

move.

council records

**26c nevada drive
merrilands**

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Natural Source	Manhole	Air Release Valve	Inlet	Trunk	Open Drain	Yellow = Privately Owned Grey = Out of Service/Closed Stormwater Water Supply Wastewater
Treatment Plant	Alert Valve	Manifold Valve	Outlet	Rise	Stream	
Pumpstation	Air Valve	Backflow	End Point	Main	Misc Polygon	
Storage Unit	Non-Return Valve	Meter	Node	Lateral		
Hydrant	Standard Valve	Wellup	Misc Point			

Te Kaunihera-a-Rohe o Ngāmotu
New Plymouth District Council

1:250
A3

MAP PROJECTION:
New Zealand Transverse Mercator

26C Nevada Drive

Date: 7/08/2026
Author: Coll Balsom

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DISCLAIMER: NPDC assumes no responsibility or liability for the completeness or accuracy of the data displayed on this plot. To be used for indicative purposes only.

PLANS

BC17/121306

Prepared by: TF

BATHROOM ALTERATION
FOR
WILSON RESIDENCE
26c Nevada Drive, New Plymouth

Job No : 5931
February 2017

Consent Issue



BC17/121306 13/2/17

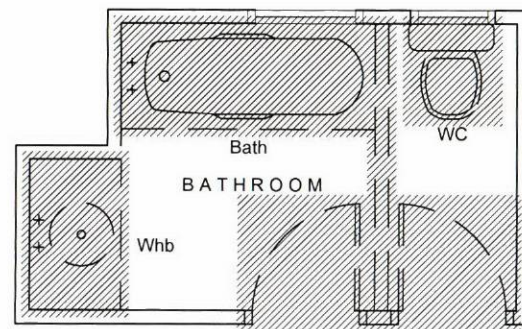


Ph. : (06) 769 5524
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Mob : 027 2100 564
Email : paul@4sitedesign.co.nz
PO Box 589
495a Devon Street East
New Plymouth

SITE DESIGN
Architectural Designers

Drawing Index

- A1-1 - SITE PLAN
- A2-1 - DEMOLITION / PROPOSED FLOOR PLAN
- A3-1 - SKYLIGHT DETAILS
- A3-2 - CONSTRUCTION DETAILS



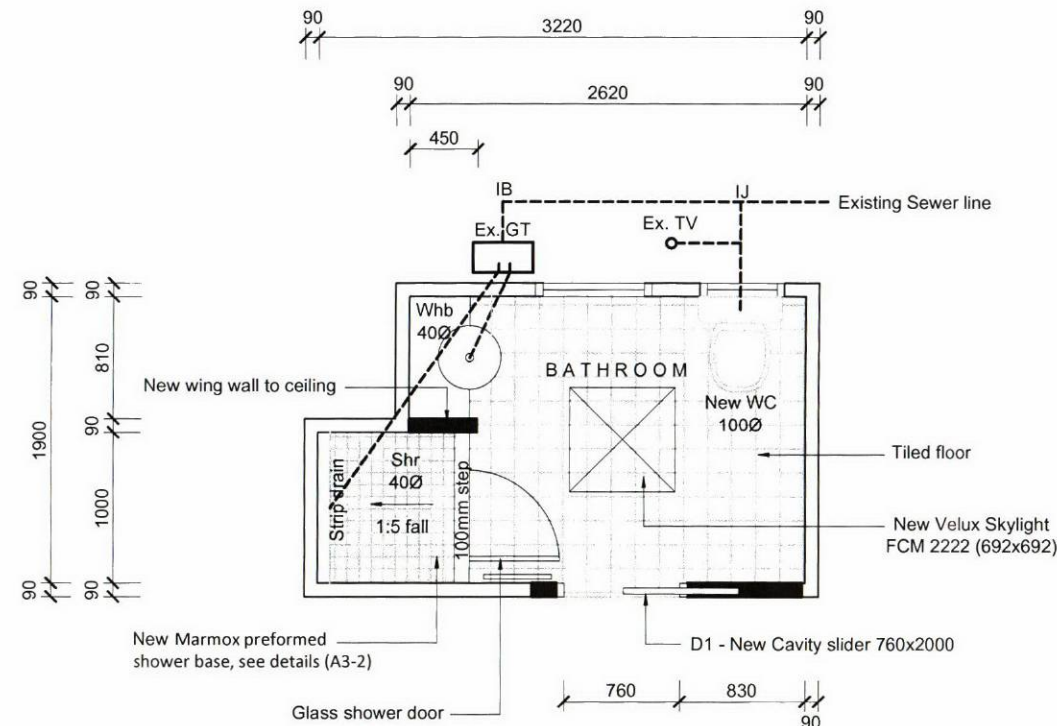
EXISTING / DEMOLITION PLAN
Scale 1:50

KEY:

- Existing walls to remain
- To be removed

NOTE:

Disconnect services temporarily ready for new bathroom fitout, new fittings to be connected in to the existing gully trap, confirm location on site prior to construction.



PROPOSED FLOOR PLAN
Scale 1:50

KEY

- 100 Ø Sewer

PLUMBING & DRAINAGE KEY

- IJ Inspection Junction
- WC Toilet Pan
- Whb Wash hand basin
- TV Terminal vent
- Shr Shower
- GT Gully trap
- AAV Air admittance valve

PLUMBING & DRAINAGE NOTES

Foul Water Sanitary Plumbing shall comply with NZBC G13/AS1 & G13/AS2

Stormwater drainage shall comply with NZBC E1/AS1

Size all wastes & drains to comply with the above, lay all drains to acceptable falls

Water supply & reticulation shall comply with NZBC G12/AS1

All drains shall be pvc
All water supply pipes shall be K2 piping

All plumbing and drainage shown as indicative only.
Plumber to confirm plumbing and drainage layout complying with the New Zealand Building Code

Minimum Pipe Gradients	
40Ø	1:40
100Ø	1:100

KEY:

- Timber wall framing
- Whb = Wash hand basin
- WC = Toilet
- Shr = Shower
- Htr = Heated towel rail
- Battery operated Smoke Alarm to be installed within 3m of all sleeping areas

Shower floor to have Marmox preformed tile over base.

Showers to have Gib Aqualine substrate and to be water proofed with "Superflex" or similar BRANZ approved water proofing system, Refer to "Superflex" Spec. attached.

Line bathroom wet areas with Gib Aqualine,
-10mm Gib to walls
-13mm ceilings

VENTING:

Mechanically vent shower directly to the outside with a proprietary ventilation ducting system and inline fan run through roof framing space out through wall or soffit

NPDC Approved for
03 MAR 2017
Building Consent

A	Building Consent Issue	07.02.17
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REVISION:

JOB TITLE:

Bathroom Alteration
Wilson Residence
26c Nevada Drive
New Plymouth



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New Plymouth

SCALE: 1:50

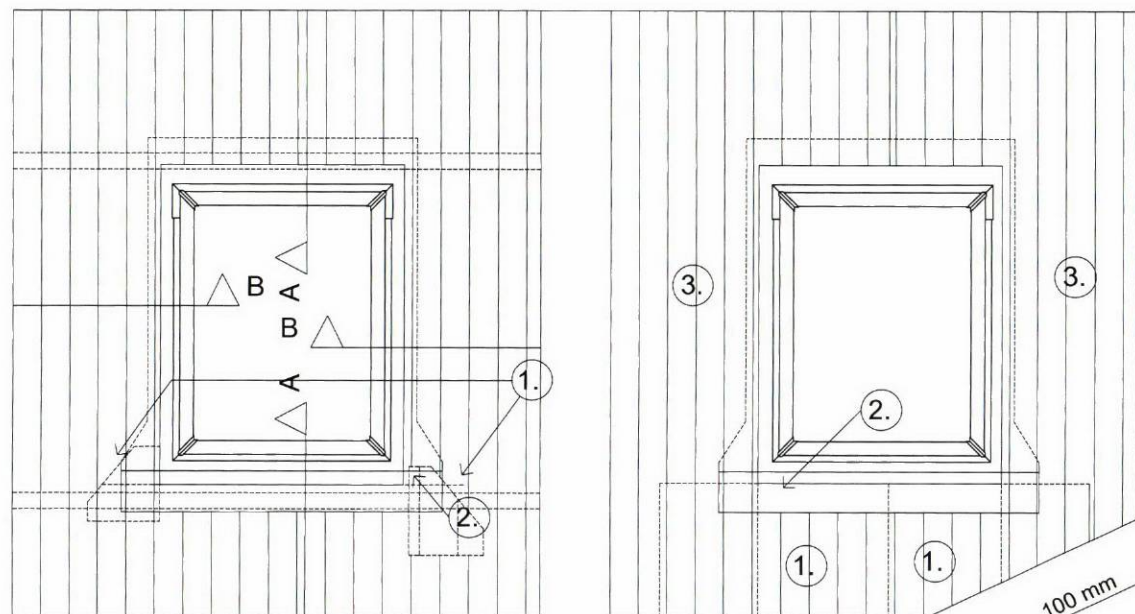
DRAWN: LK

CHECKED: -

DATE: February 2017

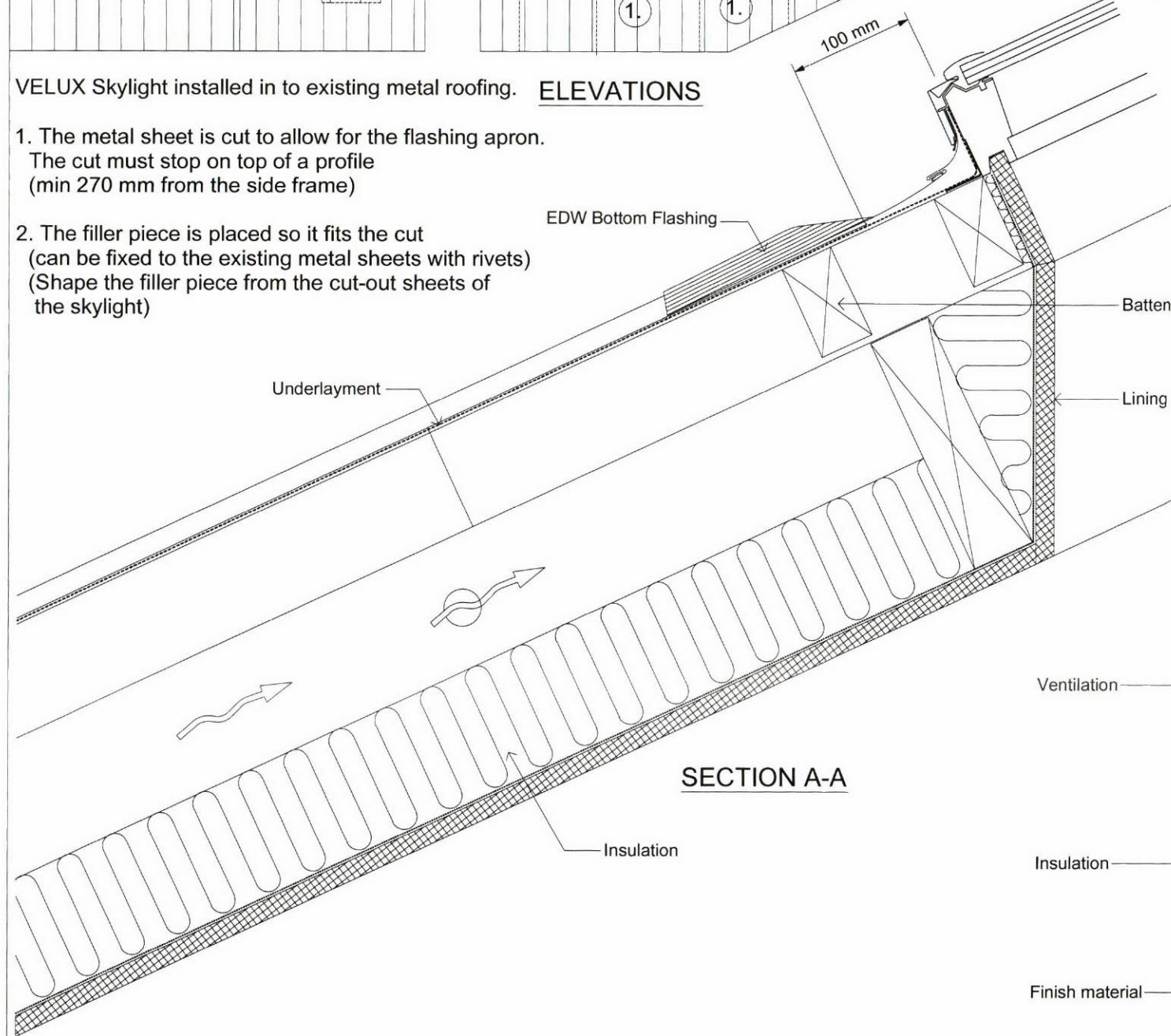
JOB No.: 5931 **REVISION:** A

SHEET No.: **A2-1**



VELUX Skylight installed in to existing metal roofing. **ELEVATIONS**

1. The metal sheet is cut to allow for the flashing apron. The cut must stop on top of a profile (min 270 mm from the side frame)
2. The filler piece is placed so it fits the cut (can be fixed to the existing metal sheets with rivets) (Shape the filler piece from the cut-out sheets of the skylight)

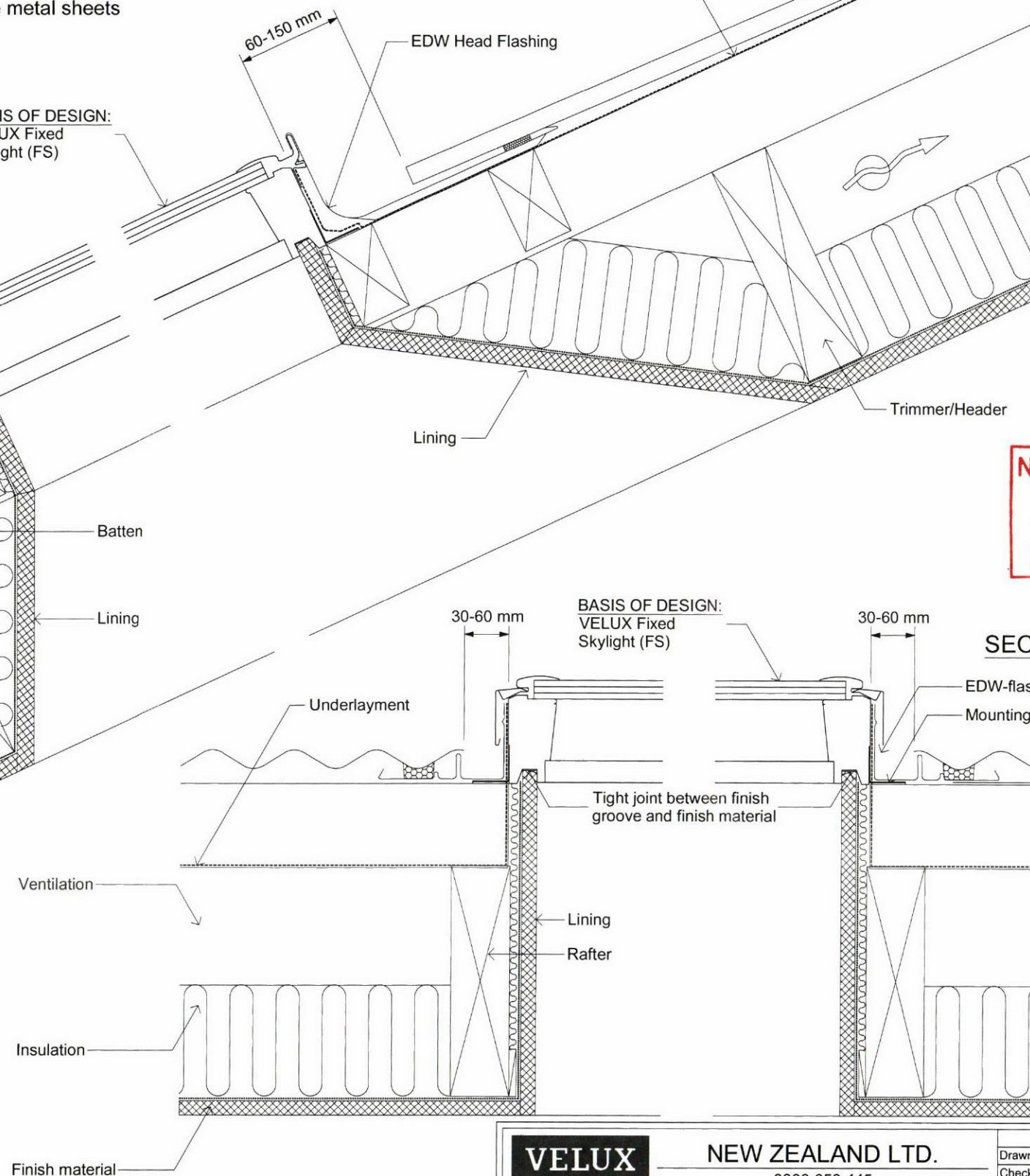


SECTION A-A

VELUX Skylight installed in new metal roofing.

1. The sheets are fitted 100 mm from the bottom frame
2. The flashing is mounted
3. Fit the metal sheets

BASIS OF DESIGN:
VELUX Fixed
Skylight (FS)



BASIS OF DESIGN:
VELUX Fixed
Skylight (FS)

SECTION B-B

NPDC Approved for
03 MAR 2017
Building Consent

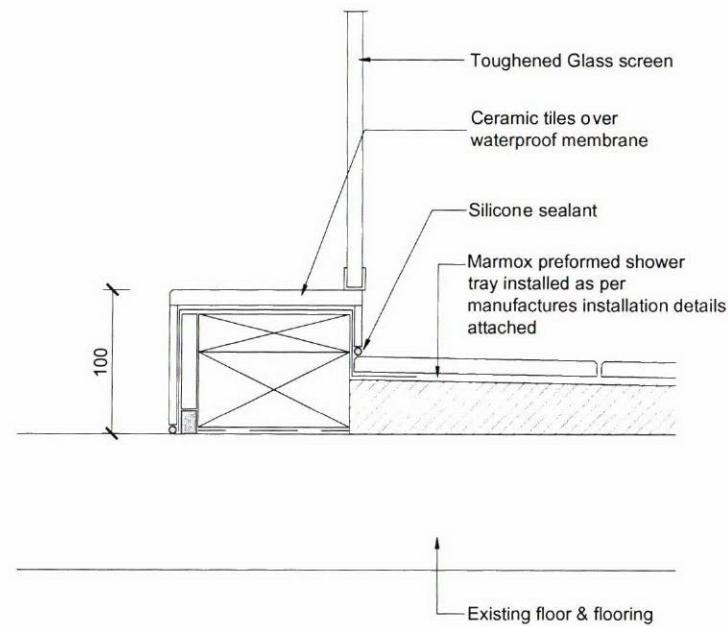
VELUX
Sky-Product Management

NEW ZEALAND LTD.
0800 650 445

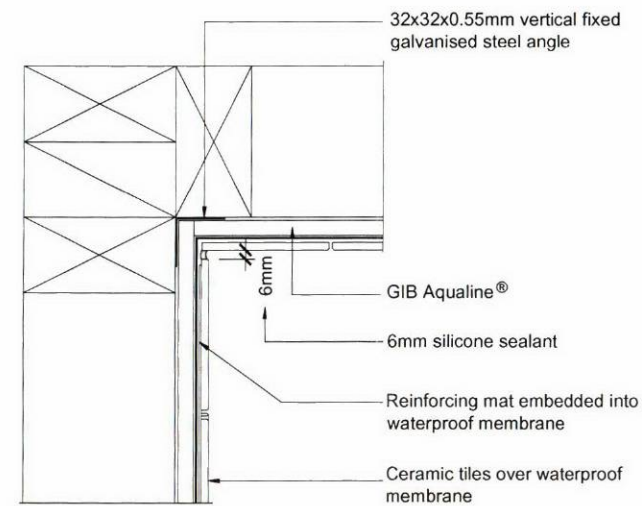
FS - Fixed Skylight and EDW Flashing in Profiled Metal Roof

Name	Date
Drawn by	Jan 2015
Checked by	Jan 2015
Drawing No.	

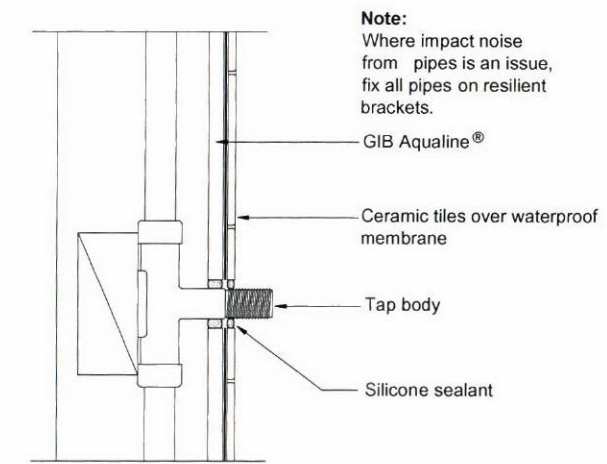
A3-1



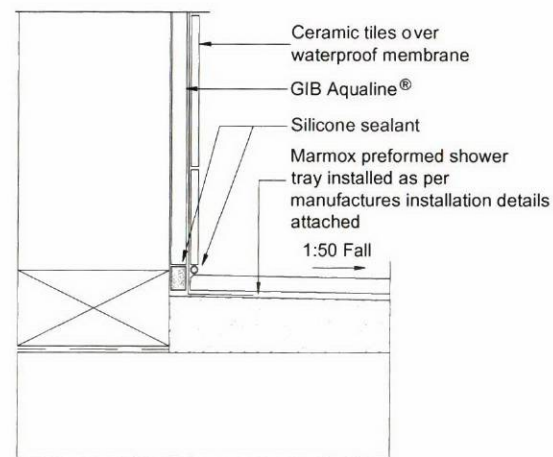
SHOWER NIB DETAIL
Scale 1:5



TILED CORNER DETAIL
Scale 1:5



PENETRATION DETAIL
Scale 1:5



WALL / FLOOR DETAIL
Scale 1:5

NPDC Approved for
03 MAR 2017
Building Consent

A	Building Consent Issue	07.02.17
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REVISION :

JOB TITLE :

Bathroom Alteration
Wilson Residence
26c Nevada Drive
New Plymouth



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PO Box 589 495A Devon Street East
New Plymouth

SCALE : 1:5
DRAWN : L.K.
CHECKED : -
DATE : February 2017
JOB No. : 5931 REVISION : A
SHEET No. :

A3-2



Installation Certificate



This Installation certificate Number 2229 is issued by

Installer: Red Sloth No: 1313 Phone No: _____
being a registered installer with the New Zealand Home Heating Association Inc.

For the Installation of a

Brand: Pioneer Model: metra Serial No: _____
Dealer: Heat Direct Phone No: 758 5619

Customer: Beaumont
Address: 26C Nevada Dr.
New Plymouth

The above heating unit has been installed as per the manufacturer's specifications and in accordance with New Zealand Standards.

Signed by: Red Sloth this _____ day of _____ Year _____

OFFICE COPY

PLANS AND SPECIFICATIONS APPROVED FOR TYPE, USE, SITING, COVERAGE AND CONSTRUCTION, AS IN ACCORDANCE WITH ALL RELEVANT ACTS, REGULATIONS AND BY-LAWS ADMINISTERED BY THE NEW PLYMOUTH DISTRICT COUNCIL.

APPROVED:

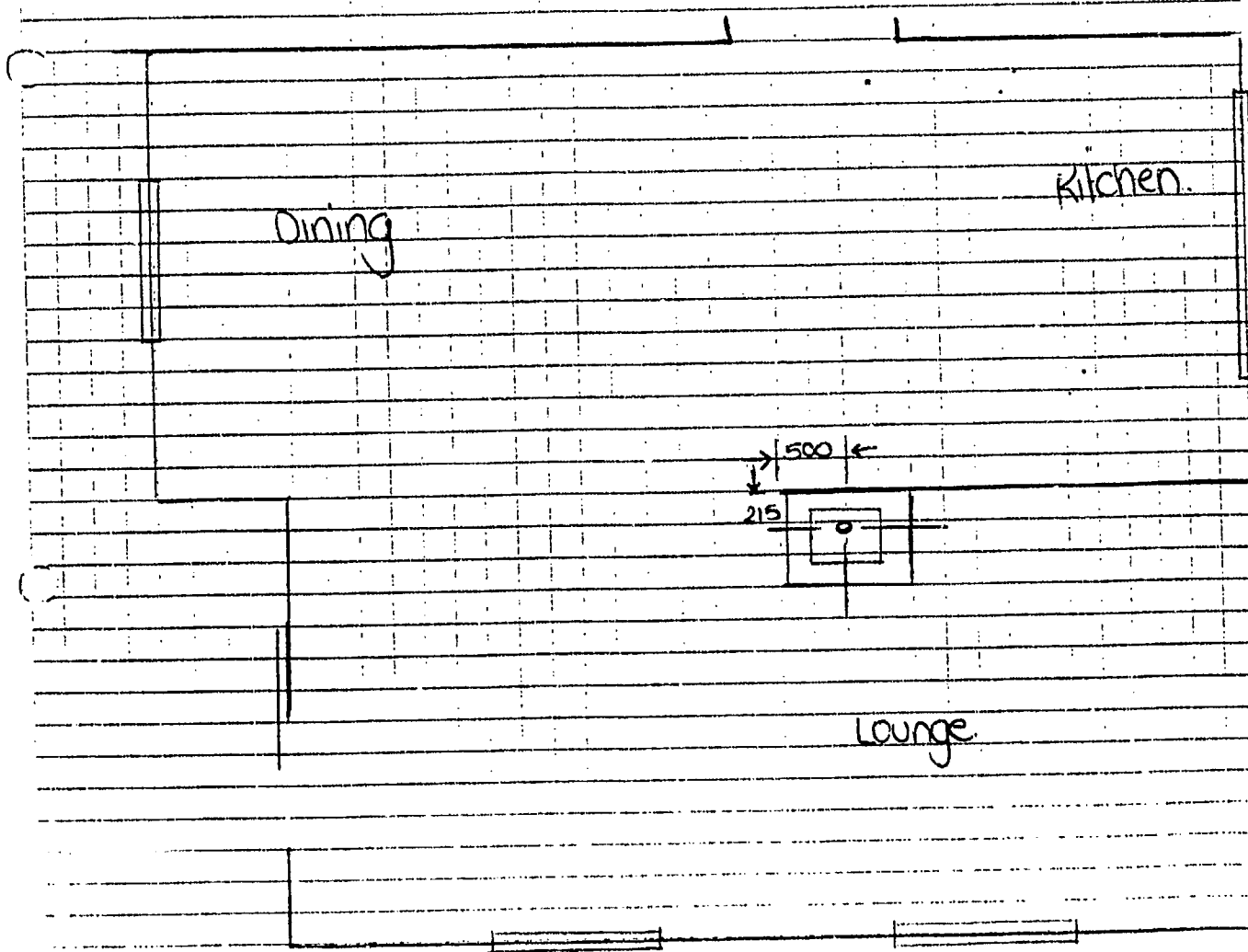
[Signature] 26.9.99

THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF THE NEW PLYMOUTH DISTRICT COUNCIL.

29607/29608

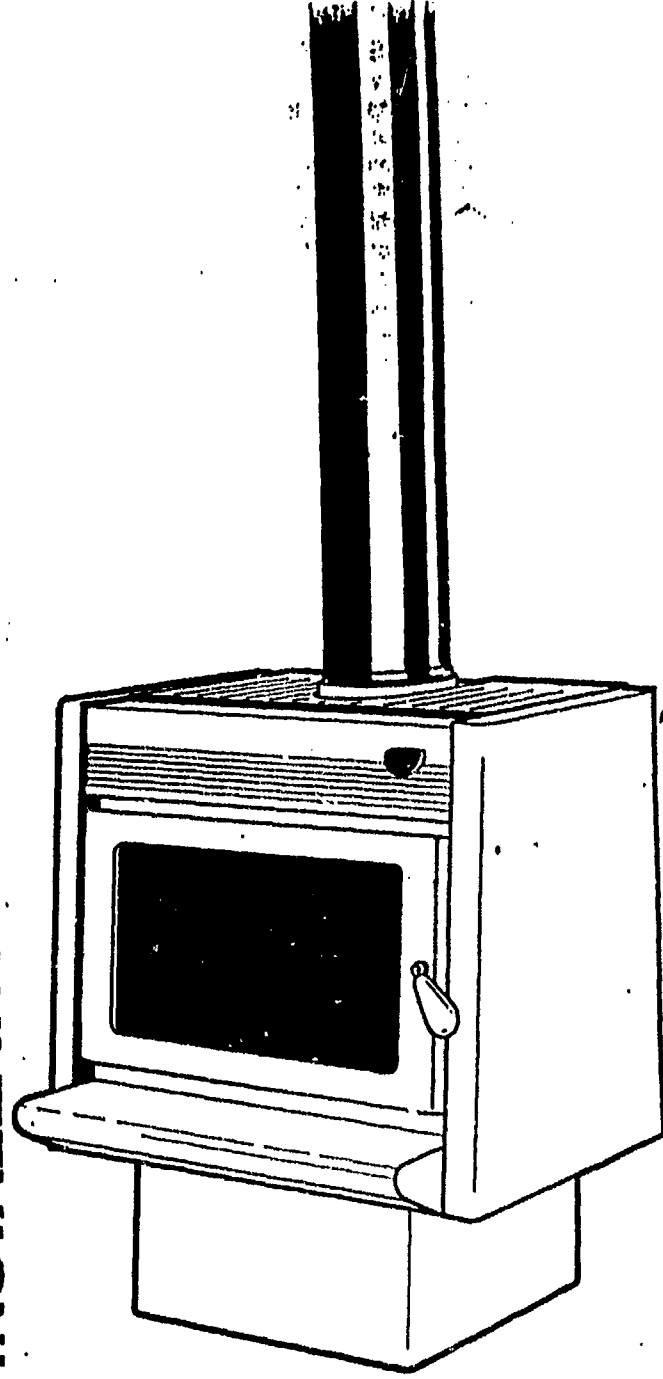
INSTALLERS NAME: Ted Goffe
NAME (INSTALLATION): Beaumont
ADDRESS (INSTALLATION): 26 C Nevada Dr, N.P.
MAKE: Pioneer metal MODEL: F/S ☒ I/B ☐
HEARTH: NEW ☒ EXISTING ☐
WET BACK: NEW ☐ EXISTING ☐
CHIMNEY: BRICK ☐ PRECAST ☐ POURED ☐ S/S ☒

1st 2 lengths brown
with enamel.



METRO

INSTALLATION AND OPERATION MANUAL



IMPORTANT MESSAGE TO THE OWNER

Congratulations on your selection of the Metro woodfire, this low emission low combustion appliance is designed to give you many years of warmth and service.

Please ensure you read this manual fully and become conversant with the correct operation of your Metro. A consent is required from your local building authority which is the owner's responsibility to obtain.

As correct installation is critical to the performance and safe operation, it is recommended your Metro be installed by a registered installer or a person suitably qualified in the installation of wood burning fires, your Metro retailer will be able to arrange professional installation for you. Please take particular note of the following:-

- During the very first fire the Metro will give off an odour and fumes as the firebox paint cures. Do not be alarmed as it will last for approx one hour only and will only happen this one time.
- Properly seasoned (Dry) timber is necessary for the Metro to operate efficiently, firewood that contains too much moisture will result in flue blockages and reduce the heat output of the Metro substantially.
- Never - Dry clothes on the heater
- Never - Empty ash into a plastic bucket or paper bag
- Never - Burn treated or un-seasoned (wet) wood
- Never - Operate the Metro with door ajar except on start up
- Never - Operate the Metro with the Cook top grill removed as wall temperatures behind the Metro will be excessive.
- The Metro is an approved clean air appliance but the following must be noted and adhered to in clean air zones:-
 - Only wood with a moisture content of 25% or less may be used as a fuel, coal must not be used.
 - The off position on the air control setting must not be used.

IMPORTANT MESSAGE TO THE INSTALLER

The Metro woodfire has been tested to and complies with AS2918 and NZS7421-1990 when installed in accordance with this manual. Please ensure you are fully conversant with this manual and these relevant standards. Correct installation is critical to the safe operation and performance of this heater. Please take particular note of the following:-

- A minimum 3.6 metres of 150mm dia flue is required, This flue must be fully encased from the ceiling to the cowl.
- All flue joints must be sealed and riveted, the bottom of the flue must be fully sealed into the flue stub.
- The Metro must be bolted through the hearth into the floor to comply with the seismic restraint provisions of NZS-7421.
- The Metro is coated in vitreous enamel or if silicon resin paint if it is a Metro Chameleon, take care during assembly, lifting and installation not to mark or damage the panels.

ASSEMBLY

The Metro woodfire is packaged in a single palletised carton, to minimise freight damage the pedestal has not been attached in position but is packaged inside the firebox. Having Removed the cardboard and timber packaging and located this manual, familiarise yourself with the illustrations on the following page's 3 and 4 and proceed as detailed.

- Open the door, remove the cardboard box containing pedestal, side bricks, door handle, rear shield deflector and bolt bag.
- Remove the 2 x pozidrive screws from the base of the firebox which secure it to the wooden pallet, close and latch the door.
- Remove the "Cook top" grill and lay the collapsed Metro carton on the floor directly behind the Metro.
- Place one hand into and securely grip the flue outlet, place your other hand under the front of the pallet base and gently rotate the Metro backwards until it is resting on its back, discard the pallet.
- Fully open the Metro's door taking care that the door does not fall closed, take the 4 x 6mm bolts from the bolt bag and insert them through holes provided in the firebox base. Position the pedestal over the 4 x bolts and fit the nuts and washers supplied (refer diagram 1). Check to ensure the pedestal is correctly aligned and securely tighten the 4 nuts.
- Close and latch the door, taking grip of the flue outlet once more gently raise the Metro until it is upright. Refit the "cook top" grill and attach the door handle to the door latch assembly by screwing on clockwise.
- Attach the rear shield deflector to the rear panel directly behind the flue outlet, the angled sides point forward almost touching the cook top grill. secure with screw provided.
- Open the door fully and fit the side bricks to each side of the firebox. Location lugs are fitted to the base and rear of the firebox to retain the side bricks in position, refer diagram 2.
- Fit the top baffle into position in the top chamber of the firebox where it is supported on 4 lugs. (note, the baffle must be held back against the rear of the firebox with the chamfered corners facing forward as shown in diagram 2)

Your Metro is now fully assembled and ready for installation. Due to the excessive weight of the Metro and the potential to damage panels through incorrect handling, any further moving of the appliance should involve two people each lifting under the side panels.

DIAGRAM 1

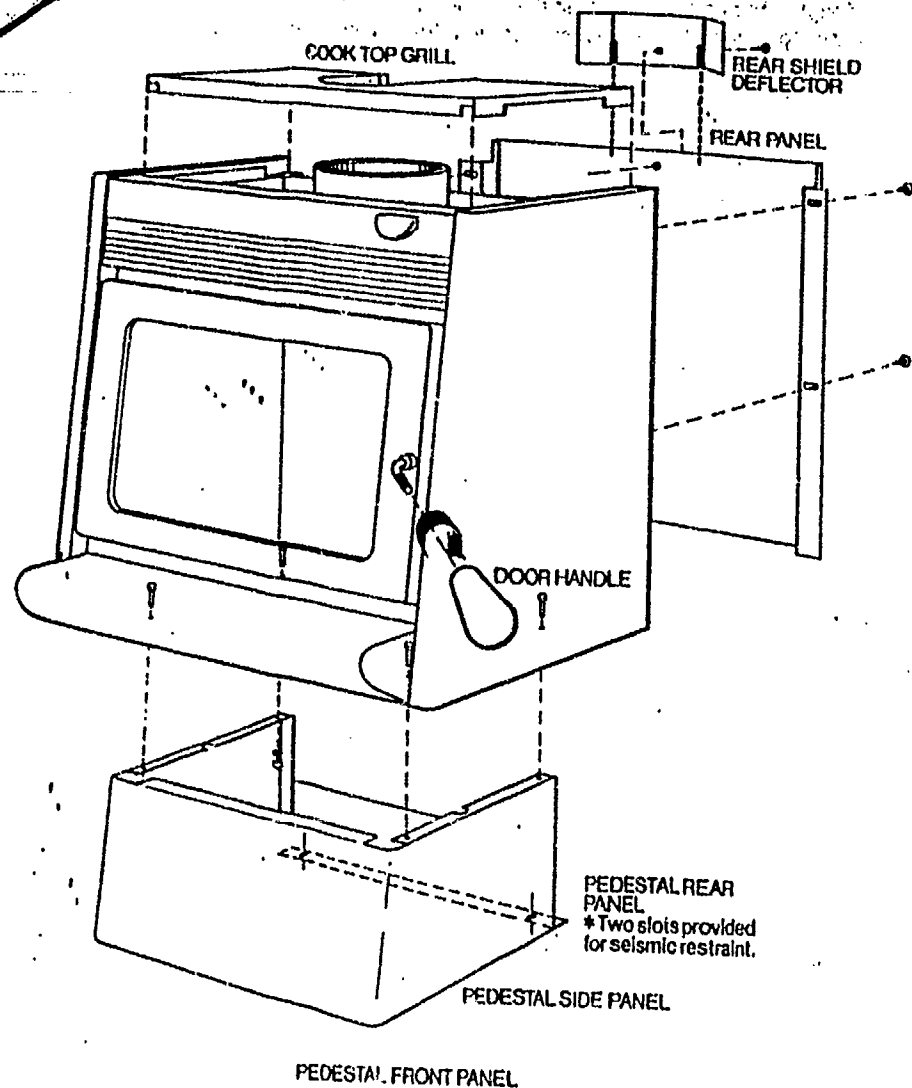
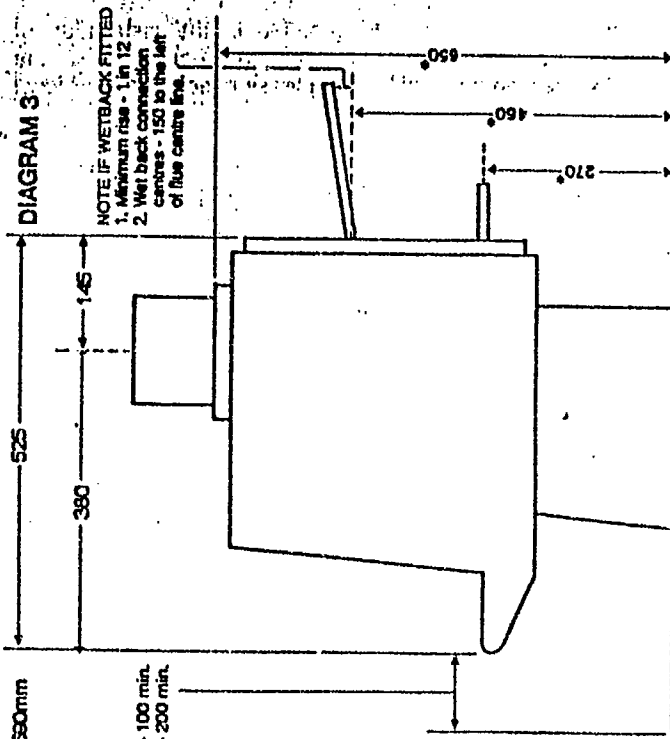


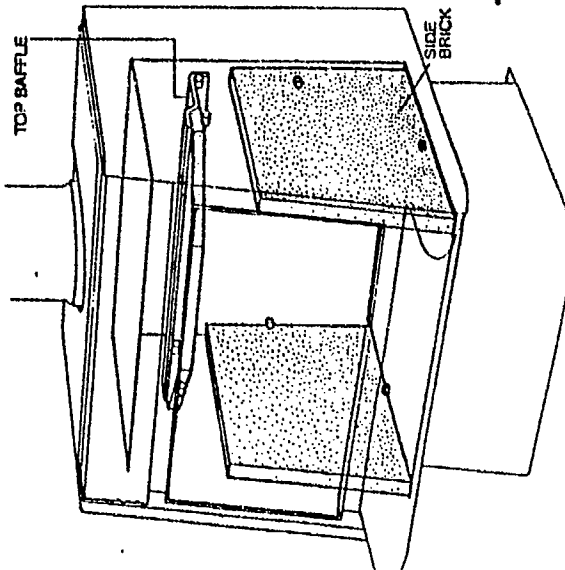
DIAGRAM 3



METRO WIDTH - 580mm

NEW ZEALAND - 100 min.
AUSTRALIA - 200 min.

DIAGRAM 2



*An alternative height pedestal is available which reduces the height of the wet back connections and the total height of the Metro by 60mm.
NOTE: An insulating hearth is required when a reduced height pedestal is fitted.

It is important your Metro woodfire is installed by a qualified installer or a person suitably qualified in the installation of woodburning appliances. A building consent is required and the installation is usually checked on completion, please check with your local building authority.

HEARTH Prior to construction or placement of the hearth it is necessary to ensure there is clear access for the flue system through the roof cavity, it may be necessary to move the Metro's position slightly to avoid a roof truss etc. Pioneer manufacture custom made hearth's designed to compliment the styling of the Metro at an affordable price, consult your Metro retailer if you wish to consider a Metro hearth.

Your Metro does not require an insulating hearth but must be positioned on an ash hearth which should be of adequate size to give appropriate clearances and projections. The requirements for New Zealand and Australia differ and are set out as follows :-

NZS 7421-An ash hearth must extend 200mm horizontally in all directions directly below the door opening. The top surface of the ash hearth must be raised a minimum of 25mm above the surface of the combustible floor directly in front of the Metro.

AS 2918-An ash hearth must extend 200mm horizontally to the rear and each side directly below the door opening, and 300mm forward of the door opening.

A suitable ash hearth is any continuous non combustible surface which includes ceramic tiles with grouted joints fixed directly to timber flooring. If this type of hearth construction is proposed, it is recommended to lay a sheet of 6mm cement sheet (Harditex or villa board) as this will prevent movement of the tiles and cracking of the grout.

Once the hearth is constructed and in final position, the Metro can be positioned ensuring the correct wall clearances detailed on page 6 are maintained.

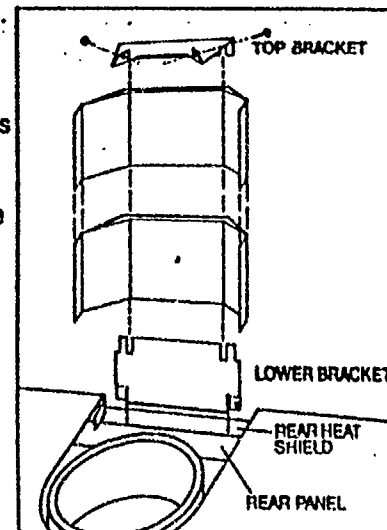
If in New Zealand seismic restraint is required, secure through the rear of the pedestal as shown in diagram 1. It is necessary to secure the Metro through the hearth into the floor.

Using a plumb-bob mark the ceiling at a point directly above the centre of the Metro's flue outlet. You are now ready to install the flue system.

FLUE SYSTEM The Metro requires a 150mm diameter stainless steel or vitreous enamel flue 3.6 metres in minimum length and terminate with a suitable cowl and flashing in clear undisturbed air. All flue pipe must be encased as detailed in NZS7421 / AS2918 within the roof cavity or where timber framing is in close proximity. It is also necessary to fully encase the flue pipe between the roof line and the cowl assembly at the top of the flue. All flue joints must be sealed and riveted and the bottom of the flue must be fully sealed into the flue outlet of the firebox, instructions are supplied with the flue pack.

FLUESHIELD Pioneer have developed a vented double flueshield 1200mm in length which enables the Metro to be installed with minimal wall clearances from combustible walls as detailed in the clearance schedule below. To fit the Pioneer double flueshield proceed as follows referring to the diagram shown :-

- * Unpack the flueshield and brackets.
- * Remove the plastic film from both the outer and inner face of the flueshield, a sharp knife or razor blade is required to clean up surplus plastic film left protruding from the crimped joint.
- * Fit the unfolded lower bracket to the inner rear heat shield of the Metro directly behind the flue outlet, inside the top grill "cut out".
- * Fit the folded top bracket centrally at the top of the "inner" flueshield facing forward.
- * Lift the flueshield into position and locate the bottom of the "inner" flueshield onto the lower bracket previously fitted to the Metro.
- * Attach the top bracket to the flue pipe using rivets or screws.



CLEARANCES Your Metro woodfire has been tested and approved to NZS7421 / AS2918 when installed in accordance with the following minimum clearances from combustible surfaces.

		AUSTRALIA	NEW ZEALAND
With Pioneer Double Flueshield	REAR	50mm	50mm
	SIDE	320mm	300mm*
	CORNER	100mm	100mm
Without any Flueshield	REAR	405mm	430mm
	SIDE	320mm	300mm
	CORNER	255mm	280mm

* An optional Pioneer flue shield "side extension panel" is available which when fitted extends the flue shield depth 40mm and enables a reduction in side clearances to :-

- 270mm for conventional side wall installation
- 220mm providing the side wall does not protrude forward of the Metro (ie, alcove installation)

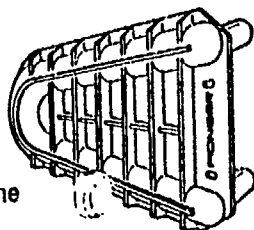
Place a quantity of crumpled newspaper on the base of the firebox, add dry kindling and ensure the air control is fully open. You may use commercial fire lighting products to start the start up of the fire but never use liquid fuels. Light the fire and leave the door ajar slightly if necessary, approximately 5 to 10mm for a few minutes while the fire establishes. Once burning, open the door and add 2 or 3 small logs at a time until you have a well established fire, usually this will take approximately 30 minutes during which time the air control should be set on high and the door should be closed except for the initial few minutes and when fuel is being added. Once the fire is established regulate the air control to achieve the desired burn rate / heat output. Note the Metro should be operated with the air control operating in its lower movement range, in the unlikely event that you have a fire lift the air control knob slightly into the upper movement range and move it fully to the left OFF position. Note, during the first fire the Metro will give off an odour and fumes while the paint cures on the firebox, don't be concerned, it will last approximately one hour and only happens this one time.

Normal operation Always open the air control fully prior to opening the door then open the door slowly. When loading fuel always place the fuel to allow plenty of air space between the logs and leave on high for a minimum of 10 to 15 minutes. Never use the door to force a piece of wood into the firebox as this may cause the glass to break. When the ash level results in ash spilling out, remove the excess but always leave a layer of ash 10mm to 15mm deep in the bottom of the firebox. CAUTION only use metal containers for carrying or storing ash as it can retain heat for several days.

Extended burning It is most important if the Metro is to be refuelled and turned down for a slow extended burn that it be operated on high for a period of 10 to 15 minutes prior.

If the air control is turned down to a low setting to soon after refuelling or un-seasoned firewood is used, the excess creosote produced will reduce the life of the top baffle and the flue. In addition the output of the Metro will be greatly reduced and flue cleans will be required much more frequently.

WET BACK Your Metro can be fitted with optional water generators designed to give maximum output with minimal effect on the operation of the fire. Only the Pioneer Cast Jacket wetback system as illustrated should be fitted to the Metro as any alternative type will void the Metro's emission approvals and may seriously effect the performance of the appliance and void it's warranty.



The Metro wetback is available with either the standard 3Kw cast iron jacket or high output 4Kw alloy version. Both types have been independently tested in a Telarc registered laboratory and your Metro retailer will discuss your particular requirements with you to access which is best suited to your situation.

Both wetback options can be fitted to the inside rear of the firebox, with the connection pipes accessible as illustrated in diagram 3. Position of connection pipes with standard pedestal fitted are :-

Inlet = 270mm above hearth
 Outlet = 460mm above hearth
 Inlet and Outlet = 150mm left of flue centre (facing wall)

NOTE. An optional reduced height pedestal is available which lowers the above connection heights and the total height of the Metro by 60mm, if a reduced height pedestal is used the Metro must be installed on an insulating hearth.

To fit the Wetback proceed as follows :-

1. Remove the rear panel as illustrated in diagram 1 by removing the 4 pozl drive screws. Remove the 2 pre-punched knockouts from this panel.
2. Having removed the rear panel, 2 further knockouts will be visible and are to be removed from the inner rear heatshield.
3. Open the Metro's door and locate the wetback access cover plate fitted to the left hand side on the rear firebox wall, secured with 4 bolts. Remove all 4 bolts using a 10mm spanner and discard the cover plate.
4. An additional bolt head will be visible on the right hand side of the rear firebox wall, remove this also.
5. Using the tube of sealant supplied with the wetback, apply a liberal bead of sealant around both connection holes on the inside of the firebox. On the rear of the wetback casting apply the remaining contents of the tube equally around both connection pipes.
6. Fit the wetback into the firebox and position the connection pipes through the connection holes in the firebox. Securely attach the wet back using 3 of the bolts previously removed fitting them through the slots provided in the wetbacks jacket.
7. The wetback is ready for connection to the storage cylinder by a registered plumber.

Note

- * The wetback can only be connected to a vented system.
- * The return (hot) pipe should have a minimum rise of 1 in 12.
- * The wetbacks performance will reduce as the distance to the storage cylinder increases, suggested maximum distance is 3 to 4 metres.

coated in vitreous enamel and will not be effected by normal or general house hold cleaners ,usually a wipe with a damp cloth . If the heater is not operating is all that is required .

Metro Chameleon's are coated with silicon resin based paint and will require periodic re-painting particularly on the ash lip and around the door opening . As a wide colour range of aerosols are available , you can change the colour of your Chameleon as your desire or decor changes . To clean use a damp soft cloth .

The glass may build up creosote deposits especially if your fuel is not properly seasoned or you are operating on low settings for extended periods , a high fire will assist to burn off the creosote and if it becomes excessive a razor blade scraper can be used on a cold glass .

MAINTENANCE

Flues should be swept a minimum of once a year and as required during the winter , If smoke enters the room when you open the Metro's door this usually indicates the flue needs cleaning .

Door adjustment provision is available on both sides of the door to enable adjustment as the door seal compresses causing air to leak into the firebox . To adjust the hinge end of the door , open the door fully , loosen the top hinge nut and slightly lift the latch end of the door . You will see the hinge assembly move , approx 1mm will be sufficient , then re-tighten . Repeat by loosening the lower hinge nut but this time apply a slight downwards pressure onto the door .

The door latch is also adjustable as the latch pin on the right side of the firebox is fitted through a slot which enables the latch pin to be loosened , moved back and re-tightened .

Door and glass seals should be replaced when they become hard and start to break up , approximately every 2 to 3 years . The door of your Metro is easily removed enabling the door to be taken to your local retailer for seal replacement . To remove the door open it fully , hold it in both hands and lift the hinge end of the door up over the top hinge pin . then lower the door from the bottom hinge pin .

Side bricks need to be replaced if they become cracked or broken through mechanical damage (continuous bumping with firewood) . The Metro must not be operated unless both side bricks are in sound condition .

Top baffle will also require replacement if it becomes distorted or breaks , the Metro must not be operated with a faulty or missing top baffle .

METRO WARRANTY

PIONEER Manufacturing Limited warrants the steel firebox against defective materials and workmanship which would render it unfit for normal domestic use within a period of five years after date of original purchase. All other parts including cabinet, door, glass, baffle, bricks and seals are warranted for a period of one year, from date of original purchase for domestic use against defective materials and workmanship.

WARRANTY CONDITIONS

- * The heater must be installed, operated and maintained strictly in accordance with the building code and the manufacturers installation and operation manual.
- * This warranty covers the replacement or repair at the manufacturers discretion but excludes freight and/or travel costs.
- * The manufacturer or there agent are not liable for any loss or expense direct or indirect arising from the failure of any part or operation of the heater.

A claim under this warranty should be directed to the retailer who supplied the heater, or if this is not possible write direct to the manufacturer stating details of fault, serial number of heater, date purchased and name of retailer.

LOCAL CONSUMER LAWS APPLY TO THIS WARRANTY

IMPORTANT - Complete and retain at time of purchase :-

PURCHASE DATE _____
SERIAL NUMBER _____
COLOUR _____
RETAILERS NAME _____
ADDRESS _____
PH. No. _____

PIONEER

MANUFACTURING LIMITED

MAMAKU STREET
P.O. BOX 11 INGLEWOOD
PH 06 7566520
FAX 06 7566540
NEW ZEALAND



Code Compliance Certificate
Form 7, Section 95, Building Act 2004

The Building

Street Address of building: 26 C Nevada Drive NEW PLYMOUTH 4312

Legal Description of land where building is located: LOT 1 DP 15452

Current, lawfully established use: Dwelling

Year first constructed: Unknown

The Owner

Name of owner: Rachel Lorraine Wilson

Contact Person: Nova Energy Solar Ltd

Mailing Address: 26C Nevada Drive
NEW PLYMOUTH

Phone number: (Bus.) -

(Pvt.) 021 117 0133

Facsimile number: -

Building Work

Building Consent number:

BC10/110254

Description of work:

**Installation of solar hot water heating K250
panel to existing 180L cylinder MP
New Plymouth District Council**

Issued by:

Code Compliance

The building consent authority named below is satisfied, on reasonable grounds, that –
(a) the building work complies with the building consent.

This is a final code compliance certificate issued in respect of all of the building work under the
above building consent.

CODE COMPLIANCE CERTIFICATE

Team Leader Inspectorate

Date Issued: 22 September 2010

Nova Energy Solar SolarElite Technical and General Information	
--	---

180 Panel

- Gross absorber area 1.97 m²
- Weight 39.04 kg
- Fluid Volume 1.32 liters
- Weight/m² 17.5 kg/ m²

250 Panel

- Gross absorber area 2.53 m²
- Weight 47.41 kg
- Fluid Volume 1.70 liters
- Weight/m² 16.8 kg/ m²

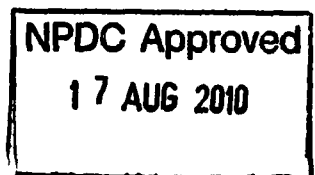
General Specifications

- Tested to and passed all AS/NZS2712:2007 tests for "Solar Water Heaters – Design and Construction." report number 30S-08-0002 TRP 412603.
- Tested to and passed all AS/NZS2535.1:2007 tests for "Thermal performance of glazed liquid heating solar collectors including pressure drop" report number 30S-08-0002 TRP 412572.
- Glazing – toughened low Iron solar prismatic glass 3.2 mm – passed for Resistance to Hail according to AS/NZS2712:2007 at Vipac Engineers and Scientists – report number 30S-08-0002 TRP 412603.
- Full flat plate copper absorber ultrasonically welded to copper fluid channels – solar absorbance 95.3%, thermal emittance 4.7% as per ASTM E 891. Manufactured to DIN EN ISO 14001 and BS EN ISO 9001:2000 Cert.No. FM 81181.
- Performance $\eta_0 = 0.7891$
 $a_1 = 2.4895$
 $a_2 = 0.0452$

- Magnetron ceramic/metal selective absorbance coating.
- Absorber durability 25 years – tested and passed at Fraunhofer Institute for Solar Energy Systems Germany report A05/013. Moisture resistant.
- Fluid channels 99.9% copper – NZS3501 tested to 10 Mpa.
- Panel contents – absorber, high reflectance heat foil, 590 °C rated mineral insulation, glass and aluminum backing sheet and support channels.
- There are no flammable or noxious components.
- The panel has been tested to and passed level 2 (-15 °C) frost conditions according to AS/NZS2712:2007 at Vipac Engineers and Scientists – report number 30S-08-0002 TRP 412797. Suitable for all frost zones. Frost protection is through electronic activated circulation and in some instances a manual frost protection device.
- Panel support channels aluminum alloy 6060 and manufactured in accordance with ISO 9001:2002. Cert. No BVQI 129755.
- Bronze body circulation pumps.
- All electronic controls manufactured in New Zealand to ISO9001 and Ctick standards.
- All components are designed to meet or exceed the requirements under New Zealand Building Code Acceptable Solution G12/AS2.

Issued without changes.

Date: 01 December 2008.



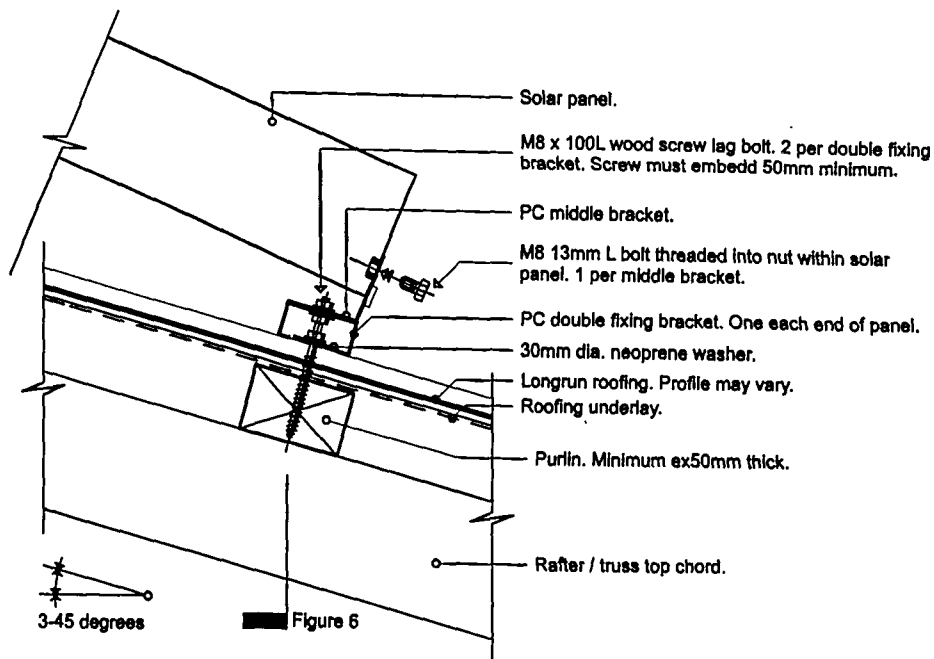


Figure 5

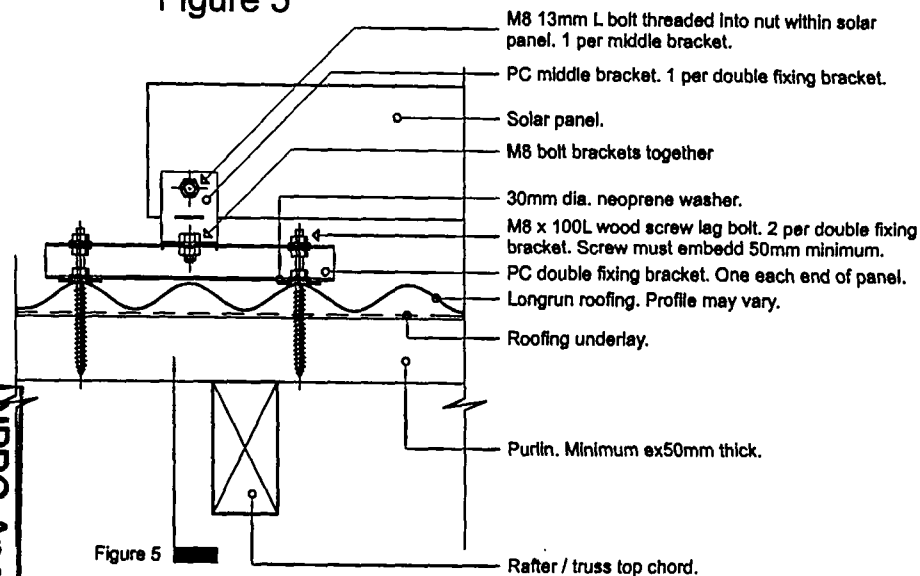
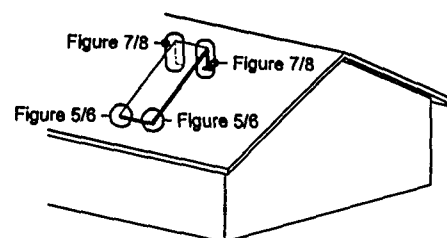
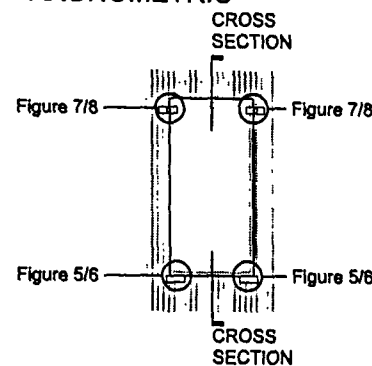


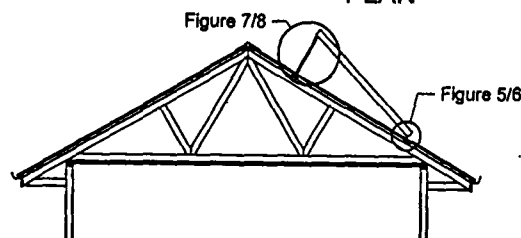
Figure 6



AXONOMETRIC



PLAN



CROSS SECTION

This drawing remains property of Nova Energy Solar Limited.

NOTE: All details and specifications are indicative only and are subject to change without notice. All Nova Energy Solar system are to be installed by approved contractors only.

Systems designed within these documents are applicable up to and including Very High wind zones and up to and including 1KPa snow loading. For greater design loads consult Nova Energy Solar.

Drawing Package:

Panel Installations Longrun Roofing

Drawing Title:

Panel Lower Fixing Roof Connection - Panel At Different Pitch To Roof

Drawing Scale(s) @A4: 1:5, 1:100

Date: 21.04.09

Checked: MP

Revision: G - 14.06.10

Drawing Number:

B-03

Nova Energy Solar Limited
Solar Water Heating
15b Amber Crescent
Judea, Tauranga 3140
P.O.Box 2310, Tauranga
P 07 578 5281, 0800 668 276, F 07 571 2074
solar@novaenergy.co.nz

nova
energy

NPDC Approved
17 AUG 2010

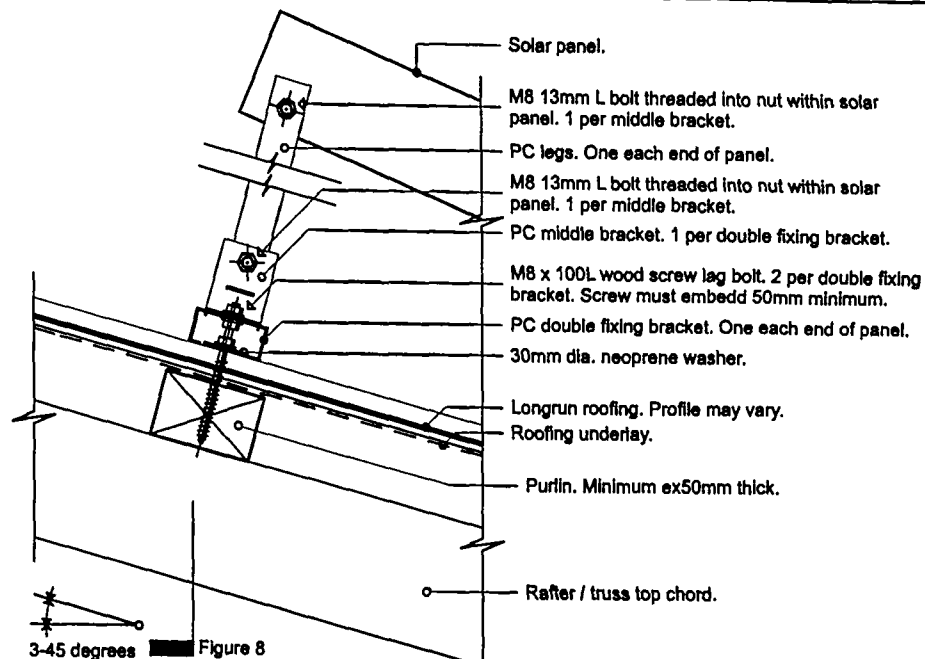


Figure 7

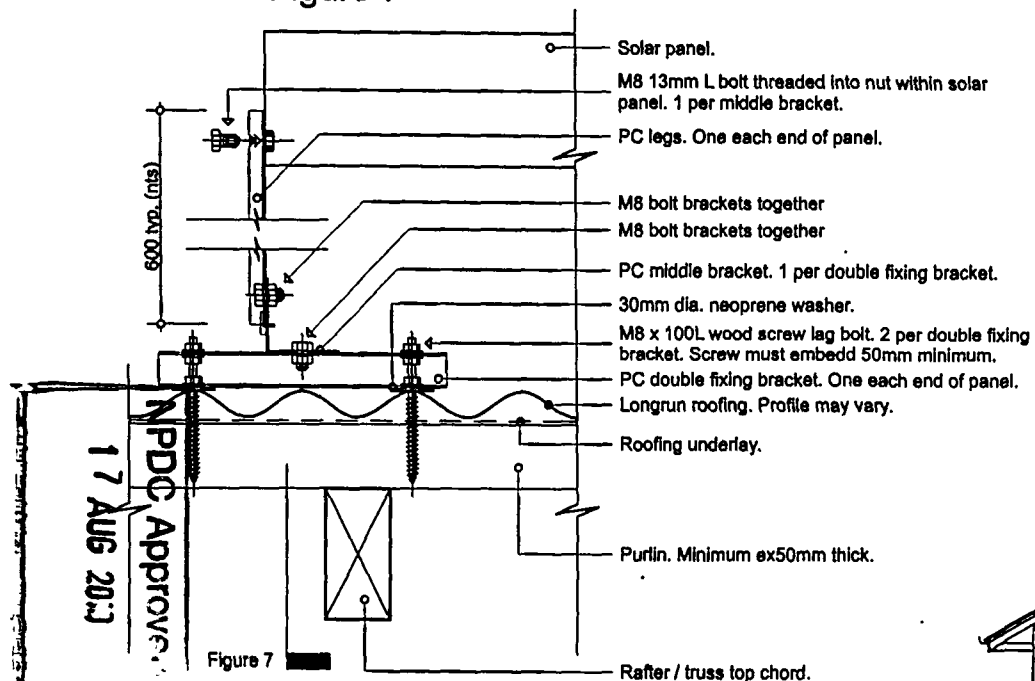
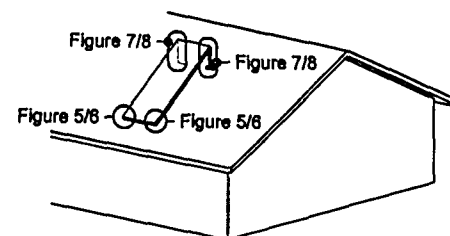
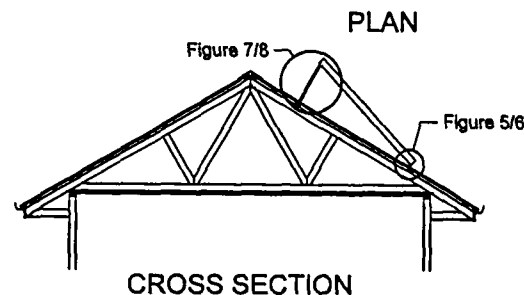
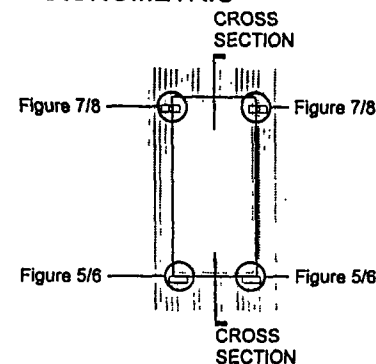


Figure 8



AXONOMETRIC



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NOTE: All details and specifications are indicative only and are subject to change without notice. All Nova Energy Solar system are to be installed by approved contractors only.

Systems designed within these documents are applicable up to and including Very High wind zones and up to and including 1KPa snow loading. For greater design loads consult Nova Energy Solar.

Drawing Package:

Panel Installations
Longrun Roofing

Drawing Title:

Panel Upper Fixing Roof
Connection - Panel At
Different Pitch To Roof

Drawing Scale(s) @A4: 1:100, 1:5

Date: 21.04.09

Checked: MP

Revision: G - 14.06.10

Drawing Number:

B-04

Nova Energy Solar Limited
Solar Water Heating
15b Amber Crescent
Judea, Tauranga 3140
P.O.Box 2310, Tauranga
P 07 578 5281, 0800 668 276, F 07 571 2074
solar@novaenergy.co.nz

nova
energy

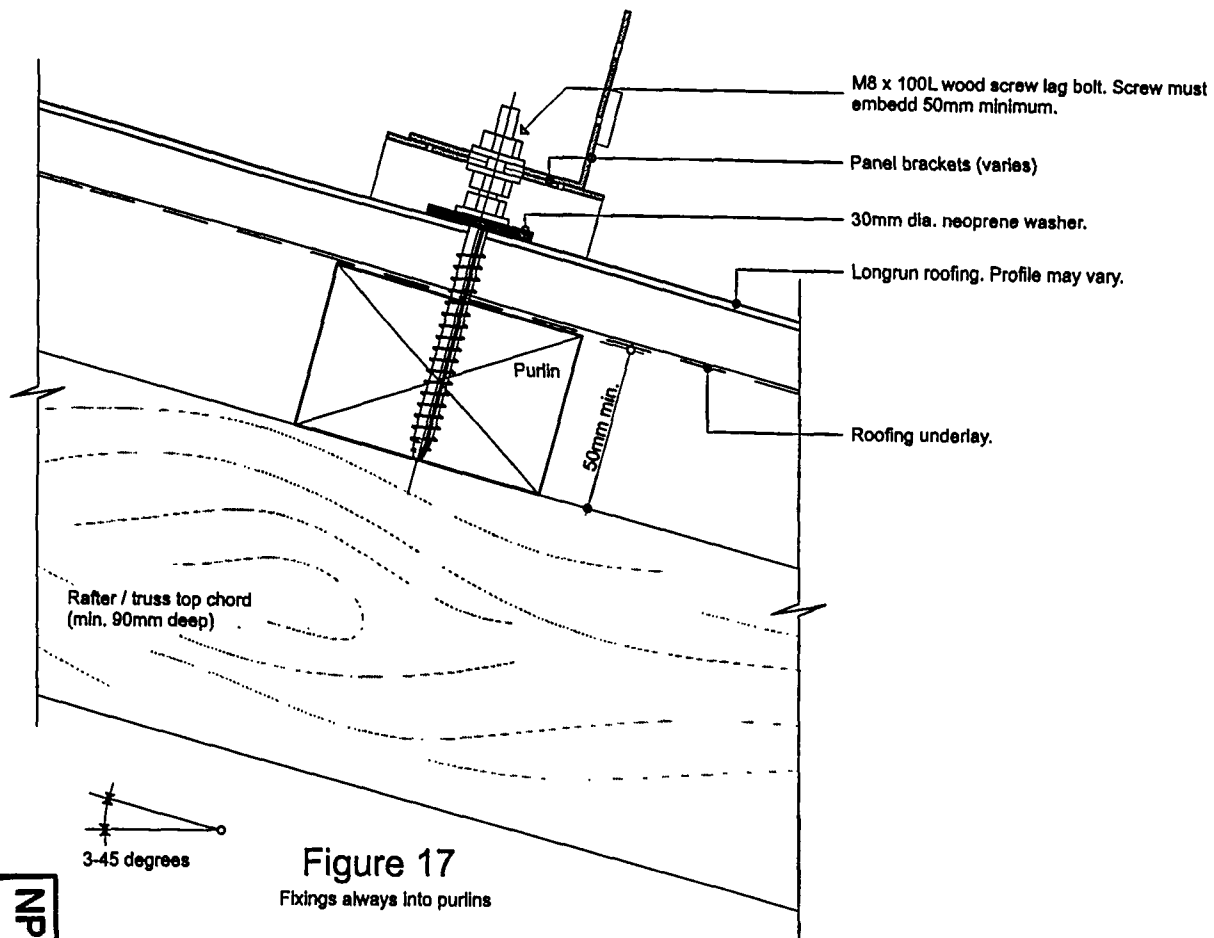


Figure 17
Fixings always into purlins

NPDC Approved
 17 AUG 2013

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NOTE: All details and specifications are Indicative only and are subject to change without notice. All Nova Energy Solar system are to be installed by approved contractors only.

Systems designed within these documents are applicable up to and including Very High wind zones and up to and including 1KPa snow loading. For greater design loads consult Nova Energy Solar.

Drawing Package:

Panel Installations Longrun Roofing

Drawing Title:

Panel Fixing Detail Into Purlin

Drawing Scale(s) @A4: 1:2

Date: 21.04.09

Checked: MP

Revision: G - 14.06.10

Drawing Number:

B-07

Nova Energy Solar Limited
 Solar Water Heating
 15b Amber Crescent
 Judea, Tauranga 3140
 P.O.Box 2310, Tauranga
 P 07 578 5281, 0800 668 276, F 07 571 2074
 solar@novaenergy.co.nz

nova
energy

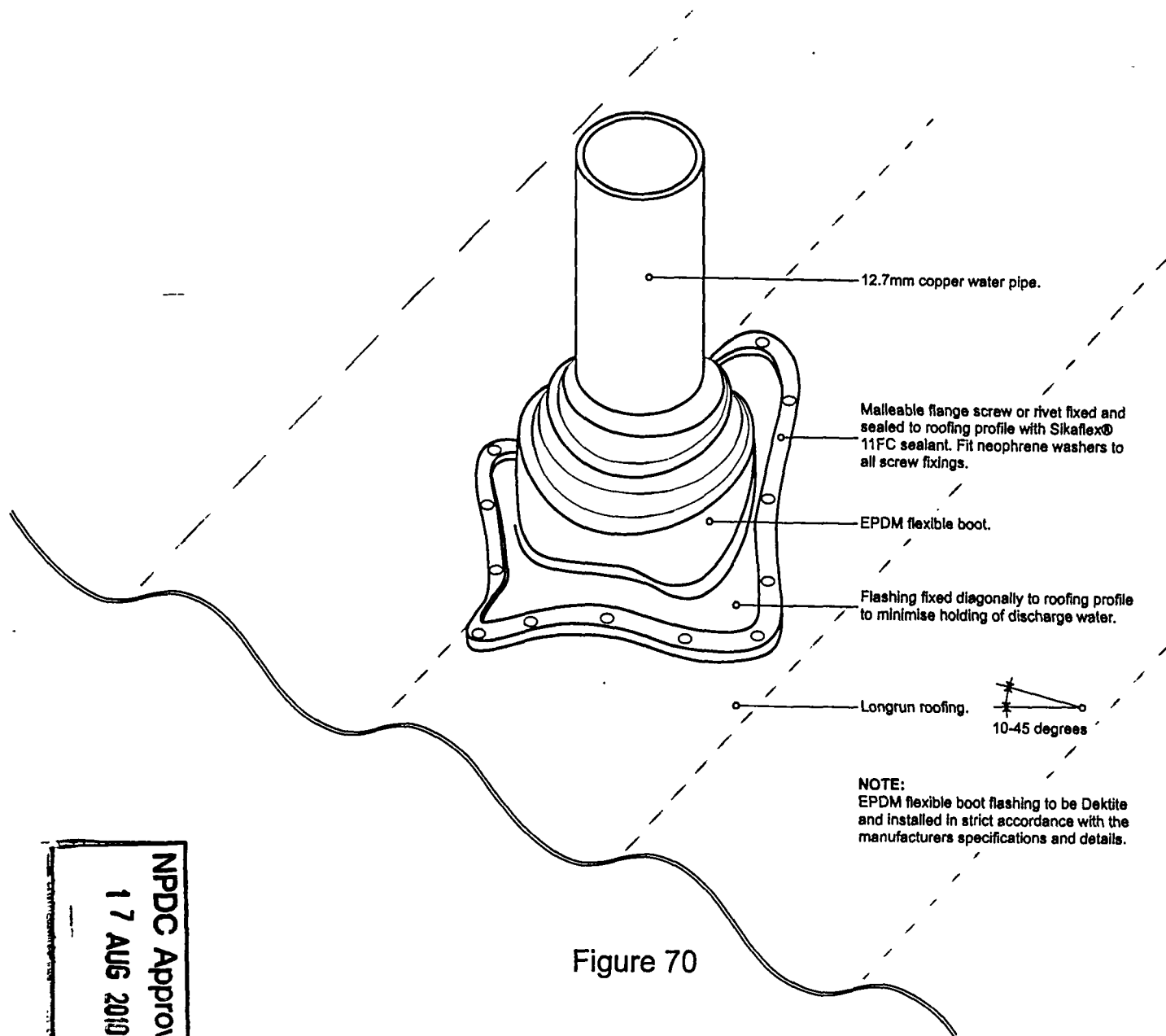


Figure 70

This drawing remains property of Nova Energy Solar Limited.

NOTE: All details and specifications are indicative only and are subject to change without notice. All Nova Energy Solar system are to be installed by approved contractors only.

Systems designed within these documents are applicable up to and including Very High wind zones and up to and including 1KPa snow loading. For greater design loads consult Nova Energy Solar.

Drawing Package:

Pipe Penetration Details

Drawing Title:

Pipe Penetration - Longrun Roofing

Drawing Scale(s) @A4: NTS

Date: 21.04.09

Checked: MP

Revision: G - 14.06.10

Drawing Number:

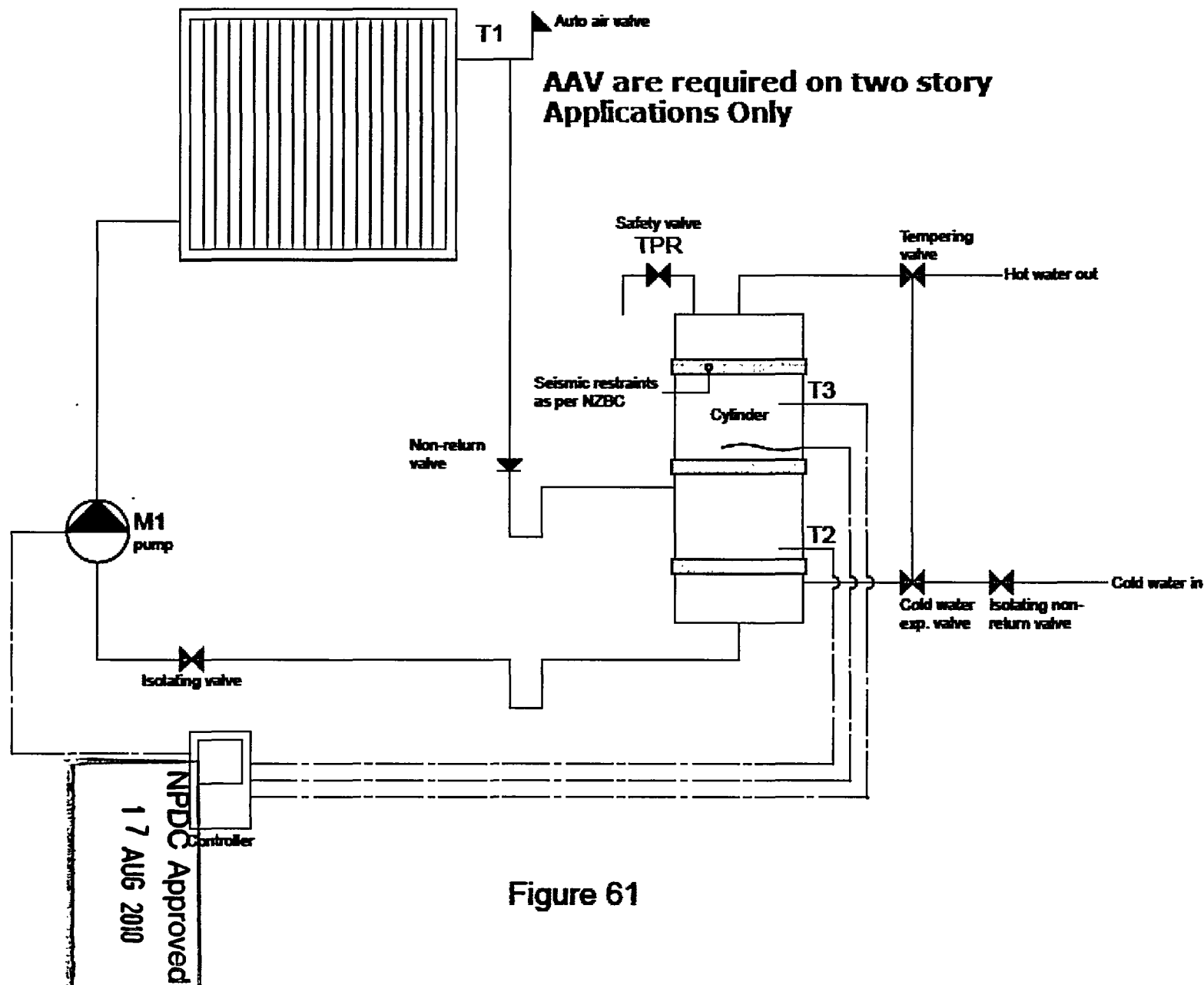
H-01

Nova Energy Solar Limited
Solar Water Heating
15b Amber Crescent
Judea, Tauranga 3140
P.O.Box 2310, Tauranga
P 07 578 5281, 0800 668 276, F 07 571 2074
solar@novaenergy.co.nz

nova
energy

NPDC Approved

17 AUG 2010



This drawing remains property of Nova Energy Solar Limited.

NOTE: All details and specifications are indicative only and are subject to change without notice. All Nova Energy Solar system are to be installed by approved contractors only.

Systems designed within these documents are applicable up to and including Very High wind zones. For Specific Design wind zones, consult Nova Energy Solar.

Drawing Package:

Standard Installation Details

Drawing Title:

Typical Solar Water Heater Schematic

Drawing Scale(s) @A4: NTS

Date: 21.04.00

Checked: MP

Revision: B - 25.05.00

Drawing Number:

F-06

Nova Energy Solar Limited
Solar Water Heating
15b Amber Crescent
Judea, Tauranga 3140
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solar@novaenergy.co.nz

nova
energy



VIPAC ENGINEERS & SCIENTISTS

Vipac Engineers & Scientists Limited

A.B.N. 33 005 453 627

The Victorian Technology Centre
279 Normanby Road, Port Melbourne, VIC, 3207, AUSTRALIA
Telephone +61 3 9647 9700, Facsimile +61 3 9648 4370, www.vipac.com.au

Doc: 412812-1
Ref: 30S-08-0002-SOW-412812-1

27th November 2008

Todd Energy
PO Box 3141
95 Customhouse Quay Wellington, New Zealand
Attention: Dudley Maritz

Todd Energy K-series collector testing to AS/NZS 2712:2007

Dear Dudley Maritz

I hereby inform you that we have completed all the required testing on your K250L hot water system and K-250L solar collector.

You can certify the collector K-series, L type to AS/NZS 2712:2007.

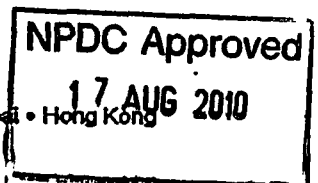
Please contact me if you have any further queries regarding the test results.

Yours sincerely

Kumar Lingam
Kumarl@Vipac.com.au

Melbourne • Sydney • Adelaide • Perth • Brisbane • Hunter Valley • Tasmania • Singapore • Dubai • Hong Kong

Commercial In Confidence



intelligent measurement technology

SENZTEK

1/41 Lansford Cres, Avondale,
Auckland 0600, New Zealand
PO Box 80093 Green Bay
Waikare 0643, New Zealand

PHONE +64 9 828 5327
FAX +64 9 828 4217
EMAIL office@senztek.com

www.senztek.com

To whom it may concern:

Senztek New Zealand limited is the manufacturer of SolaStat products and owns the SolaStat brandname.

SolaStat products are designed and manufactured within an accredited AS/NZ ISO9001:1994 quality control system.

SolarStat Controllers conform to the appropriate requirements of:

EU Directive 89/336/EEC, amended by 92/31/EEC; Article 10, Paragraph 1, relating to Electromagnetic Compatibility, and to the appropriate requirements of Directive 73/23/EEC, Article 2, Paragraph 1, relating to Safety of Electrical Equipment.

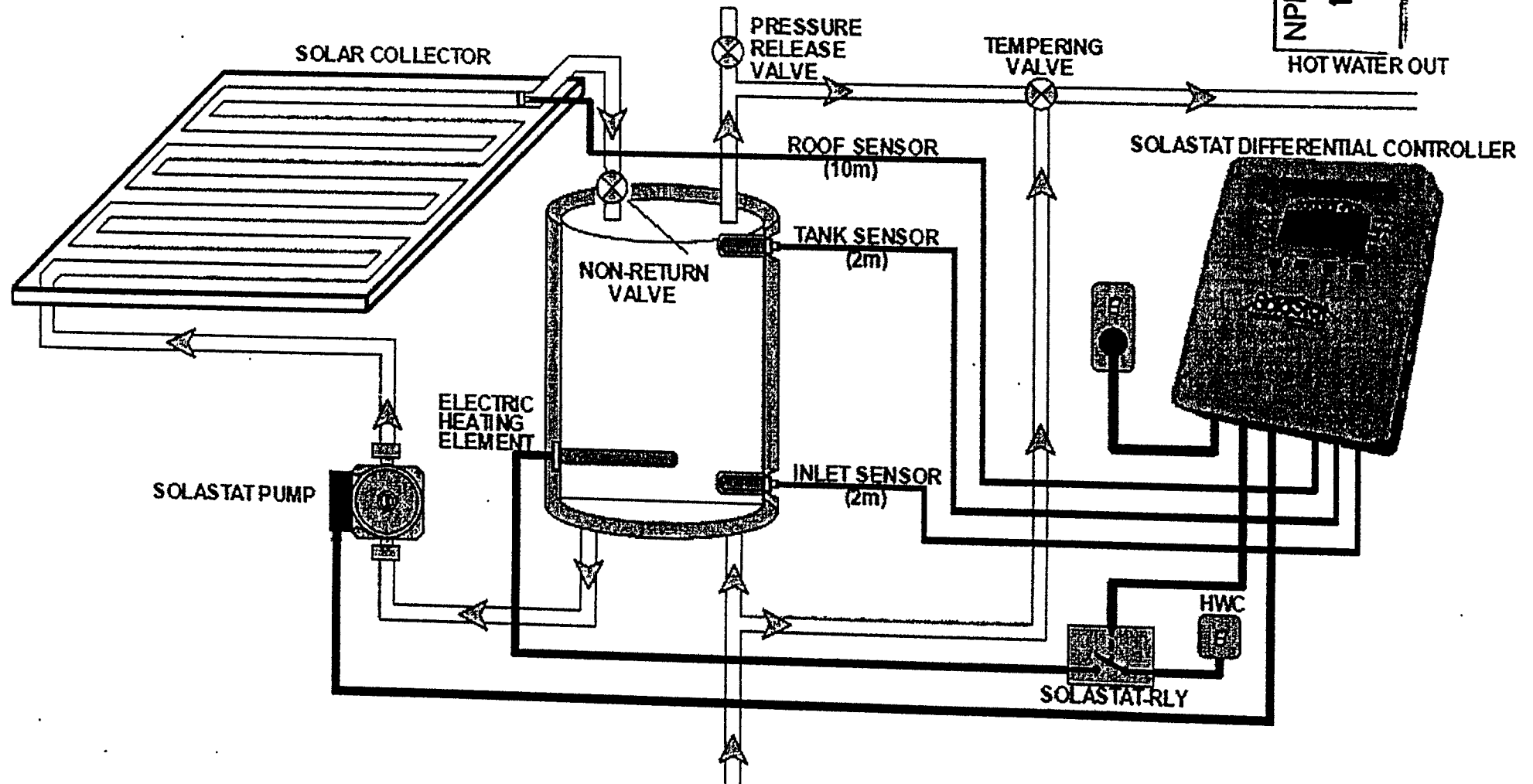
SolarStat Controllers conform to Ctick regulations required under New Zealand law (Section 134(1)(g) Radiocommunications Act 1989 and in accordance with Regulation 101A of the Electricity Regulations 1997) and are labeled with either Z495 or Z985 supplier codes.

All declarations are on file and viewable at our company offices as per the regulations.

Lance Allen
Technical Manager
pp Senztek Limited

Basic SolaStat-Plus-2 Installation.

The SolaStat-2 controlling the Solar Collector circulating pump and the SolaStat-Rly Relay Module.



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17 AUG 2010

Note. This diagram is only to be used as a general guide and not all the required components are shown. Each installation needs to be customised to suit its situation. Always use best plumbing practices, and comply to any regulatory requirements.



TEMPERING VALVE

Application

- High and low pressure hot water systems

Standards

- Complies with NZ Building Code G12 (2001)
- Complies with NZS 4617:1989
- NZ Patent No. 517764, Aust. Patent No. 2003200856
- RSA. Patent No. 2003/1992

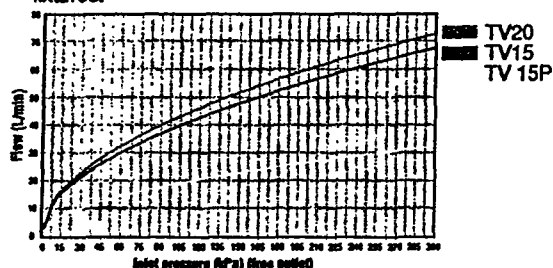
Specifications

- Length:

TV15	110mm
TV20	105mm
TV20D	130mm
TV12	110mm
- Thermostatically controlled safety valve to prevent scalding.
- Factory set to give 55°C outlet. Can be adjusted from 35°C to 60°C.
- Inlet hot water supply 65°C to 99°C.
- Inlet water pressures:

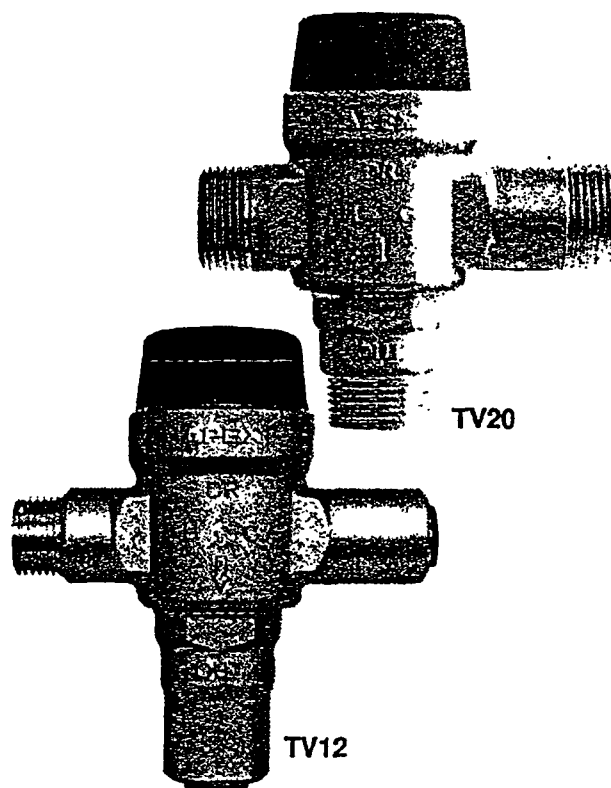
TV15.....	30 to 1000 kPa (3m head)
TV20.....	20 to 1000 kPa (2m head)
- Flow rates:

TV15.....	20 L/min at 20 kPa inlet pressure.
TV20.....	20 L/min at 20 kPa inlet pressure.
- Operating Pressure:
Balanced hot and cold pressure. For unequal water pressure of up to 5:1 (Cold to Hot), non-return must be fitted to hot inlet.
- Extremely high flow rate makes the TV20 suited to low pressure systems.
- TV15P, designed for installation within close proximity to bathroom fixtures.



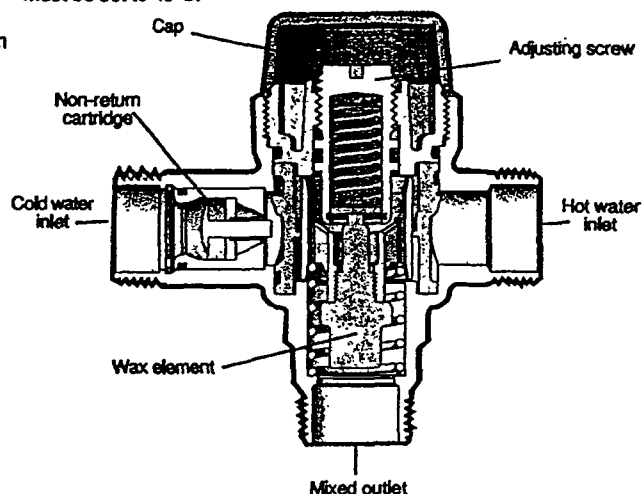
Installation

- Refer page 19 for installation guide
- Valve must be fitted by a qualified plumber.
- Installation must comply with local authority requirements.
- Valve may be installed in any orientation.
- Flush pipes prior to fitting.
- Valve must be protected by a line strainer.
- Non-return valves are required at hot and cold inlets in Ring Main Installations.
- Connections are H (hot inlet), C (cold inlet) and OUT (mixed temperature outlet).
- Do not apply heat near valve during installation - this may damage the mechanism.
- Do NOT install valve directly into outlet of cylinder.
- Use TV15P at point of use.



Temperature Adjustment

Remove cap. Use screwdriver to adjust to desired temperature. To increase, turn anti-clockwise (H). To decrease, turn clockwise (C). Replace cap. Maximum delivered hot water temperature at any sanitary fixture used for personal hygiene shall not exceed 55°C. For childhood centres, schools, old peoples homes and hospitals, outlet must be set to 45°C.



Product Codes

TV15	15mm
TV15P	15mm Point of use Tempering Valve
TV20	20mm
TV20D	20mm Ring main installation (Non-return on both inlets)
TV12	15mm BSP Hot 12mm John Guest cold and Mix

NPDC Approved

17 AUG 2010

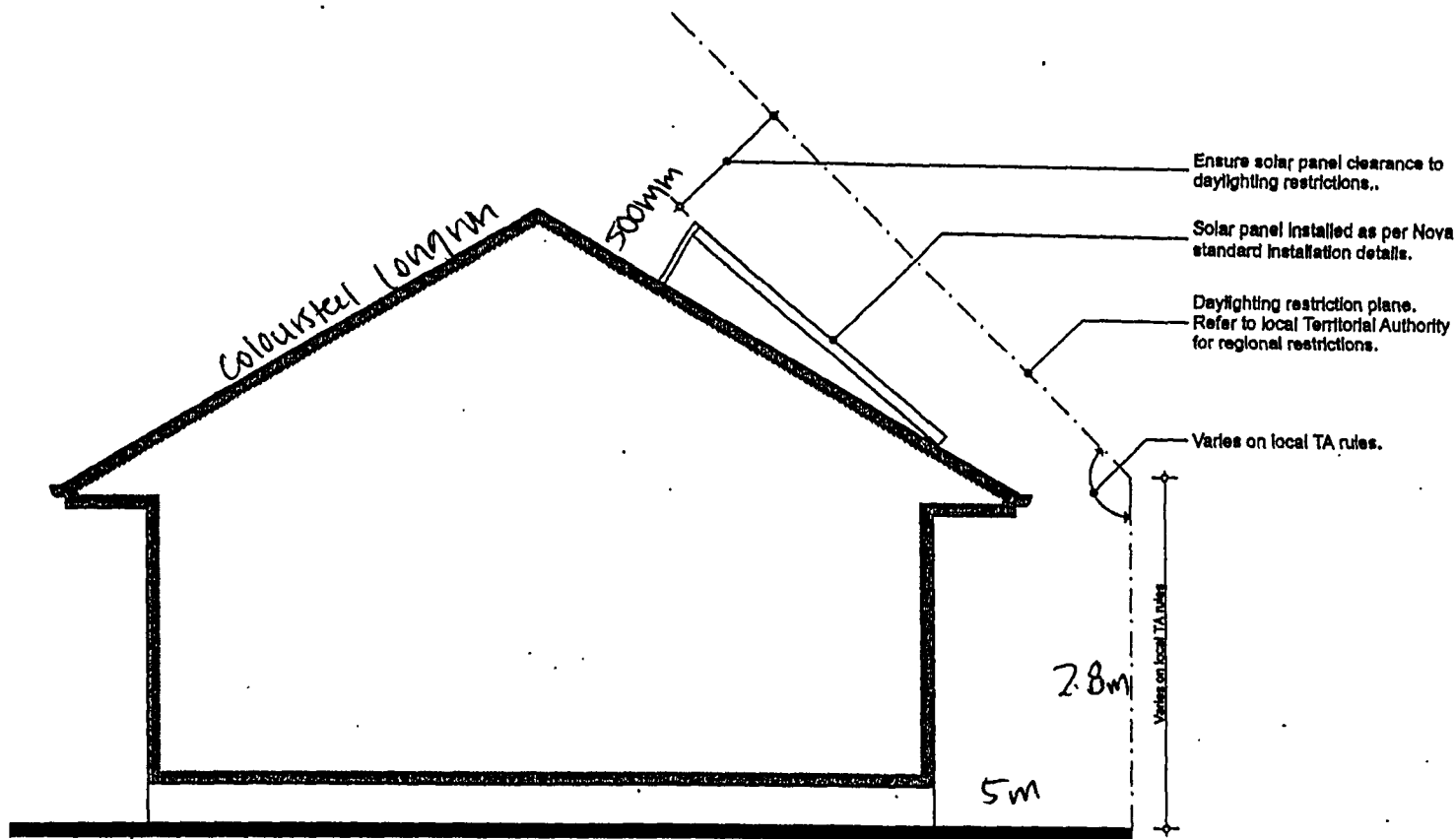


Figure 60

Indicative cross section showing daylighting restrictions that may apply. Each project must be evaluated and checked by the architectural designer.

NPPDC Approved
 17 AUG 2010

This drawing remains property of Nova Energy Solar Limited.

NOTE: All details and specifications are indicative only and are subject to change without notice. All Nova Energy Solar system are to be installed by approved contractors only.

Systems designed within these documents are applicable up to and including Very High wind zones. For Specific Design wind zones, consult Nova Energy Solar.

Drawing Package:

Standard Installation Details

Drawing Title:

Daylighting Restriction Diagram

Drawing Scale(s) @A4: 1:50

Date: 21.04.09

Checked: MP

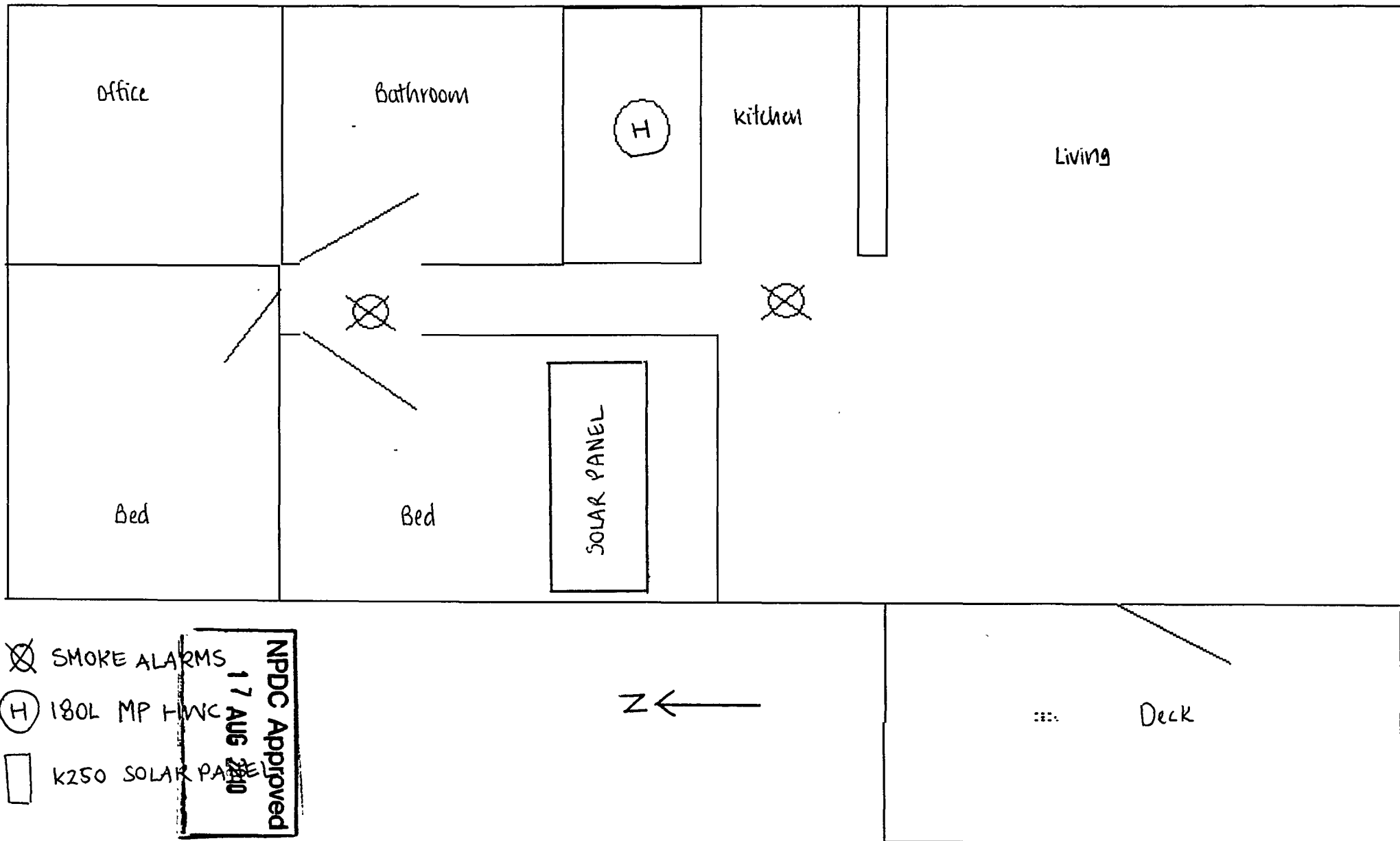
Revision: B - 25.05.09

Drawing Number:

F-05

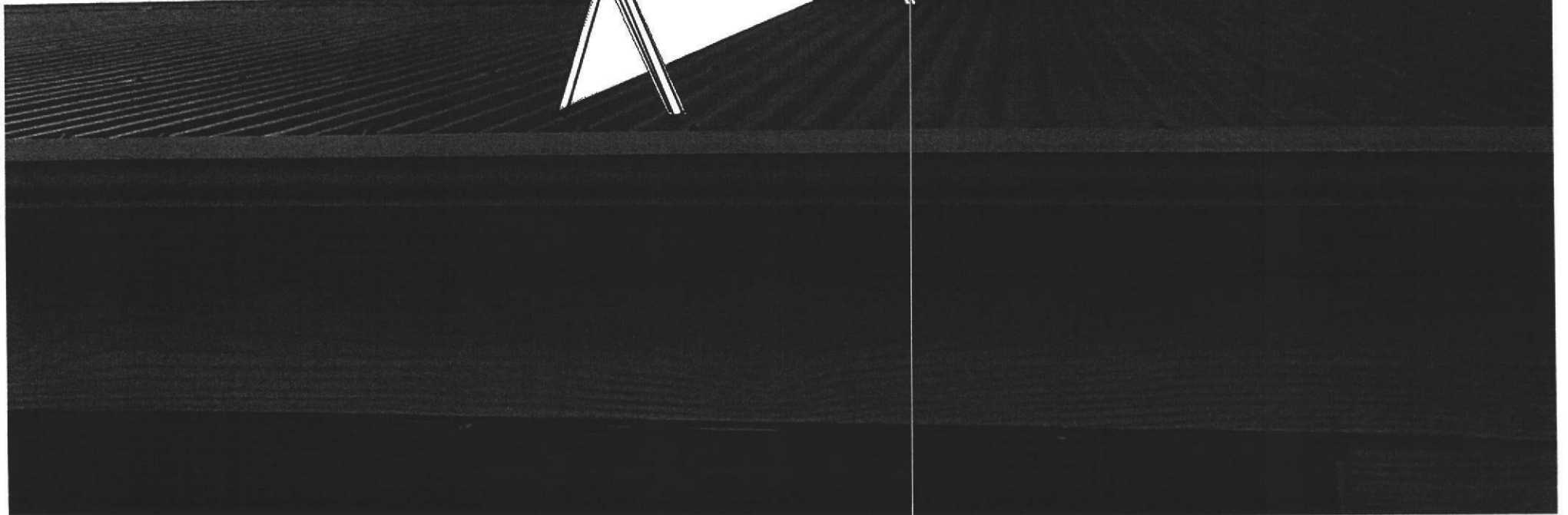
Nova Energy Solar Limited
 Solar Water Heating
 15b Amber Crescent
 Judea, Tauranga 3140
 P.O.Box 2310, Tauranga
 07 578 2754, 0800 668 278
 solar@novaenergy.co.nz

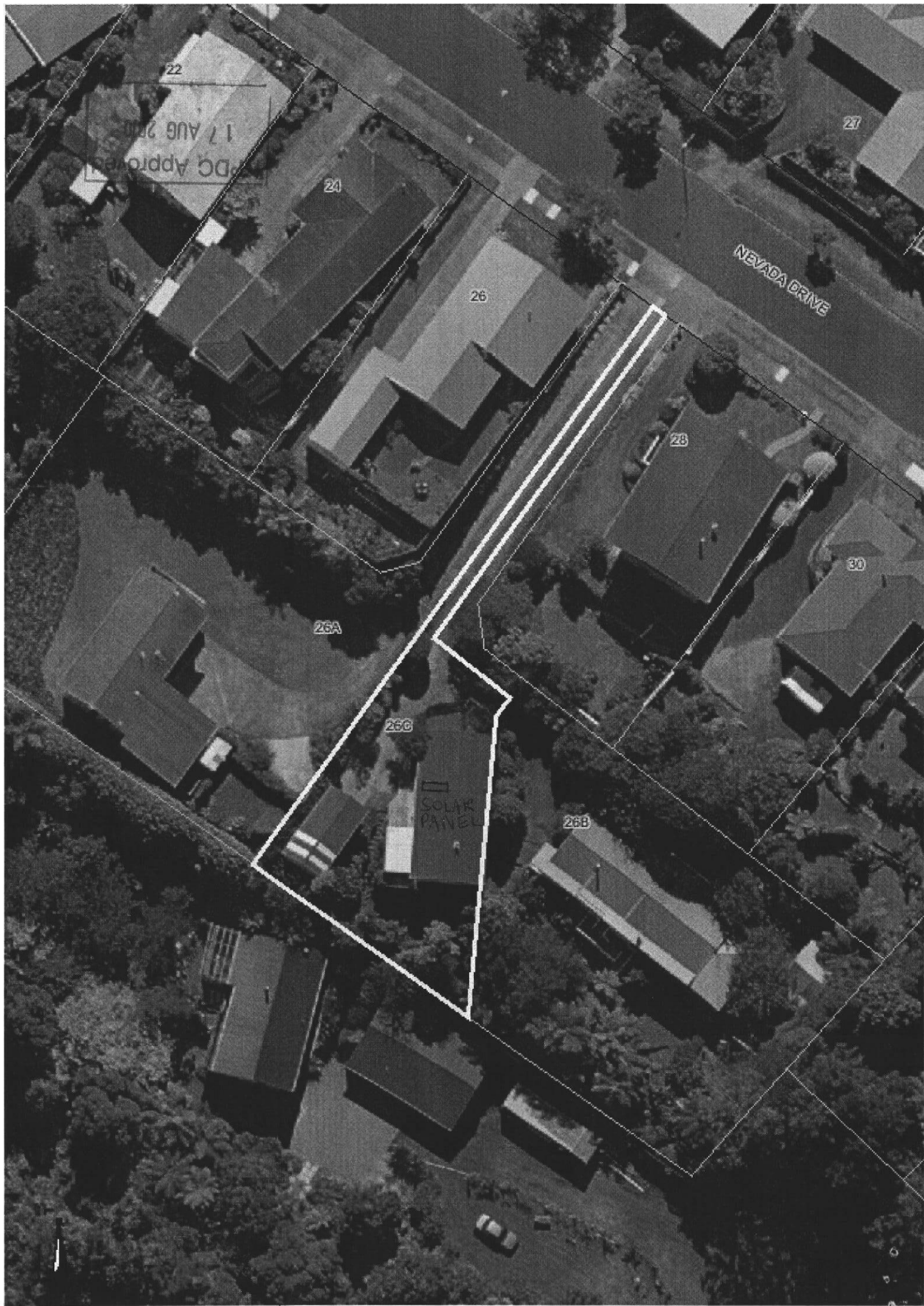
nova
 energy



k250 panel
on 500mm legs.
facing north.

NPDC Approved
17 AUG 2010





ELECTRICAL WORKERS
REGISTRATION BOARD

Safety • Competency

Electrical Certificate of Compliance

for a low voltage installation if prescribed electrical work has been done on any part of it and the prescribed electrical work involved placing, replacing, or repositioning conductors or fittings attached to conductors.

No. 3346284

No. of attachments

To be completed whether or not an inspection is required.**CUSTOMER INFORMATION - PLEASE PRINT CLEARLY**

Name of customer

WILSON

Phone: 0211170133

Address of installation

26c Nevada Drive. NP.

Postal address of customer (if not as above)

DECLARATION OF CONFORMITY (Please tick (✓) appropriate boxes)

In accordance with Regulation 58 of the Electricity (Safety) Regulations 2010, the design of the installation or part of the installation to which this certificate applies

- (a) complies with either Part 2 of AS/NZS 3000:2007 ☐ or Part 1 of AS/NZS3000:2007 and Regulation 59 ☐ and
 (b) the supply system of the installation or part of the installation to which this certificate applies is
 230V/400 V MEN ☐ or attached other system ☐

WORK DETAILS

No. of lighting outlets

No. of ranges

Please tick (✓) as appropriate where work includes:

No. of socket outlets

No. of water heaters

Mains

Main earthing system

Was any installation work carried out by the homeowner?

Yes

No

MEN Switchboard
closest to point of supply

Electric lines

Description of work carried out (If necessary attach any pages with work done)

Install 1x PCU in HWC Cupboard per Sola Control
 2.5mm 2chB looped off existing Circuit

B-loop 0.25

CERTIFICATION OF WORK (Please tick (✓) appropriate boxes)

I certify that the completed installation or part of the installation to which this certificate applies

- ☒ has been installed in accordance with the design detailed in the Declaration of Conformity section above
☒ has had tests which are required by the Electricity (Safety) Regulations 2010 satisfactorily completed
☒ has an earthing system that is correctly rated
☒ contains fittings which are safe to connect to a power supply
☒ is safe to connect to a power supply

ELECTRICAL WORKER DETAILS

Name

Brent Clement

Registration No.

E 14548

Company

Clem Electrical Ltd.

Contact Ph No.

027 758 5559

Signature

BAC

Date

22-8-10

INSPECTION DETAILS

Electrical work requiring inspection by a registered electrical inspector

- ☐ Mains work (mains, MEN switchboards closest to the point of supply, or main earthing systems) ☐ Attached other ☐ Work carried out in accordance with Part 1 of AS/NZS 3000:2007

I certify that the items identified above are electrically safe and that the inspection has been carried out in accordance with the Electricity (Safety) Regulations 2010.

Name

Registration No.

Signature

Date

Contact Ph No.

16mm 35mm

BUILDING FILE

Code No. 382 / 26 ^b

Subject Dwg

No. Sheets 28236

Permit No 24. 7. 86

Date

NEW PLYMOUTH CITY COUNCIL

* TITLE STILL
BEING ISSUED

FOR OFFICE USE:

File No.

7 71

Check Sheet No.

28236

Receipt No.

66802

Sewer Sheet No.

123A

Date of Receipt

24.7.86

Zone

382/26^b

TO THE CITY ENGINEER

14 JUL 1986

Date

11.7.86

APPLICATION FOR BUILDING PERMIT

Lot No.

At (House No.)

26 B NEVADA DRIVE

D.P.

For erection of

DWELLING

Sec. No.

OWNER

JR PORTER & Seward

ADDRESS

4 SPENCE PLACE

N.P.

Proposed Use

PRIVATE RESIDENCE

Foundation

CONCRETE TIMBER PILES

Walls

HARD PLANK

Roof

CORRUGATED

AREA of Site

555

M²

AREA of existing buildings

M²

AREA of existing accessory buildings

M²

AREA of Building in application

87

M²

Builder

BEAZLEY HOMES

Address

P.O. BOX 749

Designer

NEW PLYMOUTH

Address

PHONE 88-728

Structural Eng.

Address

Building Projects Authority Required

Yes/No

Supplied

Yes/No

Total Value of Building

\$48000 -

Sanitary Plumbing and Drainage

\$5000 -

Value of Building for Permit

\$43000 -

Water for Building

Building Research Levy on

\$

Hoardings

Mths @

FOR OFFICE USE

Corrected Value Fees

TOTAL FEES BUILDING

Starting Date

AUGUST 1986

Finishing Date

OCTOBER 1986

NAME AND ADDRESS OF APPLICANT

BEAZLEY HOMES

P.O. BOX 749

NEW PLYMOUTH

PHONE 88-728

Phone

Signature of Applicant

JR Porter & Seward

Signature of Owner

NEW PLYMOUTH CITY COUNCIL - CITY ENGINEER'S DEPARTMENT

APPLICATION FOR SERVICES, PLUMBING & DRAINAGE

382/262

To the City Engineer

Phone No. 88726

I wish to apply for permission to carry out the work described in the plans and specifications deposited herewith at:-

House No. 263 Street NEVADA DRIVE Lot No. 1 D.P.

OWNER J R PORTER & S C WARD Area of Site 555 m²

ADDRESS 26 SPENCE PLACE NP Signature of Applicant J R Porter

Proposed Use DWELLING Signature of Owner

VEHICULAR CROSSING

Proposed Existing When required Position L/Boundary to C/ Line

WATER CONNECTION

Size of Existing Connection 10 mm ϕ
Size of Requested Connection NA
Distance from L/Boundary NA
No. Units served 1

SEWER CONNECTION & (STORMWATER)

Size of Existing Connection 110 mm ϕ
Size of Requested Connection NA
Distance from L/Boundary NA
Floor level of the lowest sanitary fittings is 1.500 metres
*below/above the ground level of the point where the sewer connection is required.
*Strike out whichever is inapplicable.

Common Drain Yes / No

Stormwater Disposal (specify) SOAK HOLE

PLUMBING AND DRAINAGE

Name of Registered Plumber / Drainlayer ANCHOR & ELLIS LTD

Value of Proposed Work, Labour Only Plumbing \$800

Water Supply Materials Drainage \$800

P.V.C. Copper Galvanised Iron

Drainage NA

Size of Existing Drainage

Size of Proposed Drainage

Other Works Proposed

Stormwater Disposal (specify) SOAK HOLE

FOR OFFICE USE

File No. 7 71 Rec. No. 56802 Check Sht. No. 28236 FEES Sewer

Date 14 JUL 1986 Zone Sewer Sht. No. 123A Water P & D

Veh. Crg

BUILDING INSPECTOR'S
FIELD SHEET

382/26⁴
AUTHORITY

Stats. No. D 028229

NEW PLYMOUTH CITY COUNCIL

R. 6D 28236

Inspector: M

File No.

7/71/86

Receipt No.

56202

Date Permit Issued

24/7/86

OWNER

Name JB PORTER - SC WARD

Mailing Address 268 NEUADA DR
NEW PLYMOUTH

BUILDER

Name BEAZLEY HOMES

Mailing Address PO BOX 749
NEW PLYMOUTH
88726

PROPERTY ON WHICH BUILDING IS TO BE ERECTED/DEMOLISHED

SITE

Street No. AS ABOVE

Street Name _____

Town/District _____

Riding _____

LEGAL DESCRIPTION

Valuation Roll No. _____

Lot 1 D.P. 15452

Section _____ Block _____

Survey District _____

DESCRIPTION OF PROPOSED WORK AND MAIN PURPOSE OF USE

DWELLING

FLOOR AREA DWELLING UNITS

Whole Sq. Metres 87 Number Erected 1

ESTIMATED VALUES \$

Building	
Plumbing	
Drainage	
TOTAL	<u>48000.00</u>

NATURE OF PERMIT (TICK BOX)

☒ NEW BUILDING
- exclude domestic garages and domestic outbuildings

☐ FOUNDATIONS ONLY

☐ ALTERED, REPAIRED, EXTENDED
- include conversions and rented buildings

☐ NEW CONSTRUCTION
OTHER THAN BUILDINGS - include demolitions

☐ DOMESTIC GARAGES
AND DOMESTIC OUTBUILDINGS

FEES APPLICABLE

Building Permit	\$	Water Connection	\$	Receipt No. _____
Street Damage Deposit	\$	Vehicle Crossing Levy ...	\$	Date of Payment <u>24/7/86</u>
Building Research Levy ...	\$	M.S. Plumbing	\$	Authorised Officer <u>[Signature]</u>
Plumbing	\$			
Drainage	\$			
Sewer Connection	\$			
TOTAL:				

Special Conditions:

Date Inspected

REMARKS (e.g. stage reached with work)

12/6/86 poles OK ground good
check outs to big 2 nails required
on all poles as well as bolts check outs to

(CONTINUED OVER)

Date Inspected

be treated with cut outs exceeding 35 mm
in depth.

20/8/86 Prelim ok 1 brace extra under house
8 braces needed both ends of house
moisture 22-25 average ok to live

16/9/86 Completed

COMPLETED (Signature)

Date

/ /

NEW PLYMOUTH CITY COUNCIL

CITY ENGINEER'S DEPARTMENT

ASSESSED REQUIREMENTS

7 71

File No.

Project: DWELLING Check Sheet No. 28236
 Owner: J R PORTER & S C WARD Sewer Sheet No. 123A Plotted: NWD
 Address: 268 NEVADA DR Zone: 15452
 Lot No. 1 D.P. 15452 Sec. No. 15452 Area of Site: 15452

342/26^b

VETTING TO BE
COMPLETED BY
3/7

TOWN PLANNING

Designations _____
 Area of Buildings _____
 Coverage _____
 Maximum Height _____
 Front Yard _____
 Relat. of Bldg. Size: (1) Rear Yard _____
 (2) Side Yard _____
 Open Space _____
 Grassed Areas _____
 Trees _____
 Building Lines & Street Widening _____
 Parking _____
 Access to Rear of Site _____
 Accessory Buildings _____
 Service Lanes & R.O.W. _____
 Crossing Length _____
 Gross Floor Area of Shops _____
 Resid. Accom. _____
 Levels of Site _____
 Use of Yards _____
 Loading _____
 Screening _____
 Amalgam. of Titles _____
 Remarks: _____

SEE SECTION CARD	
TOWN PLANNING	
BUILDING	
DRAINAGE	
WATER	

Sewer

Approved

Not Approved

S E R V I C E S

A: SEWER CONNECTION

STORMWATER CONNECTION

Existing Service _____
 Required Service _____
 Location _____
 Depth _____
 Special Requirement _____
 Common Drain _____
 Fee \$ _____

FEE

\$ _____

B: WATER CONNECTION

Existing Service 20 mm Ø _____
 Distance from L/Boundary _____
 Distance: Main to Boundary _____
 Boundary to Load _____
 Required Service 20 mm Ø _____
 Meter Not required _____

Height above Datum _____

FEE

\$ _____

C: PLUMBING

No. Fittings	3	2	1	2	2	2	
W.Cs	Baths	Basins	Sinks	Showers	Tubs	Others	

Total Values _____
 Supply Pipe Sizes _____
 Backflow Prev. _____
 Other Fittings _____
 Estimated Value 800.00 _____

P.V.C. ☐ Copper ☐ Gal. Iron ☐

Plumbing Fee _____

DRAINAGE

Existing _____ Required _____
 Fittings Required _____
 Common Drain _____
 Septic Tank _____
 Stormwater _____
 Estimated Value 800.00 _____

Drainage Fee _____

Total Estimated Value P. & D. \$1600.00

FEE

\$ 70.00

D: VEHICULAR CROSSINGS

Type of Footpath Nil _____ Condition _____
 Kerb & Channel _____
 Existing Crossing 3 Concrete Trigs all good _____
 New Crossing _____ Position _____
 Strengthen Path Sq.Yds. _____ Level at Boundary _____

STREET WORKS FEE

\$ _____

DEPOSIT DAMAGE FEE

\$ 220.00

REMARKS : CORRESPONDENCE : AGREEMENTS
SPECIFIC REQUIREMENTS

382/26/b

Sewer connection to exist MH is part of Subdivisional requirements. PC 17-7-86

Approved PC 17-7-86

Not Approved

Approved CLM

Not Approved

Approved CLM

Not Approved

Approved CLM

Not Approved

Approved 19/18-7-86

Not Approved

E : HEALTH & BY-LAWS

Areas -----

Light -----

Ventilation -----

Remarks: -----

Approved HC 2/7/86

Not Approved -----

F: DANGEROUS GOODS

Domestic or Commercial -----

Storage Capacity & Location -----

Licence Required ----- Yes/No -----

Approved -----

Not Approved -----

G : BUILDING

Remarks: -----

FEES:	26400.00	
Bldg.	43-000	195.00
Water Bldg.		5-00
B.R.L.	48-000	48-00
TOTAL		\$ 248-00

Building Inspector -----

Approved HC 15/7/86

Not Approved -----

Specification: -----

Structural Engineer -----

Approved -----

Not Approved -----

Fire Service -----

Recommended -----

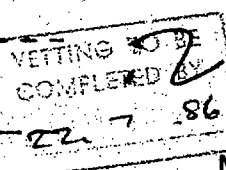
Not Recommended -----

PERMIT NO. 28229

APPROVING ENGINEER

Approved Rh 22/7/86

Not Approved -----



BUILDING FILE

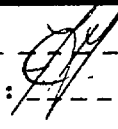
Code No. 382 / 26^BSubject GARAGENo. Sheets Permit No 30134Date 15.9.87

NEW PLYMOUTH CITY COUNCIL

CITY ENGINEER'S DEPARTMENT

ASSESSED REQUIREMENTS

File No. 9 67

Project: GARAGE Check Sheet No. 30134
Owner: M J R PORTER & S C WARD Sewer Sheet No. 123 A Plotted: 
Address: 26 B NEVADA DR Zone: R1
Lot No. 1 D.P. 15452 Sec. No. Area of Site:

VERIFYING TO
COMPLETED BY
22/9

TOWN PLANNING

Designations
Area of Buildings
Coverage 555m²
Maximum Height
Front Yard
Relat. of Bldg. Size: (1) Rear Yard
(2) Side Yard
Open Space
Grassed Areas
Trees
Building Lines & Street Widening
Parking
Access to Rear of Site
Accessory Buildings
Service Lanes & R.O.W.
Crossing Length
Gross Floor Area of Shops
Resid. Accom.
Levels of Site
Use of Yards
Loading
Screening
Amalgam. of Titles

SEE SECTION CARD	
TOWN PLANNING	
BUILDING	
DRAINAGE	SEWER
WATER	WATER

Remarks:
sub'd 1960 - 5/24 "MUSEUM"

Approved 
Not Approved

S E R V I C E S

A: SEWER CONNECTION

STORMWATER CONNECTION

Existing Service	-----	-----
Required Service	-----	-----
Location	-----	-----
Depth	-----	-----
Special Requirement	-----	-----
Common Drain	-----	-----
Fee \$	-----	-----

FEE \$:

B: WATER CONNECTION

Existing Service	-----	-----
Distance from L/Boundary	-----	Height above Datum
Distance: Main to Boundary	-----	
Boundary to Load	-----	
Required Service	-----	
Water	-----	

FEE \$:

C: PLUMBING

No. Fittings	3	2	1	2	2	2	Others
W.Ce	-----	Baths	-----	Basins	-----	Sinks	-----
Total Values	-----	-----	-----	-----	-----	-----	-----
Supply Pipe Sizes	-----	-----	-----	-----	-----	-----	-----
Backflow Prev.	-----	-----	-----	-----	-----	-----	-----
Other Fittings	-----	-----	-----	-----	-----	-----	-----
Estimated Value	-----	-----	-----	-----	-----	-----	-----
						Plumbing Fee	-----

DRAINAGE

Existing	-----	Required	-----
Fittings Required	-----		
Common Drain	-----		
Septic Tank	-----		
Stormwater	-----		
Estimated Value	-----		
		Drainage Fee	-----

Total Estimated Value P. & D. \$: FEE \$:

D: VEHICULAR CROSSINGS

Type of Footpath	<i>None</i>	Condition	<i>Good</i>
Kerb & Channel	-----		
Existing Crossing	<i>Good</i>	Inst. No.	-----
New Crossing	-----	Position	-----
Strengthen Path Sq.Yds.	-----	Level at Boundary	-----

STREET WORKS FEE \$: DEPOSIT DAMAGE FEE \$:

REMARKS : CORRESPONDENCE : AGREEMENTS
SPECIFIC REQUIREMENTS

Note: G.S.T. is to be excluded from all fees quoted in this Document.

The building should be erected on the side wall
at least 1m away from the stormwater main.

Approved [Signature] 27/9
Not Approved [Signature] 25/9

Approved PC [Signature]
Not Approved _____

Approved [Signature]
Not Approved _____

Approved [Signature]
Not Approved _____

Approved B. J. Palmer 23/9/87
Not Approved _____

E : HEALTH & BY-LAWS

Areas _____
Light _____
Ventilation _____
Remarks: _____

Approved 24/12/87
Not Approved _____

F: DANGEROUS GOODS

Domestic or Commercial _____
Storage Capacity & Location _____
Licence Required _____ Yes/No _____

Approved _____
Not Approved _____

G : BUILDING

Remarks:

FEES:		
Bldg.	\$5000.00	35.00
Water Bldg.		
B.R.L.		
TOTAL		\$ 35.00

Building Inspector _ _ _ _ _

Approved MSG - 11-9-87
Not Approved _____

Specification: _____

Structural Engineer _____

Approved_ _ _ _ _
Not Approved_ _ _ _ _
Recommended_ _ _ _ _
Not Recommended_ _ _ _ _

PERMIT NO. 29213

APPROVING ENGINEER

Approved _____
Not Approved 30/9/87

NEW PLYMOUTH CITY COUNCIL

FOR OFFICE USE:

File No. 9 67
 Receipt No. 76651
 Date of Receipt 15.1.88
 Check Sheet No. 30134
 Sewer Sheet No. 123A
 Zone Res R1

ADDRESS OF PROPERTY 26 B NEVADA DRIVE Date 15.9.87
 LEGAL DESCRIPTION OF LAND: LOT 2 D.P. 1014
 NAME OF OWNER OF LAND MJB Porter & SC Ward ADDRESS above
 NAME OF OWNER OF BUILDING: MJB PORTER & SC WARD ADDRESS above
 NAME OF PRINCIPAL CONSULTANT: ADDRESS
 NAME OF OCCUPIER: ADDRESS
 NAME OF BUILDER: Jim Krohn PH 513206 ADDRESS 5 Regent Place NP

PROPOSED USE OF BUILDING

For Permission To Build garage

Documents: attached as part of this application which are applicable:

- Drawings - Two sets (See notes on back of sheet) ☐
- Specifications - Two copies ☐
- Form No. 2 - Structural Design Features Summary Part A and Part B ☐
- Form No. 3 - Fire and Egress Features Summary ☐
- Building Project Authority ☐
- Estimated starting date.....
- Estimated completion date.....

DESCRIPTION OF PROPOSED WORK:

New building ☒ Conversion ☐
 Addition ☐ Demolition ☐
 Alteration ☐
 Hoardings Mths

New floor area 32 m²

Total Value of Building Excluding G.S.T. \$ 5000-00

Sanitary Plumbing and Drainage (Labour only) \$
 (Excluding G.S.T.)

Value of Building for Permit \$

FOR OFFICE USE
 Corrected Value

NAME OF APPLICANT

Address

Signature

Telephone No.

Acting in capacity

(e.g. owner, builder, principal consultant)

Date Permit Issued 15, 1, 88

✓ **NAME** J PROTUN
MAILING ADDRESS 5 RICHIST PLAZE
NEW BRIMMOUTH
513206

LEGAL DESCRIPTION

Valuation Roll No. _____

Lot 1 D.P. 15452

Section _____ Block _____

Survey District _____

NATURE OF PERMIT (TICK BOX)

☐ NEW BUILDING
- exclude domestic garages and domestic outbuildings

☐ FOUNDATIONS ONLY

☐ ALTERED, REPAIRED, EXTENDED, CONVERTED, RESITED
- include installation of heating appliances

☐ NEW CONSTRUCTION
OTHER THAN BUILDINGS - include demolitions

☒ DOMESTIC GARAGES
AND DOMESTIC OUTBUILDINGS

Receipt No. _____
Date of Payment 15/1/88
Authorised Officer M. J. [Signature]

[illegible]

18-3-88	Loadings Dug ground Jan
21-3-88	STEEL PLACED WALL TIED - LAPED OK TO Pour
20-4-88	floor Insr - STEEL WALL TIED OK TO Pour

(CONTINUED OVER)

Date Inspected

17-5-88 Framing In Progress rock tray
Bracing OK Dips Gashed Down ok

20/6/88 Completed

COMPLETED (Signature) _____ Date ____/____/____

NEW YORK

D.P. 14907

D.P. 10390

D.P. 154

H. J. Barber
10/72

H. B. Rubin
4/73

F. J. Nicholson
9/72

M. N. N. N.
10/72

D. W. W. W.
3/71

C. B. W. W.
7/72

FLAT 1
6/83

9/83

See D.P. 14289
for Units

H. L. L. L.
4/83
11455
FLAT 2

WILSON
10/79

USPORT
1/86

88

8C

8D

26B

26C

N. J. Barnes

FLAT 2
10/72

Sweeney
2/76

5/81

9/87

4

30

26A

3

16

15

14

26A

D. P.

N. J. Barnes

2

3

4

5

6

7

8

16_{mm} 35_{mm}

BUILDING FILE

Code No. 382 / 26^B

Subject GARAGE

No. Sheets 2

Permit No 30134

Date 15.9.87

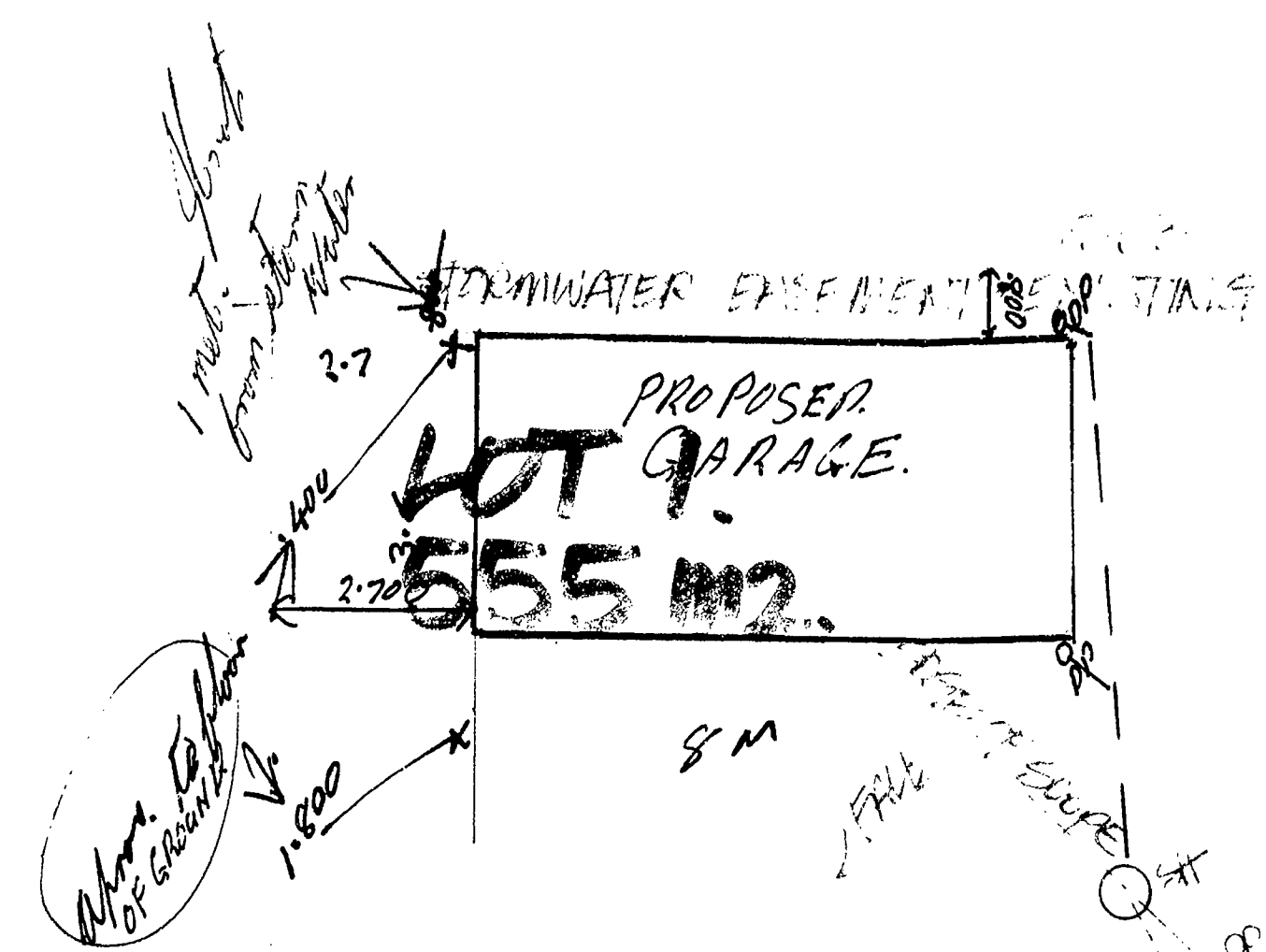
POWER
MANHOLE - APPROX.

15 SEP 1987 9 67

R.C.W.

382/26^B

NEVADA DRIVE



DECK:
100x40 SLATS C7
125x50 JOISTS AT 600
100x100 POSTS C3
SET IN 300x300
CONCRETE PADS
900 DEEP
PROVIDE HANDRAIL
ALL ROUND

ADJ. BY
OWNER



ALL PLANS AND SPECIFICATIONS SHALL BE IN ACCORDANCE WITH THE CITY OF LAS VEGAS PLANNING AND BUILDING DEPARTMENT REGULATIONS AND BYLAWS ADMINISTERED BY THE DEPARTMENT.

16/9/87
24/9/87
18-9-87

SITE PLAN

22/9

NORTH
POINT



Jim Groban
PH 513 206

MEMBER OF THE FLETCHER
GROUP OF COMPANIES

TITLE
NORTH POINT
24-9-87

AMENDMENTS
No. Date

Initials

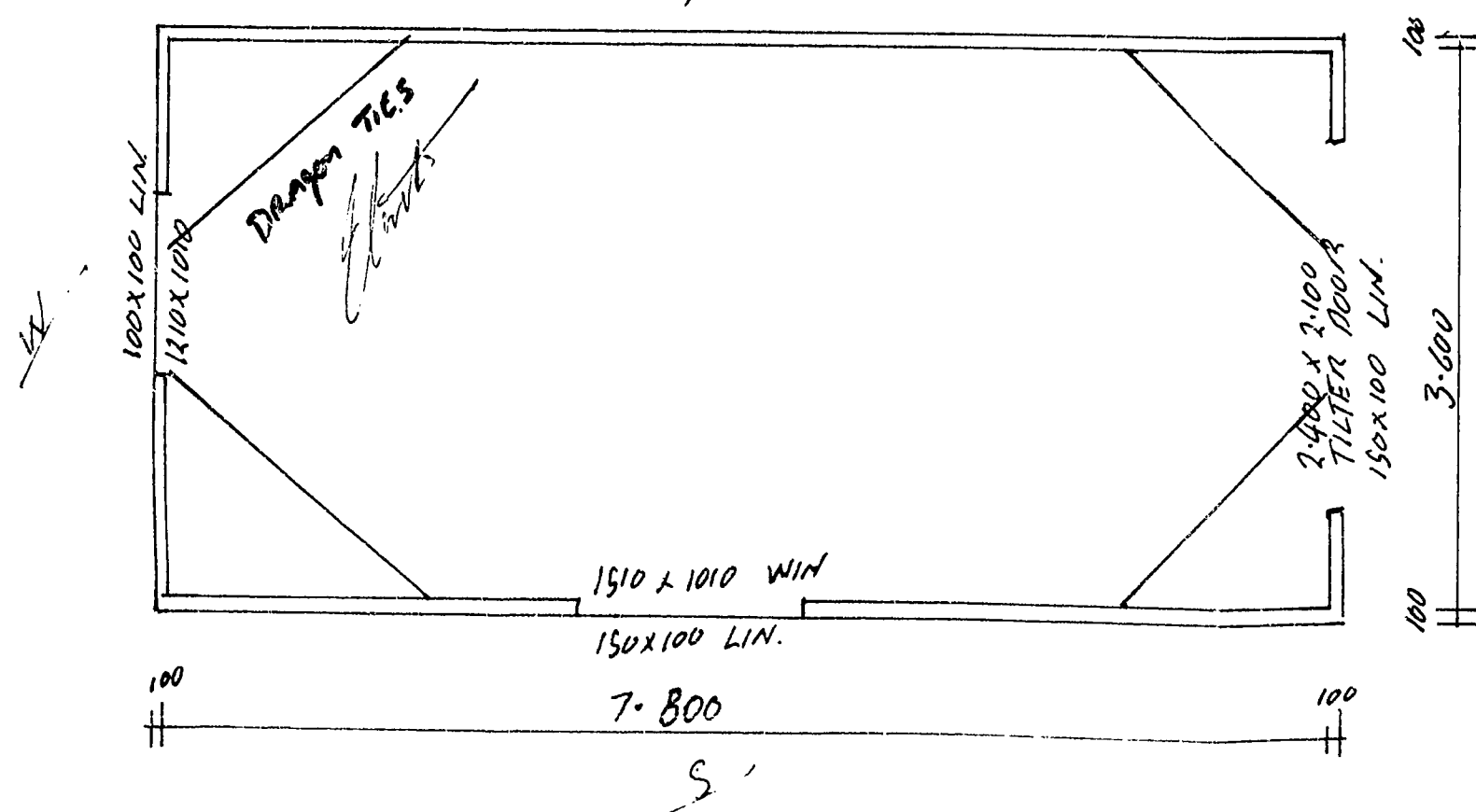
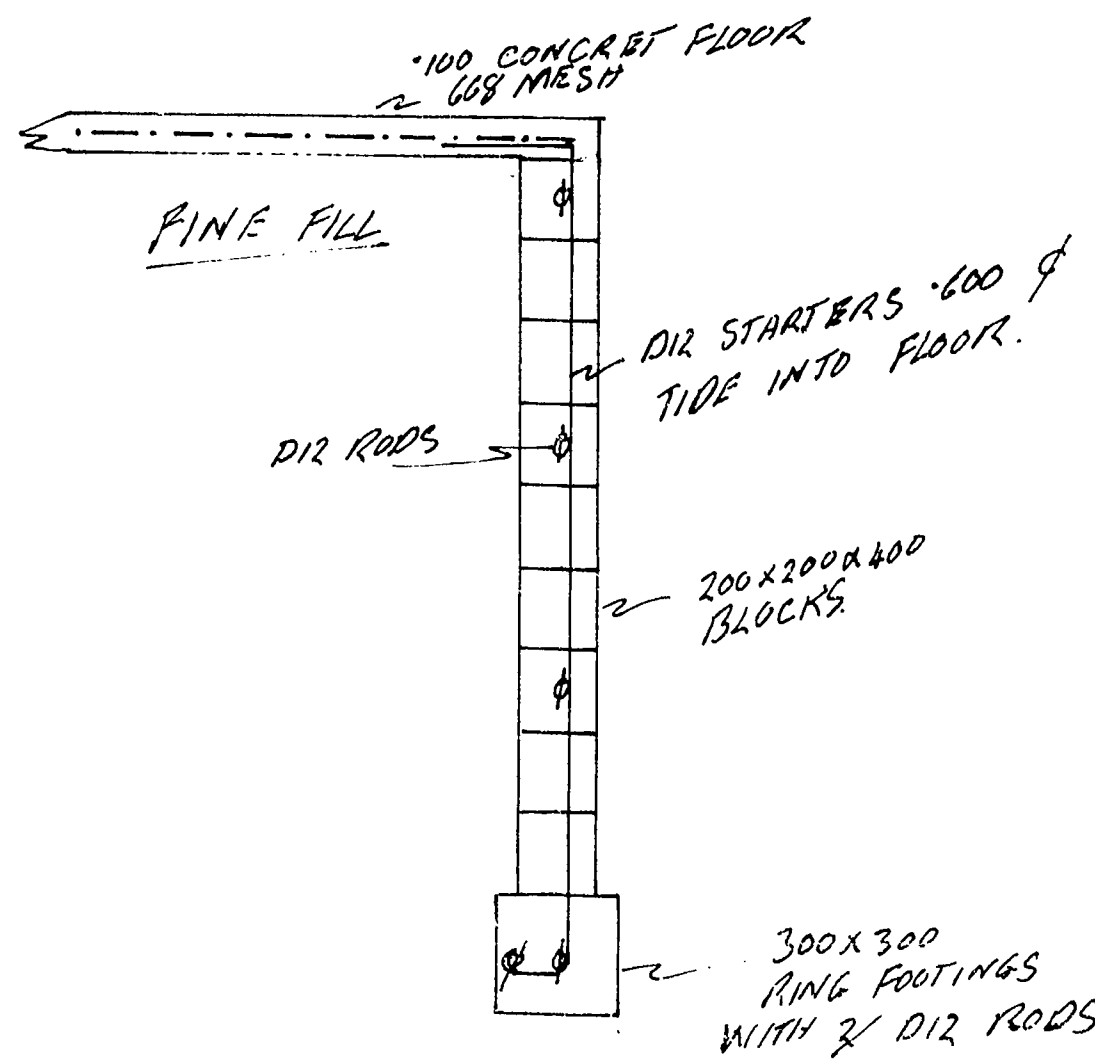
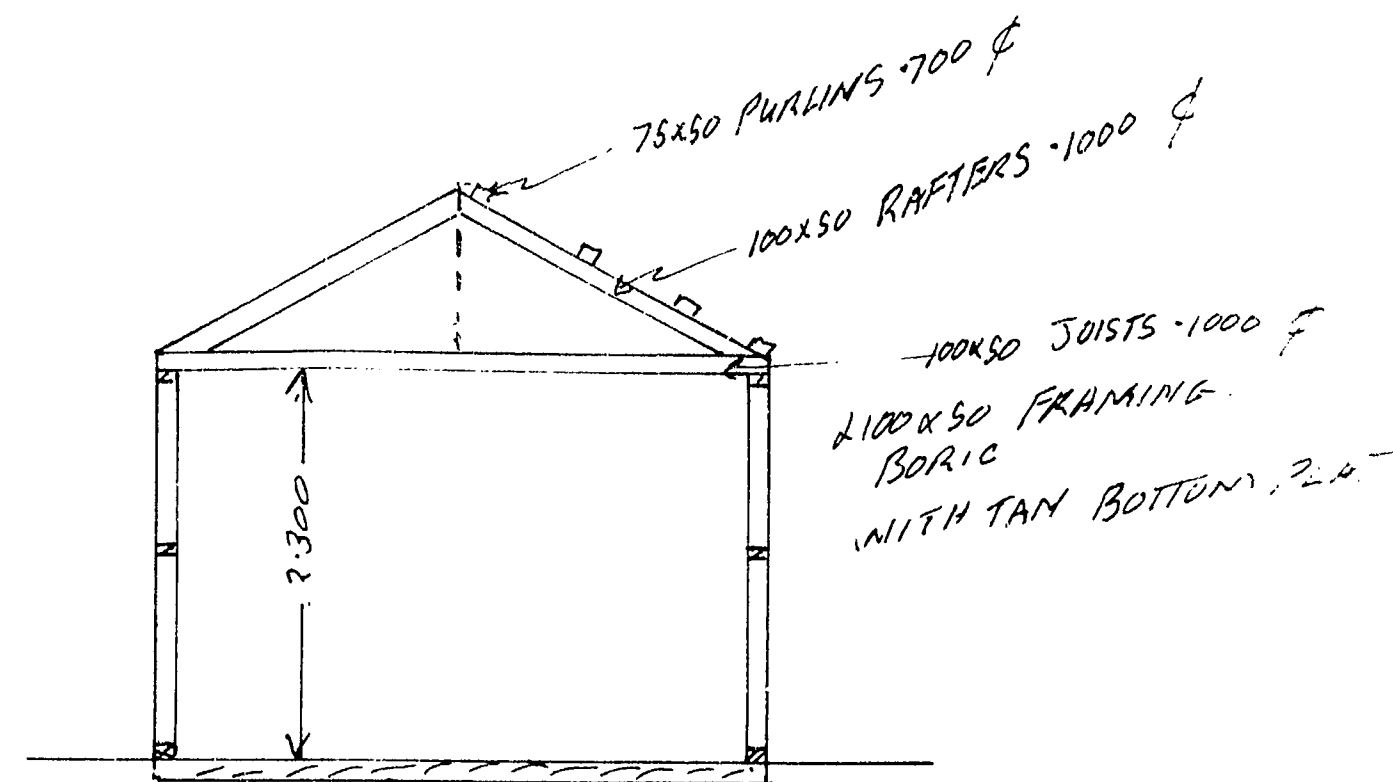
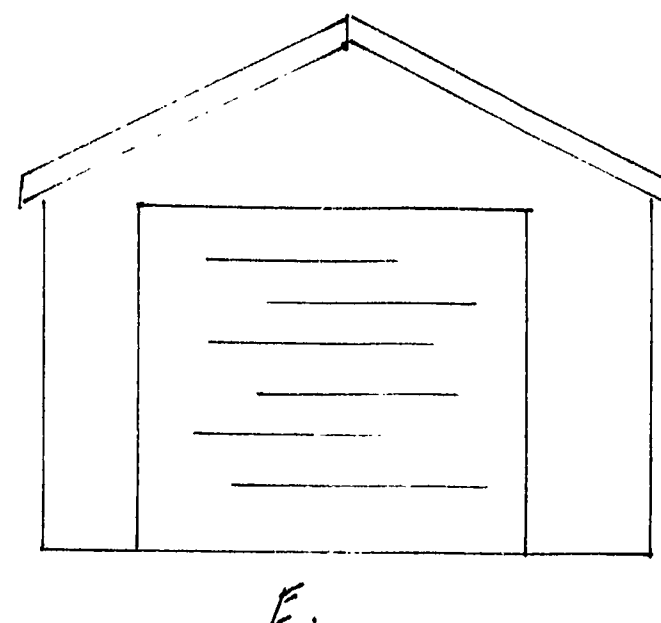
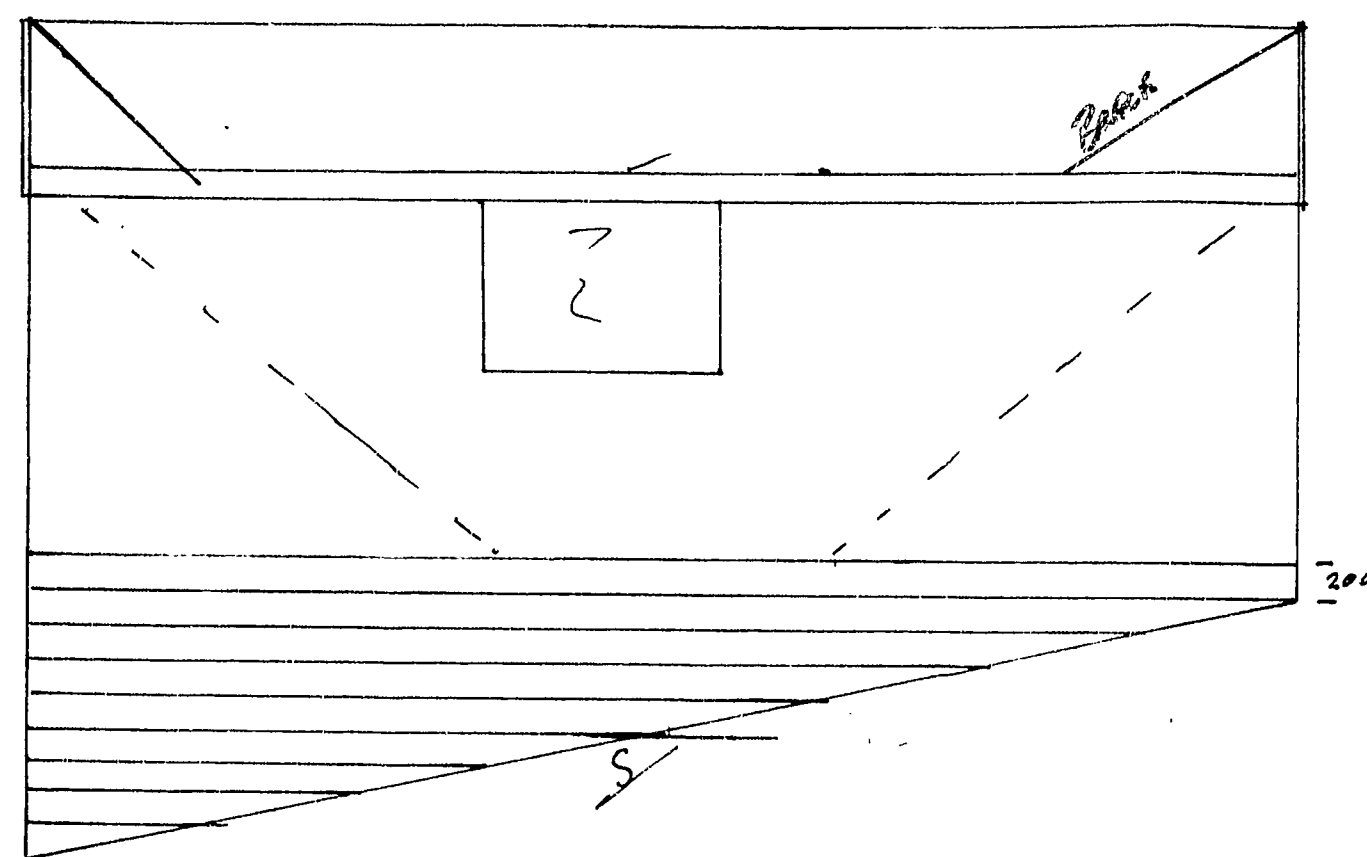
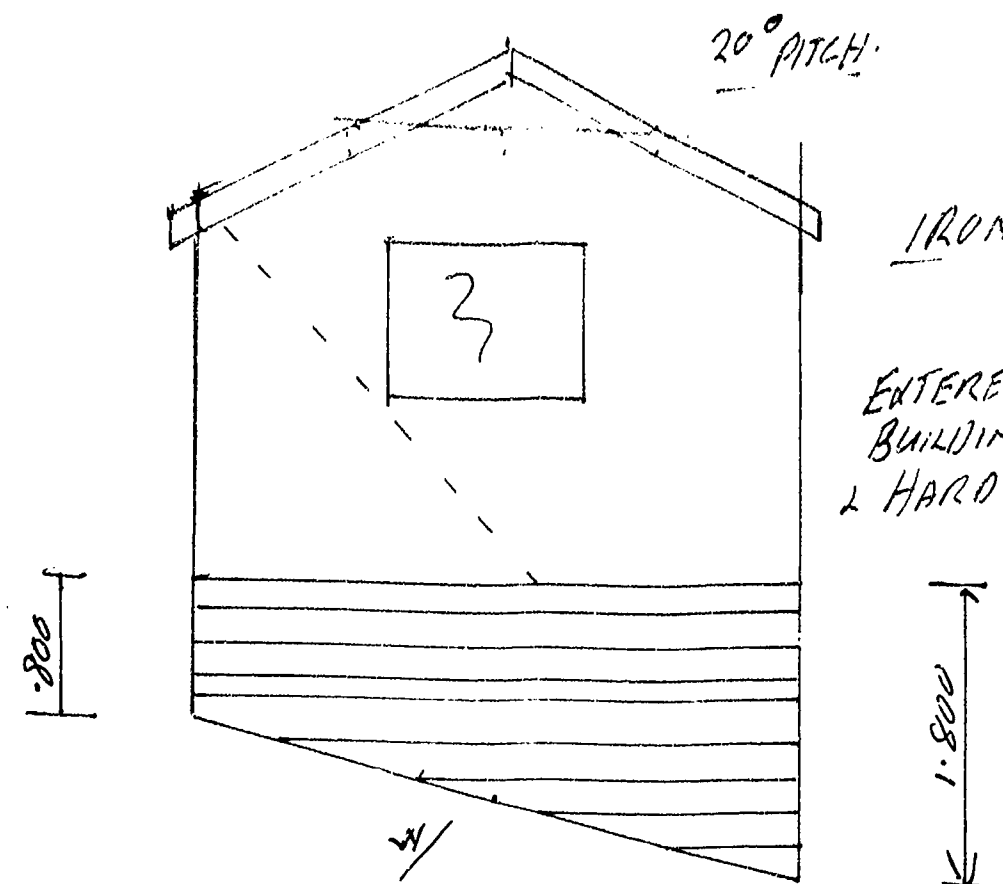
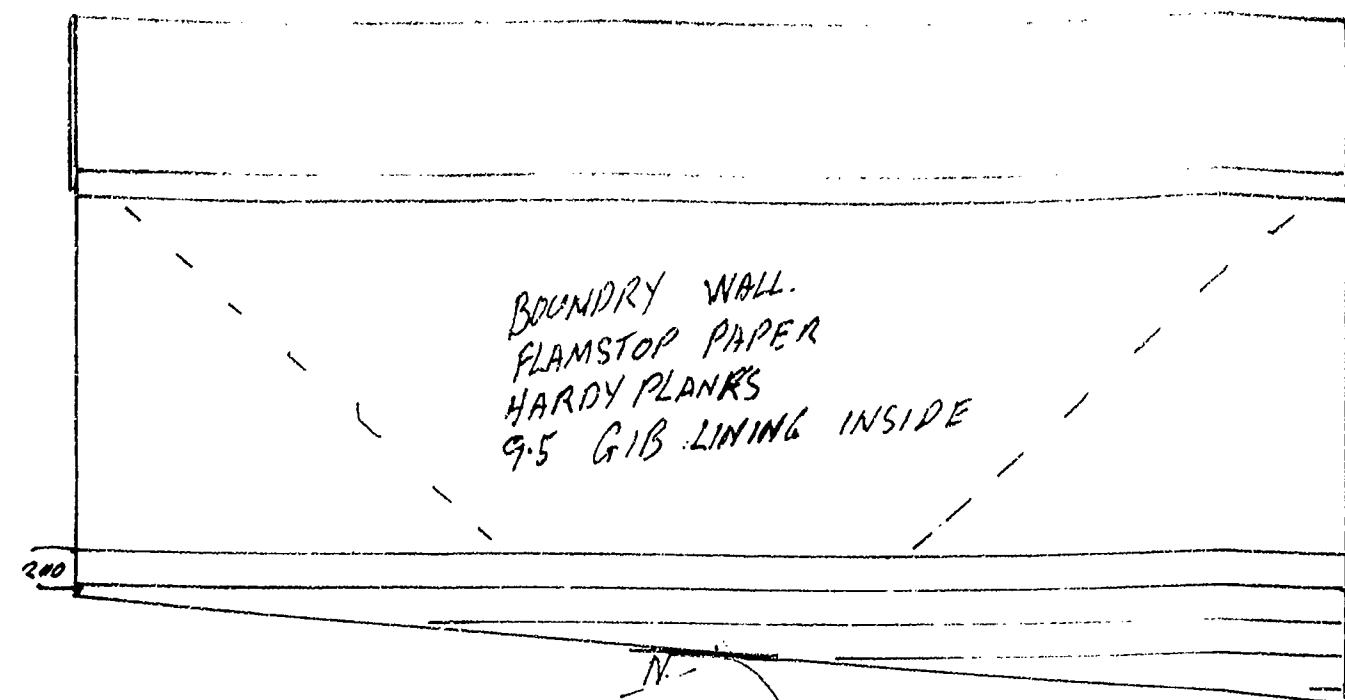
Drawn 1.	DATE 9	Date.	MAY 85	Type.	CLASSIC U
Drawn 2.		Scale.	1/8" = 1'-0"	Plan No.	
Checked.		Area.		Sheet.	1 of 4

ALTERNATIVE
DEVELOP

9 67

5 SEP 1987

382/26^B



BUILDER JIM CAYTON
5 REGENT PLACE
PH 513206

PROPOSED GARAGE FOR M.J.A. PORTER & S.C. WARD.
AT 26 B NEVADA DRIVE NP

DRAWN	CHECKED	SCALE 1/50 1/20	SHEET
TRACED	DATE		SERIES OF REF

16mm 35mm

BUILDING FILE

Code No. 382 / 26³

Subject Dwg

No. Sheets 4
28236

Permit No 24.7.86

Date

SEWER MANHOLE - APPROX.

7 71
14 JUL 1986

NEVADA DRIVE

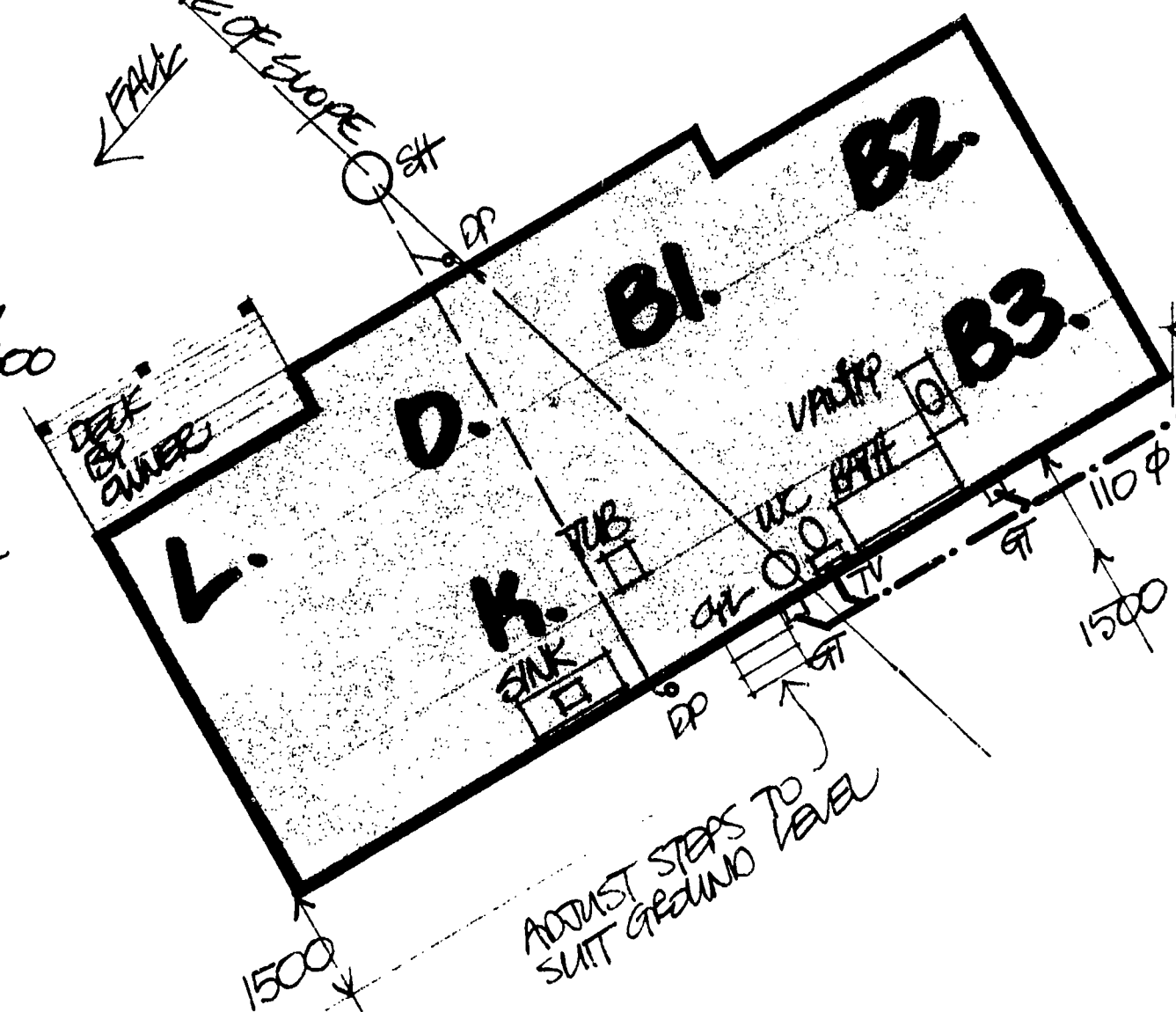
R.O.W.

382/266

LOT 1.
555 M2.

DECK:
100x40 SLATS C7
125x50 JOISTS AT 600
100x100 POSTS C3
SET IN 300x300
CONCRETE PADS
900 DEEP
PROVIDE HANDRAIL
ALL ROUND

ALL BY
OWNER



LOT 2
(DP 1014
CT B4/558)
1149M2

NEW PLYMOUTH CITY COUNCIL
PLANS AND SPECIFICATIONS APPROVED FOR TYPE, USE, SITING, COVER, AND CONSTRUCTION, AS IN ACCORDANCE WITH ALL RELEVANT ACT, REGULATIONS AND BY-LAWS ADMINISTERED BY THE NEW PLYMOUTH CITY COUNCIL.

	DATE
TOWN PLANNING	15/7/82
PUBLIC HEALTH	22/7/82
BUILDING	15/7/82
ENGINEER	

THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF THE NEW PLYMOUTH CITY COUNCIL AND MUST REMAIN ON SITE

SITE PLAN.
SCALE 1/8"=1'00"

WAITING TO BE COMPLETED BY
31/7

NORTH
POINT

ALTERNATIVE
REVERSED



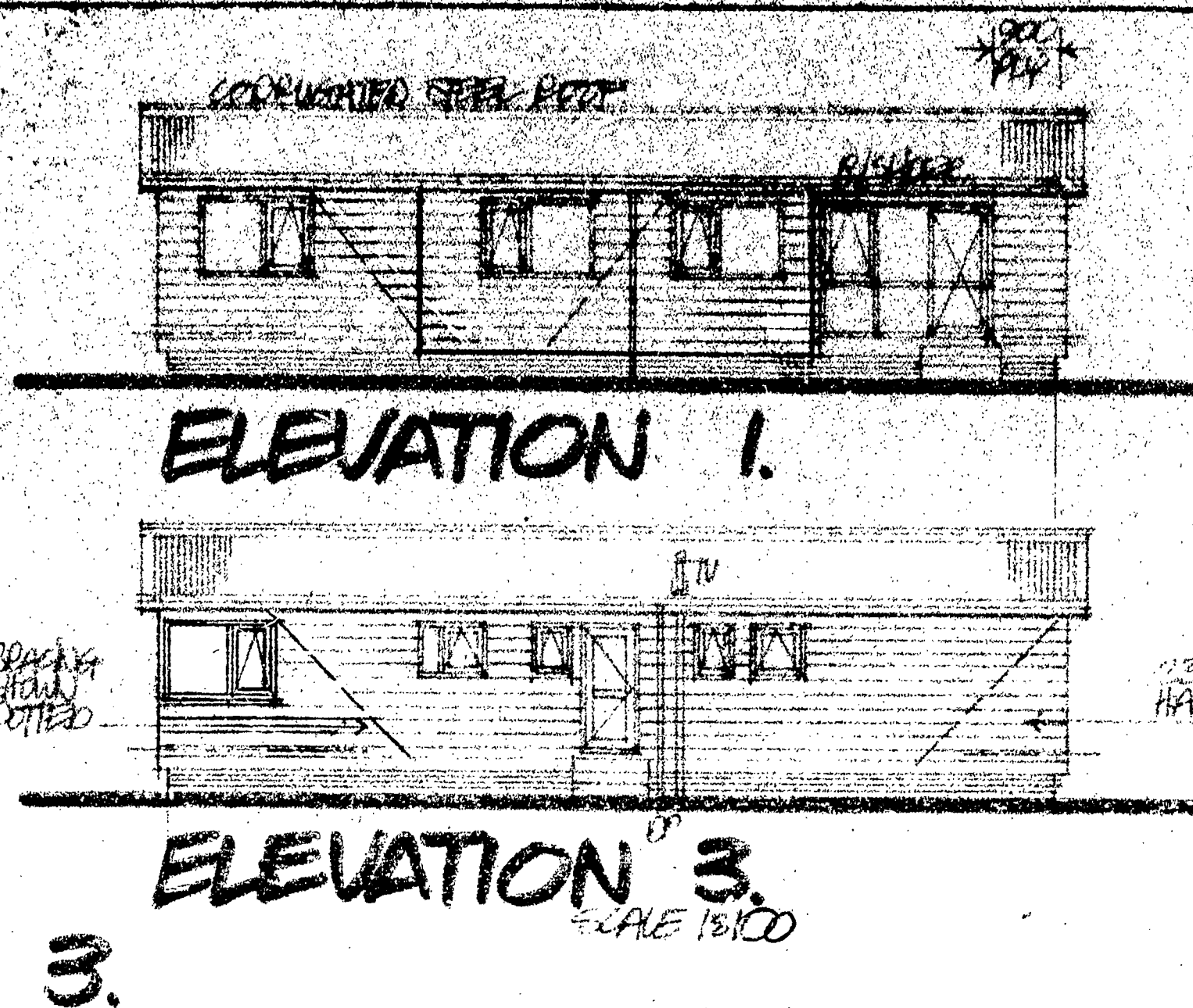
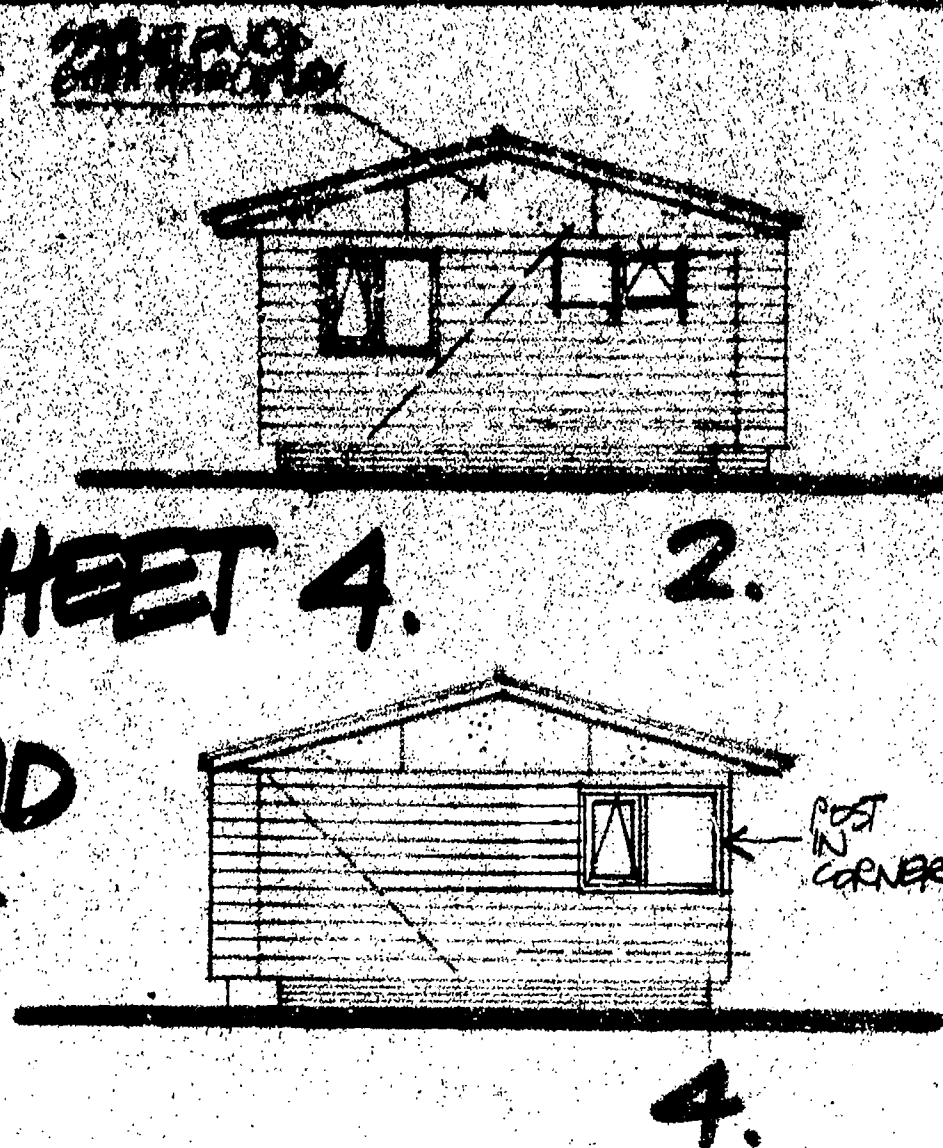
MEMBER OF THE FLETCHER GROUP OF COMPANIES

TITLE
M.J.R. PORTER & S.C. WARD
26 B NEVADA DRIVE, NP

AMENDMENTS.		
No.	Date	Initials

Drawn 1.	DATE	TYPE
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Drawn 2.	Scale.	Plan No.
	1/8"=1'00"	
Checked.	Area.	Sheet.
		104

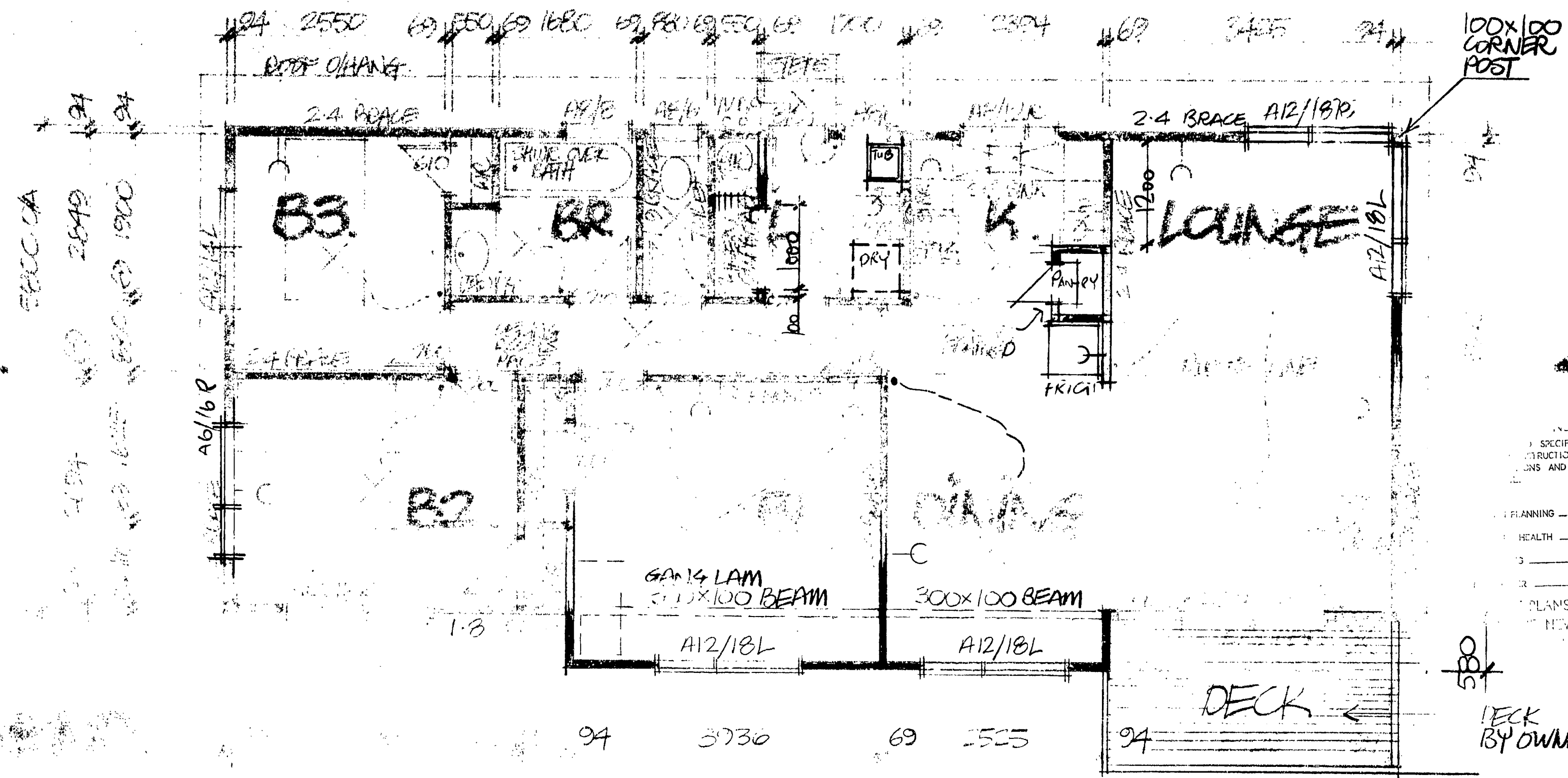
SEE SHEET 4.
FOR
GROUND
LINES.



7 71
14 JUL 1986
382/266

2.

4.



FOUNDATION TIMBER PILE		
EXTERIOR JOINERY	Type	Finish
Windows	ALUM/AWN	BRONZE
Doors		
ROOF		
Truss	Standard	
Cable	Flush/Stepped/Other	
Cable Sheathing	HARDPARK	Colour
Roof Cladding		
Roof Pitch	20°	
CH From Frame	600	
EXTERIOR SHEATHING HARDPARK		
INTERIOR LININGS		
Ceiling		
Walls		
Shower	Type	Colour
INTERIOR JOINERY		
Doors	Type	Colour
Dresser Tops		
Sink		
Vanity		
Other		
ELECTRICAL		
Stove	Type	Colour
Ceiling Lights		Wall Lights
2 Way Lights		
Power Points	Single	Double
Shaver		Other
FLOOR SANDER		
1 Cut	2 Cuts	Fine Sand
Polyurethane		
WALLPAPER		
Service Rooms	P.C. Sums	Balance
PLUMBING		
Town Supply: Yes/No	H/L Pressure	Other Supply B/O
Pressure Reducing Valve		Cell. Tank
Hose Taps		W.M. Taps
HWC 135-180L		Electric Gas
INSULATION		
	FLAT	RAKED
Ceiling	R13 blown wool	R14 B.M.
Ext. Walls	60mm	R11 Sums
Under Floor	40mm	120mm
DRAINAGE		
	Septic/Sewer	
BASEMENT		
Floor Type	See Plan	
Beam Type		
Ext. Sheathing		
Ceiling Linings		
Windows		
Insulation		
Electrical	Lights	P.P.s
Drainage	Plumbing	
OWNERS CARE		
ADDITIONAL ITEMS		
Date		initials

NEW PLYMOUTH CITY
SPECIFICATIONS APPROVED FOR TYPE, USE, SITING, COVERING
CONSTRUCTION, AS IN ACCORDANCE WITH ALL RELEVANT ACTS
AND BY-LAWS ADMINISTERED BY THE NEW PLYMOUTH CITY

PLANNING	DATE	SCALE	ISSUE
HEALTH	DATE	SCALE	AREA
	DATE	SCALE	AREA
	DATE	SCALE	AREA

PLANS AND SPECIFICATIONS ARE THE PROPERTY OF
NEW PLYMOUTH CITY COUNCIL

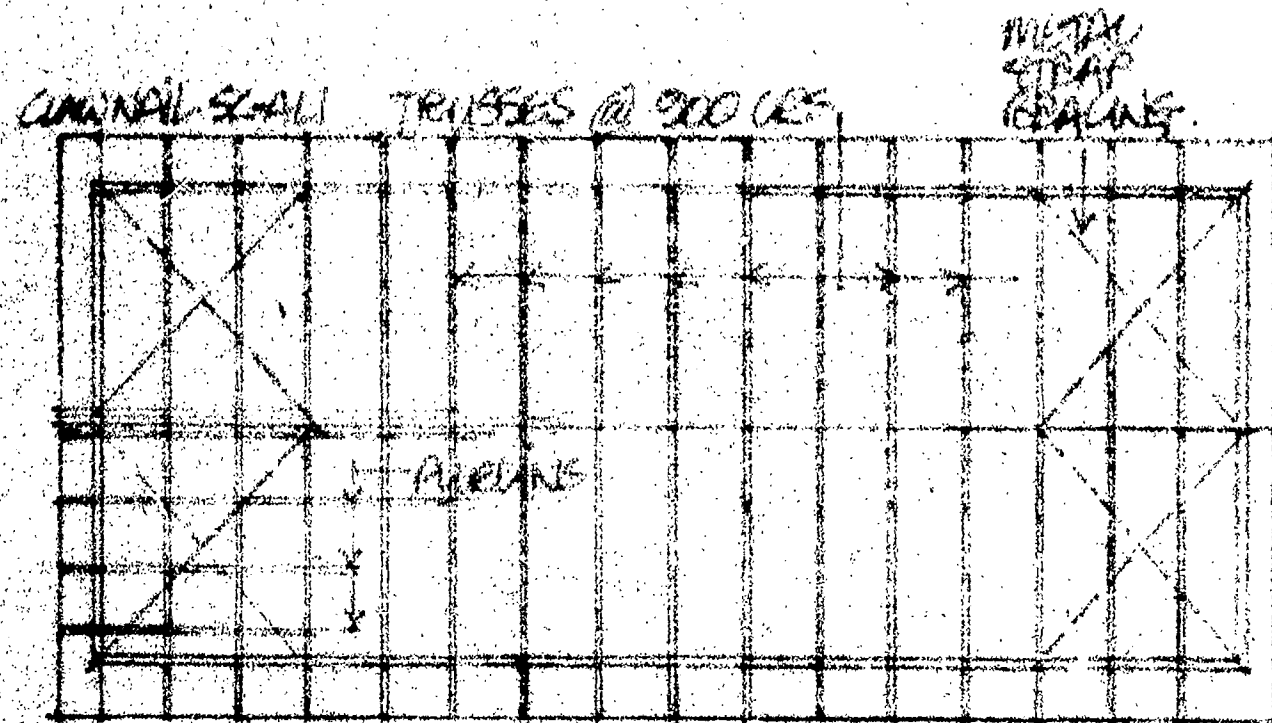
M.J.R. PORTER
S.C. WARD
26B NEVADA DR
NEW PLYMOUTH



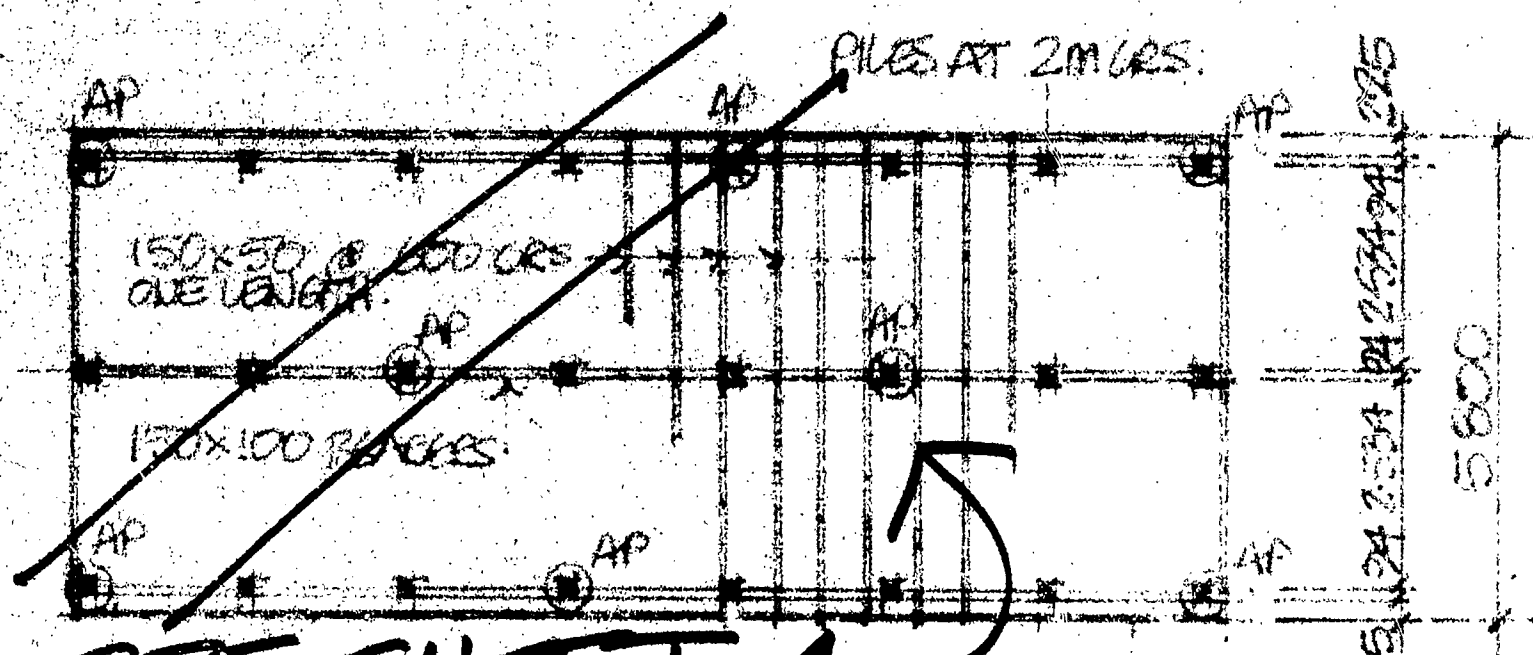
A DIVISION OF FLETCHER
RESIDENTIAL

2 0

IN SET 4

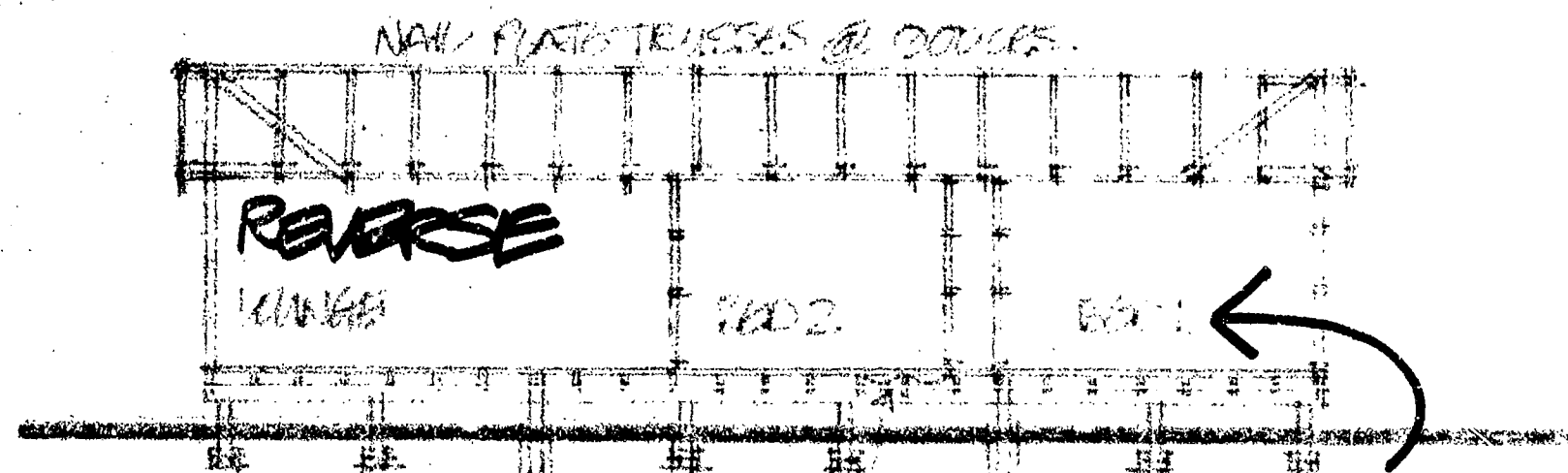


ROOF FRAMING PLAN.
SCALE 1/8"=1'-0"



SEE SHEET 4 for REVISED FOUNDATIONS FLOOR FRAMING PLAN.
SCALE 1/8"=1'-0"

125x125 C28 TANAPILES SET ON CONCRETE PADS OR ANCHOR PILES AS SHOWN. SEE DETAIL.
EXTERIOR PILES SET IN 450x150 PAD (LOAD BEARING)
INTERIOR PILES SET IN 310x150 PAD x 200 DEEP.



PERFORATED FILL INSULATION

LONGITUDINAL SECTION
SCALE 1/8"=1'-0"

READ THIS SHEET AS REVERSE PLAN!! REFER OTHER SHEETS

AND SPECIFICATIONS APPROVED FOR TYPE, USE, SITING, COVERING, CONSTRUCTION, AS IN ACCORDANCE WITH ALL RELEVANT ACTS, REGULATIONS AND BY-LAWS ADMINISTERED BY THE NEW PLYMOUTH CITY COUNCIL.

DATE _____

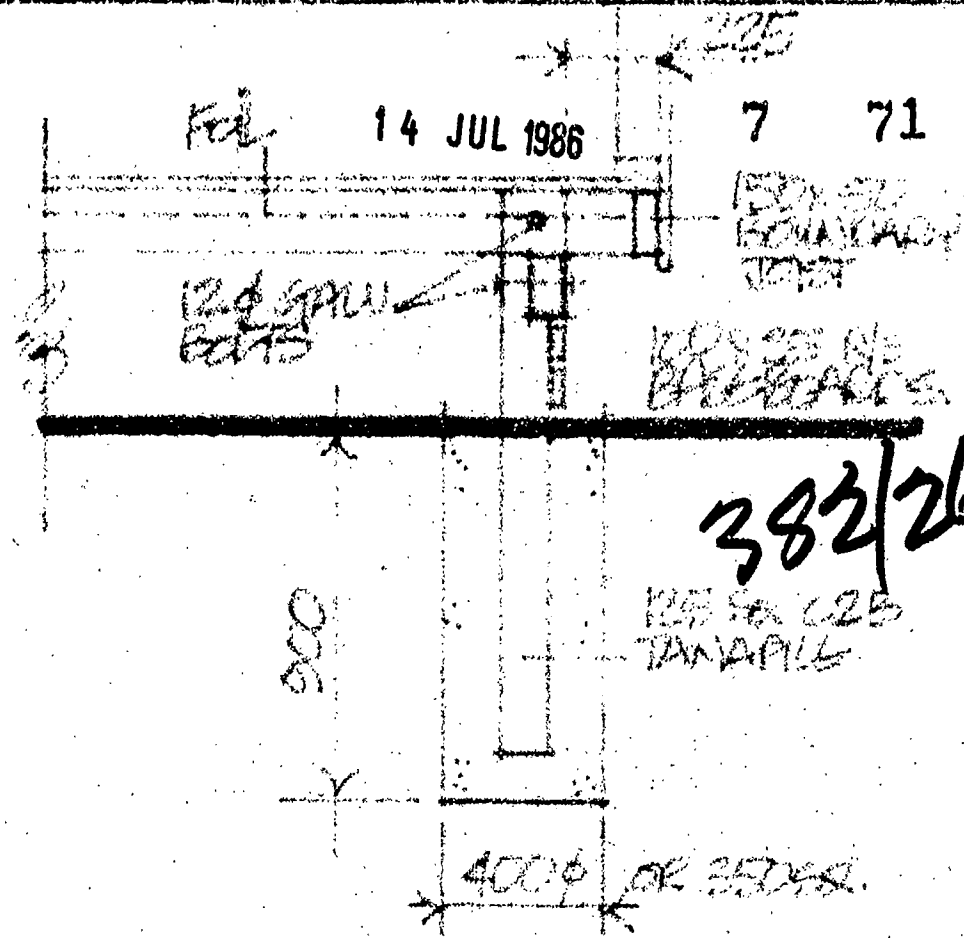
PLANNING _____

HEALTH _____

WORKING _____

ENGINEER _____

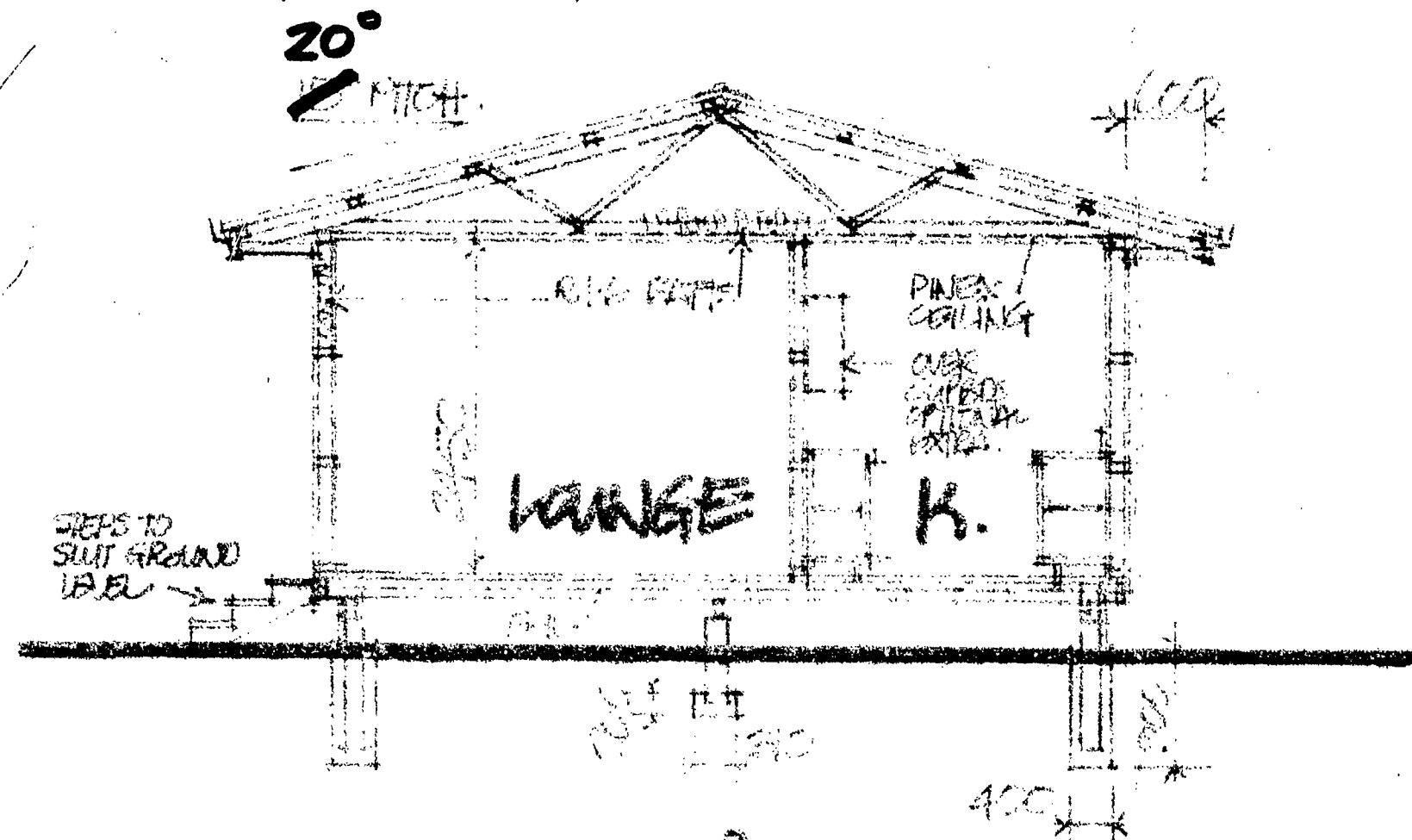
THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF THE NEW PLYMOUTH CITY COUNCIL AND MUST REMAIN ON SITE.



ANCHOR PILE DETAIL.

CONSTRUCTION SUMMARY.

0.40 BMT CORR GALV STEEL ROOF AT 1/20° PITCH.
LIGHT WEIGHT DUREX BUILDING PAPER
75x150 FURLINS AT 900 MAX CENTRES.
NAVL PLATE TRUSSES SCALI AT 900 MAX CENTRES.
PIKE GLASS PART CEILING & WALL INSULATION
SUNDA PARTIALLY BOARD FLOORING IN LARGE SHEETS
FLOORED FLOOR JOISTS AT 600 C/S IN ONE LENGTH
150x100 BEAMERS AS SHOWN
PERFORATED FILL UNDER FLOOR INSULATION TO DEPTH 100MM.
HANDYMAN WEATHERBOARDS ON BUILDING PAPER.
100x50 & 15x50 WALL FRAMING SHEED. WALL LINING
HANDYMAN SOFFITS 150x35 FASCIA/BARGE BOARDS
MARKER PVC SPRINKLING AND DOWNPIPES



CROSS SECTION.

BRACING CALCULATIONS:-

STOREY SLAB	Roof Type 1	W = 3.5	Roof Pitch 25
Wind Area	Earthquake Zone 1	BL = 14.4	M
Roof or Building Length	Roof or Building Width	GPB = 3.5	M
Gross Roof or Plan	Earthquake	BL's Along & Across	W x GPB = 2.5
W x BL's Along	W x BL's Across	W x BW = 18.4	
W x BL		W x BL = 4.5	

Wall Line

Min B.U.s	No.	Type	B.U. Rating	Length	B.U.s Given
A	144	2	42	2.4	100.8
B	70	3	62	2.0	124
C	144	4	42	2.4	100.8
D					
TOTAL MIN.				358	TOTAL
TOTAL B.U.s REQUIRED ALONG					527.2
					200

Wall Line

Min B.U.s	No.	Type	B.U. Rating	Length	B.U.s Given
L	58	6	42	2.4	100.8
M	70	7	62	2.4	148.8
N	70	8	62	1.8	111.6
O	70	9	62	2.0	124
P	58	10	42	2.4	100.8
TOTAL MIN				326	TOTAL
TOTAL B.U.s REQUIRED ACROSS					586
					475

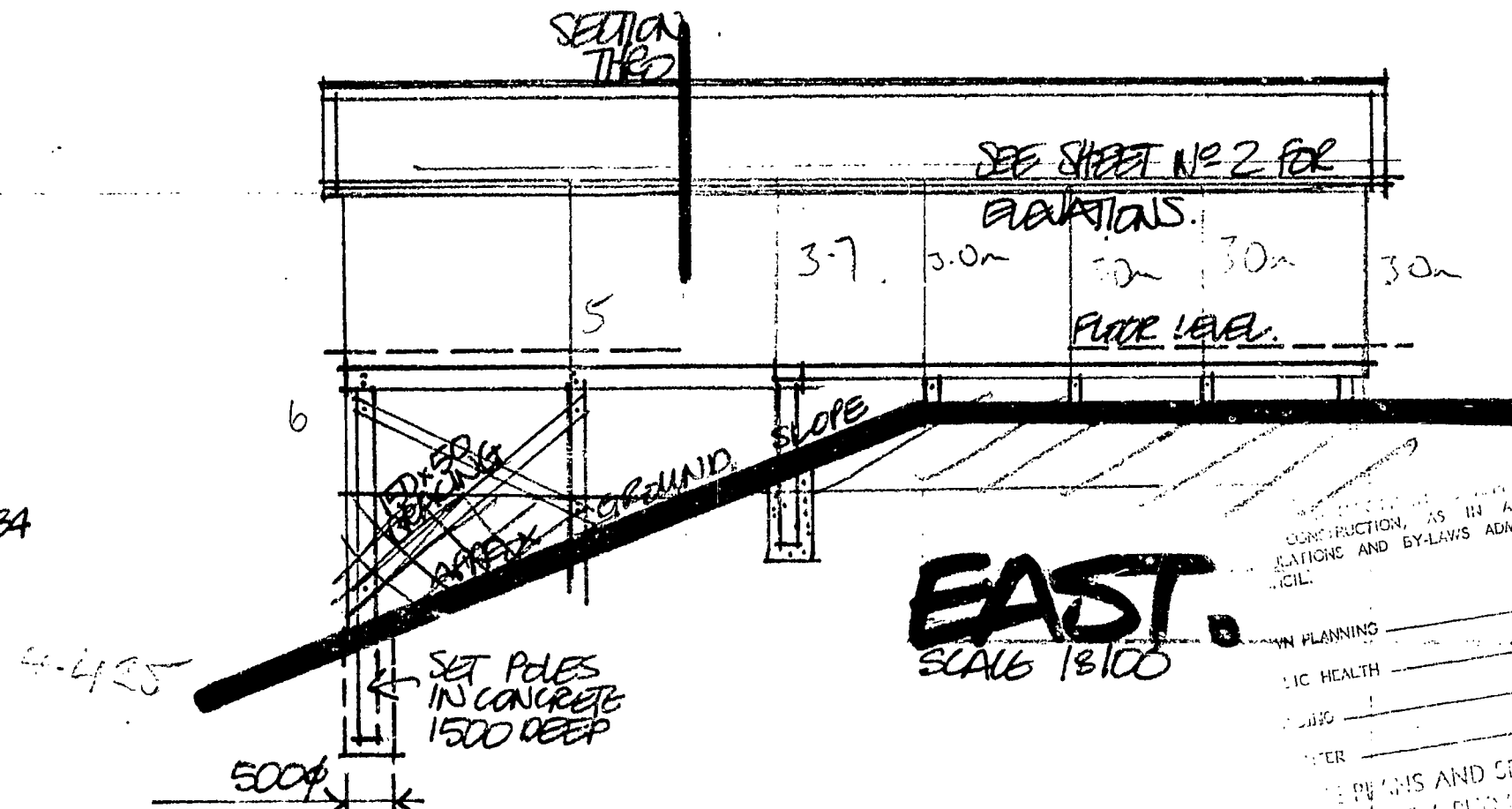
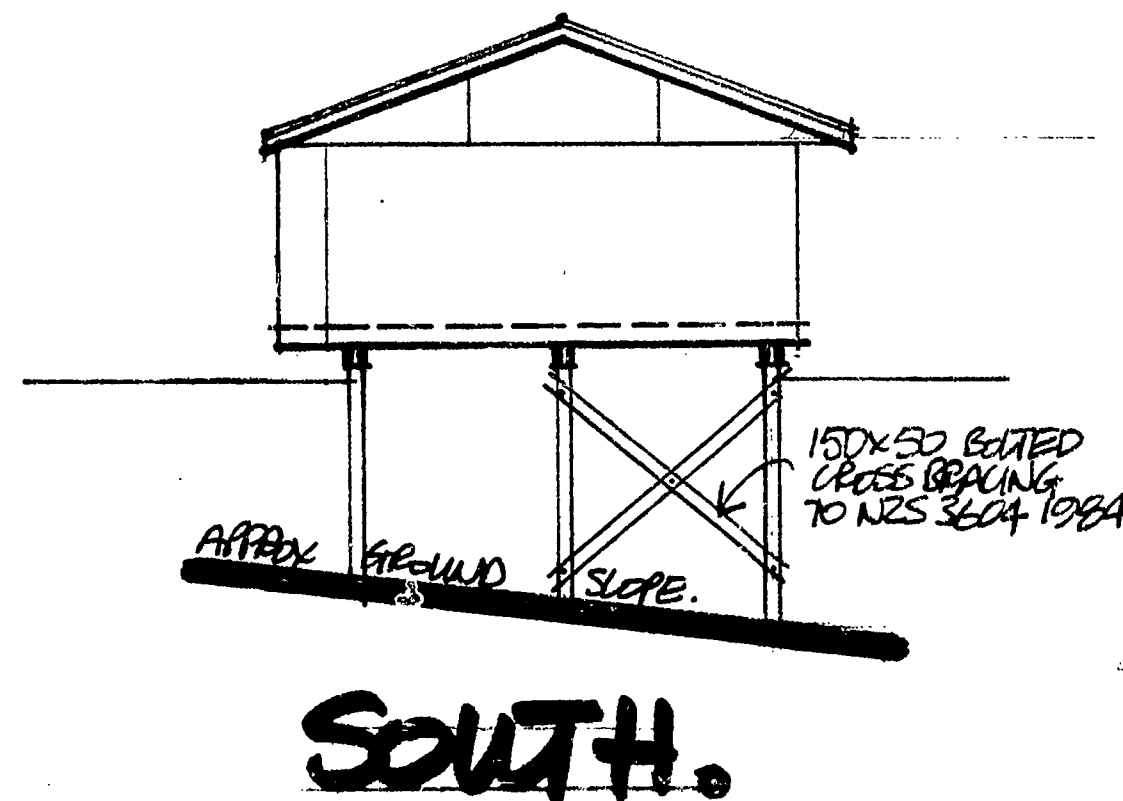
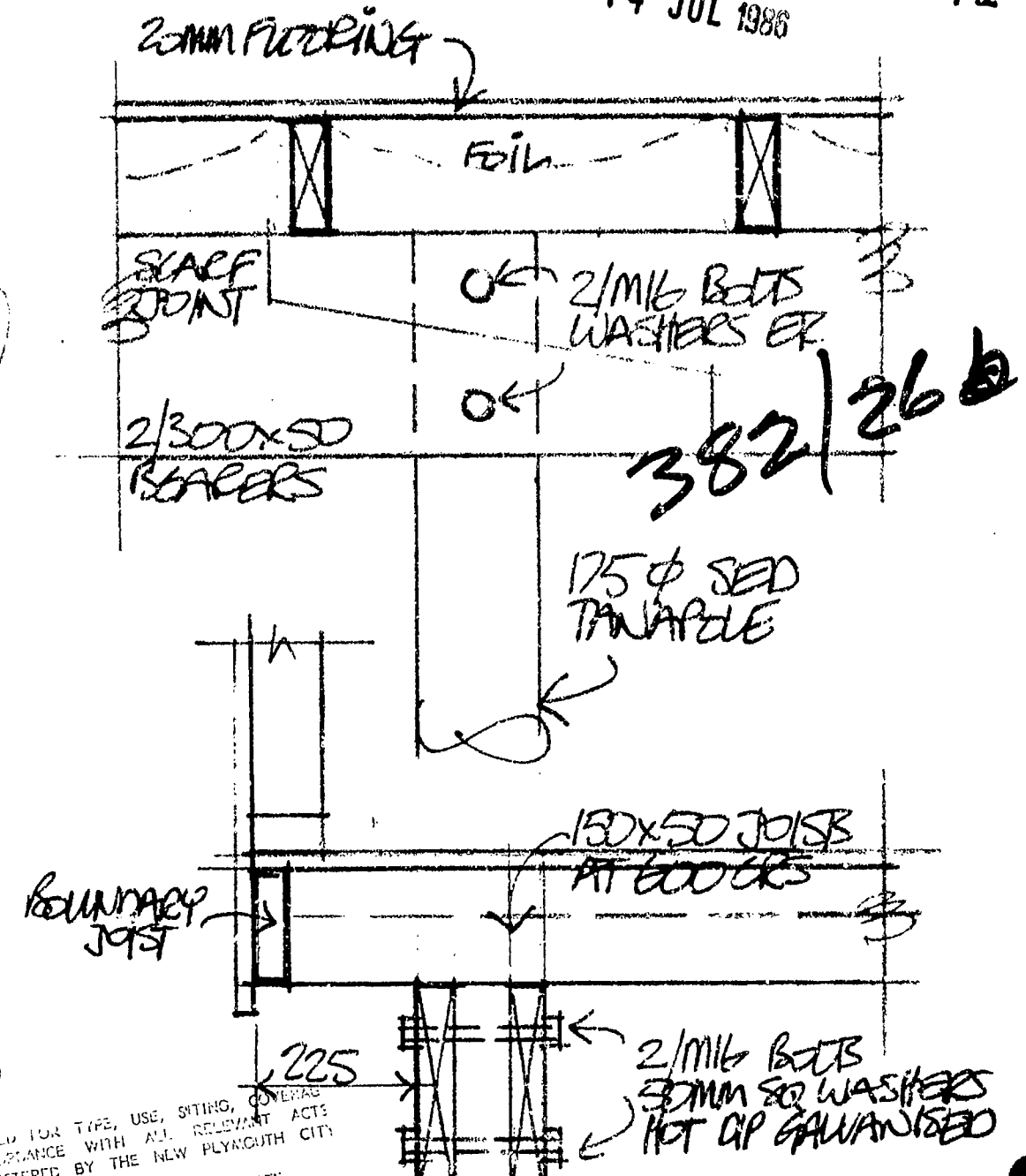
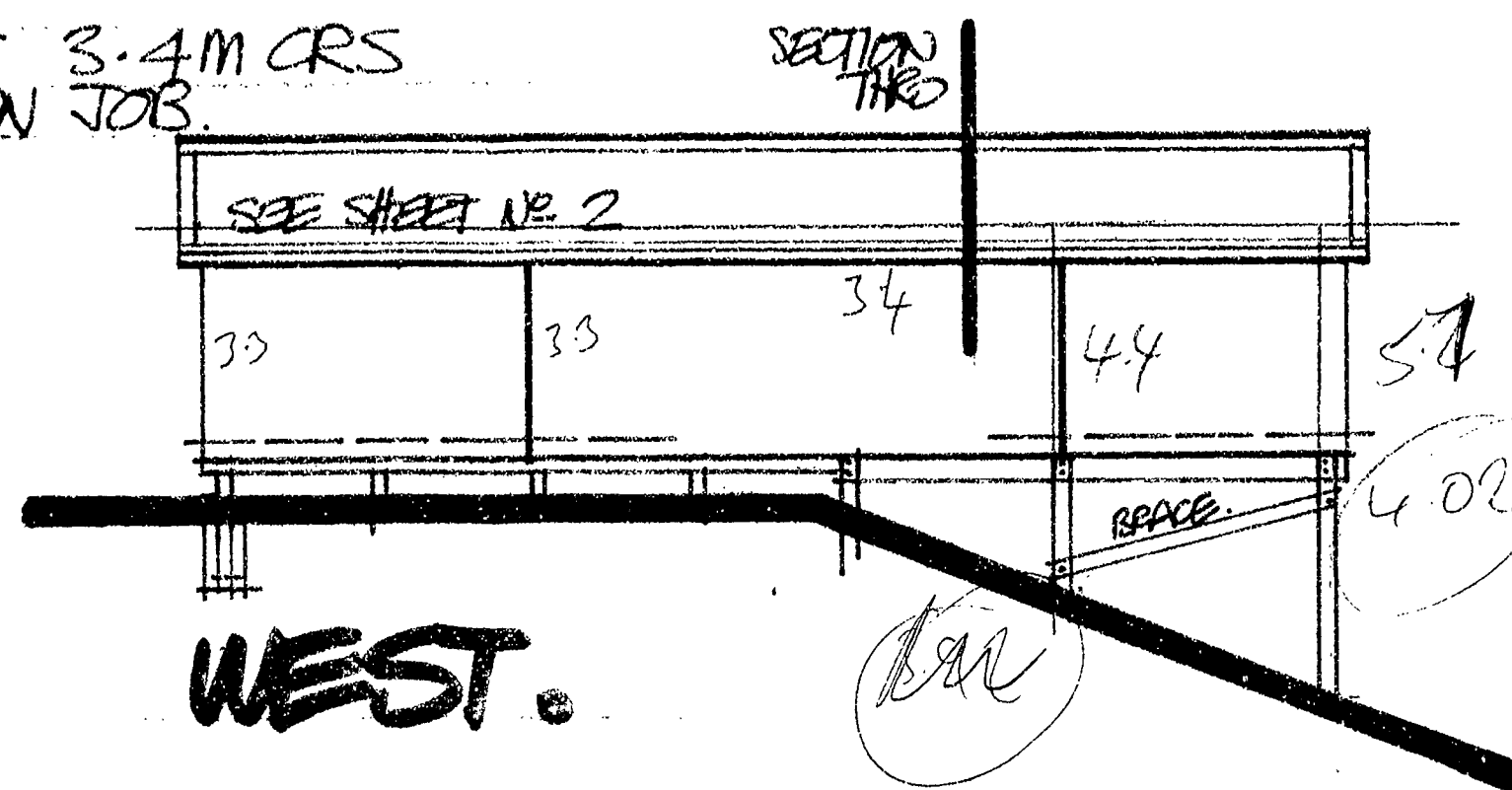
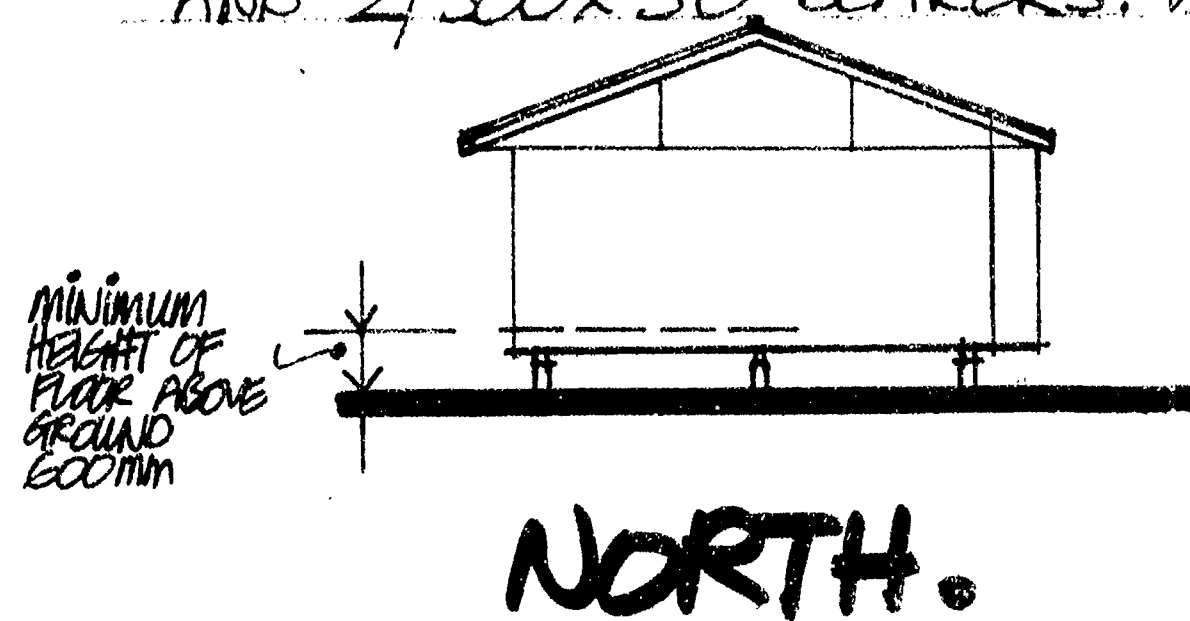
ADDITIONAL ITEMS
Date _____ Initials _____

TRUSS ROOF
TYPE: C28 PLAN No. _____ ISSUE _____
DRAWN: SCALE _____ AREA No. _____
DATE: 3/25 AREA _____ JOB No. _____

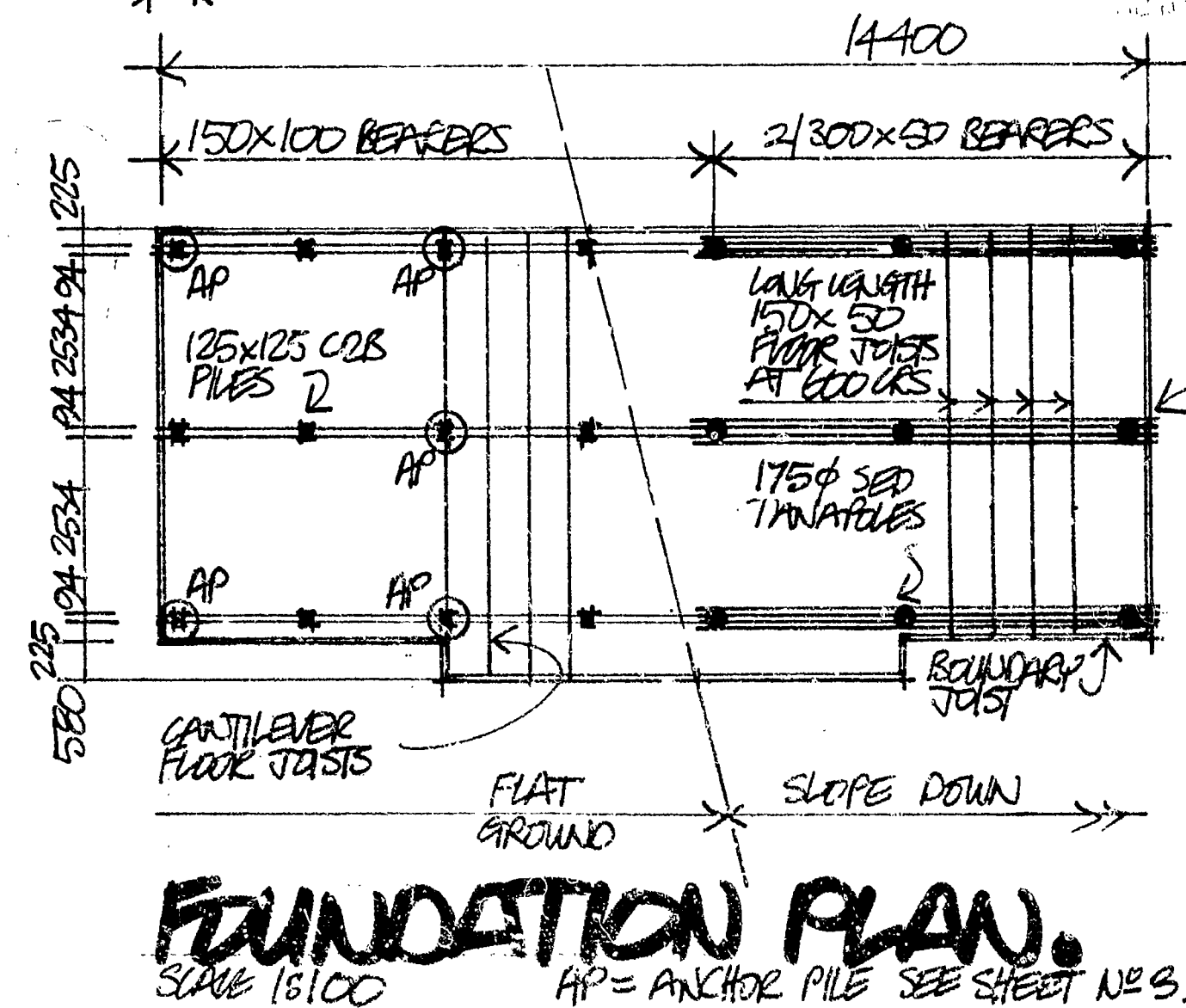
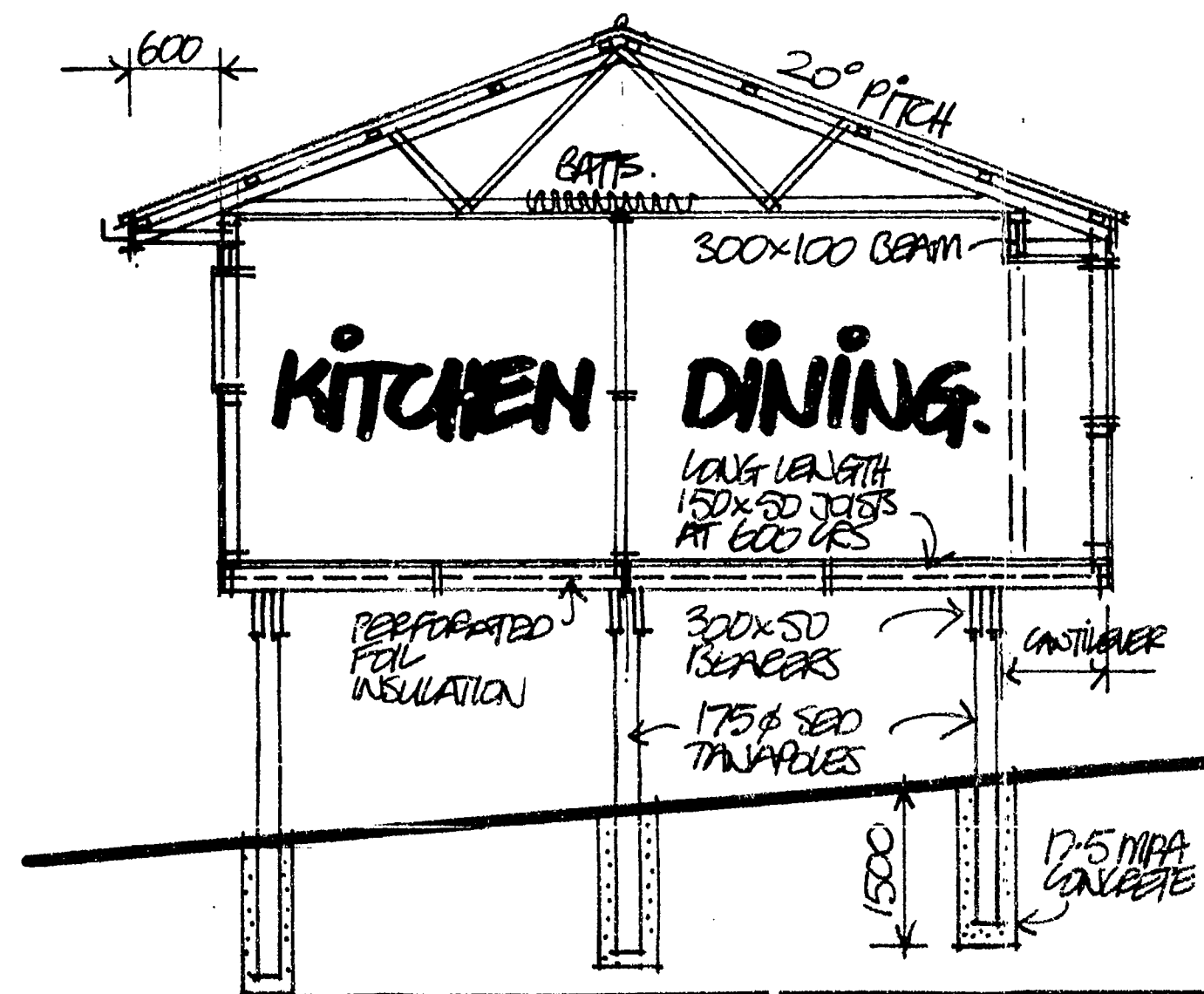
CLIENTS NAME
M.J.R. PORTER
S. C. WARD
26B NEVADA DR.
NEW PLYMOUTH

NOTE : ALTERNATIVELY USE ALL 175 ϕ POLES AT 3.4M CRS AND 2/300X50 BEARERS. VERIFY ON JOB.

14 JUL 1986 7 71



CROSS SECTION.
SCALE 1/50



SET LONG POLES ON SOUTH ELEVATION IN 1500 DEEP X 500 ϕ HOLES & FILL WITH CONC OTHERS IN 1200 X 400 ϕ HOLES. VERIFY ON JOB.



MEMBER OF THE FLETCHER GROUP OF COMPANIES

TITLE
M.J.R. PORTER & S.C. WARD
26 B NEVADA DRIVE, NP.

AMENDMENTS.		
No.	Date	Initials

Drawn 1.	Date.	Type.
CHRIS G	MAY '86	CLASSIC U
Drawn 2.	Scale.	Plan No.
	VARIOUS	
Checked.	Area.	Sheet.
		4 IN 4

ALTERNATIVE/REVERSED

16mm 35mm

BUILDING FILE

Code No. 382 / 26c

Subject REMEDIAL WORK DWG

No. Sheets 9

Permit No 11103

Date 12.4.89

Date Permit Issued 12/4/89

BUILDER

☒ **Name** E. C. F.

Mailing Address 45 FRANKLEY ROAD
NEW LYNCOOTH
75913

LEGAL DESCRIPTION

Valuation Roll No. _____

Lot 2 D.P. 154152

Section _____ Block _____

Survey District _____

NATURE OF PERMIT (TICK BOX)

☐ NEW BUILDING
– exclude domestic garages and domestic outbuildings

☐ FOUNDATIONS ONLY

☒ ALTERED, REPAIRED, EXTENDED, CONVERTED, RESITED
– include installation of heating appliances

☐ NEW CONSTRUCTION
OTHER THAN BUILDINGS – include demolitions

☐ DOMESTIC GARAGES
AND DOMESTIC OUTBUILDINGS

Building Permit	\$ _____	Water Connection	\$ _____	Receipt No. _____
Street Damage Deposit ..	\$ _____		\$ _____	
Building Research Levy ..	\$ _____		\$ _____	Date of Payment <u>12/14/89</u>
Plumbing	\$ _____		\$ _____	
Drainage	\$ _____		\$ _____	Authorised Officer <u>[Signature]</u>
Sewer Connection	\$ _____		\$ _____	
Vehicle Crossing Levy ..	\$ _____	G.S.T.	\$ _____	
M.S. Plumbing	\$ _____	TOTAL:	\$ _____	

Special Conditions: _____

Conf. History

(CONTINUED OVER)

382/26c

NEW PLYMOUTH CITY COUNCIL

FOR OFFICE USE:

File No. 3 78 Check Sheet No. 32206
 Receipt No. 14165 Sewer Sheet No. 123 A
 Date of Receipt. 12.4.89 Zone. Res

ADDRESS OF PROPERTY 25^c NEVADA DRIVE 21 MAR 1989
 LEGAL DESCRIPTION OF LAND: LOT: 2 D.P. 15452
 NAME OF OWNER OF LAND MR. PORTER ADDRESS: 25^c Nevada Drive
 NAME OF OWNER OF BUILDING: MR. PORTER ADDRESS: 25^c Nevada Drive
 NAME OF PRINCIPAL CONSULTANT: Chapman Outenham & Associates Ltd ADDRESS: P.O. Box 585 N.P.
 NAME OF OCCUPIER MR. PORTER ADDRESS: 25^c Nevada Drive
 NAME OF BUILDER: MR. B. Cole ADDRESS: 48 Frankley Rd

PROPOSED USE OF BUILDING

For Permission To carry out remedial
 work on subfloor framing
 as per attached documents.

Documents: attached as part of this
 application which are applicable:

Drawings - Two sets ☒
 (See notes on back of sheet)

Specifications - Two copies ☐

Form No. 2 - Structural Design
 Features Summary Part A ☐
 and Part B

Form No. 3 - Fire and Egress
 Features Summary ☐

Building Project Authority ☐

Estimated starting date.....

Estimated completion date.....

New floor area.....

DESCRIPTION OF PROPOSED WORK:

New building ☐ Conversion ☐
 Addition ☐ Demolition ☐
 Alteration ☒
 Hoardings Mths

Total Value of Building Excluding G.S.T. \$ 788

Sanitary Plumbing and Drainage (Labour only) \$
 (Excluding G.S.T.)

Value of Building for Permit \$ 788

FOR OFFICE USE
 Corrected Value

NAME OF APPLICANT B. Cole

Address 48 Frankley Road

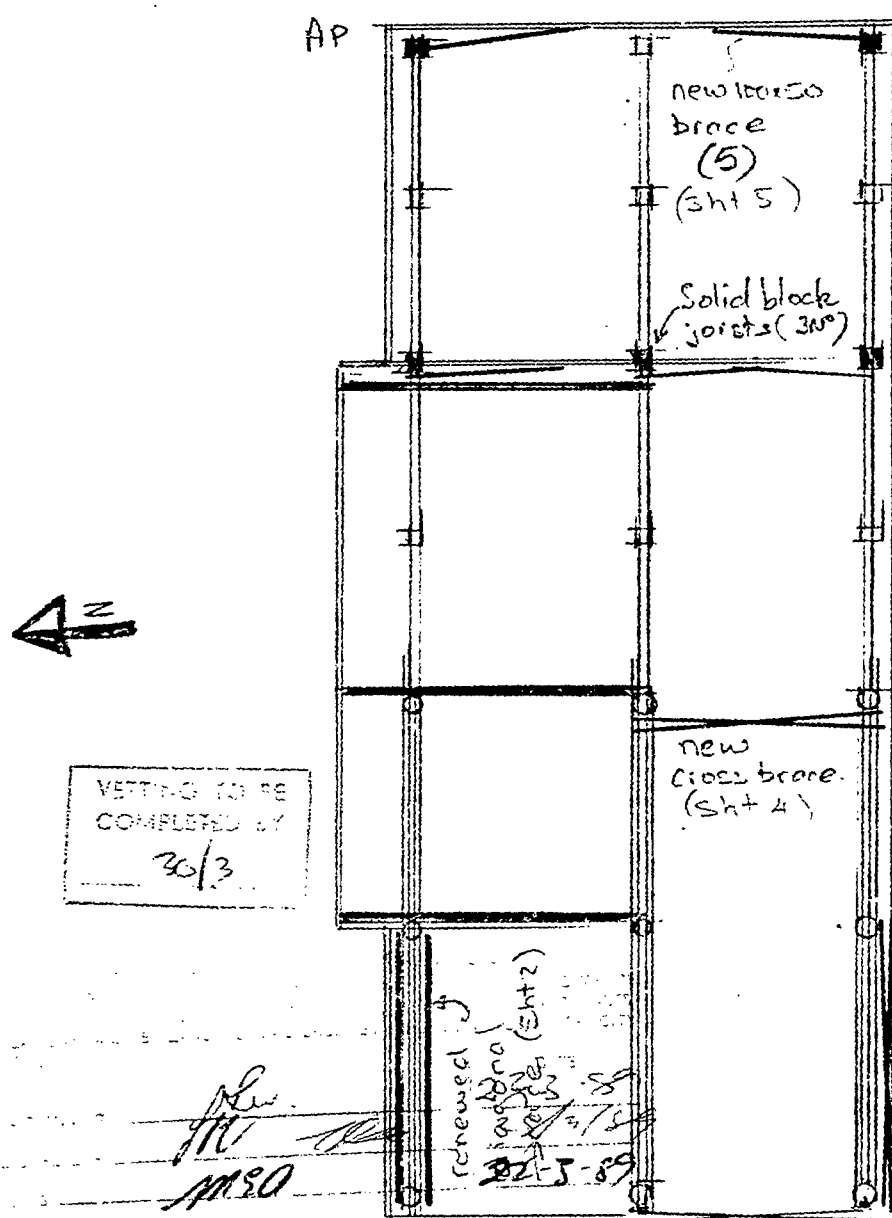
Signature B. R. Cole * Telephone No. 35913

Acting in capacity Builder (e.g. owner, builder, principal consultant)

382/26c

3 78

21 MAR 1989



AP

AP (3)

ORIGINAL SIZE - A4 IF IN DOUBT ASK CHECK ALL DIMENSIONS DO NOT SCALE

REPAIRAL BRACING - 26' NEUMER LANE
SUBFLOOR BRACING LAYOUT

29 Carrington St
P.O. Box 585
New Plymouth
New Zealand
Phone (067)37273
Fax (067)84528

**Chapman Oulsnam
& Associates Ltd**
Civil and Structural Engineers

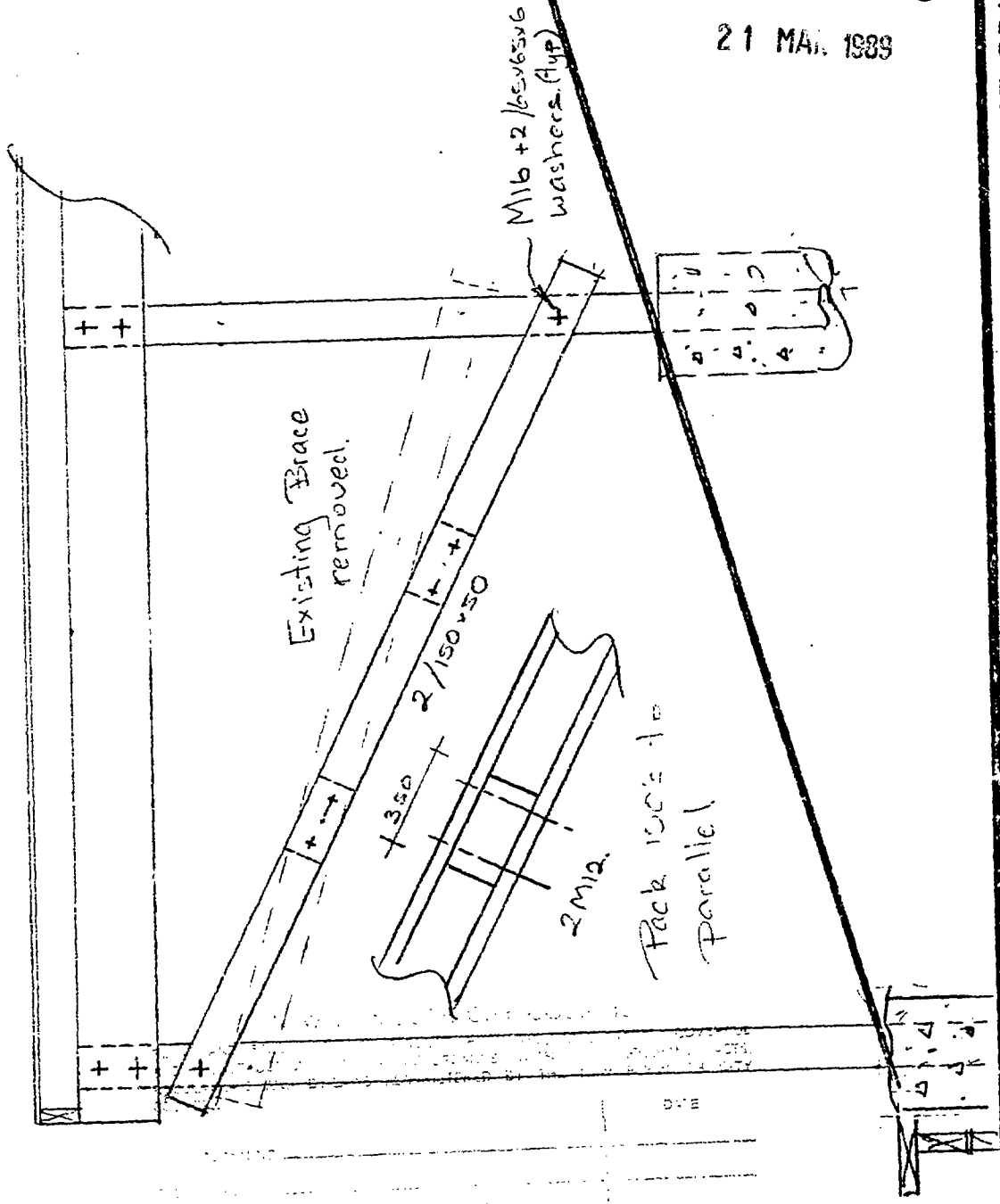
Sheet Contents	Scale	Design No	
	1:50	955	
	Designed	Drawing No	No in Set
	Drawn	1	5
	Checked		
	Date		

THIS DRAWING WAS PRODUCED ON CAD. IT SHOULD NOT BE AMENDED MANUALLY

382/26c

3 78

21 MAR 1989



DO NOT SCALE

CHECK ALL DIMENSIONS

IF IN DOUBT ASK

ORIGINAL SIZE - A4

REMEDIAL BRACING - 26° NEVADA DRIVE
NORTH WALL - POLE BRACE

29 Carrington St
P.O. Box 585
New Plymouth
New Zealand
Phone (067)87273
Fax (067)84528

Chapman Oulsnam
& Associates Ltd
Civil and Structural Engineers

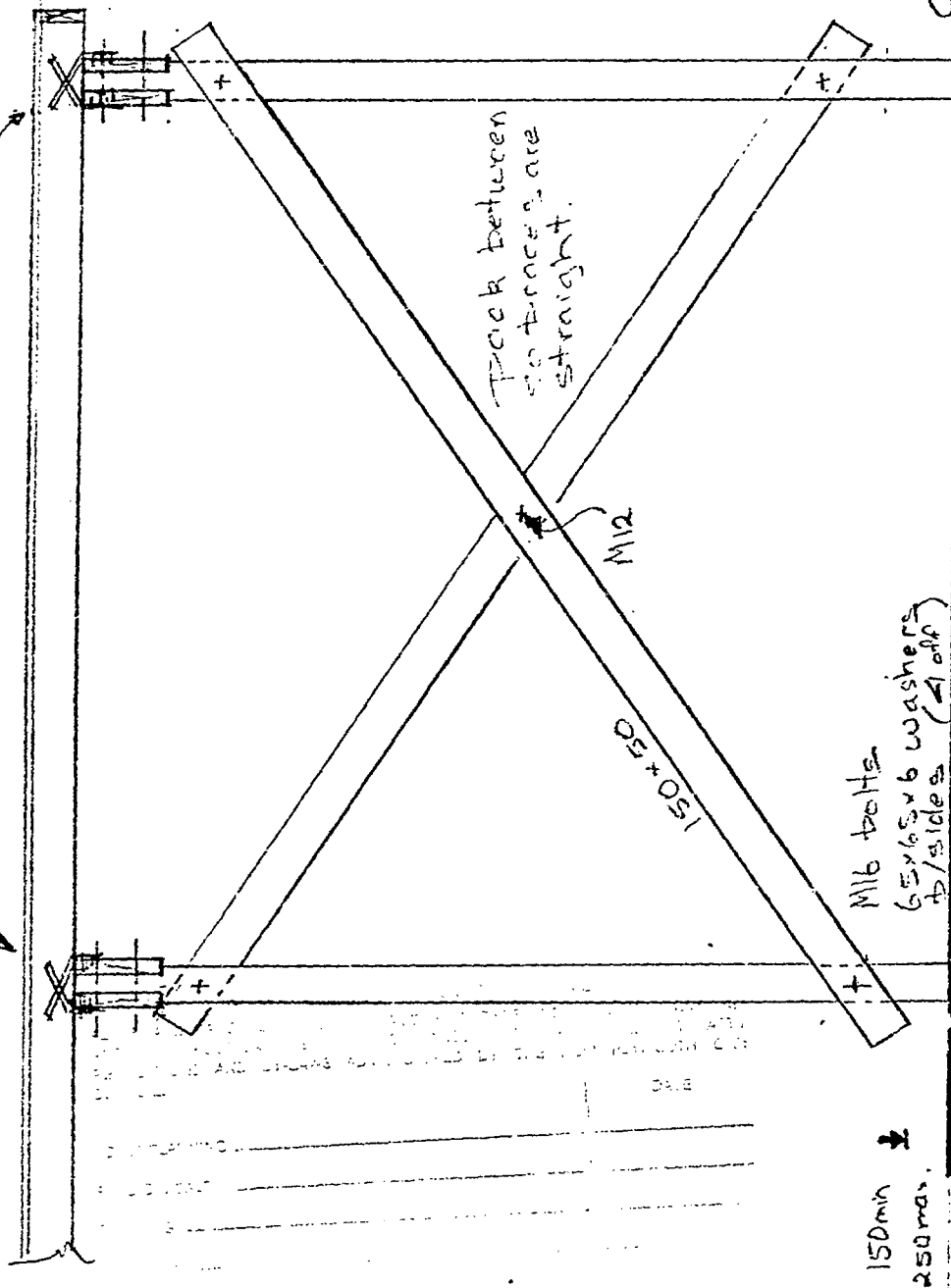
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	Designed SC	Drawing No 2	No in Set 5
	Drawn SC		
	Checked [initials] Date 2-1-89		

THIS DRAWING WAS PRODUCED ON CAD. IT SHOULD NOT BE AMENDED MANUALLY

21 MAR. 1989

C.L.

300 Lg Lumber loks strong straps
6 L.L. nails per end.
4 straps per braced pole.



©

THIS DRAWING WAS PRODUCED
ON CAD. IT SHOULD NOT BE
AMENDED MANUALLY



REMEDIAL BRACING - 26th NEVADA DRIVE
WEST WALL POLE BRACE.

29 Carrington St
P.O. Box 585
New Plymouth
New Zealand
Phone (067)87273
Fax (067)84528

Chapman Oulsnam
& Associates Ltd
Civil and Structural Engineers

Sheet Contents

Scale 1:25

Designed JC

Drawn JC

Checked JC

Date 6-1-89

Design No

452

Drawing No

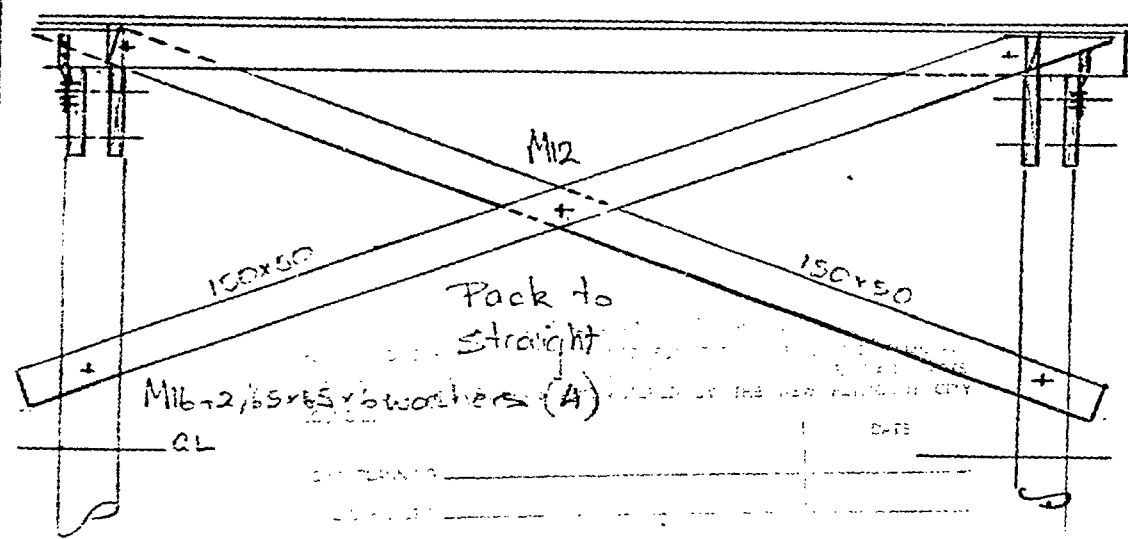
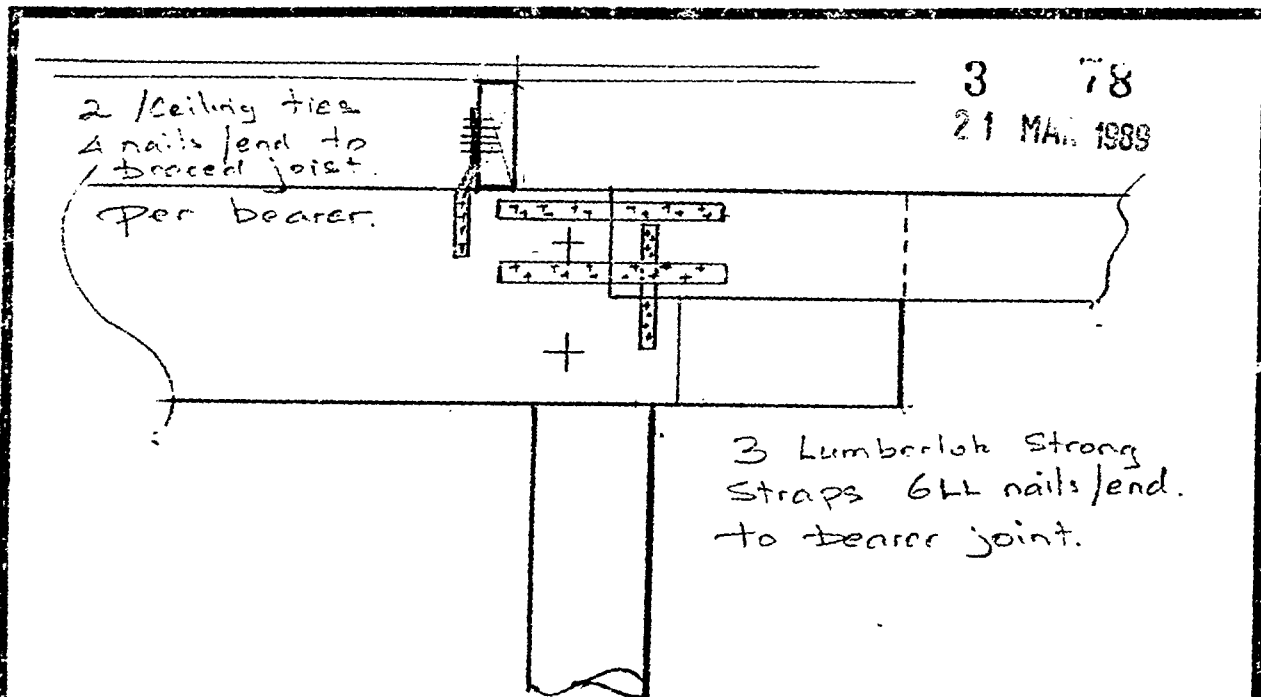
3

No in Set

5

ORIGINAL SIZE - A4 IF IN DOUBT ASK CHECK ALL DIMENSIONS DO NOT SCALE

382/262



THIS DRAWING WAS PRODUCED
ON CAD. IT SHOULD NOT BE
AMENDED MANUALLY



REMEDIAL BRACING - 26 NEUNZA DRIVE
NEW CROSS BRACE - @ 100/300 TUBULAR JOINT

29 Carrington St
P.O. Box 585
New Plymouth
New Zealand
Phone (067)87273
Fax (067)84528

Chapman Oulsnam
& Associates Ltd
Civil and Structural Engineers

Sheet Contents

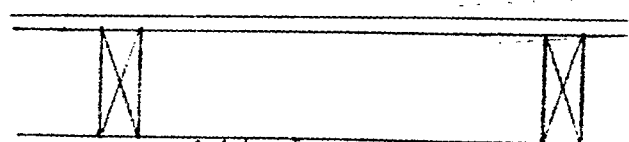
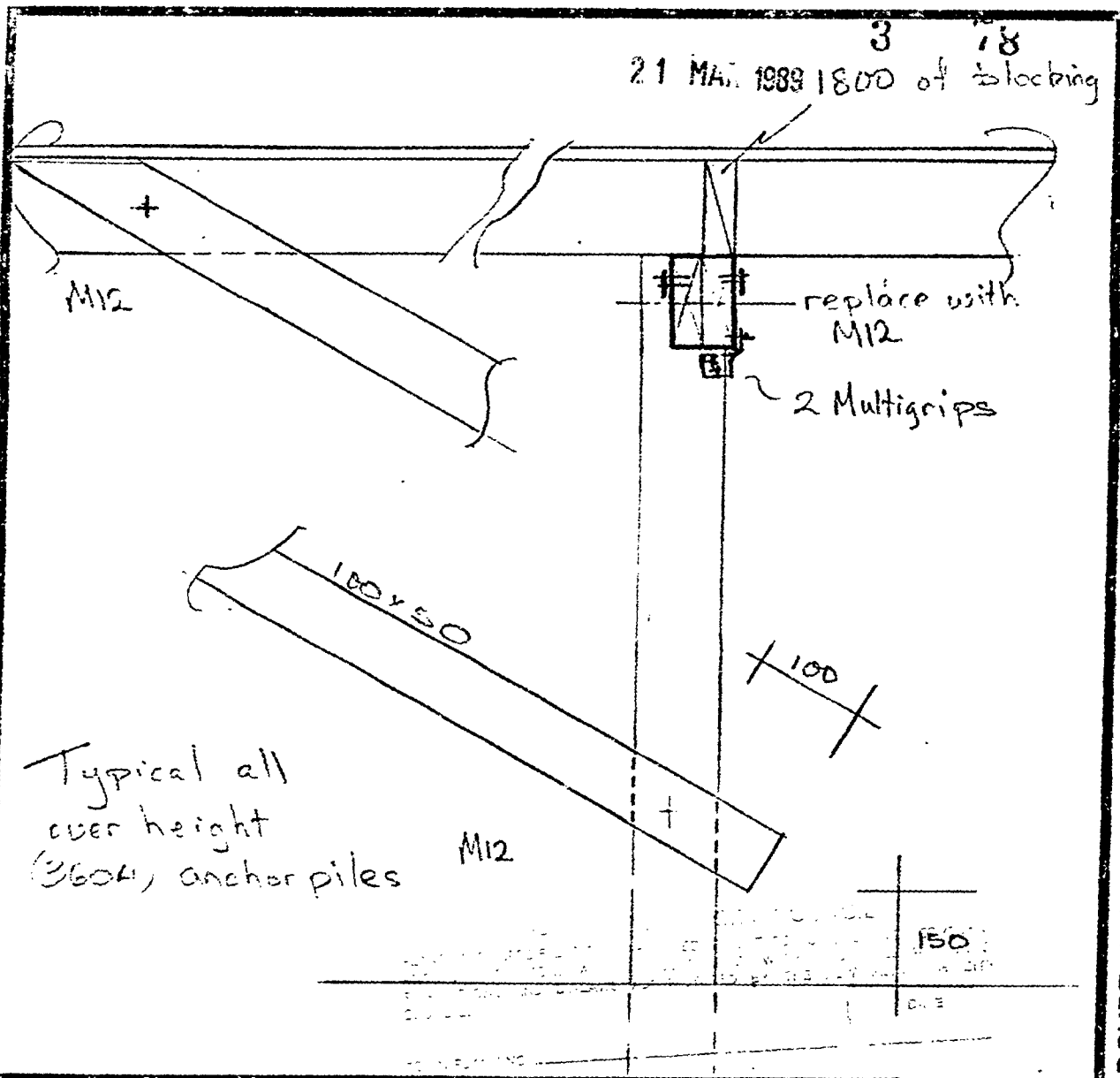
Scale 1:10 1:25
Designed 30
Drawn
Checked
Date 2.1.88

Design No
955
Drawing No
A 5

ORIGINAL SIZE - A4
IF IN DOUBT ASK
CHECK ALL DIMENSIONS
DO NOT SCALE

382/26c

21 MAR 1989 1800 of blocking



ADD Lumberlok Strongstrap b/sides
6 LL nails / end

Fold Multigrip around pile ©

THIS DRAWING WAS PRODUCED
ON CAD. IT SHOULD NOT BE
AMENDED MANUALLY

REMEDIAL TERRACING - 269 NEVADA DRIVE

STRENGTHENING OVERSCARFED ANCHOR PILES

29 Carrington St
P.O. Box 585
New Plymouth
New Zealand
Phone (067)87273
Fax (067)84528

Chapman Oulsnam
& Associates Ltd
Civil and Structural Engineers

Sheet Contents

Scale 1:10
Designed CC
Drawn CC
Checked CC
Date 6-1-89

Design No 955
Drawing No 5
No in Set 5

DO NOT SCALE
CHECK ALL DIMENSIONS
IF IN DOUBT ASK
ORIGINAL SIZE - A4

NEW PLYMOUTH CITY COUNCIL

382/26c

CITY ENGINEER'S DEPARTMENT

ASSESSED REQUIREMENTS

File No. 3 78

Project: REMEDIAL WORK DNR Check Sheet No. 32206
 Owner: MR PORTER Sewer Sheet No. 123 A Plotted: NL
 Address: 26c NEVADA DR Zone: Res
 Lot No. 2 D.P. 15452 Sec. No. _____ Area of Site: _____

VERIFYING TO BE
COMPLETED BY
30/3

TOWN PLANNING

Designations _____
 Area of Buildings _____
 Coverage _____
 Maximum Height _____
 Front Yard _____
 Relat. of Bldg. Size: (1) Rear Yard _____
 (2) Side Yard _____
 Open Space _____
 Grassed Areas _____
 Trees _____
 Building Lines & Street Widening _____
 Parking _____
 Access to Rear of Site _____
 Accessory Buildings _____
 Service Lanes & R.O.W. _____
 Crossing Length _____
 Gross Floor Area of Shops _____
 Resid. Accot. _____
 Levels of Site _____
 Use of Yards _____
 Loading _____
 Screening _____
 Analget. of Titles _____
 Remarks: _____

SEE SECTION CARD	
TOWN PLANNING	<u>Law</u>
BUILDING	<u>Plan</u>
DRAINAGE	<u>Water</u>
WATER	

Approved Lu
 Not Approved _____

S E R V I C E S

A: SEWER CONNECTION

STORMWATER CONNECTION

Existing Service _____
 Required Service _____
 Location _____
 Depth _____
 Special Requirement _____
 Common Drain _____

Fee \$ _____

Fee \$ _____

FEE

\$ _____

B: WATER CONNECTION

Existing Service _____
 Distance from L/Boundary _____
 Distance: Main to Boundary _____
 Boundary to Load _____
 Required Service _____
 Meter _____

Height above Datum _____

FEE

\$ _____

C: PLUMBING

No. Fittings	3	2	1	2	2	2	
W.Cs.	Baths	Basins	Sinks	Showers	Tubs	Others	
Total Values _____							
Supply Pipe Sizes _____			P.V.C. ☐ Copper ☐ Gal. Iron ☐				
Backflow Prev. _____							
Other Fittings _____							
Estimated Value _____						Plumbing Fee _____	

DRAINAGE

Existing _____ Required _____
 Fittings Required _____
 Common Drain _____
 Septic Tank _____
 Stormwater _____
 Estimated Value _____

Drainage Fee _____

Total Estimated Value P. & D. \$ _____

FEE

\$ _____

D: VEHICULAR CROSSINGS

Type of Footpath _____ Condition _____
 Kerb & Channel _____
 Existing Crossing _____ Inst. No. _____
 New Crossing _____ Position _____
 Strengthen Path Sq.Yds. _____ Level at Boundary _____

STREET WORKS FEE

\$ _____

DEPOSIT DAMAGE FEE

\$ _____

E : HEALTH & BY-LAWS

382/26e

Areas _____
 Light _____
 Ventilation _____

Remarks: _____

Approved SLC 29/3/89
 Not Approved _____

F: DANGEROUS GOODS

Domestic or Commercial _____
 Storage Capacity & Location _____
 Licence Required _____ Yes/No _____

Approved _____
 Not Approved _____

G : BUILDING

Remarks: _____

FEES:		
Bldg.	\$ 788.00	21.00
Water Bldg.		
B.R.L.		
TOTAL	\$ 21.00	

Building Inspector _____

Approved MEQ 22-3-89
 Not Approved _____

Specification: _____

Structural Engineer _____

Approved _____
 Not Approved _____

Fire Service _____ 30.3.89

Recommended _____
 Not Recommended _____

PERMIT NO. 11103

APPROVING ENGINEER

Approved SLC 29/3/89
 Not Approved _____



Code Compliance Certificate
Form 7, Section 95, Building Act 2004

The Building

Street Address of building: 26 C Nevada Drive NEW PLYMOUTH 4312

Legal Description of land where building is located: LOT 1 DP 15452

Current, lawfully established use: Dwelling

Year first constructed: Unknown

The Owner

Name of owner: Rachel Lorraine Wilson

Phone number: (Bus.) -

Contact Person: Nova Energy Solar Ltd

(Pvt.) 021 117 0133

Mailing Address: 26C Nevada Drive
NEW PLYMOUTH

Facsimile number: -

Building Work

Building Consent number:

BC10/110254

Description of work:

**Installation of solar hot water heating K250
panel to existing 180L cylinder MP**

Issued by:

New Plymouth District Council

Code Compliance

The building consent authority named below is satisfied, on reasonable grounds, that –

(a) the building work complies with the building consent.

This is a final code compliance certificate issued in respect of all of the building work under the above building consent.

CODE COMPLIANCE CERTIFICATE

Team Leader Inspectorate

Date Issued: 22 September 2010



Te Kaunihera-ā-Rohe o Ngāmotu

NEW PLYMOUTH DISTRICT COUNCIL

newplymouthnz.com

Code Compliance Certificate
Form 7, Section 95, Building Act 2004

The Building

Street Address of building: 26 C Nevada Drive NEW PLYMOUTH 4312

Legal Description of land where building is located: LOT 1 DP 15452

Current, lawfully established use: Dwelling

Year first constructed: 2017

The Owner

Name of owner: Rachel Lorraine Wilson

Applicant: 4 Site Design

Phone number: (Pvt.) 021 117 0133

Email address: winkhug@hotmail.com

Mail Address: Rachel Wilson

26C Nevada Drive

NEW PLYMOUTH 4312

Building Work

Building Consent number:

BC17/121306

Description of work:

Bathroom

Issued by:

New Plymouth District Council

Code Compliance

The building consent authority named below is satisfied, on reasonable grounds, that –

(a) The building work complies with the building consent.

This is a final code compliance certificate issued in respect of all of the building work under the above building consent.

CODE COMPLIANCE CERTIFICATE

Building Administration Officer

On behalf of: New Plymouth District Council

Date Issued: 26 June 2017



Te Kaunihera-ā-Rohe o Ngāmotu

NEW PLYMOUTH DISTRICT COUNCIL

newplymouthnz.com

No. 26^C Sec. _____ Lot 2 D.P. 15452
Address Nevada Drive

DRAINAGE AND PLUMBING REGISTER

OWNER DB & AJ Roebuck

ADDRESS

BUILDER

PLUMBER K. Bint

DRAINLAYER

PERMITS

9/105/92

25/7/92

PLUMBING

DRAINAGE

VALUE \$200

NATURE OF WORK Add to Dwelling

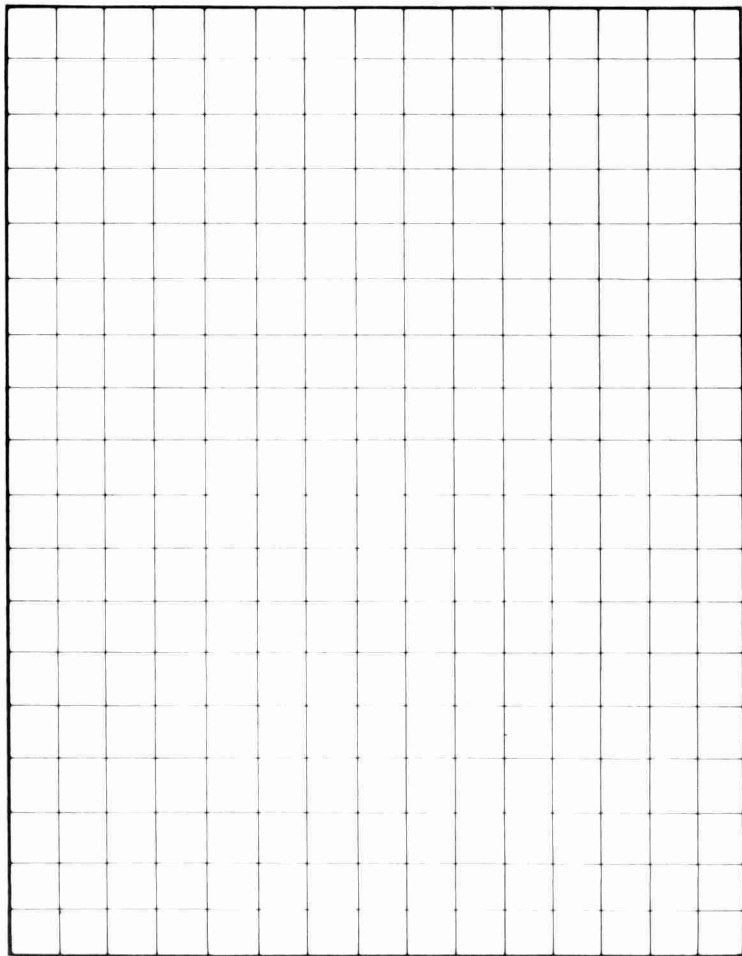
DRAIN SATISFACTORY/...../..... PLUMBING SATISFACTORY/...../.....

FALL AND DESCRIPTION

Rec. 41574

Inspector

DRAINAGE PLAN



FRONTAGE

Masterprint 10287

No. 26~~BC~~ Sec. _____ Lot 2 D.P. 10143
Address NEVADA DRIVE

DRAINAGE AND PLUMBING REGISTER

OWNER <u>N J BARNES</u>	7/56/82 PERMITS 1703 1821
ADDRESS _____	PLUMBING <u>900.00</u>
BUILDER <u>SELF</u>	DRAINAGE <u>400.00</u>
PLUMBER <u>G. PAUL</u>	VALUE <u>\$1300.00</u>
DRAINLAYER <u>G. Paul</u>	

NATURE OF WORK DWELLING

DRAIN TESTED 2/11/82 M.H. PLUMBING PASSED 18/3/83

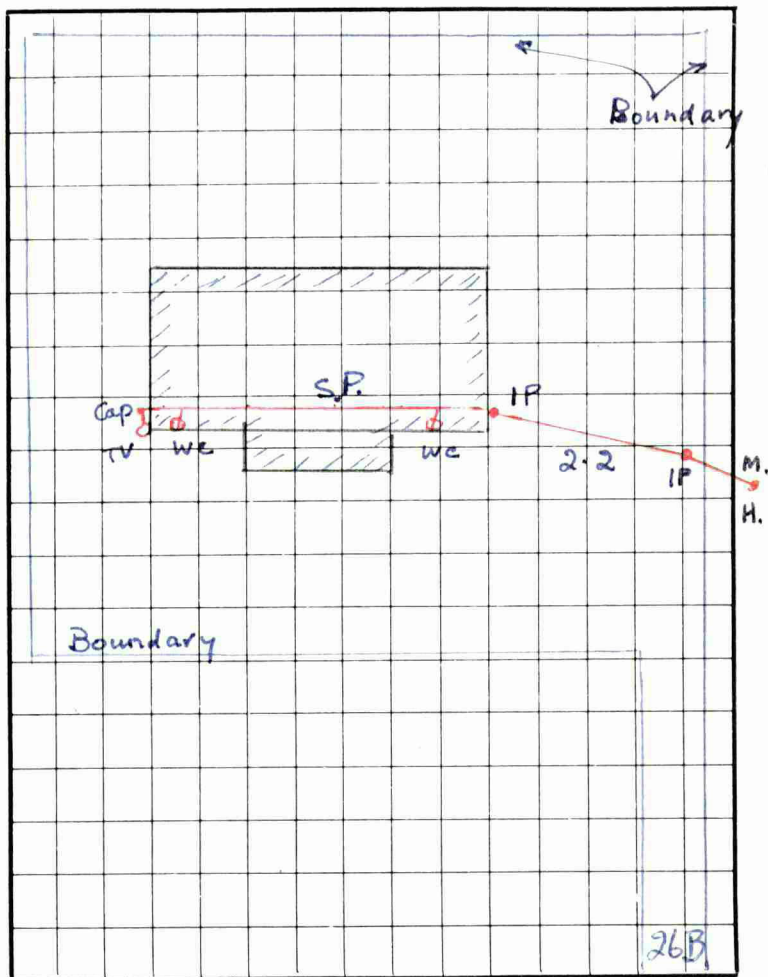
FALL AND DESCRIPTION Plumbing complete N/S
C-12-81

STORMWATER

CHECKED

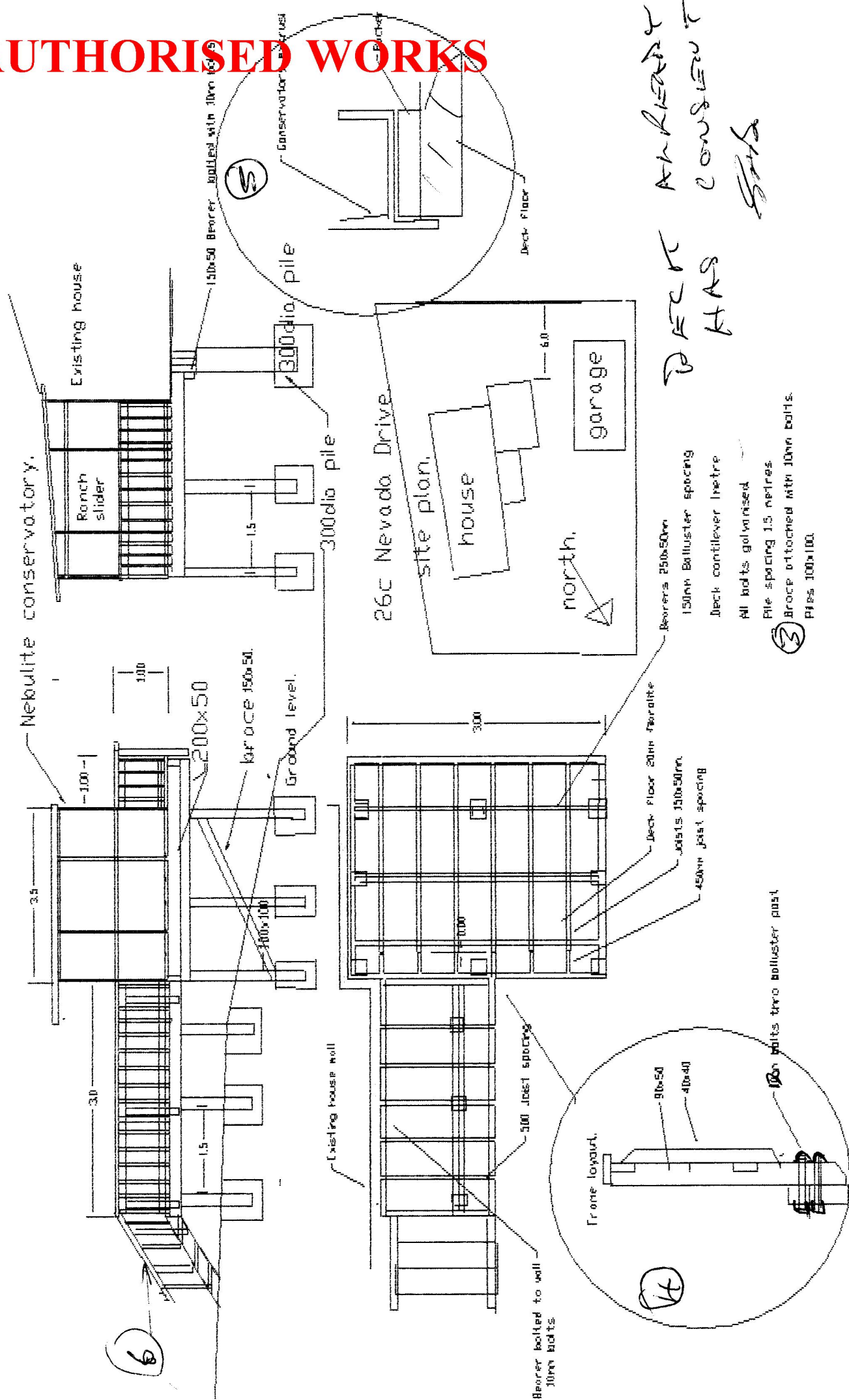
Inspector.

DRAINAGE PLAN SCALE

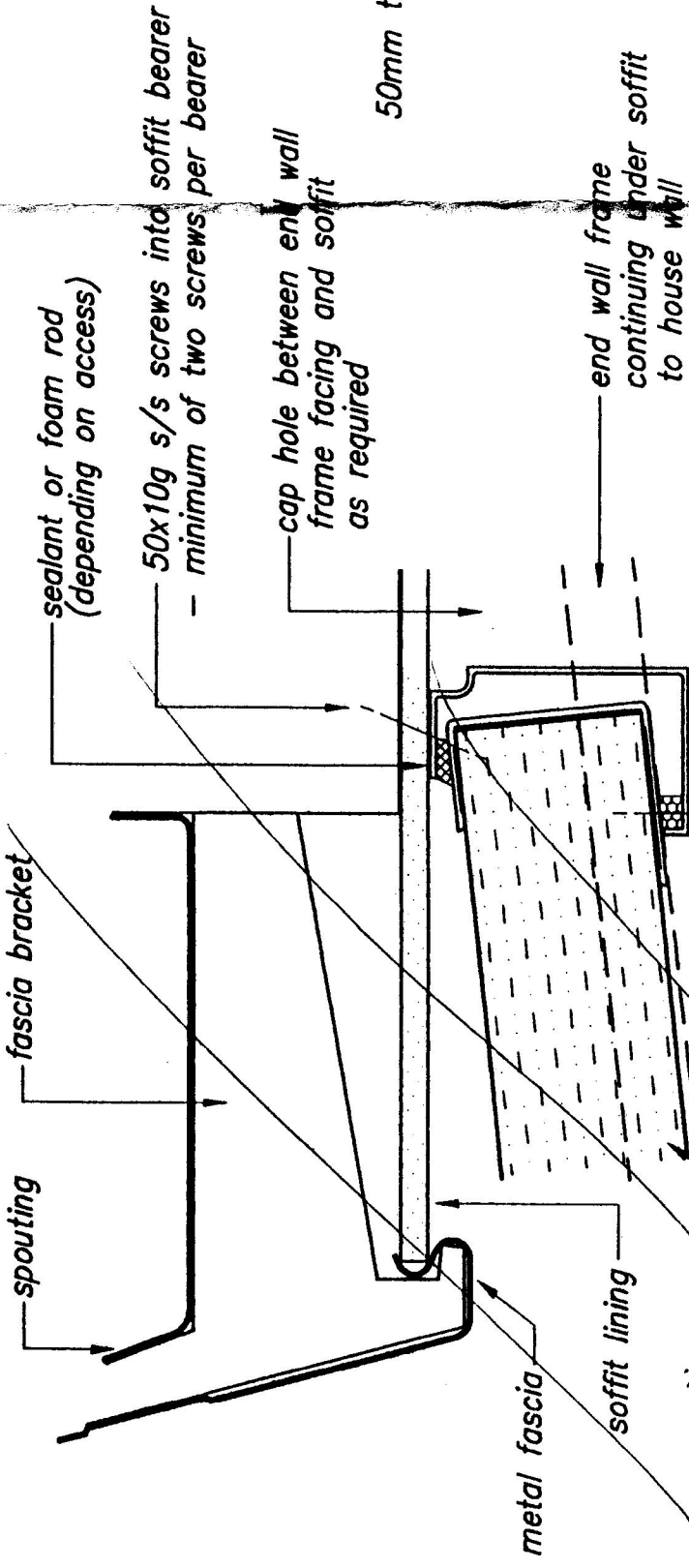


FRONTAGE NEVADA DRIVE

UNAUTHORISED WORKS

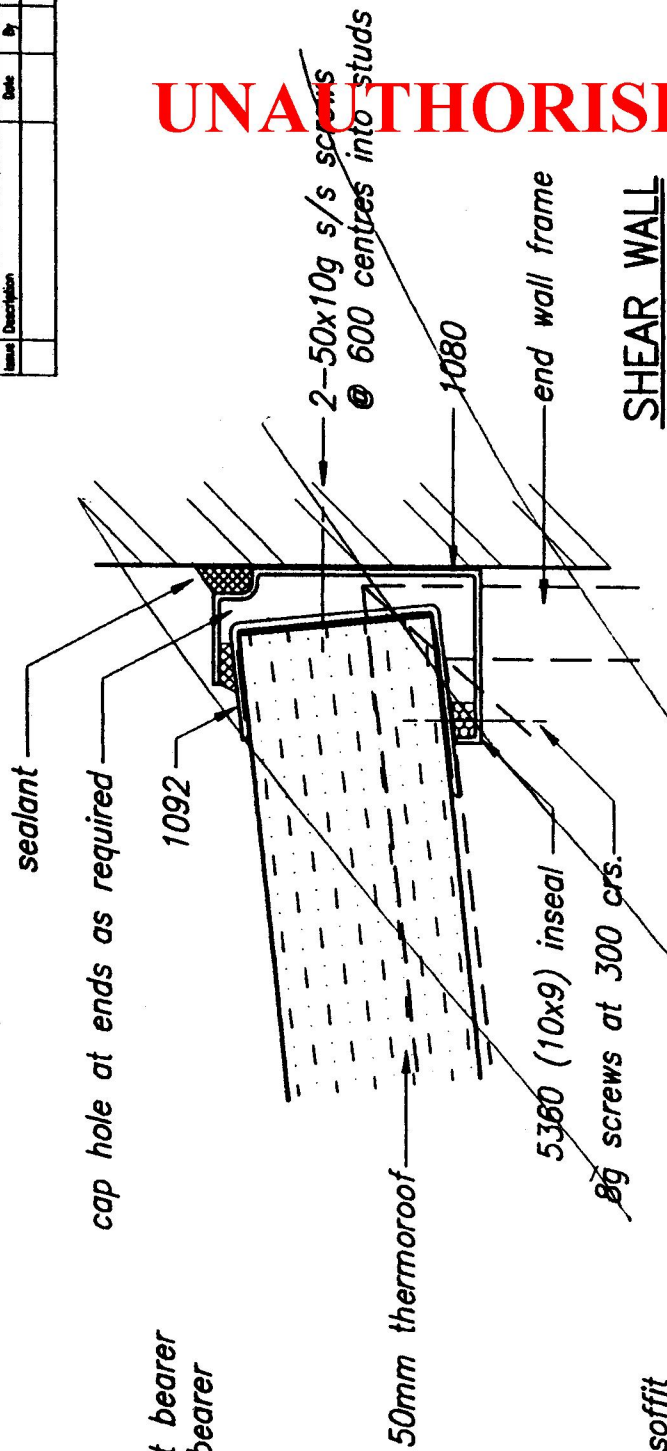


UNAUTHORISED WORKS



IMPORTANT NOTE;
never fix conservatory roofs to metal fascia or soffit linings, always look for soffit bearers under linings

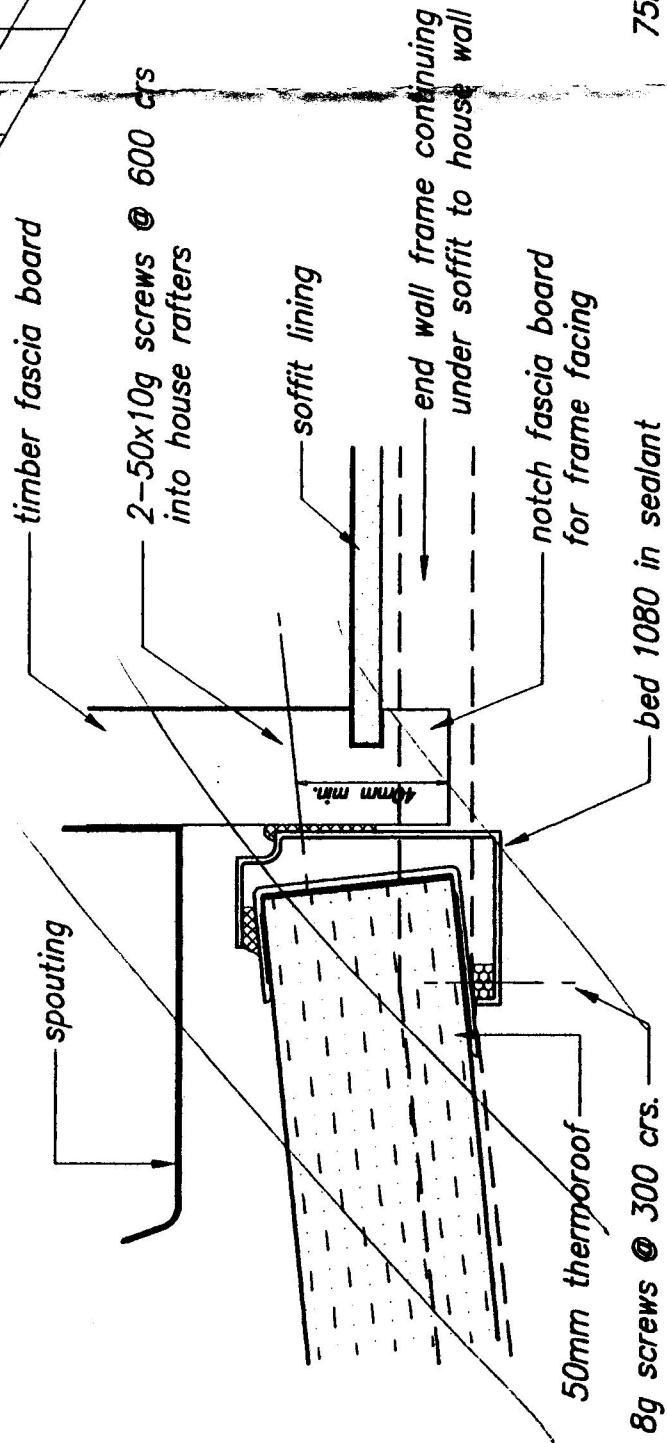
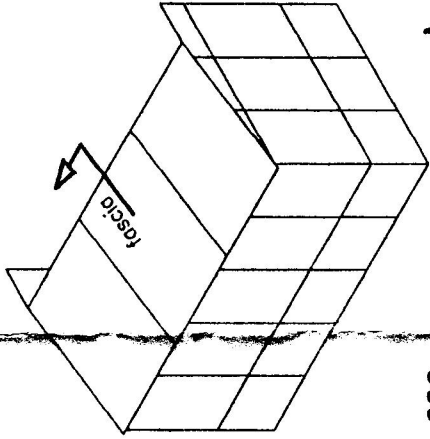
METAL FASCIA



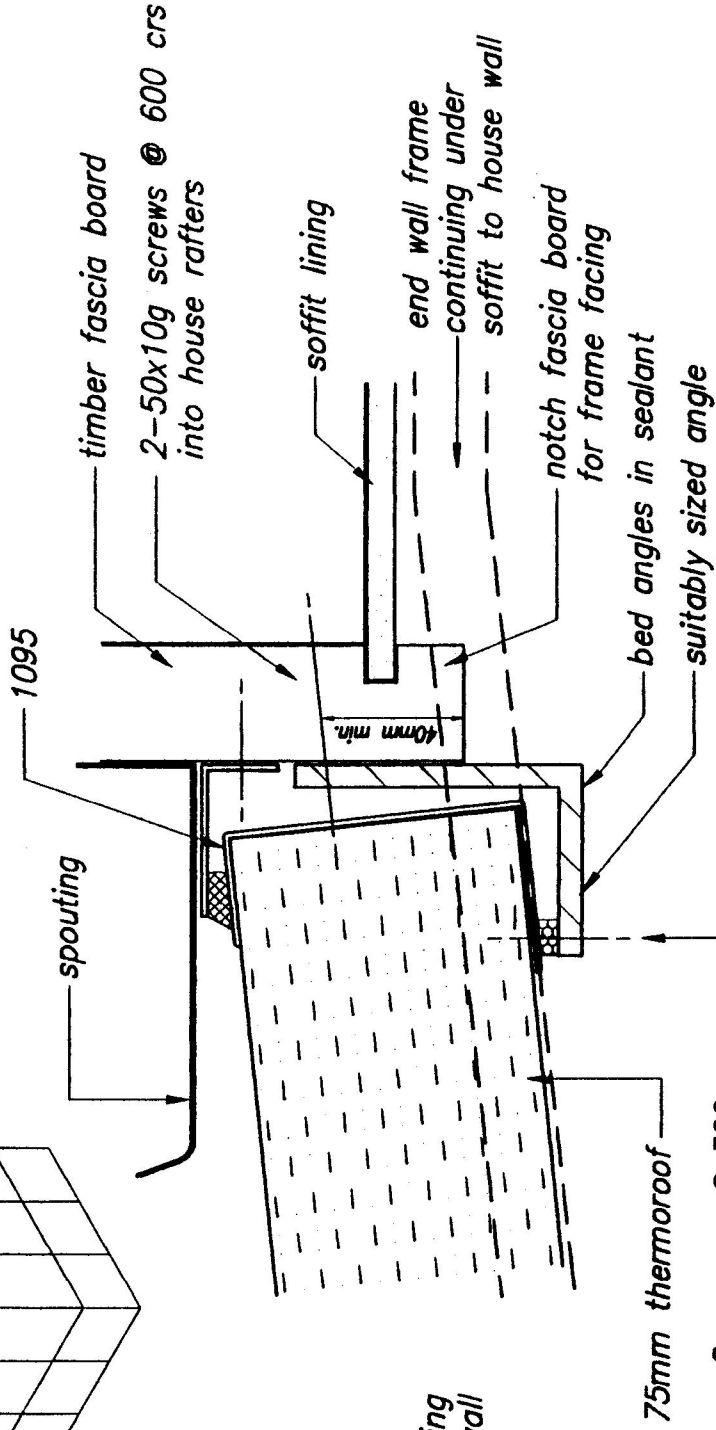
SHEAR WALL

IMPORTANT NOTES

1. All Thermorooft sealants silaflex or neutral cure ONLY
2. Thermorooft comes in one colour only - "Titanic"
3. 1092/1095 must always cover exposed insulation so that panels cannot delaminate.



TIMBER FASCIA



TIMBER FASCIA

Manufacturing Details
1000 SERIES CONSERVATORY

PERIMETER FIXING-THERMAROOF TO HOUSE

Master file	Drawn by: Dennis Pool	Section	Sheet	Issue
Approved	Date drawn: 14-07-98			
	Reference: 01-03-080			
	Scale: 1:2			
	Original			
	A3			

5 - 8

POWERED BY



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move.

michelle habib

SALESPERSON



027 371 1420



michelle@bestmove.co.nz



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