

PROPERTY BROCHURE



24 BOEING ROAD, ONERAHI

SUE & DAMIEN
PROPERTY TEAM

OWN
REAL ESTATE

24 BOEING ROAD, ONERAHI

DECEASED ESTATE - MUST SELL...



1712
SQM



190
SQM



3+



1



2



1



2

ASKING PRICE \$745,000

This deceased estate must be sold, presenting a genuine opportunity to secure a distinctive home with exceptional harbour and rural views.

Largely clad in solid stone, the 1980s home combines strong architectural character with a practical and flexible layout. It offers three bedrooms, a generous rumpus or potential fourth bedroom, a separate office and comfortable living warmed by a wood burner. The kitchen and dining area capture the outlook, while the large deck provides an impressive setting for entertaining or simply enjoying the view.



Tidy and well cared for, much of the interior remains original. It is perfectly liveable as it stands, with clear potential to refresh, modernise and add value over time.

Elevated and tucked away from the road, the easy-care section provides peace and privacy without leaving town behind. Shops, schools and everyday amenities are all conveniently close, making this an appealing option for families, first home buyers, or anyone seeking something with genuine character and potential.

KEY PROPERTY DETAILS

LEGAL DESCRIPTION	Lot 2, Deposited Plan 54799 as shown on Record of Title NA14D/907
CV	\$790,000
RATES	\$3,766.06
DATE BUILT	Building Permit issued 24/04/1986
ZONING	Low Density Residential. This property is located in a Coastal Environment and identified as High Natural Character area
LAND AREA	1712sqm (more or less)
FLOOR AREA	190sqm
BEDROOMS	3 + generous rumpus (potential to be used as a fourth bedroom)
BATHROOMS	2 (including ensuite)
SEPARATE TOILETS	2
LIVING AREAS	1
PARKING	Double internal access garage with additional off-street parking
KITCHEN	Open plan kitchen and dining area, with seamless access outdoors and stunning views stretching across Whangarei Harbour
KITCHEN APPLIANCES	Water filter, double dishdrawer, electric wall oven, electric hob, rangehood, waste disposal unit (not in working order)
LAUNDRY	Separate
HEATING	Woodburner, x3 electric wall heaters
INSULATION	Ceiling
WATER HEATING	Electric cylinder
ROOF	Coloursteel
JOINERY	Aluminium - single glazed
CLADDING	Combination of honed sandstone, fibre cement weatherboards and cedar
FLOOR	Concrete foundation with timber flooring upstairs
WATER SOURCE	Mains
WASTE	Mains
SECURITY	Existing system in place, operational condition unknown, included in the sale on an "as is, where is" basis.
INTERNET	Fibre is available in the area, although the home is not currently connected

ADDITIONAL DETAILS

- Generous upstairs rumpus, providing exceptional flexibility for a fourth bedroom, games room, media room or teenage retreat (not shown on Council records)
- Entertaining deck flowing directly from the dining area, perfectly positioned to enjoy stunning views across Whangarei Harbour
- Easy-care grounds with minimal maintenance required, while the majority of the property is surrounded by established bush, creating a peaceful and private setting

CHATTELS

- Electric double oven
- Electric hob
- Water filter
- Double dishdrawer
- Window treatments
- Clothesline
- Fixed floor coverings
- Light fittings
- Auto garage door + x1 remote
- Bathroom extractor fans x2
- Heated towel rails x2
- Garden shed x2
- Security system (as is, where is)
- Electric wall heaters x3
- Waste disposal unit (as is, where is)

DISCLOSURES

- A security system is installed, however, its operational condition is unknown. The system is included in the sale on an "as is, where is" basis
- Waste disposal unit is installed but not operational. Included in the sale on an "as is, where is" basis
- The upstairs rumpus room is not shown on Council records
- Please refer to the **Property Disclosures and Acknowledgements** document for full details of the special sales conditions relating to the deceased estate

LIM REPORT EXTRACTS

A Land Information Memorandum (LIM) Report obtained from the Whangārei District Council on **15 April 2024** is available to download at ownrealestate.co.nz.

The LIM includes a copy of the following Building Permits, Building Consents and Code Compliance Certificates issued in relation to the property:

- Erect a Dwelling - **Issued 24/04/1986**
- BC9614728 - Erect Gazebo
Building Consent - **Issued 24/01/1996**
Code Compliance Certificate – **Issued 25/03/1998**
- BC08109682 - Installation of Kent Freestanding Fire
Building Consent - **Issued 07/07/2008**
Code Compliance Certificate - **Issued 08/06/2009**
- This property is located in a Low Density Residential Zone
- This property is located in a Coastal Environment and identified as High Natural Character Area

This property has been the subject of an application under a Town and Country Planning Act:

- TP 85.86 – Non-notified application to erect a dwelling
Granted – **26/11/1985**

A Landuse application under the Resource Management Act 1991 has been granted for this property:

- LU96.010 – Application for resource consent to construct a gazebo
Notice of Decision Granted – **05/02/1996**

Please note, a Code Compliance Certificate (CCC) is NOT required for works subject to a Building Permit. Building Permits were issued up until 1993, prior to the Building Act 1991 coming into effect.

Building 'Permits' were subsequently replaced with 'Building Consents' by the Building Act. Building Consents introduced the CCC as formal confirmation that all building works have been completed in accordance with the consented documents

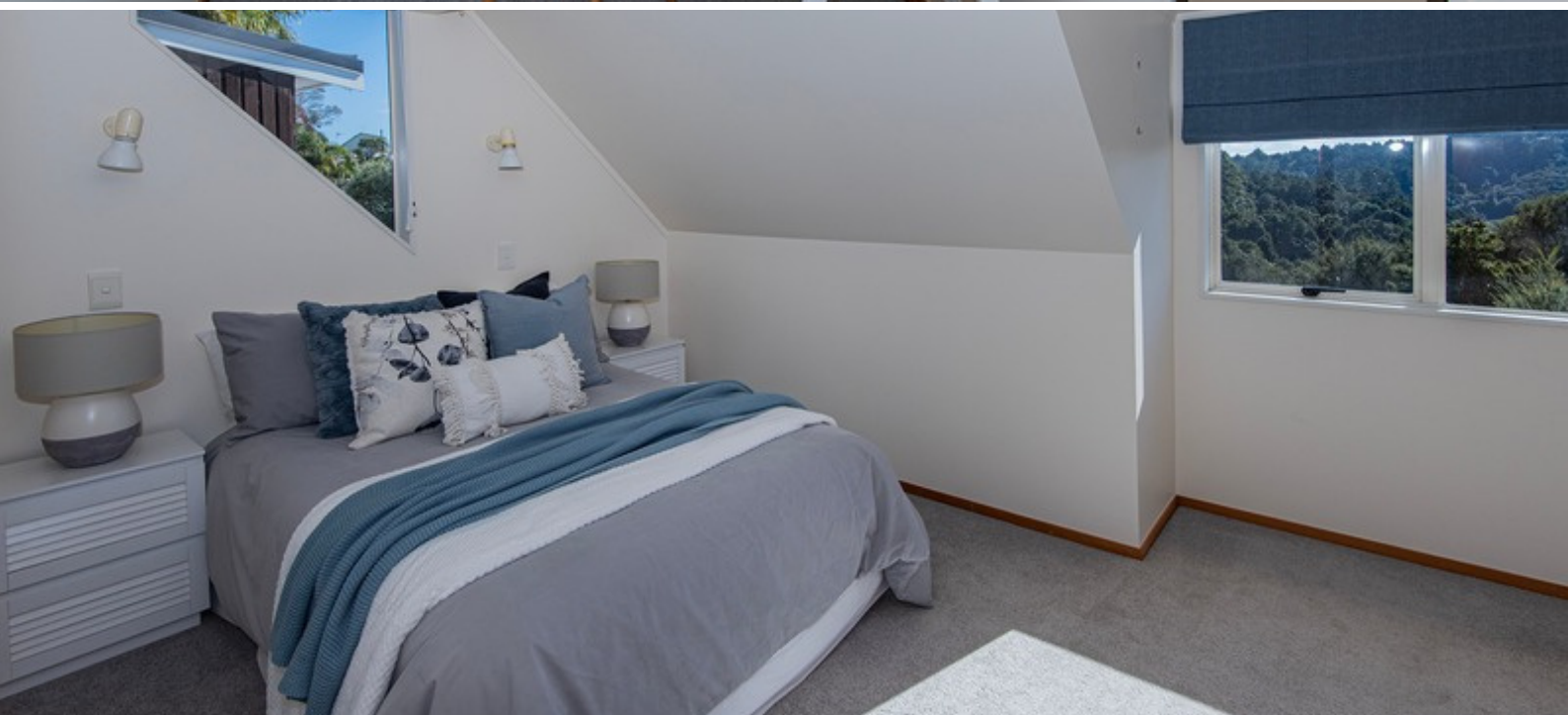
PHOTO GALLERY















“

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SUE MAICH & DAMIEN DAVIS

Strongly focused on being at the top of their game, Sue and Damien have been driven to elevate their success and launch OWN Real Estate - a venture embodying their vision for a more personalised, client-focused approach. By stepping away from the constraints of a large corporate brand, Sue and Damien now embrace the independence of their OWN brand, allowing them to harness their principles of adding value to their clients transactions through the very best marketing, attention to detail and outstanding client service.

Equipped with the latest real estate strategies and technology, they are at the forefront of modern property marketing and negotiation. With over 30 years of combined experience and a track record in successful local development projects, they offer unmatched expertise in every transaction.

By their own admission, Sue and Damien run a tight ship. Their team handles the administrative tasks freeing Sue and Damien to do what they do best - seeking out property to sell, forming tight working relationships with their vendors and purchasers, marketing property superbly and negotiating sales.

Nothing is left to chance. Utilising the specific skills of a professional photographer, graphic designer, cleaner, builder, painter and home staging company if required. A home marketed by Sue and Damien is a strategically managed listing, destined to attain the best price in the least amount of time. Much of Sue and Damien's business now comes by the way of personal referral or repeat dealings with those who have enjoyed and highly regard doing real estate their way.



SUE MAICH
021793822 | sue@ownrealestate.co.nz

DAMIEN DAVIS
021387345 | damien@ownrealestate.co.nz