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This information has been supplied by the vendor or the vendor's agents. Accordingly, Ownly (REAA 2008) and Sold On Kapiti Limited is merely passing over the information as supplied to us by the vendor or the vendor's agents.

We cannot guarantee its accuracy and reliability as we have not checked, audited, or reviewed the information and all the intending purchasers are advised to conduct their own due diligence investigation into the same.

To the maximum extent permitted by law Ownly (REAA 2008) and Sold On Kapiti Limited does not accept any responsibility to any person for the accuracy of the information herein.



SOLD ON KĀPITI
REAL ESTATE

House Inspection at

29 Mamaku Street, Paraparaumu





The NZ House Inspection Co 2002 Ltd

TAX INVOICE

INSPECTOR : Gary Koornneef

PHONE: MBL : 021437869

OFFICE : 0800751751

FAX :

EMAIL : gary@nzhic.co.nz

TO : Neil Jourdan

DATE **21/01/26**

GST # 83-736-763

INVOICE # **43353**

DESCRIPTION	TOTAL
Standard Inspection for 29 Mamaku Street, Paraparaumu	\$ 586.96
PAID WITH THANKS	
If posting payment please do so within 2 days as we have no trading record with you Thank You	

Payment Terms : Payment due on delivery of inspection
unless otherwise arranged NO Statement
or receipt will be issued. All costs associated
with debt collecting will be added to bill.
interest will be added at 2% per month for overdue accounts.

Sub Total	\$ 586.96
Plus GST	\$ 88.04
TOTAL DUE	\$ 675.00



21-Jan-2026

Neil Jourdan

Dear Neil Jourdan

Please find attached a copy of the property inspection report for 29 Mamaku Street, Paraparaumu .

I trust that you have found the report to be useful and that our service has met your expectations. If for any reason whatsoever you have been disappointed with any facet of our service please let me know, as this is the only way I can make the necessary improvements.

Please note that this inspection has been a visual inspection only as stated in our Statement Of Policy. Whilst I have taken every care to comment on all aspects of the house, I may have had to make some assumptions for areas of the work that cannot be sighted. This will have been stated in the report.

The NZ House Inspection Company Services		
Pre- Purchase Inspection	Unauthorised Works Inspections	Vendor Inspections
Maintenance Schedules	Rental Property Reports	Non Invasive Moisture Testing
Council Records Inspections		Yearly Service Reports

If you have been happy with the service and would like to send a reference it would be much appreciated.

Thank you for using The NZ House Inspection Company.

Yours faithfully

A handwritten signature in black ink, appearing to read 'Gary Koornneef', with a stylized flourish at the end.

Gary Koornneef

The NZ House Inspection Co 2002 Ltd



Home & Building Consultants - Copy of statement of policy

Scope: The inspection and corresponding report are based on a limited visual inspection of the standard systems and components of the home. The purpose of the inspection is to identify major current deficiencies that are visually identifiable at the time of the inspection. The report shall include: grounds, structure, exterior, roofs, plumbing, electrical, interior, and insulation/ventilation; the procedure for their inspection will be conducted in accordance with NZS 4306: 2005. New Zealand Standard, Residential Property Inspection.

Limitations: Any areas that are concealed, contained, inaccessible, or cannot be seen, due to walls, ceilings, floors, insulation, soils, vegetation, furniture, stored items, systems, appliances, vehicles, or any other object, will not be inspected or included in the report. The client agrees to assume all the risk, for any condition or problems that may be concealed at the time of the inspection. Nothing will be dismantled during the inspection, and there will be no destructive testing performed. Appliances and spa/pool equipment special cycles or features are not inspected; none of the appliances or equipment will be dismantled, and no determination of their efficiency will be made.

The client understands that the house inspector has had a minimum of ten years experience in the building industry and has had specific training in the procedures of house inspections by The NZ House Inspection Co. The report is not a guarantee, warranty, or any form of insurance, and is not to be used as a substitute for a final walk-through inspection. The report shall be considered the exclusive property of the client, and copies will not be issued to any parties without the permission of the client. The client agrees that the report shall not be given or sold to any other party, who is not directly involved with the process of the transaction.

Reasonable Access: Reasonable access is access that is safe, unobstructed and which has a minimum clearance of 450 x 400 mm opening access door that can be safely accessed from a 3.6 m ladder and a minimum crawl space of 610 x 610 mm in the ceiling space and 500 x 400 mm opening access door and a minimum crawl space of 500mm vertical clearance for the sub floor area. Roofs are able to be safely accessed from a 3.6 m ladder. (Or if the minimum clearance is not available, the area is within the inspector's unobstructed line of vision).

Items and Conditions Excluded From the Report Include: Building codes, zoning ordinance violations, geological stability, soil conditions, structural stability, engineering analysis, termites or other infestations, asbestos, formaldehyde, water or air contaminants of any kind, toxic moulds, rotting (non visual), electromagnetic radiation, environmental hazards, appraisal of property value, repair estimates, detached buildings, sheds, underground condition of pool and spa bodies and related piping, items marked as not inspected within the report, private water systems, septic systems, saunas, specialized electronic controls of any kind, elevators, dumb waiters, water softener and purification systems, solar systems, internal system components, security systems, system adequacy or efficiency, prediction of life expectancy of any item or system, minor and/or cosmetic problems, latent or concealed defects. This report does not cover any buildings suffering from rotting homes, leaky homes and toxic mould situations, areas that the inspector believes to be potential problem areas are checked with a non invasive moisture meter.. We can only detect rotting of framing by invasive testing which means removing wall linings. This would not be done without the written consent of the owner. We will consider Weather Tightness, regardless of age; however it will not be measured against appendix A of the Standards or to E2/AS1 of the Building Code, Matrix and Evaluation, as this would be subject to a specialist report.

Disputes and Limitation on Liability: The client understands and agrees that any claim against the accuracy of the report, in the form of errors or omissions is limited to the failure on the part of the inspector to follow the New Zealand Standard; NZS 4306: 2005 Residential Property Inspection (a copy is held at our office for viewing if required). The client agrees to notify the inspector of any dispute in written form, within ten days of discovery. The client further agrees that with the exception of emergency conditions, no repairs, replacements or alterations of the claimed discrepancy shall be made before the inspector can re-inspect the said item. Client understands and agrees that any failure to notify the inspector as stated above shall constitute a waiver of any and all claims for said failure to accurately report the condition in question.

In the event of making a claim against The NZ House Inspection Co, you need to contact our office immediately and request a claim form.

Important Information: You need to be aware that it is possible for problems in a house to be disguised to prevent detection. If you notice anything's that were not visible at the time of your visit and our inspection on the day you move into the property then you should immediately contact us to discuss.

Vendor Inspections: The vendor is required to notify the inspector of any existing conditions that you are aware of that have been an issue or may become a problem at the time of the inspection.

Cancellation Policy: If the inspection is cancelled up to 24 hours before the inspection is due to be undertaken, a fee of \$100 will be charged. If the inspection is cancelled within a 24 hour period of the due date of the inspection, the full cost of the inspection will be charged. We reserve the right to apply this policy at our discretion.

Payment Policy: Payment is due on delivery of the inspection report unless otherwise arranged. NO Statement or receipt will be issued. All costs associated with debt collection will be added to the value of the invoice. Interest will be added at 2% per month for overdue accounts.

Insurers Disclaimer:

(a) This is a report of a visual only, non-invasive inspection of the areas of the building which were readily visible at the time of inspection. The inspection did not include any areas or components which were concealed or closed in behind finished surfaces (such as plumbing, drainage, heating, framing, ventilation, insulation or wiring) or which required the moving of anything which impeded access or limited visibility (such as floor coverings, furniture, appliances, personal property, vehicles, vegetation, debris or soil).

(b) The inspection did not assess compliance with the NZ Building Code including the Code's weathertightness requirements, or structural aspects. On request, specialist inspections can be arranged of weathertightness or structure or of any systems including electrical, plumbing, gas or heating.

(c) As the purpose of the inspection was to assess the general condition of the building based on the limited visual inspection described in (a), this report may not identify all past, present or future defects. Descriptions in this report of systems or appliances relate to existence only and not adequacy or life expectancy. Any area or component of the building or any item or system not specifically identified in this report as having been inspected was excluded from the scope of the inspection.

Inspector

NAME Gary Koornneef
PHONE 0800751751
ADDRESS The NZ House Inspection Co 2002 Ltd

DATE OF INSPECTION 20 / 01 / 2026

Customer

NAME Neil Jourdan
ADDRESS
PHONE HOME
PHONE WORK
PHONE MOBILE 021 0244 3231
EMAIL ADDRESS

Agent

NAME N/A
COMPANY
ADDRESS
PHONE
SITE ADDRESS 29 Mamaku Street, Paraparaumu



Glossary

Good.

Is given when the item is believed to be in new or near new condition, or is better than would be expected given the age of the property.

Generally good.

Use as an overall comment to summaries the general condition of the item being checked.

Average.

When the condition is at the standard expected given the age of the house. Some wear and tear would be expected but is still in serviceable order.

Poor.

The condition is below the standard expected. There is damage or excessive wear. Replacement or maintenance is required.

Hardware.

Catches door and window handles, hinges to windows doors and cupboards.

Built in deck.

Deck built within the exterior wall line. Decked area is often the ceiling of a room below.

Deck Exterior.

Deck built outside the exterior wall line. May be cantilevered or attached to the house and be supported on posts or piles.

Header tank.

Small tank which supplies water to the hot water cylinder normally located on the roof or in the ceiling space.

Trim.

Finishing timbers around doors and windows. Timbers to the lower and upper areas of the wall linings.

Cladding.

Exterior wall linings.

Gully trap.

Collection point outside the building line for waste water. Is connected to the sewerage system.

Water Toby.

Tap or shut of valve usually at the point where the water supply enters the property.

Soffit / Eaves.

Horizontal or pitched linings under the roof over hang.

Fascia.

Timber or pre finished metal facings at the end of the roof line.

Electrical General.

Plugs, switched and light fittings are sighted where possible for damage or poor fixing back to the wall linings. Power points are not tested.



Summary of report

TIME OF INSPECTION
WEATHER CONDITION
IN ATTENDANCE

2 pm
FINE
Inspector and vendor

INTERNAL

FLOORS
WALLS
CEILINGS
TRIMS
INTERNAL DOORS
WINDOWS
KITCHEN
BATHROOMS
LAUNDRY

good new floor coverings
good new painting
good
good
good
good
good
good
good
good

EXTERNAL

EXTERIOR CLADDING
FOUNDATIONS
ROOF
WINDOWS
DOORS
GARAGE

good new painting
generally good of what could be seen
generally good roof has been cleaned
good
good
good

GENERAL

GARDENS
FENCING
PATHS AND STEPS
STRUCTURAL (visual)

generally good - new retaining walls
good
good
generally good given age of the house



MOISTURE

Although this was not a specific moisture test random areas of possible concern like around windows and doors on the exterior walls where accessible have been checked on the interior with a non-invasive moisture meter to check for moisture within the wall cavity. The condition and treatment type of internal framing is not known.

Levels were found to be	acceptable in all areas checked
Possible causes for moisture	- not applicable
Further investigations recommended ?	No all within acceptable range
Type of Meter	Protimeter survey Master



The summary is not intended to replace the report. There will be items in this report that the client may consider significant regarding the property that have not been mentioned in the summary. Please read the entire report. All photos without caption are for a visual effect only.

Summary Continued

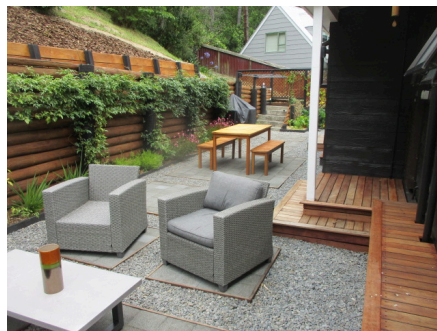
This house has been completed of renovations that started in 2021.
All work has been done to a good standard without any shortcuts.



roof cleaned



extensive retaining walls done at rear to a good standard



patio area at rear



exterior painting completed



gardens replanted in places



concrete cleaned

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SERVICES

ELECTRICAL

Comments

LIGHTS AND POWERPOINTS	yes
TPS CABLE (new plastic coated cable)	yes
TRS CABLE (old rubber coated cable)	N/A
VIR CONDUIT WIRING (metal conduit)	N/A
OVERHEAD (connection to house)	N/A
UNDERGROUND (connection to house)	yes
METER BOARD POSITION	yes outside on wall
CONDITION OF METER BOARD	yes appears to be good
FUSE SWITCHBOARD	N/A
CIRCUIT BREAKER SWITCHBOARD	yes is in hallway

SECURITY

BURGLAR ALARM SYSTEM	yes sighted but not tested
BURGLAR ALARM CONTROL PANEL	yes
EXTERIOR LIGHTS	yes
SMOKE SENSORS (should be fitted in all houses)	yes yes in various locations
SECURITY DOOR LOCKS	yes yes fitted to some doors
SECURITY WINDOW LOCKS	no none sighted



meterboard



exterior lighting noted



gulley traps good

PLUMBING AND DRAINAGE

HOT WATER CYLINDER	mains pressure
AGE OF CYLINDER (date on cylinder)	2008
CONDITIONS OF PIPES TO CYLINDER	good of what could be seen
TYPE OF HOT WATER SYSTEM	mains pressure system
PLUMBING (general condition)	appears good
PLUMBING (type)	various types
CONDITION OF PIPES IN CEILING SPACE	not applicable
HEADER TANK	not applicable
DRAINAGE IN CEILING	unable to sight
DRAINAGE UNDER FLOOR	unable to sight
GULLEY TRAPS	all appear to be in good condition
GULLEY TRAP LIDS	all appear to be good
FOUL WATER (sewer and waste)	unable to sight
SECTION RUN OFF	good
CESSPIT DRAINAGE	none sighted
STORMWATER	all appears to be working well
WATER TANKS	none sighted
DOWNPIPES	all appear to be good
DRIVEWAY OR PAVING SUMP	none sighted
POSITION OF GAS METER	
POSITION OF WATER TOBY	in the foot path



water toby



insulation noted to garage ceilings



circuit breaker board



SERVICES CONTINUED

Additional Services

HEATING SYSTEMS	TYPE	heat pump
	LOCATION	lounge
	COMMENTS	not tested
VACUUM SYSTEMS	TYPE	not applicable
	LOCATION	
	COMMENTS	
VENTILATION SYSTEMS	TYPE	in-house ventilation system
	LOCATION	various outlets
	COMMENTS	not tested
SOLAR HEATING	TYPE	not applicable
	LOCATION	
	COMMENTS	
PUMPS	TYPE	none sighted
	LOCATION	
	COMMENTS	



ventilation system downstairs



exterior air conditioning unit



hot water cylinder



CEILING SPACE & INSULATION

LOCATION OF MANHOLE		no access
MANHOLE LID		not applicable
CONSTRUCTION	TYPE	pitched roof
	CONDITION	appears good
	COMMENTS	no comment
INSULATION	TYPE	unable to sight
	CONDITION	
	COMMENTS	
VERMIN 1	TYPE	none sighted
	COMMENTS	
BORER	ROOF	none sighted
	STRUCTURE	
	FLOORING	
	TRIMS	
	EXTERIOR	
	CLADDING	
BORER	COMMENTS	not expected for age of house

NOTE: Ceiling space should have reasonable access.

"Reasonable access" is access that is safe, unobstructed and which has a minimum clearance of 450 x 400 mm opening access door that can be safely accessed from a 3.6 m ladder and a minimum crawl space of 610 x 610 mm. (or if the minimum clearance is not available, the area is within the inspector's unobstructed line of vision).



STAIRS

STAIRS - INTERNAL	TYPE	wooden with carpet cover
	CONDITION	generally good
	COMMENTS	no comment
HANDRAIL		yes
	CONDITION	generally good
	COMMENTS	to some stairs only
STAIRS - EXTERNAL	TYPE	concrete and timber
	CONDITION	good
	COMMENTS	no comment
HANDRAIL		yes
	CONDITION	generally good
	COMMENTS	handrails only to some stairs





KITCHEN

FLOORING	timber overlay
WALLS	plasterboard
CEILINGS	plasterboard
DOORS	hollow core
WINDOWS	aluminium
OVEN	free standing
ELEMENTS	part of oven and wall oven
EXTRACT	Through ceiling
DISHWASHER	Not tested
WASTE DISPOSAL	no waste disposal
BENCHTOP	stone type
UNITS	pre finished type
SINK	stainless steel

GENERAL COMMENTS

good condition





BATHROOM ground floor

FLOORING	timber overlay
WALLS	plasterboard
CEILINGS	plasterboard
DOORS	hollow core
WINDOWS	aluminium
SHOWER	Pre-finished sheet with glass door
BATH	No bath
TOILET	China double flush
TAPWARE	good also includes washing machine
VANITY TOP	moulded basin type
VANITY UNITS	pre finished type
MIRROR	Good

GENERAL COMMENTS

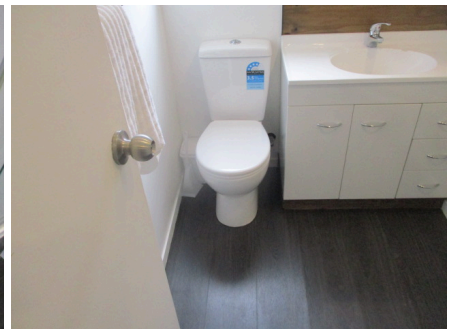
good condition



vanity and washing machine



shower



toilet



LAUNDRY

FLOORING	timber overlay
WALLS	plasterboard
CEILINGS	plasterboard
DOORS	hollow core and external door
WINDOWS	aluminium
LAUNDRY TUB	stainless tub on custom base
DRYER VENT	not sighted
TAPWARE	good
W/MACHINE TAPS	yes
OTHER FITTINGS	Not applicable

GENERAL COMMENTS

good





BATHROOM

FLOORING	timber overlay
WALLS	plasterboard
CEILINGS	plasterboard
DOORS	timber panel
WINDOWS	aluminium
SHOWER	Pre-finished sheet with glass door
BATH	plastic
TOILET	No toilet
TAPWARE	good
VANITY TOP	moulded basin type
VANITY UNITS	pre finished type
MIRROR	Good

GENERAL COMMENTS

good condition





BATHROOM ensuite

FLOORING	timber overlay
WALLS	plasterboard
CEILINGS	plasterboard
DOORS	hollow core
WINDOWS	aluminium
SHOWER	
BATH	No bath
TOILET	china double flush
TAPWARE	good
VANITY TOP	Basin only
VANITY UNITS	pre finished type
MIRROR	Good

GENERAL COMMENTS

good condition





BEDROOM 4 bedrooms

FLOORING	carpet
WALLS	plasterboard
CEILINGS	plasterboard
DOORS	hollow core
WINDOWS	aluminium

GENERAL COMMENTS

all good condition



ground floor



DINING

FLOORING

WALLS

CEILINGS

DOORS

WINDOWS

timber overlay
plasterboard
plasterboard
hollow core
aluminium

GENERAL COMMENTS

good condition





LOUNGE

FLOORING	carpet
WALLS	plasterboard
CEILINGS	plasterboard
DOORS	hollow core
WINDOWS	aluminium

GENERAL COMMENTS

good condition



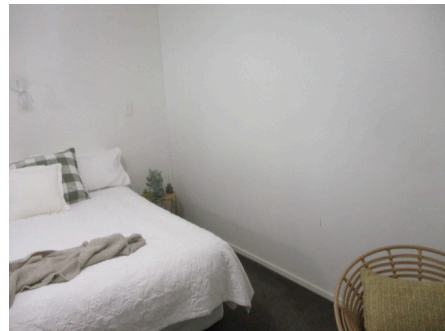


KITCHEN flat - ground floor

FLOORING	carpet
WALLS	plasterboard
CEILINGS	plasterboard
DOORS	hollow core
WINDOWS	aluminium
OVEN	no oven
ELEMENTS	not applicable
EXTRACT	no extract
DISHWASHER	no dishwasher
WASTE DISPOSAL	no waste disposal
BENCHTOP	High pressure laminate
UNITS	pre finished type
SINK	Stainless steel single

GENERAL COMMENTS

good condition



bed area



lounge area



PROPERTY CONSISTS OF :

EXTERIOR SUMMARY

COMMENTS

FENCING	yes	timber fences
GATES	yes	timber gates
DRIVEWAY	yes	concrete
PATHS	yes	concrete
OUTSIDE TAPS	yes	
LAWNS/GARDENS	yes	gardens well established
SPRINKLER SYSTEMS	no	none sighted
RETAINING WALL	yes	mixture of types
GARAGE - DETACHED	N/A	
GARAGE - ATTACHED	N/A	
GARAGE - UNDERHOUSE	yes	
CARPORT	N/A	
SHED	N/A	
CONSERVATORY	N/A	
SWIMMING POOL	N/A	
SPA POOL	N/A	
GAZEBO	N/A	
CLOTHES LINE	yes	fold up type
LETTERBOX	yes	
OTHER	N/A	



letterbox and concrete driveway



timber fencing

DECKS AND VERANDAHS

DECK BUILT IN	CONSTRUCTION	timber
	CONDITION	good
	COMMENT	no comment
HANDRAIL	CONDITION	good
	COMMENT	no comment
DECK EXTERNAL	CONSTRUCTION	timber
	CONDITION	good
	COMMENT	new
HANDRAIL	CONDITION	good
	COMMENT	meets council requirements
VERANDAH	CONSTRUCTION	timber
	CONDITION	good
	COMMENT	no comment

RETAINING WALLS

RETAINING WALLS - CONCRETE	CONSTRUCTION TYPE	concrete blockwork
	CONDITION	good
	COMMENT	
RETAINING WALLS - TIMBER	CONSTRUCTION TYPE	timber
	CONDITION	new
	COMMENT	good



various timber retaining walls



fold up clothes line



verandah at front



SUB-FLOOR

EXTERIOR FOUNDATION	TYPE	concrete block to lower
	CONDITION	good
INTERIOR FOUNDATION, INCLUDING SLAB	TYPE	not able to sight
	CONDITION	
BEARERS & JOISTS	CONDITION	good - only sighted in garage area
BEARER TO PILE CONNECTIONS	SUFFICIENT	N/A
	COMMENT	
BASE	TYPE	concrete blockwork
	CONDITION	good
VENTILATION	SUFFICIENT	N/A
	TYPE	
GROUND CONDITION		N/A
	COMMENT	
FLOORING	TYPE	concrete to lower level partial board to upper
	CONDITION	good
INSULATION	TYPE	batts
	CONDITION	good
ACCESS DOOR	POSITION	open ceiling in garage area only
	CONDITION	good

NOTE: Sub floors should have reasonable access.

"Reasonable access" is access that is safe, unobstructed and which has a minimum clearance of 500 x 400 mm opening access door and a minimum crawl space of 500 mm vertical clearance(or if the minimum clearance is not available, the area is within the inspector's unobstructed line of vision



EXTERNAL STRUCTURE & CLADDING

WALL STRUCTURE	TYPE	block work and timber framing
	CONDITION	appears sound but unable to sight all areas
	COMMENT	no comment
BASEMENT	TYPE	block work
	FINISH	paint finish
	CONDITION	good
WALL CLADDING	COMMENT	
	TYPE	Hardiplank
	FINISH	paint
	CONDITION	good - new paint
	COMMENT	no comment





EXTERNAL STRUCTURE & CLADDING CONTINUED

ROOF	TYPE	Decramastic
	FINISH	chip finish
	CONDITION	generally good
	INSPECTED	from high points
SOFFIT	COMMENT	good condition for age
	TYPE	cementboard
	FINISH	painted
	CONDITION	good
FASCIA	COMMENT	no comment
	TYPE	timber
FLASHINGS	CONDITION	good
	TYPE	Decramastic flashing
	COMMENT	no comment
SPOUTING	TYPE	plastic
	CONDITION	good
	COMMENT	no comment
CHIMNEY	TYPE	no chimney
	COMMENT	
TV AERIAL		no
	COMMENT	none sighted



EXTERNAL DOORS

FRONT DOOR

FINISH glass panel door
CONDITION good
COMMENT

BACK DOOR

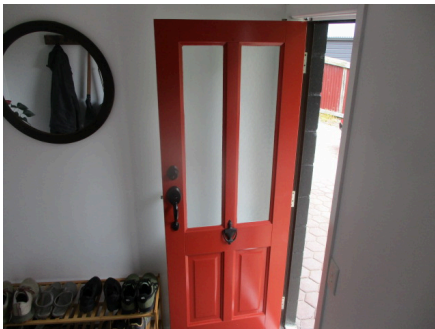
FINISH aluminium door
CONDITION good
COMMENT

OTHER DOORS

FINISH aluminium with glass
CONDITION generally good
COMMENT

EXTERNAL WINDOW CHECK

FINISH aluminium
CONDITION generally good
FLASHINGS
COMMENT



front door



back door



doors to back area



GARAGE

GENERAL	TYPE	part of house
	CONDITION	generally good
	COMMENT	no comment
DOOR	TYPE	auto
	CONDITION	tilta door
	COMMENT	good
POWER SUPPLY	TYPE	yes
	CONDITION	yes
	COMMENT	no comment
LIGHTING	TYPE	concrete
	CONDITION	good
	COMMENT	

CARPORT

GENERAL	TYPE	no carport
	CONDITION	
	COMMENT	
POWER SUPPLY	TYPE	
	CONDITION	
	COMMENT	
LIGHTING	TYPE	
	CONDITION	
	COMMENT	





AREAS THAT WERE NOT INSPECTED

From time to time there are some areas in certain houses that can not be visually inspected for various reasons such as items being stored in areas like ceiling spaces and sub floor areas; some older houses are built fairly close to the ground limiting the access under them or access panels being covered over.

AREA	SIGHTED?	REASON
Sub Floor	no	no access
Roof	no	not able to climb on roof so viewed from ground and high points

**CERTIFICATE OF INSPECTION IN ACCORDANCE
WITH NZS 4306:2005**

CLIENT Neil Jourdan
SITE ADDRESS: 29 Mamaku Street, Paraparaumu
INSPECTOR - **NAME:** Gary Koornneef
COMPANY: The NZ House Inspection Co 2002 Ltd
QUALIFICATION: NZCB
DATE OF INSPECTION: 20 / 01 / 2026

The following areas of the property have been inspected:

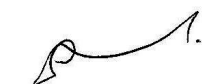
SITE	yes
SUBFLOOR	N/A
EXTERIOR	yes
ROOF EXTERIOR	yes
ROOF SPACE	N/A
INTERIOR	yes
SERVICES	yes
ACCESSORY UNITS, ANCILLARY SPACES AND BUILDINGS	yes

Any limitations to the coverage of the inspection are detailed in the written report.

Certification:

I hereby certify that I have carried out the inspection of the property site at the above address in accordance with NZS 4306:2005 Residential property inspection - and I am competent to undertake this inspection.

Signature:



The NZ House Inspection Co 2002
Ltd

Date:

20 / 01 / 2026

An inspection carried out in accordance with NZS 4306:2005 is not a statement that a property complies with requirements of any Act, regulation or bylaw, nor is the report a warranty against any problems developing after the date of the property report. Refer to NZS 4306:2005 for full details.