

STATEMENT OF PASSING OVER INFORMATION

This information has been supplied by the vendor or the vendor's agents. Accordingly, Ownly (REAA 2008) and Sold On Kapiti Limited is merely passing over the information as supplied to us by the vendor or the vendor's agents.

We cannot guarantee its accuracy and reliability as we have not checked, audited, or reviewed the information and all the intending purchasers are advised to conduct their own due diligence investigation into the same.

To the maximum extent permitted by law Ownly (REAA 2008) and Sold On Kapiti Limited does not accept any responsibility to any person for the accuracy of the information herein.



SOLD ON KĀPITI
REAL ESTATE

24 February 2021

Neil Jourdan
42 Mahaki Road
Paraparaumu 5032

LAND INFORMATION MEMORANDUM (LIM)

The attached LIM provides you with information about 29 Mamaku Street, Paraparaumu.

The information provided in this LIM has been gathered from all the information the Council holds on this property, as at the date of your application.

It is important to note that the Council has not undertaken an on-site inspection of the property and there may be information which is not known to council - for example, illegal or unauthorised building or works on the property.

If you have any future plans to develop this property please contact us for advice about how to proceed and the process for obtaining the necessary approvals.

In addition to the information in this LIM you may be interested to find out more about the Kāpiti Coast District. Information and advice on council services and our full District Plan are available on our website: www.kapiticoast.govt.nz

Finally, if you have any questions about your LIM, please don't hesitate to contact us on kapiti.council@kapiticoast.govt.nz or phone 0800-486-486.



Steve Cody
Building Team Manager

Land Information Memorandum (LIM)

Prepared by Kāpiti Coast District Council for the property located at:

29 Mamaku Street, Paraparaumu

Land Information Memorandum

DOCUMENT INFORMATION

This Land Information Memorandum (LIM) has been prepared for the purpose of section 44A of the Local Government Official Information and Meetings Act 1987 (LGOIMA). It is a summary of the information that we hold on the property. Each heading or "clause" in this LIM corresponds to a part of section 44A of LGOIMA.

The information provided is based on a search of Council database records as at the date of issue and not an inspection of the property. There may be other information relating to the land which is unknown to Council, for example, illegal or unauthorised building or works on the property. Any person obtaining a LIM is solely responsible for ensuring that the land is suitable for a particular purpose.

APPLICATION DETAILS

Applicant	Neil Jourdan 42 Mahaki Road Paraparaumu 5032
Phone	021 024 43231
LIM Number	L210104
Application Date	12/02/21
Issue Date	24/02/21

PROPERTY DETAILS

Property Address	29 Mamaku Street, Paraparaumu	
Legal Description	LOT 14 DP 27821	
Area (hectares)	0.0804	
Valuation Number	1525129400	
Valuation Information	Capital Value:	\$550,000
	Land Value:	\$330,000
	Improvements Value:	\$220,000

Please note that current rates are based on the previous valuation. The new valuation will be used when rates are struck in July 2021

Land Information Memorandum

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ATTACHMENTS

- Glossary of Terms and Maps
- Aerial Photograph
- Deposited Plan/Record of Title
- District Plan Zones
- Proposed District Plan Appeals Version (2018) – Plan Zones
- District Plan Features
- Proposed District Plan Appeals Version (2018) – Plan Features
- Proposed District Plan Appeals Version (2018) – Natural Features
- District Plan Rural Subdivision Map (if applicable)
- District Plan Natural Hazards – Active Faults
- District Plan Natural Hazards – Flooding
- Proposed District Plan Appeals Version (2018) – Natural Hazards
- Latest Flood Hazards
- Resource Consents - Maps and Summary Detail (if applicable)
- Health and Alcohol Licenses
- Services Network
- As Built Drainage Plan (if applicable)
- Resource Consent documents (if applicable)
- Earthquake-Prone Building documents (if applicable)

Land Information Memorandum

1. RATES

Information relating to any rates owing in relation to the property.

Rates are charged in four instalments for the period commencing 1 July and ending 30 June each year. Amounts stated are inclusive of GST.

Current Rates Year Current Rates Year 2020 to 2021

Annual Rates \$2,850.54

This includes Greater Wellington Regional Council rates.

Next Instalment Date 09/03/21

Arrears for Previous Years \$0.00

Water Rates \$392.86 last year (2019/20)

All water used is charged for at a volumetric rate of \$1.19 (incl. GST) per cubic metre (1000 litres) and a fixed annual charge of \$222.00 (incl. GST) per separately used or inhabited part of a rating unit, charged at a daily rate of \$0.6082, calculated on the number of days in each invoice period.

Water Balance Due \$0.00

① For further information on this section, contact the Rates Team on 0800 486 486

Land Information Memorandum

2. CONSENTS, CERTIFICATES, NOTICES, ORDERS OR REQUISITIONS AFFECTING THE LAND AND BUILDINGS

This is information concerning any consent, certificate, notice, order, or requisition affecting the land or any building on the land previously issued by Council; information required to be provided to a territorial authority under section 362T(2) of the Building Act 2004; and information concerning any certificate issued by a building certifier pursuant to the Building Act 1991 or the Building Act 2004.

Building Consents

02/07/86	Building Permit 33973	DWELLING	246-94 SQ M
31/01/75	Building Permit 57287	GARDEN SHED	160 SQ FT

Note that building consents and code compliance certificates came into existence with the passing of the Building Act 1991. Before then, councils issued only building permits. Building work carried out earlier than July 1992 may therefore not have a code compliance certificate.

Engineer

Further building may require an Engineer's soil report and, if necessary, a foundation design.

Wind

Indicative wind zones can be found at: [BRANZ Map \(arcgis.com\)](https://branzmap.arcgis.com). Wind zones should be determined in accordance with the NZ Building Code.

① For further information on this section, contact the Building Team on 0800 486 486

Swimming Pools: Compliance with the Building Act 2004

No pool registered to this property.

① For further information on this section, contact the Compliance Monitoring Team on 0800 486 486

Registered Environmental Health Premises and Licences

No information located.

① For further information on this section, contact the Environmental Health Team on 0800 486 486

3. WEATHERTIGHTNESS

This is information notified to the Council under section 124 of the Weathertight Homes Resolution Services Act 2006.

The Council has received no correspondence from the Ministry of Business, Innovation and Employment in relation to this property.

Land Information Memorandum

4. LAND USE AND CONDITIONS

This is information relating to the use to which that land may be put and conditions attached to that use.

Planning/Resource Management

District Plan Zone: Residential

The District Plan maps provided with this LIM provide a useful visual overview of the planning information provided in this LIM. However, the planning information provided is not exhaustive and reference to both the Operative District Plan (1999) and the Proposed District Plan Appeals Version (2018) is recommended.

The Council notified a Proposed District Plan on 29 November 2012 and notified the decision on that Plan on 22 November 2017. The provisions of that Plan which is called the Proposed District Plan Decision Version (2017) have legal effect from that date. Some provisions of this have been appealed and therefore the equivalent Operative Plan provisions remain in force alongside these Proposed District Plan Appeals Version (2018) provisions. If a rule in the Proposed District Plan has not been appealed it is considered to be effectively operative and the equivalent rules in the Operative District Plan (1999) have no legal weight. The appealed provisions are clearly identified in the Proposed Plan Appeals Version (2018).

To find out more about the Proposed District Plan Appeals Version (2018) and what this means for this property, please visit: kapiticoast.govt.nz/Your-Council/Planning/District-Plan-Review/

Full details of the relevant zone requirements are contained within the Operative District Plan (1999) which is available on our website, kapiticoast.govt.nz/Your-Council/Planning/District-Plan1/

There may be policies or rules in the Greater Wellington Regional Council's Proposed Natural Resources Regional Plan that regulate land use on this property. This Plan is available from the Greater Wellington Regional Council website: gwrc.govt.nz. Questions about the impact of that Plan on this property should be made to the Greater Wellington Regional Council on 0800 496 734.

District Plan Features

The Operative District Plan (1999) and the Proposed District Plan Appeals Version (2018) record which properties in the District have these special features located on them. Each feature is given a unique reference number. There are specific restrictions on development within or around these features. The District Plan Features Map provided with this LIM displays whether any of these features are on, or adjacent to, this property.

This property is located within the Residential zone under the Operative District Plan (1999) and zoned Residential under the Proposed District Plan Appeals Version (2018).

Land Information Memorandum

This property was created via subdivision in 1966. Copies of the Deposited Plan (DP 27821) and Record of Title are provided with this LIM.

This property is shown to be subject to and appurtenant to a right of way easement. It is recommended that the Record of Title is checked for any interests registered against the property such as easements or covenants.

There is no record of any resource consents for this property. For information about any resource consents for surrounding properties refer to the Resource Consents map and Summary Details Report provided with this LIM.

If you are interested in reading the full resource consent files then these can be viewed at the Council administration building at 175 Rimu Road, Paraparaumu. Note: some resource consent files may be archived offsite; however these can be retrieved for you. Please call the Resource Consents Team on 0800 486 486 to check the availability of the files.

This property is adjacent to land which is shown to contain a specific feature on it that is recorded in the Operative District Plan (1999) and Proposed District Plan Appeals Version (2018).

This feature is:

Ecological Site: an area with significant native vegetation or habitat for native fauna. (K168) Paraparaumu Quarry Scrub (Kanuka scrub)

This property is adjacent to land which is shown to contain a specific feature on it that is recorded in the Operative District Plan (1999).

This feature is:

Outstanding Landscape - this is a highly prominent landform or landscape with restrictions on buildings and earthworks within the mapped area.

This property contains and is adjacent to land which is shown to contain a specific feature on it that is recorded in the Proposed District Plan Appeals Version (2018).

This feature is:

Special Amenity Feature or Landscape - distinctive highly valued landscape or landform. (27) Otaihangā Foothills + Nikau Escarpment Special Amenity Landscape (The foothills and outlier of the Akatarawa range that extend from Ruapehu Road to the Muaupoko Stream)

Air Space Designation - land within the airport flight paths where height restrictions apply to buildings and trees as set out in Part N of the Operative District Plan (1999) and Proposed District Plan Appeals Version (2018).

This property is located within the Horizontal Surface 50m AMSL, Operations Area of the Paraparaumu Airport. Refer to Part N of the Operative District Plan (1999) and Proposed District Plan Appeals Version (2018) maps. 16.2.2021

For further information on flood hazards please contact the Stormwater and Coastal Asset Manager on 0800 486 486.

Greater Wellington Regional Council holds flood hazard information relating to the major rivers and streams in the District. For further information on these flood hazards, please contact the Greater Wellington Regional Council (Flood Control Department) on 0800 496 734.

Land Information Memorandum

For information on minimum floor levels for buildings on this property please contact the Building Team on 0800 486 486.

There is no record of any identified cultural or archaeological sites contained on this site.

① For further information on this section, contact the Resource Consents Team on 0800 486 486

5. SPECIAL FEATURES AND CHARACTERISTICS OF THE LAND

This is information known to Council but not apparent from the district scheme under the Town and Country Planning Act 1977 or a district plan under the Resource Management Act 1991: It identifies each (if any) special feature or characteristic of the land concerned, including but not limited to potential erosion, avulsion, falling debris, subsidence, slippage, alluvion, or inundation, or likely presence of hazardous contaminants, being a feature or characteristic that is known to the Council.

Earthquakes

Greater Wellington Regional Council holds information on earthquake risks in the Kapiti Coast District. This information, along with associated Earthquake Risk Maps, can be found on the Greater Wellington Regional Council website, gwrc.govt.nz

Earthquake fault traces within the Kapiti Coast are mapped in the Operative District Plan (1999) and Proposed District Plan Appeals Version (2018). These are shown (if applicable) on the District Plan Features Map provided with this LIM and are available on our website: kapiticoast.govt.nz/Your-Council/Planning/District-Plan1/District-Plan-Maps/ and kapiticoast.govt.nz/Your-Council/Planning/District-Plan-Review/

Further information on Earthquake Fault Rupture Hazards is also available on our website: kapiticoast.govt.nz/Our-District/cdem/Earthquakes/Earthquake-Fault-Rupture-Hazards/

Contaminated Sites

Greater Wellington Regional Council holds information on properties with a history of hazardous activity or industry. Refer to the Selected Land Use Register available on the Greater Wellington Regional Council website, gwrc.govt.nz

Coastal Erosion Hazards

Information on coastal erosion hazards on the Kapiti Coast is available on our website, kapiticoast.govt.nz/Your-Council/Planning/District-Plan-Review/Coastal-Hazards

Tsunami Evacuation Zones

Tsunami Evacuation Zone Maps have been developed by the Greater Wellington Regional Council to assist emergency preparedness by identifying the areas residents may need to evacuate in the event of a tsunami.

Each map has three evacuation zones: red, orange and yellow. The updated tsunami evacuation maps for Kapiti can be viewed at the Council's website at <https://www.kapiticoast.govt.nz/our-district/cdem/get-prepared/tsunami-zones/>

Land Information Memorandum

Other Information

The adjacent road carriageway is shown to be subject to flood hazards in the Proposed District Plan Appeals Version (2018) and the latest Flood Hazard Maps.

The flood hazard identified on the maps provided with this LIM is based on the projected future flooding risk to the property including climate change projections.

The maps show the projected flood extent arising from the 1% probability rain event (that is, a rain event that has a 1% probability of occurring in any one year, often referred to as a 1 in 100 year storm), incorporating the projected 2090 climate change impacts, in conjunction with a 20 year return period high tide.

The nature of the controls imposed by the District Plans depend on where individual sites are located within the 1 in 100 year flood extent; which flood hazard map (operative or latest) is referenced in legislation or the District Plans, and which hazard category applies.

The adjacent road carriageway is shown to be subject to ponding in the Proposed District Plan Appeals Version (2018) and the latest Flood Hazard Maps.

Ponding is a type of flooding that can happen in relatively flat areas. A ponding area may be affected by a direct flood risk; or by residual flood risk where they are protected from flooding by structural measures, such as stop banks or floodwalls, constructed to the 1 in 100 year flood standard.

The adjacent road carriageway is shown to be subject to an overflow path in the Proposed District Plan Appeals Version (2018) and the latest Flood Hazard Maps.

Overflow paths are low lying areas which act as channels for flood waters and are often characterised by fast flowing water during a flood event.

An overflow path may be affected by a direct flood risk; or a residual flood risk where they are protected from flooding by structural measures, such as stop banks or floodwalls, constructed to the 1 in 100 year flood standard.

① For further information on this section, contact the Resource Consents Team on 0800 486 486

6. OTHER LAND AND BUILDING CLASSIFICATIONS

This is information which, in terms of any other Act, has been notified to the Council by any statutory organisation having the power to classify land or buildings for any purpose.

No information located.

Land Information Memorandum

7. PRIVATE AND PUBLIC STORMWATER AND SEWERAGE DRAINS

Information on private and public stormwater and sewerage drains as shown in the Council's records.

Sewer and Stormwater

There is Council sewer reticulation available with a lateral. The location of the sewer lateral is shown on the services network plan. An as-built plan of private drainage is provided with this LIM.

Stormwater discharges to the kerb and channel. There is no record of any Council services running through the property.

① For further information on this section, contact the Plumbing & Drainage Team on 0800 486 486

8. DRINKING WATER SUPPLY

This is information on whether the land is supplied with drinking water and if so, whether the supplier is the owner of the land or a networked supplier; any conditions that are applicable; and any information the Council has about the supply.

Water

Council has a potable water supply system available with an ordinary on demand metered water supply connection. The Council service valve (manifold/toby) is shown on the services network plan provided with this LIM.

① For further information on this section, contact the Plumbing & Drainage Team on 0800 486 486

9. NETWORK UTILITY INFORMATION

This is information which has been notified to the Council by any network utility operator pursuant to the Building Act 1991 or the Building Act 2004.

Contact Electra for power availability

Contact Vector for gas availability

Land Information Memorandum

10. OTHER INFORMATION ABOUT THE PROPERTY

This is information concerning the land and the property that the Council has the discretion to include if it considers it to be relevant.

Cultural and Archaeological

The settlement history of the Kapiti Coast suggests that there are still an unknown number of unidentified cultural and archaeological sites within the District and indeed these are still being discovered during earthworks from time to time. The Heritage NZ Pouhere Taonga Act 2014 provides for substantive penalties for unauthorised destruction or modification of an archaeological site. More detail on what to look for and who to contact can be found on our website: kapiticoast.govt.nz/Our-District/Tangata-Whenua

Expressway

The New Zealand Transport Agency (NZTA) have two Roads of National Significance currently under construction within the Kapiti Coast District; Transmission Gully and the Peka Peka to Otaki Expressway. Information on these roads, including their proximity to and expected effects on property, can be found on the NZTA website: nzta.govt.nz/projects/projects/9075

Development Impact Fees

Development Impact Fees consist of a combination of development contributions and financial contributions (including Reserves Contributions) from all new developments e.g. a new residential dwelling or a subdivision as well as new or expanded non-residential buildings. Further information on the range of Development Impact Fees can be found on kapiticoast.govt.nz/Your-Council/Planning/Development-Impact-Fees/

GLOSSARY OF TERMS AND MAPS ATTACHED

Aerial Photograph

A birds-eye view in colour of the property and its surrounds.

Deposited Plan

Sometimes referred to as a “Flats Plan” or “Title Plan”. A Deposited Plan covers more than one lot (or property) and has a diagram showing the boundary distances and the land area. A Record of Title relates to a specific property and shows current owner and interests (such as mortgages, encumbrances and easements).

Building Information (if requested)

This includes any information Council holds about any structure that is on the lot (property), e.g. plumbing, drainage and floor plans and elevation drawings of the building and any alterations or additions to it, together with any code compliance certificates.

Rural Subdivision Map (if applicable)

This map relates to subdividing rural land and shows the areas that District Plan subdivision rules relate to, e.g if your property is located in the alluvial plains area then a new subdivision should have a four hectare minimum and a six hectare average compared to a new subdivision in the rural residential area which generally has a one hectare average.

Services Network Map

Information on private and public stormwater and sewerage drains on the property as shown in Council’s records.

Location of Health and Alcohol Licenses

This map shows the location of registered businesses in the neighbourhood that hold health and alcohol licenses.

Resource Consents

Included with this LIM are Reports and Maps of resource consents (if applicable that relate to the property) and a list of [resource consents](#) in the neighbourhood of the property that have been notified. The District Plan contains rules about different types of activities in different parts of the district. Anything not permitted by the Plan requires a resource consent. When a resource consent application is received the Council determines whether or not to notify it on the basis of the environmental effects under Section 95A-F of the Resource Management Act 1991.

Designation(s) (if applicable)

A designation is a planning technique used by Ministers of the Crown, councils and network utility operators approved as requiring authorities under section 167 of the Resource Management Act 1991. It provides for 'spot zoning' over a site, area or route in a district plan which authorises the requiring authority's work and activity on the site, area or route without the need for a land use resource consent.

District Plan

Every city and district council is required to have a District Plan under the [Resource Management Act 1991](#). The District Plan plays a big part in how Kapiti develops. The rules in the Plan determine what you can and can't do on your property without permission from Council – whether it be subdividing, renovating, building a new garage or deck, or starting a home business. This LIM includes maps which show the Zone, the Features, and the Natural Hazards that relate to the rules in the Plan.

Proposed District Plan Appeals Version (2018)

The Operative District Plan (1999) has been reviewed and some new provisions (objectives, policies, rules, standards and maps) were developed. These have been consulted on and are now included in the Proposed District Plan Decision Version (2017) that was published on 22 November 2017. Appeals were reviewed on the Decisions and the appealed provisions are shown in red text with a reference to the relevant appeal in the Proposed District Plan Appeals Version (2018). The equivalent Operative District Plan (1999) provisions must be considered alongside the Proposed District Plan Appeals Version (2018) provisions if a provision has been appealed until any appeals on the Proposed District Plan Decision Version (2017) have been resolved. If the provision has not been appealed the Proposed District Plan rules are considered to be effectively operative.

It is important to note that the Proposed District Plan Appeals Version (2018) maps show any features on the property, in addition to the Operative District Plan (1999) features. This is because although the rules in each Plan may be different, they both have equal weight where there is an appeal on the provisions.

Latest Flood Hazards

To better understand the extent of the flood hazard risk on the coast and to assist in the potential mitigation of this risk, Council has over the years undertaken a number of floodplain management investigations. This map shows the latest flood hazard information; these are not necessarily included in the Operative District Plan (1999) or the Proposed District Plan Appeals Version (2018). This information is particularly relevant if you are considering subdividing the land or constructing a dwelling.



**RECORD OF TITLE
UNDER LAND TRANSFER ACT 2017
FREEHOLD
Historical Search Copy**




R.W. Muir
Registrar-General
of Land

Constituted as a Record of Title pursuant to Sections 7 and 12 of the Land Transfer Act 2017 - 12 November 2018

Identifier **WN13A/1428**

Land Registration District **Wellington**

Date Issued 26 June 1974

Prior References

WNF1/149

Estate Fee Simple
Area 803 square metres more or less
Legal Description Lot 14 Deposited Plan 27821

Original Registered Owners

John Matheson Palmer and Elizabeth Anne Palmer

Interests

Appurtenant hereto are rights of way specified in Easement Certificate 685439

Subject to a right of way over part coloured blue on DP 27821 specified in Easement Certificate 685439

The easements specified in Easement Certificate 685439 are subject to Section 37 (1) (a) Counties Amendment Act 1961

Subject to the reservations as to coal, gold and silver contained in 516880

7102442.1 Transfer to John Matheson Palmer (1/2 share) and Elizabeth Anne Palmer (1/2 share) - 7.11.2006 at 9:00 am

8042188.1 Transfer to Gary Green - 16.1.2009 at 2:59 pm

8042188.2 Mortgage to ANZ National Bank Limited - 16.1.2009 at 2:59 pm

8851397.1 CAVEAT BY AVANTI FINANCE LIMITED - 30.8.2011 at 9:38 am

9249357.1 Withdrawal of Caveat 8851397.1 - 28.11.2012 at 12:21 pm

11688659.1 Discharge of Mortgage 8042188.2 - 28.2.2020 at 12:29 pm

11688659.2 Transfer to Cameron James Wislang and Kaitlyn Georgia Muldarry Wislang - 28.2.2020 at 12:29 pm

11688659.3 Mortgage to New Zealand Home Lending Limited - 28.2.2020 at 12:29 pm

References

Prior C/T F1/149

Transfer No. A044568

N/C. Order No.

Land and Deeds 69

No.

13A/1428



REGISTER

CERTIFICATE OF TITLE UNDER LAND TRANSFER ACT

This Certificate dated the 26th day of June one thousand nine hundred and seventy-four under the seal of the District Land Registrar of the Land Registration District of WELLINGTON

WITNESSETH that REGINALD BAILE OLLAY of Wainuiomata Salesman and VIVIANNE JEAN OLLAY his wife are

seised of an estate in fee-simple (subject to such reservations, restrictions, encumbrances, liens, and interests as are notified by memorial underwritten or endorsed hereon) in the land hereinafter described, delineated with bold black lines on the plan hereon, be the several admeasurements a little more or less, that is to say: All that parcel of land containing 803 square metres more or less situate in Block XIII Kaitawa Survey District being Lot 14 on Deposited Plan 27821—



Assistant Land Registrar

Interests at date of issue:-

1. Appurtenant hereon are rights of way over the part Lot 13 shown coloured yellow on Plan 27821. See easement Certificate 685439

2. Subject as to the part shown coloured blue on Plan 27821 to a right of way appurtenant to Lot 13 Plan 27821. See Easement Certificate 685439

3. The abovedescribed easements are subject to Section 37(1)(a) Counties Amendment Act 1961

4. Subject to the reservations as to coal gold and silver contained in No. 516880

5. Fencing Covenant in Transfer 685437

Transfer A044569 to Tradecraft Homes Limited at Wellington - 26.6.1974 at 11.53 a.m.

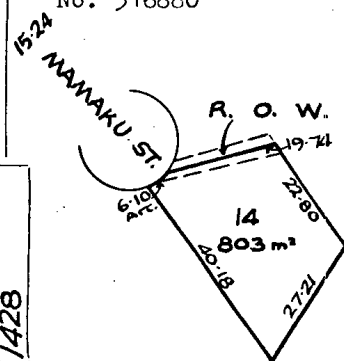
Transfer 053816.1 to Richard Conner of Petone, Civil Servant and Sybil Moreen Conner his wife - 10.9.1974 at 9.16 a.m.

766229.1 Evidence that the correct name of the registered proprietors are Richard Connor and Sybil Moreen Connor - 11.3.1986 at 11.40 a.m.

766229.2 Transfer to John McCready of Paraparaumu, Chemical Processor and Phyllis McCready his wife - 11.3.1986 at 11.40 a.m.

910707.1 DISCHARGE A.L.R.
823114.1 Mortgage to Westpac Banking Corporation - 10.12.1986 at 2.48 p.m.

910707.2 Mortgage to United Building Society - 10.11.1988 at 1.40 p.m.



Measurements are Metric

"OVER"

Register copy for L. & D. 69, 71, 72

13A/428

961853.2 Mortgage to Bank of New Zealand
- 10.11.1988 at 2.56 p.m.

A.L.R.

B743219.2 Transfer to John Matheson
Palmer and Elizabeth Anne Palmer
7.9.1999 at 2.49

for RGL

Land Transfer Office

Received Plan No 27821 (22-66)

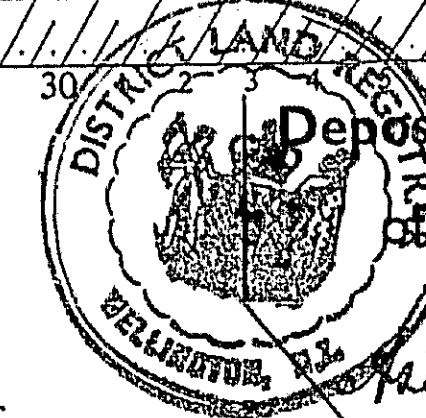
Title Reference 964/37, E1/874

CASTLE 4 CASTLE 27-0-0

310 Referred to L. T. Surveyor 8-8-66

27821

17817



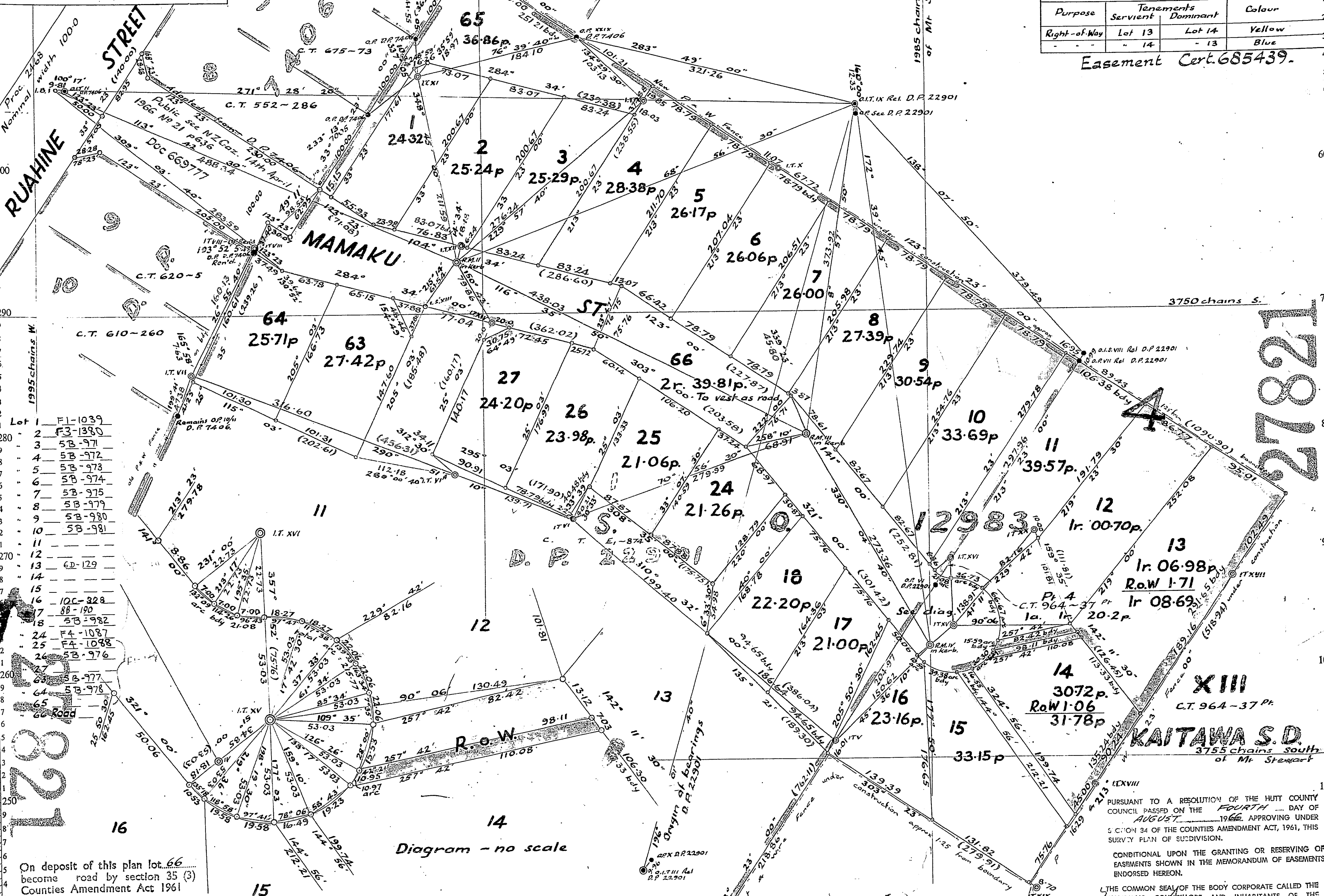
Deposited this 28th day of September 1966

Ministry of Lands
District Land Registrar

MEMORANDUM OF EASEMENTS

Purpose	Tenements	Colour
Right-of-Way	Servient Lot 13 Dominant Lot 14	Yellow
	" 14 " 13	Blue

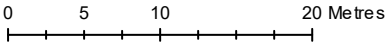
Easement Cert. 685439.





Legend

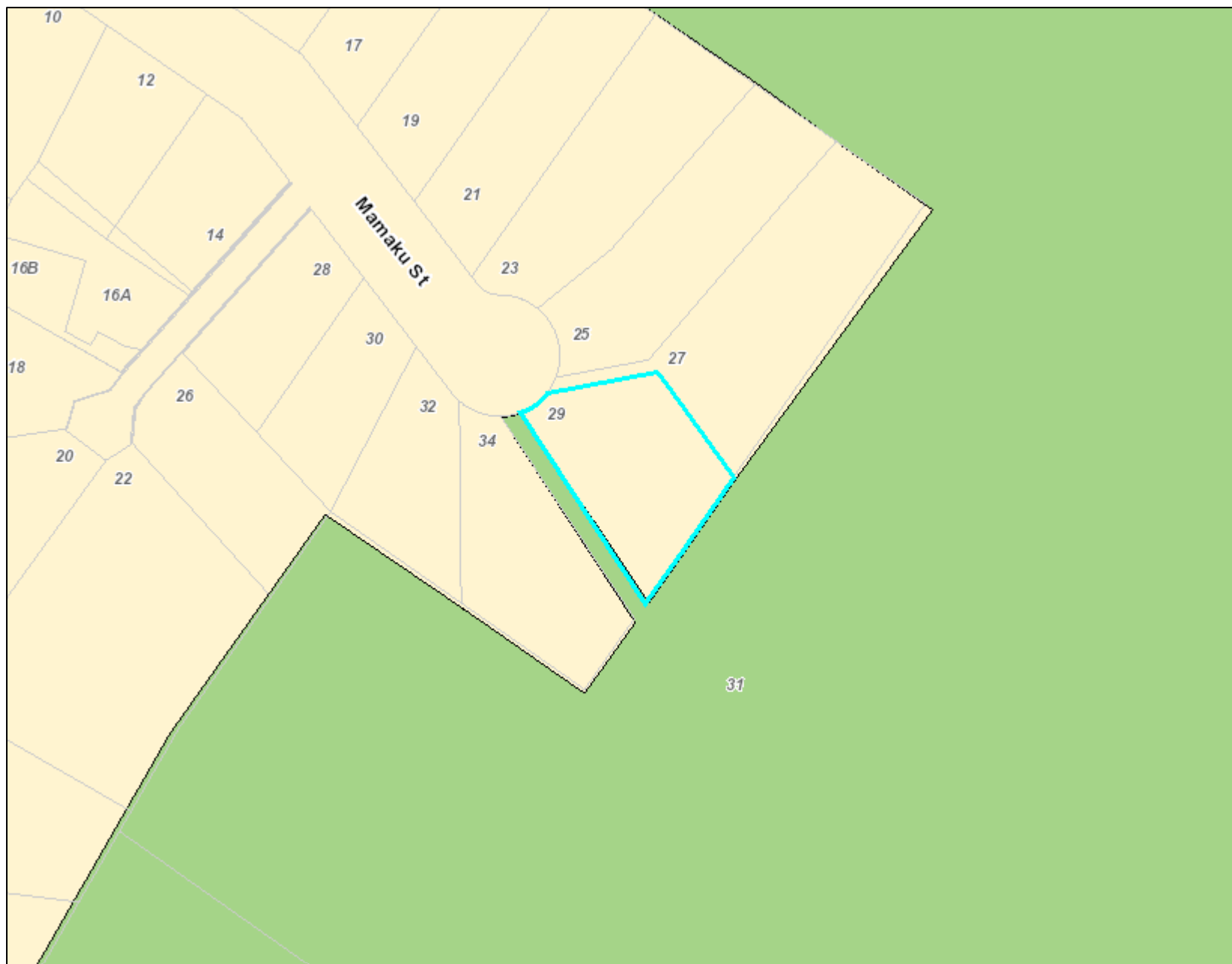
Scale @ A4 - 1:500



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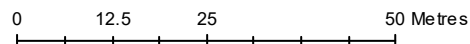
District Plan Zones



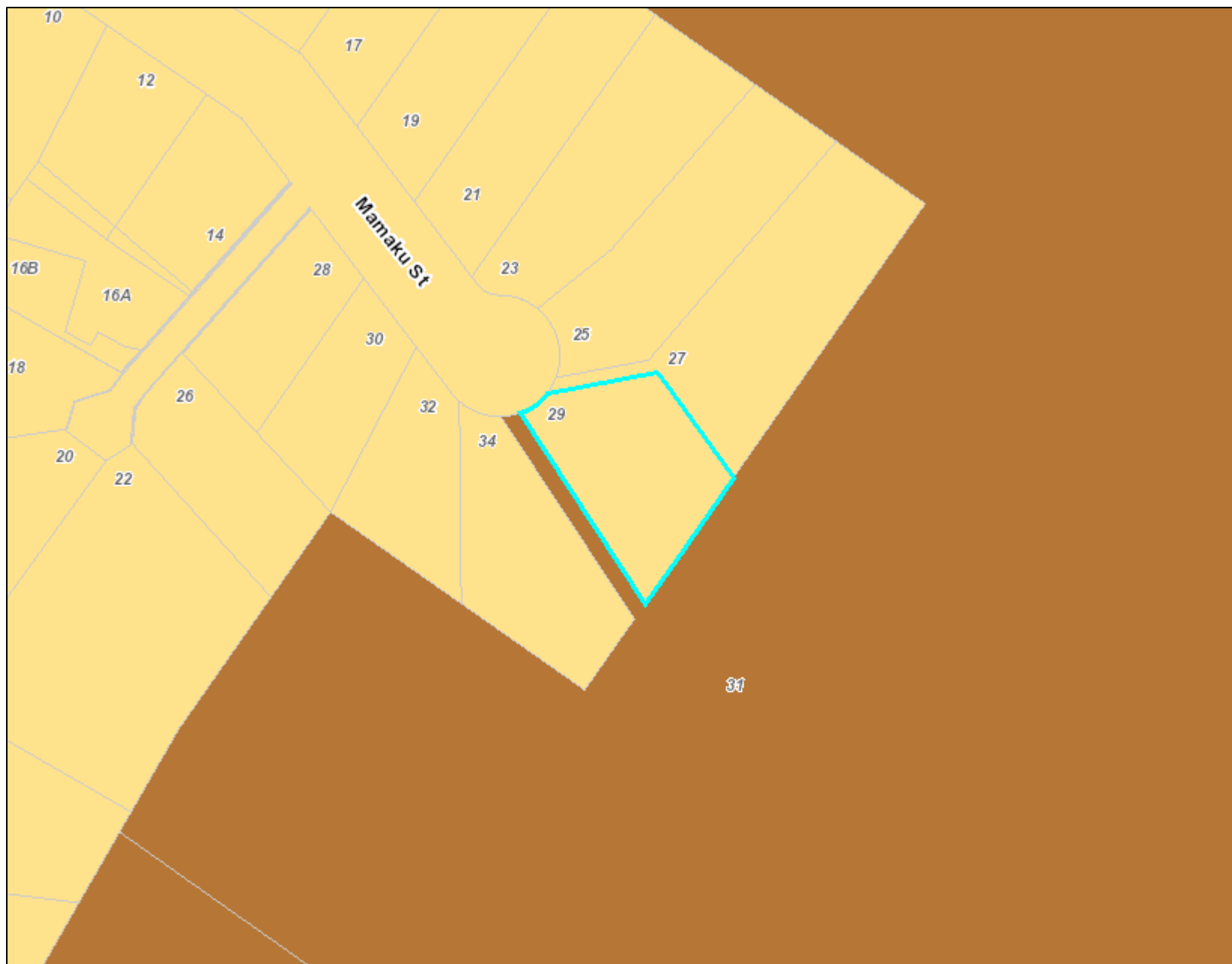
Legend

-
- Otaki Beach Residential Area
- Otaki Main Street Infill Area
- Otaki Railway Infill Area
- Otaki South Development Area
- Medium Density Housing
- Low Density Housing
- Infill Residential
- Tourist Activity Precincts
- General Precincts
- Residential
- Commercial
- Town Centre
- Industrial
- Open Space
- River Corridor
- Conservation
- Ngarara
- Rural
- Waikanae North
- Airport
- Wharemauku Precinct

Scale @ A4 - 1:1,000

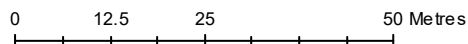


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Legend	
	Appealed Area
	Airport Curtilage
	Airport Core
	Airport Mixed Use
	Airport Heritage
	Airport Buffer
	General Precincts
	Focused Infill
	Medium Density Housing
	Low Density Housing
	Paraparaumu Beach Golf Course Dev. Precinct
	District Centre Zone Structure Plan Area
	District Centre Structure Plan Precincts
	Ihakara St East Precinct
	Ihakara St West Precinct
	Water Collection Area
	Residential
	Beach Residential
	Ngarara
	Waikanae North Development
	Airport
	Town Centre
	District Centre
	Civic and Community
	Industrial / Service
	Local Centre
	Outer Business Centre
	Rural Dunes
	Rural Plains
	Rural Hills
	Rural Residential
	Rural Eco-Hamlet
	Future Urban Development
	Open Space (Conservation and Scenic)
	Open Space (Recreation)
	Open Space (Local Parks)
	Private Recreation and Leisure
	River Corridor

Scale @ A4 - 1:1,000

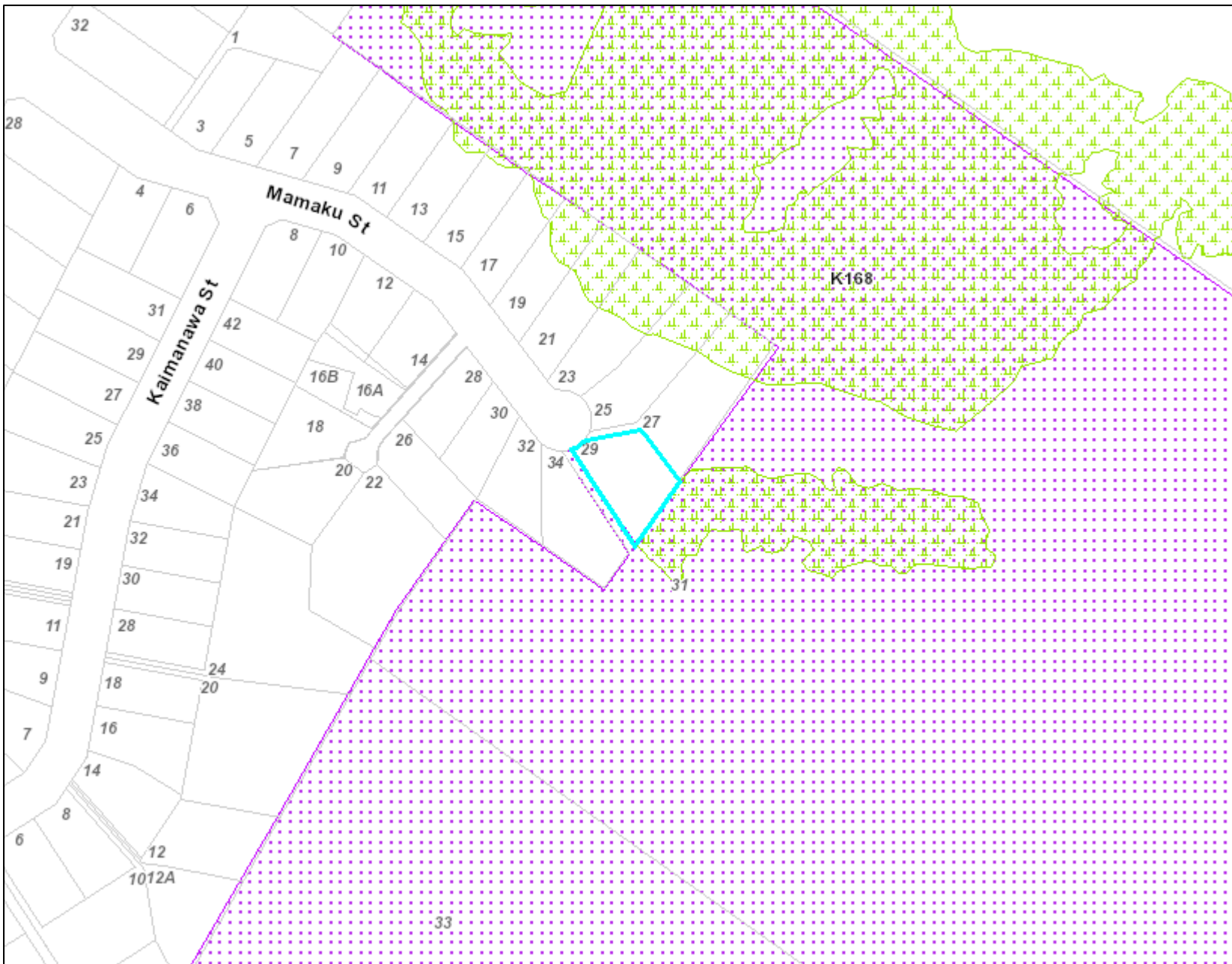


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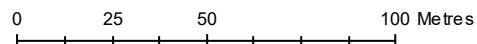
District Plan Features

NORTH



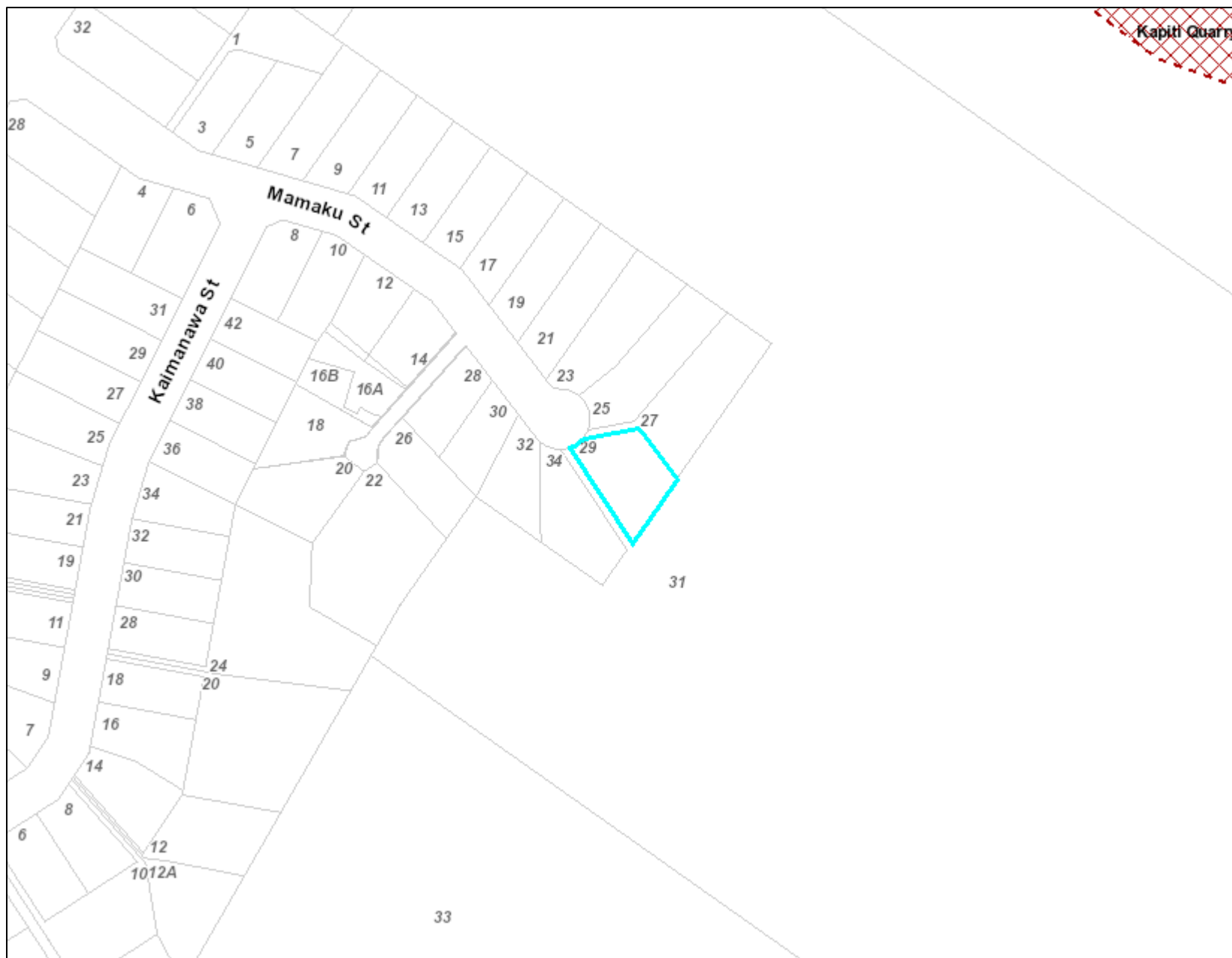
- | Legend | | | |
|---|--|---|---------------------------------|
|  | Geological Site |  | Designated General |
|  | Historic Building |  | Outstanding Landscapes |
|  | Heritage Tree |  | Notional Roads |
|  | Waahi Tapu Site |  | Airport Areas X and Y |
| - | |  | Airport Curtilage |
|  | 20m Building Line Restriction |  | Airport Core |
|  | 30m Relocatable Area |  | Airport Heritage |
|  | 70m Coastal Building Line |  | Airport Buffer |
|  | 90m 6m Height Line |  | Airport Mixed Use |
|  | HV Transmission Lines |  | Railway |
|  | Natural Gas |  | SH1 |
|  | Noise Corridor |  | Transmission Gully |
|  | Air Noise Boundary |  | Mackays Overbridge |
|  | Outer Control Boundary |  | Peka Peka to Otaaki Expressway |
|  | Airport Noise Effects |  | MacKays to Peka Peka Expressway |
|  | 45dba Area |  | Eco Hamlet Area |
|  | 55dba Area |  | Low Impact Urban Area |
|  | Restricted Area |  | Mixed Use |
|  | Heritage Tree Area |  | Multi Unit |
|  | Waahi Tapu Area |  | Open Space |
|  | Waikanae North Urban Edge |  | Perimeter |
|  | Ecological Site |  | Preserve |
|  | Building Exclusion Zone |  | Village |
|  | Building and earthworks exclusion zone | | |

Scale @ A4 - 1:2,000



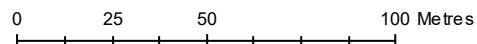
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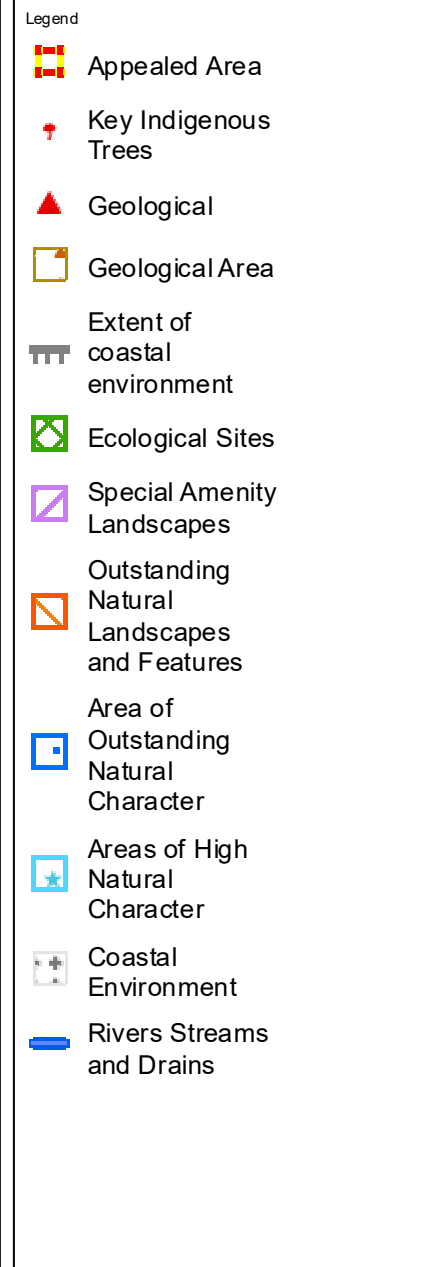


- Legend**
- | | |
|-----------------------------------|-------------------------------------|
| Appealed Area | Otaki North Urban Boundary |
| Designations | Westfield Building Exclusion Zone |
| Notable Trees | Airport Runways |
| Historic Heritage Places | Potential Residential Area |
| Historic Heritage Area | Railway Designation |
| National Grid Lines | SH1 |
| National Grid Developed Area | M2PP Expressway Designation |
| Natural Gas | PP20 Expressway Designation |
| Noise Corridor | Transmission Gully |
| Waahi Tapu | Notional Roads |
| Notable Tree Area | Quarry |
| Otaki North Indicative Roads | Waikanae North Dev. Precinct |
| Airport Noise Boundaries | 1 Preserve |
| Air Noise Boundary | 2 Perimeter |
| Air Outer Control Boundary | 3 Open Space |
| Airport Noise Notification | 4 Village |
| Airport db areas | 5 Multi Unit |
| 45db area | 6 Mixed Use |
| 55db area | |
| Waikanae Nth/Otaki Nth Urban Edge | |

Scale @ A4 - 1:2,000

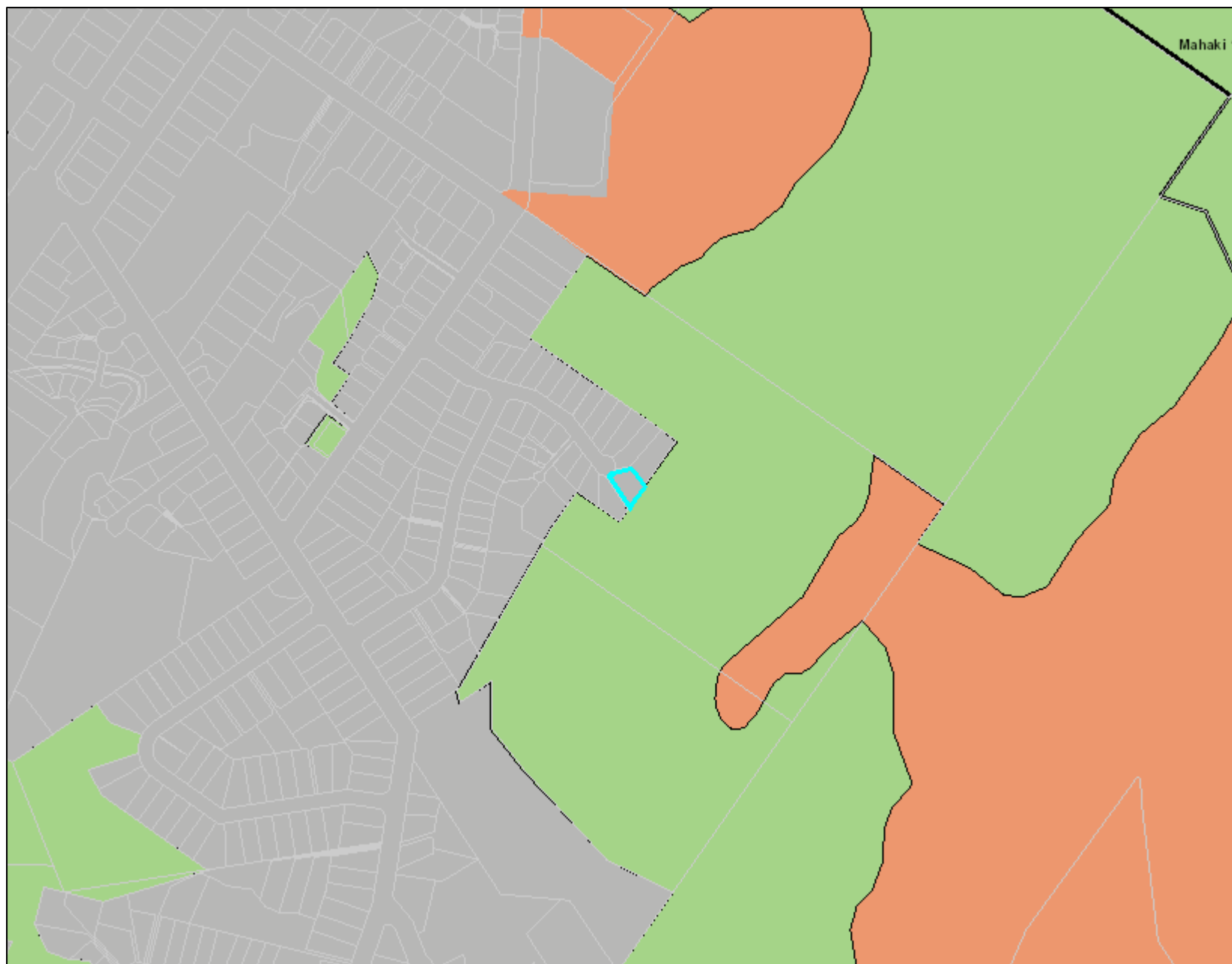


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District Plan Rural Subdivision



Legend

— Waikanae
Urban Edge

□ Rural
Subdivision

■ Water Supply
Area

Planning Zones

■ Open Space

■ Conservation

■ River Corridor

■ Urban Area

■ Alluvial

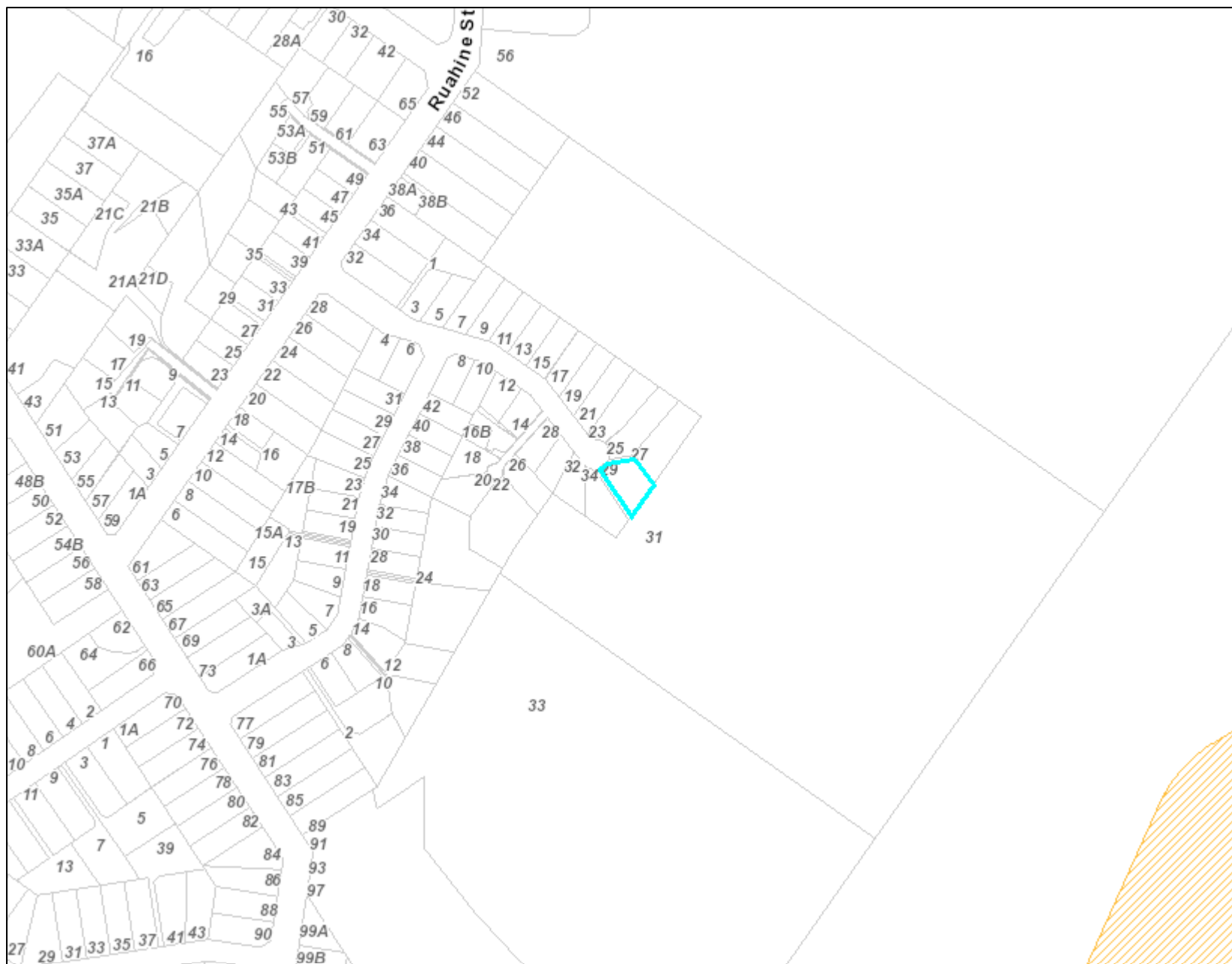
■ Hillcountry

■ Coastal

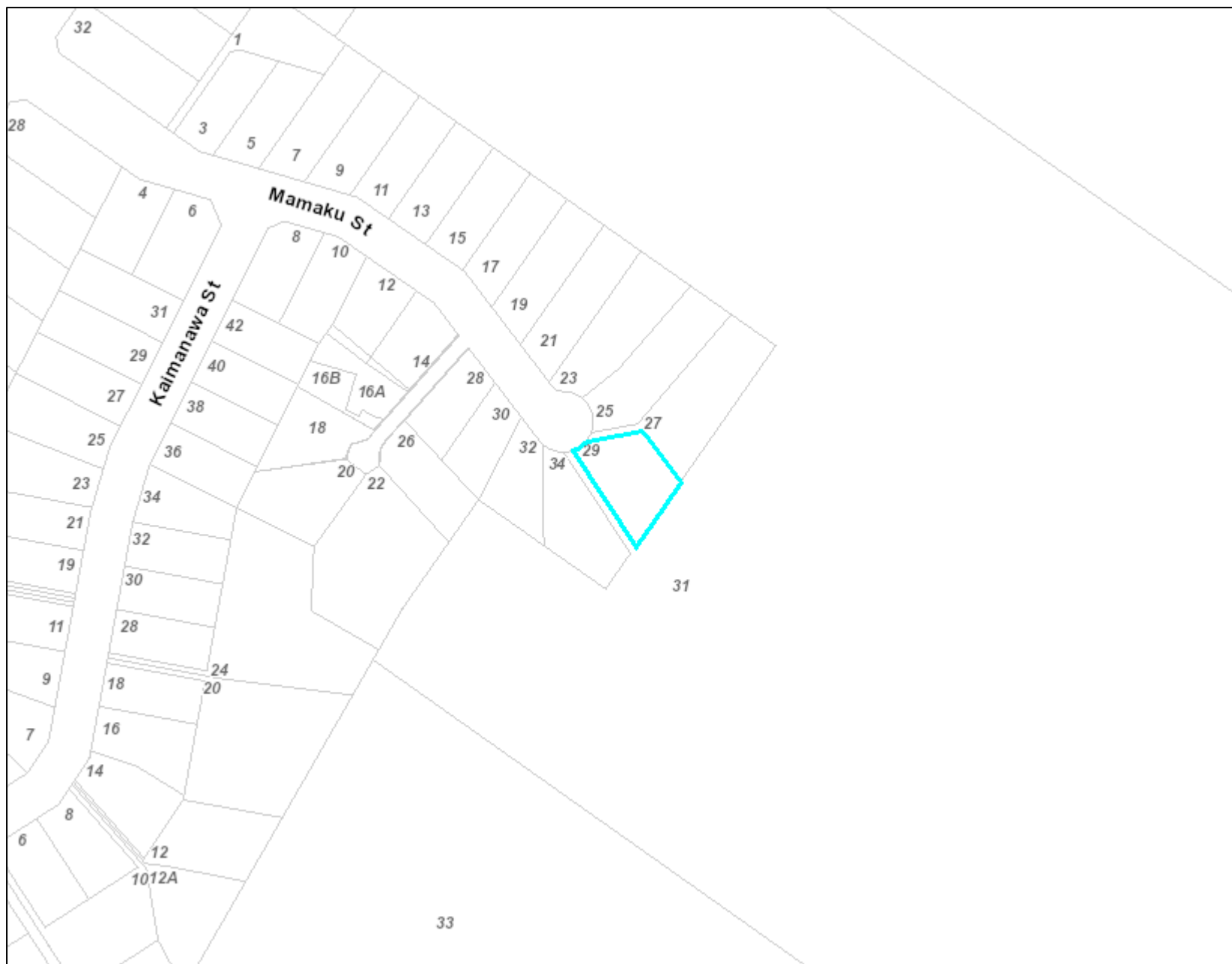
Scale @ A4 - 1:6,000

0 70 140 280 Metres

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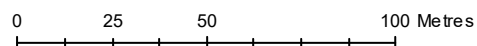
District Plan Natural Hazards - Flooding



Legend

- Stream Corridor Unsurveyed
- Stream Corridor
- Erosion Area
- River Corridor
- Storage
- Fill Control
- Overflow Path
- Ponding
- Residual Overflow
- Residual Ponding

Scale @ A4 - 1:2,000



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Legend

 Appealed Area

Fault Avoidance Areas

 Well Defined

 Well Defined Extension

 Distributed

 Uncertain Constrained

 Uncertain Poorly Constrained

Flood Hazard

 River Corridor

 Stream Corridor

 Overflow Path

 Residual Overflow Path

 Fill Control Area

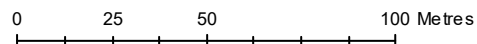
 Flood Storage Area

 Ponding Area

 Residual Ponding Area

 Shallow Surface Flow

Scale @ A4 - 1:2,000

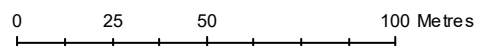
 0 25 50 100 Metres


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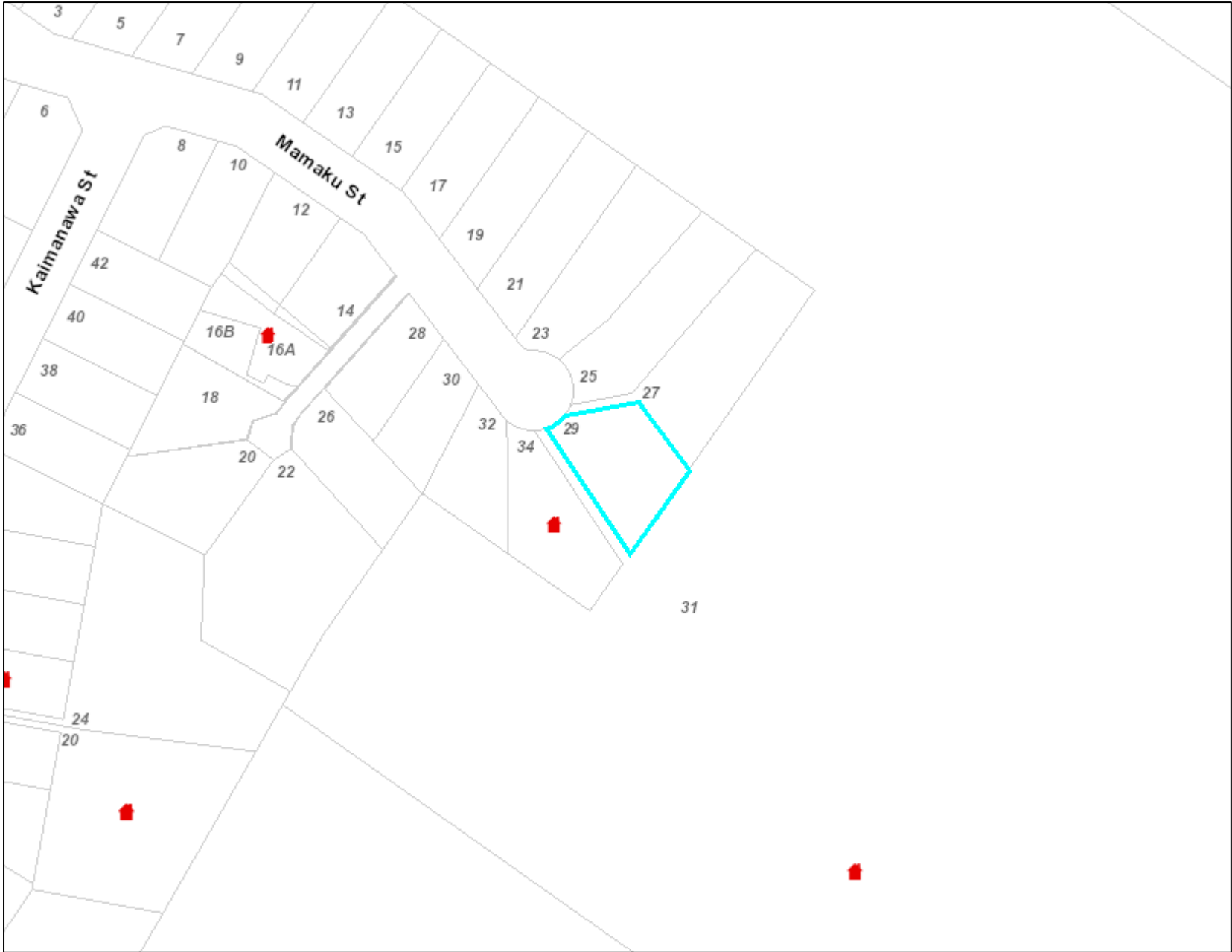
- Legend
- River Corridor
 - Stream Corridor
 - Overflow Path
 - Residual Overflow
 - Fill Control
 - Storage
 - Ponding
 - Residual Ponding
 - Shallow Surface Flow

Scale @ A4 - 1:2,000



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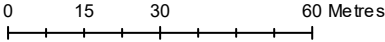
Resource Consents Map



Legend

-  Resource Consents

Scale @ A4 - 1:1,500

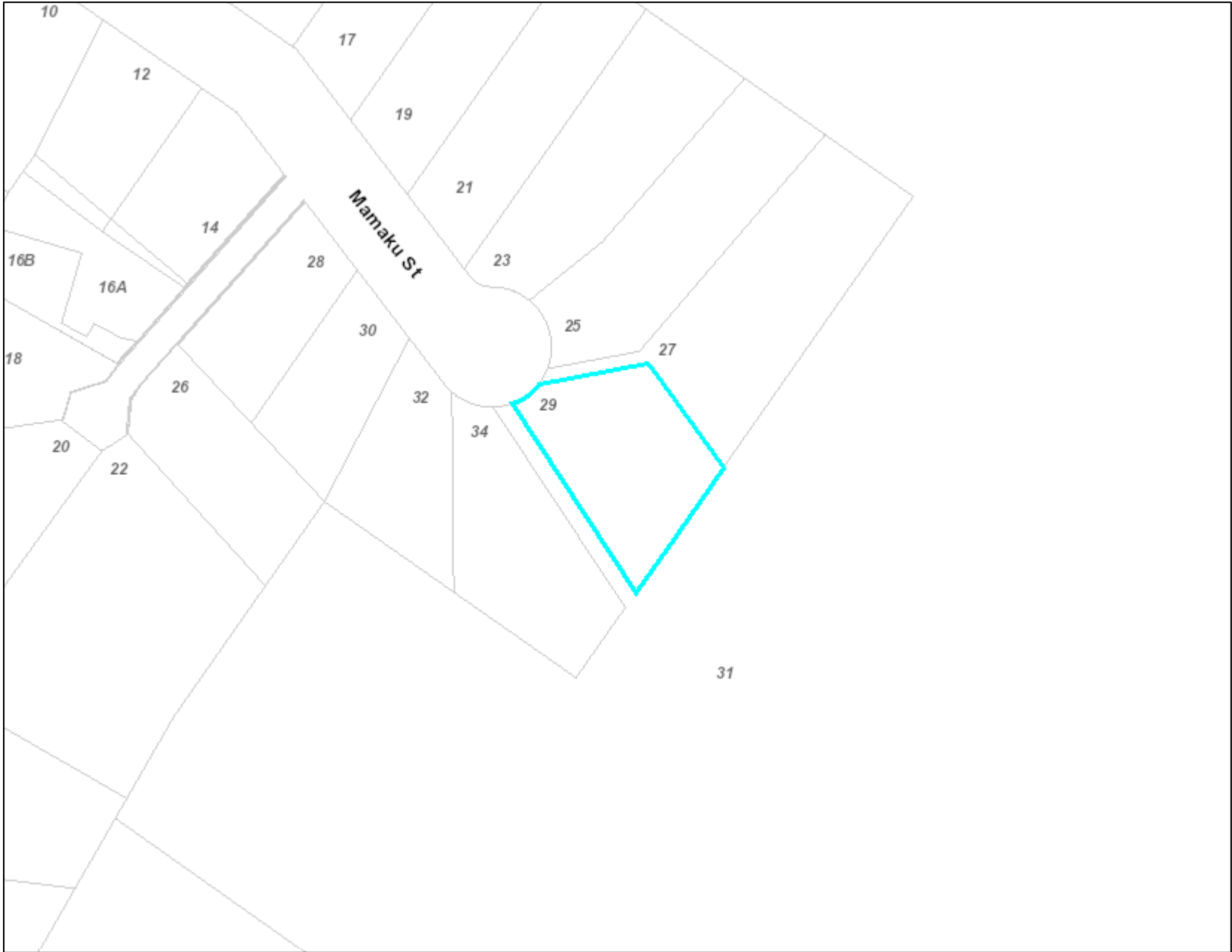


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Resource Consents Report

Resource Consent Number	Location	Valuation Number	Property Legal Description	Consent Type	Consent Proposal	Notified Yes/No	Hearing Yes/No	Consent Status	Decision Date	App.Date
020269	34 Mamaku Street, Paraparaumu	1525129200	LOT 15 DP 27821 CT 19A/249	LD	APPLICATION FOR RETROSPECTIVE EARTHWORKS CONSENT	N	N	Decision Issued	1/11/2002	30/9/2002
060111	16A Mamaku Street, Paraparaumu	1525128400	LOT 1 DP 384470 C/T 337809	SD	To subdivide the existing property into two	N	N	s.224 Issued	2/6/2006	21/4/2006

Health and Alcohol Licenses

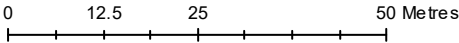


Legend

Licences

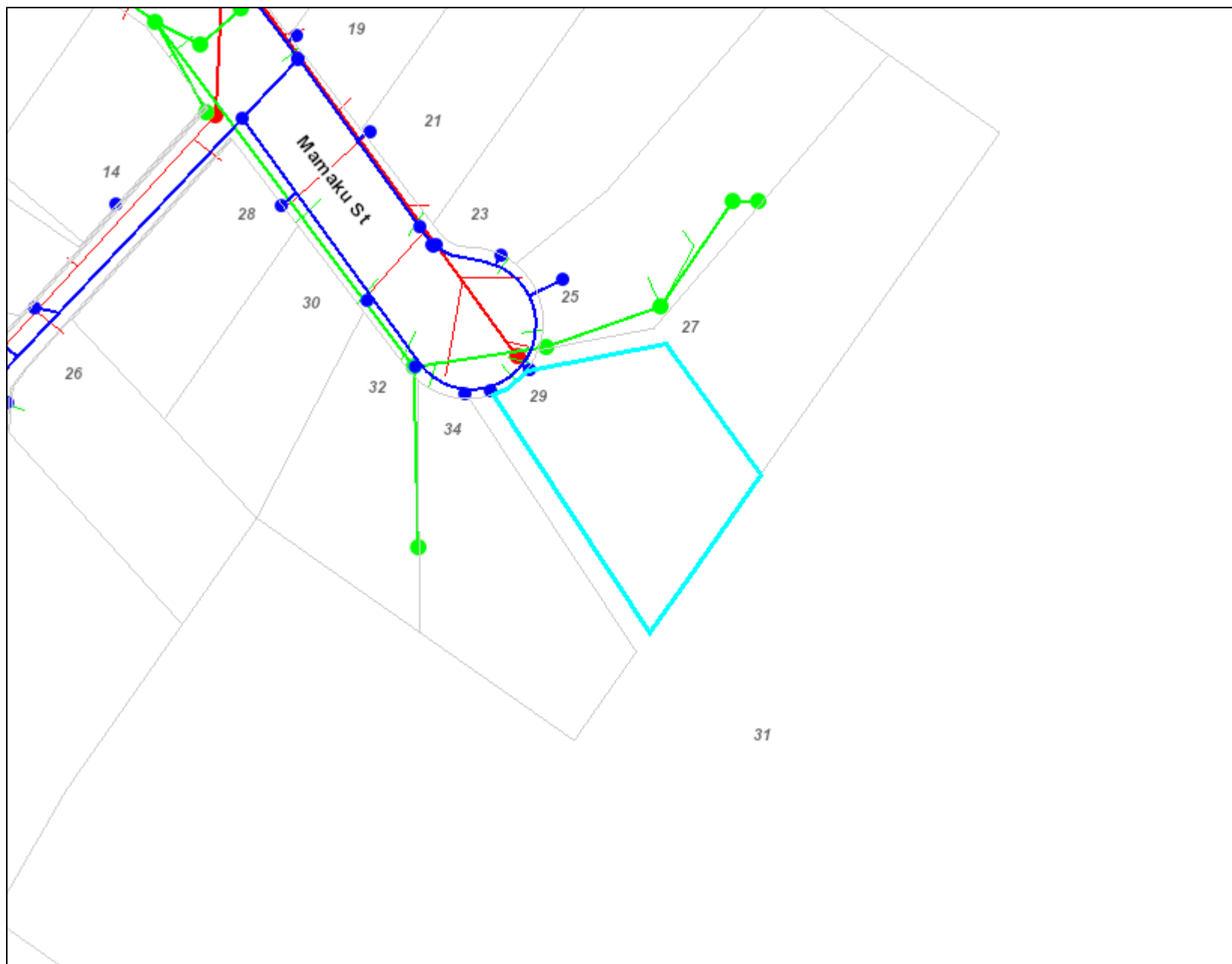
- Health
- Club Licence
- Off Licence
- On Licence

Scale @ A4 - 1:1,000



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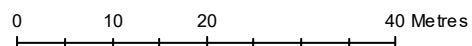




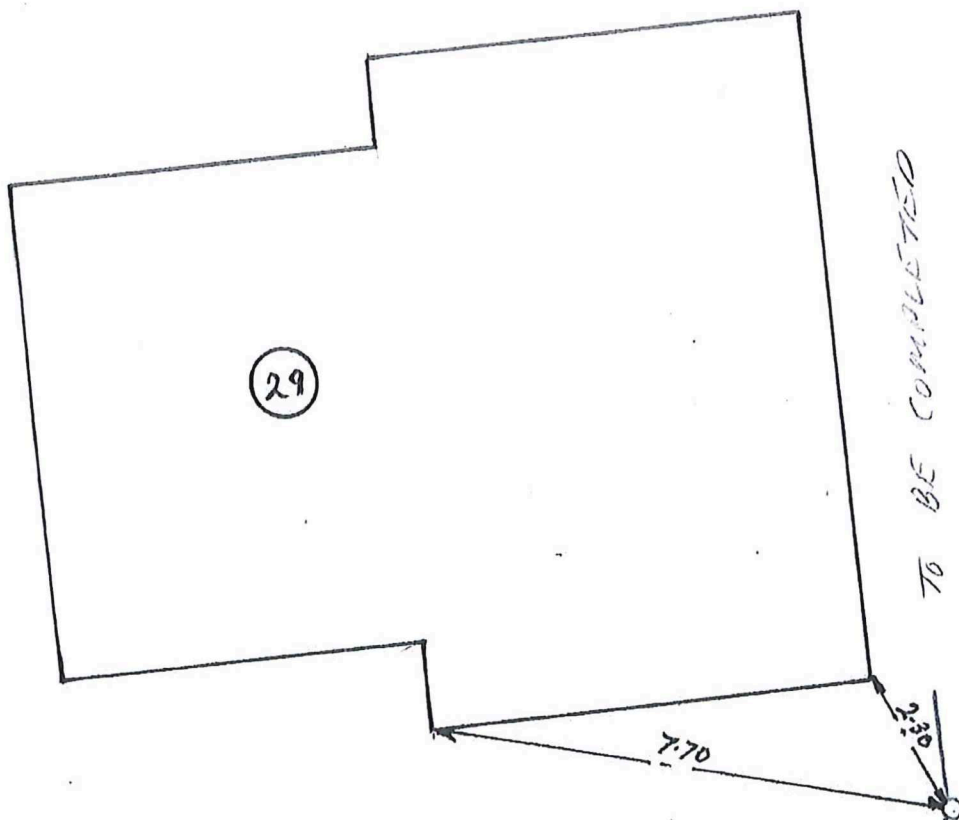
Legend

- WS Node
- WS Node Private
- WS Pipe
- SW Point
- SW Pipe
- SW Lateral
- WW point
- WW Pipe
- WW Lateral

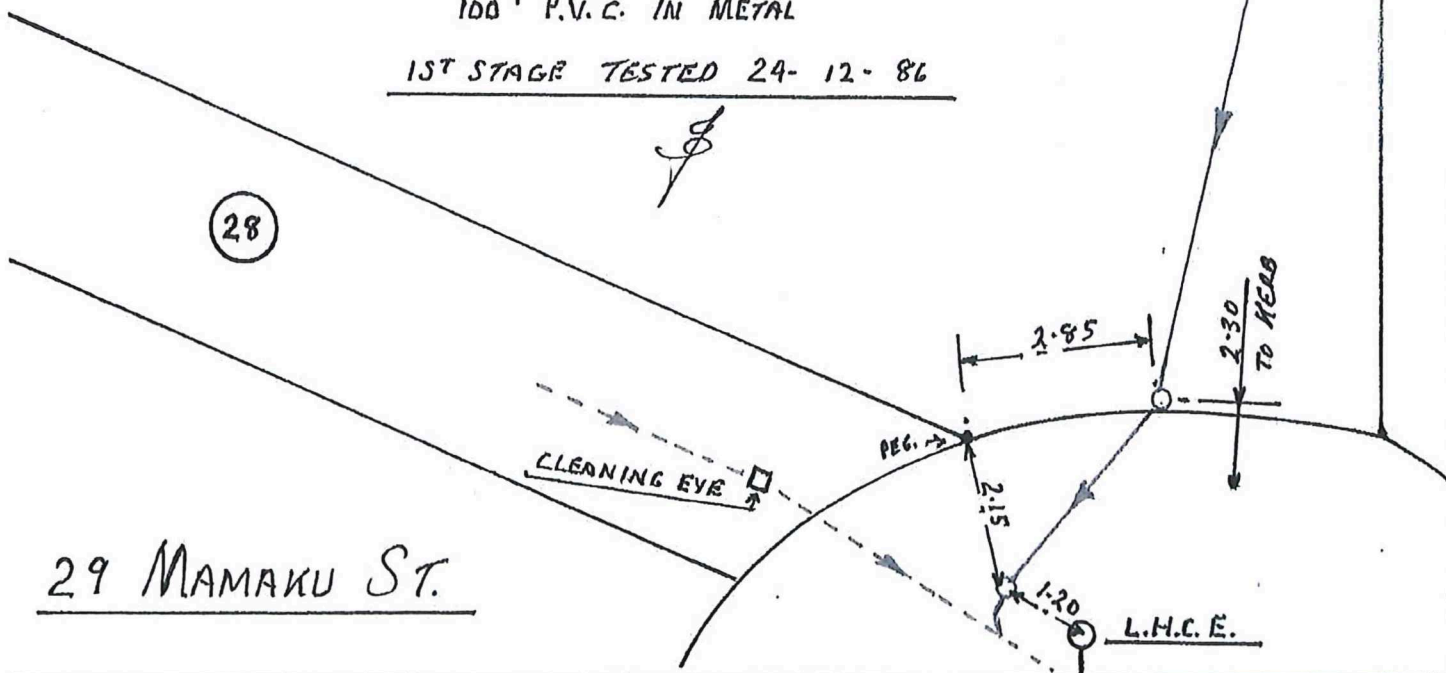
Scale @ A4 - 1:800



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100 ϕ P.V.C. IN METAL
1ST STAGE TESTED 24- 12- 86



29 MAMAKU ST.