ☒ ☐ ☒ Direct fix.....E2
- ☒ ☐ ☒ Brick Veneer.....E2 "The brick book" Branz Masonry Guide
- ☒ ☐ ☒ Timber Weatherboard .....E2 Branz Timber Guide Vol 1&2
- ☐ ☐ ☒ Stucco .....B1 NZS 3604 Branz good practice guide
- ☒ ☐ ☒ Profiled Metal.....E2 Metal Roofing Practice
- ☒ ☐ ☒ Plywood .....E2
- ☒ ☐ ☒ Fiber Cement W/b.....E2
- ☒ ☐ ☒ Weatherboard.....E2 Branz Timber Guide
- ☒ ☐ ☒ Fiber Cement Sheet.....E2
- ☒ ☐ ☒ Board & Batten..... Branz good practice guide

branz appraisal for  
Rockcote attached to file,  
Alrado stone veneer cladding,  
feature wall + pillars

**Bracing** NZS 3604

Comments

- ☒ ☐ ☐ Subfloor bracing.....B1& NZS 3604  
☐ ☐ ☒ Wall bracing..... B1 & NZS 3604  
☐ ☐ ☒ Roof bracing..... B1& NZS 3604  
☐ ☐ ☒ Bracing calculations..... B1 & NZS 3604  
☐ ☐ ☒ Provide bracing plan layout..... B1 & NZS 3604  
☐ ☐ ☒ Double top plate (if > 5m)..... B1 & NZS 3604  
☒ ☐ ☐ Indicate dragon tie (if > 6m)..... B1 & NZS 3604  
☒ ☐ ☐ Diaphragm ceilings (if > 7.5m)..... B1 & NZS 3604  
☐ ☐ ☒ Check for distribution ..... B1 & NZS 3604

*Bracing calcs incorrect but exceeds minimum demand.*

**Light & Ventilation** G4, Clause 1.2 ; G4, clause 1.3 G7 F2

Comments

## General

- ☐ ☐ ☒ Vent 5%.....G4  
☐ ☐ ☒ Light 10%.....G7  
☐ ☐ ☒ Electrical.....G9  
☒ ☐ ☒ Mechanical ventilation.....G4  
☐ ☐ ☒ Exterior space for awareness.....G7

## Glazing

- ☐ ☐ ☒ Safety glass.....F2 NZS 4223,NZS 4211  
☐ ☐ ☒ Wind zone..... B1.& NZS 3604

**Insulation** BRANZ Home Insulation Guide, NZS 4218, AS/NZS 2918

Comments

- ☐ ☐ ☒ Floor .....H1  
☐ ☐ ☒ Wall.....H1  
☐ ☐ ☒ Roof.....H1  
☐ ☐ ☒ Windows/glazing.....H1

**Stairs / Landings / Handrails** D1, sec 4

Comments

- ☐ ☐ ☐ Stair tread & risers.....D1  
☐ ☐ ☐ Landing size.....D1  
☐ ☐ ☐ Handrail.....D1  
☐ ☐ ☐ Riser opening ( min) where children.....D1  
☐ ☐ ☐ Accessibility.....D1

## Stair type

Minor Private: Max rise 220mm/Min tread 220mm,

Secondary Private: Max rise 200mm/Min tread 250mm,

Main Private: Max rise 190mm/Min tread 280mm. (Main private includes exterior stairs)

**Decks / Balconies / Barriers** D1, F4 & NZS 3604, Section6 & 7,

Comments

- ☐ ☐ ☐ Barrier & deck fixing durability.....D1 B1 B2  
☐ ☐ ☐ Top rails, balusters, bottom rails, palings.....D1 B1  
☐ ☐ ☐ If Engineer then calculations required.....B1 B2  
☐ ☐ ☐ Max 3m height or Engineer.....B1 B2  
☐ ☐ ☐ Deck joist sizes, grade, treatment, span & spacing.....D1 B1 B2  
☐ ☐ ☐ Piles & bearers the correct grade, treatment, size, spacing & span.....D1 B1 B2  
☐ ☐ ☐ Slip resistance .....D1  
☐ ☐ ☐ Appropriate waterproofing membrane..... B1 B2  
☐ ☐ ☐ Stringer size & connections .....D1 B1 B2  
☐ ☐ ☐ Thresholds.....D1 E2

|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |  |  |  |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--|--|--|
|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |  |  |  |
| <b>Wood burners / Outbreak of Fire (Solid Fuel / Gas)</b> G12/ AS1 NZS 5261 C/AS1 part 9 – 9.5 <span style="float: right;">Comments</span>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   |  |  |  |
| <input type="checkbox"/> <input type="checkbox"/> <input checked="" type="checkbox"/> Manufacturer specifications including hearth dimensions<br><input type="checkbox"/> <input type="checkbox"/> <input checked="" type="checkbox"/> Flue details<br><input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> Wetback<br><input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> Seismic restraint<br><input type="checkbox"/> <input type="checkbox"/> <input checked="" type="checkbox"/> Gas appliances NZS 5261<br><input type="checkbox"/> <input type="checkbox"/> <input checked="" type="checkbox"/> Ventilation<br><input checked="" type="checkbox"/> <input type="checkbox"/> <input checked="" type="checkbox"/> Open fires c/as1 part 9 – 9.5 |  |  |  |
| <i>Kinnaird gas <sup>man</sup> specs included.</i>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           |  |  |  |
|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |  |  |  |
| <b>Fire</b> NZBC F7; Cdoc <span style="float: right;">Comments</span>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |  |  |  |
| <input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> Travel distances max 24m..... C3.15<br><input type="checkbox"/> <input type="checkbox"/> <input checked="" type="checkbox"/> Smoke detectors..... F7<br><input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> Garage fire wall details ..... C7 (C7.10 C7.8)                                                                                                                                                                                                                                                                                                                                                                                                                           |  |  |  |
|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |  |  |  |
| <b>Swimming Pool &amp; Fencing</b> <i>Fencing of Swimming Pools Act 1987</i> <span style="float: right;">Comments</span>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     |  |  |  |
| <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> Refer to Compliance for sign off<br><input type="checkbox"/> <input type="checkbox"/> <input checked="" type="checkbox"/> Specific Engineering Design<br><input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> Proprietary system/design<br><input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> Section/construction<br><input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> Pool backwash discharging the sewer<br><input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> Fence height<br><input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> Gate(s) / door(s) open outward                                        |  |  |  |
|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |  |  |  |
| <b>Effluent Disposal Systems</b> <span style="float: right;">Comments</span>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |  |  |  |
| <input type="checkbox"/> <input type="checkbox"/> <input checked="" type="checkbox"/> Engineering Site Investigation<br><input type="checkbox"/> <input type="checkbox"/> <input checked="" type="checkbox"/> Design Specification & Producer Statement<br><i>(The design criteria should include; Capacity based on bedroom numbers, Loading calculation, site evaluation, soil profile, site characteristics.)</i>                                                                                                                                                                                                                                                                                                                                                                                         |  |  |  |
|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |  |  |  |
| <b>Water Supplies</b> <span style="float: right;">Comments</span>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            |  |  |  |
| <input type="checkbox"/> <input type="checkbox"/> <input checked="" type="checkbox"/> Town supply<br><input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> Private scheme<br><input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> Type & location<br><input type="checkbox"/> <input type="checkbox"/> <input checked="" type="checkbox"/> Size                                                                                                                                                                                                                                                                                                                                                                                                                   |  |  |  |
| <i>Restricted supply<br/>20mm min size on Rates Database.</i>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |  |  |  |
|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |  |  |  |
|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |  |  |  |
|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |  |  |  |

| Sanitary Drainage                                                                              |                                                                | Comments                                                                       |
|------------------------------------------------------------------------------------------------|----------------------------------------------------------------|--------------------------------------------------------------------------------|
| <input type="checkbox"/>                                                                       | <input checked="" type="checkbox"/> Layout                     | + grey water disposal                                                          |
| <input checked="" type="checkbox"/>                                                            | <input type="checkbox"/> Council availability or               |                                                                                |
| <input type="checkbox"/>                                                                       | <input checked="" type="checkbox"/> Septic tank design & calcs |                                                                                |
| <input type="checkbox"/>                                                                       | <input checked="" type="checkbox"/> Registration/qualification |                                                                                |
|                                                                                                |                                                                |                                                                                |
|                                                                                                |                                                                |                                                                                |
|                                                                                                |                                                                |                                                                                |
| Stormwater Drainage                                                                            |                                                                | Comments                                                                       |
| <input type="checkbox"/>                                                                       | <input checked="" type="checkbox"/> Layout                     | noa                                                                            |
| <input checked="" type="checkbox"/>                                                            | <input type="checkbox"/> Council availability                  |                                                                                |
| <input type="checkbox"/>                                                                       | <input checked="" type="checkbox"/> Registration/qualification |                                                                                |
|                                                                                                |                                                                |                                                                                |
|                                                                                                |                                                                |                                                                                |
|                                                                                                |                                                                |                                                                                |
| Sanitary Plumbing                                                                              |                                                                | Comments                                                                       |
| <input type="checkbox"/>                                                                       | <input checked="" type="checkbox"/> Layout                     |                                                                                |
| <input type="checkbox"/>                                                                       | <input type="checkbox"/> Council availability                  |                                                                                |
| <input type="checkbox"/>                                                                       | <input checked="" type="checkbox"/> Registration/qualification |                                                                                |
|                                                                                                |                                                                |                                                                                |
|                                                                                                |                                                                |                                                                                |
|                                                                                                |                                                                |                                                                                |
| Sign below if all the plans, specifications & documentation comply with the Building Code.     |                                                                | Refer to the associate code clause along side each prompt above for compliance |
| <b>Signature &amp; Date</b><br>Plumbing + Drainage ok Simon Cooper 2/4/08<br>A. Hume 28/2/2008 |                                                                |                                                                                |

boundary lines ✓  
 caution scale ✓  
 noise equipment ✓  
 NZS 3604 stamp ✓  
 engineer design stamp ✓  
 references + standards ✓  
 endorsements ✓  
 high wind zone ✓  
 ventilation ✓  
 timber treatment ✓  
 insulate to isolate ✓  
 elec stamp ✓  
 recessed downlights ✓  
 smoke detectors ✓

steel bends ✓  
 concrete MPA ✓  
 insulation ✓  
 safety glazing ✓  
 risk matrix ✓  
 Rianai ~~to~~ inbuilt

bronze approval for Gerard Roofs  
 " " " Gorilla glue air seal  
 " " " Rock Cote EPS40 Plus

wet area man specs included.  
 Tyvek wrap  
 Aluband sealing tape  
 EPS cavity Plus tech + installation manual

| Date / Time                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   | Dialogue Record<br>List Further Information Requested –<br>Record / Reference Communication:                                                                                                                                                                   | Summary of dialogue.<br>(Reference to documents<br>sent/received) |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------|
|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               | Phone / Email / letter / counter / fax                                                                                                                                                                                                                         |                                                                   |
| Date 28/2/08<br>Time                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          | Refer letter attached dated 20 Feb 08                                                                                                                                                                                                                          |                                                                   |
| Date<br>Time                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |                                                                                                                                                                                                                                                                |                                                                   |
| Date<br>Time                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |                                                                                                                                                                                                                                                                |                                                                   |
| Date<br>Time                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |                                                                                                                                                                                                                                                                |                                                                   |
| Date<br>Time                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |                                                                                                                                                                                                                                                                |                                                                   |
| Date<br>Time                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |                                                                                                                                                                                                                                                                |                                                                   |
| Date<br>Time                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |                                                                                                                                                                                                                                                                |                                                                   |
| Date<br>Time                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |                                                                                                                                                                                                                                                                |                                                                   |
| Date<br>Time                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |                                                                                                                                                                                                                                                                |                                                                   |
| Date<br>Time                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |                                                                                                                                                                                                                                                                |                                                                   |
| <b>Alternative Solutions:</b> Record assessment, decision and reasons for decisions below. Has the designer substantiated why they believe the proposal complies with the building code? Is there a determination on a similar proposal? Has corroborative evidence been provided (peer review, appraisal or determination)? Include reference to comparison with acceptable solutions, other documents / standards / best practice guides / publications, expert opinion, determinations, in-service history, product certification, professional judgment, building code objectives. Refer BRANZ Bulletin # 456 (Dec 2004). List any conditions / communications / actions: |                                                                                                                                                                                                                                                                |                                                                   |
| Date: 28-2-08                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 | Deke Consulting LTD. design vibrat floor slab - check CP Egg online - in order - portal beam<br>Place makers P/S for trusses, frames, beams and lintels - in order in service history<br>Alrado stone veneer - in order - in service history (details checked) |                                                                   |
| <b>Waiver – Sec. 67 - 69:</b> (Record assessment, decision and reason for decisions below - confirm that notification has been sent to CE of DBH). List conditions / communications / actions:                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |                                                                                                                                                                                                                                                                |                                                                   |
| Date:                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         |                                                                                                                                                                                                                                                                |                                                                   |
|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               |                                                                                                                                                                                                                                                                |                                                                   |
|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               |                                                                                                                                                                                                                                                                |                                                                   |
|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               |                                                                                                                                                                                                                                                                |                                                                   |
|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               |                                                                                                                                                                                                                                                                |                                                                   |
| <b>Compliance Schedule – Sec 100 - 107:</b> (record if new / amended compliance schedule required, and attach copy of replica compliance schedule. Ensure that note is recorded on building consent that new / amended compliance schedule will be issued).                                                                                                                                                                                                                                                                                                                                                                                                                   |                                                                                                                                                                                                                                                                |                                                                   |
| Date:                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         |                                                                                                                                                                                                                                                                |                                                                   |
|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               |                                                                                                                                                                                                                                                                |                                                                   |
| <b>Alteration to Existing Building – Sec 112:</b> (record decisions and basis for decisions – confirm whether sec 118 applies and if so, has it been complied with?). List conditions / communications / actions:                                                                                                                                                                                                                                                                                                                                                                                                                                                             |                                                                                                                                                                                                                                                                |                                                                   |
| Date:                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         |                                                                                                                                                                                                                                                                |                                                                   |
|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               |                                                                                                                                                                                                                                                                |                                                                   |

**Building Consent Application — use this Checksheet for:**  
**Single Residential Dwelling and Accessory Buildings**

— including single stand-alone dwellings, dwelling additions and/or alterations, repiling, garages, decks, gazebos, sheds, retaining walls etc.

— **An Application Form is attached to this checksheet —**

**(Please include this checksheet with your application)**

**Address of project:** \_\_\_\_\_

This checksheet shows you the information that has to be supplied with your building consent application. Please attach **2 copies** of the following information (unless otherwise specified) with your completed Building Consent Application form.

Please tick relevant box in the Customer Use column as you attach the information. If the box is not relevant to your application, write NA across the box. Please check each section carefully and complete those sections that are relevant to your project.

**Once you have attached all the required information, please check for completeness as an incomplete application or lack of any supporting information will mean that your application cannot be accepted for processing.**

CUSTOMER USE

KCDC USE



**1. GENERAL**

Complete this section for all applications



a. **Building Consent Application Form** (1 copy)

Completed and signed by the owner or by an agent on behalf of the owner.



b. **Proof of ownership** (1 copy)

One recent copy of current certificates/s of title (i.e. not older than 3 months) or where applicable one copy of purchase agreement (if recently purchased) or one copy of relevant portions of current lease



c. **Locality Plan (1:500) showing:**

Physical location of the subject building in relation to streets or landmarks, north point, name of building and lot and DP number.



d. **Site Plan (1:100) showing:**

Dimensions of all boundaries, north point, finished floor levels, ground contours (extended to boundaries) and/or levels, site area, street name and number, lot and DP number, outline of building, distance to boundaries and the position of swimming or spa pools. Include on the site plan the designated wind zone of the site (e.g. specific design, very high, high, medium or low).

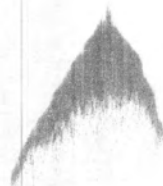


e. **Application Fee**

Applications will not be accepted without payment of the appropriate fees. Fees payable are set out in the published fee schedule of the council that has jurisdiction over the project site.



**For office use only** Receiving Officer: \_\_\_\_\_



## 2. CHANGE OF USE

Complete for all existing buildings where the proposal involves forming a household unit where one did not exist before

*Example: the conversion of a garage or shed into a residential unit*

NA

### a. Assessment of the building for compliance with the building code

☐

Section 115(a) of the Building Act 2004 requires that the building, in its new use, complies fully with all clauses of the building code.

NA

### b. Reasonably practicable

☐

The above assessment must relate to all building code clauses. If the proposal is for the project to meet anything less than full compliance with any clauses, your application must clearly state your reasoning, with supporting documentation, and show how you will meet the highest level of compliance that can be considered reasonably practicable.

## 3. FOUNDATIONS / FLOOR

Complete for all new buildings, for existing buildings where the footprint of the building will change or where an additional storey is being added.

J

### a. Foundation Plan (1:100 / 1:50) showing:

☐

- Dimensions of all new foundations
- Sub-floor, including bracing
- Footing details
- If a concrete slab, show basic details including reinforcing and contractions joints
- Piles and footing
- If the addition is an upper storey show details on upgrading existing foundations, joints, piles etc
- Indicate ventilation to sub floor spaces

✓

### b. Subfloor bracing

☐

Provide subfloor bracing plan and calculations for all piled structures. Where the structure is specifically engineered, this should be included with the structural calculations.

Subfloor bracing plan and calculations are required where an additional storey is to be added.

## 4. CONSTRUCTION

Complete for all new structures or alterations to existing structures.

✓

### a. Existing floor plan (1:100 / 1:50) showing:

☐

(For additions and alterations only)

- All levels
- All designated spaces
- All removals
- Sanitary fixtures
- Smoke detectors

**b. Proposed floor plans (1:100 / 1:50) showing:**

- Room dimensions
- Location of partitions
- All designated spaces
- All floors (new or altered)
- Location of sanitary fixtures
- Stairs, barriers, handrails, floor joists and beams
- Floor joist layout for each level with timber floors
- Smoke detectors
- Note where wall will form part of the swimming pool fence

**c. Pre-nail Truss and Frames:**

- Specific design wall framing requires clarification
- Truss layout must be supported by design certification and design of fixing details, including consideration of load paths to ground
- Lintels carrying point loads, such as from girder trusses, require specific engineering design

**d. Wall bracing plan (1:100 / 1:50) showing:**

- Bracing details and calculations for wall bracing (also required for existing lower storeys where an additional storey is being added)
- Sub-floor bracing for decks projecting more than 2m from the house
- Location, type and number of bracing elements to indicate compliance with NZS 3604:1999 (include calculations)
- If the bracing was specifically designed by a structural engineer, provide calculations (required for specific design wind zones and lateral distribution of upper floor loads where lower storey bracing is provided in walls beyond the upper storey footprint)

**e. Sections and details (1:50 / 1:20 / 1:10) showing:**

- Foundation details involving reinforcing and connections
- Stairs, handrails, decks and decking
- Insulation systems and materials to floors, walls and roof
- Barriers providing safety from falling. Specific engineering design required where detail does not comply with NZBC B1/AS2
- Framing sizes, beams, lintels
- Roof cladding, eaves, fascias, gutters
- Flashings to openings
- Fire rated systems on all walls – closer than 1 metre to boundary
- Stud heights of rooms and total height from lowest ground floor level to top of ridge
- Window and door installation details
- Retaining wall details e.g. type, height of retained ground, relationship to boundary, waterproof membrane and proposed drainage



**f. Fire Report:**



For domestic dwellings of 4 storeys or more, or buildings providing more than one household unit

**5. EXTERNAL**

Complete for new buildings or existing buildings with alternations to the external shell



**a. Elevations (1:100 / 1:50) showing:**



Accurate lines form boundary to boundary on each elevation, relevant District Plan daylight control lines, the maximum height on each elevation, location of door and window openings, fixed and opening sashes, sill heights, floor levels in relation to ground levels, exterior cladding nominated to all elevations, down pipes and spouting, ventilators to sub-floor area (suspended floors only)



**b. Risk assessment**



*(Risk matrix in E2/AS1 may be used for buildings within scope)*

Consider exposure, design and detailing to support appropriate selection of cladding



**c. Cladding details (1:50 / 1:20 / 1:10)**



Provide details around all penetrations, joinery and other junctions at a level appropriate to the level of risk e.g. roof/wall, balcony/wall, junction of different types of cladding, back flashing details for cavity systems



**d. Production certification**



Supply copies of product certificates relied on as compliance documents



**e. Alternative solutions**



If the proposal uses products or systems that are not covered in the Acceptable Solutions of clause E2 of the building code provide supporting current information including test results (fully signed reports), case studies, expert opinion (including evidence of experience/qualification, basis for forming opinion and statement of independence) etc to demonstrate compliance.

**6. SERVICES**

Complete for all projects with new installations or alteration of plumbing or drainage services



**a. Plumbing and Drainage plan 1:100 / 1:50) showing:**



*Note: if you have supplied drainage details for surface water disposal on the site plan, no drainage plan is required.*

- Sizes of pipe work and drains
- Fixtures and fittings, hot water system(s)
- If the building is more than one storey with sanitary fittings on upper floors, provide an isometric layout showing wastes, pipes and falls
- Drainage layout with inspection bends and junctions indicated for both sewer and storm water
- Any other drainage on site including council mains and retaining wall field drains
- Ventilation of sanitary rooms
- Calculations for sizing of down pipes
- Gully traps including overflow relief gullies

## 7. STRUCTURAL

Complete for all projects incorporating specific structural design



### a. Structural calculations

If any design work required the services of a structural engineer, attach 2 copies of the calculations with this. The calculations must be prefaced with information explaining the design philosophy and justification of assumptions and methodologies used in analysis



### b. Expert Opinion (Producer Statements):

If this application for consent relies on any expert opinion including producer statements certifying compliance with the New Zealand Building Code, a copy must be attached with this application. (Note all structural producer statements are required to have accompanying calculations)



## 8. SPECIFICATIONS

Complete for all applications

*Note: the specification must be specific to the project and cover all aspects of the proposed work.*



### a. Specification: General

- Elements of structure (size, spacing, timber treatment)
- Finish or fixings to meet durability requirements
- Plumbing and drainage materials and design that installation is to comply with
- Wet area surfaces
- Ventilation systems
- Flooring slip resistance for access routes
- Glazing
- Type of smoke detectors (including existing smoke detectors where they will remain)



### b. External claddings

For each of the following claddings provide details of the product name, manufacturer, maintenance requirements and warranties offered

- Building wraps
- Wall claddings
- Roof claddings
- Membranes (roof and decks)
- Tanking
- Joinery



## 9. DEMOLITION / REMOVAL

Complete for all projects involving demolition of significant parts of buildings or the demolition or removal of whole buildings.



### a. Means of barricading the site

Provide details of temporary barriers, gates which swing inwards or other means of restricting public access to the area



### b. Proposed tipping location for demolition materials (address/landfill)





**c. Hazardous building material**

Provide safety plan detailing the safe handling and disposal of hazardous materials

☐

**d. Site management plan covering**

Management to control silt runoff, noise and dust

☐

**e. Proposed destination for relocate building**

☐

**f. Access to and from the site including (use of kerb crossings)**

☐

**g. Specify termination of existing services**

- Water
- Sewer
- Storm water

☐

**h. Details about the building such as:**

Number of storeys, type of materials the building is constructed (Photographs of the building would be useful)

☐

**Note**

You will need to contact the relevant service authorities specified below to advise them of the extent of your work:

Electricity, gas, drainage, water, transport, telecommunications, cable television or any other services that may be affected.

**Transportation of relocated building**

You will be required to contact and provide details to Councils Transportation and Traffic Department.

**10. OTHER APPROVALS**

Please check territorial authority regarding the requirement for other approvals required and fees payable. These may include:

- Consents under the Resource Management Act
- Approvals under bylaws including earthworks, vehicle crossings, road openings and water connections.

Show the location of swimming or spa pools on the property and describe how compliance with the fencing of Swimming Pools Act will be achieved.

**The issue of a building consent does not relieve the owner of any duty or responsibility under any other act.**

The following Councils developed this checksheet in partnership: Kapiti Coast District, Porirua City, Wellington City, Hutt City, and Upper Hutt City.

# BUILDING CONSENT NOTES

ADDRESS: 131 King Arthur Drive, Paraparaumu.

LEGAL DESCRIPTION:

Zone: Rural.

NOTES \* CT Supplied.

- \* DP
- \* Easements - R.O.W
- \* S221 - Attached
- \* S36 - Nil
- \* District Plan Features - Nil
- \* Designations - Nil
- \* Resource Consents - Nil
- \* Flood Hazards - Nil
- \* Hazards - Nil
- \* Services - Nil
- \* Eco Sites / Im Springs / GNS Fault / CNB - Nil
- \* Lairs -
- \* HIRB -
- \* Site Coverage - } Nil Issues.

Neighbours Written Approval:

.

P/D O.K 2/2/2008

Consulted Parties:

.

Approved/Approved with Conditions

Name: Shutehelf Date: 23/01/08



Project Information Memorandum No. 080035P

Building Project... New Dwelling  
131 King Arthur Drive  
Paraparaumu.

FOR OFFICE USE ONLY

|                   |             |            |
|-------------------|-------------|------------|
| FEES              | PIM Fee     | \$.....    |
| \$.....           | RECEIPT NO. | DATE ..... |
| \$.....           | INVOICE NO  | DATE ..... |
| \$.....           | RECEIPT NO  | DATE ..... |
| SUBTOTAL          |             |            |
| Less Deposit Paid |             |            |
| TOTAL             |             |            |
| GST INCLUDED      |             |            |

# PROJECT INFORMATION MEMORANDUM

Section 34, Building Act 2004

**Building Consent Number:** BC080035P  
**Applicant Name:** GJ Gardner Homes-Kapiti/Porirua  
**Applicant Address:** PO Box 765  
Paraparaumu  
**Application Date:** 2008-01-17  
**Pim Decision Issued:** 2008-02-04

**Project:** New Dwelling  
**Intended Use:** 99  
**Estimated Value:** 449000  
**Legal:** LOT 5 DP 369877 C/T 283489  
**Location:** 131 King Arthur Drive, Paraparaumu  
**Valuation No:** 1526036105

This project information memorandum is confirmation that the proposed building work may be undertaken, subject to the provisions of the Building Act 2004, and any requirements of the building consent.

This project information memorandum includes:

- ☐ Information identifying special features of the land concerned
- ☐ Details of relevant utility systems
- ☐ Details of authorisations which have been granted

**Signed for and on behalf of the Council:**

**Name:** \_\_\_\_\_

**Date:** 29/2/08

## General

|                                         |                    |
|-----------------------------------------|--------------------|
| Use permitted:                          | Permitted activity |
| Resource Consent granted:               | None listed        |
| Designations on property:               | None listed        |
| Easements:                              | Right of way       |
| Site subject to inundation:             | Not known to be    |
| Coastal building line restriction:      | N/A                |
| Relocatable zone:                       | N/A                |
| Minimum floor level:<br>(50 year event) | N/A                |
| Floor level:<br>(100 year event)        | N/A                |
| Yard and height requirements:           | Comply             |
| Tree/building preservation:             | None listed        |

## Planning

|                                        |            |
|----------------------------------------|------------|
| Potential erosion:                     | None Known |
| Potential avulsion:                    | None Known |
| Potential subsidence:                  | None Known |
| Potential slippage:                    | None Known |
| Potential alluvion:                    | None Known |
| Potential inundation:                  | None Known |
| Presence of hazardous<br>contaminants: | None Known |

## Plumbing & Drainage

|                              |               |
|------------------------------|---------------|
| Sewer available / connected: | Not available |
| Water available / connected: | Available     |

|                                                     |                       |
|-----------------------------------------------------|-----------------------|
| <b>Site plan of existing services:<br/>(if any)</b> | Not supplied          |
| <b>Location of sewer lateral:</b>                   | none                  |
| <b>Location and size of water toby:</b>             | restricted supply     |
| <b>Location of easements:<br/>(if any)</b>          | see planners comments |
| <b>Location of public drains:<br/>(if any)</b>      | no record of any      |
| <b>Stormwater disposal to:</b>                      | confined to the lot   |

**Services Plan:**

---

04 496 9487

**COMPUTER FREEHOLD REGISTER  
UNDER LAND TRANSFER ACT 1952****Search Copy****R. W. Muir**  
Registrar-General  
of Land

**Identifier** 283489  
**Land Registration District** Wellington  
**Date Issued** 19 October 2006

**Prior References**  
WN52B/315

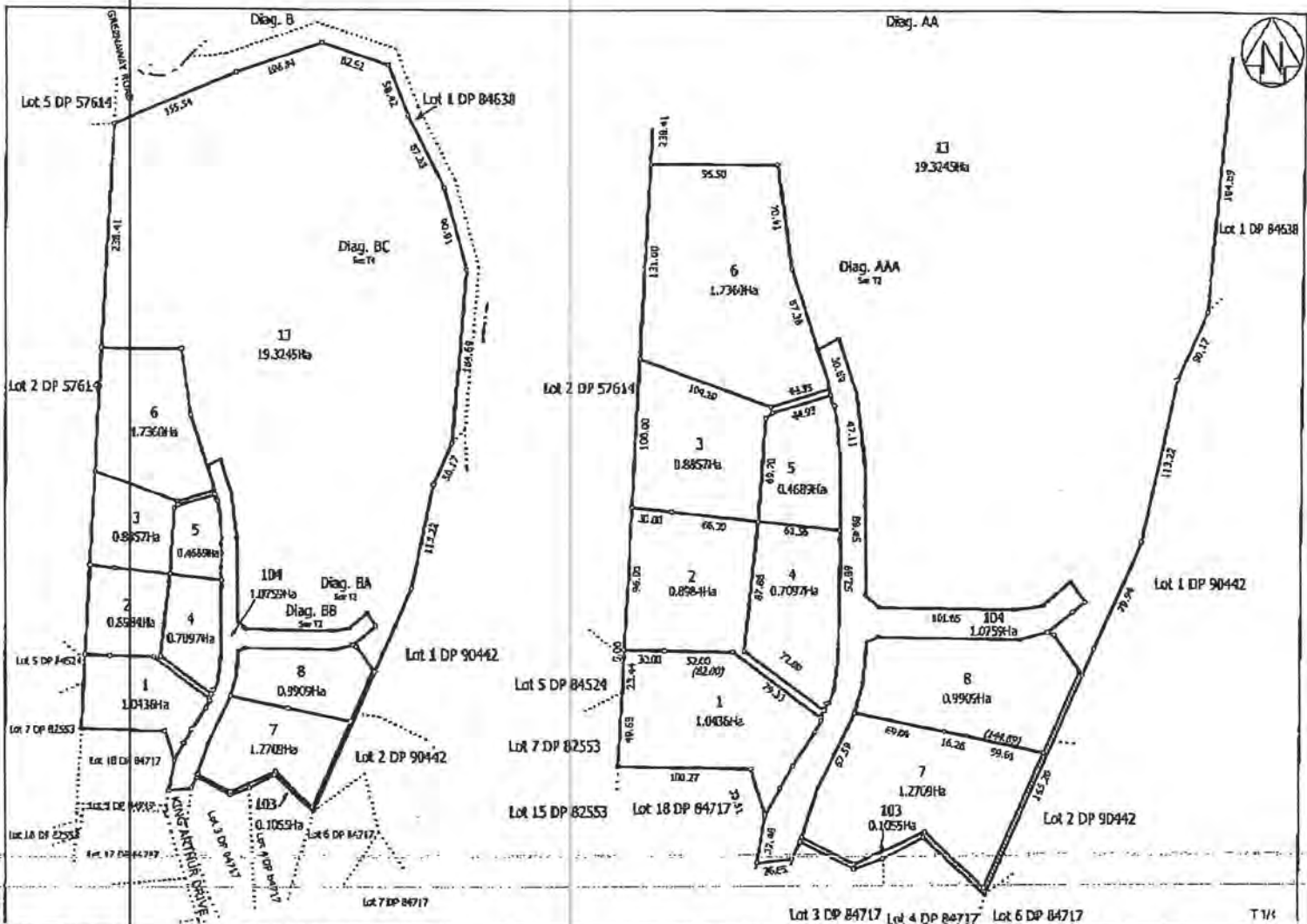
**State** Fee Simple  
**Area** 4689 square metres more or less  
**Legal Description** Lot 5 Deposited Plan 369877  
**Proprietors**  
Kirsty Marie Moore Bradley and Hayden James Bradley

**Interests**

Appurtenant hereto is a right of way created by Transfer 65113 - 18.11.1907 at 10.15 am  
7078491.2 Consent Notice pursuant to Section 221 Resource Management Act 1991 - 19.10.2006 at 9:00 am  
Land Covenant in Transfer 7515843.1 - 24.8.2007 at 9:00 am  
7517771.3 Mortgage to Westpac New Zealand Limited - 24.8.2007 at 4:00 pm

Identifier

283489

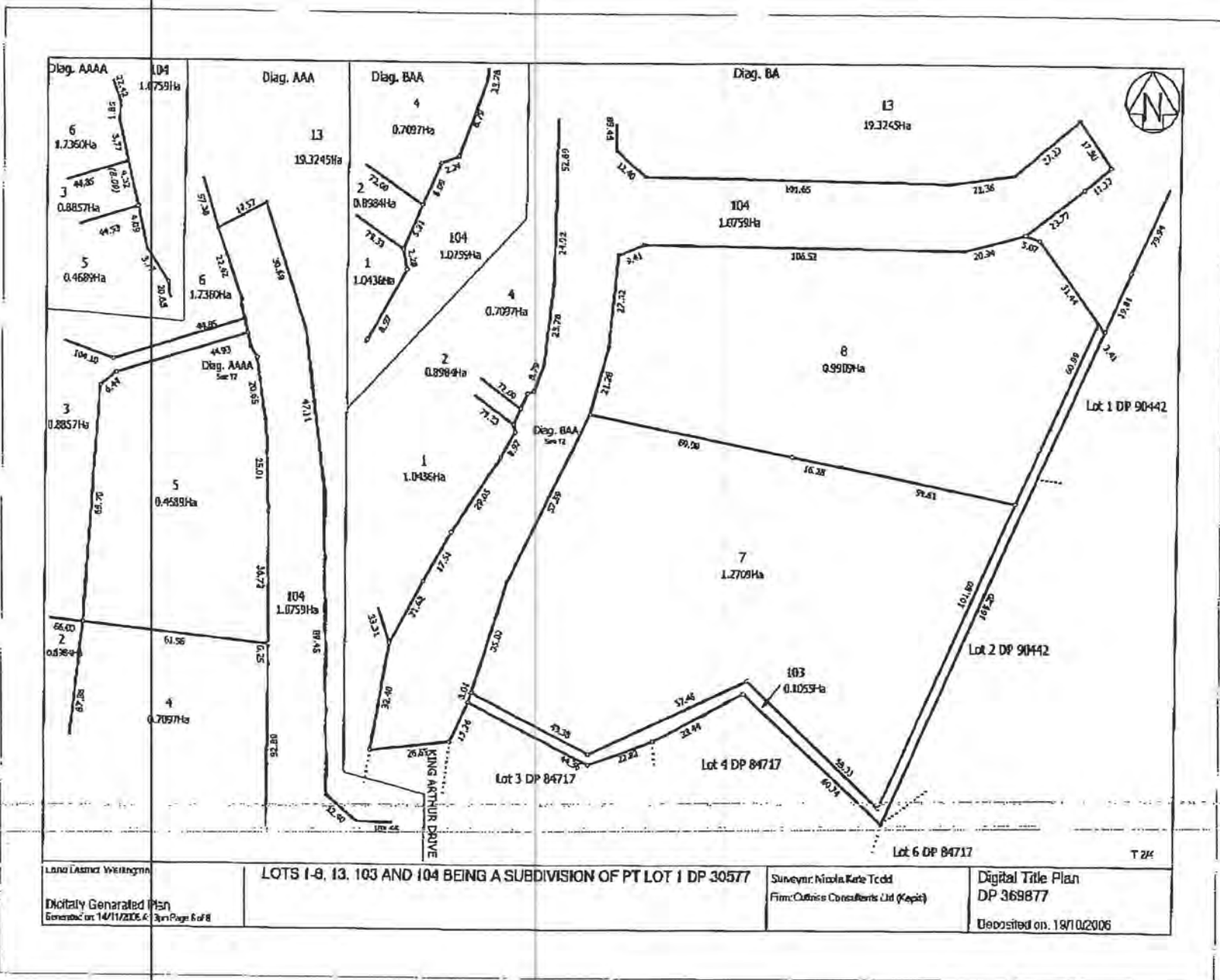


|                                                                                                    |                                                                    |                                                                   |                                                           |
|----------------------------------------------------------------------------------------------------|--------------------------------------------------------------------|-------------------------------------------------------------------|-----------------------------------------------------------|
| Land District: Waikato<br>Digitally Generated Plan<br>Generated on: 14/11/2006 4:11 PM Page 5 of 8 | LOTS 1-8, 13, 103 AND 104 BEING A SUBDIVISION OF PT LOT 1 DP 30577 | Surveyor: Nicola Kate Todd<br>Firm: Cairns Consultants Ltd (Kopu) | Digital Title Plan<br>DP 369877<br>Decoded on: 18/10/2006 |
|----------------------------------------------------------------------------------------------------|--------------------------------------------------------------------|-------------------------------------------------------------------|-----------------------------------------------------------|

04 496 9487

Identifier

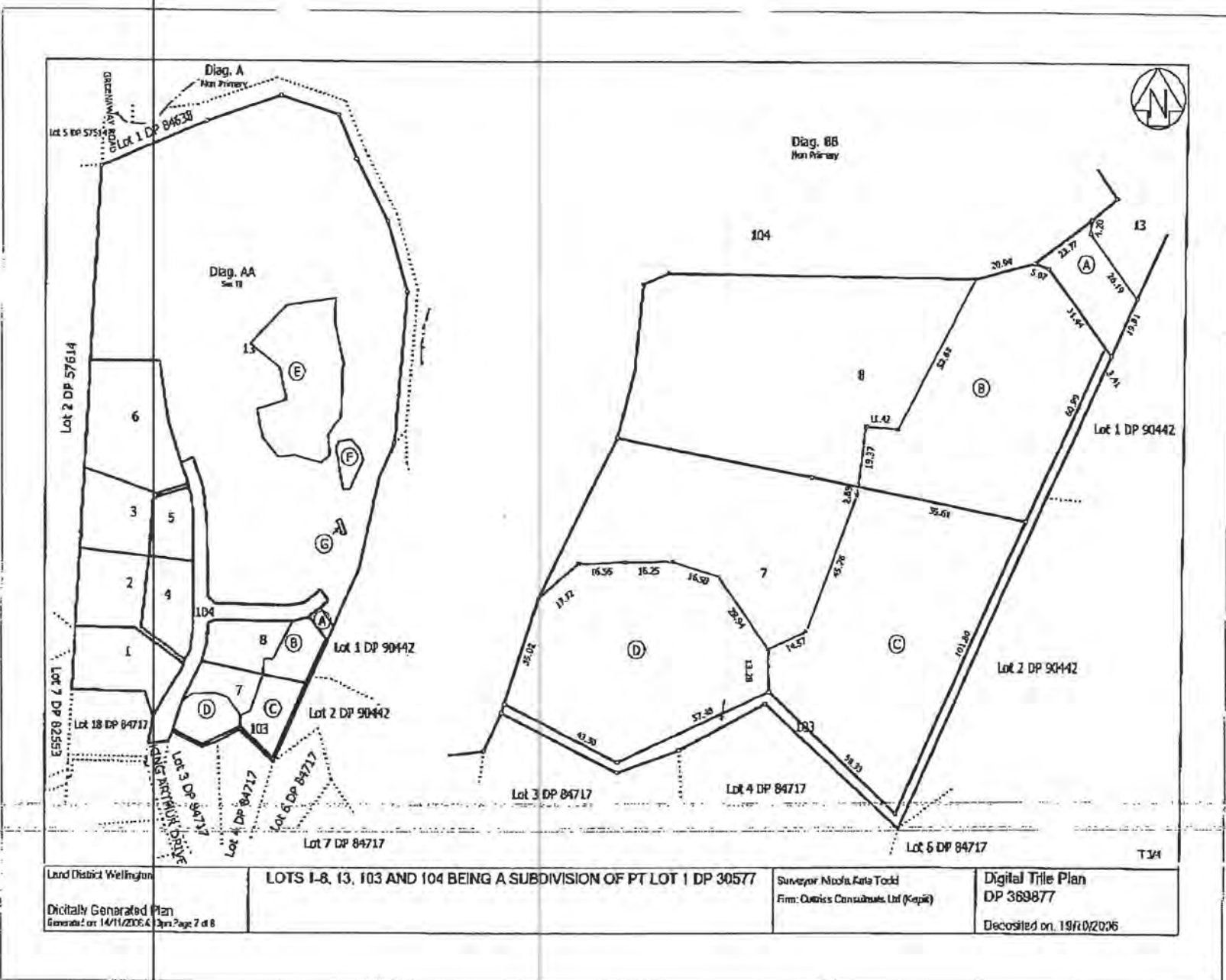
283489



04 496 9487

Identifier

283489

Transaction Id 19870001  
Client Reference wnpublied/

Received Time 21. Nov. 8:49

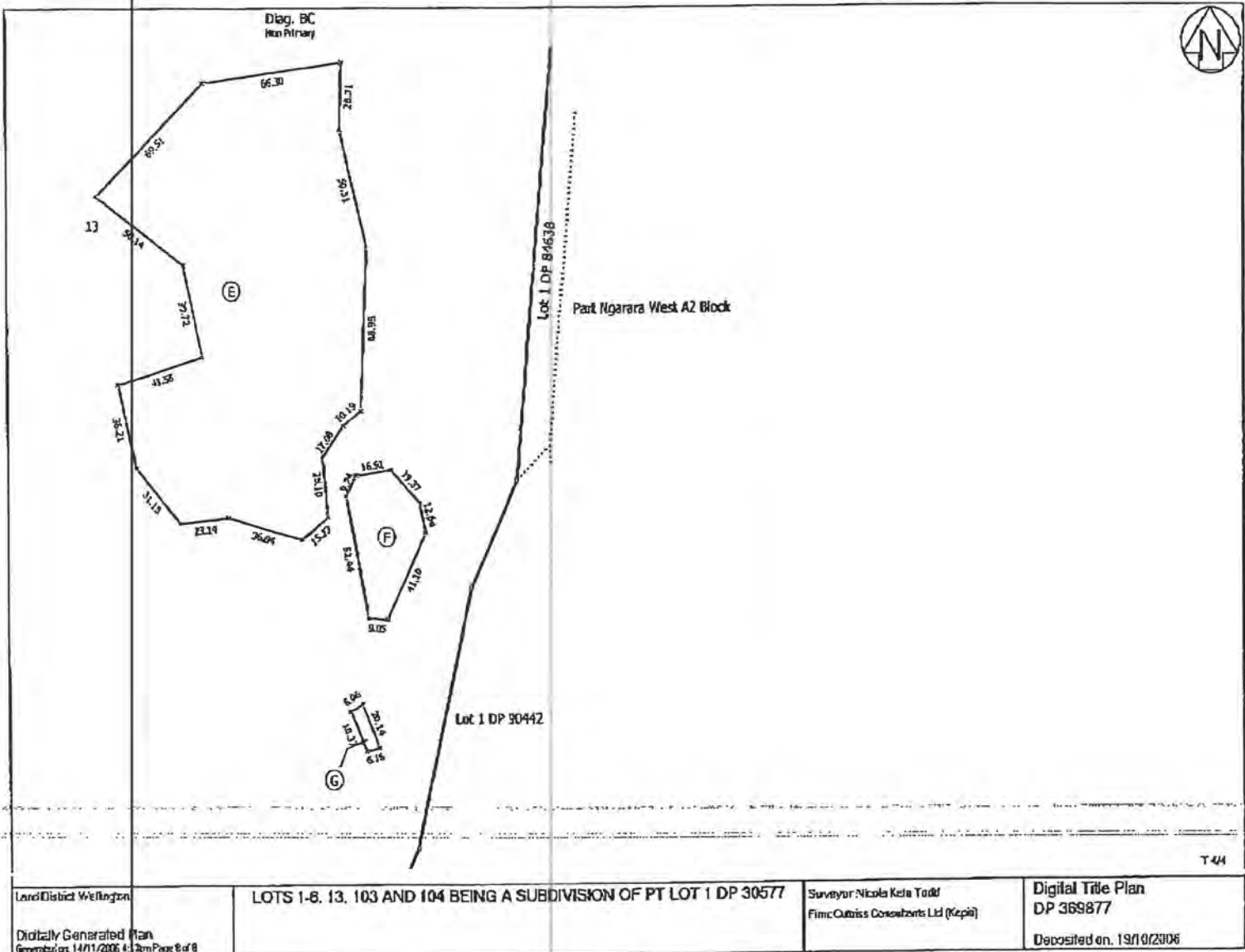
Search Copy Dated 21/11/07 9:51 am, Page 4 of 5

Register Only

04 496 9487

Identifier

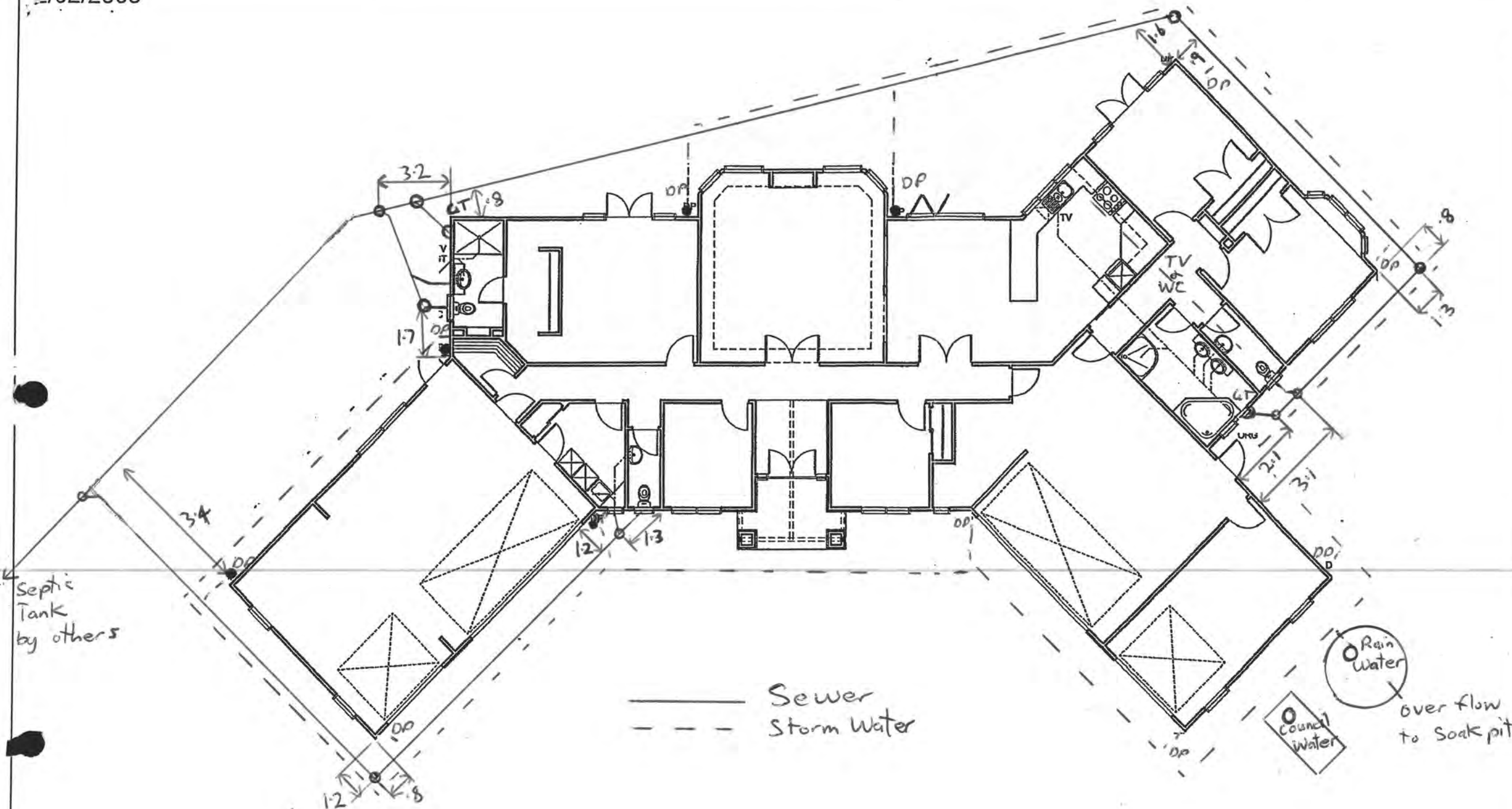
283489

Transaction Id 19870001  
Client Reference wnpubliel

Received Time 21. Nov. 8:49

Search Copy Dated 21/11/07 9:51 am, Page 5 of 5  
Register Only

2/02/2008



Revisions:  
 OCTOBER 07 rev A  
 DECEMBER 07 rev B  
 DECEMBER 07 rev C

Project:  
 NEW  
 DWELLING

LOT 5 KING ARTHUR DR  
 OTAIHANGA

Client:  
 BRADLEY

Drawing Title:  
 DRAINAGE PLAN

Designer:  
**COASTAL**  
 ARCHITECTURE LTD.  
 17 Fincham Road  
 Raumati Beach  
 New Zealand  
 Tel: 04 905 0958  
 e-mail: billfrancis@paradise.net.nz

Design:  
 Bill Francis  
 Drawn:  
 bf  
 Scale:  
 as shown

Job: 006  
 Page of: 2/15  
 Rev: C

Please show under slab drainage, stormwater  
 ,sewer and watermain and toby location on the asbuilt plan  
 provided to Council.

**C.J. Gardner** THOMAS

New Zealand's leading landscape architects

All work shall be in accordance with the NZBC, if in doubt ASK  
 The Contractor must verify all dimensions on the job before commencing any work or shop drawings. Figured dimensions are to be used, scaled dimensions must be verified.  
 This drawing and content are copyright of Coastal Architecture Ltd. The recipient of this document is prohibited from disclosing its content for any purpose without the prior written consent of Coastal Architecture Ltd

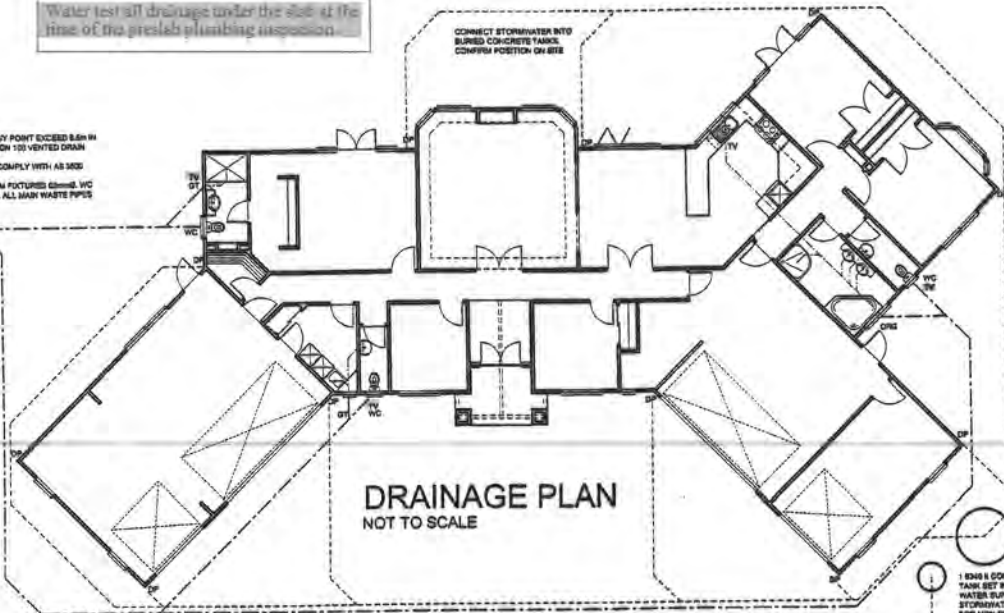
28/02/2008

**MINIMUM SIZE DRAIN 65MM**  
**SWEPT "Y" JUNCTIONS TO BE USED.**

Water test all drainage under the slab at the time of the prelab plumbing inspection

**NOTE:**

NO PIPES AT ANY POINT EXCEED 8.5m IN LENGTH FROM DN 100 VENTED DRAIN  
 ALL WORK TO COMPLY WITH AS 1925  
 ALL PIPES FROM FACTURED 65mm V.C PIPES 100mm. ALL MAIN WASTE PIPES 100mm



CONNECT SEWAGE INTO SEPTIC TANK SYSTEM DESIGNED BY OTHERS. CONFIRM POSITION ON SITE

refer also previous approved plan

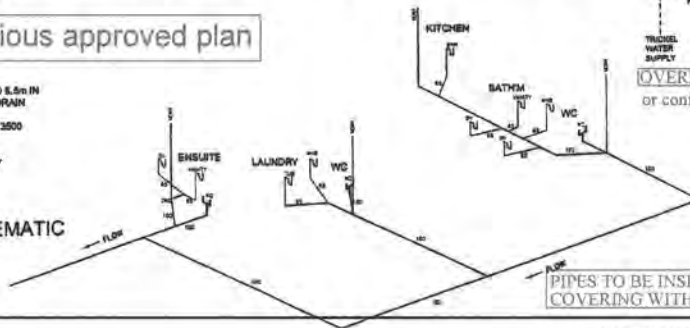
**NOTE:**

NO PIPES AT ANY POINT EXCEED 8.5m IN LENGTH FROM DN 100 VENTED DRAIN  
 ALL WORK TO COMPLY WITH AS 3500

150mm UPVC WASTE PIPES TO CONNECT TO LOCAL AUTHORITY SEWER MAIN. POSITION TO BE CONFIRMED ON SITE

**DRAINAGE SCHEMATIC**

NOT TO SCALE  
 MIN GRADIENT OF COMMON DRAIN 1:80



Revised:  
 OCTOBER 07 rev A  
 DECEMBER 07 rev B  
 DECEMBER 07 rev C

**APPROVED**  
 BY P & D  
 Simon Copp  
 Officer  
 30/1/2008

Project  
**NEW DWELLING**

LOT 5 KING ARTHUR DR OTASANGA

Client  
**BRADLEY**

Showing This  
**DRAINAGE PLAN**

Designed:

**COASTAL**  
 17 Puckett Road  
 Mount Pleasant  
 New South Wales  
 Tel: 02 9411 0000  
 e-mail: 150@coastalgroup.com.au

Drawn: **Bob Francis** Checked: **bf**  
 Date: **28/02/08**

Job: **006** Page of: **2/15** Rev: **C**

**C.J. Gardner**

This document must be used in accordance with the AS 1925/3500. It is not to be used for any other purpose. All work must be done in accordance with the AS 1925/3500. It is not to be used for any other purpose. All work must be done in accordance with the AS 1925/3500. It is not to be used for any other purpose.



[illegible]

Project  
**NEW  
DWELLING**

LOT 6 KING ARTHUR DR  
QTARHANGA

Drawn  
**BRADLEY**

Drawing Title  
**DIMENSION  
PLAN**

Designer:  
**COASTAL**  
 ARCHITECTS LTD.  
 17 Fincham Road  
 Buntingford  
 Cambs CB9 9JH  
 Tel: 01 853 9958  
 e-mail: [info@coastalarchitects.com](mailto:info@coastalarchitects.com)

|            |          |      |
|------------|----------|------|
| Drawn:     | Drawn:   |      |
| BB Francis | bf       |      |
|            | Scale:   |      |
|            | as shown |      |
| Job:       | Page of: | Rev: |
| 006        | 4/15     | 8    |

G.J. Gardner.

## ~~DIMENSION PLAN~~

SCALE 1:100

All work shall be in accordance with the IECG. It must be noted that the Commission will carry out checks on the job before commissioning any work at shop level. Figure dimensions are to be used, except dimensions must be verified.