

PROPERTY BROCHURE

20 Cobham Avenue, Dargaville



Pocklington

REAL ESTATE



Seriously for Sale

20 Cobham Avenue, Dargaville

3 2 2 2 240m² 708m²

DEADLINE SALE,
closing 4pm, Thursday, 24th September
(unless sold prior)

Located on a cul-de-sac street and sitting proudly on an elevated section, this solid 1960s home offers generous living, practical spaces and elevated views across the township.

From the moment you arrive, you'll appreciate the elevated position and the sense of space this property provides. Downstairs, the home features a double internal-access garage, a spacious rumpus room, bedroom and bathroom. This lower level offers plenty of flexibility — whether you need space for teenagers, extended family, guests, hobbies, a home office or simply somewhere for everyone to spread out.

Upstairs, you'll find two large bedrooms, a second bathroom and a functional kitchen that flows through to the dining area and spacious lounge where you will find a cosy fireplace. The lounge leads into a sunroom, where you can sit back and enjoy the outlook across the township. It's a lovely space to relax and take advantage of the home's elevated position.

Outside, there's a covered concrete patio at the rear, giving you a practical sheltered area for entertaining, relaxing or enjoying the outdoors. Although the two levels are connected by internal stairs, there's also a concrete pathway running from the front of the property through to the rear, providing an alternative and practical way to access the home. Built solid in the 1960s, this is a home that offers space, versatility and plenty of potential for its next owner.

And here's the important part... My vendor is seriously for sale. They're ready to move, they've made their decision, and they want this property sold.

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KEY PROPERTY DETAILS

LEGAL DESCRIPTION	Lot 3 Deposited Plan 59905 in Title NA15C/231
CV	\$495,000
RATES	\$4,025.07
LAND AREA	708sqm
FLOOR AREA	240sqm
NO. OF LIVING AREAS	Two – One open plan kitchen and dining area which flows into a large lounge with an attached sunroom, plus one rumpus room downstairs
BEDROOMS	Two large bedrooms upstairs and one large bedroom downstairs
BATHROOMS/TOILETS	One upstairs and one downstairs with two separate toilets
PARKING	Double internal access garage and off-street parking
DATE BUILT	1960s
CLADDING	Brick
ROOF	Tiles
FLOOR	Carpet and vinyl
JOINERY	Wooden and aluminium
INSULATION	Original insulation
HEATING	Fireplace
WATER HEATING	Electric
WATER SOURCE	Town source
WASTE	Connected to council waste water
INTERNET	Fibre

CHATELS	Auto garage doorx1, Manual garage door x1, Garage door remotes x2, window treatments, clothesline, Electric oven, Electric Hob/cooktop, Extractor fan in bathroom x1, Fixed floor coverings, Light fittings, Rangehood, Woodburnerm
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LEGAL TITLE



**RECORD OF TITLE
UNDER LAND TRANSFER ACT 2017
FREEHOLD**

**Guaranteed Search Copy issued under Section 60 of the Land
Transfer Act 2017**




R. W. Muir
Registrar-General
of Land

Identifier NA15C/231
Land Registration District North Auckland
Date Issued 07 November 1968

Prior References
NA7D/269

Estate Fee Simple
Area 708 square metres more or less
Legal Description Lot 3 Deposited Plan 59905
Registered Owners
June Margaret Tane

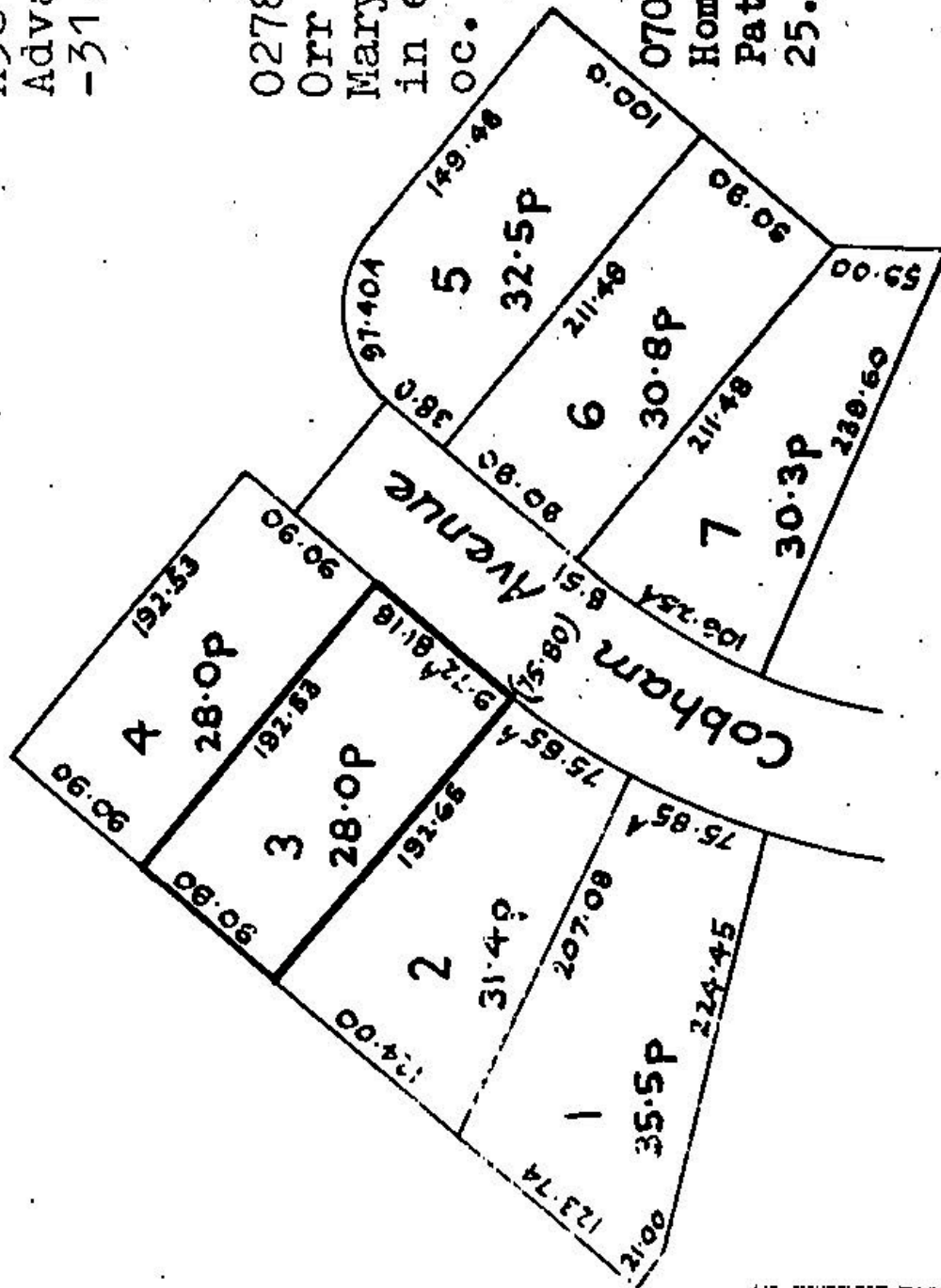
Interests
12791134.1 Mortgage to Heartland Bank Limited - 31.7.2023 at 4:29 pm

LEGAL TITLE

A2081
Adva
-31.

0278
Orr
Mary
in e
OC.

0704
Home
Pati
25.



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RENTAL APPRAISAL



Rental appraisal

20 Cobham Avenue, Dargaville, Kaipara District

3 bedroom, 2 bathroom house with double car spaces in Dargaville. Spacious open-plan living, dining, and kitchen area. Large 708 sq.m. land with a 240 sq.m. floor area. In zone for Dargaville Primary School. Close to local shops, parks, and amenities. Perfect for families seeking comfort and convenience.

3 2 2 240m²

Rental details

Current market value (p/w)
\$550-\$600

Type
House

Date
August 31, 2026



Marni Stewart

Property Manager

Phone: +64 21 288 9311

Email: Marni.Stewart@bayleys.co.nz

Office: Dargaville

Thank you for the opportunity to provide you with a rental appraisal for your property.

Disclaimer: This rental assessment is provided for general information purposes only and is based on current market conditions, which may change over time. While care has been taken to ensure the accuracy of the information, no warranty is given as to its completeness or reliability. The property may not have been physically inspected, and no assumptions should be made regarding its condition.

It is presumed, solely for the purposes of this appraisal, that the property complies with the Residential Tenancies Act 1996 and Healthy Homes Standards 2019, or would be compliant or exempt at the time of letting. Interested parties should obtain independent legal and professional advice to determine the property's suitability for residential tenancy.

This assessment does not constitute legal, financial, or investment advice, and no liability is accepted for any loss or damage arising from its use or reliance upon it.



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Residential / Commercial / Rural / Property Services

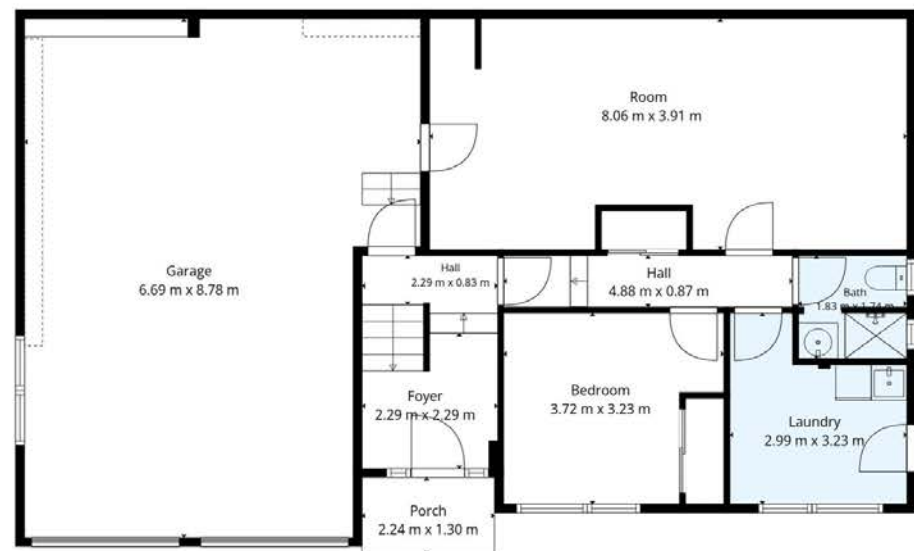
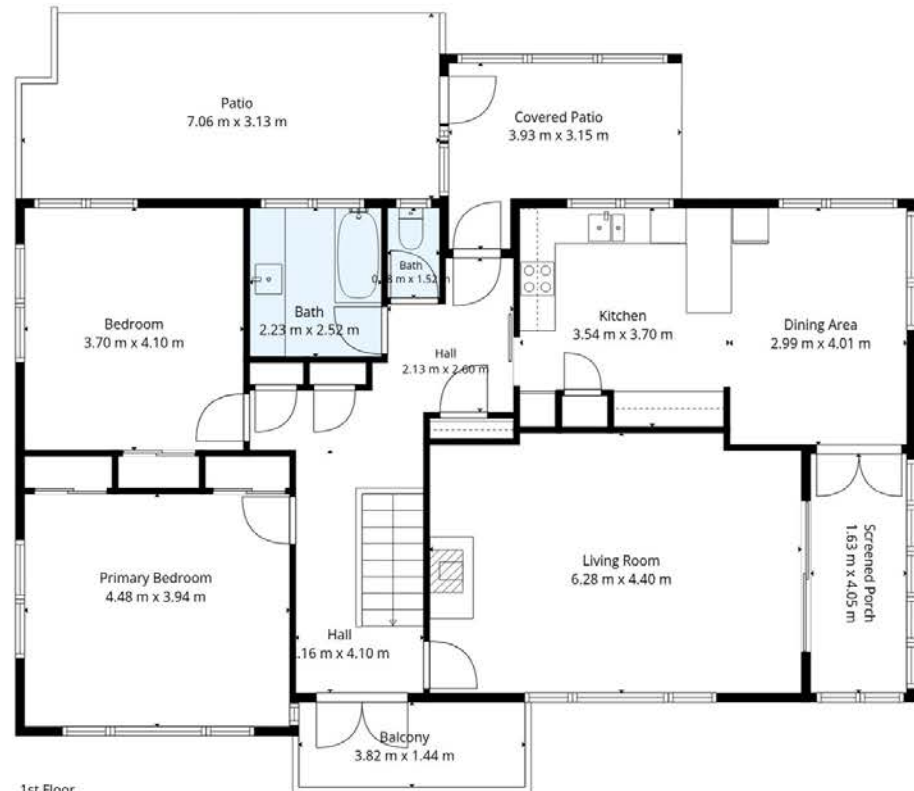
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DISCLOSURES

This Property Information Pack has been prepared to assist prospective purchasers in making an informed decision. All reasonable efforts have been made to ensure the accuracy of the information provided; however, purchasers are advised to undertake their own due diligence.

It is our recommendation that if you are interested in purchasing this property, follow thorough due diligence to support with your purchasing decision.

FLOOR PLAN



20 Cobham Ave, Dargaville

Measurements are taken from the widest point of each room and are indicative only.
Plans should not be relied on and interested parties should make their own enquiries.



LISA POCKLINGTON

BRANDOWNER | SALESPERSON

Lisa Pocklington of Pocklington Real Estate is a proud Kaipara local who has built her career on genuine care for people and an unmatched knowledge of this region. With 10 years of Real Estate Experience and a background in customer service with Qantas, where she quickly rose to flight attendant manager, Lisa brings a rare combination of professionalism, warmth and local expertise to every client she works with.

People are at the heart of everything Lisa does. She takes the time to truly understand what each client needs, tailoring her approach to deliver the right result for their unique situation. Her natural ability to connect, communicate and negotiate means clients always feel supported, informed and in safe hands throughout the entire process.

Lisa's smart, modern approach to marketing ensures every property reaches the right audience, while her warm, empathetic style ensures every client feels like a priority. For Lisa, Real Estate has never just been about the sale, it's about the people behind it.

In her spare time, Lisa loves travelling, spending time with family and friends, running and fishing. Passionate about Kaipara and everything this region has to offer, there is no one better placed to help locals achieve the results they deserve.

Ready to see real results? Get in touch with Lisa today.

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