



Whangarei
District Council

Property File

Property Address: 47 Rushbrook Road, Te Kamo

Property ID: 3166

Legal Description: Lot 1 DP 53473

Date Issued: 06-08-2026

Disclaimer

Council makes all reasonable efforts to ensure that the information provided is accurate and up to date, however, to the extent possible under the law, Council disclaims any liability whatsoever for any error, inaccuracy or incompleteness of the information.

No person should rely on any information without seeking appropriate independent and professional advice. The information provided does not constitute a Land Information Memorandum or any similar document.

441/SE

03166

WHANGAREI COUNTY COUNCIL

BUILDING AND LAND USE APPLICATION

TO THE COUNTY ENGINEER,

Sir—

I hereby apply for permission to erect ~~alter or repair~~ *a dwelling*
at *Matarau* for *T. J. Whittle* of *Day St. Dargaville*
according to locality plan and detailed plans, elevations, cross sections, and specifications of building deposited herewith,
in duplicate.

1. PARTICULARS OF LAND: Valuation Assessment No. *32/44b*, Lot *1*, D.P. *53478*
(From Rate Demand)
Section *N°3c*, Block *N°3c*, S.D. *Purua S.D.*, Street *Ruckbrooke Rd.*
Township *Matarau*, Riding , Area: *4.3.324p*
Length of Boundaries
2. PARTICULARS OF PROPOSED BUILDING: Foundations *Conc Pile* Walls *w/bs* Roof *Iron*
Area of Ground floor *1057* square feet Area of Outbuildings *—* square feet
3. ESTIMATED VALUE OF PROPOSED WORK:

Main Buildings	\$ <i>7,140-00</i>
Other Buildings	\$ <i></i>
Sanitary Plumbing and Drainage	\$ <i>760-00</i>
Total Value of Work	\$ <i>7,900-00</i>
4. EXISTING USE OF LAND AND BUILDINGS *Stock*
5. PROPOSED PURPOSES for which every part of building or land is to be used or occupied (describing separately each part intended for use or occupation for separate purposes)
Private dwelling
proposed use or occupancy or other part of building or land *N/A*
6. Nature of ground on which building is to be placed and of the subjacent strata *Level site*
7. CERTIFICATE: I hereby certify that the above information is correct in every respect and do hereby agree to abide by all provisions of the Whangarei County Council bylaws governing and regulating all matters the subject of the foregoing.

Signature of Applicant

N. Cameron

Designation

Paramount Homes (1965) Ltd.

Address:

for

P. O. Box 464

WHANGAREI

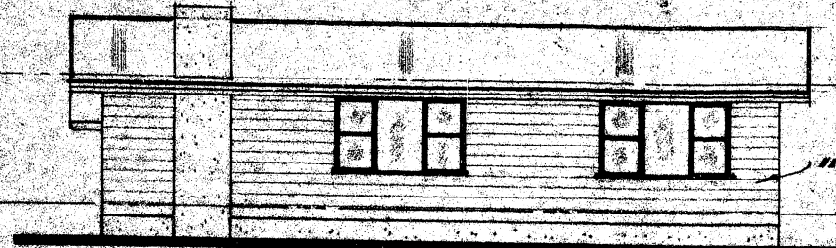
Date: *17th April 69*

NOTE: The following MUST accompany this Application:

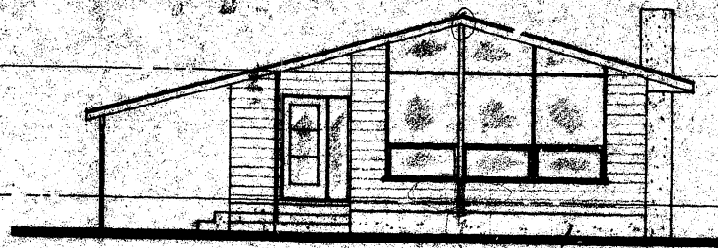
PLANS AND SPECIFICATIONS TO BE SUBMITTED IN DUPLICATE (in ink) including—

- (a) Ground plans of proposed work showing position of all sanitary fittings and names and sizes of various rooms.
- (b) Where the building is on a sloping site the correct height of foundations must be shown.
- (c) Front and side elevations.
- (d) Cross section showing framing with bracing.
- (e) Where a building requires Plumbing and Drainage work a Separate Application Form must be filled in and fee paid before a Building Permit can be issued.
- (f) Application for entrance crossing from road.
- (g) Such drawings and information in detail as may be necessary to indicate that the proposed building or other work or change or use of land or buildings will comply in all respects with the District Planning Scheme and with the Bylaws.

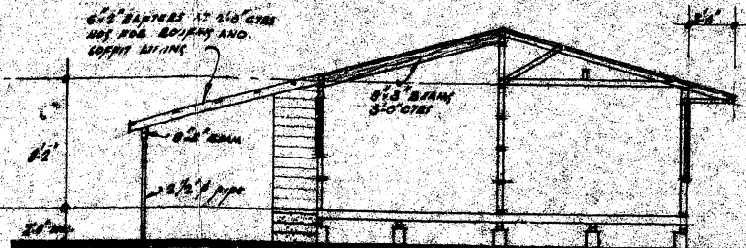
03166 3/3



SIDE ELE



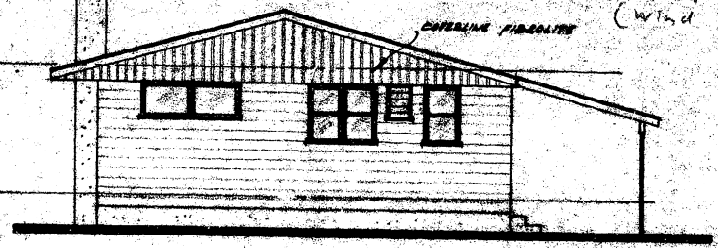
FRONT ELE



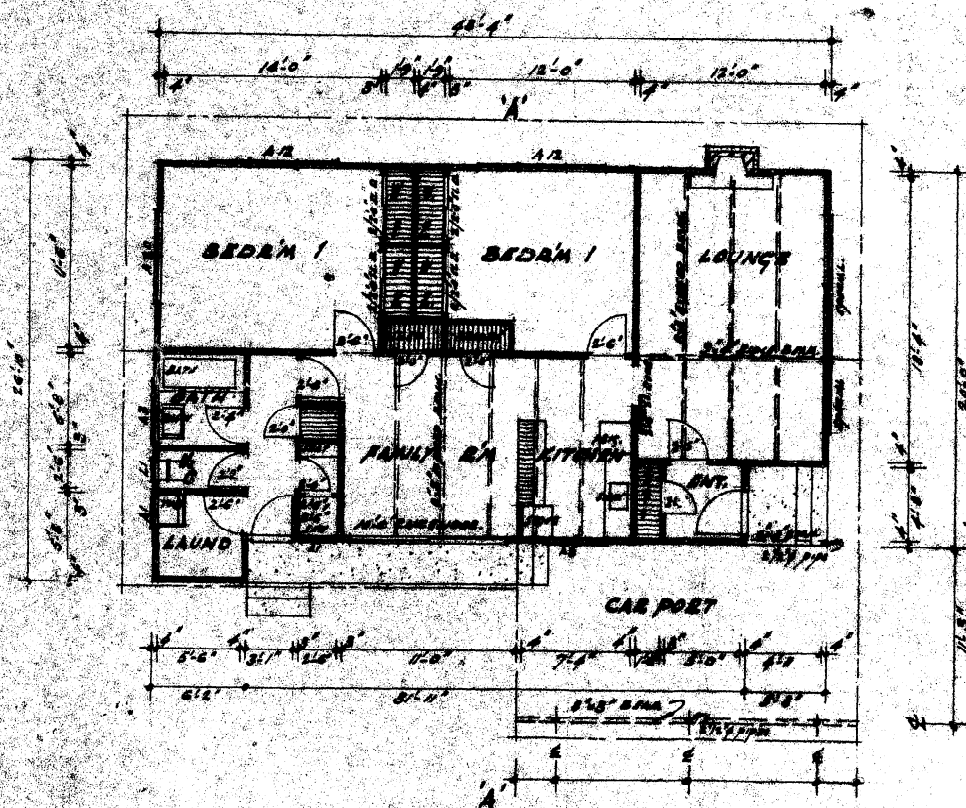
SECTION 'A-A'



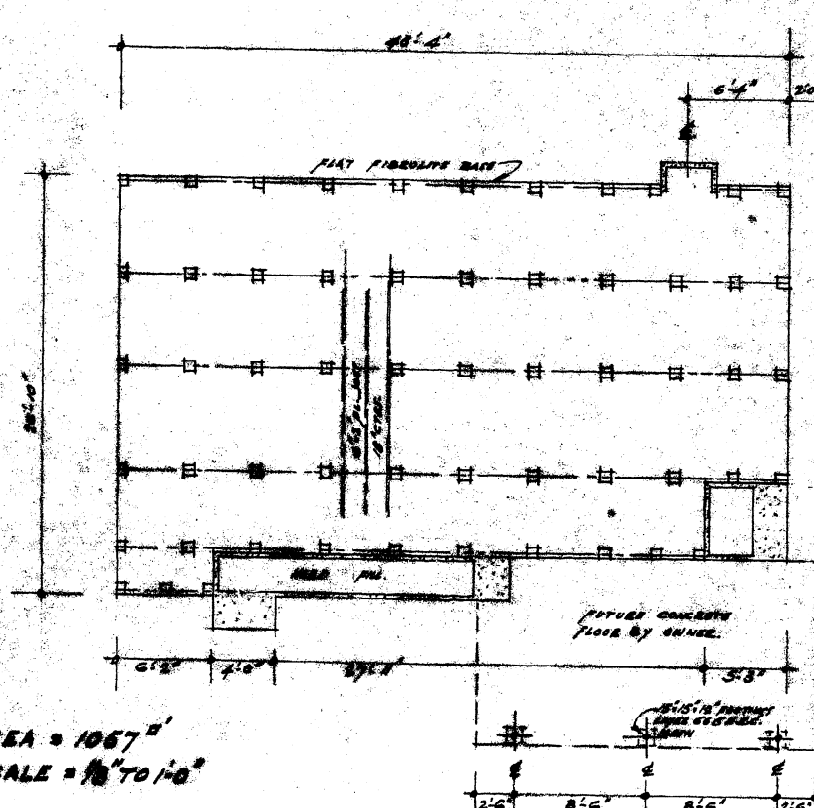
SIDE ELE



REAR ELE

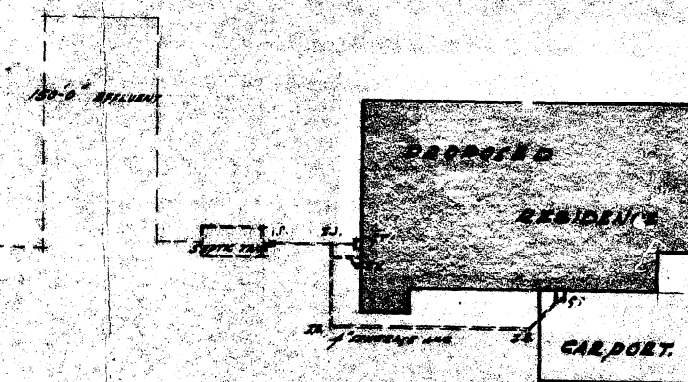


FLOOR PLAN



FOUNDATION PLAN

AREA = 1067
SCALE = 1/8" TO 1'-0"



SITE PLAN SCALE = 1/16" TO 1'-0"

PROPOSED RESIDENCE AT RUSHBROOK RD. MATARAU FOR MR & MRS T. J. WHITTLE
BY
PARAMOUNT HOMES (1965) LTD.

PREPARED BY
TON HAROLD M. N. Z. I. D.
PH. 75-986 W HANGAREI

DRW. No
229-1

003166

003166

WHANGAREI COUNTY COUNCIL

Building and Land Use Application

TO THE COUNTY ENGINEER,

Sir—

I hereby apply for permission to erect a garage & domestic workshop at Matarau for J. J. Whittle of Fitzroy St Hastings according to locality plan and detailed plans, elevations, cross sections, and specifications of building deposited herewith, in duplicate.

1. PARTICULARS OF LAND: Valuation Assessment No. 32/446, Lot 1, D.P. 53473
(From Rate Demand)

Section MATARAU S.C., S.D. IV PHUAU, Street Waima

Township Waima, Riding Waima, Area 4.0 3' 32.4" p

Length of Boundaries

2. PARTICULARS OF PROPOSED BUILDING: Foundations concrete, Walls Pressed Metal, Roof Corrugated Iron
Area of Ground Floor 576 square feet, Area of Outbuildings square feet

3. ESTIMATED VALUE OF PROPOSED WORK: Main Building under £ 400 570
Other Buildings £
Sanitary Plumbing and Drainage under £ 100
Total Value of Work £ 500 670

4. EXISTING USE OF LAND AND BUILDINGS land is in grass & used for grazing but shortly to be cropped.

5. PROPOSED PURPOSES for which every part of building or land is to be used or occupied (describing separately each part intended for use or occupation for separate purposes) garage workshop & storage
Proposed use or occupancy of other part of building or land

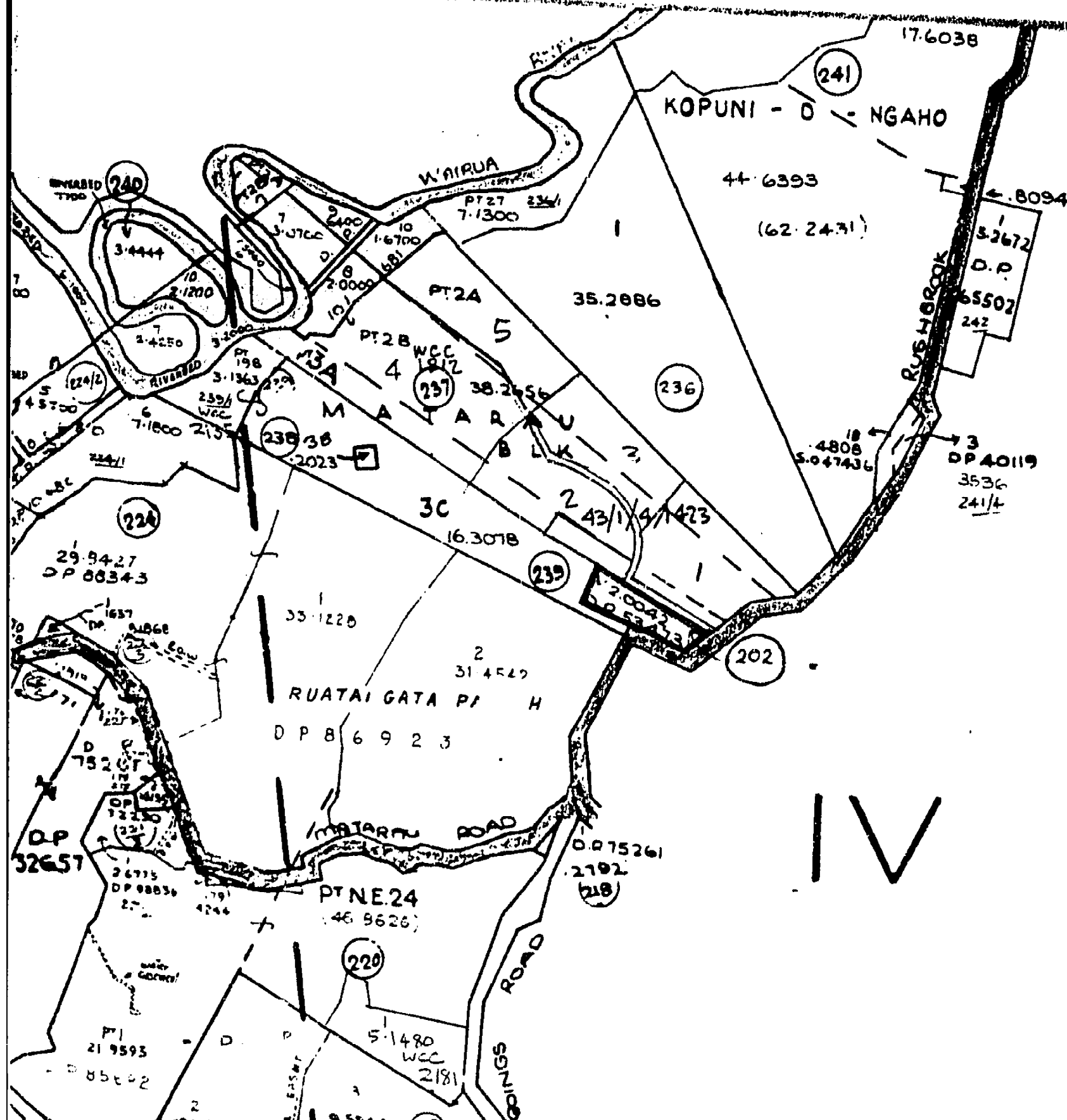
6. NATURE OF GROUND on which building is to be placed and of the subjacent strata volcanic

7. CERTIFICATE: I hereby certify that the above information is correct in every respect.
Signature of Applicant J. J. Whittle, Designation owner
Address 1027 Fitzroy St Hastings
Date

NOTE: The following MUST accompany this Application:

PLANS AND SPECIFICATIONS IN DUPLICATE (in ink) including—

- Ground plans of proposed work showing position of all sanitary fittings and names of various rooms.
- Where the building is on a sloping site the correct height of foundations must be shown.
- Front and side elevations.
- Cross section showing framing with bracing.
- Where a building requires Plumbing and Drainage work a Separate Application Form must be filled in and fee paid before a Building Permit can be issued.
- Application for entrance crossing from road.
- Such drawings and information in detail as may be necessary to indicate that the proposed building or other work or change of use of land or buildings will comply in all respects with the District Planning Scheme and with the Bylaws.



IV

Valuation Reference 320 202		Computer Codes extns. 0 change indic. 111000		Date of Revision 1/7/85	Date form printed 3/12/85
VI LV CV	40000 55000 95000	Special Values	Nature of Improvements DWG CL FG	Occupier (within the meaning of the Rating Act) POWELL TIMOTHY JOHN BOWYER BEVERLY FANNY MATAU RD 7 WHANGAREI	
HECTARES 2.0042		Address of Property/Situation RUSHBROOK		Name of District WHANGAREI COUNTY	
The sequence of data here is: Owner (if other than Occupier), Special Rating Area information (if any), Description of Property.					
CODE	SCHEME	NAME	CLASS	AREA	CV LV SPEC CV SPEC LV
379	NCC-HIKUANGI	DRAINAGE	G		
459	NCC-HIKUANGI	MAJOR SCH	F		
LOT 1 OF 53473 BLK IV PURUA SE					

THOMAS J. WHITE
GIVEN

RUSHBROOK RD

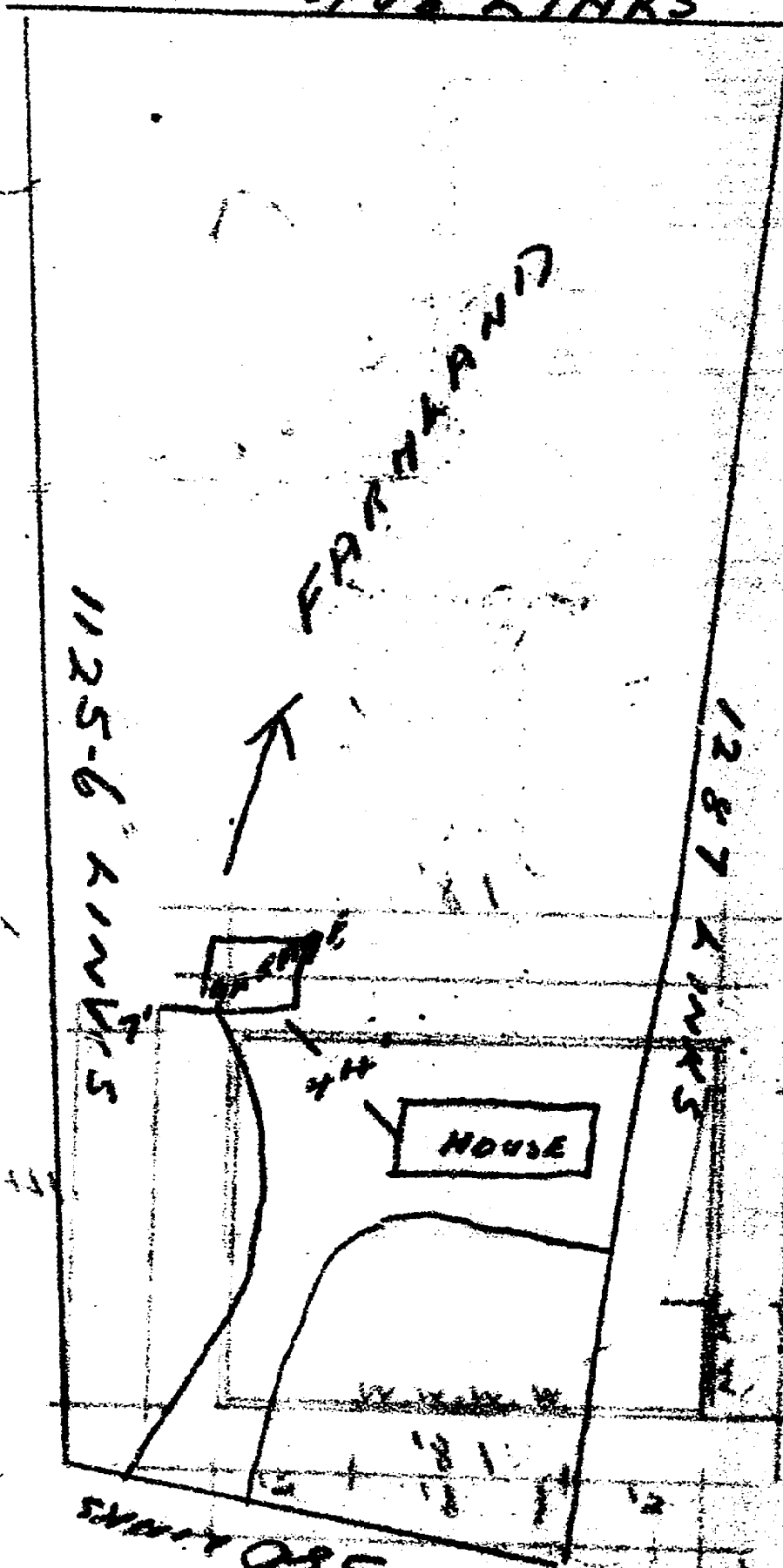
MATRAW

LOT 1 D.P. 53473

4-3-33

UNITED STATES LAND
OFFICE

468 LINKS



SEE PLAN

UNIT 2

RUSHBROOK ROAD

#03166

APPROVED NO. _____
COUNTY ENGINEERS OFFICE
WHANGAREI COUNTY COUNCIL

To be constructed by: LIGHTNING GARAGES

Rewa Rewa Road, Otaika — Phone 88-946 — P.O. Box 821, Whangarei

PROPOSED GARAGE for THOMAS J. WHITTE at 1212 REWA ROAD

FOUNDATIONS: 16 x 8 x 8 concrete blocks on 12 x 12 x 4 concrete pads @ 4' 0" centres.

FRAMING: Height to be 7' 2" over all studs @ 24" centres with one row of braces. BRACE
Brace. Timber: Framing No. 2 B.T. Pine. Bottom Plate Tanilized Pine No. 1.

ROOF CONSTRUCTION: Approved Gang Nail Trusses @ 8 foot centres will be used with 4 x 2 purlins @ 30" centres on edge.

ROOF COVERING: To be 26 g. galvanised corrugated iron with approved ridging and flashing.

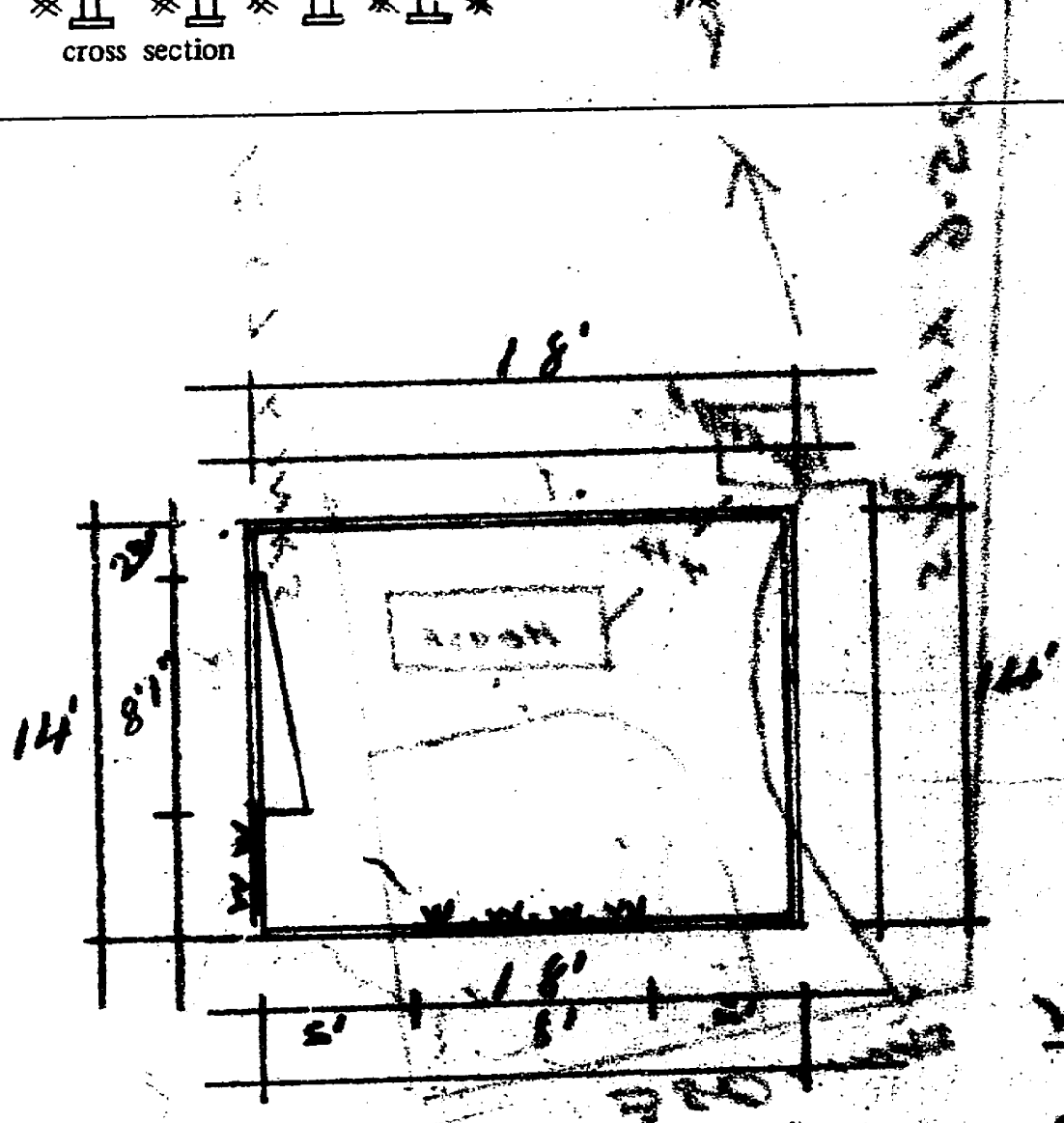
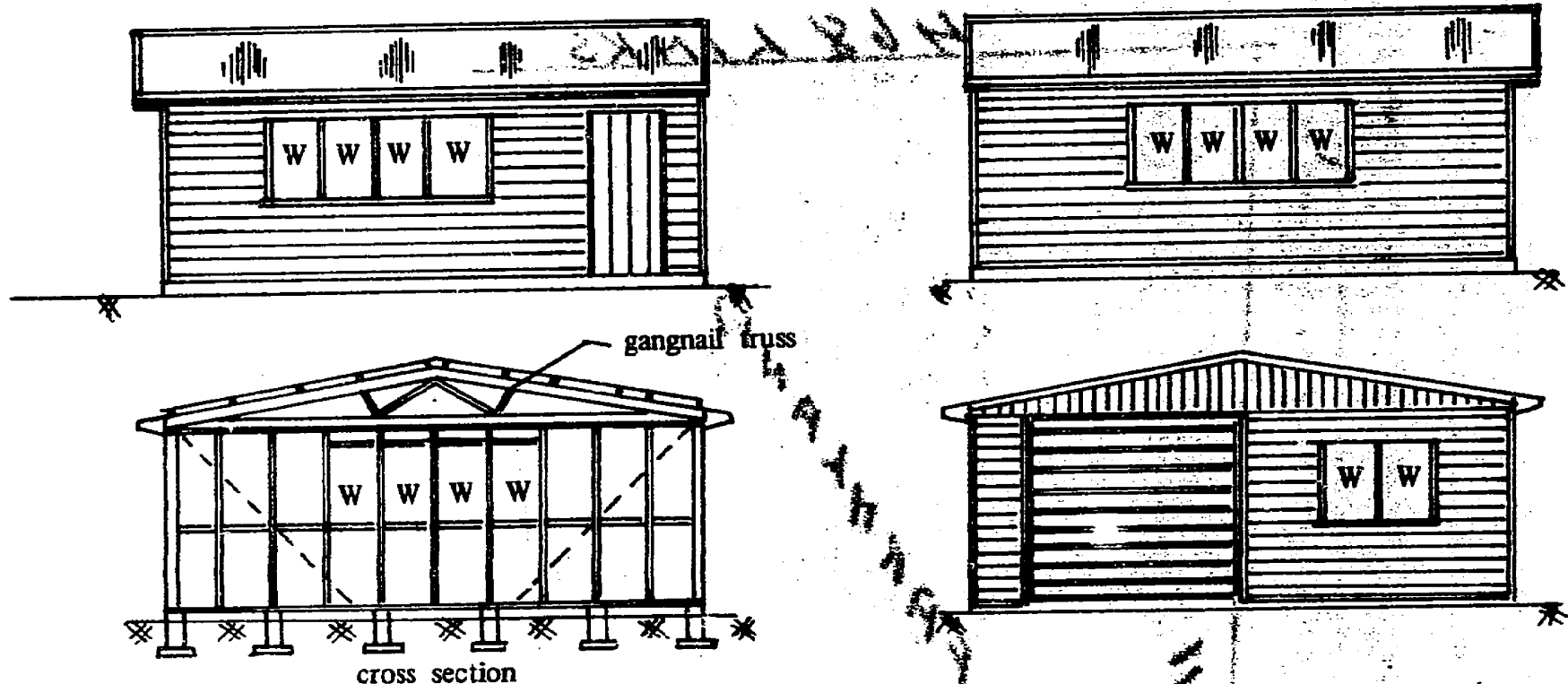
WINDOWS: To be fixed, 22 1/4" wide x 36" high. Number indicated on Plans.

ACCESS DOOR: To be 6' 6" x 2' 9" of galvanised iron construction, with box steel frame.

MAIN ENTRANCE DOOR: To be an 8 foot Tilt door.

EXTERIOR SHEATHING: To be GALV. WEATHER BOARD

STORMWATER: To be completed by OWNER



WA 388
1 TILT DOOR
7 2" STUDS

WHANGAREI COUNTY

(P.O. BOX 4102,

KAMO,

NORTHLAND

#03166

APPROVED - PERMIT NO.

COUNCIL

ENGINEERS OFFICE

WHANGAREI COUNTY COUNCIL

APPLICATION FOR BUILDING PERMIT

1217/1

TO THE COUNTY ENGINEER

Sir,

I hereby make application to erect/re-erect/extend/alter/repair the building(s) according to the site plan, (overleaf) detailed plans, elevations, cross sections and specifications deposited herewith in duplicate.

Particulars of the land and buildings are:—

OWNER

Name

THOMAS J. WHITTLE

Postal Address

RUSHBROOK RD

Phone

883 RUA RTG

BUILDER

Name

LIGHTNING GARAGES LTD.

Postal Address

P.O. BOX 821

PH. 88-848

Phone

87242

EXISTING USE OF SITE & BUILDINGS

14/17 Dwelling

NATURE OF PROPOSED BUILDING WORK

e.g. additions to Dwelling, Bedroom, Lounge extensions etc.

18 x 14 GARAGE W/SLIP

VALUATION DEPT. ASSESSMENT No.: (from rate demand)

22/202

LEGAL DESCRIPTION OF SITE: (from rate demand or title deeds)

Lot 1 DP53473

BLK W RUA S.D

Road or Street:

Rushbrook Rd

Town or Locality:

Mataura

AREA OF SITE:

4

Acres

3

Roods

30 40

Perches

NATURE OF SOIL: (rock, clay, sand, loam etc.)

FLOOR AREA: (proposed work — square feet)

Basement

Ground floor

Other floors

Total

Main Building

252

Accessory Buildings

ESTIMATED VALUE OF WORK:

Main Buildings (excluding plumbing & drainage)

\$

Accessory Buildings (excluding plumbing & drainage)

\$

Plumbing and drainage

\$

Total Value of Work

\$ 533.00

CERTIFICATE: I hereby certify that the above information is correct in every respect and do hereby agree to abide by all provisions of the Whangarei County Council by-laws governing and regulating all matters the subject of the foregoing.

Signature of Applicant:

Date:

30/11/73

FOR OFFICE USE ONLY

FEES:

Building permit

\$ 3.00

Receipt No.

9232

Date

23.7.73

Permit No.

F13091

Plumbing & Drainage permit

\$

Receipt No.

Date

Permit No.

Dispensation planning scheme

\$

Receipt No.

Date

Building research levy

\$

Receipt No.

Date

Footpath crossing

\$

Receipt No.

Date

Footpath Deposit

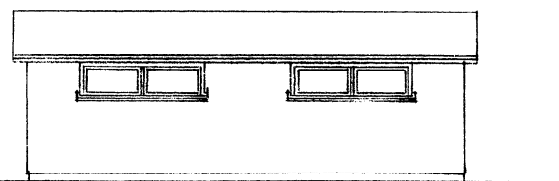
\$

Receipt No.

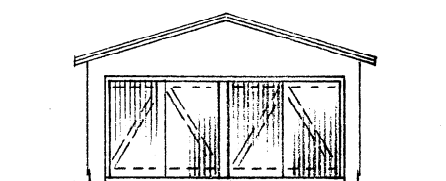
Date

TOTAL\$

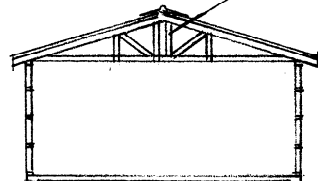
03166 2/3



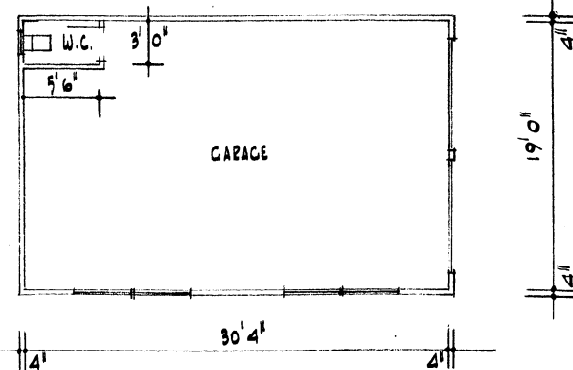
SIDE ELEVATION



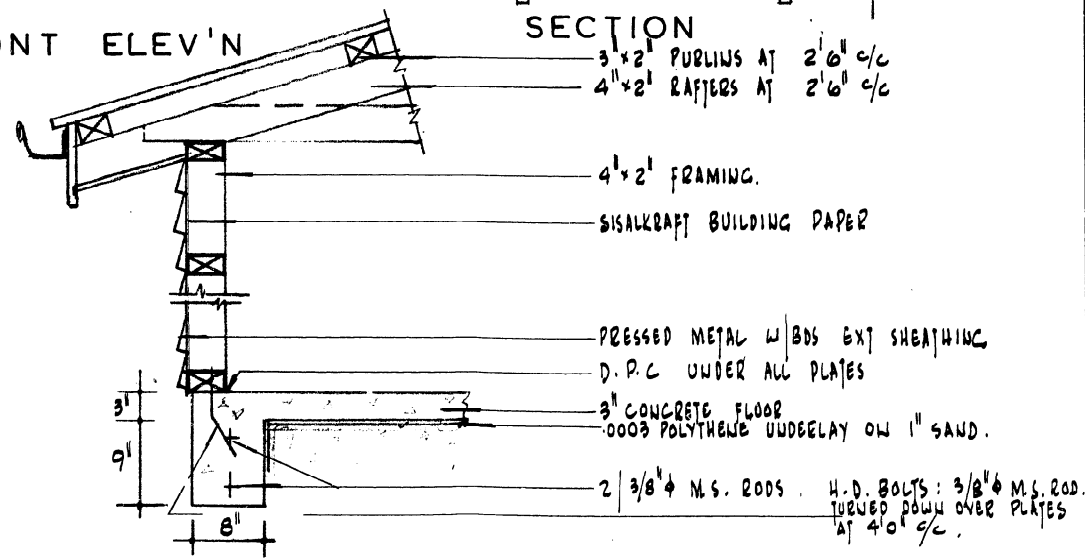
FRONT ELEV'N



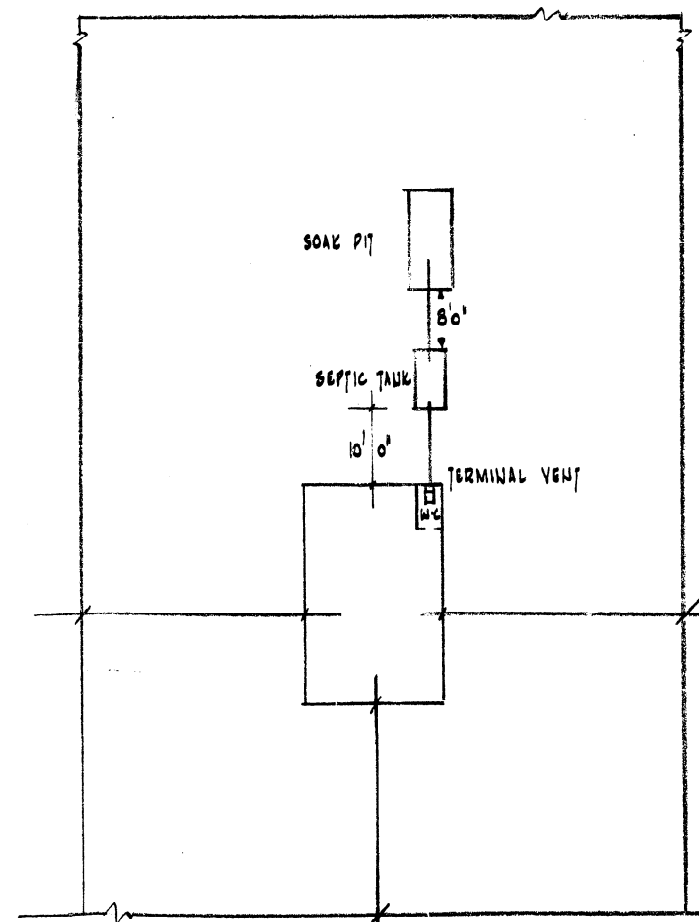
SECTION



FLOOR PLAN



DETAIL THROUGH WALL



RUSHBROOK ROAD
SITE & DRAINAGE PLAN

SCALE

1" = 6' & 1/4" : 1 foot

PROPOSED GARAGE FOR MR. T. J. WHITTLE . CONTRACTOR. MATARAU

D. H. DERBYSHIRE A. N. Z. I. P.

K. L. M. O. 03166 2/3

(P.O. BOX 4102, KAMO, NORTHLAND)

Application for Building Permit and Notice of Development* (Where applicable—see Third Page)

TO THE ENGINEER,

I hereby make application and give notice of my intention to erect/re-erect/extend/alter/repair the building(s) according to the site plan, detailed plans, elevations, cross sections and specifications deposited herewith in duplicate.

Particulars of the notice and applications are:

OWNER Name T J Bouyer

Postal Address RD 7 WHANGAREI Phone 35883

BUILDER Name T J Bouyer Builder

Postal Address RD 7 WHANGAREI Phone 35883

EXISTING USE OF SITE AND BUILDINGS House

NATURE OF PROPOSED BUILDING WORK ADDITIONS TO HOUSE
e.g. additions to Dwelling, Bedrooms, Lounge Extensions, etc.

VALUATION DEPT. ASSESSMENT No. (from rate demand) 32/202

LEGAL DESCRIPTION OF SITE (from rate demand or title deeds) LOT 1 DP 53473

BLK 10 PUEVA SD

Road or Street Rustbrook Rd **Town or Locality** MATARAU

AREA OF SITE Approx 2.0042 Hectares Square Metres ✓

NATURE OF SOIL (rock, clay, sand, loam, etc.) Volcanic

FLOOR AREA (Proposed work—square metres).

	Basement	Ground floor	Other floors	Total
Main Building		<u>95.59 m</u>		<u>95.59 m</u>

Accessory Buildings

ESTIMATED VALUE OF WORK

Main Building (excluding plumbing and drainage) \$

Accessory Building (excluding plumbing, drainage) \$ Total Buildings \$ 36,000

Plumbing \$ 200

Drainage \$ NIL

TOTAL \$ 36,200

Value of additional fixed plant and machinery etc. (*see below) \$

TOTAL VALUE OF DEVELOPMENT \$

CERTIFICATE: I hereby certify that the above information is correct in every respect and do hereby agree to abide by all provisions of the Whangarei County Council by-laws governing and regulating all matters the subject of the foregoing.

Signature of Applicant [Signature] Date 22/6/88

FOR OFFICE USE ONLY

2/10 a/c **FEES:**

10-030-12 Building Permit	\$ <u>323.00</u>	Receipt No. <u>66448</u>	Date <u>8/7/88</u>	Permit No. <u>26023</u>
22-005-20 Building Research Levy	\$ <u>37.00</u>	Receipt No. <u>66449</u>	Date	
10-031-12 Plumbing Permit	\$ <u>29</u>	Receipt No. <u>66450</u>	Date	Permit No. <u>6808</u>
10-031-12 Drainage Permit	\$	Receipt No.	Date	Permit No.
10-018-05 Footpath Crossing Permit	\$	Receipt No.	Date	Permit No.
22-002-20 Deposit against Damage to Street Road or Footpath	\$	Receipt No.	Date	
16-004-05 Water Connection	\$	Receipt No.	Date	
10-031-12 Sewer Connection	\$	Receipt No.	Date	
Miscellaneous	\$	Receipt No.	Date	
*Development Levies				
Reserves	\$	Receipt No.	Date	
Other (state)	\$	Receipt No.	Date	
	\$	Receipt No.	Date	
TOTAL	\$ 389.00	Receipt No.	Date	

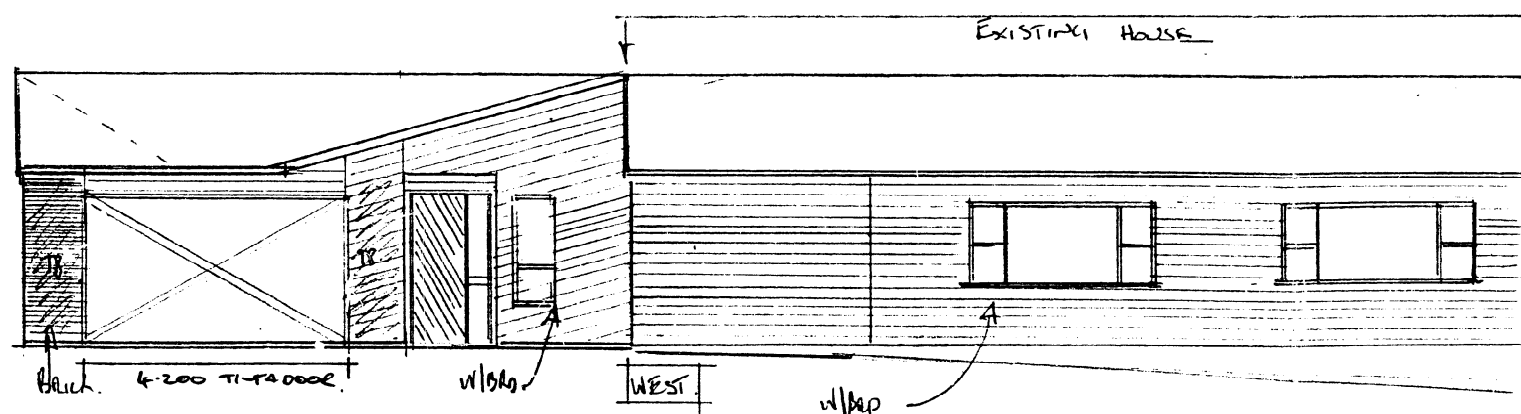
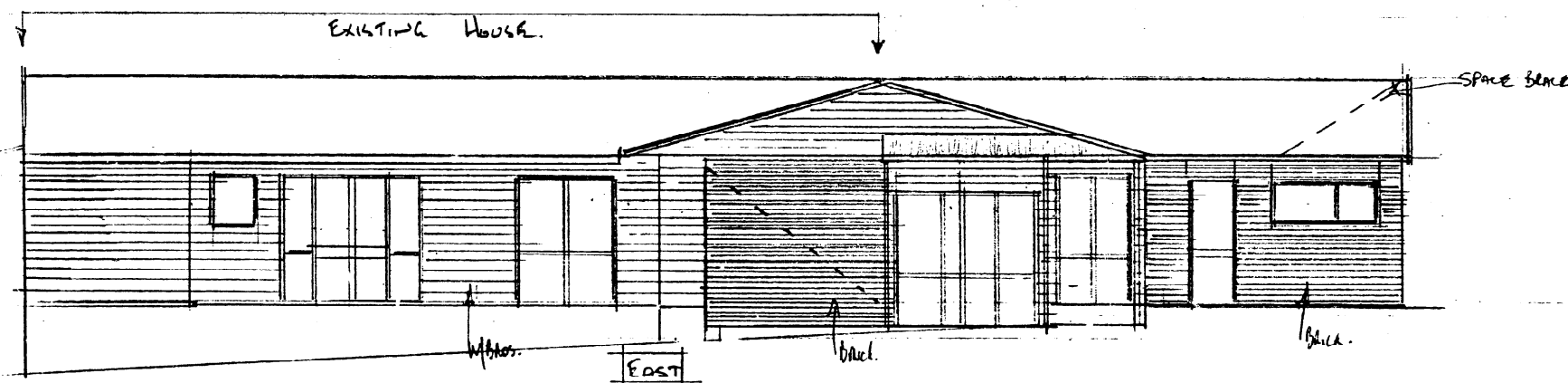
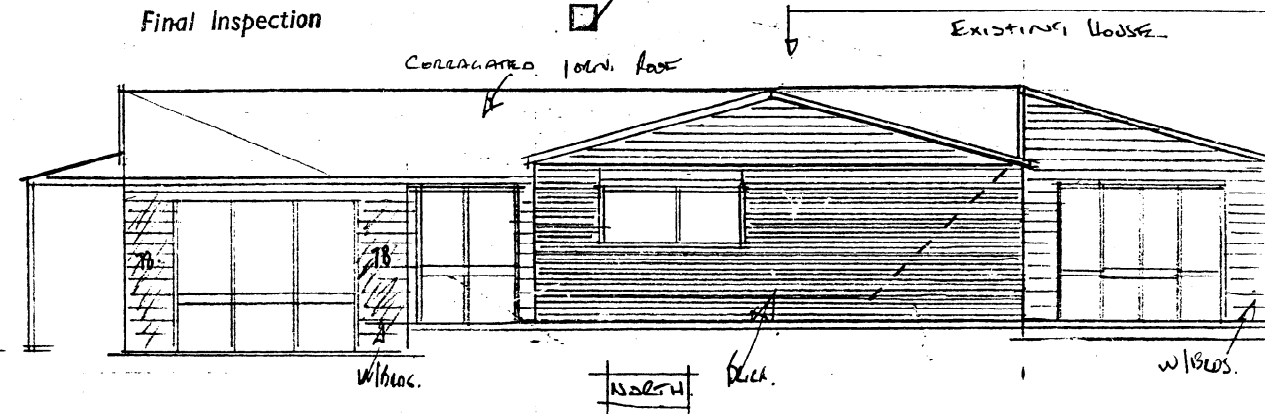
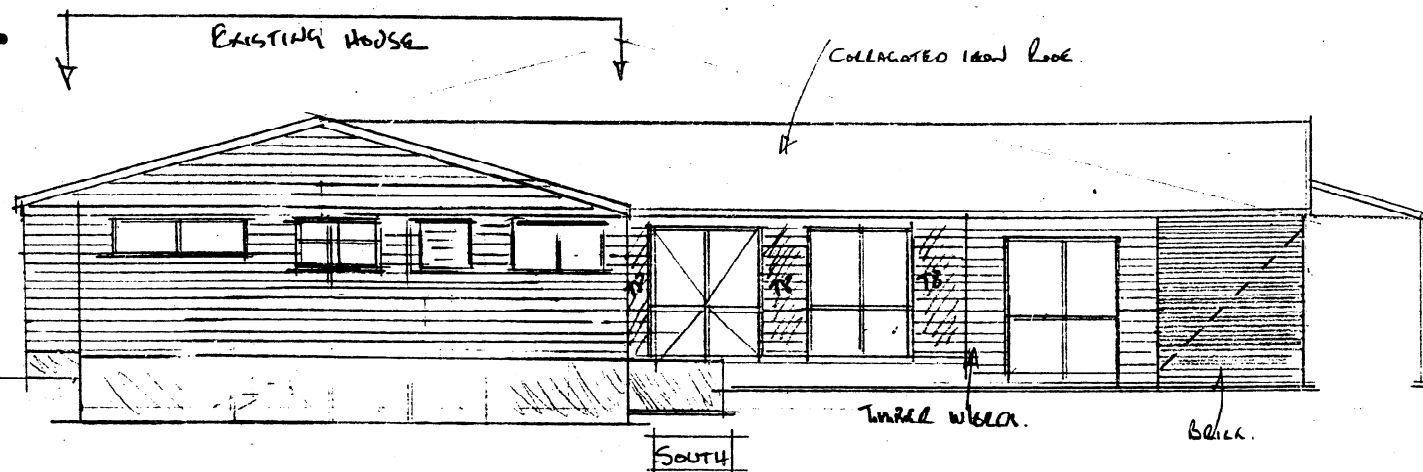
Fees Paid by T J Bouyer
(*Development levies apply only to projects covered by Section 271A of the Local Government Act 1974—see Third Page)

1/3
03166

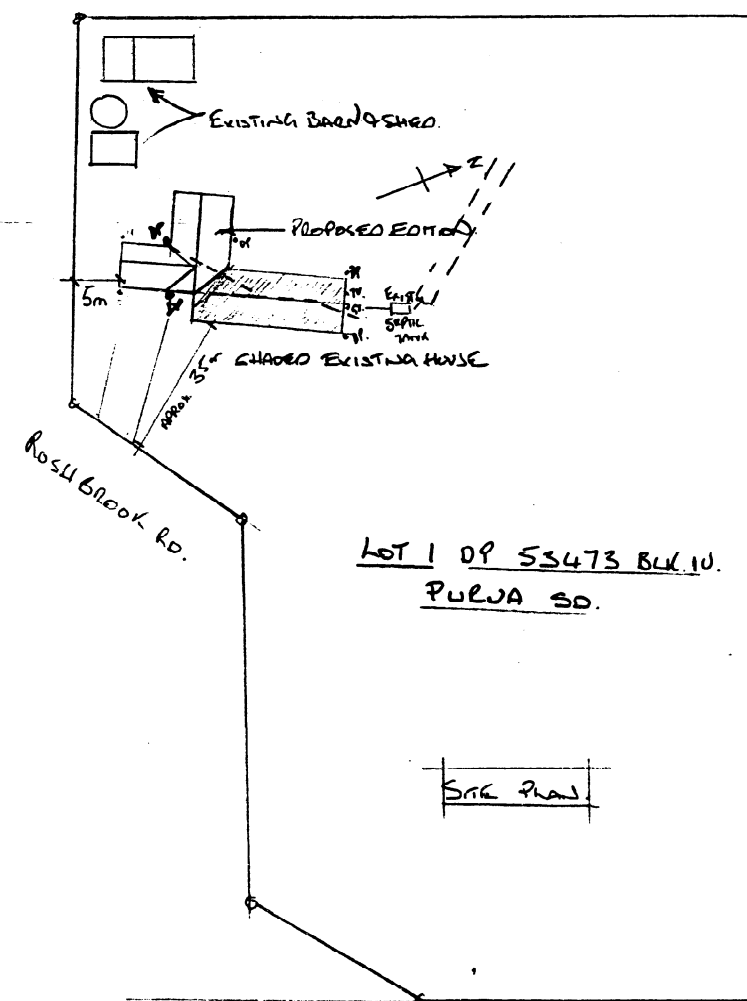
INSPECTION INSPECTIONS —

- Footing Inspection ☒
- Pre concrete Floor Slab Inspection ☒
- End Beam Inspection ☐
- Pre-lining Inspection ☒
- Final Inspection ☒

APPROVED BY NO. _____
CITY ENGINEER'S OFFICE
WAIKATO REGIONAL COUNCIL



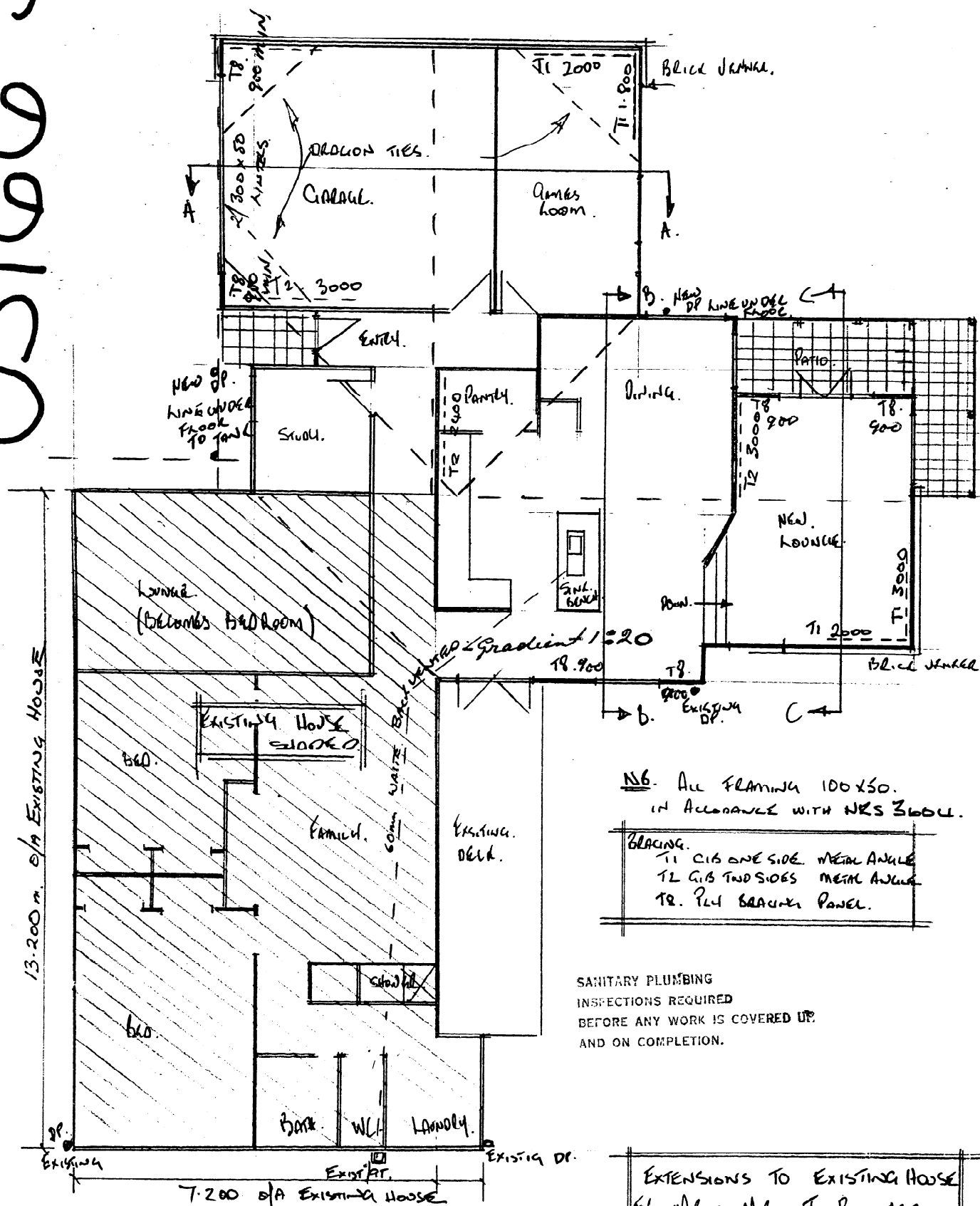
ELEVATIONS



PROPOSED EXTENSION TO EXISTING HOUSE
FOR TJ & BF BOWYER
ROSEBROOKS & NATARAU

03166 1/3

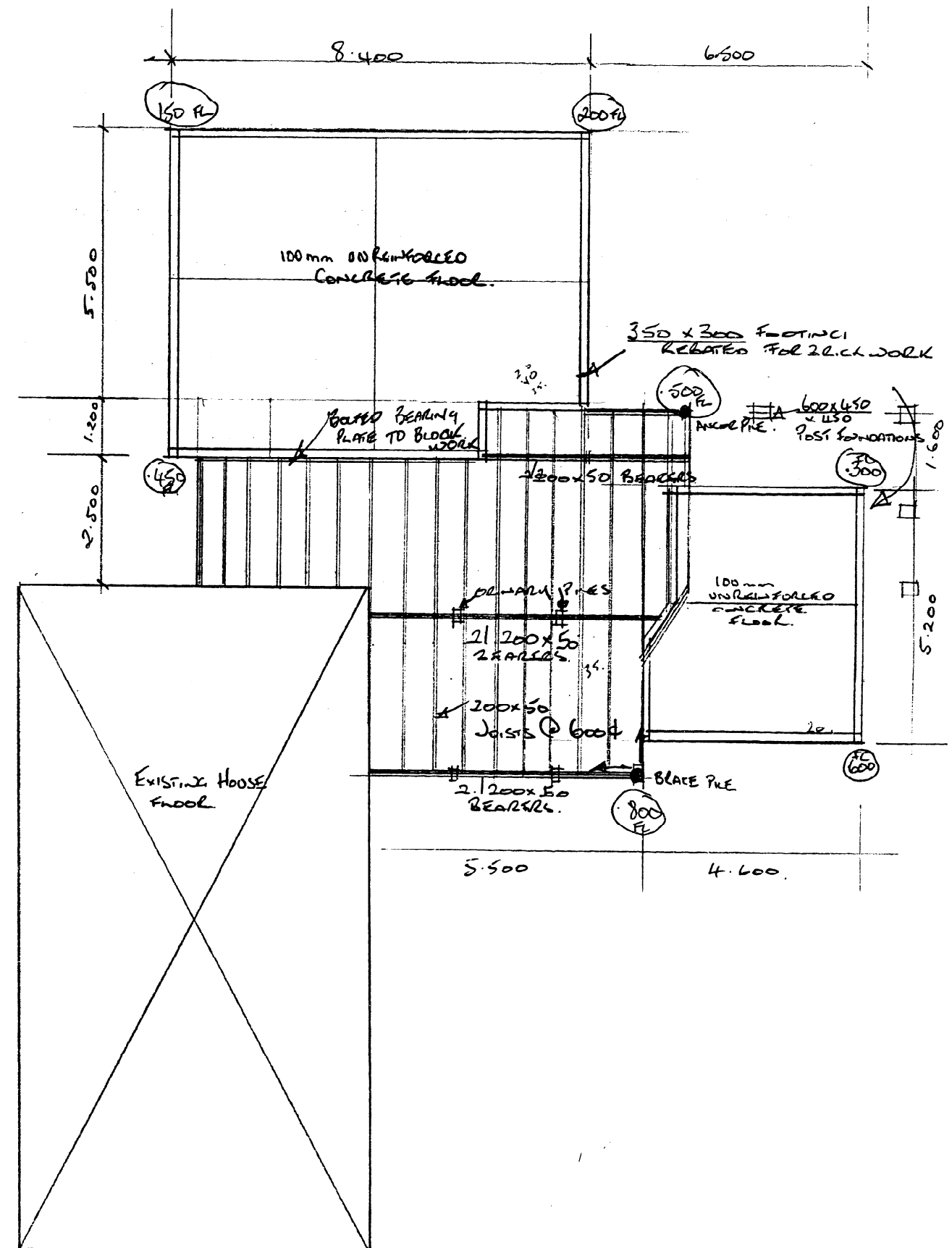
03166 3/3



NB. All FRAMING 100x50.
IN ACCORDANCE WITH NRS 3604.

BRACING.
T1 C/B ONE SIDE METAL ANGLE
T2 C/B TWO SIDES METAL ANGLE
T3 PLATE BRACING PANEL.

SANITARY PLUMBING
INSPECTIONS REQUIRED
BEFORE ANY WORK IS COVERED UP
AND ON COMPLETION.



03166 3/3

Code Compliance Certificate: 101184
Section 95, Building Act 2004

Issued:12Sep07

The Building

Street Address of building: 47 RUSHBROOK RD, RD 1, KAMO 0185

Legal Description of land where building is located:
LOT 1 DP 53473
LLP 035410

Current, lawfully established use: ALTERATION

Year first constructed: 12 SEPTEMBER 2007

The Owner

Name of owner: PETER LAWRENCE & SHERYN MAY COMRIE
Mailing Address: 47 RUSHBROOK RD
RD 1
KAMO 0185

Contact person: PETER LAWRENECE & SHERYN MAY COMRIE
Mailing Address: 47 RUSHBROOK RD
RD 1
KAMO 0185

Street address/registered office: 47 RUSHBROOK RD
RD 1
KAMO 0185

Building Work

**INSTALL KENT SIGNATURE MAX CLEAN
AIR FREESTANDING FIRE**

Building Consent number: 101184

Issued by: WHANGAREI DISTRICT COUNCIL

Code Compliance

The building consent authority named below is satisfied, on reasonable grounds, that -

(a) the building work complies with the building consent.

Council Charges

The Council's total charges payable on the uplifting of this code compliance certificate in accordance with the attached details are: \$0.00

This is a final code compliance certificate issued in respect of all of the building work under the above building consent

Signature

Position

On behalf of: WHANGAREI DISTRICT COUNCIL

Date: 12 Sep 2007

Final Code Compliance Certificate 101184

Box 165

101184

BUILDING CONSENT No:101184
Section 51, Building Act 2004



WHANGAREI
DISTRICT COUNCIL

Issued:29Jun07

Project Information Memorandum No. 101160

The Building

Street Address of building:

47 RUSHBROOK RD, RD 1, KAMO 0185

Legal Description of land where building is located:

LOT 1 DP 53473

LLP: 035410

The Owner

Name of owner:

PETER LAWRENCE & SHERYN MAY COMRIE

Mailing Address:

47 RUSHBROOK RD

RD 1

KAMO 0185

Contact Person:

PETER LAWRENCE & SHERYN MAY COMRIE

Mailing Address:

47 RUSHBROOK RD

RD 1

KAMO 0185

Street address/registered office:

47 RUSHBROOK RD

RD 1

KAMO 0185

Building Work

The following building work is authorised by this consent:

Project:

Alteration

Intended Use:

**INSTALL KENT SIGNATURE MAX CLEAN AIR
FREESTANDING FIRE**

*Creating the ultimate
living environment*

Forum North, Private Bag 9023
Whangarei, New Zealand
Telephone: +64 9 430 4200
Facsimile: +64 9 438 7632
Email: mailroom@wdc.govt.nz
Website: www.wdc.govt.nz

This building consent is issued under section 51 of the Building Act 2004. This building consent does not relieve the owner of the building (or proposed building) of any duty or responsibility under any other Act relating to or affecting the building (or proposed building).

This building consent also does not permit the construction, alteration, demolition, or removal of the building (or proposed building) if that construction, alteration, demolition, or removal would be in breach of any other Act.

This building consent is subject to the following conditions:

(a) the building must be altered, removed, or demolished on or before the end of 20 years from the date of issue of this consent (being the specified intended life of the building); and

1: General

No Requirements.

2: Dust Nuisance

The applicant must control dust nuisance created by any site or building works.

3: Toilet Facilities

Toilet facilities must be provided within reasonable distance of the construction site. Ground discharge is no longer acceptable.

4: Smoke Alarms

Smoke alarms are to be installed in compliance with the building code.

Compliance Schedule

A compliance schedule is not required for the building.



(H Rintoul)

Signature

SUPPORT ASSISTANCE – BUILDING COMPLIANCE

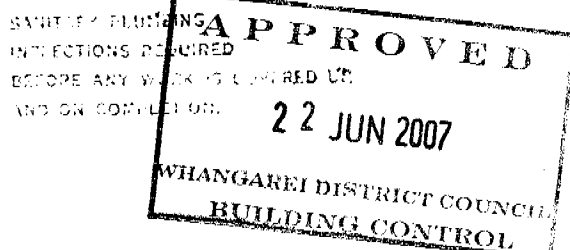
Position

On behalf of: Whangarei District Council

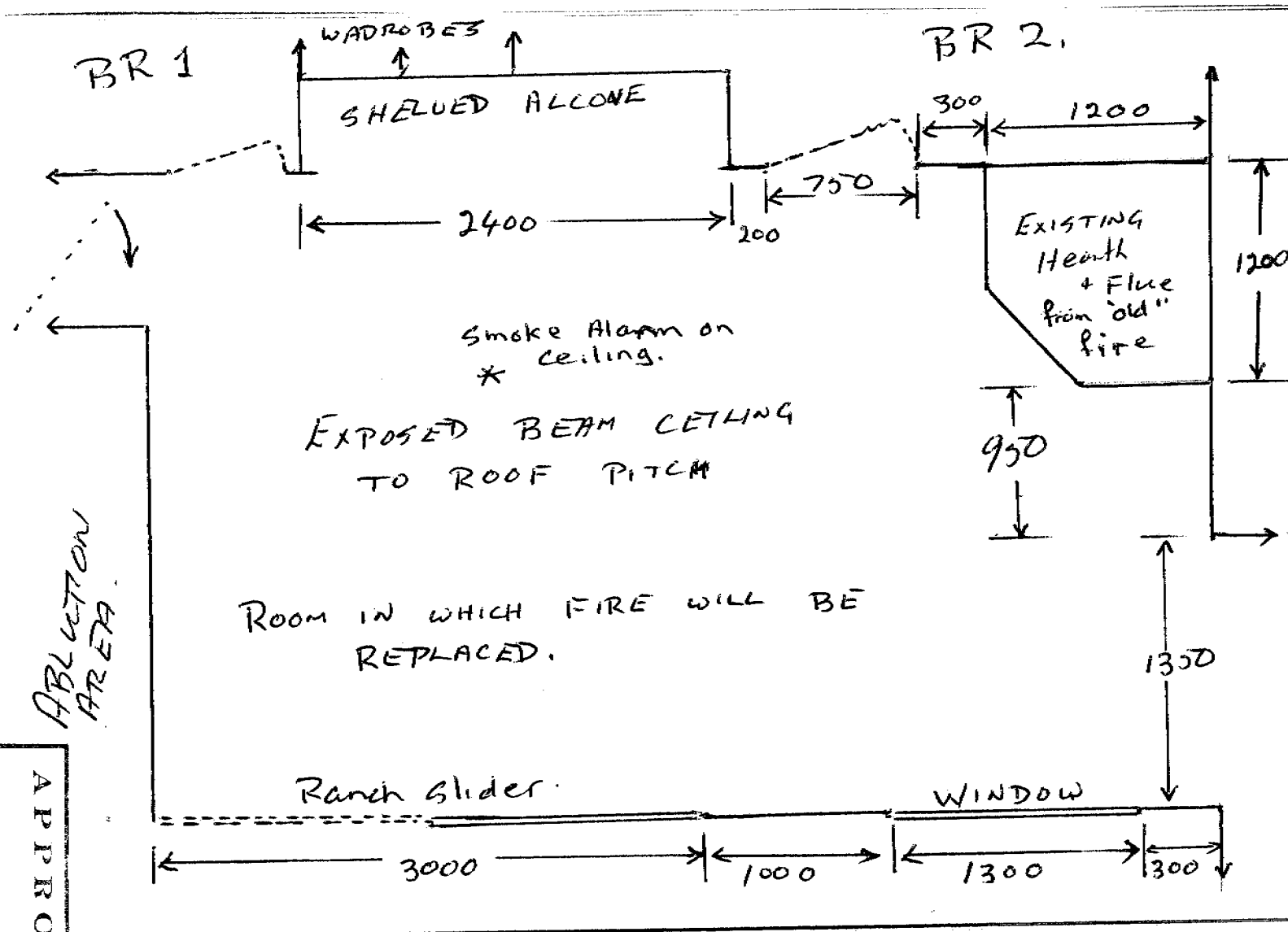
Date: 06 July 2007

BUILDING CONSENT NO. 101184

RECEIVED
CUSTOMER SERVICES
20 JUN 2007
WHANGAREI
DISTRICT COUNCIL



EXTENSIONS TO EXISTING HOUSE
S/L ML 9 ML 1 T BOWHILL
RUSHBROOK CO. MATARAI.



APPROVED

22 JUN 2007

WHANGAREI DISTRICT COUNCIL
BUILDING CONTROL

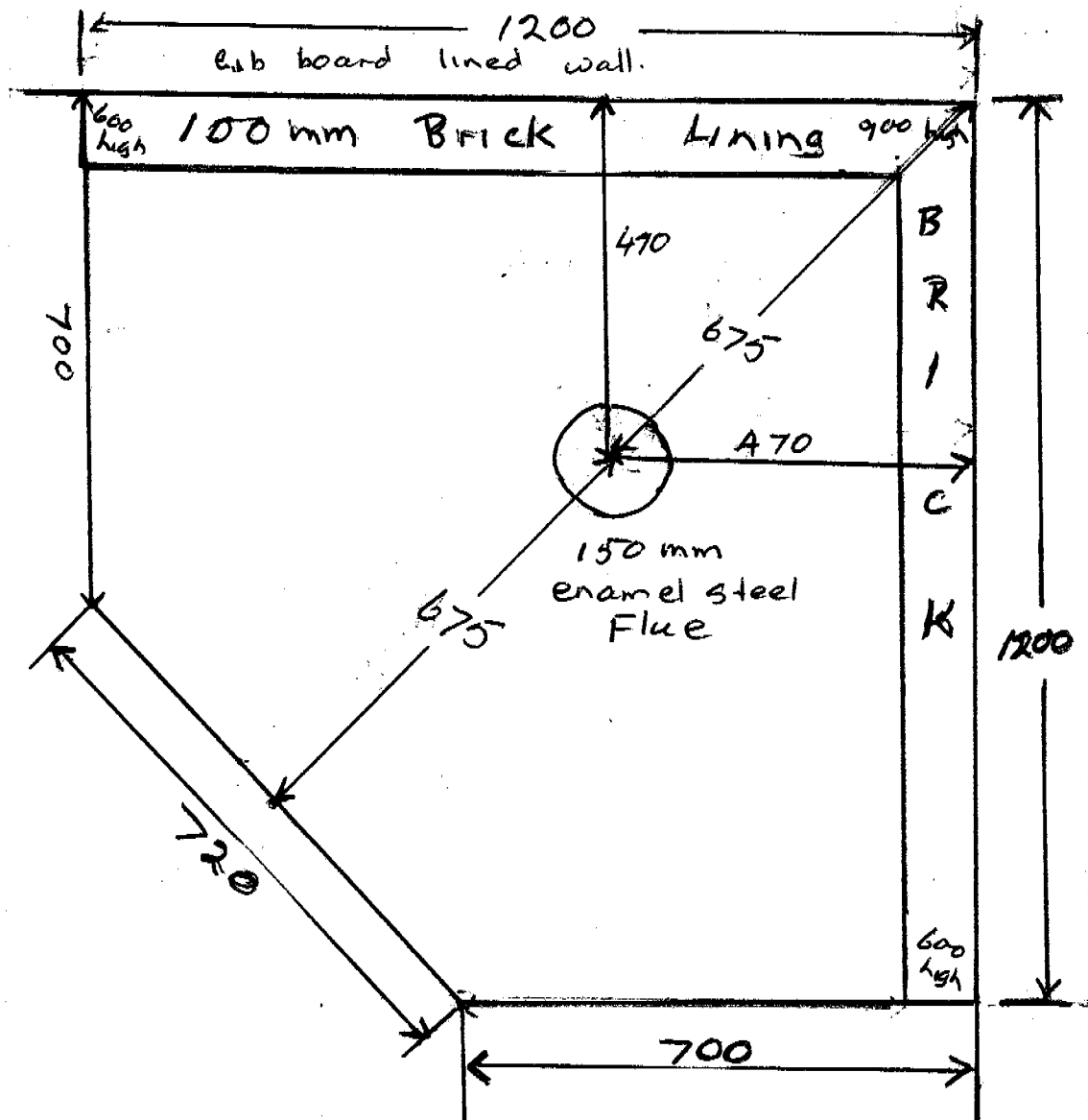
RECEIVED

CUSTOMER SERVICES

20 JUN 2007

WHANGAREI
DISTRICT COUNCIL

RECEIVED
CUSTOMER SERVICES
20 JUN 2007
WHANGAREI
DISTRICT COUNCIL



Existing hearth & Flue
"old" fire.

APPROVED
22 JUN 2007
WHANGAREI DISTRICT COUNCIL
BUILDING CONTROL

Ceramic tiles with grouted joints
40 mm thick.

Heat shield to be installed on flue

2x M6 Bolts through hearth & wooden floor