

STATEMENT OF PASSING OVER INFORMATION

This information has been supplied by the vendor or the vendor's agents. Accordingly, Ownly (REAA 2008) and Sold On Kapiti Limited is merely passing over the information as supplied to us by the vendor or the vendor's agents.

We cannot guarantee its accuracy and reliability as we have not checked, audited, or reviewed the information and all the intending purchasers are advised to conduct their own due diligence investigation into the same.

To the maximum extent permitted by law Ownly (REAA 2008) and Sold On Kapiti Limited does not accept any responsibility to any person for the accuracy of the information herein.



LAND INFORMATION MEMORANDUM

DATA COLLECTION FORM

Property Address
Legal Description

Valuation Rate Reference
Zoning
Planning Consent

Building Restrictions
Coastal

Height

Flood Risk/Other

Building Platform

Easements
Public Drain
Common Private Drain
Public Utility
Sewer Available
Sewer Connected
Water Available
Water Connected
Natural Gas Available
Natural Gas Connected
Electricity Available
Electricity Connected

Number and street
Lot and CP number
Section, Town, SD

Zone Name: Res A
Res. File Number

A. Building Restriction Line
B. Releasable Zone
A. Aerodrome
B. Other

(Yes/No/Uncertain)

(Yes/None Known)

(Yes/No)

(Yes/-)

(Yes/No)

(Yes/No)

(Yes/No)

(Yes/No)

(Yes/No)

(Yes/No)

(Yes/No)

(Yes/No)

(Yes/No)

29 Mamaku St
Lot 14 DP 2782

15251 29400

EXISTING

BUILDINGS Date Permit Issued Type Area

1.	31-01-75	57287	Garden Shed	160 S.F.
2.	02-07-86	33973	Dwelling	246.945m.
3.				
4.				
5.				
6.				

DISPENSATION GRANTED

Q211

SPECIAL FACTORS

Owner : MCREADY Legal Description : Lot 14, DP 27821..
 Property Address : 29 ~~30~~ MAMAKU ST Date Rec'd : 11/6/86.....

		Comments	Checked	Date
TYPE OF B'LDG	Dwelling ☒ New ☒ Retail ☐ Addit'n ☐ Indust'l ☐ Alter'n ☐ Access'y ☐ Exten'n ☐ Other ☐			
TOWN PLANNING	Zoning - <u>Res. A.</u> Conforms with Scheme Yes/No Dispensation Granted Yes/No Planning Consent Granted Yes/No			
General ☒		<u>OK.</u>	<u>MP</u>	<u>16/6/86</u>
Subdivisional ☒	Caveats <u>None known</u> Easements <u>None known apart from ROW not affecting this proposal</u> B'ldg Site Prepared <u>None known</u> Copy of DP Attached Yes/No		<u>SGH</u>	<u>17/6/86</u>
ENGINEERING	Access - Crossing Required/ Existing Stormwater - To Channel To Drain Confined to Lot Footpath Condition Damage Deposit Req'd Yes/No Services Special Floor Level Req'd Yes/No	<u>OK</u>	<u>SE</u>	<u>17/6/86</u>
STRUCTURAL	Special Foundation Req'd Design Certificate Req'd	<u>OK</u> ☒		
PLUMBING ☒	Requirements	<u>O/H</u>	<u>SPD</u>	<u>24/6/86</u>
DRAINAGE ☒	Requirements	<u>O/H.</u>	<u>SPD</u>	<u>24/6/86</u>
EGRESS	Req'd for Handicapped			
BUILDING ☒	Requirements		<u>MS.</u>	<u>24/6/86</u>



I. R. McRae Ltd.

P.O. Box 581, Timaru, New Zealand. Phone 84-700 — A.H. 44-506

"McRaeway Homes", Rothwell Street, Timaru

AGENDA TO SPECIFICATIONS

Lay sisalation 422 over floor joists prior to the fixing of the particle board flooring; allow 100mm deep dish between joists. Staple at 30mm c/s. Adjacent should be lapped 100 x 150mm. The insulation trough should be made draught proof at ends of joists and at the other points where the trough is interrupted by bracing or dwangs. Lay flooring as soon as practicable to ensure foil surface is kept dry and clean.

WALLS

Fix Fibreglass Batts R11 into wall framing; Batts '600' and Batts '400' are engineered to friction fit between stud spacings of 600 and 400 respectively.

ROOF

The thickness of insulation plus the method of installing will depend on:

1. The kitset model being built.
2. The roof sheathing being fixed.

Commercial Insulation Blanket, 75mm thickness will be used.

INSTALLATION OF INSULATION

Pioneer series using Gerard tile roofing:
refer to attached drawings showing fixing methods

SOURCE OF RECOMMENDED INSULATION.

The above material specifications and fixing methods are the recommendation of A.H.I. Fibreglass and an independant consulting Engineer. Thermal calculations are available on request from the kitset supplier.

SUPPLY OF INSULATION

It is the owners/builders responsibility to arrange the supply of the three types of insulation material required for all kitsets.

INSULATION QUANTITIES

For Quantities of Insulation required applicable to locations and models, refer to the schedules available from the kitset Supplier.



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page 7 continued

make and style of which to be specified by the owner.

Sewer Drains The whole of the drainage work to be carried out in accordance with the by-laws and local authority and to the satisfaction of the inspectors. Provide all fittings to complete the work.

ROOF

The fixing of the 'Gerard' tiles should be done by an approved tiler. Purlins and cover battens maybe fixed by the builder, using no less than 100 x .4 nails at every rafter. However, the 'Gerard' tiles maybe fixed by any competent person, on accordance with their technical details, but an approved bender and cutter must be used.

ELECTRICAL

No electrical material or labour or plant is included in the kitset. Electrical plan should be provided by the owner or builder, indicating the required points, plugs etc, and all work should be carried out in conformation with local body regulations, making use of approved brands.

PAINTER

Nothing supplied in kitset for this trade. All material and colour schemes should be selected between owner and painter, and carried out in an approved manner. No paper hanging included either.

See overleaf for insulation Agenda.



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page 6 continued

rotary cut mahogany veneer and should be sealed and/or stained by the owner or contractor to whatever depth of colour required. Tracks and pelmets are supplied for the sliders.

PLUMBER

All plumbing to comply with N.Z. Code standards. Note that only the sink and vanity tops are supplied with the kitset. The plumbing contractor is to provide all material, labour and plant required to complete the dwelling, in accordance with the drawings and specifications and local body by-laws appertaining thereto.

Flashings Generally provide all flashings required by all other trades to make the building weatherproof. Note that all metal head and side flashings for all windows and exterior doors are supplied in the kitset and must be fitted correctly - unless the owner has chosen to use an alternative sheathing to the standard Hardiplank, in which case the plumber must provide the appropriate flashings. Flash all pipes, vents and exhausts with lead.

Hot Water Cylinder To be provided by the contractor and fitted where shown on the working drawings.

Spouting and Downpipes Contractor to provide and fix all spouting and downpipes of approved manufacture, as specified by the owner. Arrange spouting in even grades giving correct falls to outlets and support spouting on brackets according to your local authority.

Vents, Soil Stacks These shall be provided as required by the contractor. No lead is supplied with the kitset.

Pipework All tubing carrying hot water shall be of seamless cold drawn copper or of approved manufactured alternative. Support all pipes vertically and horizontally throughout their length to avoid sagging in any direction. All pipes must be concealed.

Hot and Cold Water Cocks and valves Shall be of an approved manufacture and of weight and quality to comply with local by-laws. All exposed taps and stop cocks inside the building shall be stream-lined C.P. on brass (or as specified by the owner). Provide all taps and valves as required by the owner.)

Cold Water Supply Water shall be obtained from the local water supply. Within the limits of the building, all cold water shall be conveyed in 20mm dia. F.V.C. with 15mm dia. branches to all fittings except the bath and laundry tub.

Fittings Contractor to provide and fit one only stainless steel or other approved shower tray and mixer as specified by the owner, one only stainless steel tub or as required by owner, one only porcelain w.c. with plastic seat and lid and cistern - the



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page 5 continued

Hardware

The contractor shall fit the whole of the hardware supplied with the kitset - hardware allowance detailed in Schedule of Quantities, to be read in conjunction with First Schedule of agreement contract if kitset has been altered from standard.

BULLDOG CONNECTORS

These connectors are an essential part of the structure and must always be fitted in the locations as shown in both the drawings and assembly manual supplied.

JOINER

The timber for joiners work to be sound and well conditioned, clean, free from wanes, open shakes and all to be thoroughly aired or kiln seasoned - if deleted from kitset and supplied by another. All kitchen joinery, vanity cabinet, laundry tub and shaving cabinets are supplied with the kitset unless otherwise specified by the owner. No assembly is necessary.

Joinery supplied

Kitchen fittings

1 sink unit and formica top with stainless steel sink fitted. 1 return unit and formica top, 1 dresser unit and formica top, 1 wall cupboard, 1 pantry cupboard. All unit cupbd and drawer fronts are prefinished and surface mounted - cupboard having antique style spring loaded hinges.

Bathroom fittings

the kitset allows for one vanity cabinet with bowl fitted, and one shaving cabinet with mirror door.

Laundry fittings

1 tub cabinet only (no tub itself)

Aluminium Joinery

all windows, ranchslider and exterior hinged door/s are of 'Rylock' manufacture and are included in the kitset. Windows and doors are glazed, with customwood reveals fitted, and flashings supplied if the standard Hardiplank exterior sheathing is being used. The standard finish is Silver (except for 'Wakatipu Pioneer' where Bronze is standard) however white and Bontone Bronze are available as an optional extra.

Hardware

All of the door handles, cupboard knobs and catches are supplied with the kitset and are to be fitted correctly by the contractor.

Interior doors

All of the doors, both sliding and prehung, (the latter having latches fitted) are of



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page 4 continued

300 x 100 from 3.1m to 3.5m

Wall Framing

All framed walls and partitions have top and bottom plates against which all studs bear evenly. Fix both top and bottom plates in long lengths, and well nail at all joints and angles. Gang nail all joints.

Place ex 100 x 50 dwangs between studs at centres shown, to all walls - three rows to each wall.

Each exterior wall, bearing partition wall and every partition wall more than 3m long shall be braced, at least one brace to each wall, or two to each 5m wall - or in accordance with bracing details and calculations available for specified Earthquake/Wind loading zones.

Flooring

Fix (T.W.P. Flycopine to manufacturers specifications) to floor of house and sand at completion. Detail of sheet layout to prevent waste is included in assembly manual. Please refer.

Wall Linings

Bedrooms, lounge hall, dining room,
kitchen, laundry, bathroom, w.c.

gibraltar board

shower box

Korotone wall board

Ceilings

All ground floor ceilings are undercoated plain pinea panels. Upper floor ceilings are medium density particle board.

Particle Board for ceiling

THIS 12MM PARTICLE BOARD IS PART OF THE ESSENTIAL BRACING OF THE HOUSE AND MUST BE SECURELY NAILED AS INDICATED. The 2400 x 1800 x 12mm particle board shall be fixed to the rafters with 50 x 2.5 flat head nails provided @ 150mm centres. Where the sheets are joined on the horizontal, a P.V.C. jointer moulding will be fitted (supplied). After the purlins have been fixed, the particle board will then be nailed from the inside, back into each batten with 50 x 2.5mm flat head nails.

Shower

Build in shower box and fix prefinished wall board, and finish with plastic mould supplied with the kitset.

Finishings

Skirting MUF customwood to each room. Mitre external angles and scribe internal angles. This also applies to bungalow mould supplied for ceilings.

Manufacturers of Pre-cut Homes — Cottages — 'Rylock' Aluminium Windows and Doors
Distributors of 'Gerard' Roof Tiles



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page 3 continued

all joinery, dressed and finished timber, and all pre-cut components shall be stacked under cover from weather at all times prior to erection on site.

Dampcourse

Between timber and concrete, lay an approved three-ply damp course material - supplied with kitset.

Schedule of Timber Grades

<u>Use</u>		
Sleepers, plates, floor joists, trimmer joists, timbers in contact with concrete or within 300mm off the ground		Treated Radiata or White Pine or Heart Rimu
Wall Framing		Treated Radiata

Schedule of Timbers

Designation

bearers
floor joists (ground)
floor joists (first floor)
top plate
bottom plate
studs
dwangs
beams
rafters
ridge (dormer)
tile purlins
tile cover battens
fascia/barge boards

Sawn Sizes

100 x 75
150 x 50
200 x 50
100 x 75 (exterior frames only)
100 x 50
100 x 50
100 x 50
300 x 100 and 350 x 100
175 x 50
150 x 50
75 x 50
50 x 25
180 x 30 and 135 x 30 finger jointed

wall braces

metal angle bracing

flooring

20mm particle board E.D.

skirtings

customwood

N.B. Framing timbers are dressed - 90 x 45

General Schedule of trimmer sizes

100 x 50 from 0 to 1m
150 x 100 from 1m to 1.8m
250 x 100 from 1.8 to 3.1m



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page 2 continued

DIMENSIONS

The contractors shall verify all dimensions shown or figured on the drawings. Figured dimensions are to be taken in preference to scaled dimensions, and all dimensions figured on the drawings are machine finished sizes.

INSURANCE

The contractor shall insure the works with a contractors All Risk policy. This insurance shall cover the full value of the premises when completed. The contractor shall be held responsible for any damage or loss by fire to the works and such as are covered by the policy until the completion of the contract.

CONCRETE

Proportions of Concrete

One part cement, two parts sand and four parts coarse aggregate machine mixed for no less than two minutes. Remove the entire contents of each batch after mixing. Alternatively, 'Ready-Mix' concrete may be used.

Concrete Foundations

Box, reinforce and pour continuous concrete foundations as detailed in working drawings. Set into foundations 10mm dia. P.M.S. holding down pins or galv. bolts at 120mm centres to secure bearers. Place 250 x 100 ventilators at 2m centres and not more than 800mm from corners. 200 x 200 concrete piles shall be set into footings as details on the working drawings, and must be positioned as per this detail.

Materials forming the foundations are not part of the kitset componentry.

PLASTERER

All foundations and steps and terraces to be plastered unless timber is specified by the owner. All plastering shall be carried out by an experienced tradesman in accordance with the best trade practice for the various operations.

CARPENTER

All timber shall conform to grades defined by N.Z.S.S. and amendments, and which shall form part of this specification. Unless otherwise shown on the drawings, all external timber shall be treated. All framing shall be R.A. Rimu or Radiata Treated Pine. Verandah/Forch beams and posts are N.Z. Douglas Fir.

Seasoning of All Timber

Before being machined, all joinery and dressing timbers shall be thoroughly air seasoned or kiln dried, and before being built in, all framing timber,



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SPECIFICATION FOR RESIDENCE OF

Mr/Mrs

.....

D.P. No.

Lot No.

McRAEWAY 'PIONEER' SERIES

General

These specifications are to be read in conjunction with the assembly manual, assembly instructions and the Schedule of Quantities supplied with your kitset. They are supplied for the erection of the dwelling and include components which are part of the kitset AND components NOT supplied with the kitset but which are necessary to complete the dwelling.

The detail contained in these specifications is of a general nature: should owners wish to add other specific building materials they are at liberty to do so and it is recommended that instruction to the builder covering these items should be documented either as an agenda to these specifications or as a clause in the Building Agreement.

All kitsets are manufactured to the details, as drawn in the standard working drawings. Any changes to the standard floor plan layout of the kitset is not pre-cut, and must be made on site and becomes the responsibility of the owner or his builder. The kitset manufacturer only provides materials as scheduled for the standard kitset unless prior arrangement has been made with the manufacturer to provide additional specified components, which would be itemised in the First Schedule of the agreement contract.

Changes to the floor plan layout of the standard kitset, plus details of foundations where the site is not a level one, must be shown on additional working drawings. The preparation of this additional detail is the responsibility of the owner.

ERECTION

Workmanship must comply with the trades practice and a lesser standard than that set out by the N.Z. Master Builders Association will not be accepted. If substandard work is proved, the contractor may be dismissed and the completion of works done by another, all costs involving labour and replacement of materials borne by the former.

BUILDING PERMIT

The contractor shall pay all permit fees for the proper execution of the work and carry out this work in conformation with the particular building site and local body by-laws and regulations - which can vary from area to area, so it is suggested that the owner or contractor check the requirements of their local building authority.

DESIGN CERTIFICATE



To Borough Engineer
Kapiti Borough Council

re I. R. McRae Ltd - Otago Pioneer Precut Home
(Project Title)

I, Gary Ralph Litter, being a Registered Engineer
and holding a current Annual Practising Certificate and being a Member of the Association of Consulting Engineers New
Zealand and a Principal/Partner of G.R. Litter - Consulting Engineer
hereby certify that:

- This Consulting Practice has been engaged to design and execute the appropriate engineering calculations for.....

House
(Description & Type of Structure)

proposed to be constructed for Mrs P. McGreedy
(Name of Owner)

located at 30 Marnock Street - Bismarck
(Street Address)

on.....
(Legal Description of Site)

- The accompanying 2 sheets of Drawings titled and numbered I. R. McRae Ltd
(Number) Otago Pioneer S.B. 52 and dated and Specification Sections numbered
adequately illustrate the design of the structure.

- I have exercised reasonable control over the design processes for the works defined above which have been designed
in accordance with sound and widely accepted engineering principles to support the loads specified in

NZS 4203
and various aspects of the design are in accordance with the following relevant authorities

NZS 3603 1981

- I believe the stresses in the various materials of construction and force resisting elements of the structure including the
foundation strata under the above loads are such as to ensure the safety and stability of the structure if the works are
constructed in accordance with the above described drawings and specifications.

The name and qualifications of the principal structural designer are G.R. Litter
B.E. (Hons) M.I.P.E.N.Z. Registered Engineer

Signature of ACENZ Member G.R. Litter Date 15/5/86

Professional Qualifications B.E. (Hons) M.I.P.E.N.Z. Regd Registration No. 8768

For and on behalf of G.R. Litter

Address P.O. Box 574

TIMARU

ASSOCIATION OF
CONSULTING ENGINEERS NEW ZEALAND
A Division of
the Institution of Professional Engineers New Zealand

CED1

This Design Certificate is Valid Only for a Building Permit
Application Made Within One Year of the Date of Issue of This Certificate



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"McRaeway Homes", Rothwell Street, Timaru

RECEIVED—KAPITI
11 MAR 1987
BOROUGH COUNCIL

Mr Jack ^{SON}
Chief Building Inspector,
Kapiti Borough Council,
Private Bag,
PARAPARAUMU.

9 March 1987

Dear Mr Jack ^{SON}

re: Mrs P. McCready

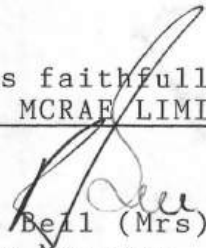
Further to your telephone conversation with Mr McRae earlier today, please find attached a copy of the Design Certificate issued to this client in May 1986. This certificate should have been included with the clients permit application.

Also enclosed is a set of general specifications, and assembly manual pertaining to the Pioneer home on which Mrs McCready's purchase was based.

Mrs McCready chose to alter the standard layout to a minor extent—these amendments not being pre-cut but additional material supplied to enable the builder to carry out the necessary alteration on site.

Should you require any further information please don't hesitate to contact me.

Yours faithfully,
I.R. MCRAE LIMITED

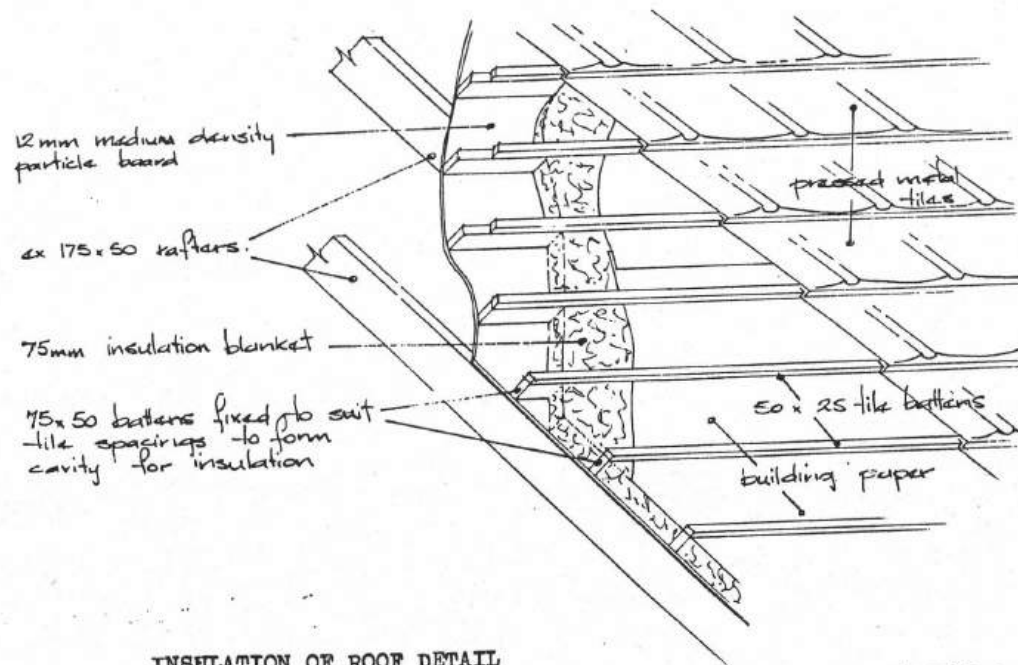

R.N. Beil (Mrs)
Sales Manager

INSULATION QUANTITIES

<u>MODEL</u>	<u>ROOF</u> Building Insulation Blanket	<u>WALLS</u> Fibreglass Batts	<u>FLOOR</u> Sisalation 422
	75mm thick	R1.6 = 75mm OR R2.0 = 94mm	1250mm x 40m OR 1250 x 60m
OTAGO PIONEER	6 Bales	4 bales or 5 bales	1 roll
TE ANAU PIONEER	6 Bales	4 bales or 5 bales	1 roll
COTTAGE STANDARD	3 Bales	2 bales	1 roll
COTTAGE SUPER	4 Bales	2 bales	1 roll
COTTAGE MILFORD	5 Bales	3 bales	1 roll
WAKATIPU PIONEER	8 Bales	6 bales or 6 bales	1 roll

N.B. The R2.0 - 94mm can be used in the walls of all models but the R1.6 - 75mm complies

INSULATION DETAILS FOR McKAE-WAY
HOMES PIONEER SERIES
ROOF DETAIL - 45° PITCH



INSULATION OF ROOF DETAIL

150 x 20 shower step		1
shower cap		1
gibraltar board cap mould		16 lengths
balustrades		40
stair rail		3.8 metres
roof Apex mould		14
beam support posts		2
<u>NAILS</u>		
4 x 8	100 x .4	2 boxes
3 x 10	75 x 25	half box
2 x 12	50 x 2.5 galvanised	half box
U nails		80
gib. board nails - galvanised		half box
finishing brads		1 packet
2 x 14	50 x 2.5	6 lbs
2 1/4 x 12	60 x 2.8 galvanised	half box
<u>BOLTS</u>		
2 1/2 x 1/2	63 x 13	14
4 1/2 x 1/2		28
nail plates (small)		14
2 UNA plates		80
bulldog washers (large)		28
bulldog washers (small)		14
washers		1 packet
12mm jointer		14 lengths @ 3.6
nail plates (large)		28
cupboard knobs		36
door handles		9
sliding door pulls		1
sliding door track and pelmet		1
cupboard catches		34
exterior lock set		1
Pryde bracing		20
Z nails		80
<u>ROOF</u>		
Gerard tiles		325 full tiles
ridging		5 lengths
barge		15 lengths
<u>ALUMINIUM JOINERY</u>		
windows	N.B. All window	12
ranchslider (2P9)	reveals are	1
window flashings	customwood	20
verandah posts		6
finnials		2

Manufacturers of Pre-cut Homes — Cottages — 'Rylock' Aluminium Windows and Doors
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30.1.86

"McRaeway Homes", Rothwell Street, Timaru

SCHEDULE OF QUANTITIES SUPPLIED FOR 'OTAGO PIONEER' PRECUT HOME

FULL FRAMEWORK ACCURATELY CUT, COMPLETE WITH ASSEMBLY INSTRUCTIONS PLUS

MATERIALS HEREWITH :-

75 x 50 purlins (tile battens) and 1st floor support wall	580 metres
50 x 20 battens (to go over purlins)	350 metres
particle board flooring 20 3.600 x 1.800 plus	
2 cases which equals 8 sheets 2.4 x 1.200	
fascia boards	66 metres
12mm particle board	33 sheets
shower linings	3 sheets
pinex ceiling panels	17 boxes
building paper	3 rolls
dampcourse	2 rolls
verandah flooring	120 metres
gibraltar board	110 sheets
textured Hardiplank	140 lengths
Hardiplank soakers	60 off
Hardiplank jointers	40 off

JOINERY

Kitchen Units -	bottom dresser	
(doors pre-	bar unit	
finished in	sink unit	
Melteca)	top dresser	
	pantry	
	sink and island unit formica tops	
	bottom dresser formica top	
Bathroom -	vanity unit	
	vanity formica top	
	shaving cabinet	
-	laundry tub unit	
	1 aluminium linen slider	
	3 sets wardrobe doors	
	1 cupboard front (2055 x 570)	
	1 linen cupboard front (first floor)	
	1 staircase	
Doors -	4 right hand prehung doors 2'6"	760
	1 right hand prehung door 2'2"	660
	3 left hand prehung doors 2'6"	760
	1 right hand prehung door 2'4"	710
	1 sliding door	760
	1 rear entry door (aluminium)	

N.B. All
prehung doors
have customwood
jambs.

MOULDINGS

wardrobe pipe rails	1 @ 3.6 long
skirting (customwood)	120 metres
bungalow mould (customwood)	100 metres
shower mould	3 lengths
shower glue	1 off

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WALLS

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ROOF

The thickness of insulation plus the method of installing will depend on:

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2. The roof sheathing being fixed.

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INSTALLATION OF INSULATION

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refer to attached drawings showing fixing methods

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page 7 continued

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The fixing of the 'Gerard' tiles should be done by an approved tiler. Purlins and cover battens maybe fixed by the builder, using no less than 100 x .4 nails at every rafter. However, the 'Gerard' tiles maybe fixed by any competent person; on accordance with their technical details, but an approved bender and cutter must be used.

ELECTRICAL

No electrical material or labour or plant is included in the kitset. Electrical plan should be provided by the owner or builder, indicating the required points, plugs etc, and all work should be carried out in conformation with local body regulations, making use of approved brands.

PAINTER

Nothing supplied in kitset for this trade. All material and colour schemes should be selected between owner and painter, and carried out in an approved manner. No paper hanging included either.

See overleaf for insulation Agenda.



I. R. McRae Ltd.

P.O. Box 581, Timaru, New Zealand. Phone 84-700 — A.H. 44-506

"McRaeway Homes", Rothwell Street, Timaru

page 6 continued

rotary cut mahogany veneer and should be sealed and/or stained by the owner or contractor to whatever depth of colour required. Tracks and pelmets are supplied for the sliders.

PLUMBERS

All plumbing to comply with N.Z. Code standards. Note that only the sink and vanity tops are supplied with the kitset. The plumbing contractor is to provide all material, labour and plant required to complete the dwelling, in accordance with the drawings and specifications and local body by-laws appertaining thereto.

Flashings Generally provide all flashings required by all other trades to make the building weatherproof. Note that all metal head and side flashings for all windows and exterior doors are supplied in the kitset and must be fitted correctly - unless the owner has chosen to use an alternative sheathing to the standard Hardiplank, in which case the plumber must provide the appropriate flashings. Flash all pipes, vents and exhausts with lead.

Hot Water Cylinder To be provided by the contractor and fitted where shown on the working drawings.

Spouting and Downpipes Contractor to provide and fix all spouting and downpipes of approved manufacture, as specified by the owner. Arrange spouting in even grades giving correct falls to outlets and support spouting on brackets according to your local authority.

Vents, Soil Stacks These shall be provided as required by the contractor. No lead is supplied with the kitset. *Not permitted.*

Pipework All tubing carrying hot water shall be of seamless cold drawn copper or of approved manufactured alternative. Support all pipes vertically and horizontally throughout their length to avoid sagging in any direction. All pipes must be concealed.

Hot and Cold Water Cocks and valves Shall be of an approved manufacture and of weight and quality to comply with local by-laws. All exposed taps and stop cocks inside the building shall be streamlined C.P. in brass (or as specified by the owner). Provide all taps and valves as required by the owner.)

Cold Water Supply Water shall be obtained from the local water supply. Within the limits of the building, all cold water shall be conveyed in 20mm dia. F.V.C. with 15mm dia. branches to all fittings except the bath and laundry tub.

Fittings Contractor to provide and fit one only stainless steel or other approved shower tray and mixer as specified by the owner, one only stainless steel tub or as required by owner, one only porcelain w.c. with plastic seat and lid and cistern - the

Manufacturers of Pre-cut Homes — Cottages — 'Rylock' Aluminium Windows and Doors

Distributors of 'Gerard' Roof Tiles



I. R. McRae Ltd.

P.O. Box 581, Timaru, New Zealand. Phone 84-700 — A.H. 44-506

"McRaeway Homes", Rothwell Street, Timaru

page 5 continued

Hardware

The contractor shall fit the whole of the hardware supplied with the kitset - hardware allowance detailed in Schedule of Quantities, to be read in conjunction with First Schedule of agreement contract if kitset has been altered from standard.

BULLDOG CONNECTORS

These connectors are an essential part of the structure and must always be fitted in the locations as shown in both the drawings and assembly manual supplied.

JOINER

The timber for joiners work to be sound and well conditioned, clean, free from wanes, open shakes and all to be thoroughly aired or kiln seasoned - if deleted from kitset and supplied by another. All kitchen joinery, vanity cabinet, laundry tub and shaving cabinets are supplied with the kitset unless otherwise specified by the owner. No assembly is necessary.

Joinery supplied

Kitchen fittings

1 sink unit and formica top with stainless steel sink fitted. 1 return unit and formica top, 1 dresser unit and formica top, 1 wall cupboard, 1 pantry cupboard. All unit cupboard and drawer fronts are prefinished and surface mounted - cupboard having antique style spring loaded hinges.

Bathroom fittings

the kitset allows for one vanity cabinet with bowl fitted, and one shaving cabinet with mirror door.

Laundry fittings

1 tub cabinet only (no tub itself)

Aluminium Joinery

all windows, ranchslider and exterior hinged door/s are of 'Rylock' manufacture and are included in the kitset. Windows and doors are glazed, with customwood reveals fitted, and flashings supplied if the standard Hardiplank exterior sheathing is being used. The standard finish is Silver (except for 'Wakatipu Pioneer' where Bronze is standard) however white and Antique Bronze are available as an optional extra.

Hardware

All of the door handles, cupboard knobs and catches are supplied with the kitset and are to be fitted correctly by the contractor.

Interior doors

All of the doors, both sliding and prehung, (the latter having latches fitted) are of



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"McRaeway Homes", Rothwell Street, Timaru

page 4 continued

300 x 100 from 3.1m to 3.5m

Wall Framing

All framed walls and partitions have top and bottom plates against which all studs bear evenly. Fix both top and bottom plates in long lengths, and well nail at all joints and angles. Gang nail all joints.

Place ex 100 x 50 dwangs between studs at centres shown, to all walls — three rows to each wall.

Each exterior wall, bearing partition wall and every partition wall more than 3m long shall be braced, at least one brace to each wall, or two to each 5m wall — or in accordance with bracing details and calculations available for specified Earthquake/Wind loading zones.

Flooring

Fix (T.W.F. Flycopine to manufacturers specifications) to floor of house and sand at completion. Detail of sheet layout to prevent waste is included in assembly manual. Please refer.

Wall Linings

Bedrooms, lounge hall, dining room,
kitchen, laundry, bathroom, u.c.

gibraltar board

shower box

Korotone wall board

Ceilings

All ground floor ceilings are undercoated plain pinea panels. Upper floor ceilings are medium density particle board.

Particle Board for ceiling

THIS 12MM PARTICLE BOARD IS PART OF THE ESSENTIAL BRACING OF THE HOUSE AND MUST BE SECURELY NAILED AS INDICATED. The 2400 x 1800 x 12mm particle board shall be fixed to the rafters with 50 x 2.5 flat head nails provided @ 150mm centres. Where the sheets are joined on the horizontal, a P.V.C. jointer moulding will be fitted (supplied). After the purlins have been fixed, the particle board will then be nailed from the inside, back into each batten with 50 x 2.5mm flat head nails.

Shower

Build in shower box and fix prefinished wall board, and finish with plastic mould supplied with the kitset.

Finishings

Fixing MUF customwood to each room. Mitre external angles and scribe internal angles. This also applies to bungalow mould supplied for ceilings.



I. R. McRae Ltd.

P.O. Box 581, Timaru, New Zealand. Phone 84-700 — A.H. 44-506
"McRaeway Homes", Rothwell Street, Timaru

page 3 continued

all joinery, dressed and finished timber, and all precut components shall be stacked under cover from weather at all times prior to erection on site.

Dampcourse

Between timber and concrete, lay an approved three-ply damp course material - supplied with kitset.

Schedule of Timber Grades

<u>Use</u>	<u>Treated Radiata or</u> <u>White Pine</u> or <u>Heart Rimu</u>
Sleepers, plates, floor joists, trimmer joists, timbers in con- tact with concrete or within 300mm off the ground Wall Framing	Treated Radiata

Schedule of Timbers

<u>Designation</u>	<u>Sawn Sizes</u>
bearers	100 x 75
floor joists (ground)	^{200 x 50} 150 x 50
floor joists (first floor)	200 x 50
top plate	100 x 75 (exterior frames only)
bottom plate	100 x 50
studs	100 x 50
dowels	100 x 50
beams	300 x 100 and 350 x 100
rafters	175 x 50
ridge (dormer)	150 x 50
tile purlins	75 x 50
tile cover battens	50 x 25
fascia/barge boards	180 x 30 and 135 x 30 finger jointed
wall braces	metal angle bracing
flooring	20mm particle board B.D.
skirtings	customwood

N.B. Framing timbers are dressed - 90 x 45

General Schedule of trimmer sizes

- 100 x 50 from 0 to 1m
- 150 x 100 from 1m to 1.8m
- 250 x 100 from 1.8 to 3.1m



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"McRaeway Homes", Rothwell Street, Timaru

page 2 continued

DIMENSIONS

The contractors shall verify all dimensions shown or figured on the drawings. Figured dimensions are to be taken in preference to scaled dimensions, and all dimensions figured on the drawings are machine finished sizes.

INSURANCE

The contractor shall insure the works with a contractors All Risk policy. This insurance shall cover the full value of the premises when completed. The contractor shall be held responsible for any damage or loss by fire to the works and such as are covered by the policy until the completion of the contract.

CONCRETE

Proportions of Concrete

One part cement, two parts sand and four parts coarse aggregate machine mixed for no less than two minutes. Remove the entire contents of each batch after mixing. Alternatively, 'Ready-Mix' concrete may be used.

Concrete Foundations

Box, reinforce and pour continuous concrete foundations as detailed in working drawings. Set into foundations 10mm dia. P.M.S. holding down pins or galv. bolts at 120mm centres to secure bearers. Place 250 x 100 ventilators at 2m centres and not more than 800mm from corners. 200 x 200 concrete piles shall be set into footings as details on the working drawings, and must be positioned as per this detail.

Materials forming the foundations are not part of the kitset componentry.

PLASTERER

All foundations and steps and terraces to be plastered unless timber is specified by the owner. All plastering shall be carried out by an experienced tradesman in accordance with the best trade practice for the various operations.

CARPENTER

All timber shall conform to grades defined by N.Z.S.S. and amendments, and which shall form part of this specification. Unless otherwise shown on the drawings, all external timber shall be treated. All framing shall be H.A. Rimu or Radiata Treated Pine. Verandah/Forch beams and posts are N.Z. Douglas Fir.

Seasoning of All Timber

Before being machined, all joinery and dressing timbers shall be thoroughly seasoned or kiln dried, and before being built in, all framing timbers



I. R. McRae Ltd.

P.O. Box 581, Timaru, New Zealand, Phone 84-700 — A.H. 44-506

"McRaeway Homes", Rothwell Street, Timaru

SPECIFICATION FOR RESIDENCE OF

Mr/Mrs **MC CREADY**

D.P. No. **27821**

Lot No. **14**

McRAEWAY 'PIONEER' SERIES

General

These specifications are to be read in conjunction with the assembly manual, assembly instructions and the Schedule of Quantities supplied with your kitset. They are supplied for the erection of the dwelling and include components which are part of the kitset AND components NOT supplied with the kitset but which are necessary to complete the dwelling.

The detail contained in these specifications is of a general nature: should owners wish to add other specific building materials they are at liberty to do so and it is recommended that instruction to the builder covering these items should be documented either as an agenda to these specifications or as a clause in the Building Agreement.

All kitsets are manufactured to the details as drawn in the standard working drawings. Any changes to the standard floor plan layout of the kitset is not pre-cut, and must be made on site and becomes the responsibility of the owner or his builder. The kitset manufacturer only provides materials as scheduled for the standard kitset unless prior arrangement has been made with the manufacturer to provide additional specified components, which would be itemised in the First Schedule of the agreement contract.

Changes to the floor plan layout of the standard kitset, plus details of foundations where the site is not a level one, must be shown on additional working drawings. The preparation of this additional detail is the responsibility of the owner.

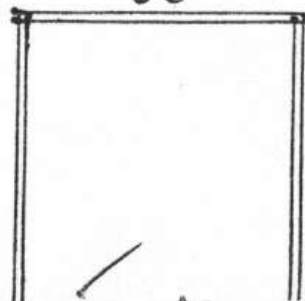
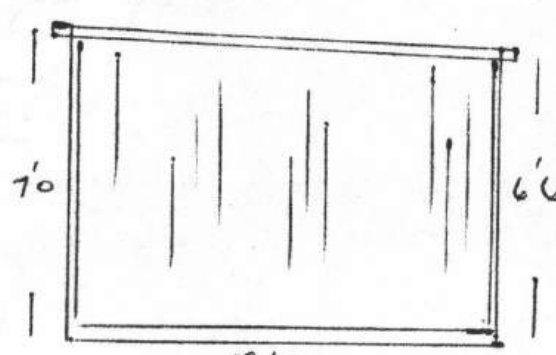
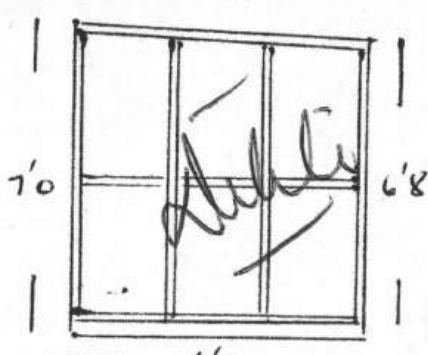
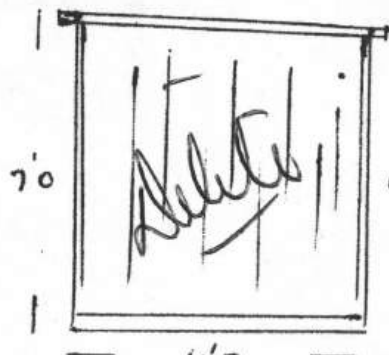
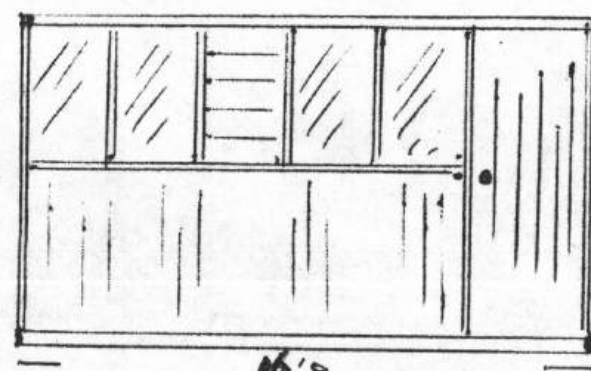
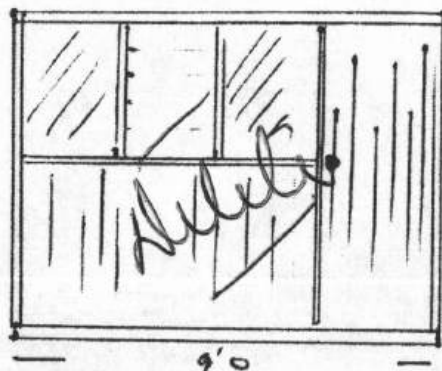
ERECTION

Workmanship must comply with the trades practice and a lesser standard than that set out by the N.Z. Master Builders Association will not be accepted. If substandard work is proved, the contractor may be dismissed and the completion of works done by another, all costs involving labour and replacement of materials borne by the former.

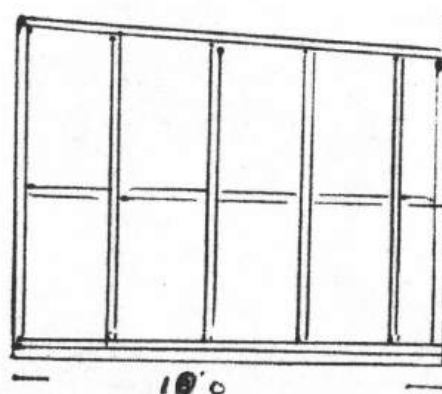
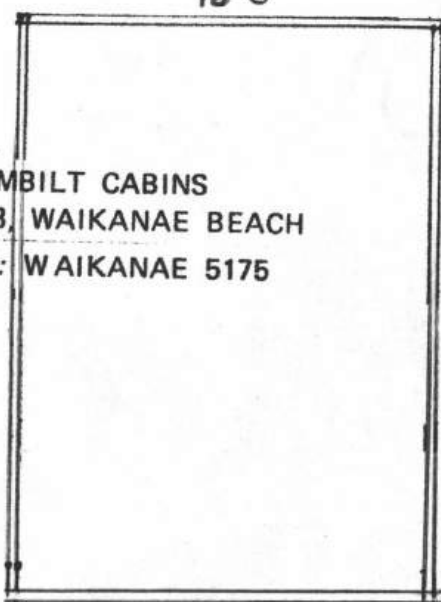
BUILDING PERMIT

The contractor shall pay all permit fees for the proper execution of the work and carry out this work in conformation with the particular building site and local body by-laws and regulations - which can vary from area to area, so it is suggested that the owner or contractor check the requirements of their local building authority.





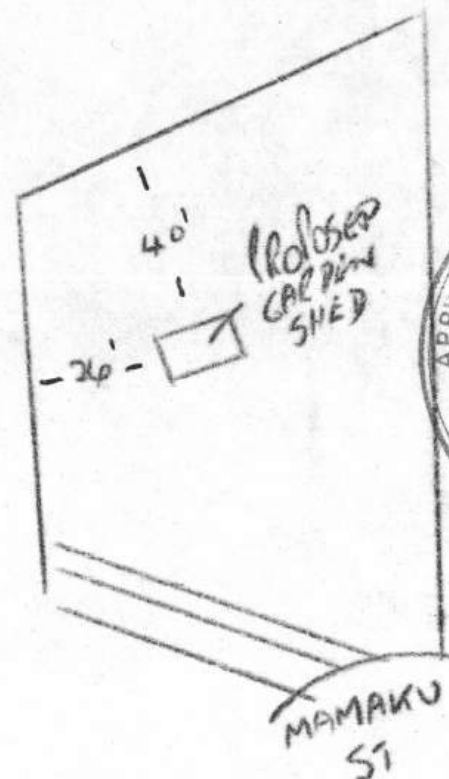
CUSTOM BILT CABINS
BOX 18, WAIKANA E BEACH
PHONE: WAIKANA E 5175



NOT TO SCALE

PROPOSED PORTABLE BUILDING FOR :

TO BE ERECTED AT :



SITE PLAN

specifications

Concrete floor or	: 3" reinforced concrete pad
Sleepers	: Ground treated 5 x 3
Floor Joists	: 4 x 2 gauged treated
Flooring	: 6 x 1 T & G "
Frame	: 3 x 1 1/2 Gauged Treated
Ceiling Joists/Furlins	: 4 x 2 Gauged Treated
Sheathing	: Galvanised Metal Twin Rib.
Roofing	: Galvanised Metal Twin Rib.
Windows	: Fixed or louvre
Door	: Metal Sheathed Wooden Frame.

MR. R. CANNON

MAMAKU ST PAR-

27 Mamaku Street
PARAPARAUMU

9 June 1986

The Town Planner
Kapiti Borough Council
PARAPARAUMU

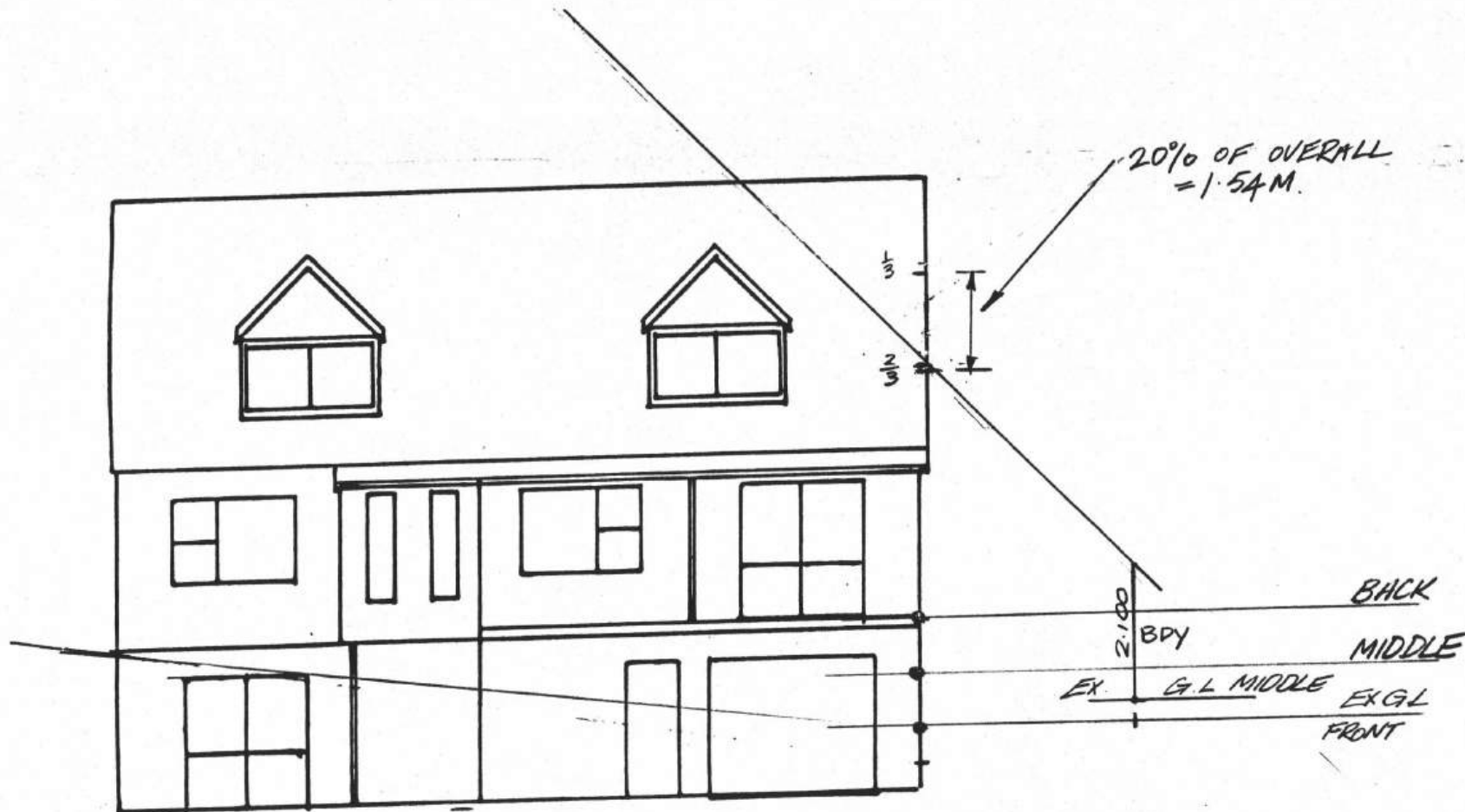
Dear Sir

I have no objection to Mr and Mrs McCready's siting of their new dwelling at 29 Mamaku Street, and therefore give consent to the encroachment of the height envelope under the Town and Country Planning Act.

Yours faithfully

A handwritten signature in dark ink, appearing to read 'R. S. Prockter', with a horizontal line drawn underneath it.

R.S. Prockter



LOT. 14 P.P. 27821.

Date 20/6/86 Permit No.
Street 29 MAMAKU ST.
Owner MCREADY
Builder ?
Plumber ?
Work DWELLING

Area Value
Foundations Walls Roof
Remarks:

Inspections

Date	Instructions to Builder
.....	
.....	
.....	
.....	
.....	
.....	
.....	
.....	
.....	

Date of Final Inspection



Inspector

KAPITI BOROUGH COUNCIL

Valuation No. 1525/330/12

Date Received

Application for Building Permit

To: The Building Inspector,
P.O. Box 9,
PARAPARAUMU.

I (the undersigned) JOHN GREG SCOTT (full name)
of 70 WILLIAM ST WAIKANAE BEACH (address)

ERECT
~~ADD~~
~~ALTER~~

hereby make application for permission to REINSTATE CARPORT SHED
with a floor area of 160 sq. ft./sq. m. as prescribed herein and set out in the plans and specifications attached hereto, in premises at:

No. 29 MAMAKU Street or Road PARAPARAUMU District
Lot No. 14 D.P. 27821

The owner of the premises is MR RICHARD CONNOR (name)
1 KENSINGTON AVENUE PETONE (address)

Previous owner (if section has been recently transferred):

Estimated value of:	Building only	\$	<u>745</u> :-
	Plumbing and Drainage	\$	<u>-</u>
	TOTAL	\$	<u>745</u> :-

Signature of Applicant [Signature] (as Builder or Owner) 18.12.75 Date

Builder's name and address (if not the applicant):

FOR OFFICE USE ONLY

Account No. 4739

Date

Fees:

Building Permit	\$	<u>4</u>	:	<u>00</u>
Kerb Crossing	\$		:	
S.W. & Road Deposit	\$		:	
B.R.L.	\$		:	
	\$	<u>4</u>	:	

Receipt No. 8724Permit No. 57287

Receipt No.

Date Issued 31.1.75

TOWN PLANNING DISTRICT
Conforms/Non-Conforming

Operative
Undisclosed

Checked by District Engineer (Date) (Initials)

Remarks:



KAPITI BOROUGH COUNCIL

Application for Permit

Valuation No.

1	5	25	6	29	4	00
Date Rec'd		Day Book		Initial		
11/6/86		Page 71		MLW		

To: The Borough Engineer

PRIVATE BAG, PARAPARAUMU

#WE JOHN & PHYLIS MCCREARY Phone 88059 (BUS)(Postal Address) 30 MAMAKU ST PARAPARAUMU
hereby make application for permission to have the work described herein,
and set out in the plans and specifications attached hereto, carried out in the
premises situated at —No. 29 Street or Road MAMAKU STLot No. 14 D.P. 27821 DistrictThe owner of the premises is J & P MCCREARY(Postal Address) AS ABOVESignature of Applicant P. McCreary Date 9/6/86

OFFICE USE ONLY



OFFICE USE ONLY



Building - Plumbing - Drainage

Description of proposed work: NEW DWELLING -
MCCRAE HOME.with a floor area of 246.94 sq. metres PLUS GARAGEEstimated cost of BUILDING incl. materials \$ 78 700.00Estimated labour content of PLUMBING only \$ 12 000.00Estimated labour content of DRAINAGE only \$ 6 000.00TOTAL estimated value of proposed work, \$ 80 500.00

Builder's name and address

Type of water supply TOWN Capacity of storage tanks cubic metresPlumber's name and address Mr J. Gaudie, 40 Makara Rd, Otahanga

Drainlayer's name and address

FOR OFFICE USE ONLY

Account No. 2582 Date 24.6.86 Receipt No. 8016 Date 30.6.86

Fees:

Building Permit \$ 3 200.00Plumbing Permit \$ 9 000.00Drainage Permit \$ 6 000.00Sewer Connection \$ N.C.Water Connection \$ 1 000.00Kerb Crossing \$ 1 700.00Damage Deposit \$ 2 000.00Bldg Research Levy \$ 8 000.00TOTAL \$ 102 400.00Permit No. 33073 Date Issued 2.7.86Permit No. 3514 Date Issued 22.12.86Permit No. 3514 Date Issued 22.12.86Order No. 809Refund 25/6/87

Checked

Date

Register Entry

Permit Endorsement:

KAPITI BOROUGH COUNCIL

APPLICATION FOR WATER SUPPLY AND CONNECTION PERMIT

The Borough Engineer,
Private Bag,
PARAPARAUMU



I, J. & P. MCCREARY (full name)
PLEASE PRINT
2930 MAMAHU ST. (Postal address)

hereby apply for an "ORDINARY" service to be laid from the Kapiti Borough Water Supply to the premises owned by me at:

(PROPERTY Address in full, if different from above) 2930 MAMAHU ST.

Lot 14 DP 27821

Fees Payable (on application)

Inspection \$
Connection \$ 100-00
Total \$ 100-00
Paid on building application.

Note: All dwelling units to pay full inspection fees.

The connection fee to be divided equally between dwelling units situated on the same lot sharing a common lateral.

Owners Signature

Date

THIS PART TO BE COMPLETED BY PLUMBER

I, ? (full name)
of ? (address)

being a Licensed Craftsman Plumber apply for permission to connect the above premises to the Kapiti Borough Water Supply. I agree to comply in every respect with the Kapiti Borough Water Supply By-laws. N.B. Connection NOT permitted until permit obtained.

(Signature)

(Craftsman Licence No.)

(Date)

- | | |
|---|---------------------------------------|
| 1. Existing Water Supply | To be retained/dismantled |
| 2. Pressure: high/low | "Header Tank"/Pressure Reducing Valve |
| 3. H/W Cylinder type | Exhaust Pipe/Pressure Relief Valve |
| 4. Approximate Age of Water Piping | Copper/PVC/Alkathene |
| 5. If premises have swimming pool what capacity | Filter plant Yes/No |
| 6. State precisely how it is proposed to make the new connection: | |

OFFICE USE ONLY

Permit No.	Job Inspected <u>RAD</u>	Building Register Entry
Date Issued	Connection Recorded <u>2.1.87</u>	



Q/

The Town & Country Planning Act 1977

APPLICATION FOR DISPENSATION

TO THE KAPITI BOROUGH COUNCIL

1. I/We JOHN & PHYLLIS MCCREADY
hereby apply for dispensation from the provisions of the Kapiti Borough District
Scheme to ENCROACHMENT OF HEIGHT ENVELOPE

(State fully what is proposed)

2. The property in respect of which this application is made is situated at
29 MAMAKU STREET street/road
3. The legal description of the above property is:
LOT 14 DP 27821
4. I am the (state whether owner, prospective purchaser, lessee etc)
OWNER
5. Name and Address of Owner PHYLLIS & JOHN MCCREADY
41-27 MAMAKU ST
PARAPARAUMU
6. Name and Address of Occupier AS ABOVE
7. Dated at PARAPARAUMU this 9TH day of JUNE 19 86

Address for

Service: MR R. PROCKTER
41-27 MAMAKU ST
PARAPARAUMU

Signature P. McCreedy OWNER
(to be signed for or on behalf of the
applicant)

KAPITI BOROUGH COUNCIL

PARAPARAUMU.

8/6/86.

TO WHOM IT MAY CONCERN:-

I STELLA MORIE BULLIVANT

OF 28 GEORGE STREET PORIRUA

HAVE NO OBJECTIONS TO MR & MRS

J. MCCREADY ERECTING A NEW DWELLING

AT 29 MAMAKU ST PARAPARAUMU

AND GIVE DISPENSATION FOR ENCROACHMENT

OF THE HEIGHT ENVELOPE UNDER THE

TOWN & PLANNING ACT.

Stella M. Bullivant

OWNER OF NO 34 LOT 15 DP 27821

MAMAKU ST

PARAPARAUMU.

ORDER No. N^o 899

KAPITI BOROUGH COUNCIL
P.O. BOX 121 PARAPARAUMU

Tel: 5139

2 July 1986

Mr

KBC

Name and
address of
Contractor
authorised to
carry out the
work.

Construction of Vehicular Crossing Over Kerb and Channel

COMPLETED 11/6/87

Dear Sir,

I have received an application from:

* 700 C.P.
1 sheet nest
1 sheet nest

(Applicant) J & P. McCready 1 Heil Mo

(Address) 30 Mamaku Street

for the construction of a standard/heavy duty/single/double crossing over
the kerb and channel for:

(Owner) J. & P. McCready

(Job Address) 29 Mamaku Street

Ln 14 D.P. 27821

Please advise this office when the crossing has been installed so that
it may be inspected and passed for payment.

Inv. No. 2582 Receipt No. 8016 Date 30.6.86

**IMPORTANT: THIS ORDER MUST BE ATTACHED TO YOUR
INVOICE BEFORE PAYMENT WILL BE MADE.**

NOTE

Yours faithfully,

M. H. Waple
for Borough Engineer.
Paraparaumu



KAPITI BOROUGH COUNCIL

Ngarara Building, Rimu Road
Private Bag, Paraparaumu
Telephone (058) 85-139

Correspondence to be
addressed to:
THE TOWN CLERK

Inquiries to:

Mr Pearson

Ref.:

Q211

June 10, 1986

John & Phyllis McCready
C/o Mr R Prockter
27 Mamaku Street
PARAPARAUMU

Dear Sir/Madam

Re: 29 MAMAKU STREET

Your application for dispensation from the provisions of the Kapiti Borough District Scheme relating to encroaching the height envelope has been considered by the Staff Planning Committee who have approved the application subject to the following conditions:-

1. The dwelling is to be sited in accordance with the plan submitted.
2. A building permit is obtained.

Yours faithfully

W R Pearson
BOROUGH PLANNING OFFICER

EMB

DESIGN CERTIFICATE



To BOROUGH ENGINEER
KAPITI BOROUGH COUNCIL
PARAPARAUMU

re HOUSE FOR McCREADY
(Project Title)

I, KEVIN C.F. SPRING, being a Registered Engineer
and holding a current Annual Practising Certificate and being a Member of the Association of Consulting Engineers New
Zealand and a ~~Principal~~ Director of BRICKELL MOSS RAINES AND STEVENS LTD
....., hereby certify that:

- This Consulting Practice has been engaged to design and execute the appropriate engineering calculations for.....
concrete block basement retaining wall
(Description & Type of Structure)
.....
proposed to be constructed for J & P McCready
(Name of Owner)
located at 29 Manuka Street, Paraparaumu
(Street Address)
on Lot 14 D.P. 27821
(Legal Description of Site)
- The accompanying three sheets of Drawings titled and numbered prepared by
(Number)
R. Proctor and dated and Specification Sections numbered
..... adequately illustrate the design of the structure.
- I have exercised reasonable control over the design processes for the works defined above which have been designed
in accordance with sound and widely accepted engineering principles to support the loads specified in
NZS 4203 : 1984
and various aspects of the design are in accordance with the following relevant authorities
NZS 4230 P : 1985
.....
- I believe the stresses in the various materials of construction and force resisting elements of the structure including the
foundation strata under the above loads are such as to ensure the safety and stability of the structure if the works are
constructed in accordance with the above described drawings and specifications.

The name and qualifications of the principal structural designer are P.F. Clark BE MIPENZ

Signature of ACENZ Member [Signature] Date 23 June 1986

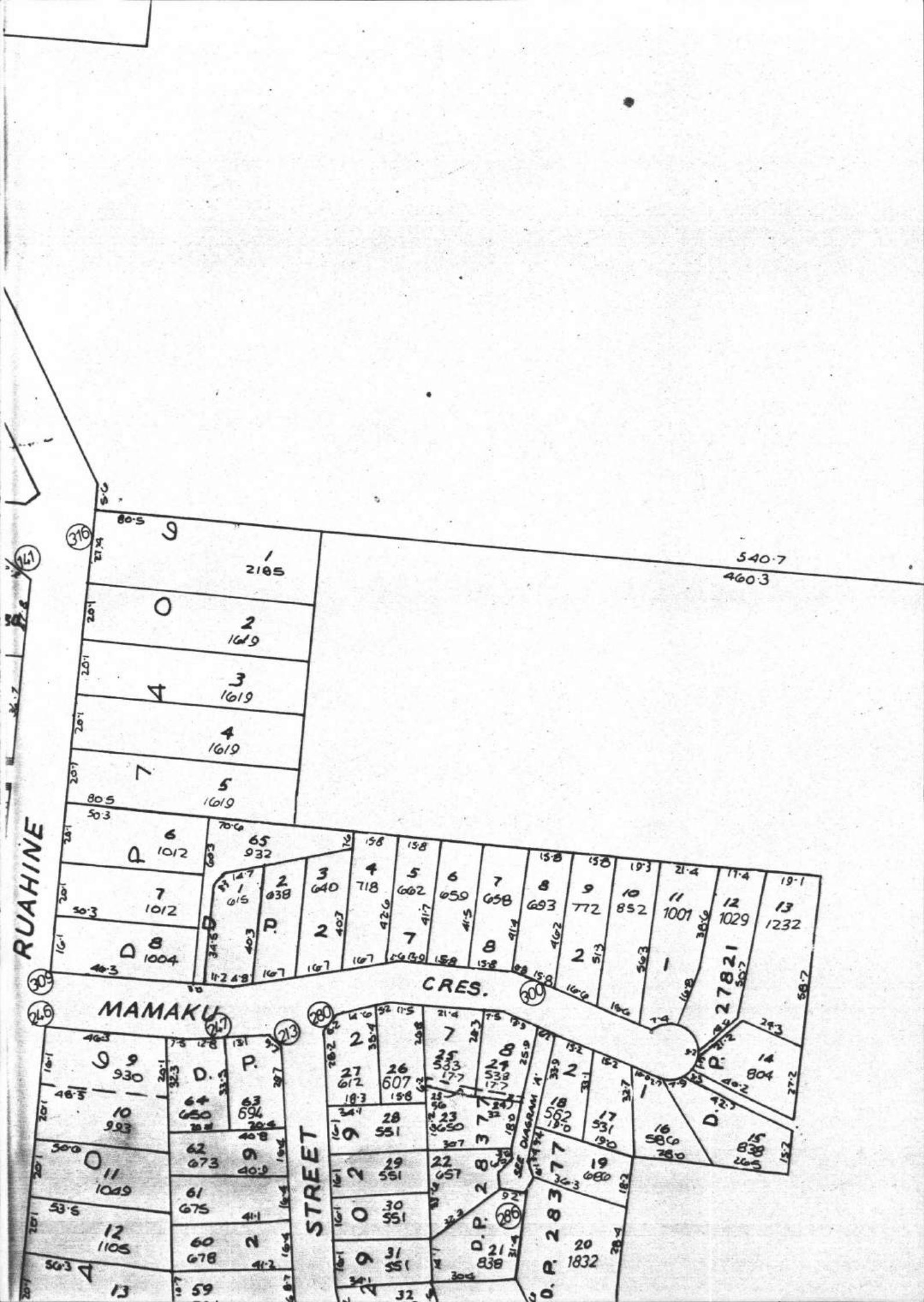
Professional Qualifications M.I. Struct.E. MIE Aust. MIPENZ Registration No.

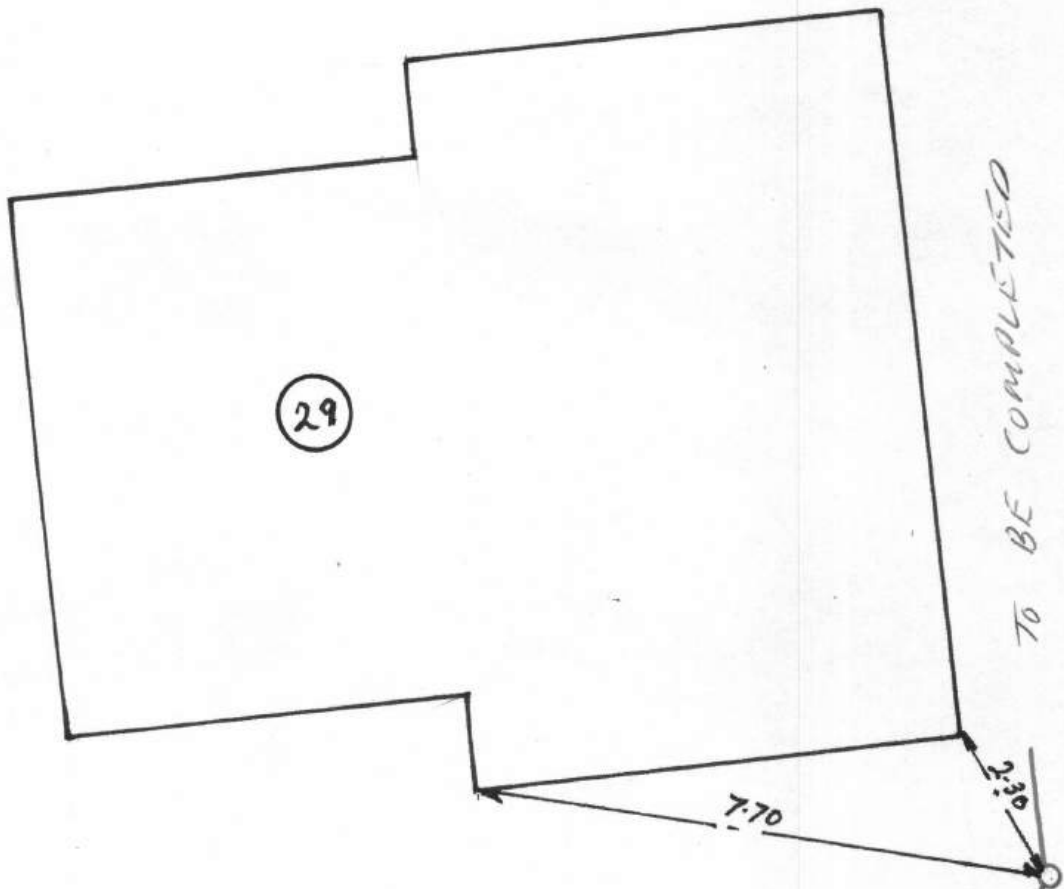
For and on behalf of Brickell Moss Raines & Stevens Ltd

Address P O Box 434

LEVIN

ASSOCIATION OF
CONSULTING ENGINEERS





100 ϕ P.V.C. IN METAL

1ST STAGE TESTED 24- 12- 86



(28)

CLEANING EYE

PEG. →

2.85

2.15

1.20

2.30
TO HEAD

L.H.C.E.

29 MAMAKU ST.

KAPITI BOROUGH COUNCIL

APPLICATION FOR SEWER CONNECTION AND PERMIT

The Borough Engineer
Private Bag
PARAPARAUMU

I, J. & P. MCCREADY (Full name)
PLEASE PRINT
2930 MAMAHU ST. PARAPARAUMU (Postal Address)

hereby apply for an ordinary connection to the Kapiti Borough Sewer from the premises owned by me at

(PROPERTY Address in full
if different from above)

2930 MAMAHU ST.

Lot

14

DP

27821

Fees Payable (on application)

Inspection \$
Connection \$
Total \$

N.C. Subdivider
N.C. Reticulation

Note: All dwelling units to pay full inspection fees.
The connection fee to be divided equally between
dwelling units situated on the same lot sharing
a common lateral.

Owners Signature

Date

THIS PART TO BE COMPLETED BY DRAINLAYER

I, _____ (full name)

_____ (address)

being a licensed Drainlayer apply for permission to connect the premises mentioned above to the
Kapiti Borough Sewer.

N.B. Connection NOT permitted until permit obtained.

(Signature)

(License No.)

(Date)

OFFICE USE ONLY

Permit No. <u>3514</u>	Job Inspected <u>1ST STAGE</u> <u>24-12-86</u>	Building Register Entry
Date Issued <u>22 12-86</u>	Connection Recorded <u>DBC 86</u>	

**BUILDING INSPECTOR'S
FIELD SHEET**

**AUTHORITY
KAPITI BOROUGH COUNCIL**

Stats. No. **D 033973**

No. _____

Inspector: M _____

File No. _____

Receipt No. 8016

Date Permit Issued 2 / 7 / 86

OWNER	
Name	<u>J & P. McCreedy</u>
Mailing Address	<u>30 Mamaku Street</u> <u>Paraparaumu</u>

BUILDER	
Name	<u>As Owner</u>
Mailing Address	_____ _____

PROPERTY ON WHICH BUILDING IS TO BE ERECTED/DEMOLISHED

SITE	
Street No.	<u>29</u>
Street Name	<u>Mamaku Street</u>
Town/District	<u>Paraparaumu.</u>
Riding	_____

LEGAL DESCRIPTION	
Valuation Roll No.	<u>15251 294 00</u>
Lot	<u>14</u>
D.P.	<u>27821</u>
Section	_____
Block	_____
Survey District	_____

DESCRIPTION OF PROPOSED WORK AND MAIN PURPOSE OF USE

<u>Dwelling</u>

FLOOR AREA		DWELLING UNITS	
Whole Sq. Metres	<u>246</u>	Number Erected	_____

ESTIMATED VALUES	
Building	<u>78,700</u>
Plumbing	<u>1,200</u>
Drainage	<u>600</u>
TOTAL	<u>80,500</u>

NATURE OF PERMIT (TICK BOX)	
☒	NEW BUILDING - exclude domestic garages and domestic outbuildings
☐	FOUNDATIONS ONLY
☐	ALTERED, REPAIRED, EXTENDED - include conversions and resited buildings
☐	NEW CONSTRUCTION OTHER THAN BUILDINGS - include demolitions
☐	DOMESTIC GARAGES AND DOMESTIC OUTBUILDINGS

FEES APPLICABLE

Building Permit	\$ <u>320</u>	Water Connection	\$ <u>100</u>	Receipt No. <u>8016</u>
Street Damage Deposit	\$ <u>200</u>	Vehicle Crossing Levy	\$ <u>170</u>	
Building Research Levy	\$ <u>81</u>	M.S. Plumbing	\$ _____	
Plumbing	\$ <u>30</u>		\$ _____	
Drainage	\$ <u>60</u>		\$ _____	
Sewer Connection	\$ _____		\$ _____	
TOTAL:		\$ <u>1021</u>		Date of Payment <u>30 / 6 / 86</u>
				Authorised Officer <u>[Signature]</u>

Special Conditions: _____



Date Inspected _____ REMARKS (e.g. stage reached with work) _____

Date Inspected		
25 JULY 86	SITE INSPECTION + PART FOUNDATION	(TREVER)
29 JULY 86	" "	" "
13 AUGUST 86	BLOCK WALL INSPECTION	TREVER
19 DECEMBER 86	PRELINING (FIRST INSPECTION)	JACKSON
	EXTRA BRACING REQUIRED.	
3 FEBRUARY 87	SITE INSPECTION (WITH MRS MC CREADY)	
	RE FLOOR JOISTS (BED ROOM)	

COMPLETED (Signature) _____ Date ____/____/____

Page 1 Framing layout

2 Frame 1

3 Frame 2

4 Frame 3

5 Frame 4

6 Frame 5

7 Frame 6

8 Frame 7

9 Frame 7a

10 Frame 8

11 Frame 9

12 Frame 10

13 Frame 11

14 Frame 12

15 Frame 13

16 Frame 14

17 Frame 15

18 Frame 16

19 Frame 17

20 Frame 18

21 Frame 19 and 20

22 Frame 21 and 22

Page 23 Frame 23 and 24

24 Frame 25

25 Frame 26 and 27

26 Frame 28 and 28a

27 Frame 29 and 29a

28 Frame 30 and 31

28a Detail of first floor flooring layout
(Te Anau Pioneer only)

29 Detail of pitch roofed dormer

31 Rafter connection to joist detail

32 Detail: Wall to rafter

Detail: Bearer joint

Detail: Window flashing

33 Elevations of ground floor frames
showing location of metal bracing

34 Detail of flat roofed dormer

35 Roofing insulation detail

36 Detail: Where there is no verandah

37 Detail: Where there is a verandah



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"McRaeway Homes", Rothwell Street, Timaru



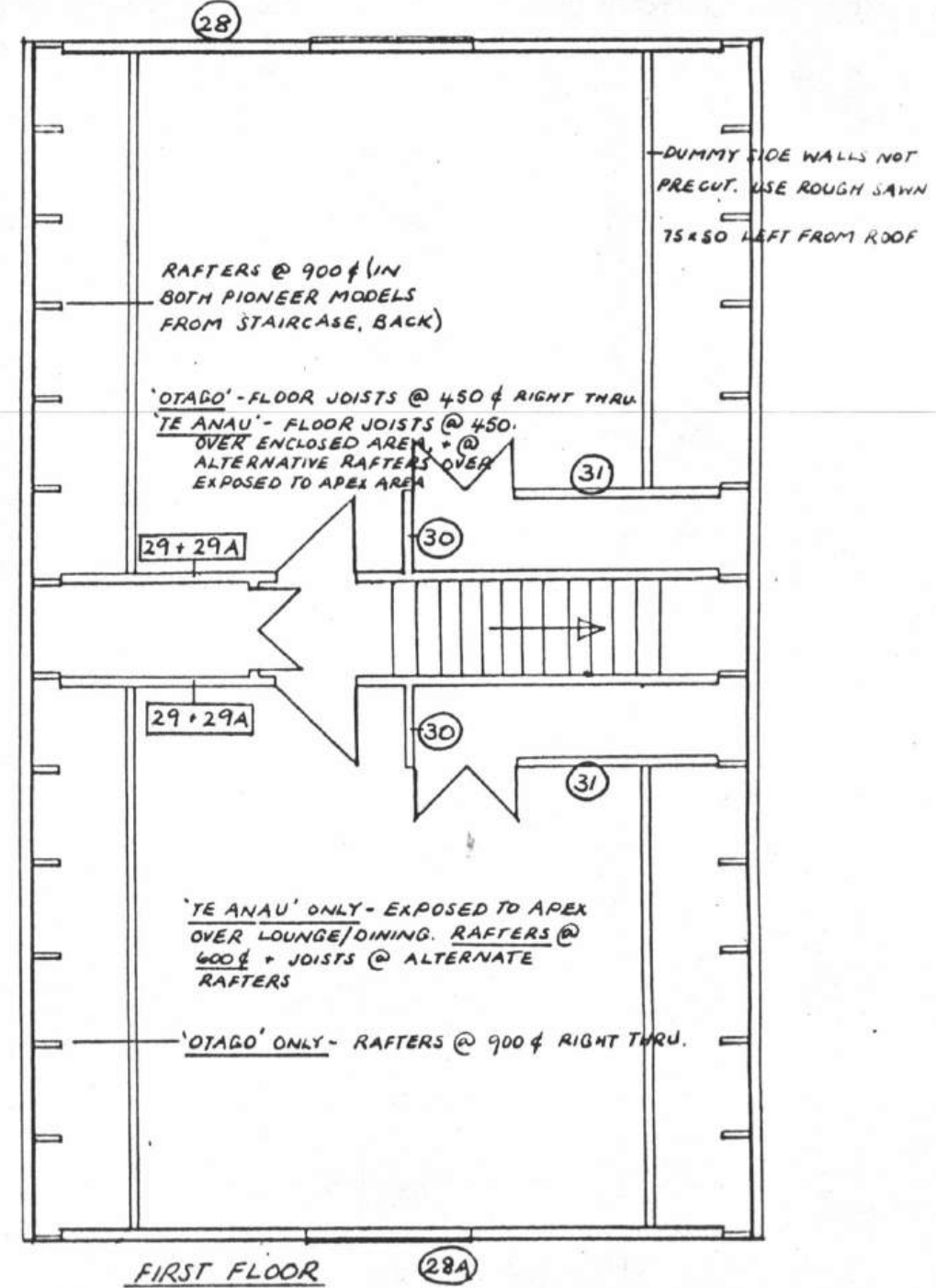
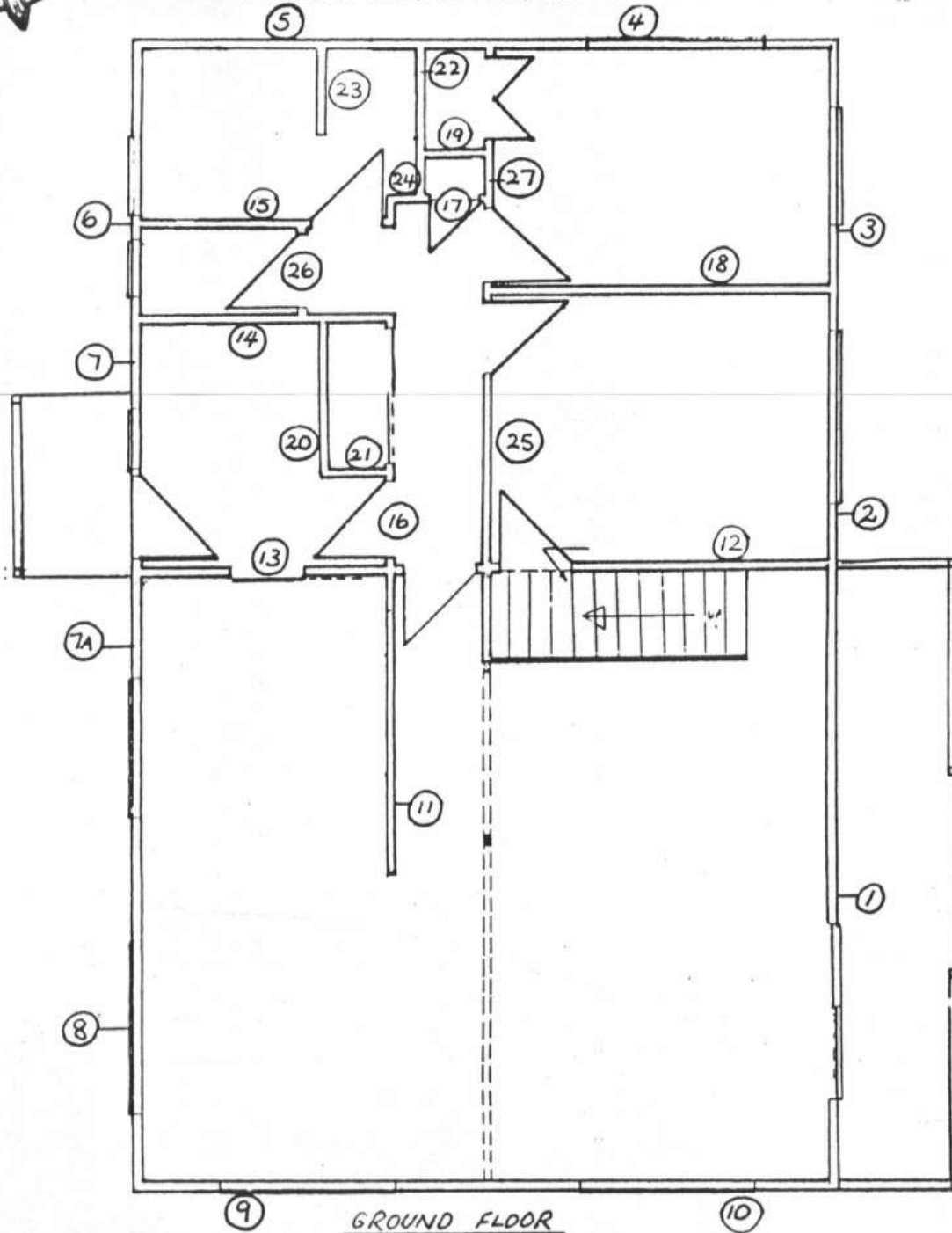
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PIONEER FRAME LAYOUT

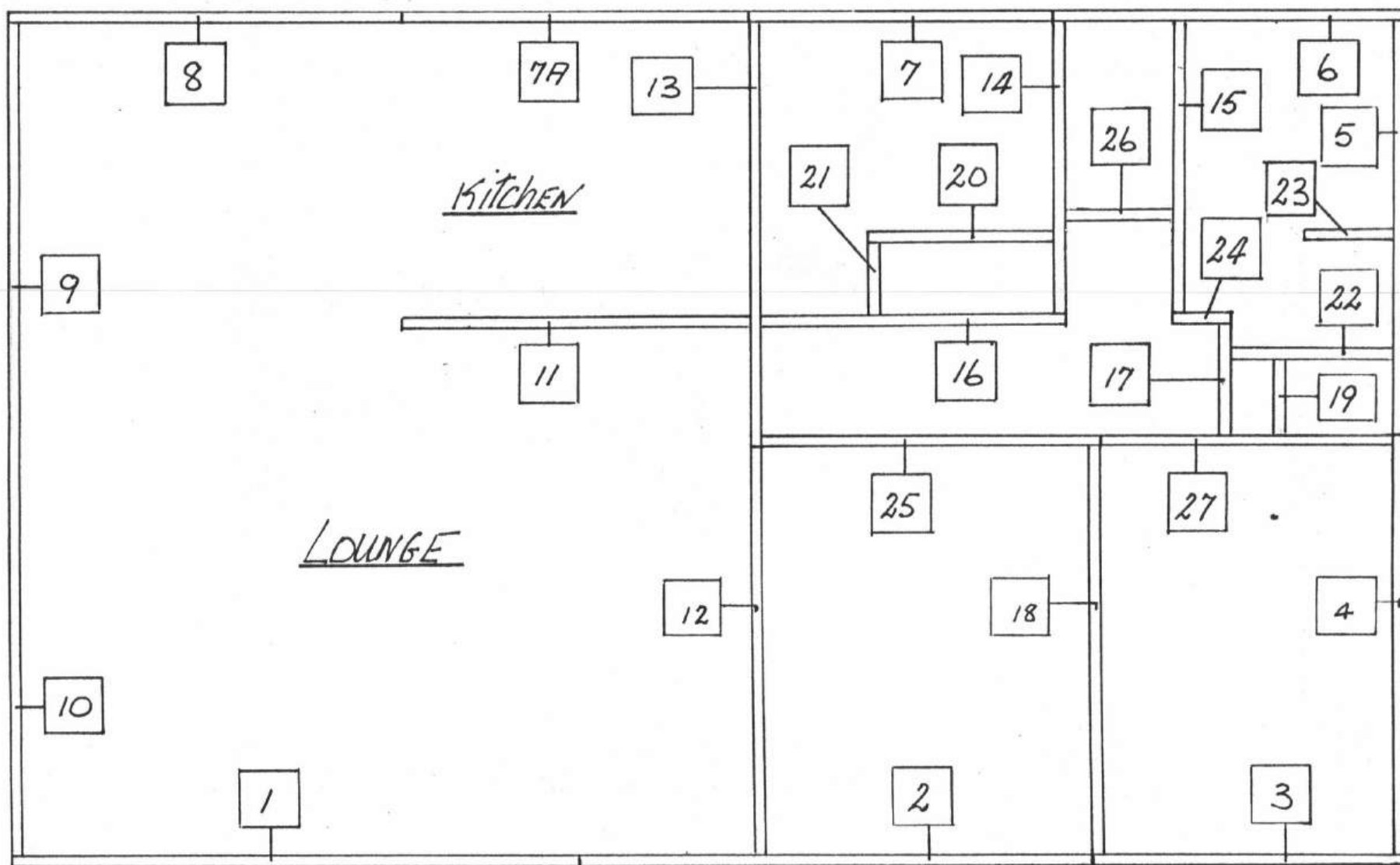
TE ANAU (3 BED)
OTAGO (4 BED)

1



C3+C4

1A



Ground Floor Frame Numbers

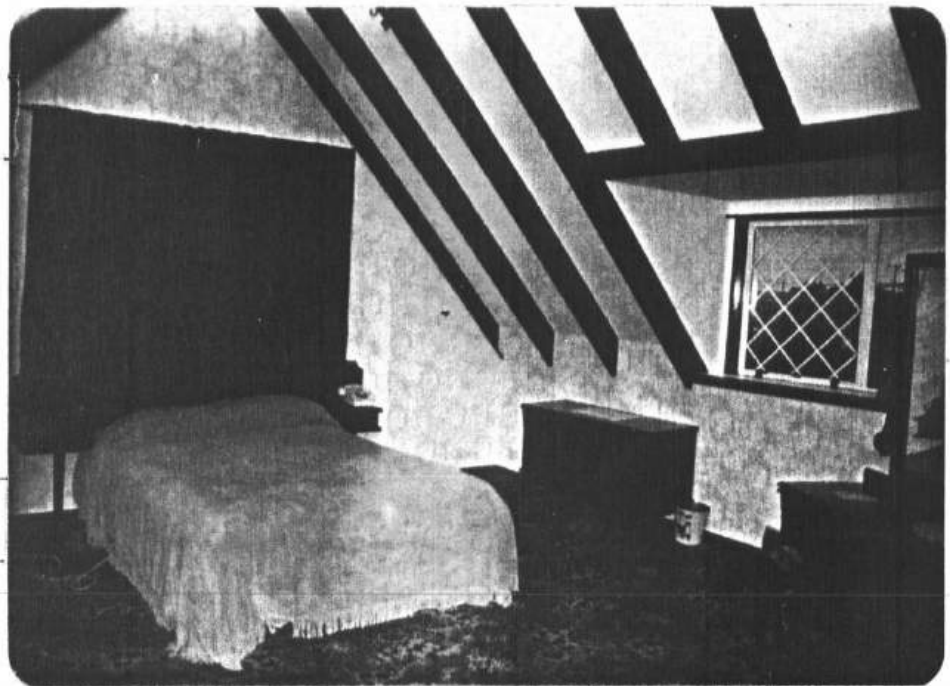
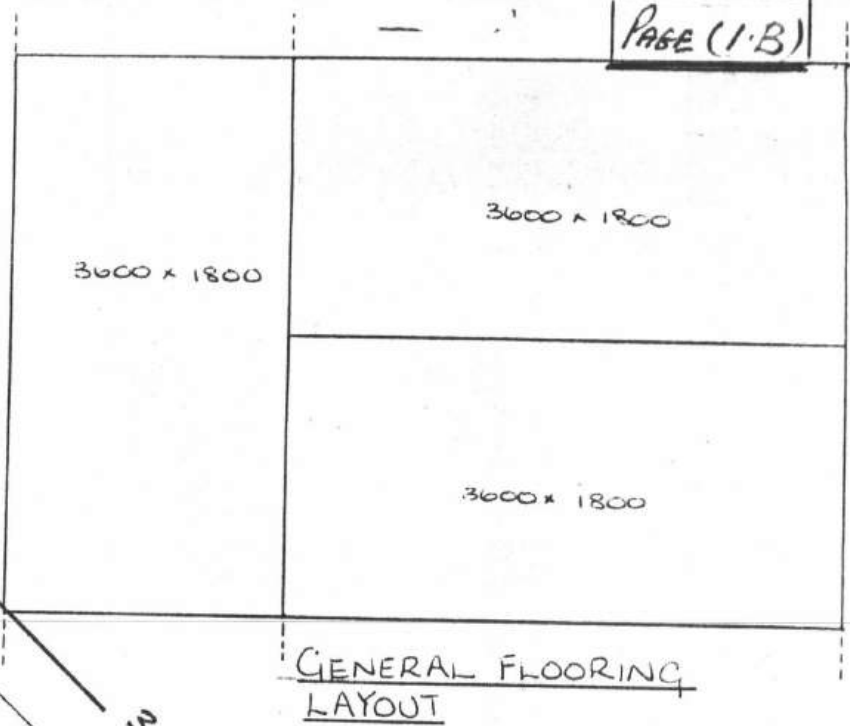


PHOTO SHOWING SUPPORT WALL



50 MM Pryde connector
with 60x12 Bolt

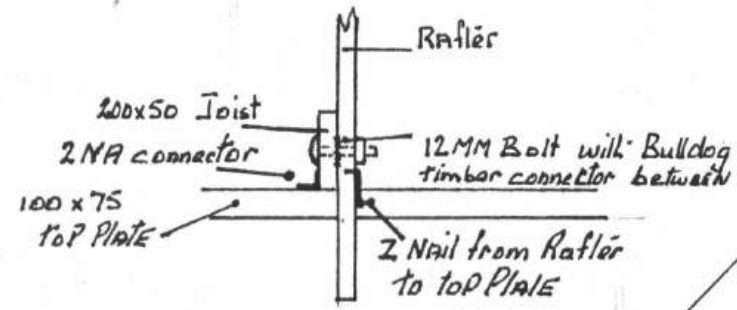
3.8M

1.4

approx 1M

75x50
support
wall in line
with dormers

110x12
bolt



2NA Pryde
connector
from joist
to top plate

110x12 bolt

100x75 top plate

no flooring

flooring

No flooring

SUPPORT WALL DETAIL

COMPONENTS

Top plate	1
Bottom plate	1
No 1	3
No 2	8
No 3	2
No 4	1
No 5	1

No
Dwangs

6	3
B	3
D	3
I	3
J	3
M	3
S	3

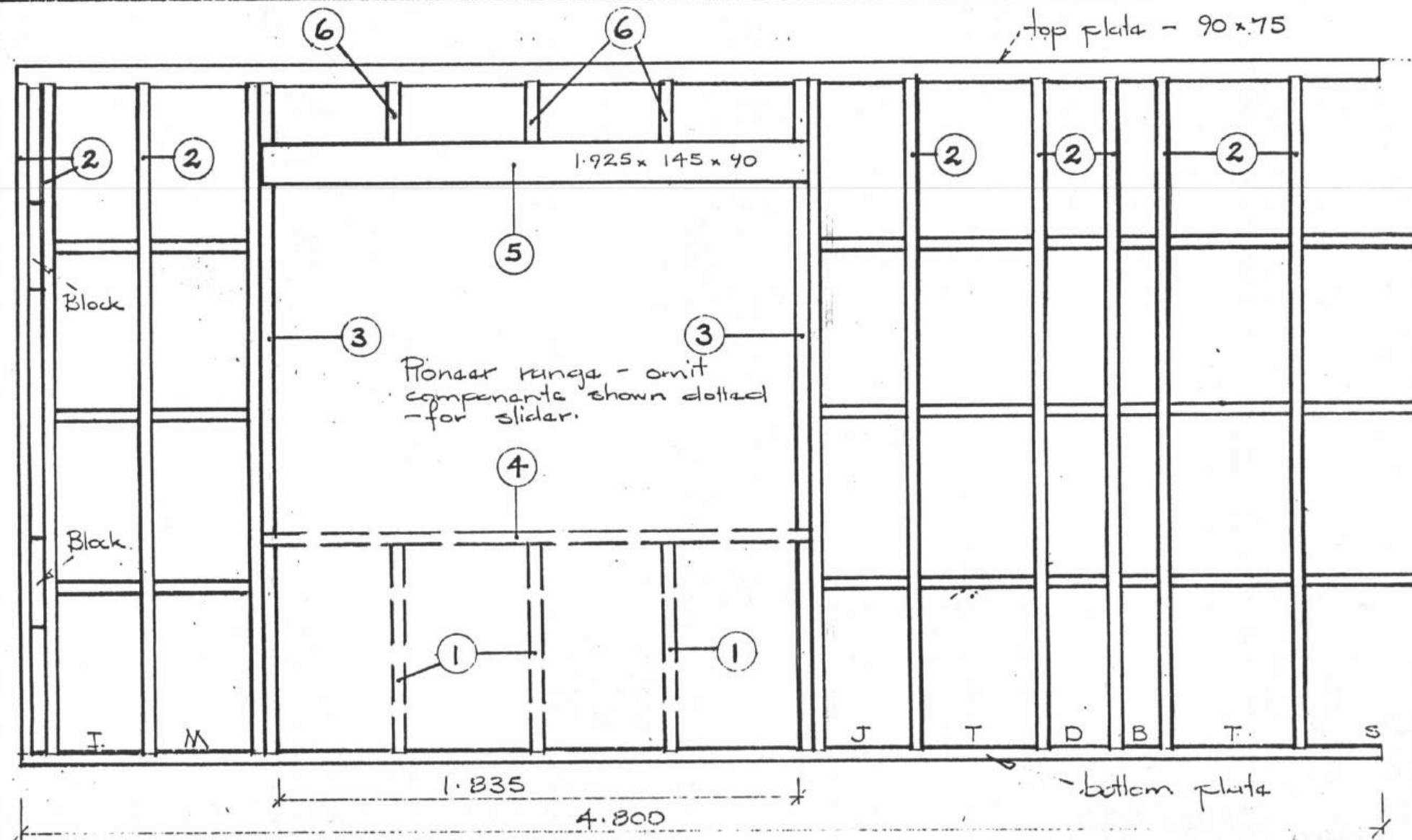


Dwangs T - 6
Blocks - 2

P2

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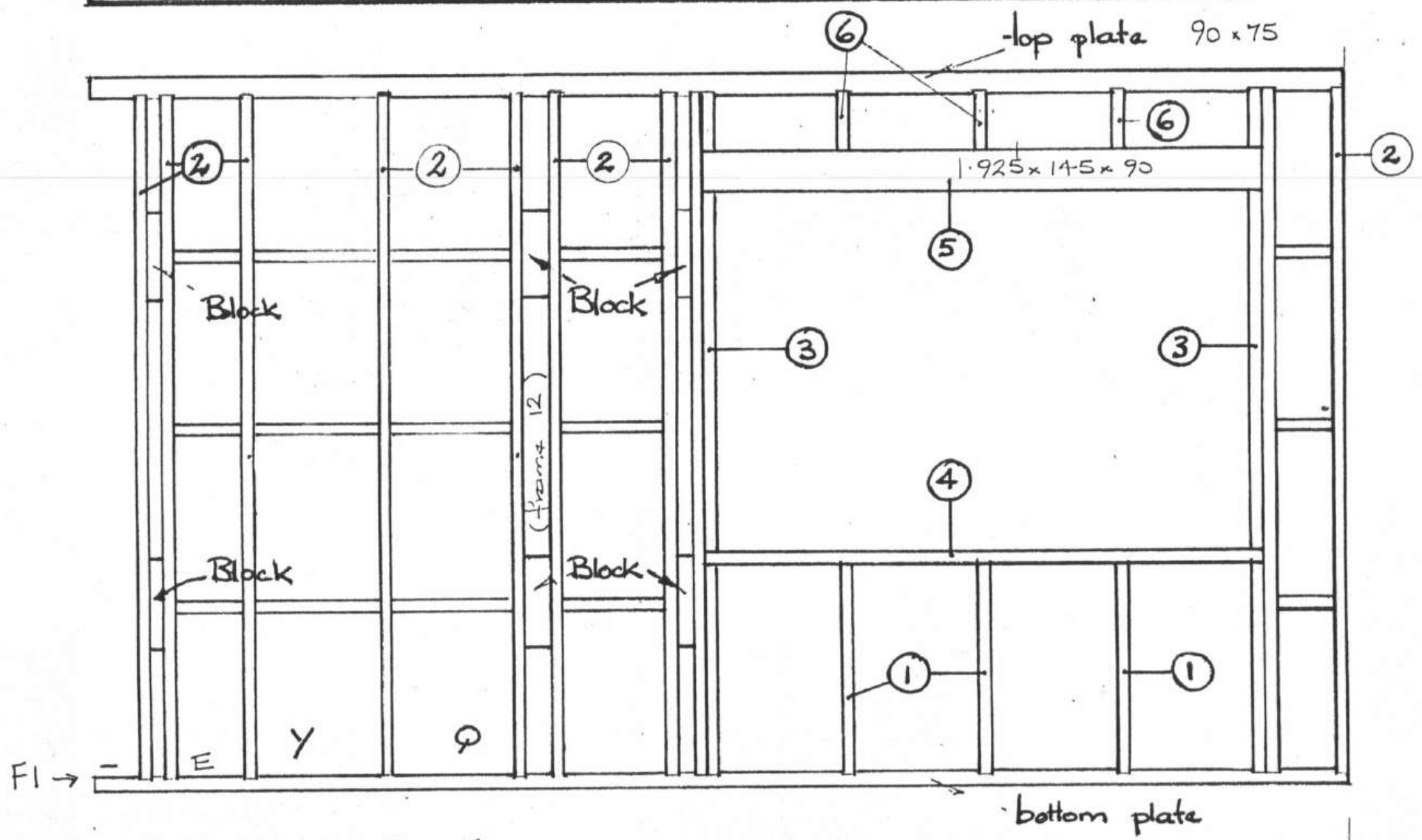


FRAME 1

1:20

COMPONENTS:			
Top plate	1	No	
Bottom plate	1	No 6	3
No 1	3	No 16A	2
No 2	5	No 8	1
No 3	2	Blocks	6
No 4	1	Dwangs C	3
No 5	1	Dwangs E	3

Dwangs O — 3



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FRAME 2

1:20



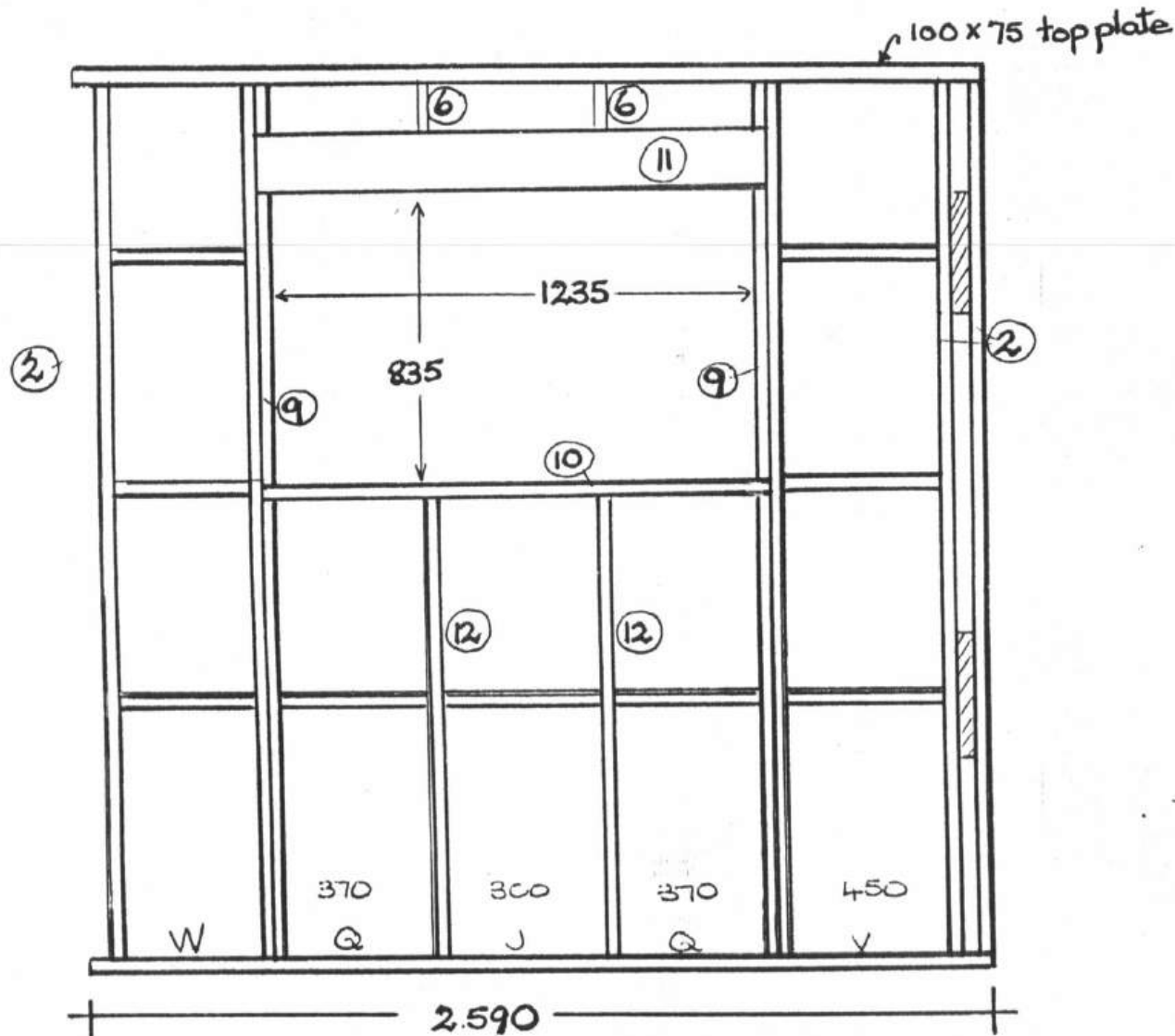
C3 + C4



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PAGE 4



COMPONENTS		
Dwangs	J	1
	Q	2
	V 3 W 3	
Blocks		2
No 2		3
No 9		2
No 10		1
No 11		1
No 12		2
No 6		2

FRAME No. 3

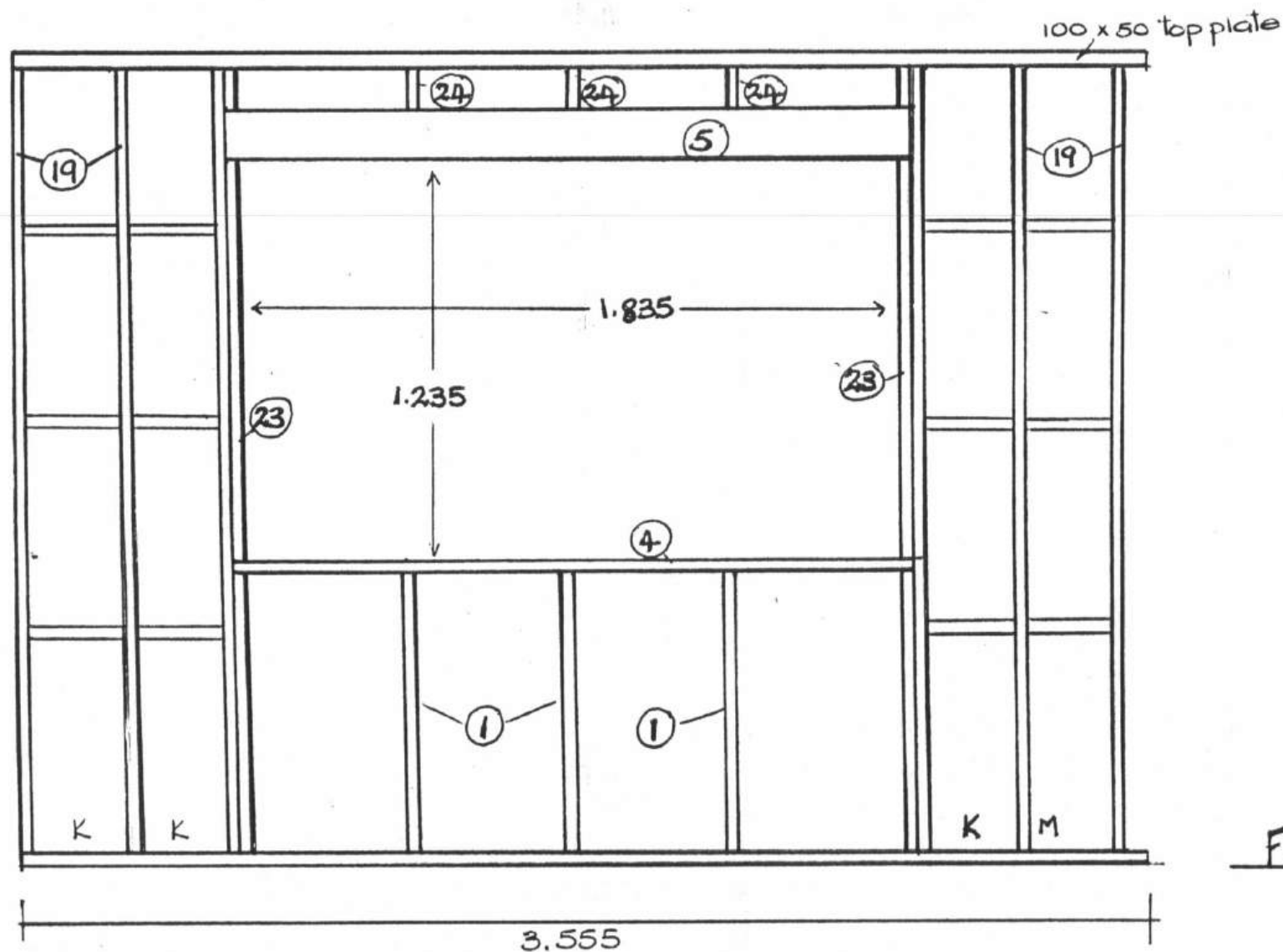
C3 + C4



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PAGE 5



COMPONENTS		
Dwangs	K 9	M 3
NO 1		3
NO 4		1
NO 5		1
NO 19		4
NO 23		2
NO 24		3

FRAME NO. 4

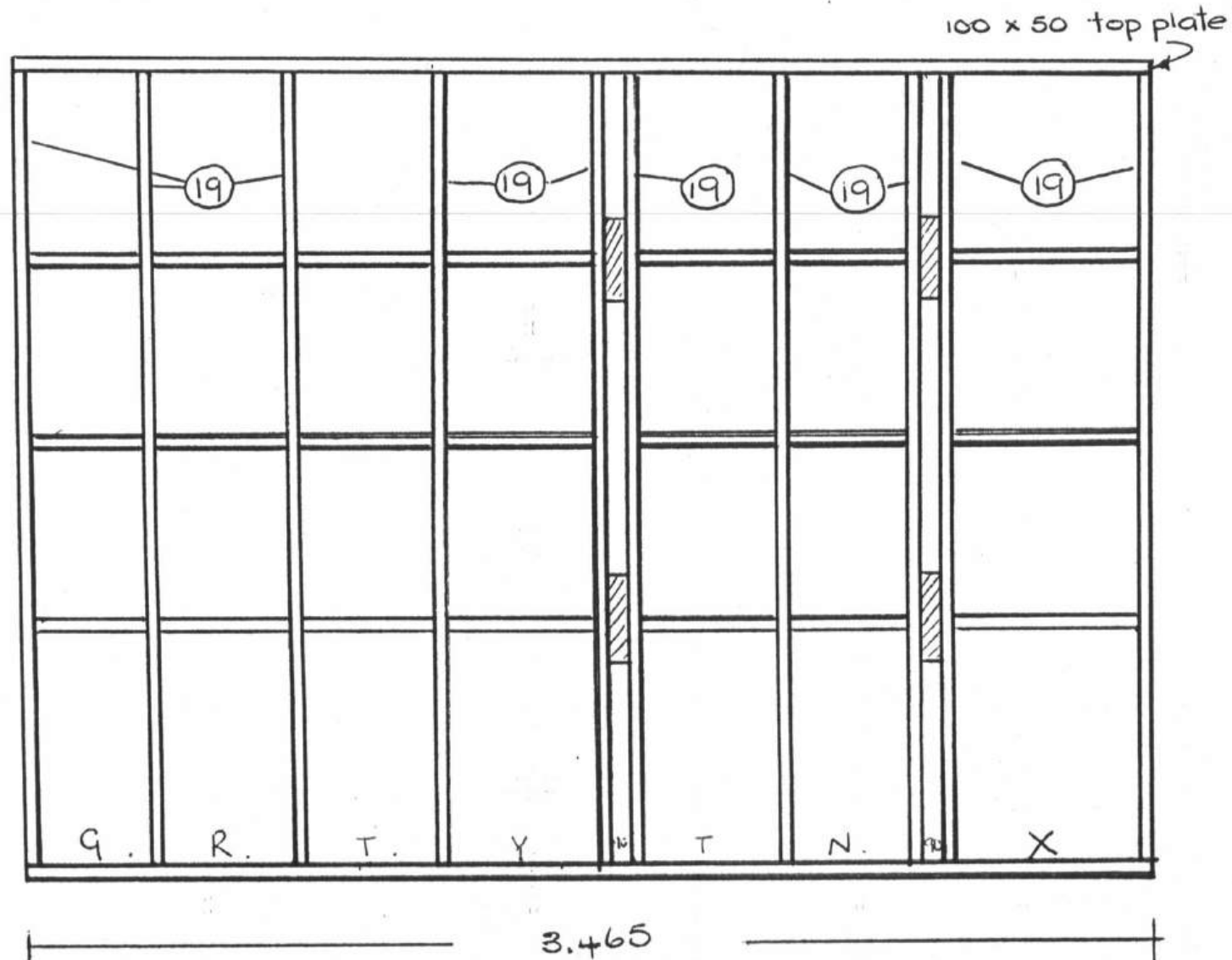
C3+C4



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6

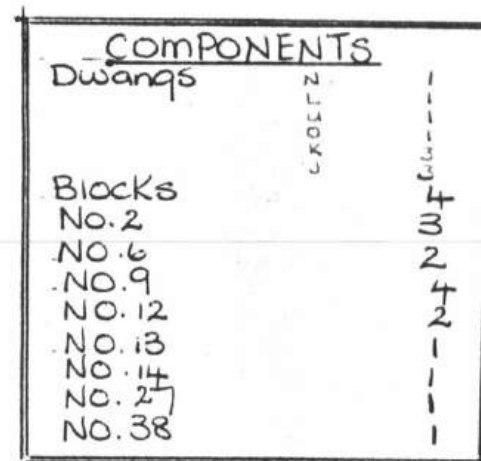


COMPONENTS		
Dwangs	G	5
	N	3
	R	3
	T	6
	X	1
Blocks		10
No. 19		

FRAME NO. 5

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7



FRAME NO. 6

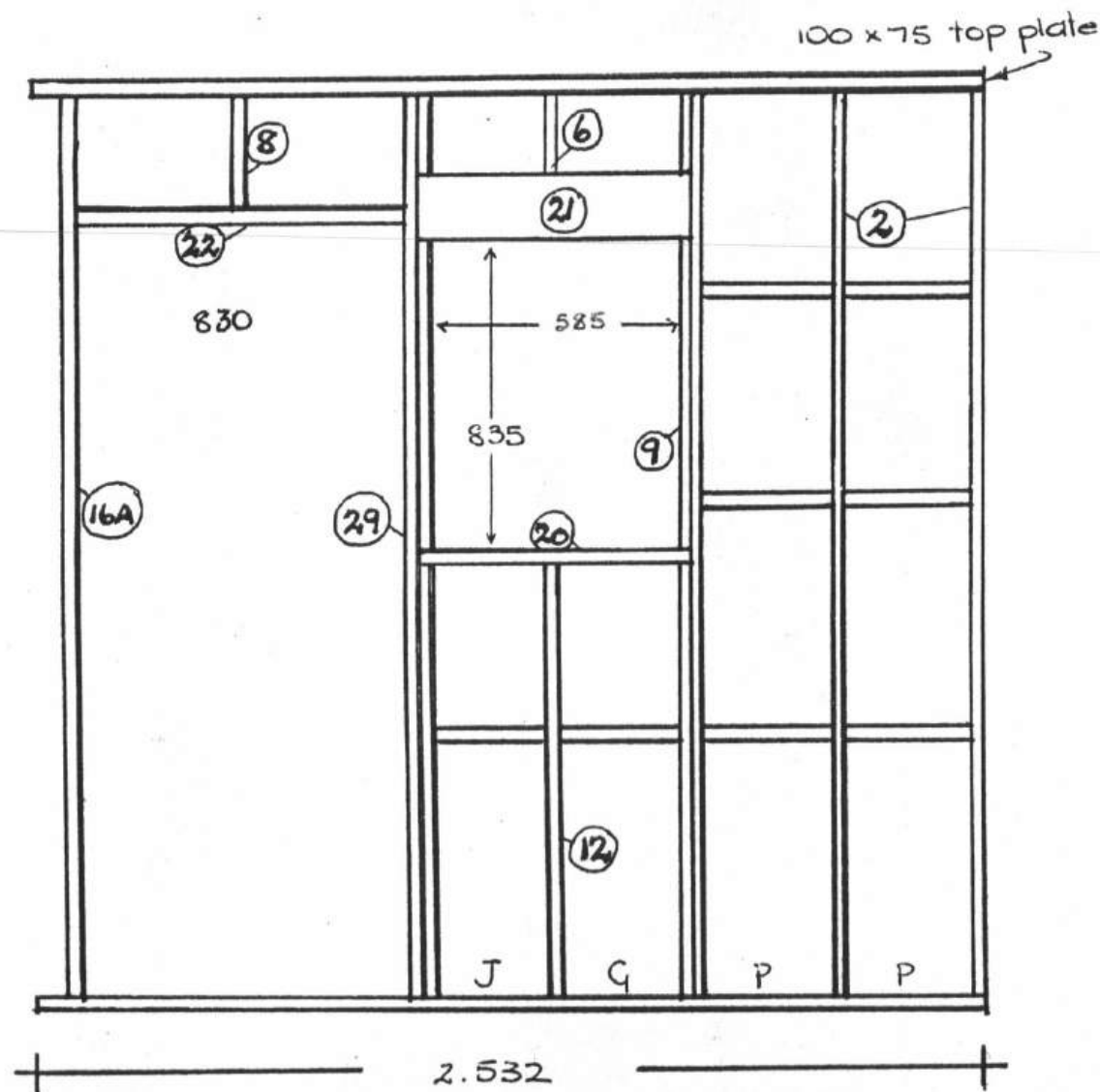
C3+C4



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PAGE NO 8



COMPONENTS		
Dwangs	P	6
	J	1
	G	1
No. 2		2
No. 6		1
No. 9		1
No. 12		1
No. 16A		1
No. 20		1
No. 21		1
No. 22		1
No. 8		1
No. 29		1

FRAME NO. 7

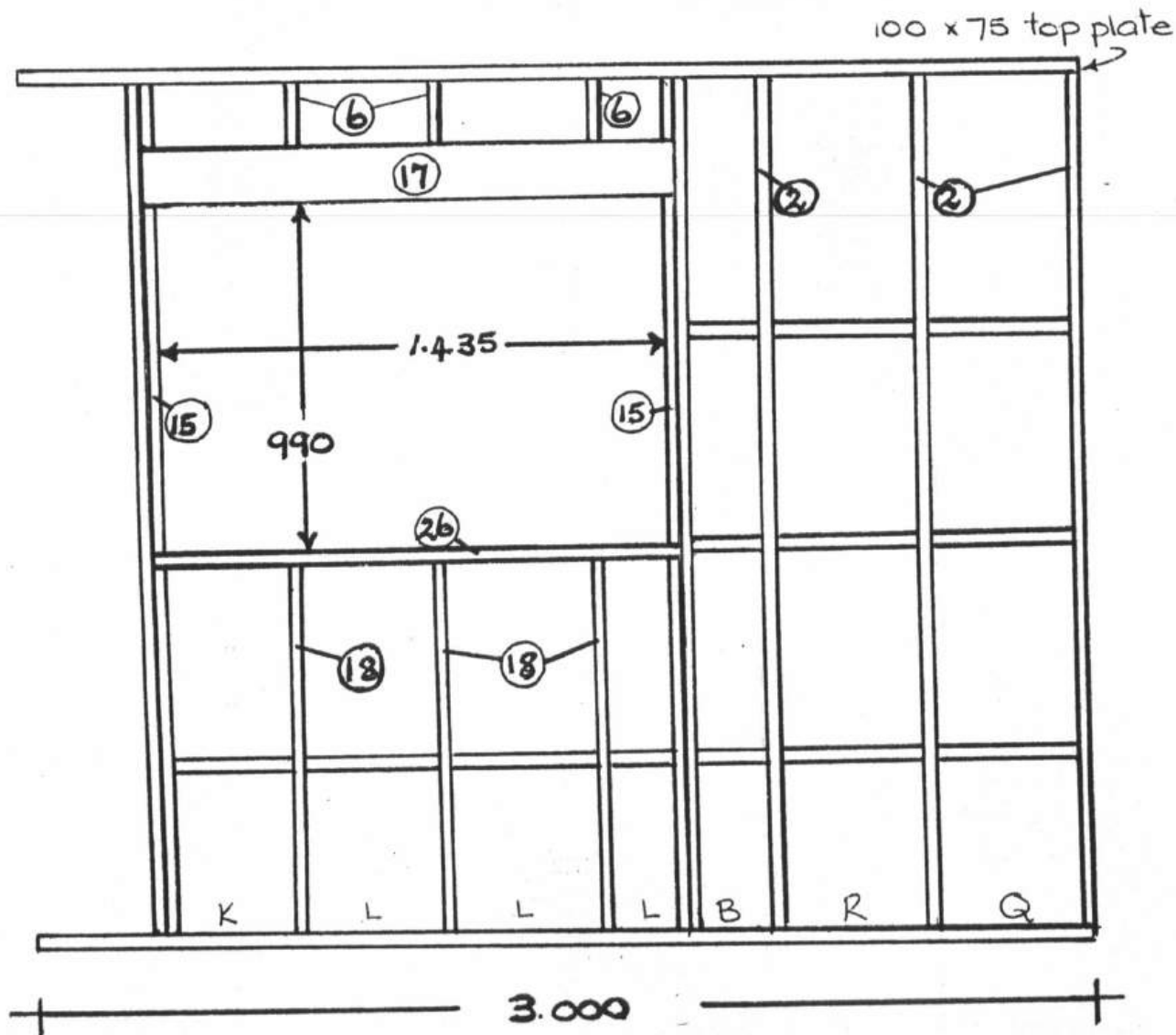
C3+C4



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PAGE 9



COMPONENTS		
Dwangs	L	3
	K	1
	R	3
	B	3
	Q	3
No. 2		3
No. 6		3
No. 15		2
No. 17		1
No. 18		3
No. 26		1

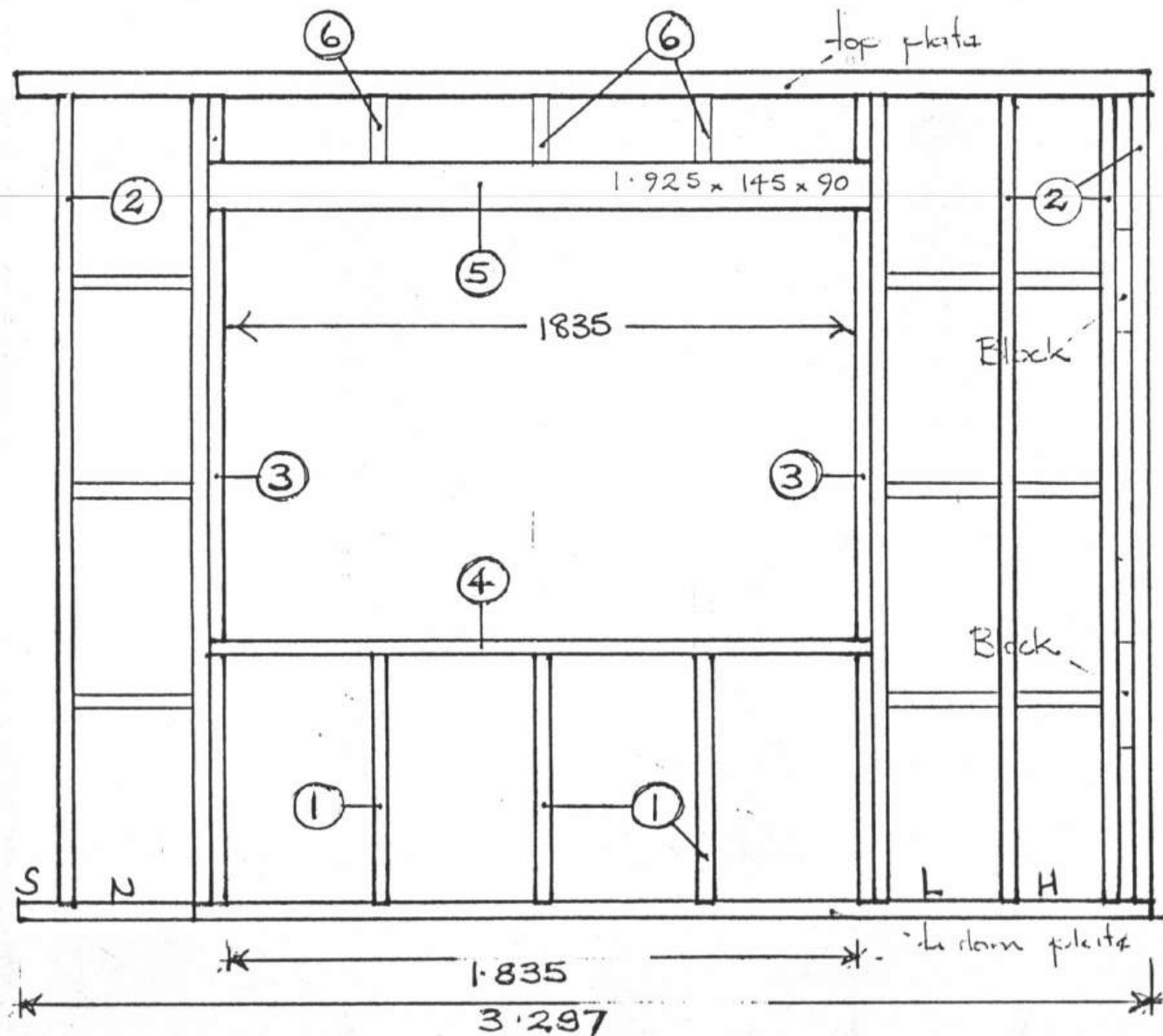
FRAME No 7A



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C3+C4



COMPONENTS :		
Top plates	—	1
Bottom plate	—	1
Nº 1	—	3
Nº 2	—	4
Nº 3	—	2
Nº 4	—	1
Nº 5	—	1
Nº 6	—	3
Dwangs	L	3
	N	3
	H	3
Blocks.	—	2

FRAME 8

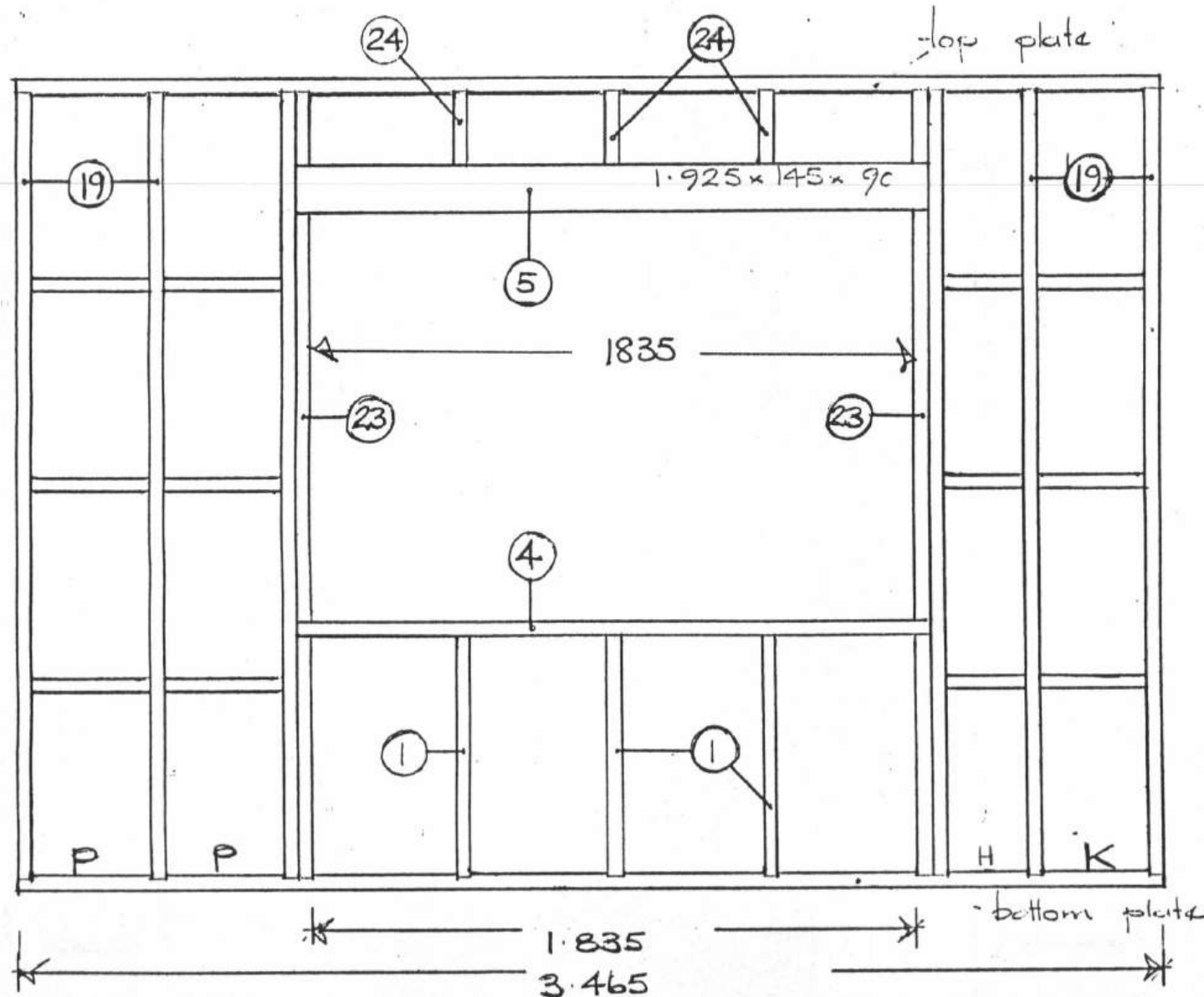
1:20



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C3+C4



COMPONENTS :

top plate	1
bottom plate	1
No 1	3
No 4	1
No 5	1
No 23	2
No 24	3
No 19	4
Dwangs K	3
H	3
H	3

FRAME 9 1:20

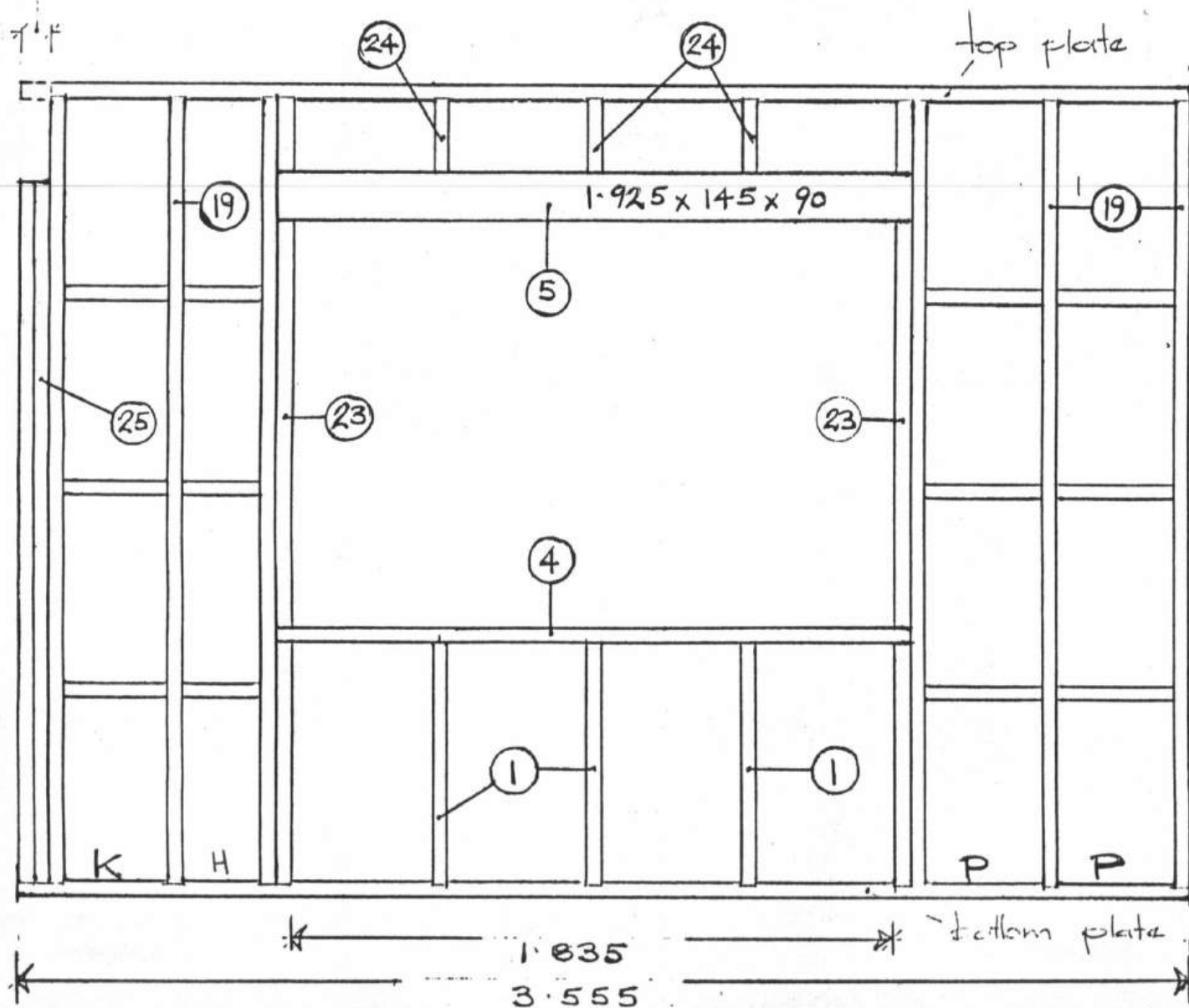


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C3 + C4

- cut out top plate
for beam



COMPONENTS:

top plate	1
bottom plate	1
Nº 1	3
Nº 4	1
Nº 5	1
Nº 19	3
Nº 23	2
Nº 24	3
Nº 25	1
Diagonals H	3
K	3
P	6

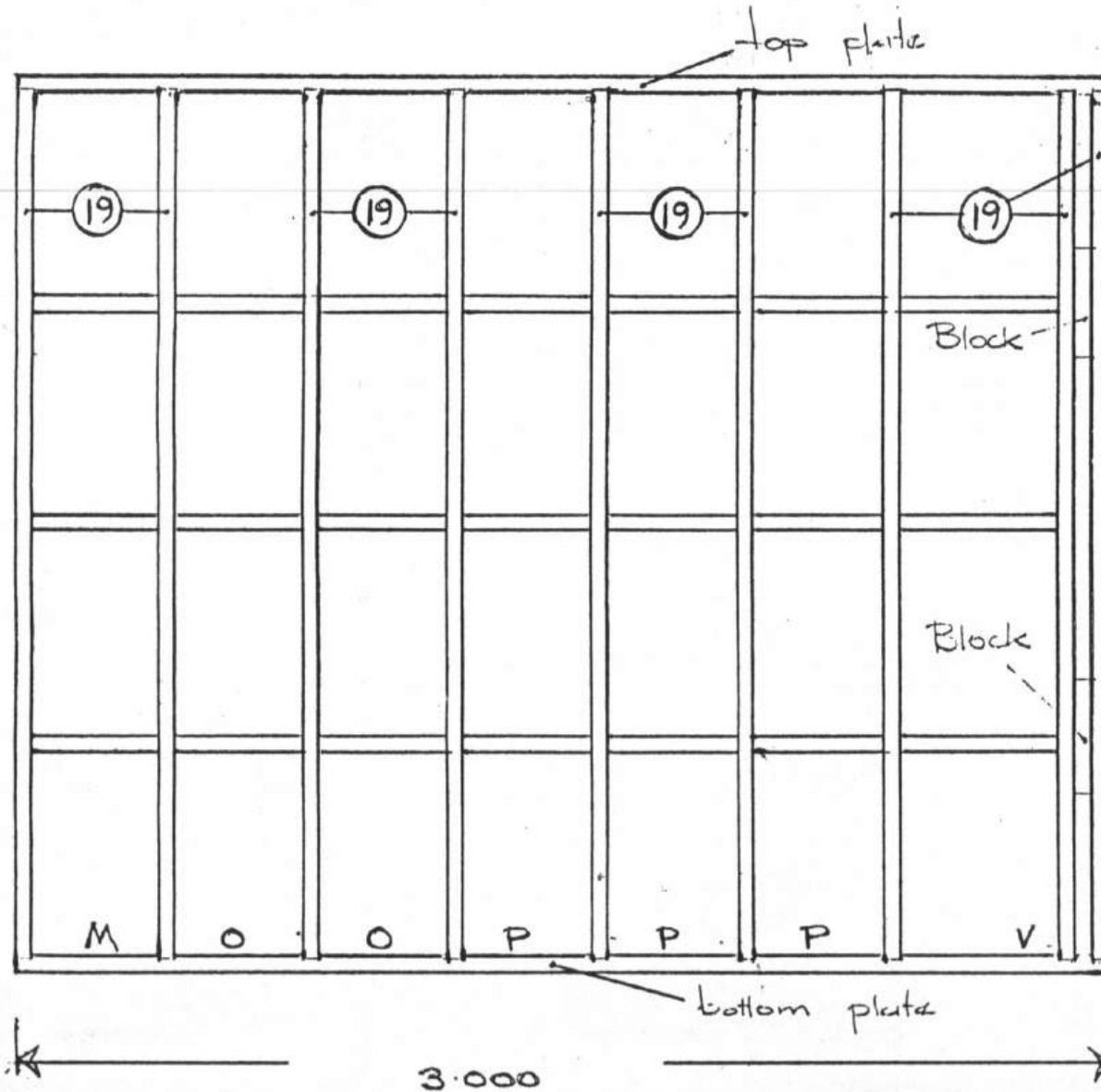
FRAME 10 1:20



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C3+C4



COMPONENTS:			
top plate	—	1	
bottom plate	—	1	
dwangs	M	—	3
	O	—	6
	P	—	9
	V	—	3
blocks	—	2	
Nº 19	—	9	

FRAME 11 1:20

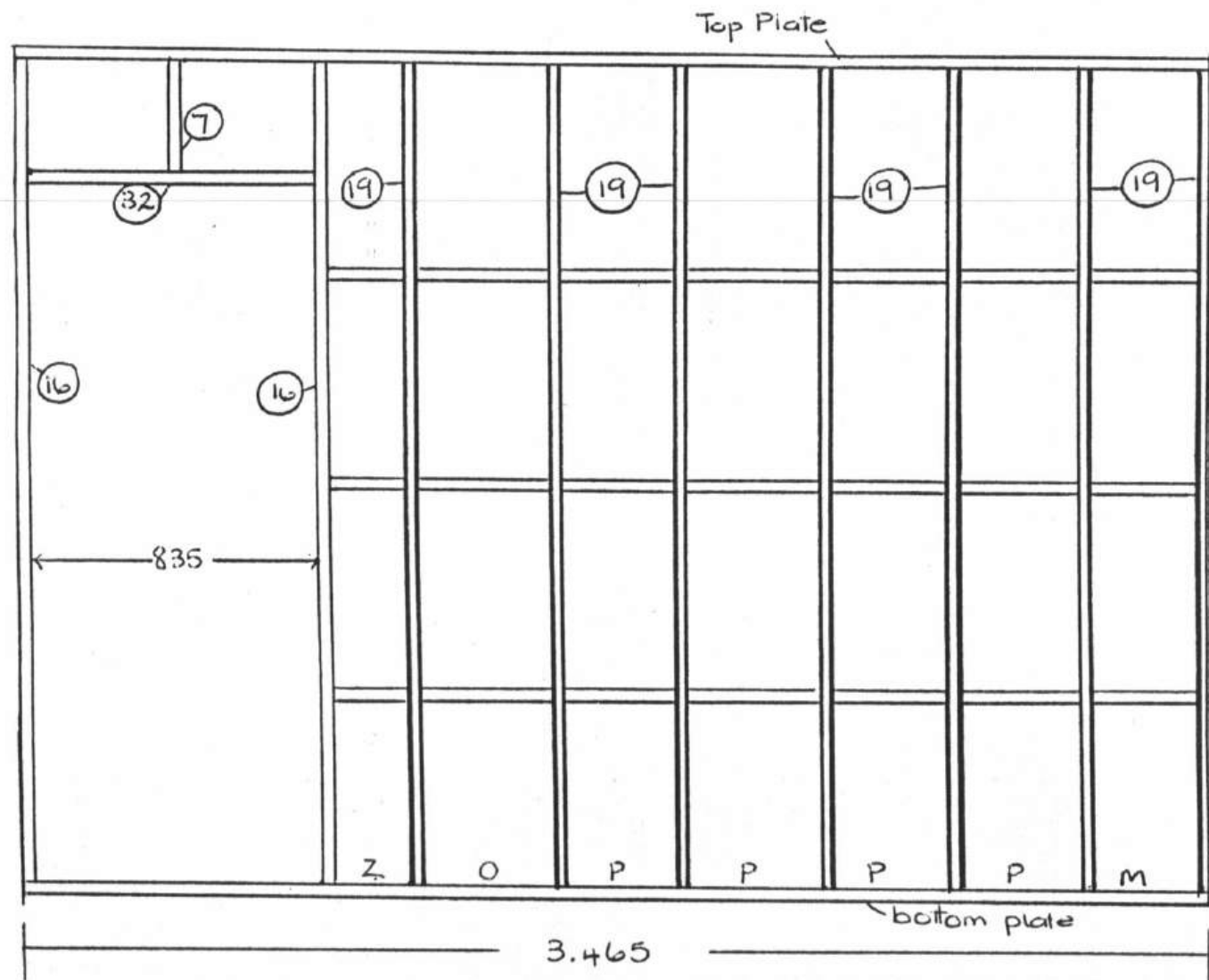


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C3+C4

14



COMPONENTS		
Dwangs	2	3
	P	15
	OM	3
No. 19		1
No. 16		2
No. 7		1
No. 32		1

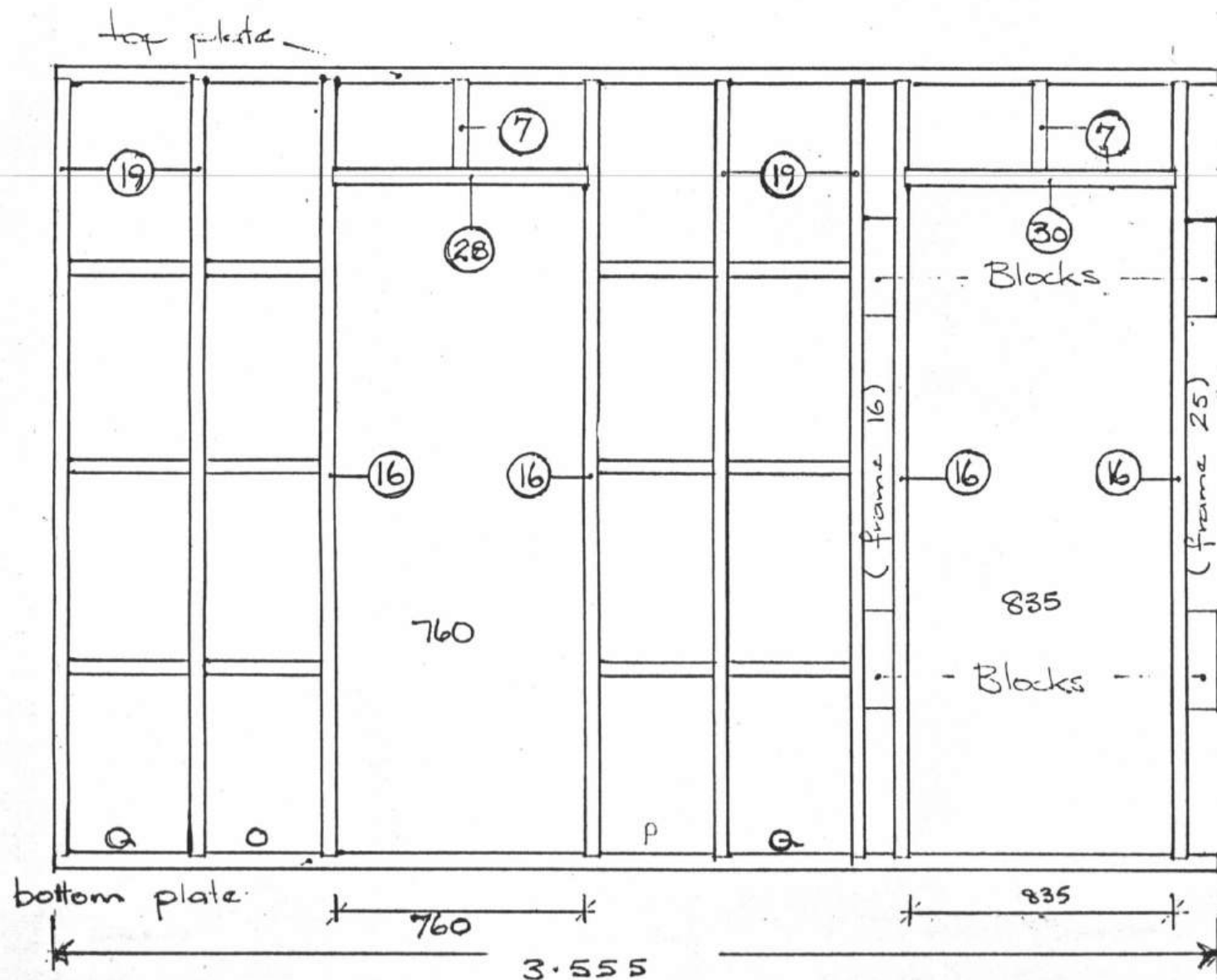
FRAME 12



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C3 + C4



COMPONENTS :

top plate	1
bottom plate	1
N° 7	2
N° 16	4
N° 19	4
N° 28	1
N° 30	1
Blocks	4
Dwangs O	3
Q	6
P	3

15

FRAME 13 1:20

C3 + C4

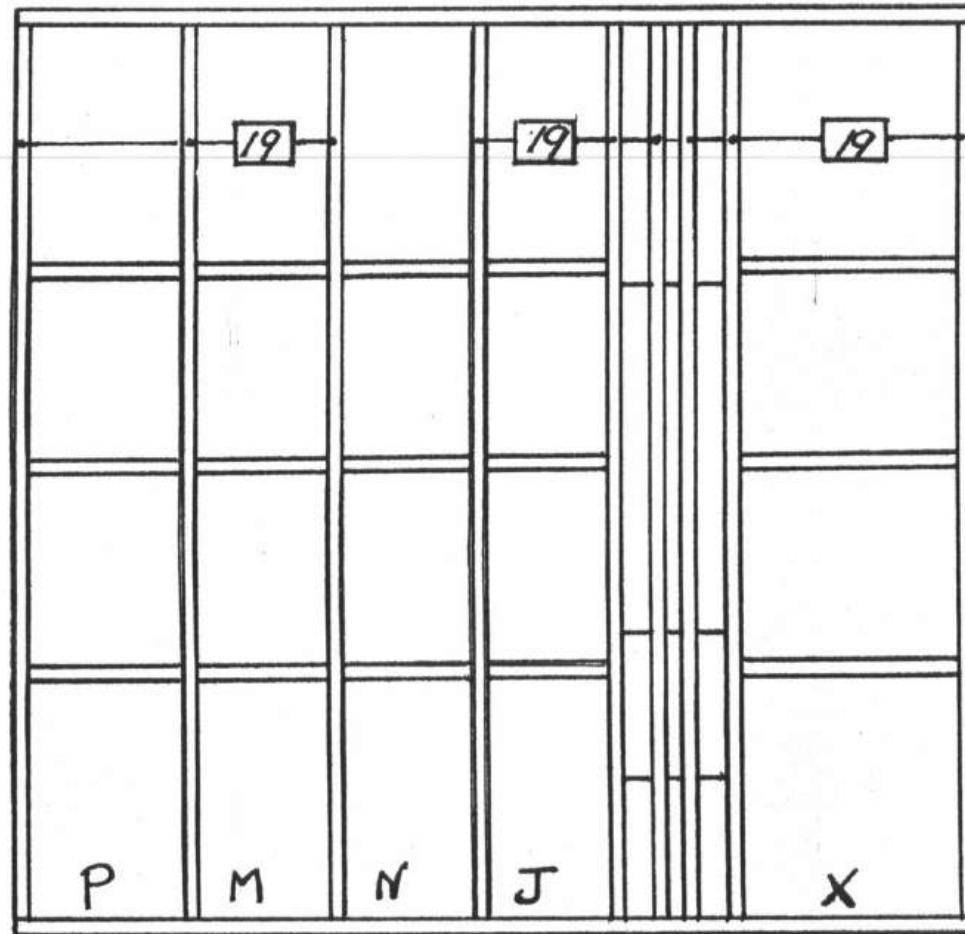


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"McRaeway Homes", Rothwell Street, Timaru

16



Components	
No 19	9
Blocks	6
DWANGS	
I	3
M	3
N	3
P	3
X	3

FRAME NO 14

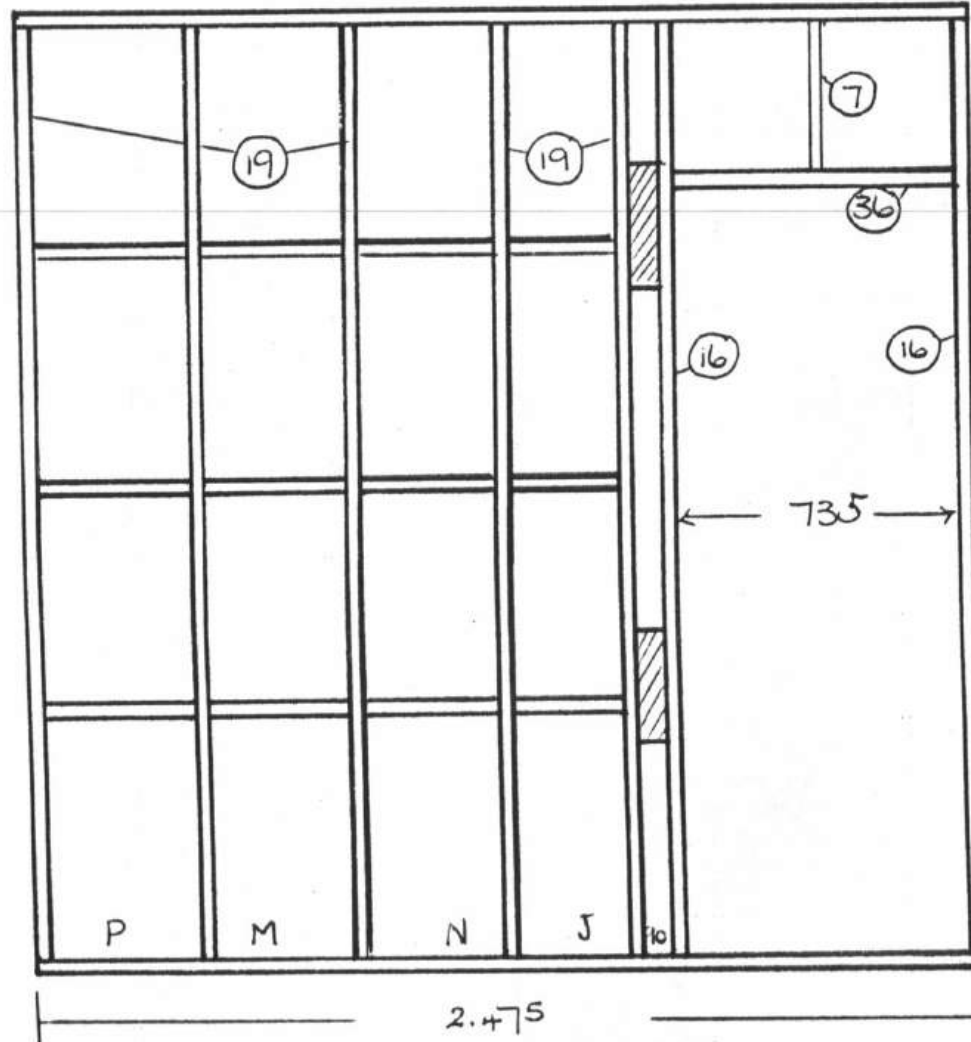


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C3+C4

17



COMPONENTS

Dwangs	P	3
	N	3
	M	3
	J	3
Blocks		2
	No. 19	5
	No. 16	2
	No. 7	1
	No. 36	1

FRAME NO. 15

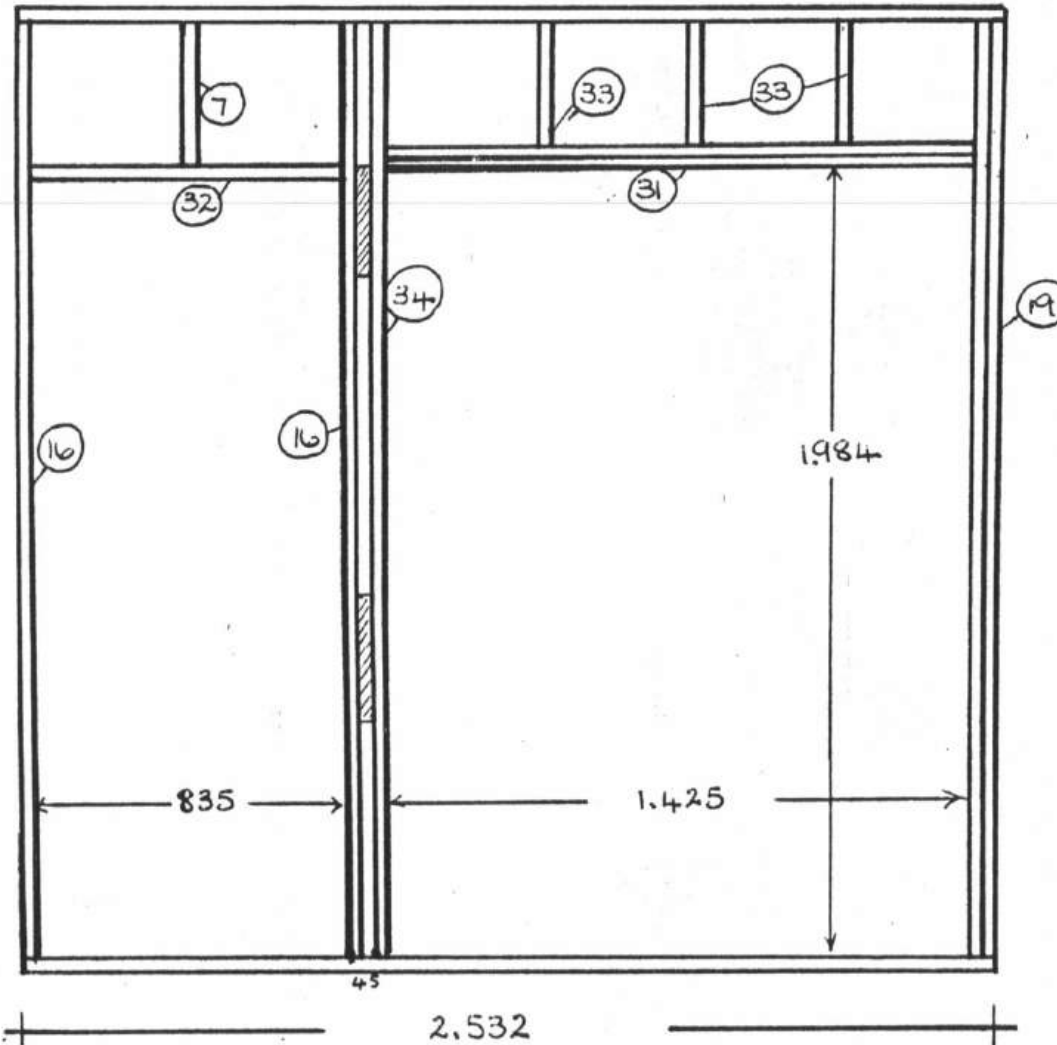


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C3+C4

PAGE 18



Components

Blocks	2
No. 19	2
No. 7	1
No. 16	2
No. 31	1
No. 32	1
No. 33	3
No. 34	2

FRAME 16

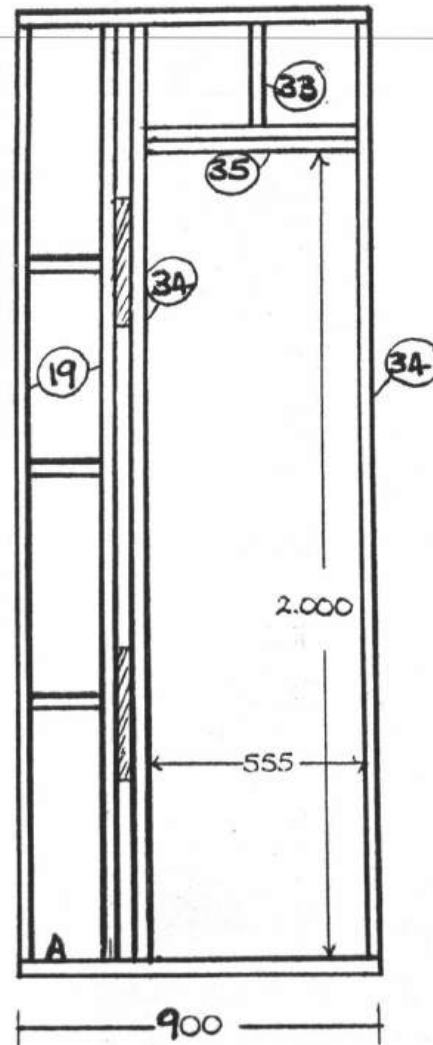


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C3+C4

Page 19



COMPONENTS

Dwangs	A	3
Blocks		2
No. 19		2
NO. 34		2
NO. 33		1
NO. 35		2

FRAME 17



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C3 + C4

PAGE 20

19	19	19	19	19	19	19	19
u	x	o	p	p	l	p	q

3.465

COMPONENTS	
Dwangs u	3
x	3
o	3
p	9
l	3
q	3
No. 19	9

FRAME 18

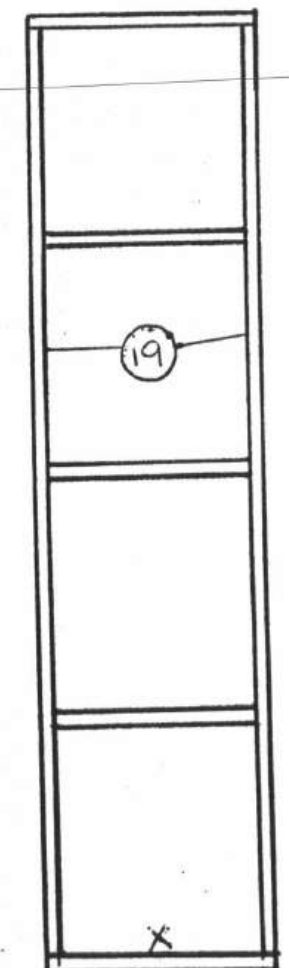


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PAGE 21

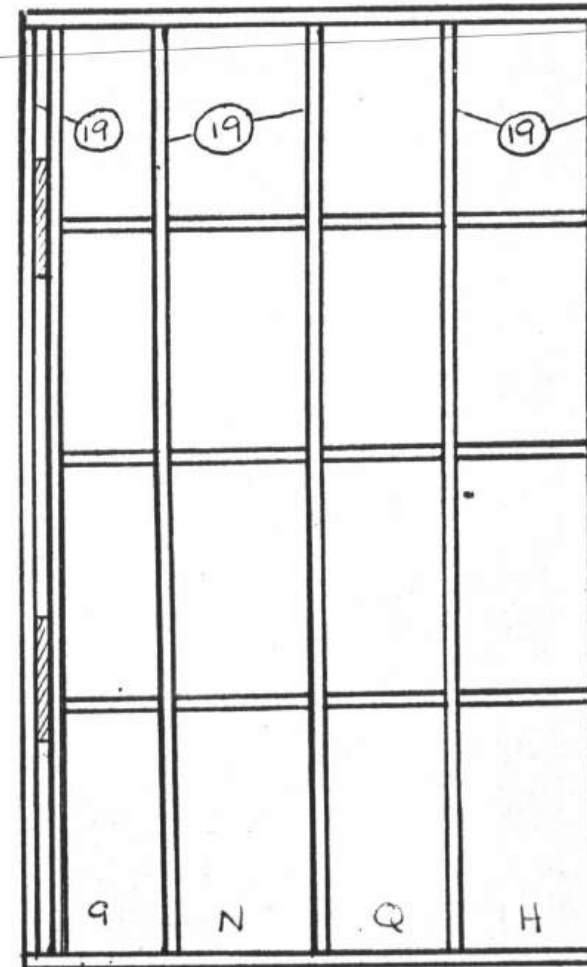
C3+C4



COMPONENTS		
Dwangs	X	3
No. 19		2

FRAME 19

600



COMPONENTS		
Dwangs	G	3
	N	3
	H	6
No. 19		6
Blocks		2

FRAME 20

1518

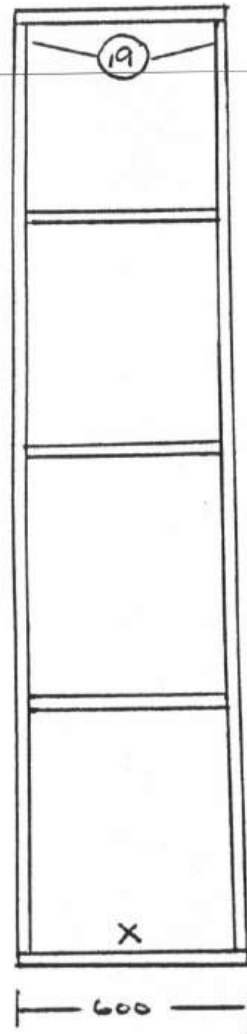


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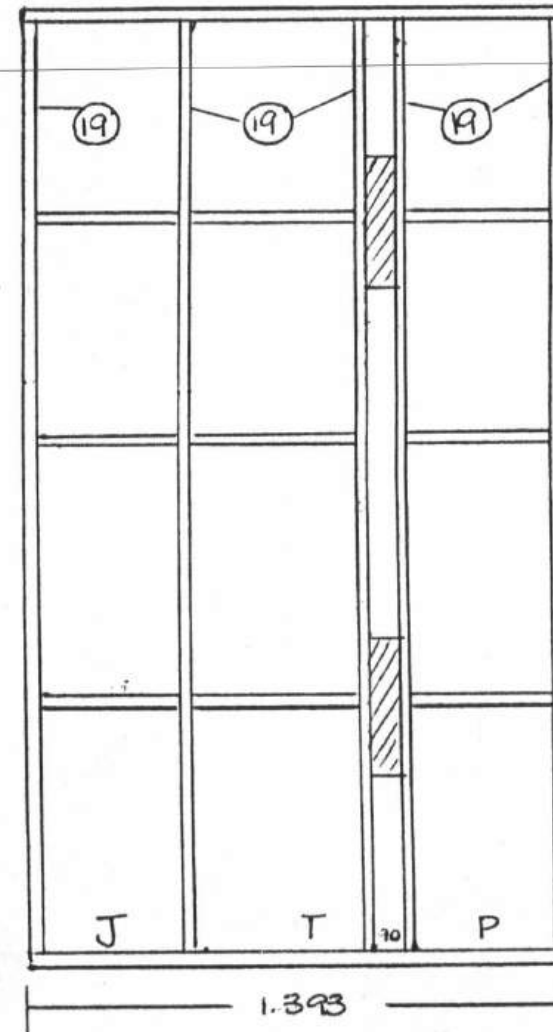
22

C3+C4



COMPONENTS		
Dwangs	X	3
No. 19		2

FRAME 21



COMPONENTS		
Dwangs	J	3
	T	3
	P	3
Blocks		2
No. 19		5

FRAME 22

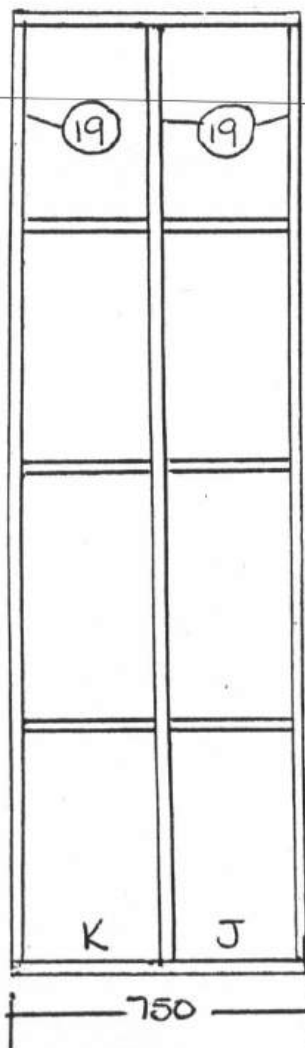


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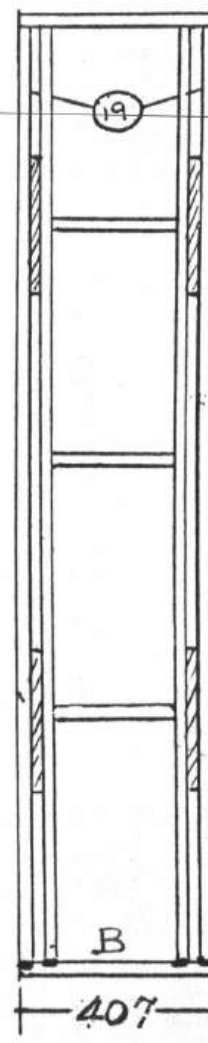
23

C3+C4



<u>COMPONENTS</u>		
Dwangs	K	3
	J	3
No. 19		3

FRAME 23



<u>COMPONENTS</u>		
Dwangs	E	3
Blocks		4
No. 19		4

FRAME 24

$$C_3 + C_4$$



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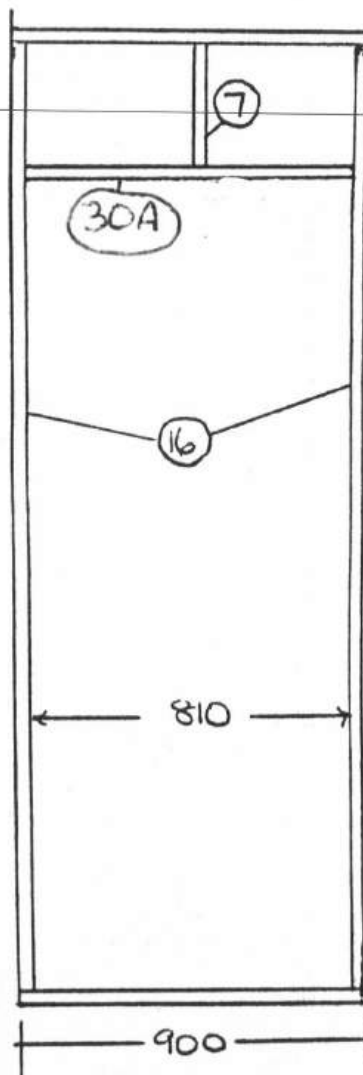
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C3+C4

COMPONENTS

NO. 7	1
NO. 16	2
NO. 19	2
NO. 33	1
NO. 34	2
NO. 37	1
Dwangs	3
Blocks	4

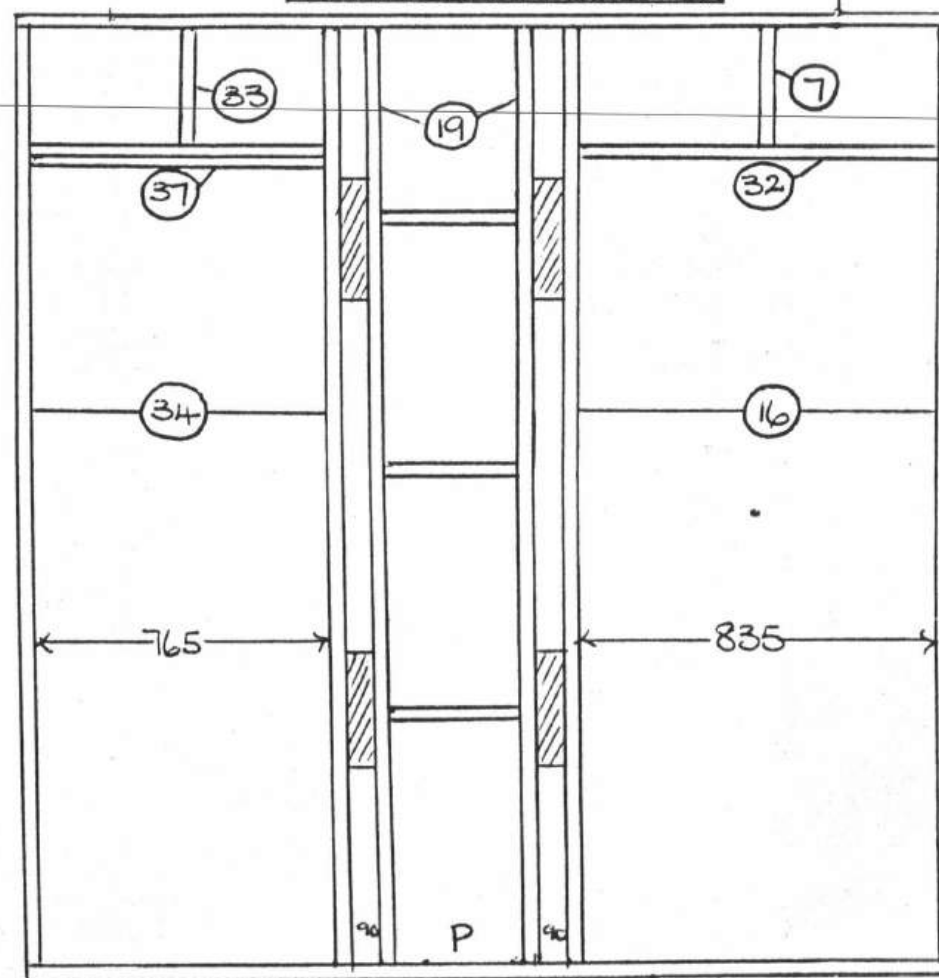
25



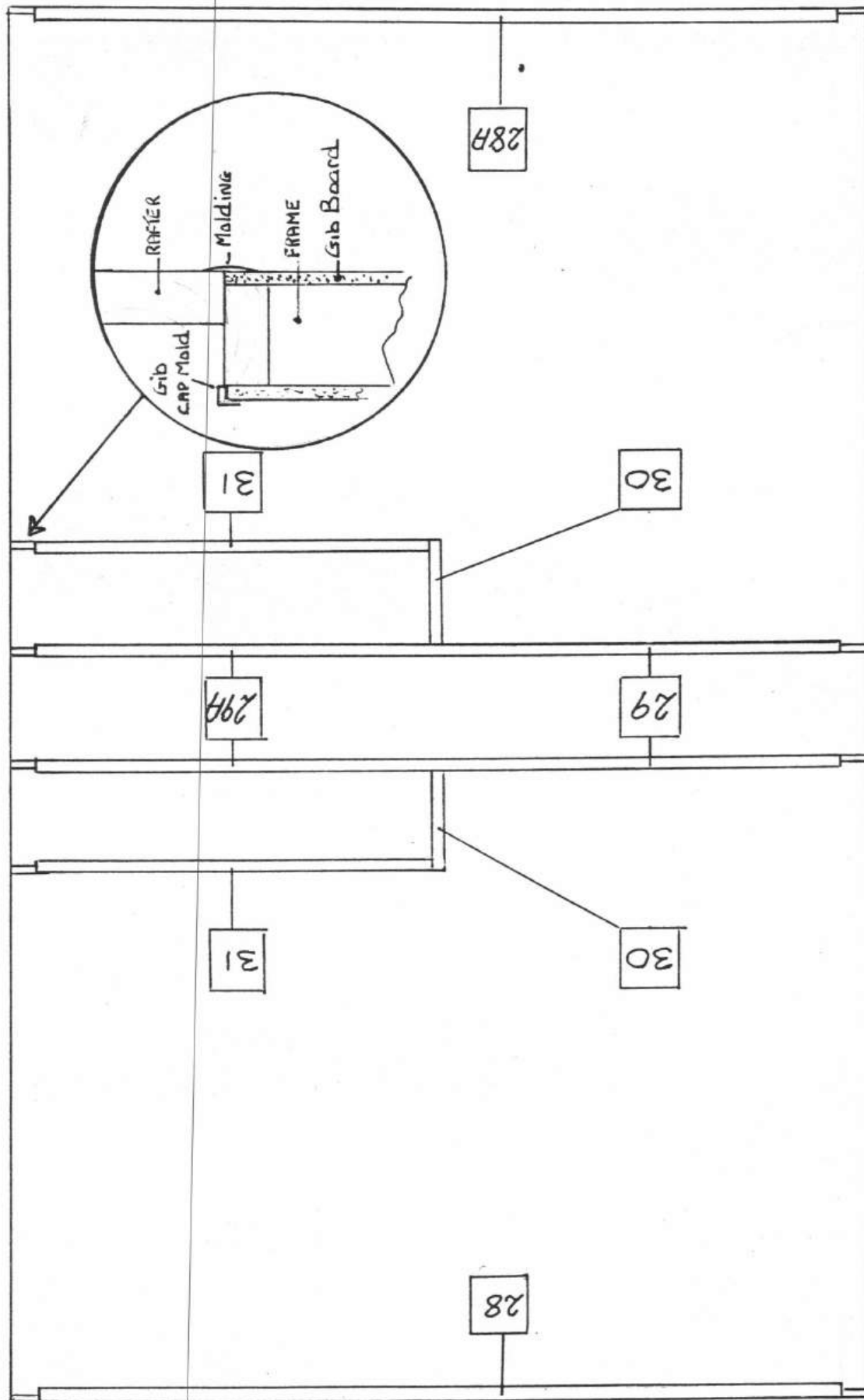
COMPONENTS

NO. 7	1
NO. 16	2
NO. 30	1

FRAME 26



FRAME 27



FIRST FLOOR FRAME NUMBERS

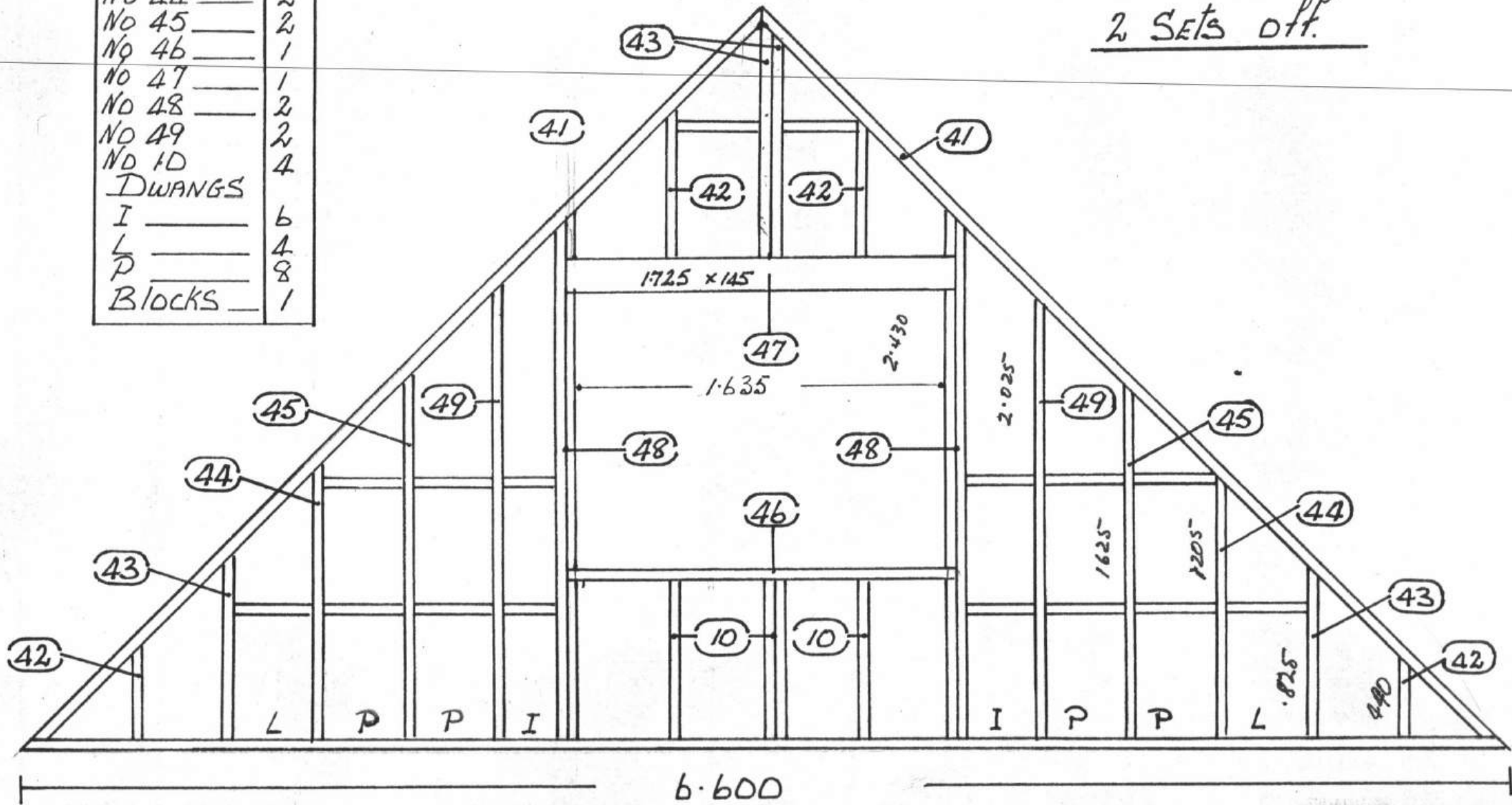


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COMPONENTS		
No 41	2	
No 42	4	
No 43	4	
No 44	2	
No 45	2	
No 46	1	
No 47	1	
No 48	2	
No 49	2	
No 10	4	
DWANGS		
I	6	
L	4	
P	8	
Blocks	1	

FRAMES 28 + 28A
2 SETS off.





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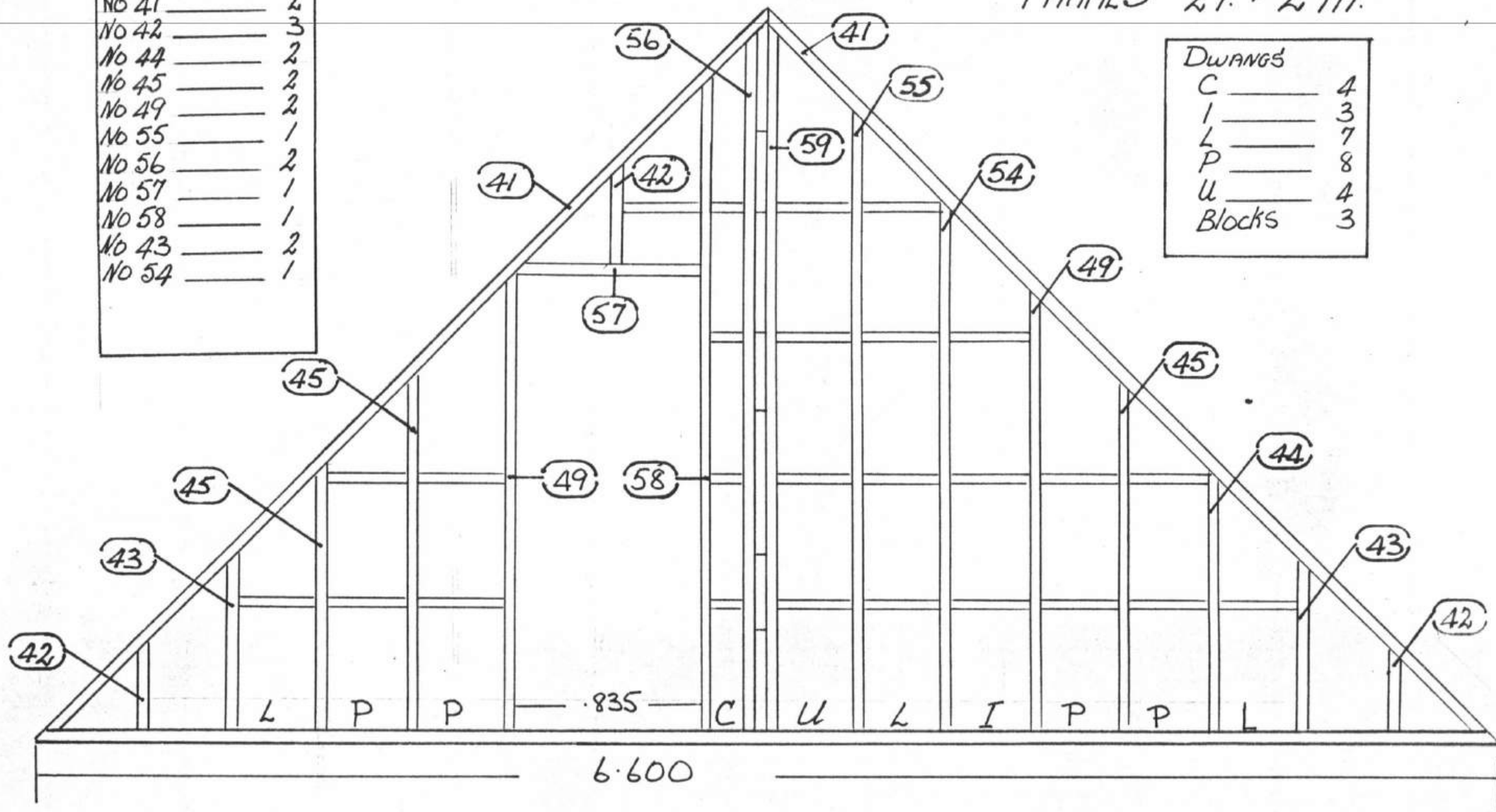
PAGE 27

C3 + C4

Components	
No 41	2
No 42	3
No 44	2
No 45	2
No 49	2
No 55	1
No 56	2
No 57	1
No 58	1
No 43	2
No 54	1

FRAMES 29 + 29A

Dwangs	
C	4
I	3
L	7
P	8
U	4
Blocks	3



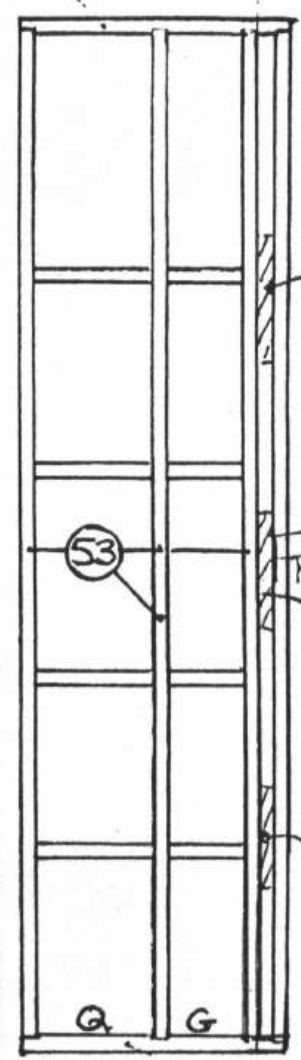


COMPONENTS			
Top plate	---	1	
bottom plate	---	1	
Nº 53	---	3	
Dwangs. G	---	4	
Q	---	4	
BL	---	3	

C3+C4

COMPONENTS			
bottom plate	---	1	
Nº 41	---	1	
Nº 42	---	2	
Nº 43	---	2	
Nº 44	---	1	
Nº 45	---	1	
Nº 46	---	1	
Nº 50	---	1	
Nº 51	---	1	
Nº 52	---	1	
Dwangs. $\frac{1}{2}$ H	---	3	
L	---	1	
P	---	4	

top plate

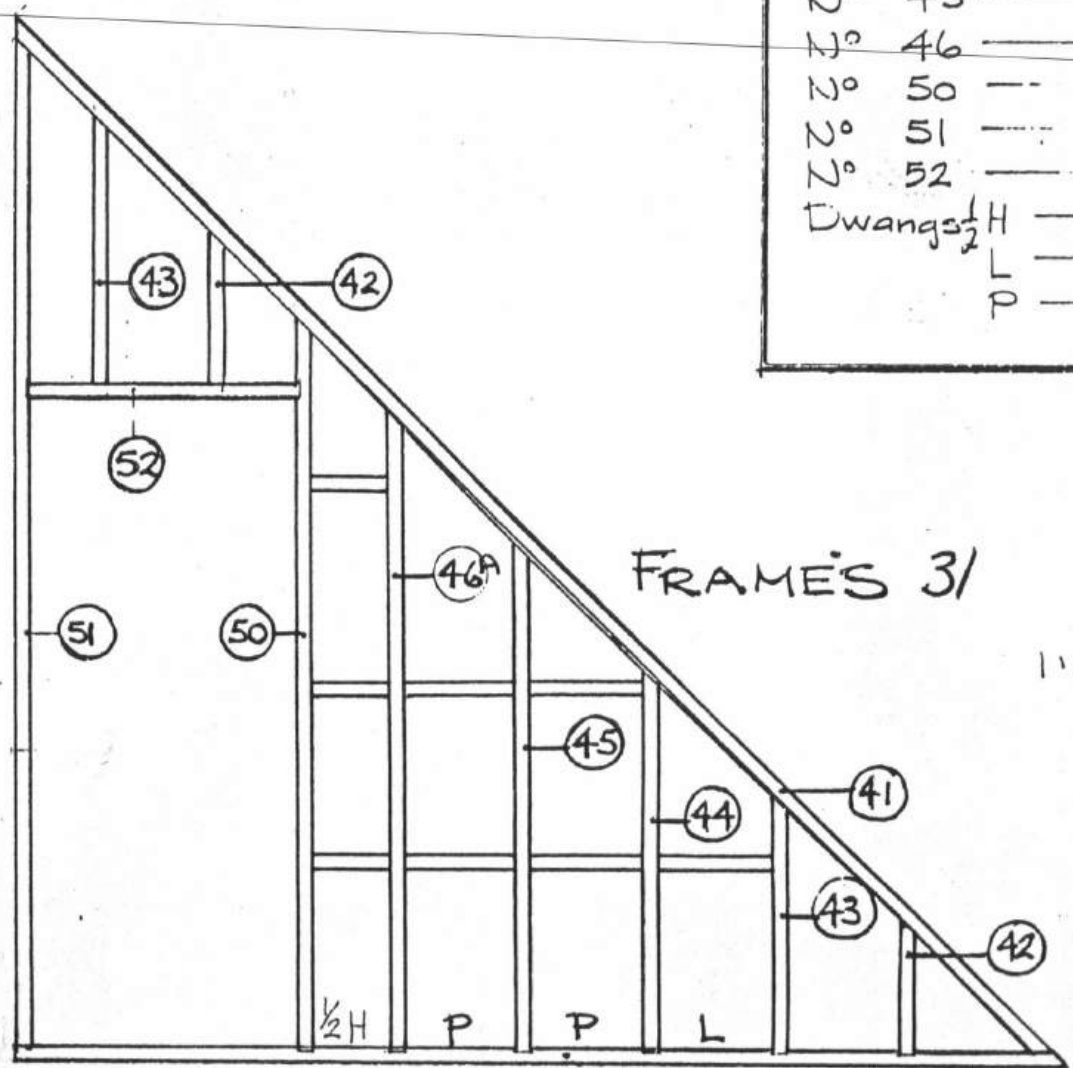


FRAMES
BL 30

1:25

NOTE: frame 29
Bl not applicable to
2 and 3 bedroom.
frame 32 not
applicable to 2 bedroom

835



FRAME'S 31

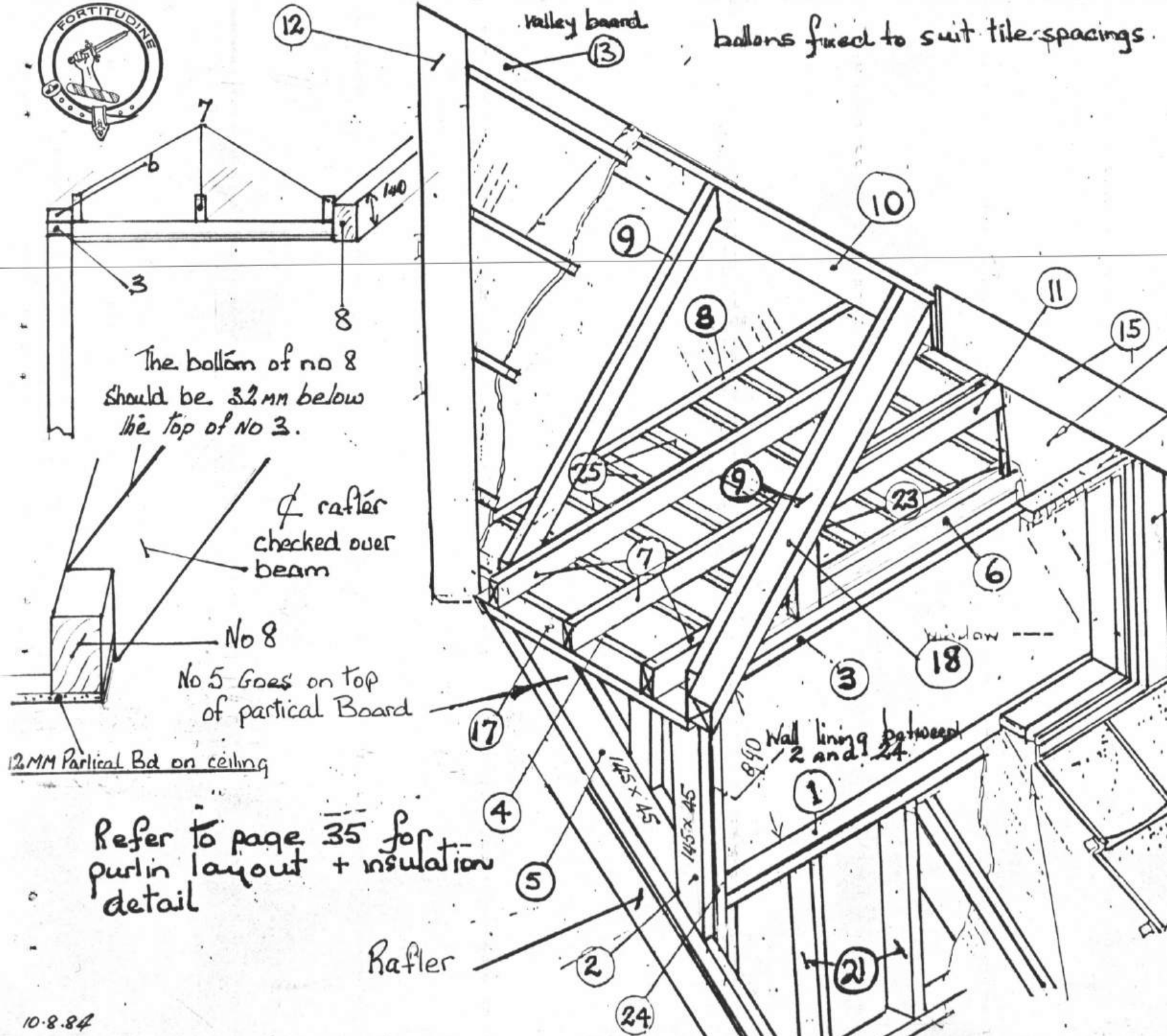
1:25

985

3.300

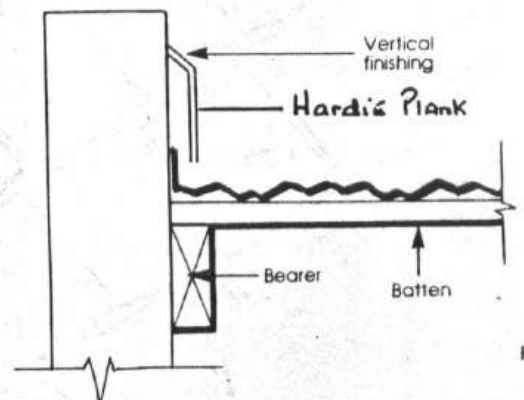


DORMERS

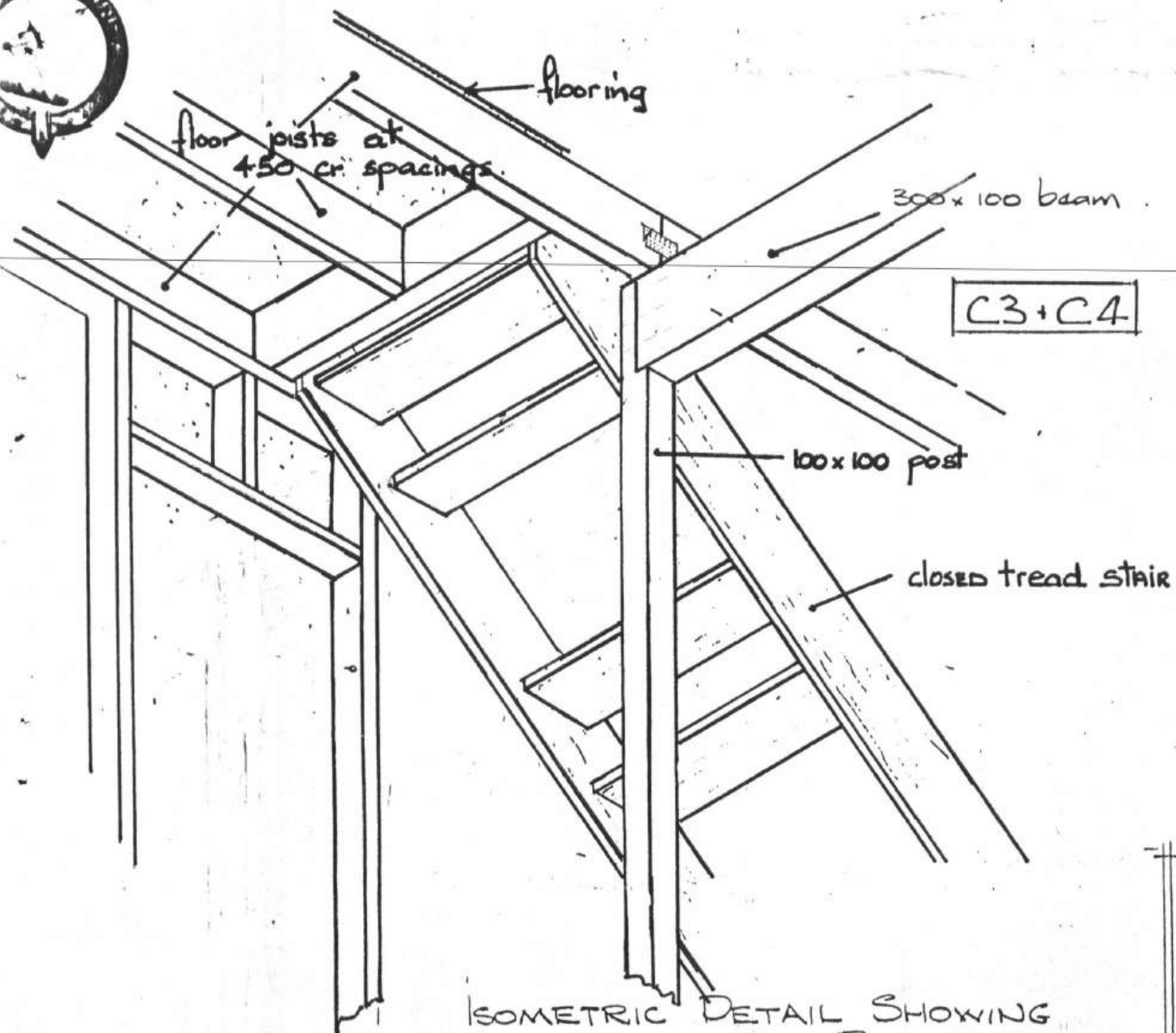


exterior sheathing
head flashing

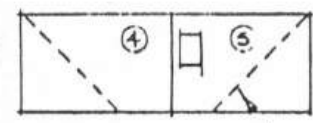
3.1 Split Level or Dormers
All tile course ends are bent up and positioned under the lead edge apron flashing. Where necessary a bearer should be fixed to the wall to support the ends of the tile battens. (Fig. 1.8)



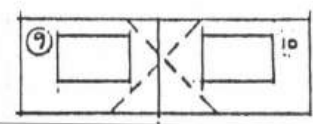
Isometric



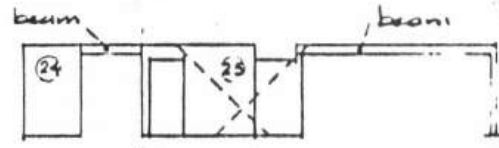
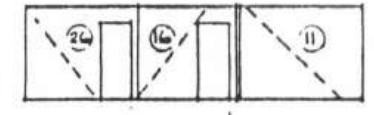
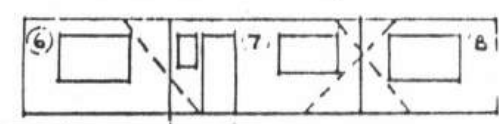
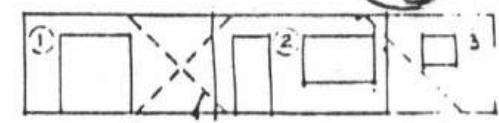
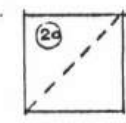
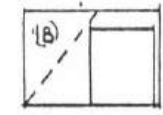
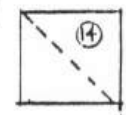
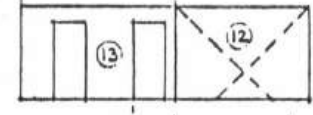
ISOMETRIC DETAIL SHOWING
SECURING OF BEAM
UNDER STAIR.



all braces shown as broken lines.



circled No's indicate frame No's



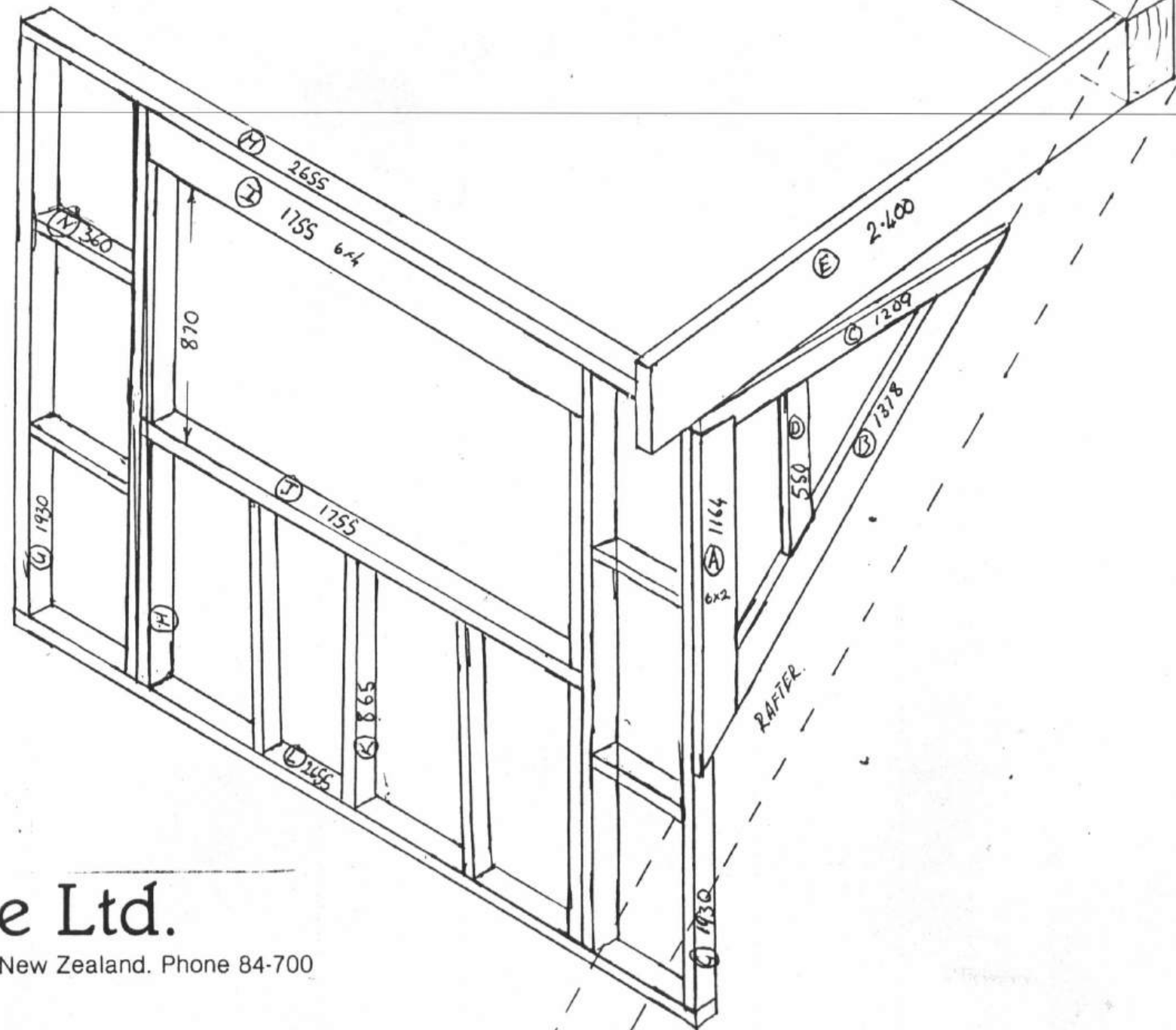
ELEVATIONS OF GROUND
FLOOR FRAMES SHOWING
LOCATION OF METAL
ANGLE BRACING.

ADENDA TO MANUAL COMPLYING WITH REQUIREMENTS OF HOUSING CORPORATION

These amendments are recommended
for all applications.

C3 Flat Roof Dormer (2.700)

A	2
B	2
C	2
D	2
E	4
F	1
G	2
H	2
I	1
J	1
K	3
L	1
M	1
N	4



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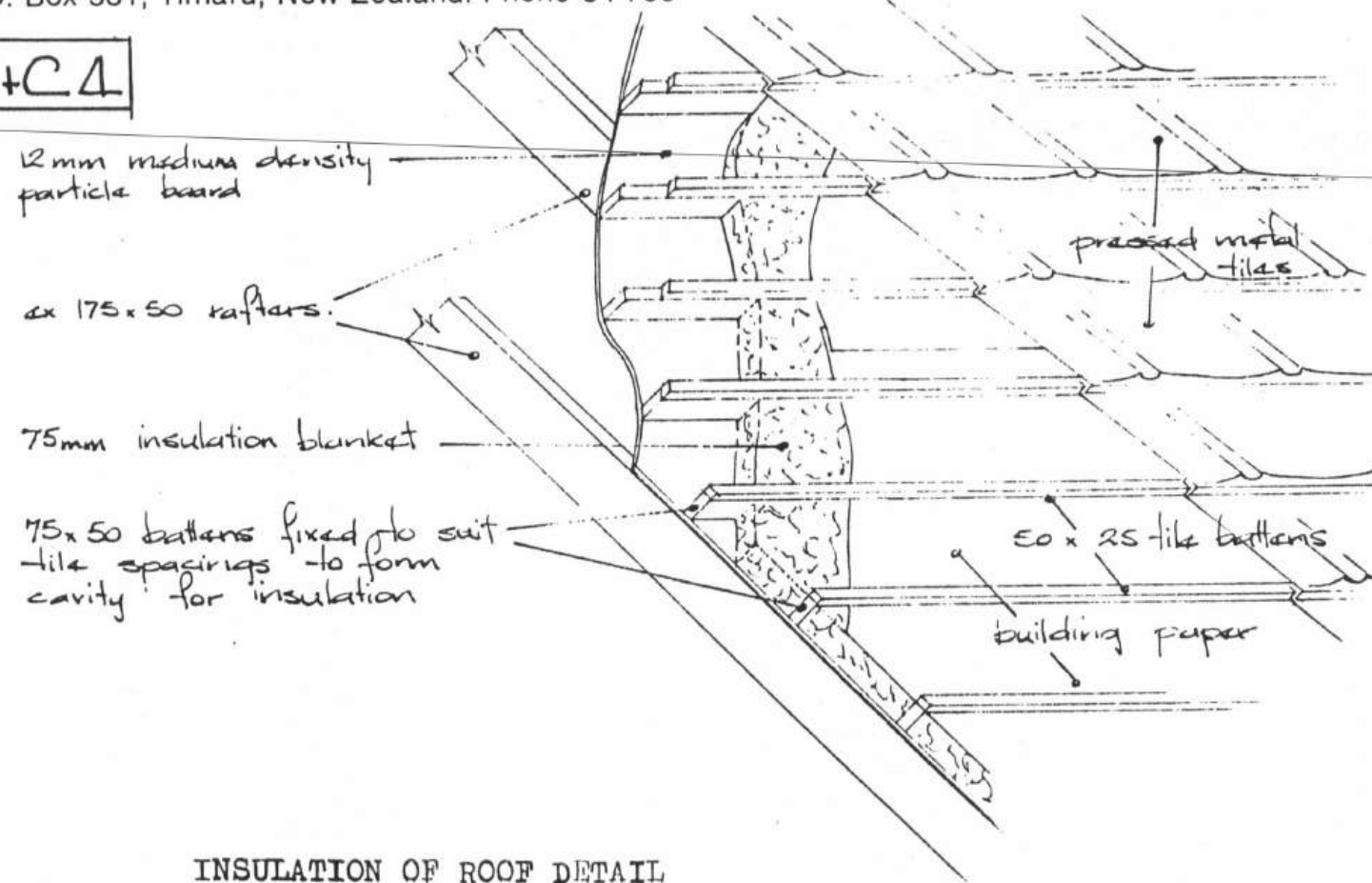


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35

C3+C4



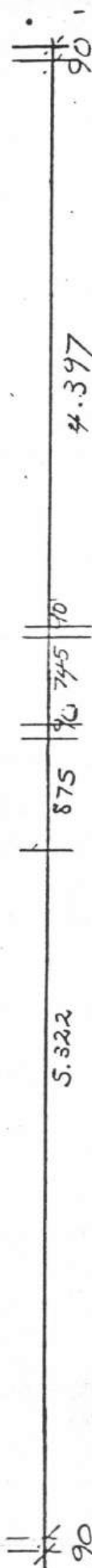
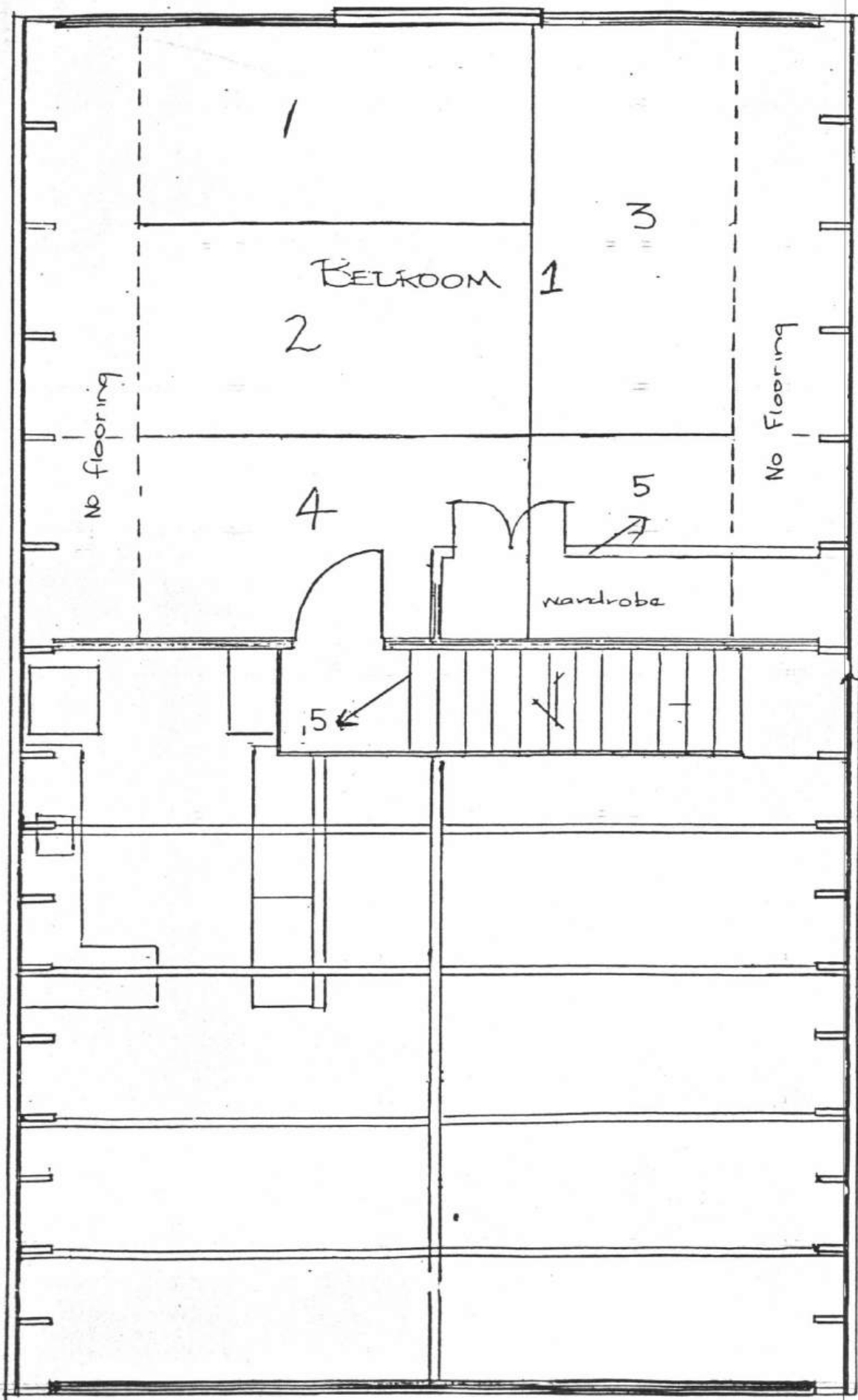
INSULATION OF ROOF DETAIL



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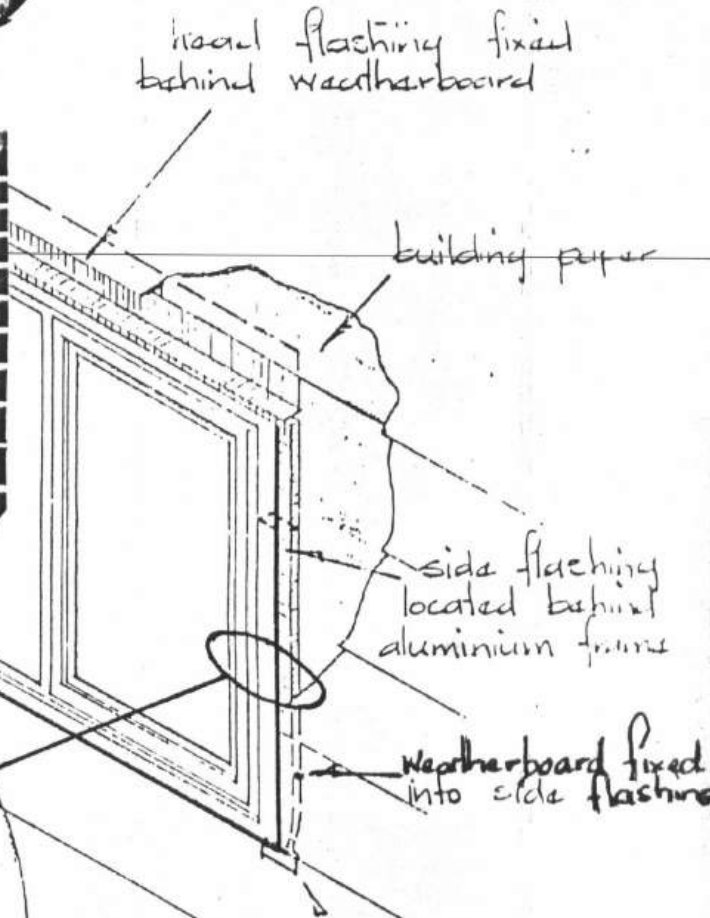
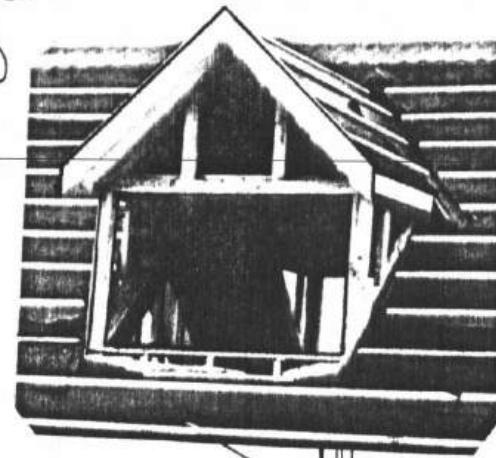
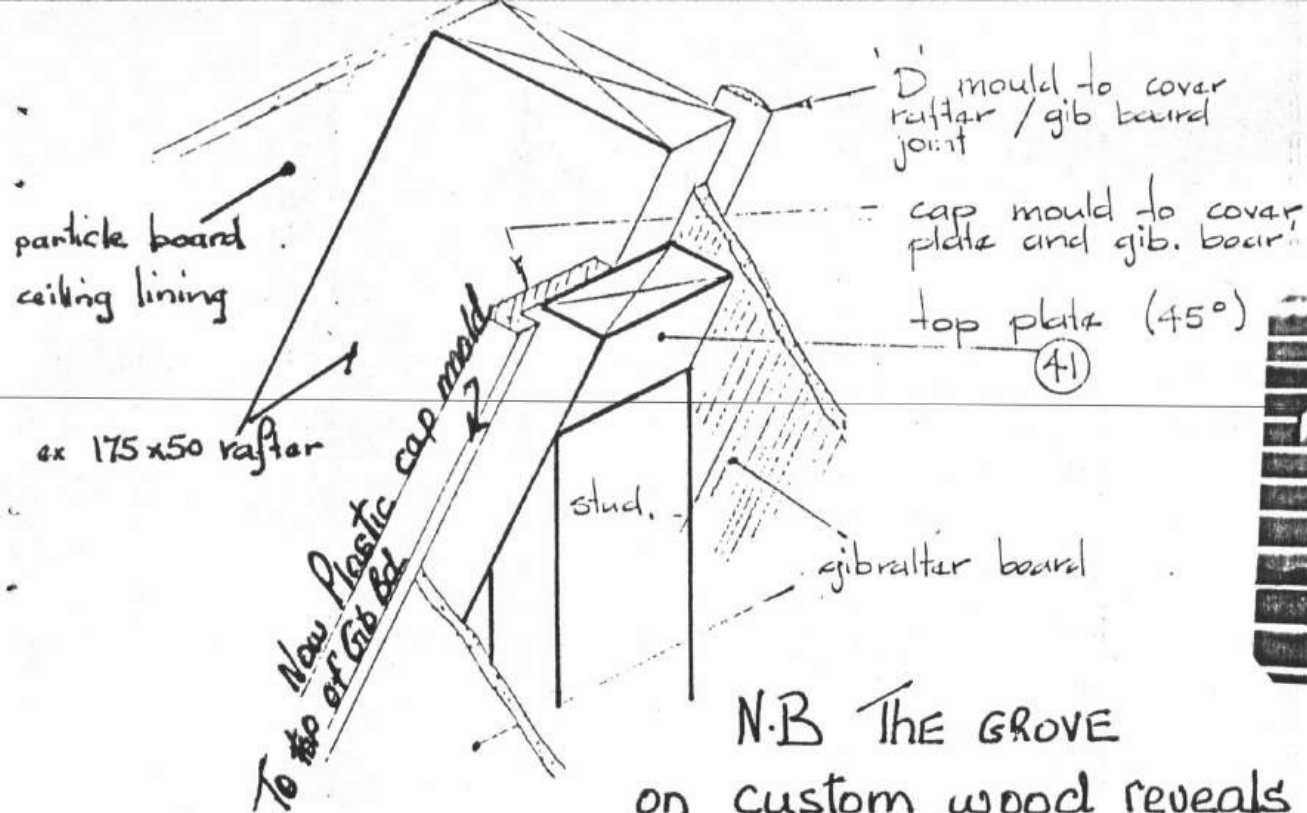
First Floor Flooring Detail



3 Bedroom model only

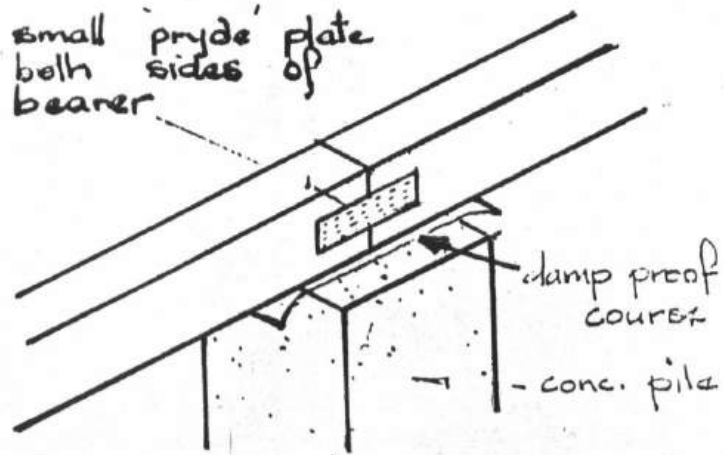
(TE ANAU)

FIRST FLOOR PLAN 1:50

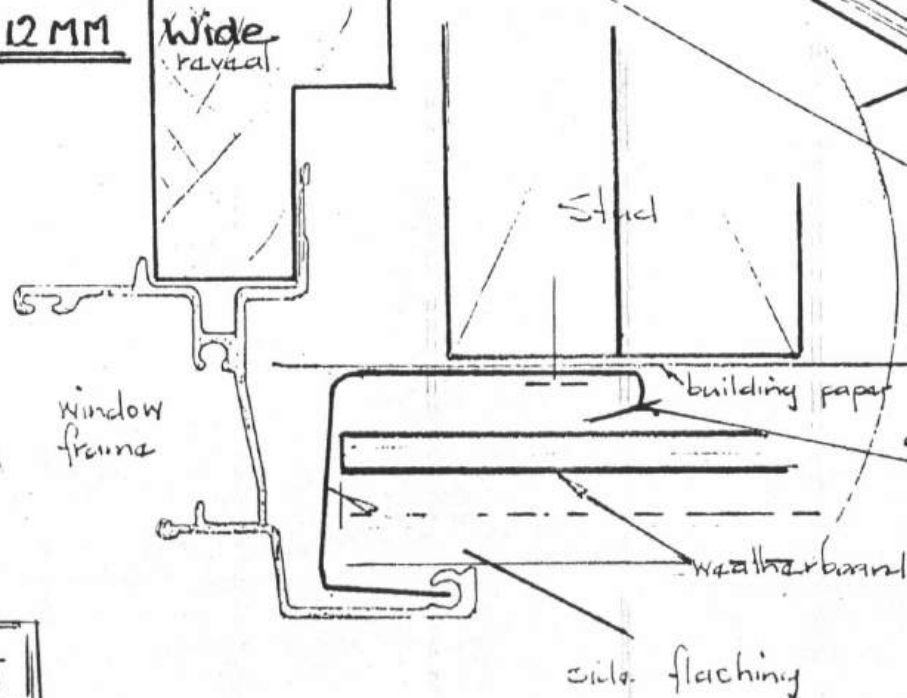


N.B The GROVE on custom wood reveals

DETAIL : WALL TO RAFTER, is 12MM Wide reveal



DETAIL : BEARER JOINT

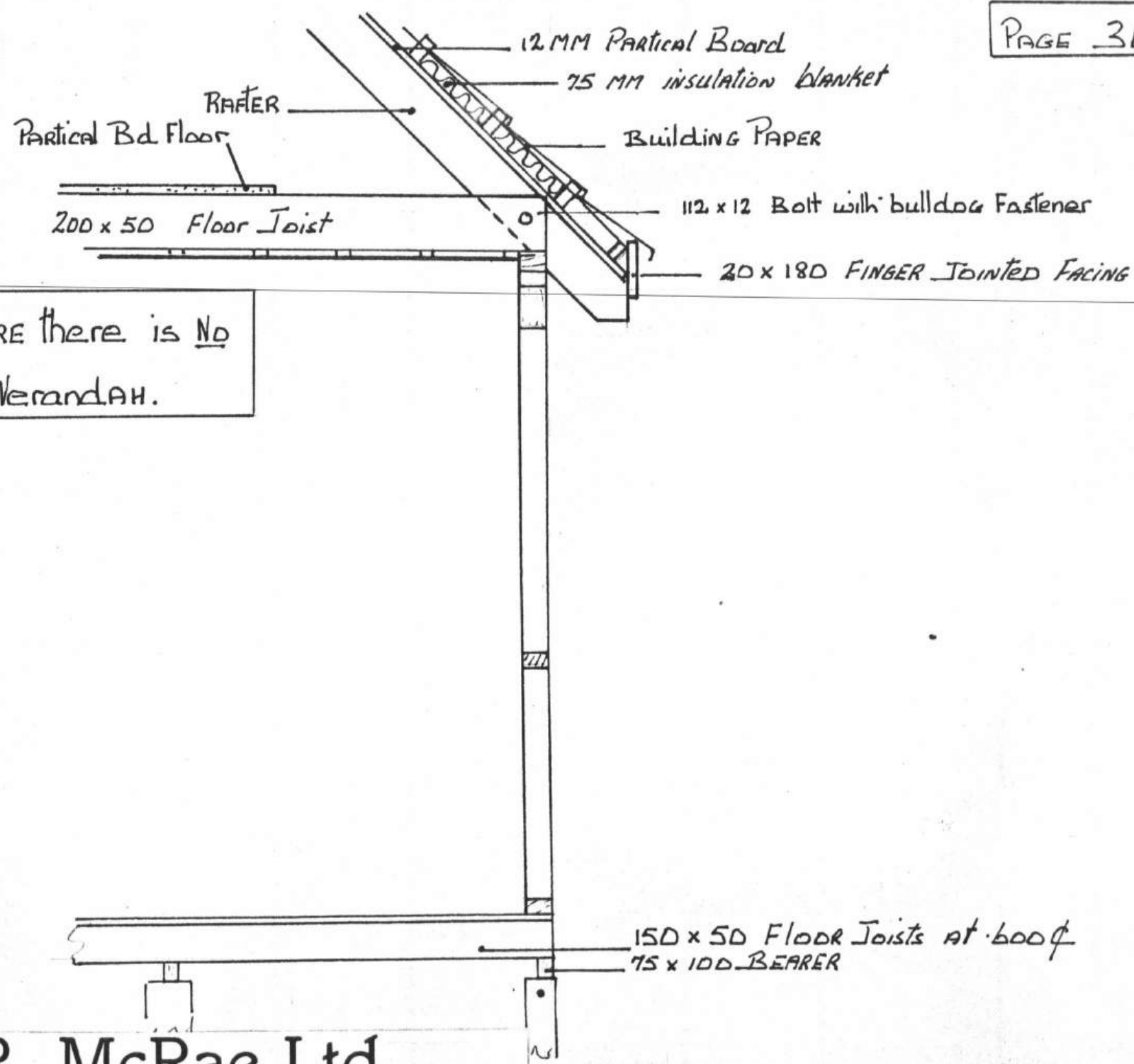


side flashing bent to outside of weatherboard at base. you may have to hammer this flange in a bit

DETAIL : WINDOW FLASHING.

C3 + C4

Detail where there is NO
Porch or Verandah.



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20 JUL 1983

Shelf can be fitted
or line up to Parical Bd

incubation blanket

GERARD roof tiles

75x50 Purlin with 50x25 nailed on top
to take tile

building PAPER

END of rafter cut off - ~~200x20~~ filled
AND veranda rafter nailed to this

NOW 135x20

HARDIE PLANK

building PAPER under

200x20 FACIA BOARD

NOW 180x20 1-6-83.
OREGON BEAM

90x90 Post

100x50 Floor Joist

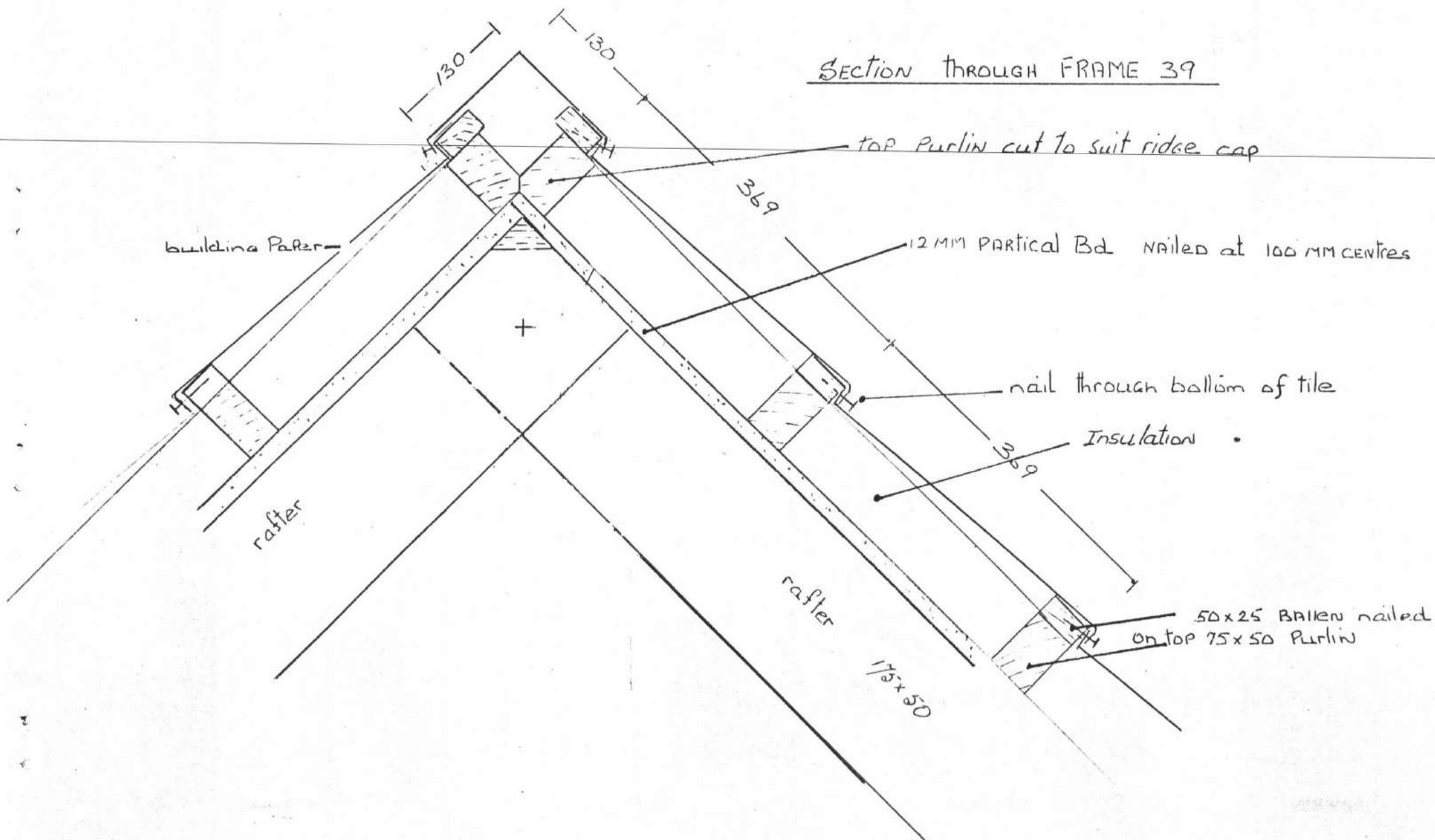
75x100 BEARER

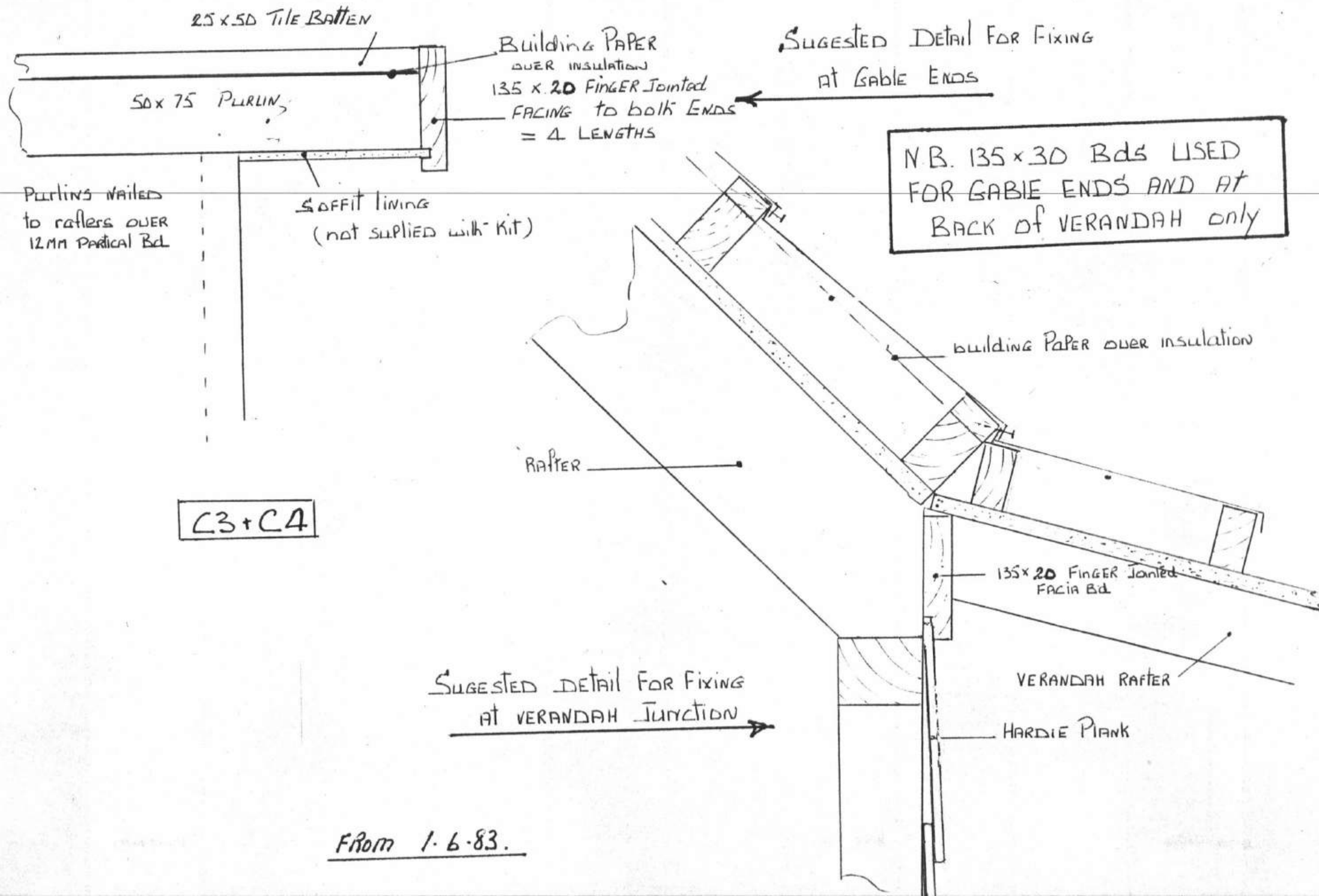
SEE PAGE 39
FOR Extra Detail



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PIONEER " C3+C4





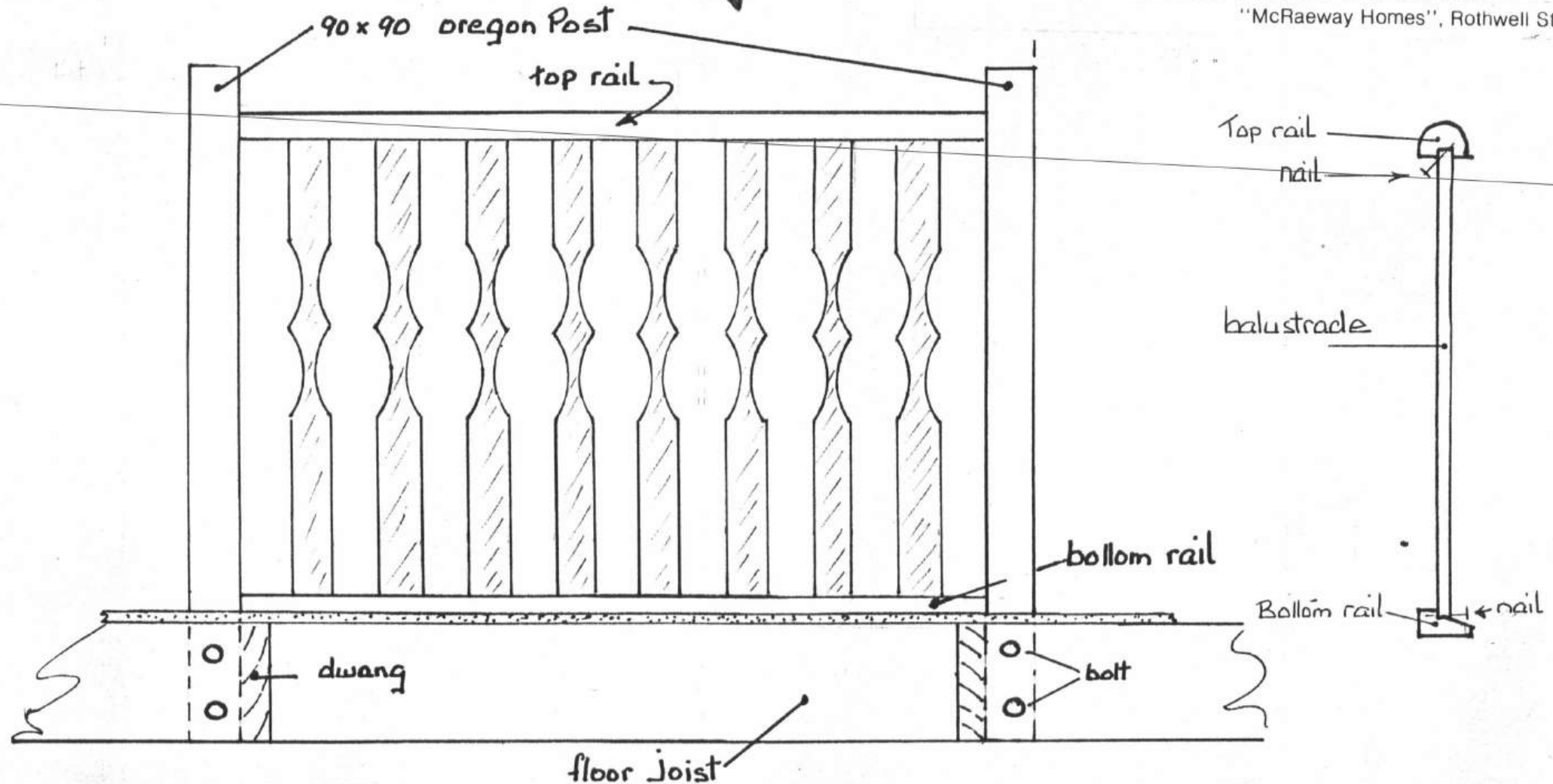


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"McRaeway Homes", Rothwell Street, Timaru

PAGE 40



N.B. When there is a nule post supplied - mainly on the first floor landing of an amended 'Otago' and at the bottom of most stairs - the post must be extended through the floor and bolted to the joist, and a dwang placed between joists at least on one side of the post.

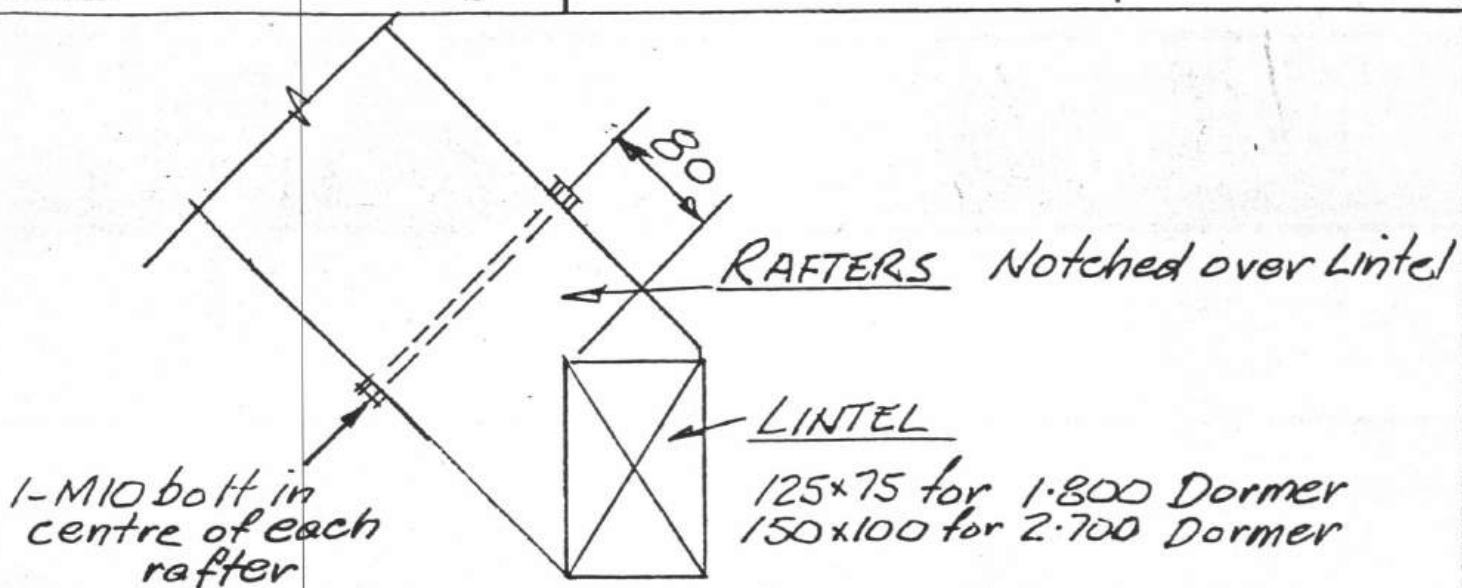
COMPUTED
CHECKED

TIMARU

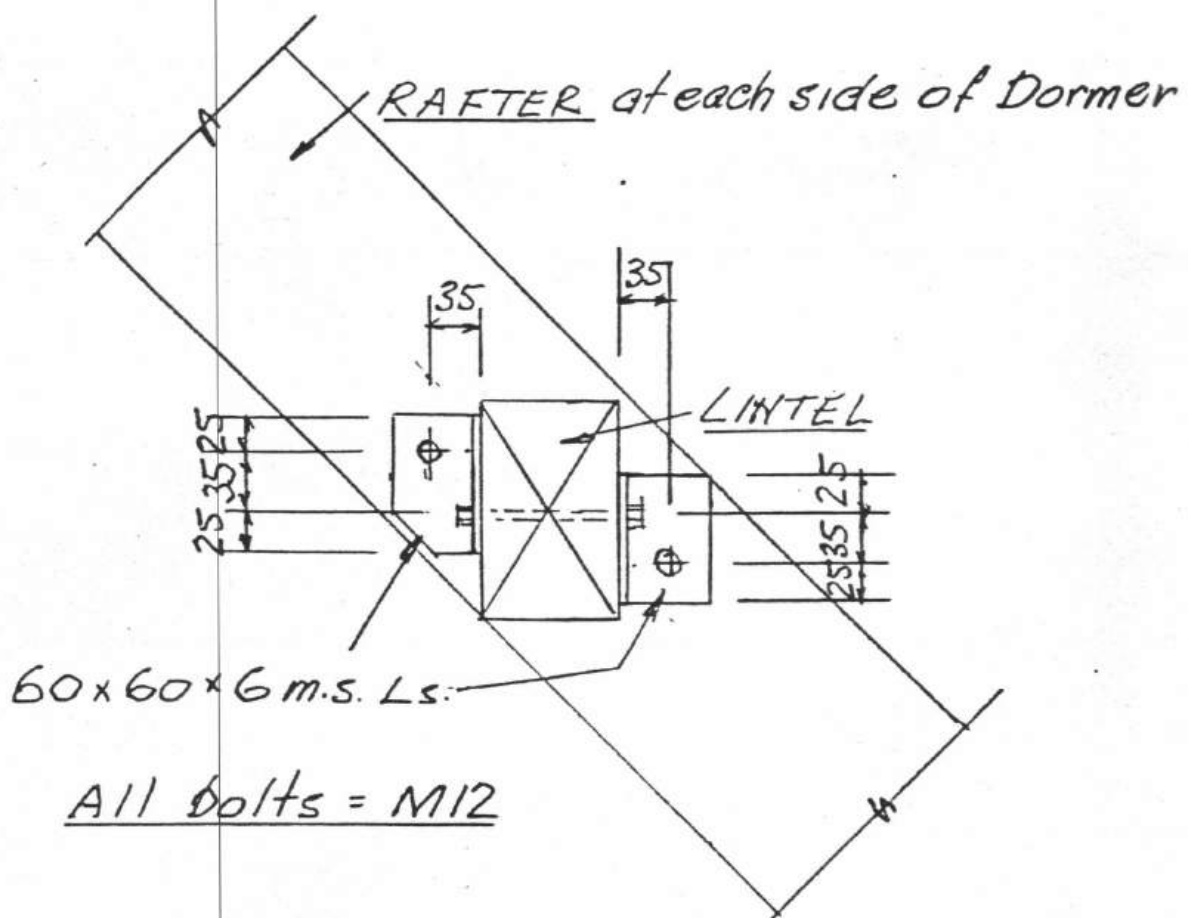
R.E.L. 22-2-1985
19

PROJECT MCKRAEWAY
DORMER DETAILS

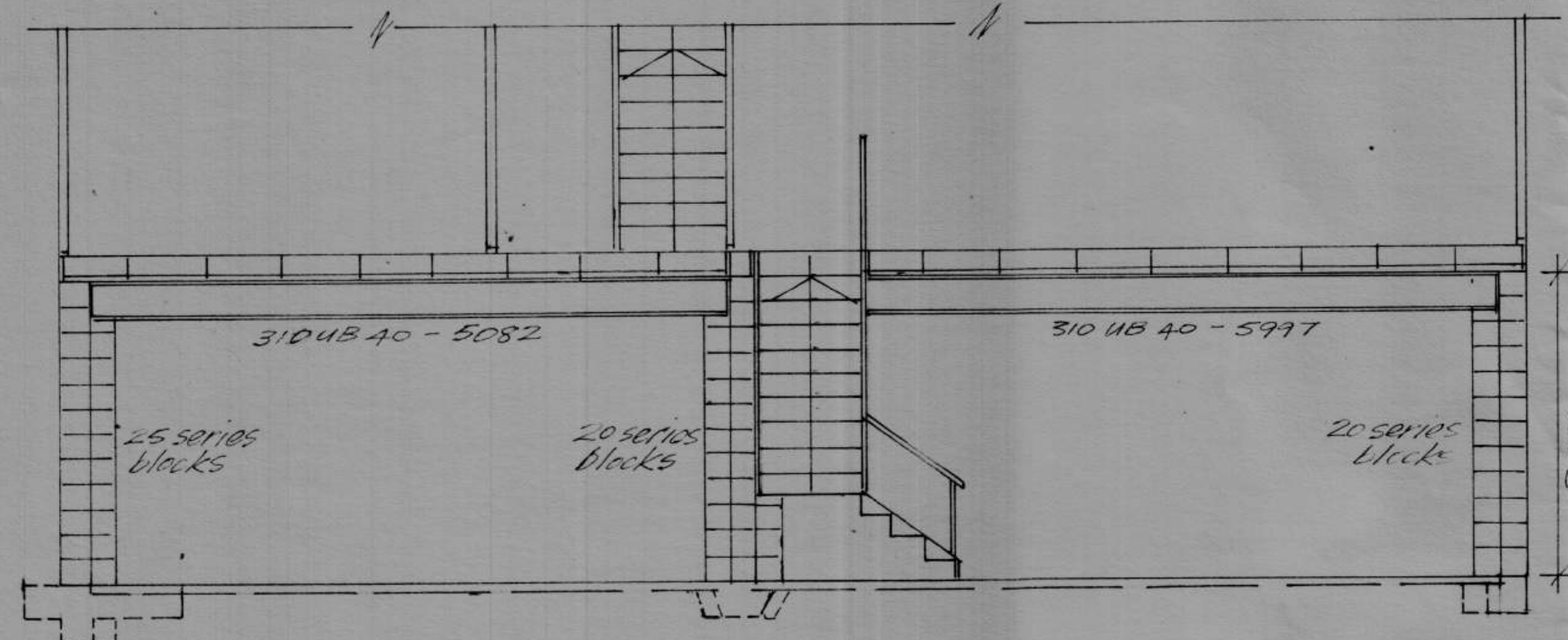
DESCRIPTION
Scale = 1:5



JUNCTION OF CUT RAFTERS WITH LINTEL



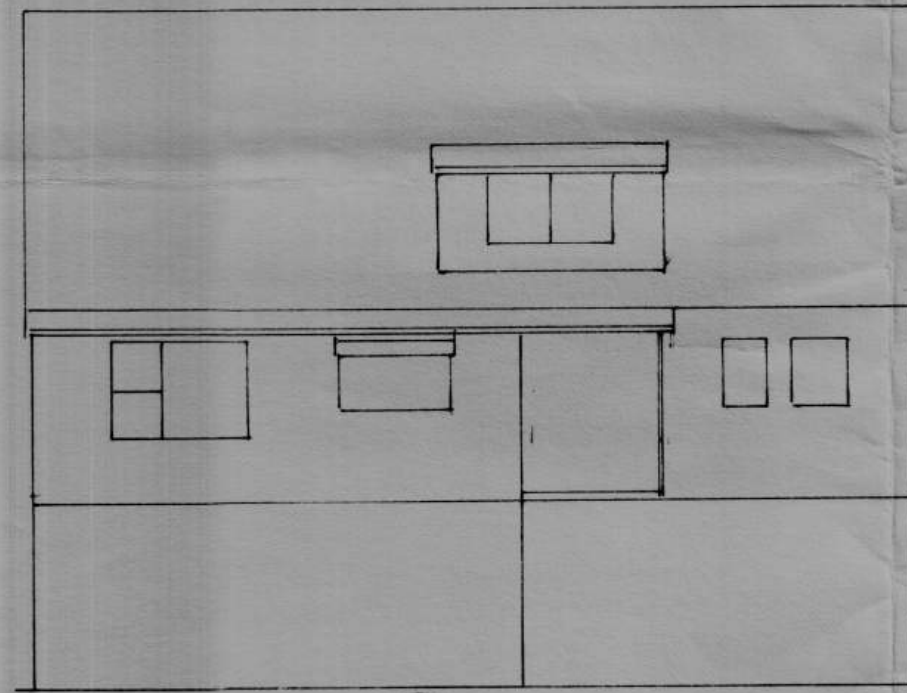
CONNECTION OF LINTEL TO SIDE RAFTERS



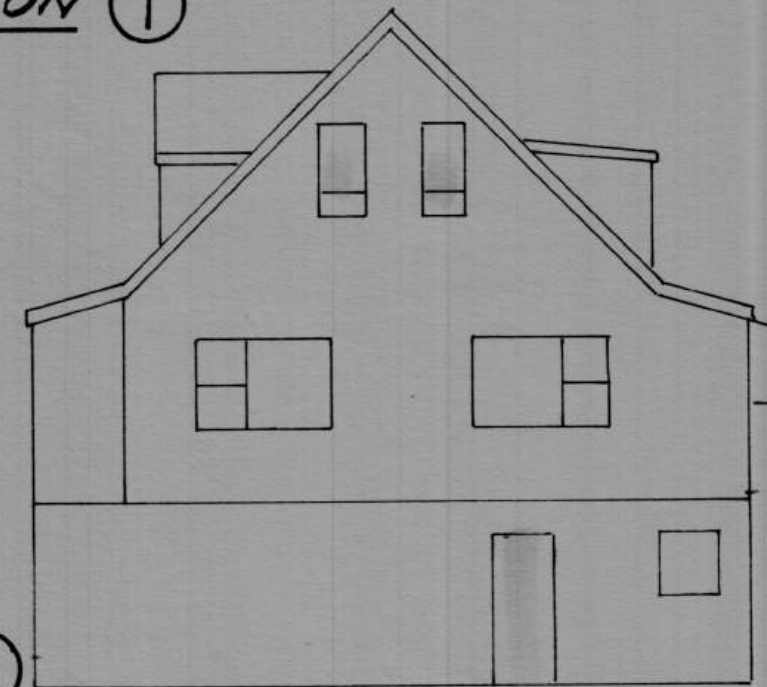
CROSS-SECTION A-A



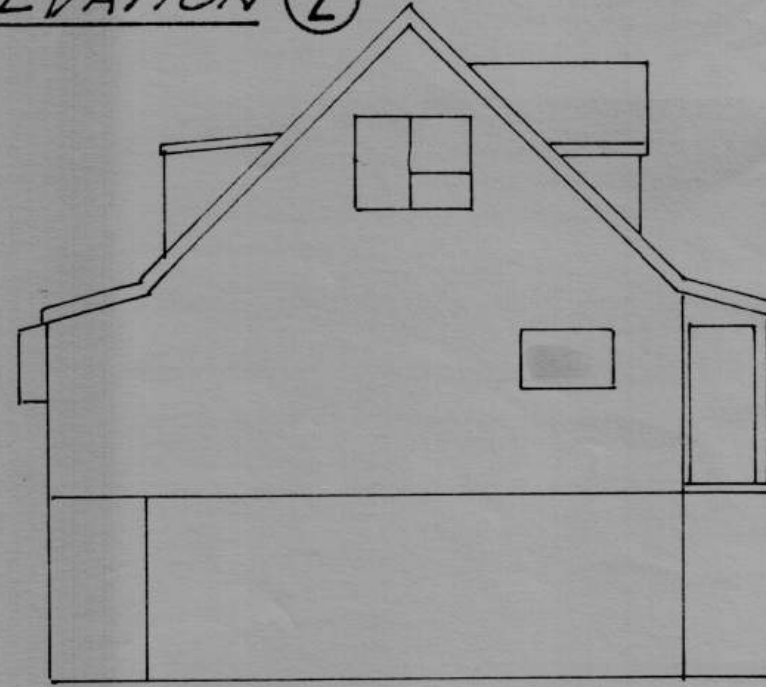
ELEVATION ①



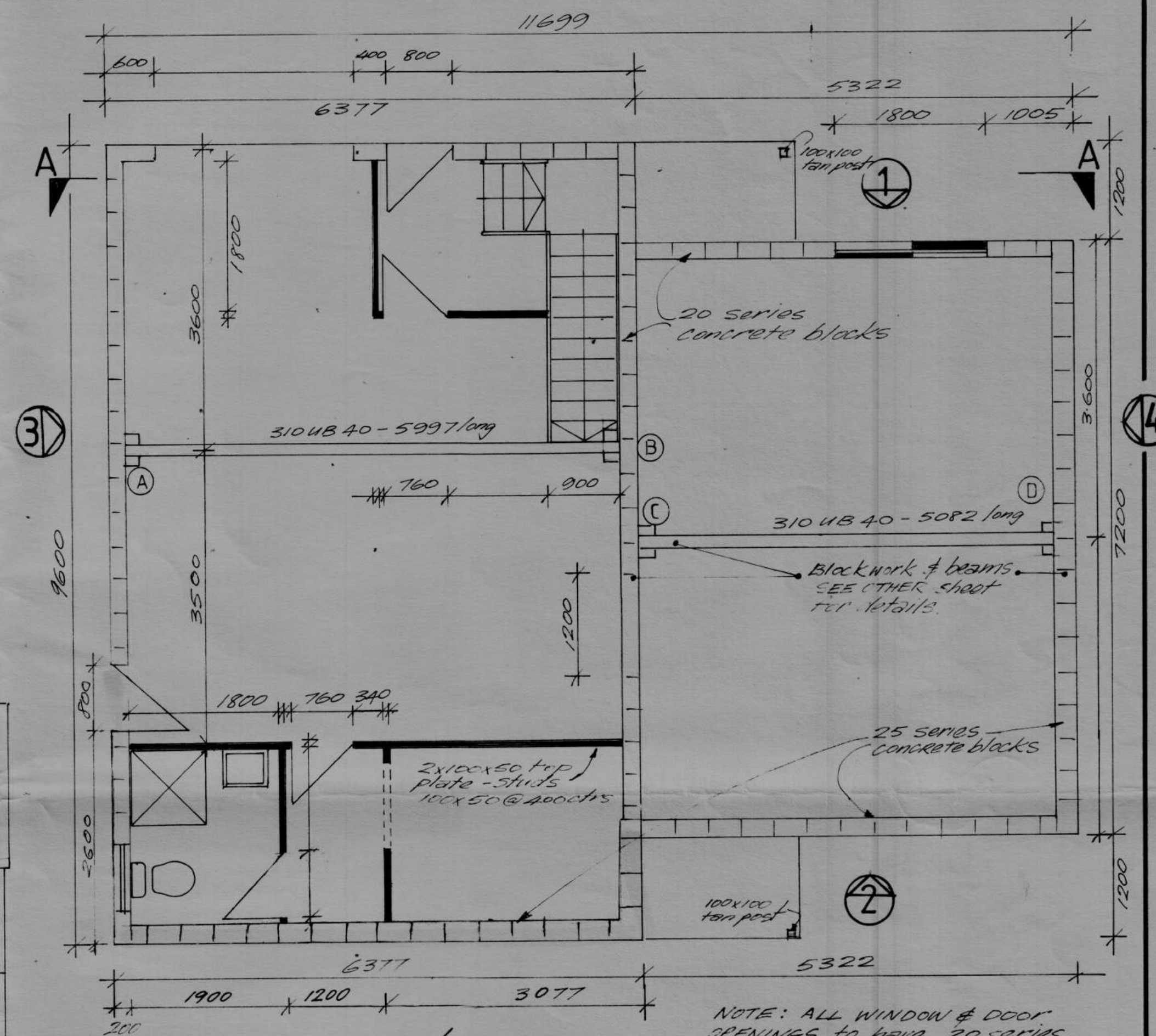
ELEVATION ②



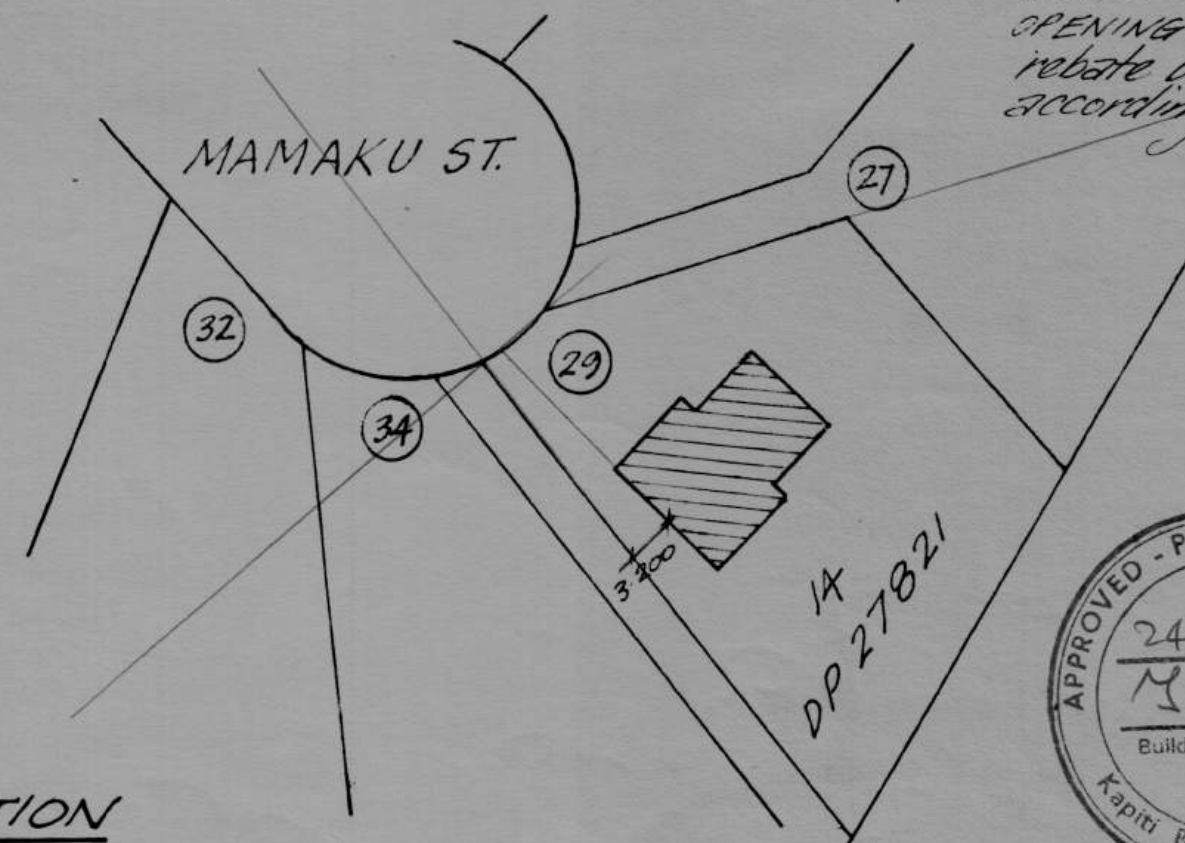
ELEVATION ③



ELEVATION ④



NOTE: ALL WINDOW & DOOR OPENINGS TO HAVE 20 SERIES REBATE BLOCKS, LINELS & SILL'S ACCORDINGLY.



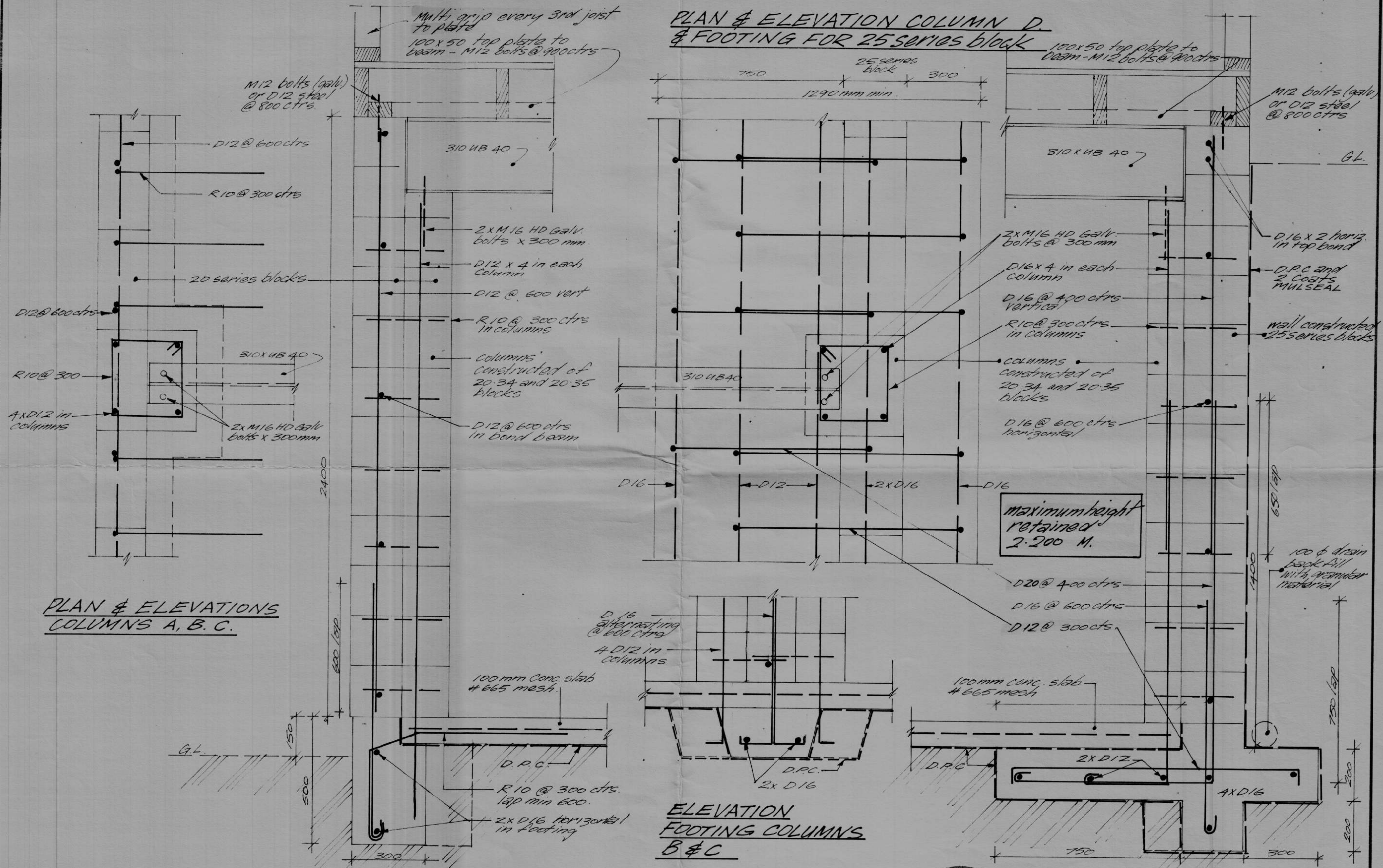
AMENDED PLAN

SHEET

1

DRAWN R.S.P.	CHECKED	SCALES 1:100	SERIES OF
TRACED	DATE JUNE 86	1:50	REF

PLAN & ELEVATION COLUMN D.
& FOOTING FOR 25 series block



PLAN & ELEVATIONS
COLUMNS A, B, C.

ELEVATION
FOOTING COLUMNS
B & C

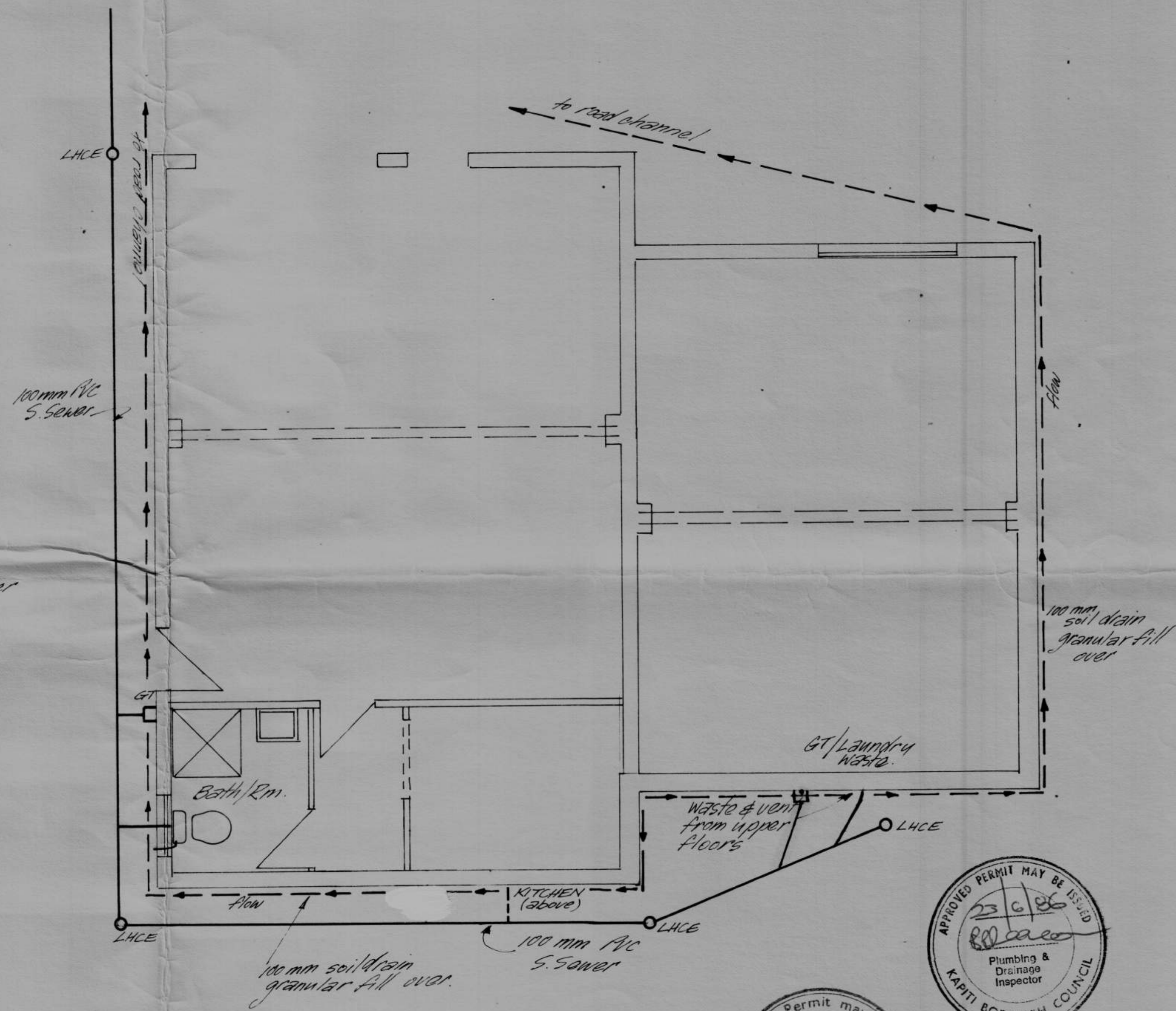
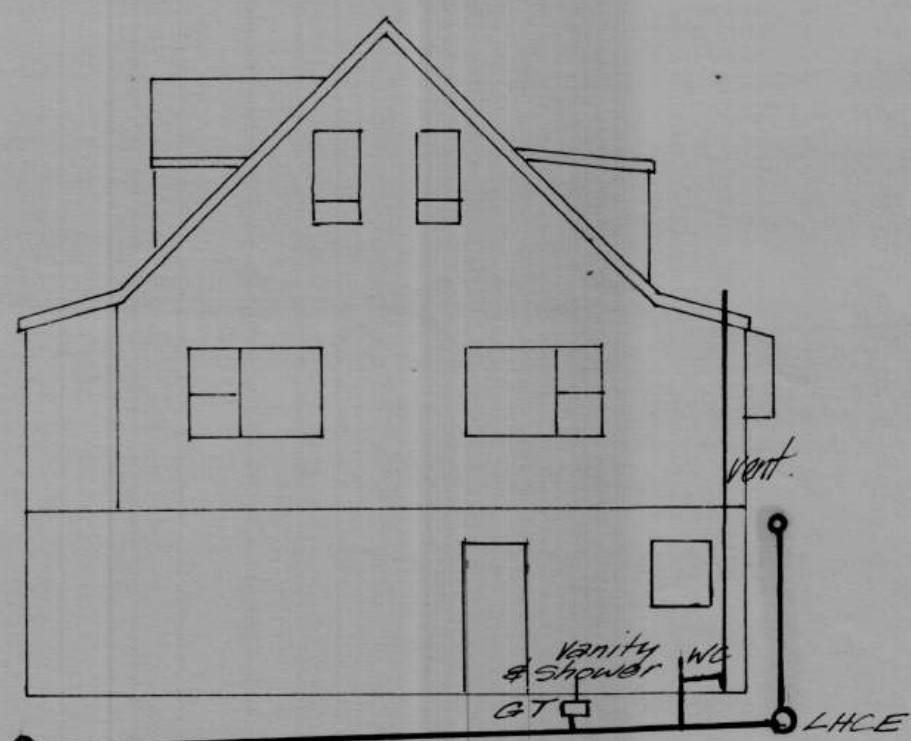
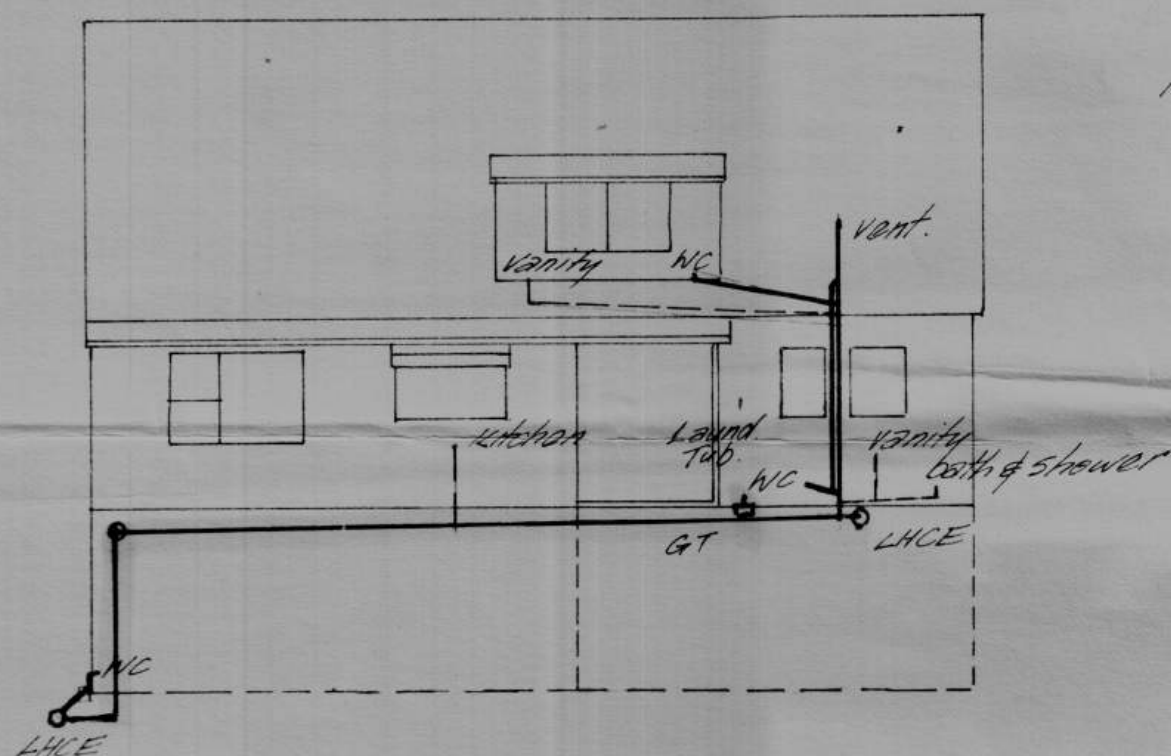
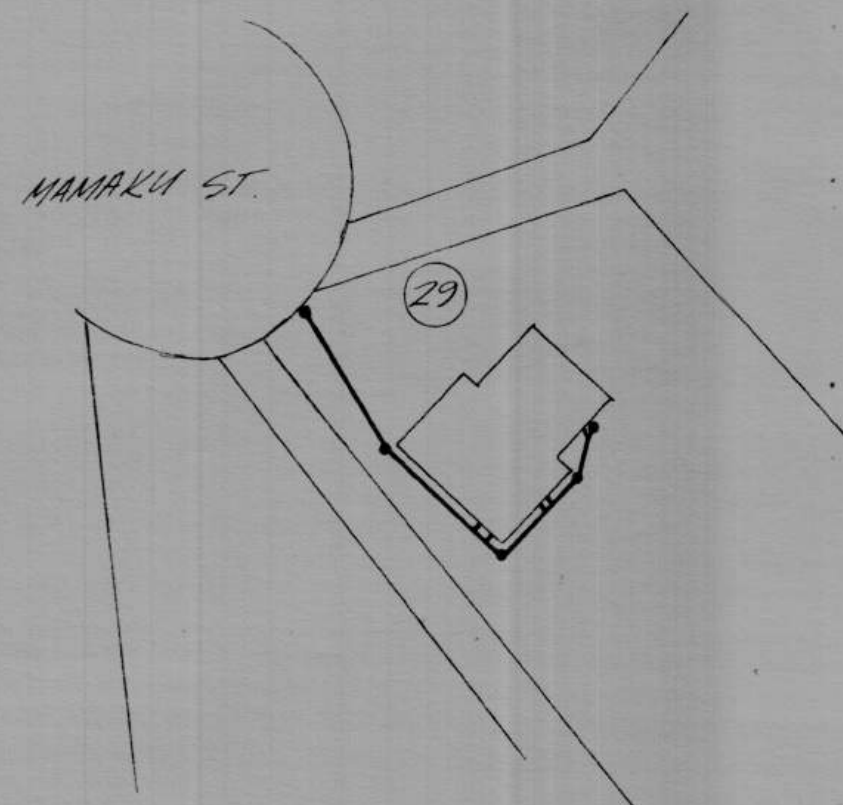


AMENDED PLAN

DRAWN <i>R.S.P.</i>	CHECKED	SCALES <i>1:100</i>
TRACED <i>"</i>	DATE <i>JUNE '86</i>	

SHEET 2

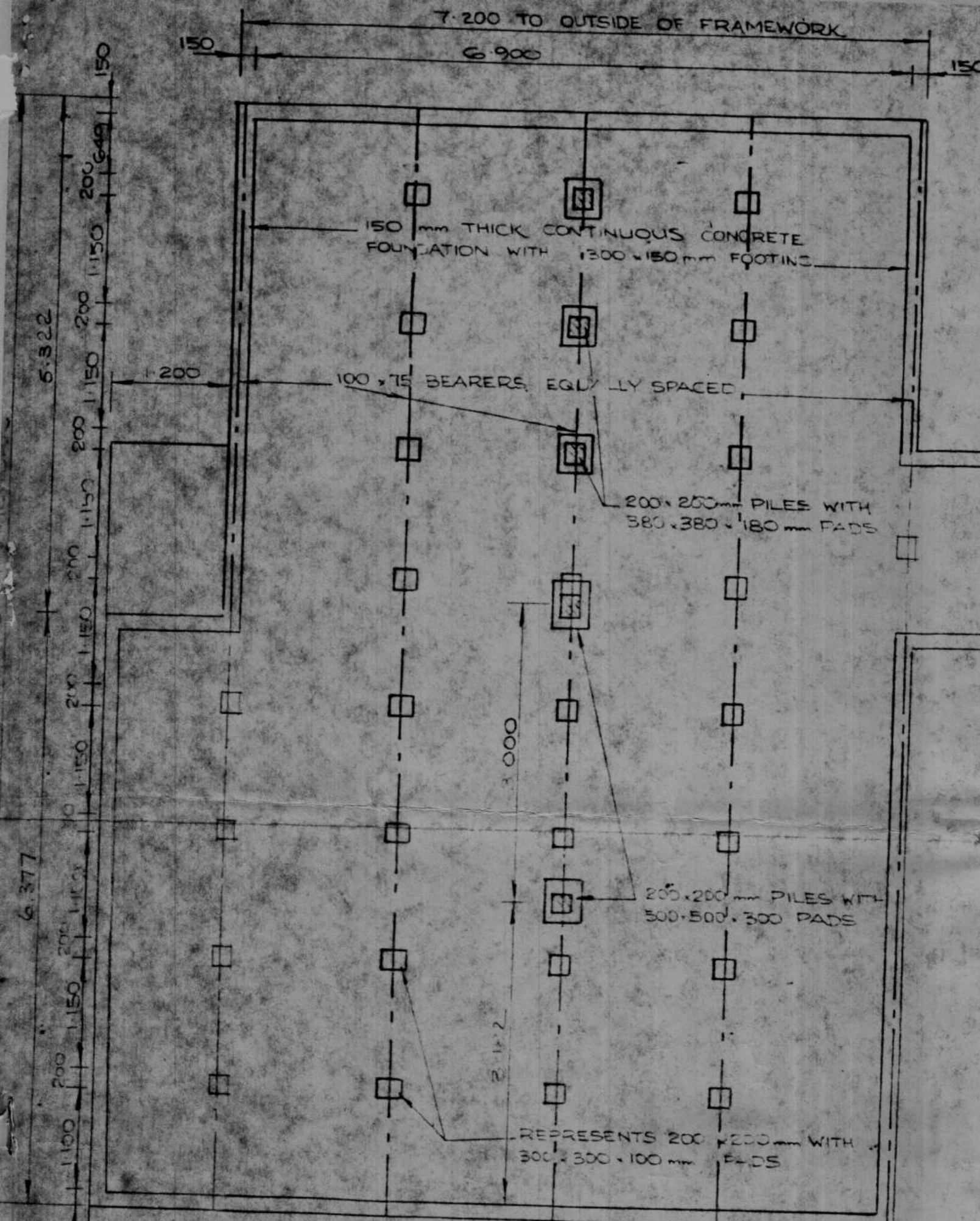
SERIES OF
REF



AMENDED PLAN

SHEET
3

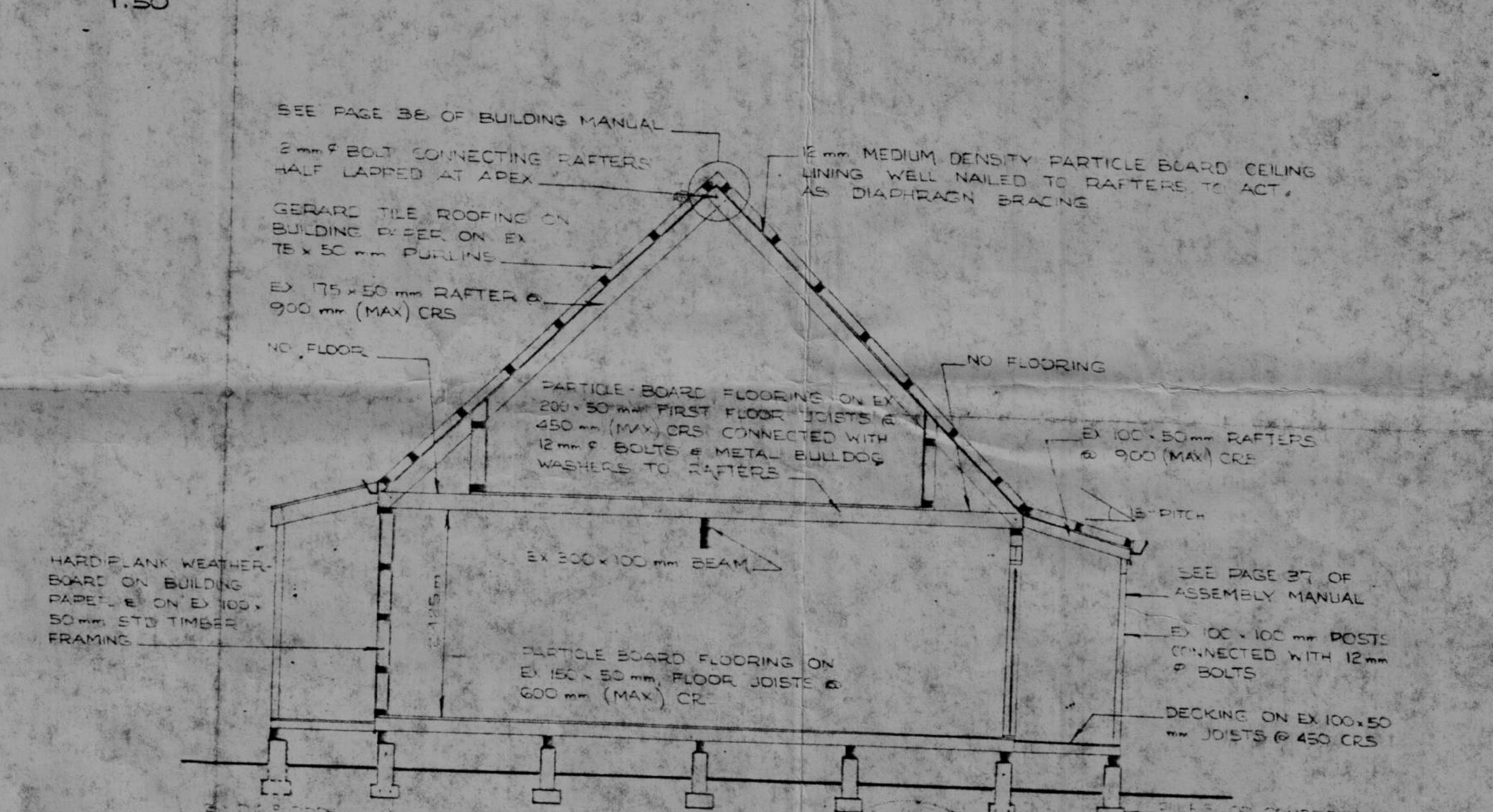
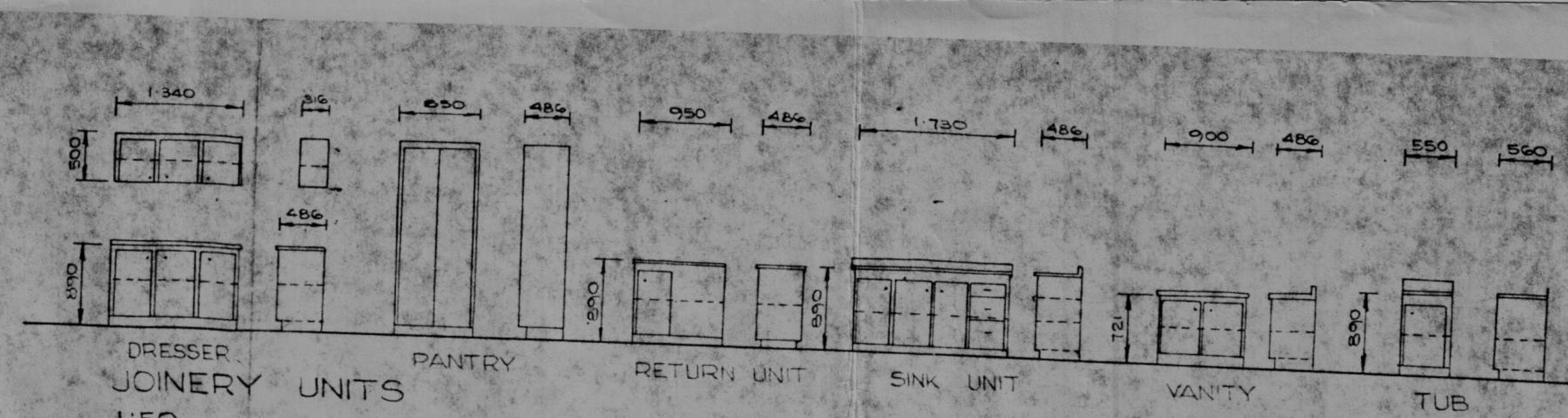
DRAWN	CHECKED	SCALES	SERIES OF
TRACED	DATE		REF



FOUNDATION PLAN
1:50
MIRROR IMAGE



BASED ON...
OTAGO PIONEER



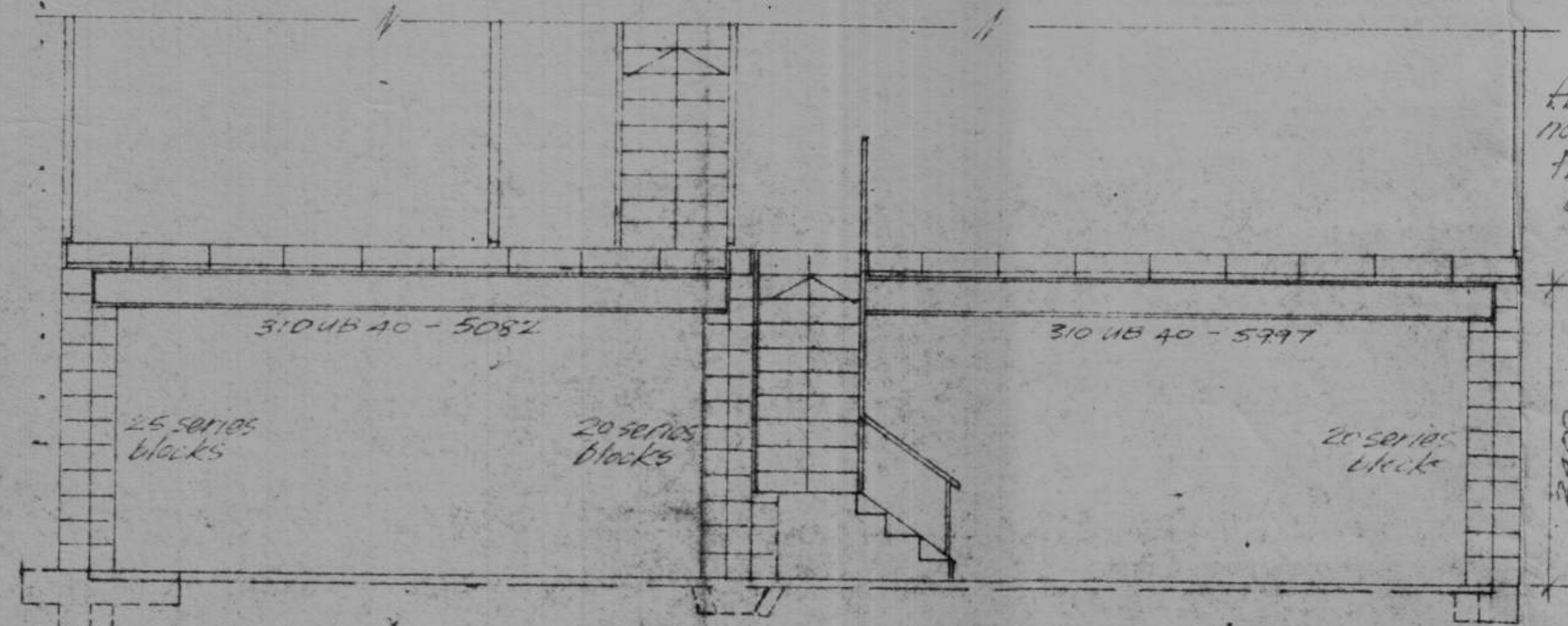
SECTION A-A
1:50



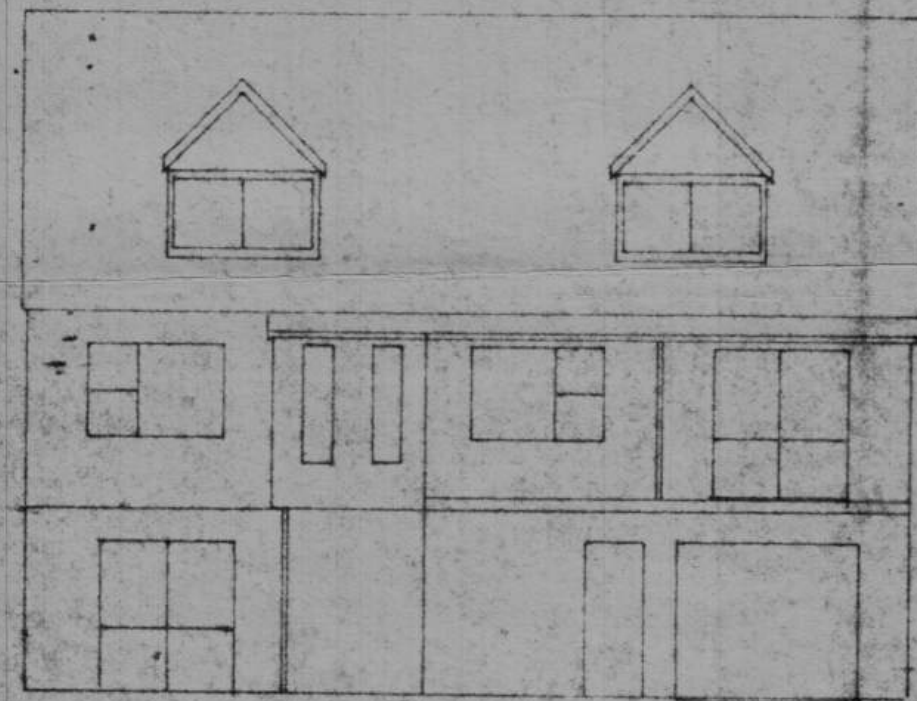
PILE FOUNDATION
CROSS SECTION DETAILS

5.2.

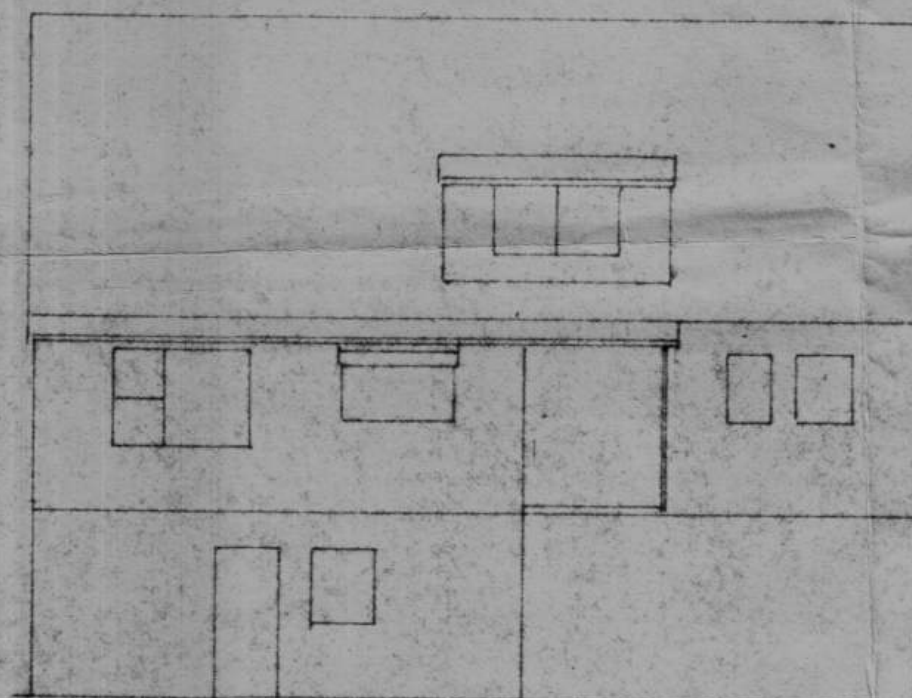
AMENDED 28/10/86



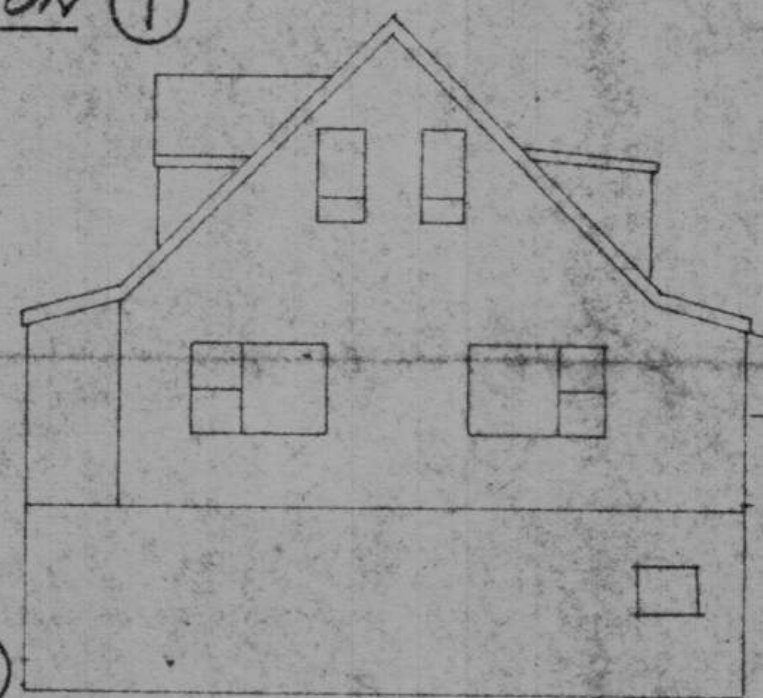
CROSS-SECTION A-A



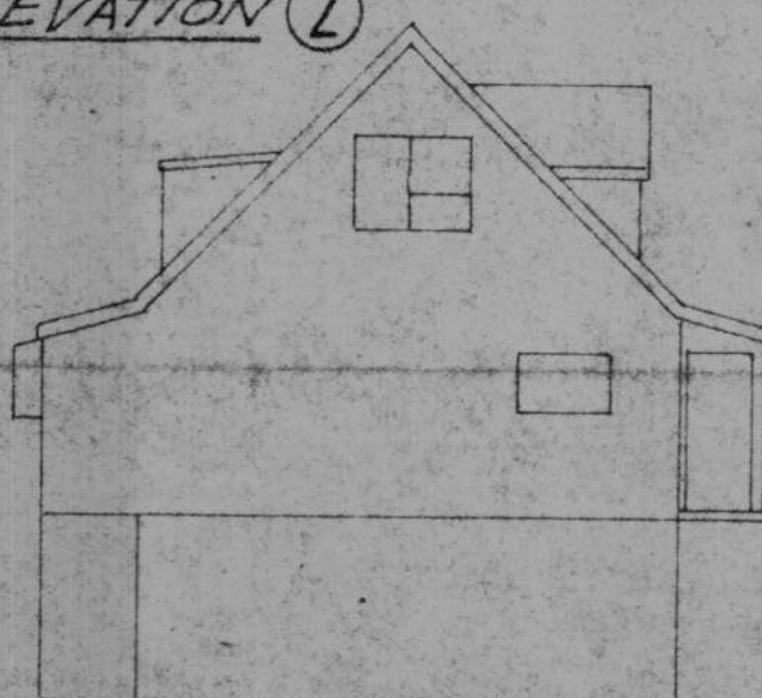
ELEVATION ①



ELEVATION ②

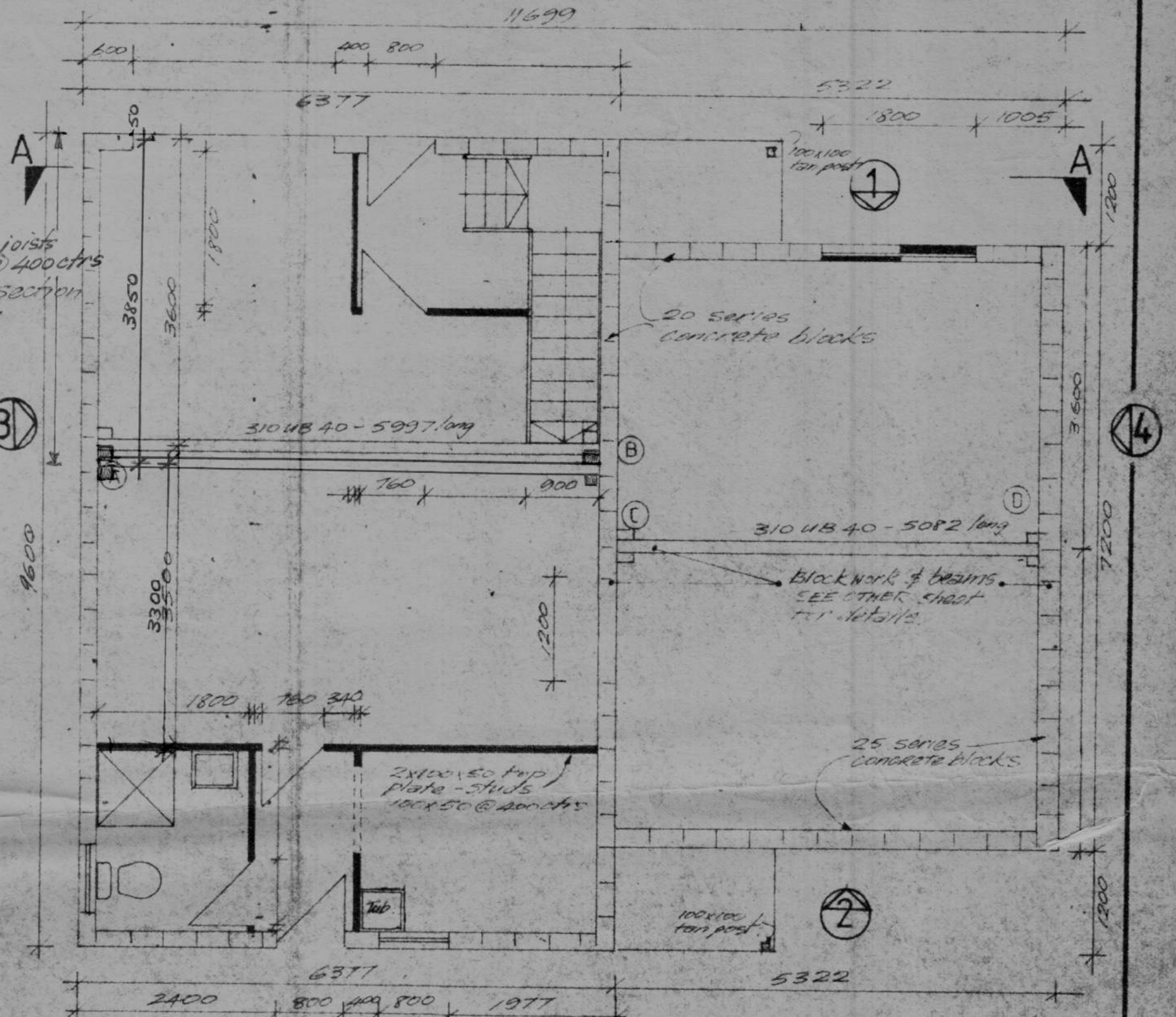


ELEVATION ③

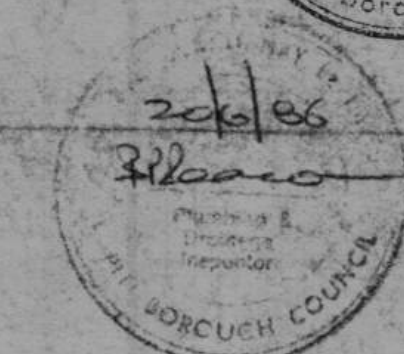
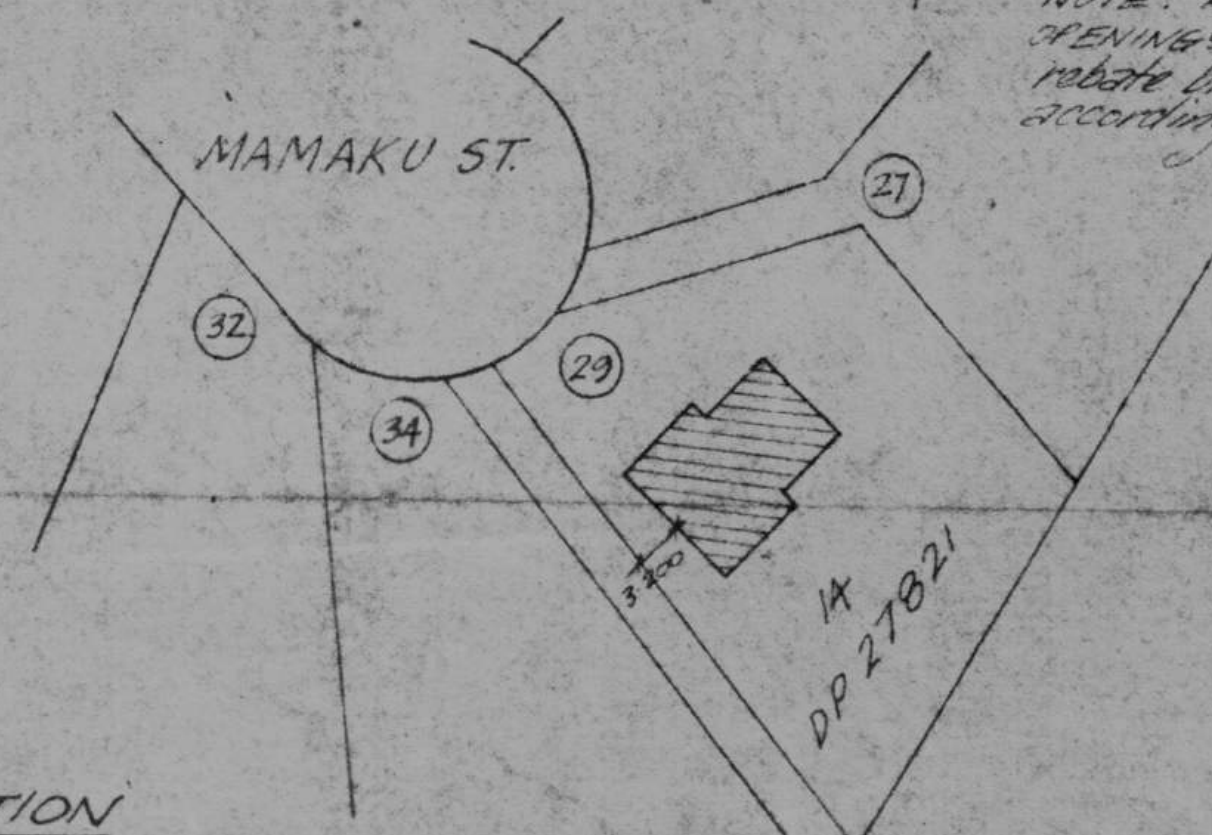


ELEVATION ④

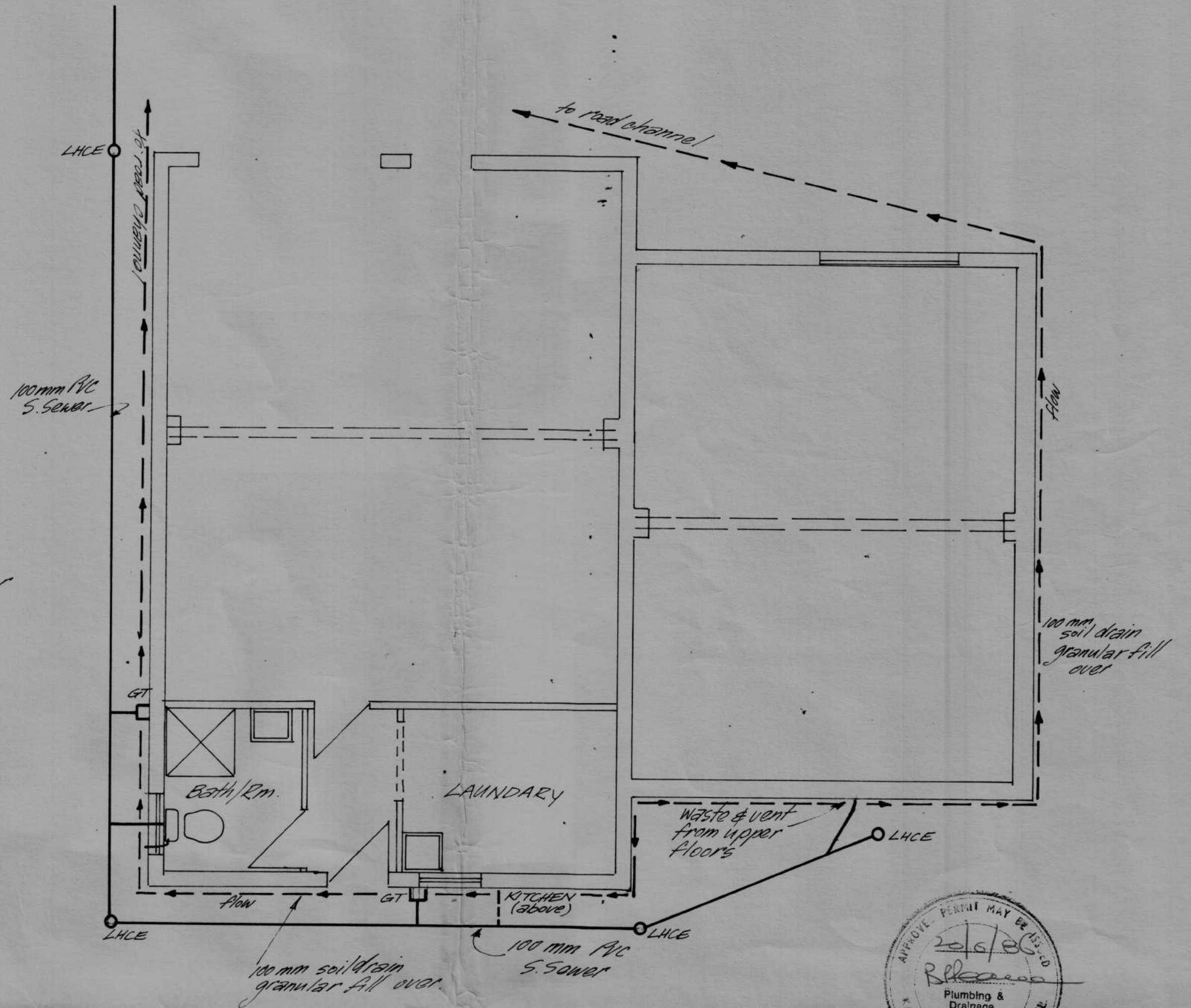
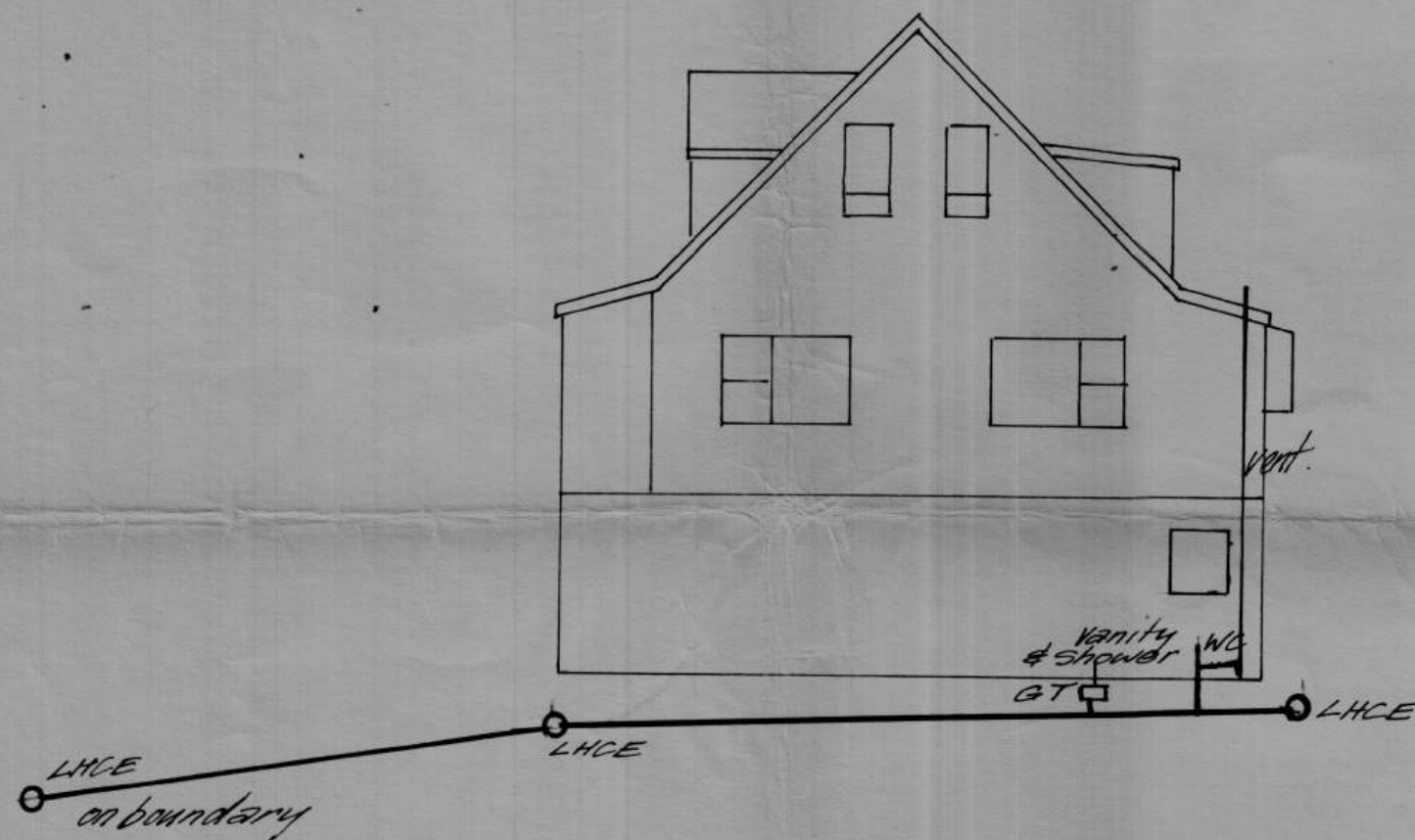
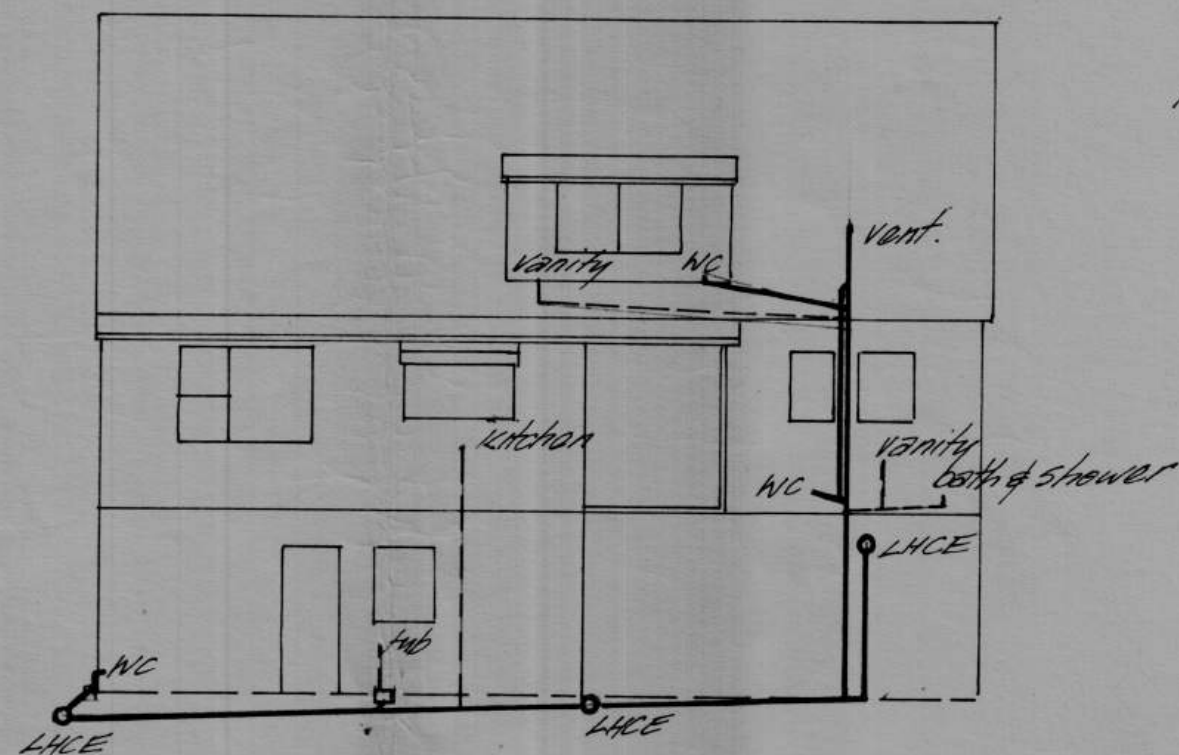
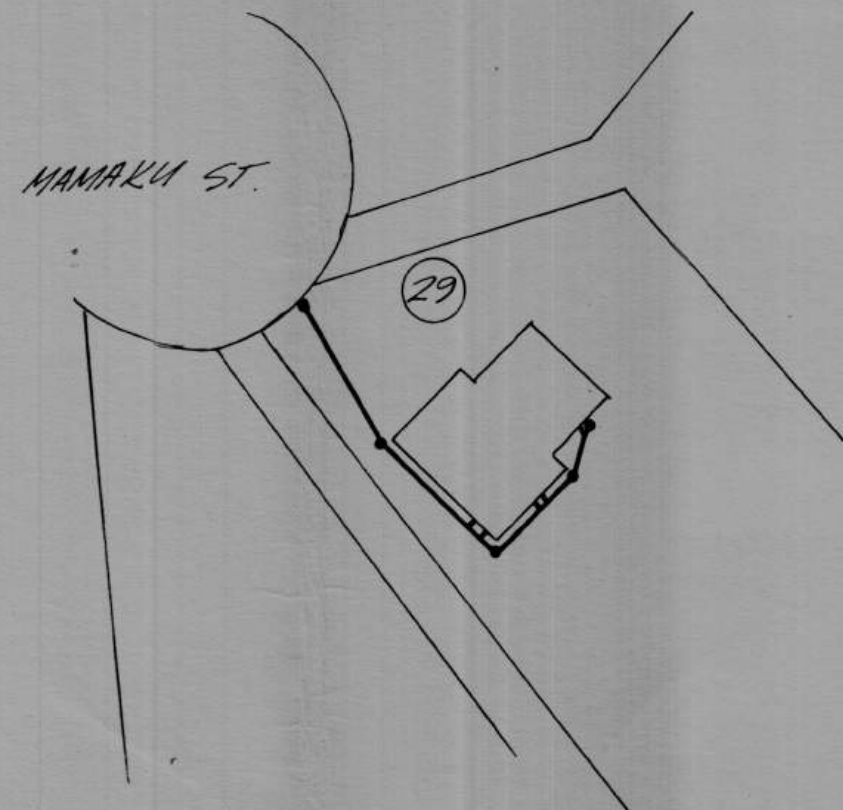
floor joists
now ③ 400 ctrs
this section
only



NOTE: ALL WINDOW & DOOR
OPENINGS TO HAVE 20 SERIES
rebate blocks, lintels
accordingly

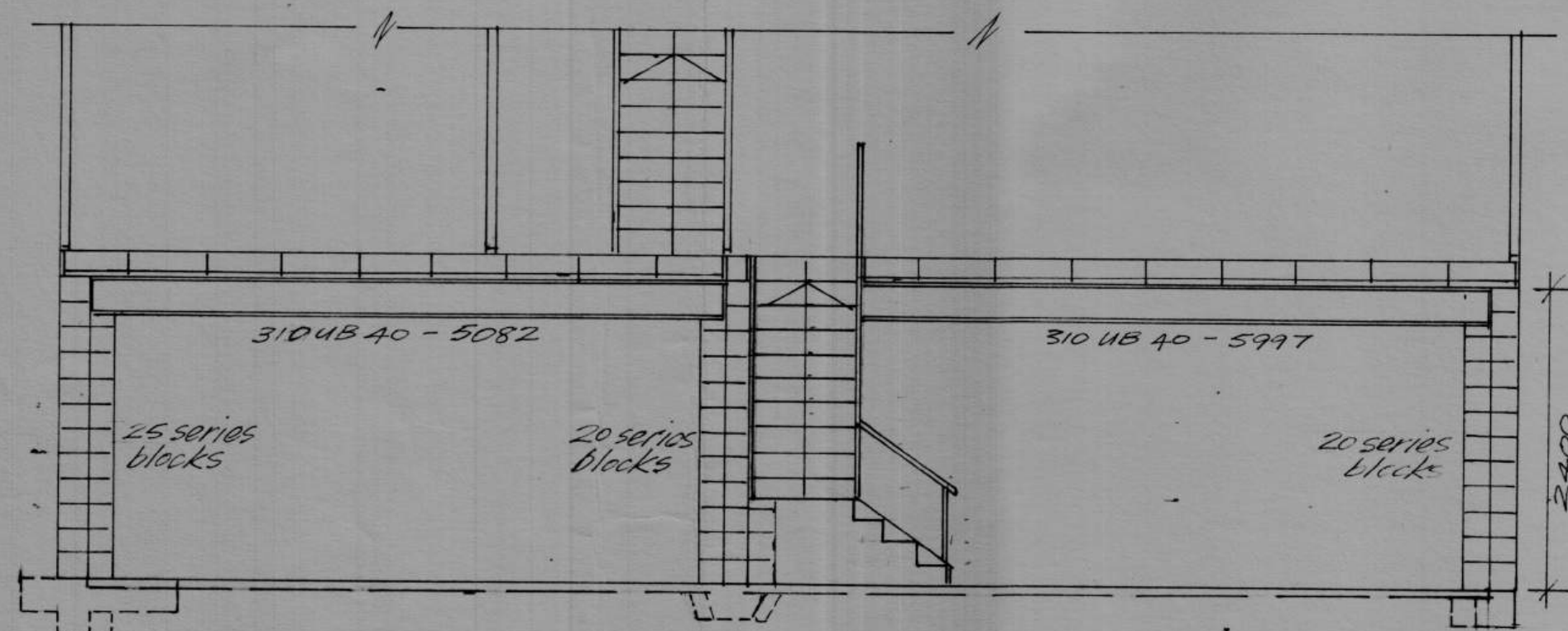


DRAWN RSP	CHECKED	SCALE 1:100	SHEET 1
TRACED	DATE 20/10/86	1:50	SERIES OF
			REV



SHEET
3

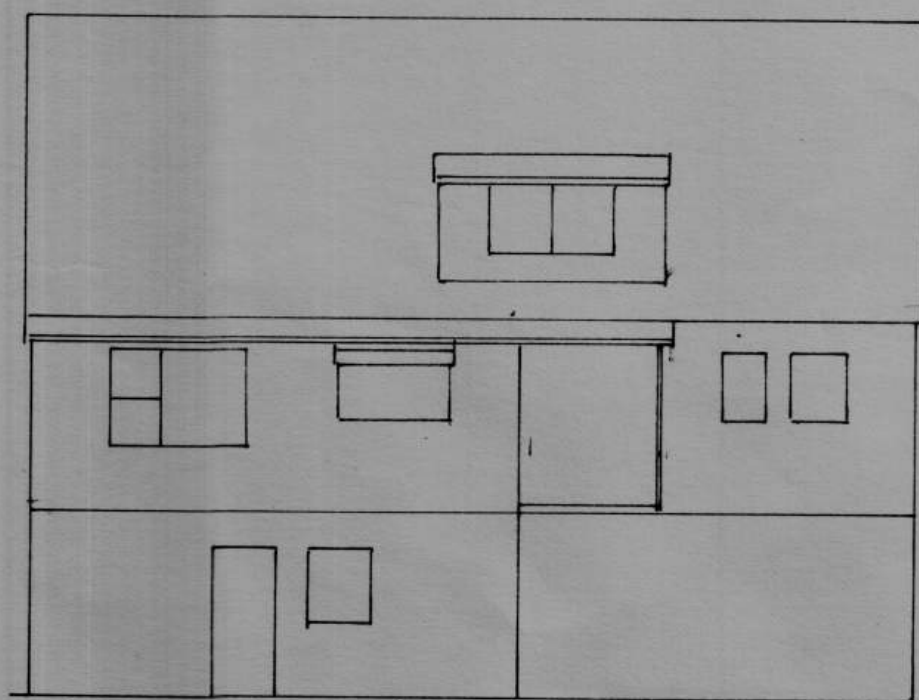
DRAWN	CHECKED	SCALES	SERIES OF
TRACED	DATE		REF



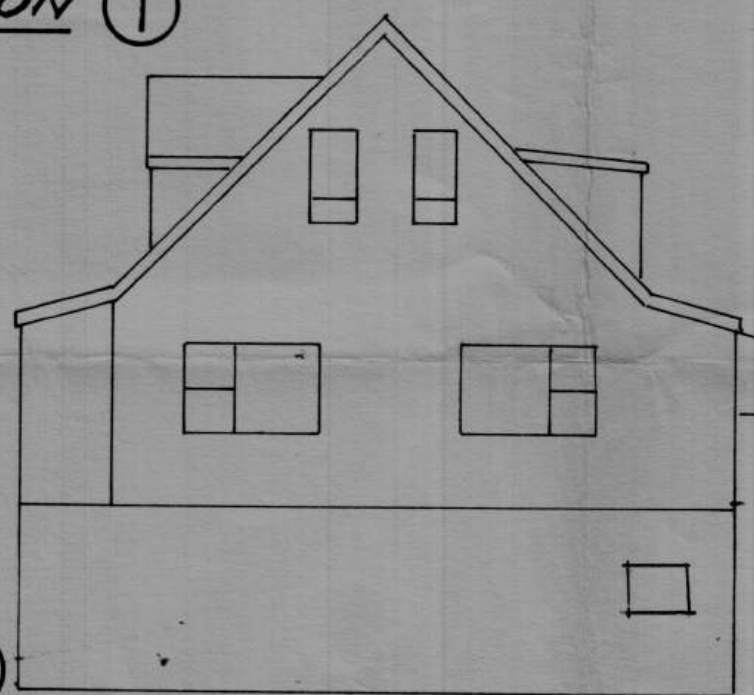
CROSS-SECTION A-A



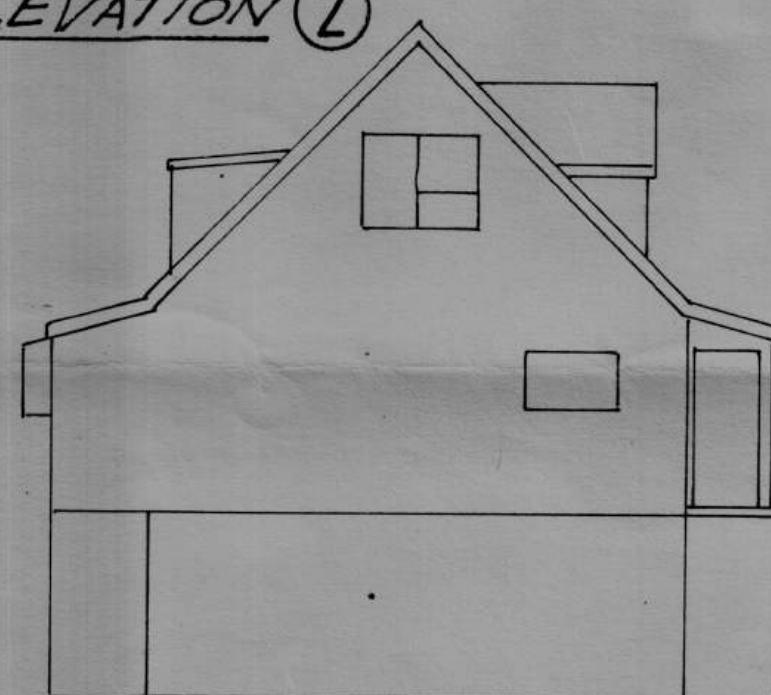
ELEVATION ①



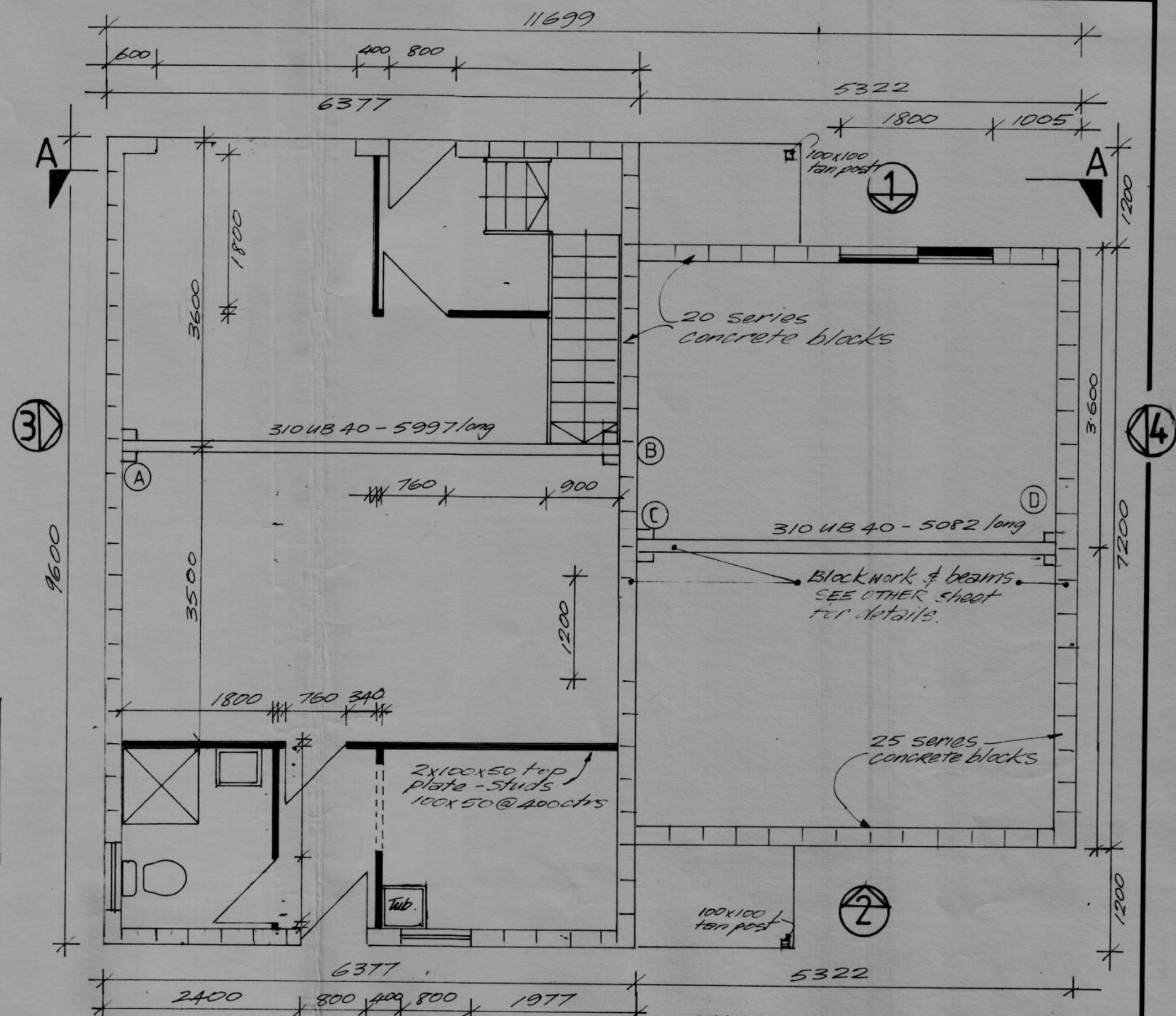
ELEVATION ②



ELEVATION ③



ELEVATION ④

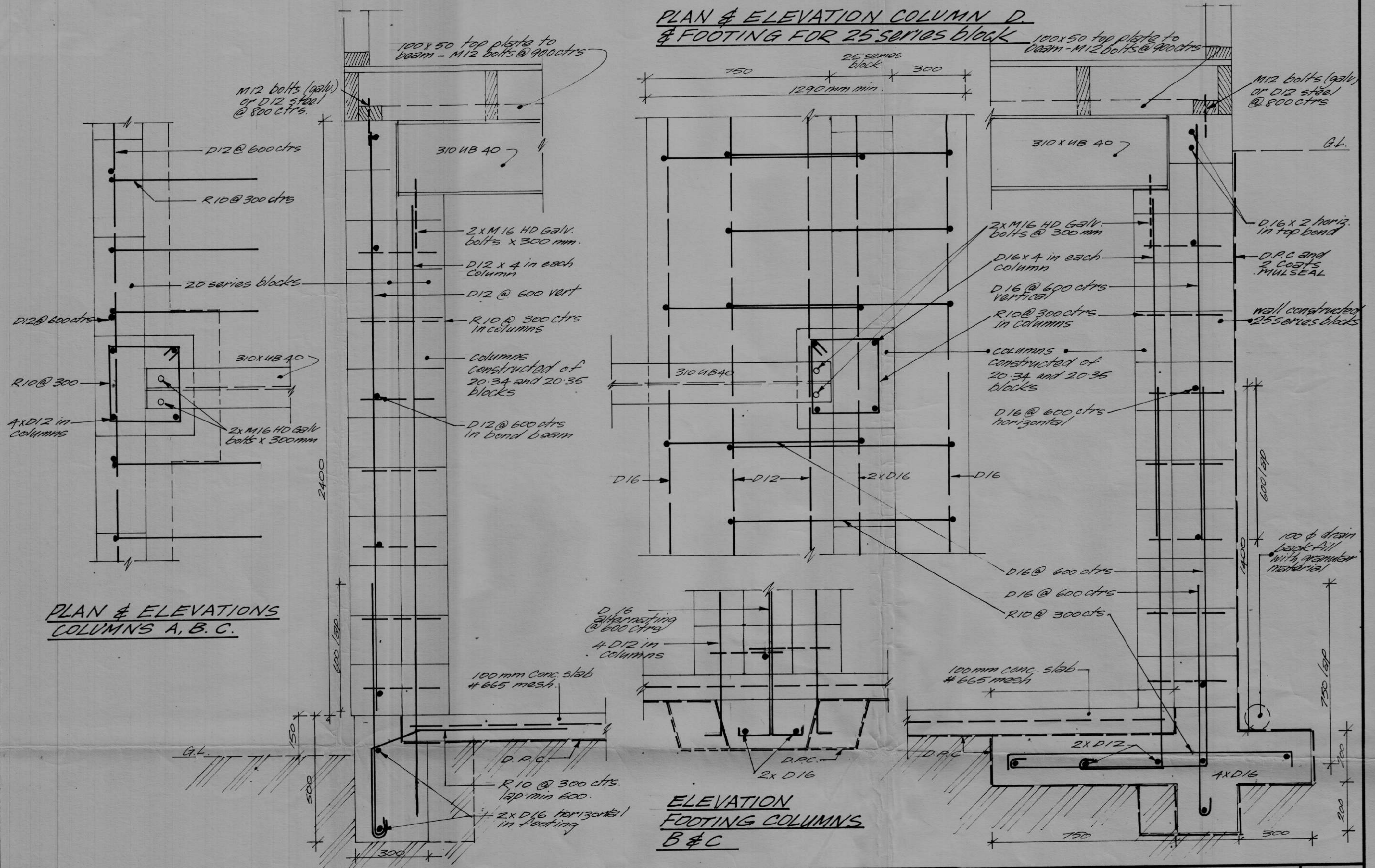


NOTE: ALL WINDOW & DOOR OPENINGS TO HAVE 20 series rebate blocks, lintels & sills accordingly.



DRAWN R.S.P.	CHECKED	SCALES 1:100	SHEET 1
TRACED "	DATE JUNE 86	1:50	SERIES OF
			REF

PLAN & ELEVATION COLUMN D. & FOOTING FOR 25 SERIES block



PLAN & ELEVATIONS
COLUMNS A, B, C.

ELEVATION
FOOTING COLUMNS
B & C

DRAWN R.S.P.			CHECKED	SCALES 1:100	SHEET 2
TRACED "			DATE JUNE '86	SERIES OF REF	